



Currituck County

Planning and Inspections
153 Courthouse Road, Suite 110
Currituck, North Carolina 27929
252-232-3055
FAX 252-232-3026

MEMORANDUM

To: Hugh Samuel Miller, IV
Mark Bissell, P.E., Bissell Professional Group

From: Planning Staff

Date: October 10, 2024 10-24-24 Response to TRC Comments

Re: Sunrise on the Sound, Preliminary Plat, TRC Review Comments

The following comments were received for the 10/09/2024 TRC meeting. To be scheduled for the 12/16/2024 Board of Commissioners meeting, please address all comments and resubmit a corrected plan by noon on 10/24/2024. TRC comments are valid for six months from the date of the TRC meeting.

Planning (Millicent Ott, 252-232-6066)

1. Due to school capacities a Special Use Permit is required. In the evidentiary hearing, the applicant must demonstrate that the proposed use is in compliance with the provisions of the UDO and will meet the required findings for SUP issuance. **We acknowledge this requirement.**
2. The proposed development is in the Shawboro Elementary school district. Shawboro Elementary is currently over capacity. The BOC may attach additional conditions of approval, including timing limits on residential building lots available for occupancy to assure adequate public-school facilities remain sufficient to serve the development. Staff will share monthly enrollment numbers prior to the SUP hearing. **Thank you. Any information that may be available regarding a redistricting plan would also be helpful.**
3. The property is classified as G-2, Controlled Growth in the Courthouse Sub-Area of the Imagine Currituck 2040 Vision Plan. The proposed density is .85 du/acre and the FLUM allows up to 2 du/acre in the Courthouse Sub-Area of the Northern Mainland. **We are in agreement.**
4. Please indicate NC state route numbers for Sanderson Court, Tulls Creek Road, and Baxter Estates Road. **SR numbers have been added to the plat.**
5. Reconcile minimum lot widths on development notes on page 1 and the typical lot details on page 6. **The typical lot detail has been updated to be consistent with the notes.**
6. Include proposed street name on plan. **The approved street name has been added to the plat.**
7. Please remove recreation/parkland fee-in-lieu calculations from plans. This is calculated and paid prior to final plat. **The fee-in-lieu calculations have been removed from the plat.**
8. A sidewalk is required on Tulls Creek Rd. Is it possible to connect the proposed sidewalk to the existing sidewalk and add crosswalk across Sanderson Ct? **The Tulls Creek Road walkway has been added; there is no easement for the installation of a walkway across Lot 5 of the Sunrise on the Sound minor subdivision, but a crosswalk and connection to the sidewalk on the south side of Sanderson Road has been added.**
9. Please provide conservation easement language for open space. **The secondary conservation easement notation and acreage have been added on sheet 3.**
10. The theme is open-space reforestation, please provide a narrative or show the areas proposed for reforestation on the plat. **The proposed reforestation areas have been shaded on sheet 5. An arterial buffer has also been added on sheet 5.**

Currituck County Building and Fire Inspections (Rick Godsey, 252-232-6020)

1. Mark hydrants with blue reflector at center of road. Hydrants will be so marked during construction.
2. Provide “no street parking” signage on road. “No Parking” signs have been added on sheet 5.

Currituck Fire and Emergency Medical Services (Chief Ralph Melton, 252-232-7746)

No Comment received

Currituck Soil and Stormwater (Sherry Harris, 252-232-3360)

No Comment received

Currituck County Public Utilities Director (Ken Griffin, 252-232-6035)

No Comment received

Currituck County Public Utilities – Mainland Water (Chas Sawyer 252-202-1692)

1. Would it be possible to move the tap on Sanderson Road to the west to avoid the culvert and being under the mailboxes? The waterline tap has been moved as suggested.

Currituck County Public Utilities - Wastewater (Will Rumsey, 252-232-6065)

No Comment received

Currituck County GIS (Harry Lee 252-232-4039)

1. GIS will assign addresses during Final Plat review.

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

1. Fee-in-lieu is acceptable.

Stormwater Consultant, McAdams (Daniel Wiebke, 919-361-5000)

See attached letter Response is shown on the attachment.

NC Division of Coastal Management ()

No Comment received

NC DOT (Caitlyn Spear, 252-331-4737)

No Comment received

Albemarle Regional Health Services (Kevin Carver, 252-232-6603)

No Comment received

US Army Corps of Engineers (Joshua Tutt, 910-251-4629)

No Comment received

Mediacom (252-482-5583)

See attached letter.

US Post Office

Contact the local post office for mail delivery requirements

The following items are necessary for resubmittal:

- 1- PDF digital copy of all revised documents and plans.

A PDF digital copy of all revised documents and plans is included.

SPECIAL USE PERMIT HEARING

A special use permit hearing is an evidentiary hearing where the Board of Commissioners must make a Quasi-Judicial Decision.

- An evidentiary hearing will be held for the Board of Commissioners to gather competent, material and substantial evidence to establish the facts of the case.
- All testimony is made under oath.
- The applicant or opposing parties shall establish written findings of fact and conclusions of law.
- Parties with standing may participate fully in the evidentiary hearing, including presenting evidence, cross-examining witnesses, objecting to evidence, and making legal arguments.
- Non-parties may present competent, material, and substantial evidence that is not repetitive.

Typical Use Permit (Quasi-Judicial) Hearing at BOC

- Swearing in of witnesses/speakers
- Presentation by County Staff on Application
- Required Presentation by Applicant or Authorized Agent (20-25 minutes)
 - Applicant to Present Findings of Fact
- Public Comment Period (typically 3 minutes each)
- Applicant Rebuttal (typically 5 minutes)
- BOC Deliberation & Decision



Kim Mason, NC Area Director

kmason@mediacomcc.com

216 B Shannonhouse Road

Edenton NC, 27932

Edenton: 252-482-5583

Plymouth: 252-793-2491

Mobile: 252-497-0328

RE: New Build & Development

Dear Development manager;

As you know the key need for all homes in this 21st Century is a solid internet connection, be it for business, education or entertainment, the public demand is here.

With this in mind, as you plan for your development and build out, we would like to encourage you to reach out to us, as you do for other essential utilities. It is most economical and reasonable for you to work with us and have this valuable infrastructure in advance of selling and building the homes. Any build out costs can easily be recouped as the lots are developed and make your neighborhoods more appealing to families and professionals.

We invite, you to partner with us and contact us locally. We will process a ROI for your location to determine partnership feasibility and estimated cost to ensure your development has access to the best internet services available.

Our key contacts are, Kim Mason, Director for North Carolina – information above and our construction coordinator Nathaniel Harris at 252- 793-5256 or 252-339-9375.

Mediacom launched 1-Gig broadband speeds in the following areas of North Carolina and operates customer service offices in Edenton and Plymouth.

Bertie County

Colerain

Kelford

Lewiston

Powellsville

Roxobel

Windsor

Camden County

Camden

Shiloh

South Mills

Martin County

Jamesville

Northampton County

Conway

Galatia

Jackson

Rich Square

Seaboard

Severn

Woodland

Chowan County

Arrowhead / Chowan Beach

Edenton

Currituck County

Barco

Currituck

Grandy

Moyock

Point Harbor

Poplar Branch

Tulls Bay

Perquimans County

Hertford

Winfall

Tyrrell County

Columbia

Washington County

Creswell

Plymouth

Roper

About Mediacom Communications

Mediacom Communications Corporation is the 5th largest cable operator in the U.S. serving over 1.3 million customers in smaller markets primarily in the Midwest and Southeast. Mediacom offers a wide array of information, communications and entertainment services to households and businesses, including video, high-speed data, phone, and home security and automation. Through Mediacom Business, the company provides innovative broadband solutions to commercial and public sector customers of all sizes and sells advertising and production services under the OnMedia brand. More information about Mediacom is available at www.mediacomcable.com.

We look forward to partnering with you to ensure your projects are successful and your development has the best services available for your buyers.

Best regards,

Kim Mason

Kim Mason

Operations Director, North Carolina

STORMWATER DEVELOPMENT REVIEW COMMENTS**CONSTRUCTION DRAWINGS**

1. Please provide a preliminary grading plan that shows the direction of flow. It needs to show enough detail of the proposed contours to indicate how the water will reach the SCMs for detention.

Very preliminary lot grading has been shown on sheet 4, which also shows flow arrows to the SCMs.

ADVISORY COMMENTS

1. Please note a complete copy of the [Major Stormwater Plan Form SW-002](#) will be required as a submission for Construction Drawings.
A completed SW-002 will be provided at the CD review stage.
2. Please note copies of the appropriate North Carolina Department of Environmental Quality (NCDEQ) erosion control, Coastal Area Management Act (CAMA), wetlands, and/or stormwater permits will be required as a submission for Construction Drawings.

Erosion control and state stormwater permits will be provided at the CD review stage. No CAMA or Corps of Engineers permits will be required.

STORMWATER DEVELOPMENT REVIEW COMMENTS**CONSTRUCTION DRAWINGS**

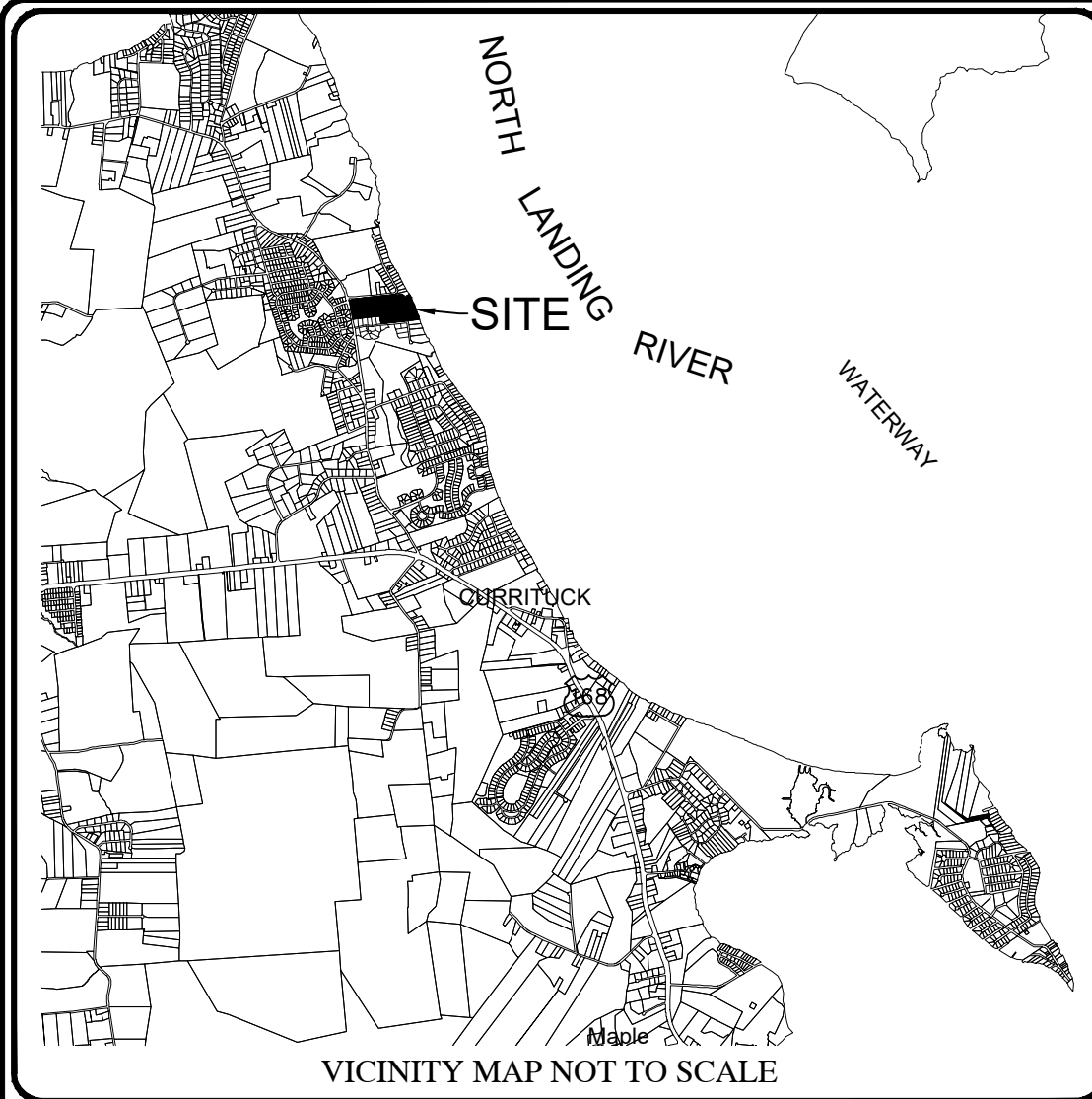
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SUNRISE ON THE SOUND

A 15 LOT CONSERVATION SUBDIVISION

CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

Sheet
Number

Sheet Title

1	COVER SHEET, DEVELOPMENT NOTES & SITE LOCATION
2	EXISTING CONDITIONS & SITE FEATURES PLAN
3	PROPOSED PLAN OF SUBDIVISION
4	DRAINAGE, STORMWATER & POTABLE WATER PLAN
5	LANDSCAPING, BUFFERING & SIGNAGE PLAN
6	TYPICAL CONSTRUCTION DETAILS

- GENERAL NOTES:**
- PROJECT NAME: SUNRISE ON THE SOUND CONSERVATION SUBDIVISION
 - OWNER/APPLICANT: HUGH SAMUEL MILLER IV & REBECCA JO MILLER
150 BAXTER ESTATES RD.
MOYOCK, NC 27958
 - PROPERTY DATA:
PARCEL ID#: 0049-000-009A-0000
PRIMARY ADDRESS: 150 BAXTER ESTATES RD., MOYOCK, NC
RECORDED REFERENCES: D.B. 1510, PG. 222
P.C. Q. SL. 150
PROPERTY ZONING: SFM - SINGLE FAMILY-MAINLAND
 - F.I.R.M. DATA:
ZONES: X & SHADED X - F.E.M.A. F.I.R.M. MAP# 3721806000 K, CID 370078,
EFFECTIVE DATE DECEMBER 12, 2018. USE OF LAND WITHIN A FLOODWAY OR
FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK
COUNTY UNIFIED DEVELOPMENT ORDINANCE.
 - THIS PROPERTY CONTAINS NO ACOE "404" JURISDICTIONAL WETLANDS.
 - A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE
PROPERTY LINES AND A 25' EASEMENT FOR UTILITIES, DRAINAGE AND A
PEDESTRIAN SIDEWALK ALONG FRONT PROPERTY LINE IS HEREBY ESTABLISHED.
 - EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING:
• 2018 FIELD SURVEY DATA OBTAINED BY EDWARD T. HYMAN, JR. P.L.S.
#L-2690
• 2016 AERIAL IMAGERY OBTAINED FROM NCONEMAP.COM
• FIELD TOPOGRAPHIC SURVEY DATA BY EDWARD T. HYMAN, JR. P.L.S.
#L-2690
• ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.
 - ALL UTILITIES ARE TO BE UNDERGROUND.
 - 25' EASEMENTS ARE HEREBY DEDICATED FROM THE TOP OF BANK OF ALL
OUTFALL DITCHES DRAINING MORE THAN FIVE ACRES.
 - PROPOSED DWELLINGS SHALL NOT BE LARGER THAN 4,800 SQ.FT. AND/OR
GREATER THAN TWO STORIES IN ORDER TO COMPLY WITH ISO GUIDELINES.
 - THE RIGHT-OF-WAY FOR PROPOSED STREET SHALL BE PUBLIC.
 - LAND CLASSIFICATION: G-2

STORMWATER STATEMENT
NO MORE THAN 30% OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES
AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK, STONE, SLATE, OR
SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF
SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE
STORMWATER PERMIT NUMBER _____ ISSUED BY THE STATE OF NORTH
CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE
CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES
(DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE
DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE
ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE
MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST
RESTRICTIVE LOT COVERAGE SHALL APPLY.

REVIEW OFFICER CERTIFICATE
STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____
REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP
OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

DATE _____ REVIEW OFFICER _____

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE
I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT
ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR
COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM
SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF
TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE
NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE _____ DISTRICT ENGINEER _____

DEVELOPMENT NOTES:

TOTAL TRACT AREA:	17.48 AC.
PROPOSED LOT AREA:	8.62 AC.
PROPOSED R/W AREA:	1.83 AC.
REQUIRED OPEN SPACE (40%):	6.99 AC.
OPEN SPACE PROVIDED:	7.03 AC. (40.22%)
(PRIMARY CONSERVATION AREA):	0.00 AC.
(SECONDARY CONSERVATION AREA):	7.03 AC.
# OF PROPOSED LOTS:	15 LOTS
AVERAGE LOT AREA:	25,033± S.F.
PROPOSED RIGHT-OF-WAY WIDTH:	50 FT.
PROPOSED PAVED ROADWAY WIDTH:	20 FT. E.O.P.-E.O.P.
LINEAR FEET OF ON-SITE ROADWAY:	4,568 L.F.±
LOT DEVELOPMENT CONFIGURATION:	
LOT AREAS: VARY FROM 25,000 S.F. TO 25,096 S.F.	
MINIMUM LOT WIDTH:	100 FT.
SETBACKS:	
FRONT:	50 FT.
SIDE:	10 FT.
BACK:	25 FT.
CORNER SIDE YARD:	50 FT.

APPROVAL CERTIFICATE
I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN
COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND,
THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL
REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED
IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE _____ ADMINISTRATOR _____

INTERCONNECTIVITY STATEMENT
THIS SUBDIVISION CONTAINS A RIGHT-OF-WAY THAT IS PLATTED WITH THE INTENT OF
BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS
WITHIN THE RIGHT-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

ADJACENT ACTIVE FARMLAND STATEMENT
AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS OF THIS
DEVELOPMENT ADJOIN LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS
ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS
NORMAL OPERATION.

OWNERSHIP AND DEDICATION CERTIFICATE
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY
IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY
FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS
PLAT AS STREETS, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS,
EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL
THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS'
ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE
DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS
APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE _____ OWNER _____

I, _____, A NOTARY PUBLIC
OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.
WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

REVIEW OFFICER CERTIFICATE
STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____, REVIEW
OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO
WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY
REQUIREMENTS FOR RECORDING.

DATE _____ REVIEW OFFICER _____

REQUIRED IMPROVEMENTS CERTIFICATE
I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY
UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE
PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND SAID
IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

DATE _____ REGISTERED LAND SURVEYOR/ENGINEER _____

SURVEYOR'S CERTIFICATION

I, MICHAEL D. BARR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM
AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN
BOOKS REFERENCED); THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000 AND
VERTICAL ACCURACY IS ± 0.05"; THAT THE GLOBAL POSITIONING SYSTEM (GPS)
OBSERVATIONS WERE PERFORMED TO THE GEOSPATIAL POSITIONING ACCURACY STANDARDS,
PART 2: STANDARDS FOR GEODETIC NETWORKS AT THE 2-CENTIMETER ACCURACY
CLASSIFICATION (95% CONFIDENCE) USING REAL TIME KINEMATIC AND TRADITIONAL
TRAVELER. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS
AMENDED; THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 47-30 SECTION
F-11-C-1 AND FURTHER THAT IT MEETS THE REQUIREMENTS OF THE STANDARDS OF
PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)."

THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA
OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF
LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS _____
DAY OF _____, A.D., 2024.

SIGNATURE L-1756

LEGEND

---	ROADWAY CENTERLINE
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	SHORELINE
□	EXISTING CONCRETE MONUMENT
□	SET CONCRETE MONUMENT
⊕	SET IRON ROD
○	EXISTING IRON ROD
○	EXISTING IRON PIPE
100	STREET ADDRESS
N.T.S.	NOT TO SCALE
P.C.	PLAT CABINET
D.B.	DEED BOOK
SL	SLIDE
SF	SQUARE FEET
AC	ACRES

LEGEND

---	ROADWAY CENTERLINE
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EXISTING DITCH CENTERLINE
---	EXISTING DITCH TOP OF BANK
---	PROPOSED SWALE W/ FLOW ARROW
---	PROPOSED SWALE HIGH POINT
---	FEMA BOUNDARY LINE
---	EXISTING 404 BOUNDARY
---	EXISTING GRADE CONTOUR
---	30' UNDISTURBED BUFFER (COUNTY)
---	EXISTING CULVERT
---	PROPOSED CULVERT
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD TRANSMISSION LINES
---	OHE OHE
---	EXISTING WATER LINE
---	EWL EWL
---	PROPOSED WATER LINE (SIZE AS NOTED)
---	WL WL
---	PROPOSED FIRE HYDRANT ASSEMBLY
---	PROPOSED WATER SERVICE
---	PROPOSED BLOW-OFF ASSEMBLY
---	PROPOSED VALVE
---	PROPOSED REDUCER
---	PROPOSED WALKING TRAIL

Bissell Professional Group
3572 North Carolina Highway
K-10, Box 10888, Raleigh, North Carolina 27619
(919) 291-3906
Fax (919) 291-1750

BISSELL
PROFESSIONAL GROUP
Engineers, Planners, Surveyors
and Environmental Specialists

COVER SHEET, DEVELOPMENT
NOTES & SITE LOCATION

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SUNRISE ON THE SOUND
CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PRELIMINARY LAND DEVELOPMENT PLANS

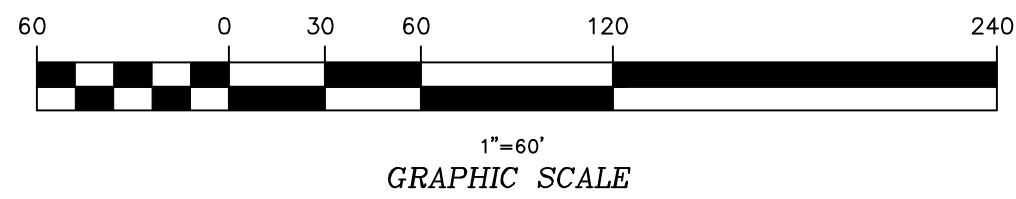
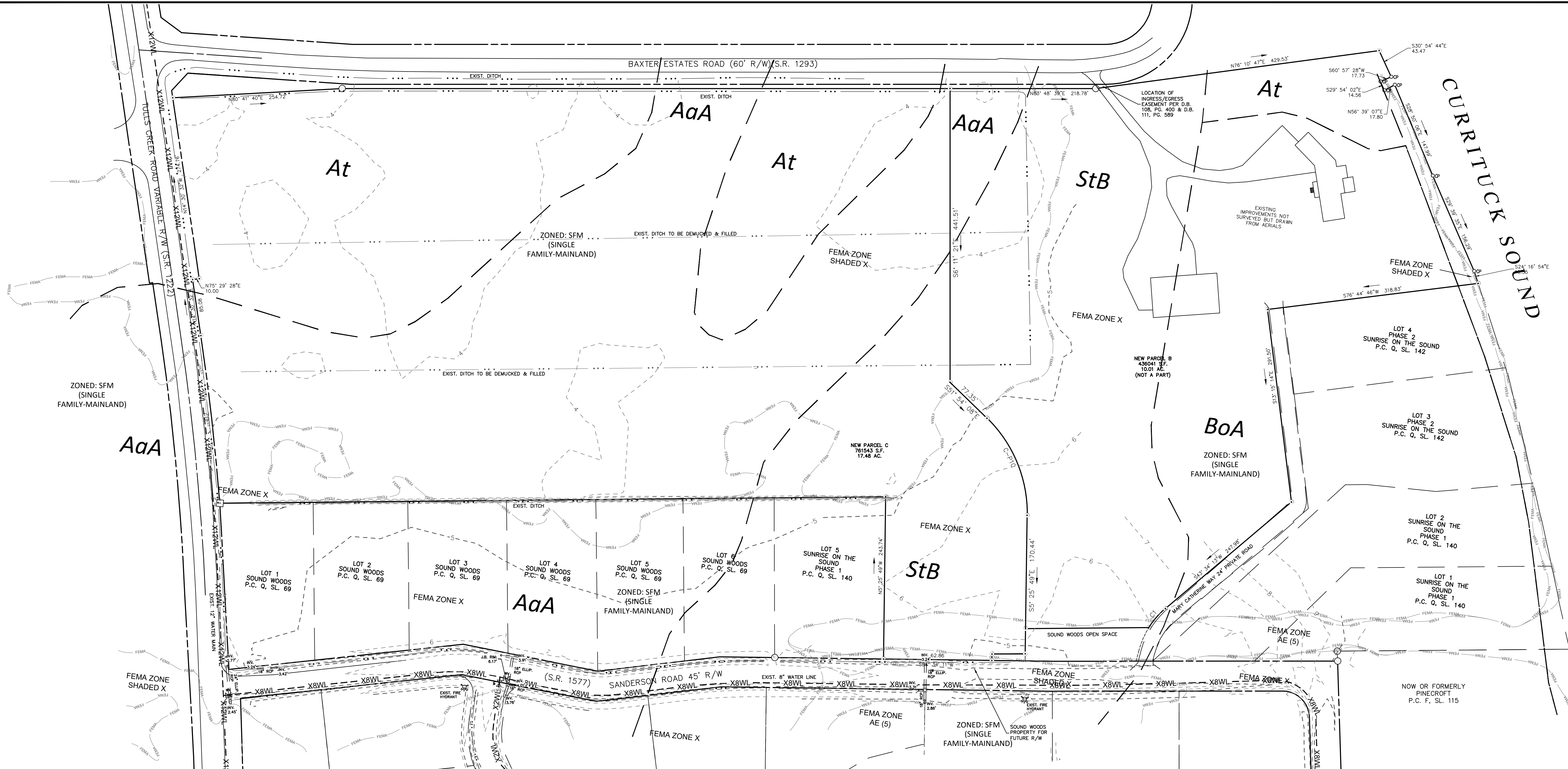
REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	3/22/24	TRC COMMENTS		

PRELIMINARY FOR REVIEW PURPOSES ONLY

DATE: 07/19/24 SCALE: N/A
 PREPARED: BPG CHECKED: MSB
 DRAWN: KFW APPROVED: BPG
 SHEET: 1 OF 6
 CAD FILE: 467900PP1
 PROJECT NO: 4679

S:\Projects\2024\Sunrise on the Sound\DWG\SET\TUMMARY.dwg 10/24/2024 8:32 AM Up: 10/24/2024 8:32 AM Up: 10/24/2024 8:32 AM Up: 10/24/2024 8:32 AM Up: 10/24/2024 8:32 AM



LEGEND	
	ROADWAY CENTERLINE
	RIGHT-OF-WAY
	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	SHORELINE
	EXISTING CONCRETE MONUMENT
	SET CONCRETE MONUMENT
	SET IRON ROD
	EXISTING IRON ROD
	EXISTING IRON PIPE
	STREET ADDRESS
	NOT TO SCALE
	PLAT CABINET
	D.B. BOOK
	SLIDE
	SF SQUARE FEET
	AC ACRES

SOILS LEGEND	
	SOILS LINE
AaA	ALTAVISTA FINE SANDY LOAM
At	AUGUSTA FINE SANDY LOAM
BoA	BOJAC LOAMY SOIL
StB	STATE FINE SANDY LOAM

LEGEND	
	ROADWAY CENTERLINE
	RIGHT-OF-WAY
	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	EXISTING DITCH CENTERLINE
	EXISTING DITCH TOP OF BANK
	EXISTING TREE LINE
	EXISTING WETLANDS
	EXISTING GRADE CONTOUR
	FEMA BOUNDARY LINE
	EXISTING CULVERT
	EXISTING WATER LINE

Blissell Professional Group
 3512 North Carolina Highway
 K-10, Box 1008, South Carolina 29149
 (803) 261-3906
 (803) 261-1700
 FAX (803) 261-1700

EXISTING CONDITIONS & SITE FEATURES PLAN
 THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY HAWK, NORTH CAROLINA. THE REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF MARK S. BISSELL, PRINCIPAL OF BPG, INC., COPYRIGHT 2005.

SUNRISE ON THE SOUND NORTH CAROLINA
 CRAWFORD TOWNSHIP CURRITUCK COUNTY
PRELIMINARY LAND DEVELOPMENT PLANS

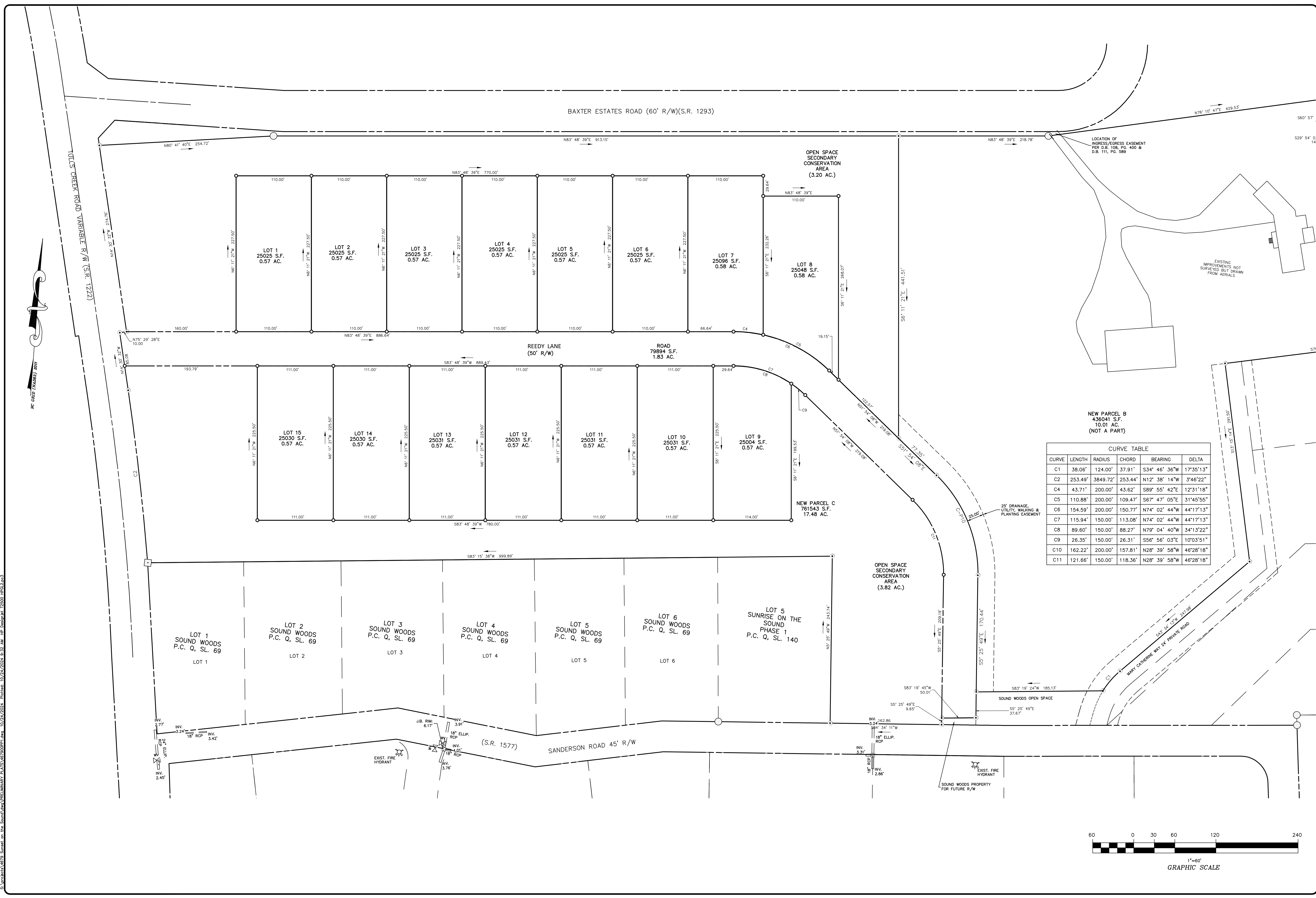
NO.	DATE	DESCRIPTION	BY

PRELIMINARY FOR REVIEW PURPOSES ONLY

DATE: 07/19/24	SCALE: 1" = 80'
DESIGNED: BPG	CHECKED: KFW
DRAWN: MSB	APPROVED: BPG
SHEET: 2	OF 6
CAD FILE: 467900PP1	PROJECT NO: 4679

S:\Projects\4679_Sunrise on the Sound\Drawings\PRELIMINARY\467900PP1.dwg 10/24/2024 9:32 AM hp DesignPlot 12500 hp022.dps

S:\Projects\4679_Sound on the Sound\Drawings\PRELIMINARY\467900PP1.dwg 10/24/2024 9:32 AM HP Desktop4 12500 HPGL2.plt



BISSSELL
 PROFESSIONAL GROUP
 Engineers, Planners, Surveyors
 and Environmental Specialists

PROPOSED PLAN OF
 SUBDIVISION

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SUNRISE ON THE SOUND
 NORTH CAROLINA

CRAWFORD TOWNSHIP CURRITUCK COUNTY

PRELIMINARY LAND DEVELOPMENT PLANS

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	10/24/2024	ISSUE COMMENTS		

PRELIMINARY FOR REVIEW PURPOSES ONLY

DATE: 07/19/24 SCALE: 1" = 60'

DESIGNED: BPG CHECKED: KFW

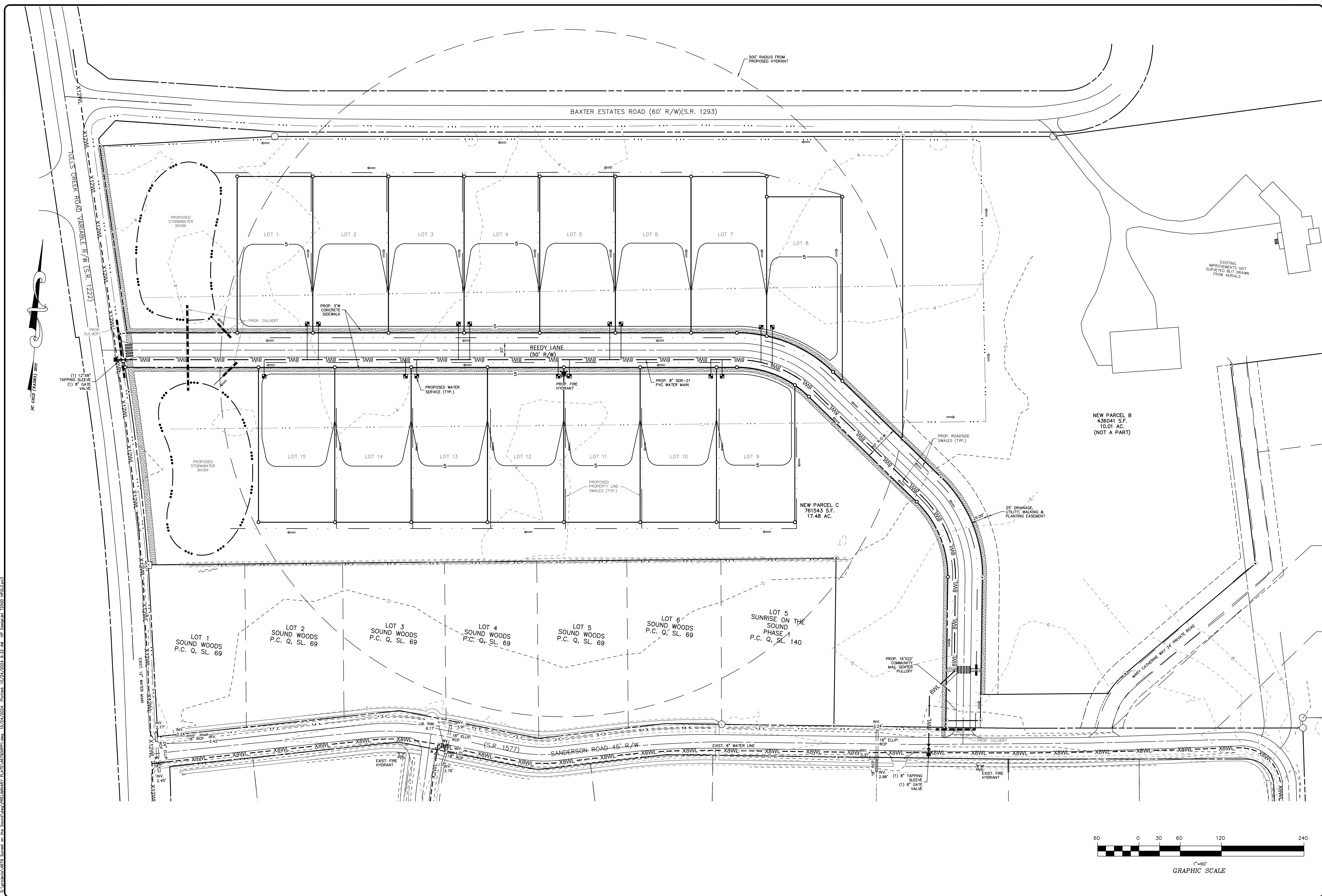
DRAWN: MSB APPROVED: BPG

SHEET: 3 OF 6

CAD FILE: 467900PP1

PROJECT NO: 4679

S:\projects\467900PP1.dwg 10/24/2024 9:32 AM User: bphillips 12500 HPCL2.dwg



Blissell Professional Group
 3512 North Carolina Highway
 K-10, Box 10888, Raleigh, North Carolina 27619
 (919) 281-2000
 FAX (919) 281-1700

Blissell Professional Group
 ENGINEERS, PLANNERS, SURVEYORS
 AND ENVIRONMENTAL SPECIALISTS

SUNRISE ON THE SOUND
 CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

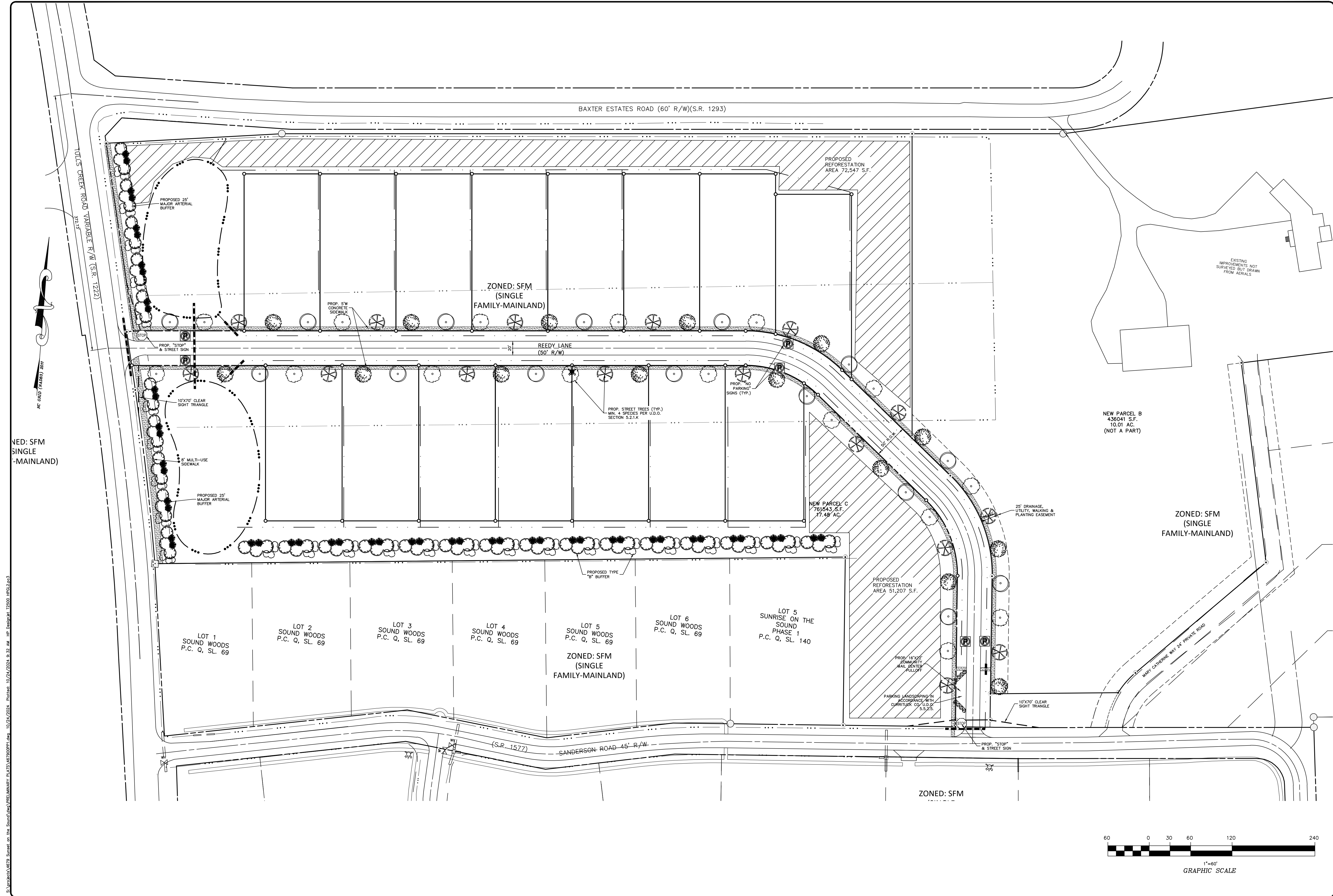
REVISIONS

NO.	DATE	DESCRIPTION
1	10/24/24	IBC COMMENTS

PRELIMINARY FOR REVIEW PURPOSES ONLY

DATE: 07/19/24 SCALE: 1" = 60'
 DESIGNED: BFG CHECKED: KFW
 DRAWN: MSB APPROVED: BFG
 SHEET: 4 OF 6
 CAD FILE: 467900PP1
 PROJECT NO: 4679

PROJECT: DRAINAGE, STORMWATER & POTABLE WATER PLAN
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LANDSCAPING, BUFFERING &
SIGNAGE PLAN
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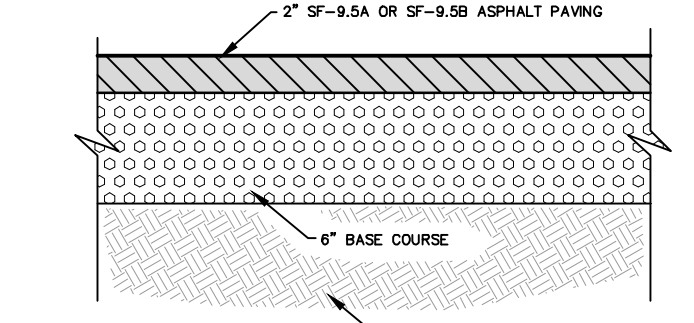
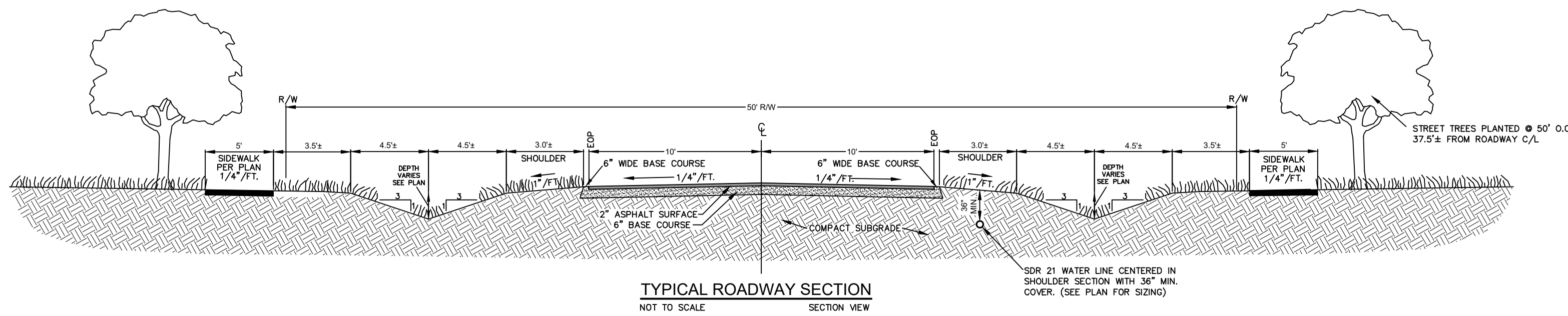
PROJECT: SUNRISE ON THE SOUND NORTH CAROLINA
CRAWFORD TOWNSHIP CURRITUCK COUNTY

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK
1	10/24/24	IBC COMMENTS		

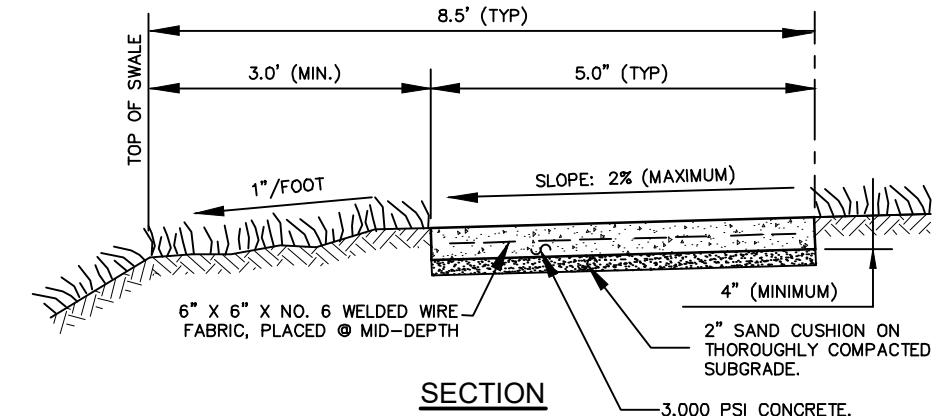
**PRELIMINARY
FOR REVIEW
PURPOSES ONLY**

DATE: 07/19/24 SCALE: 1" = 60'
DESIGNED: BPG CHECKED: KFW
DRAWN: MSB APPROVED: BPG
SHEET: 5 OF 6
CAD FILE: 467900PP1
PROJECT NO: 4679

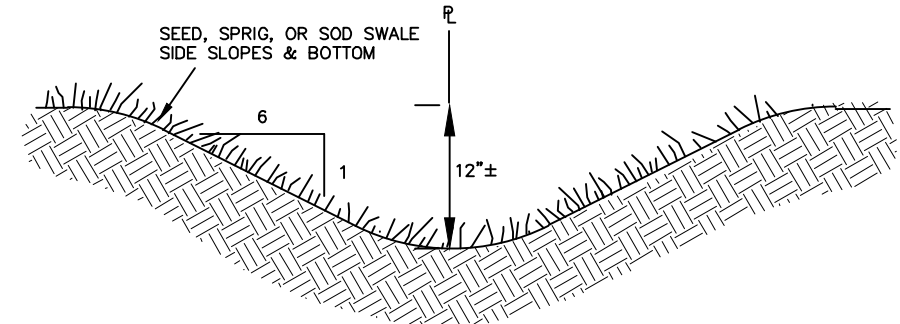


TYPICAL RESIDENTIAL ROADWAY PAVEMENT SECTION
NOT TO SCALE

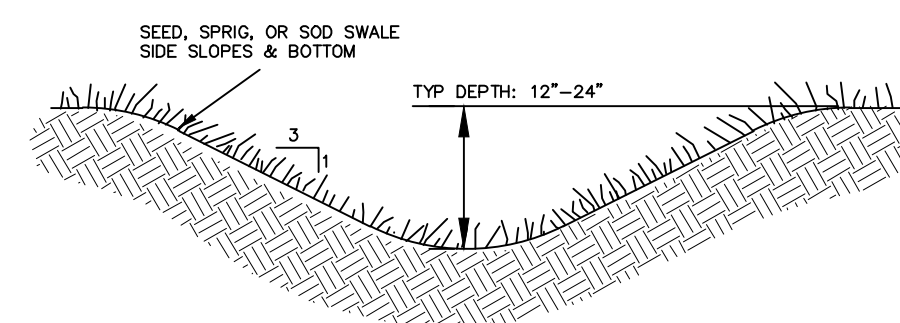
NOTE:
PAVING SHALL CONSIST OF FINE GRADING THE SPECIFIED PARKING & DRIVE AREAS AND INSTALLING 2\"/>



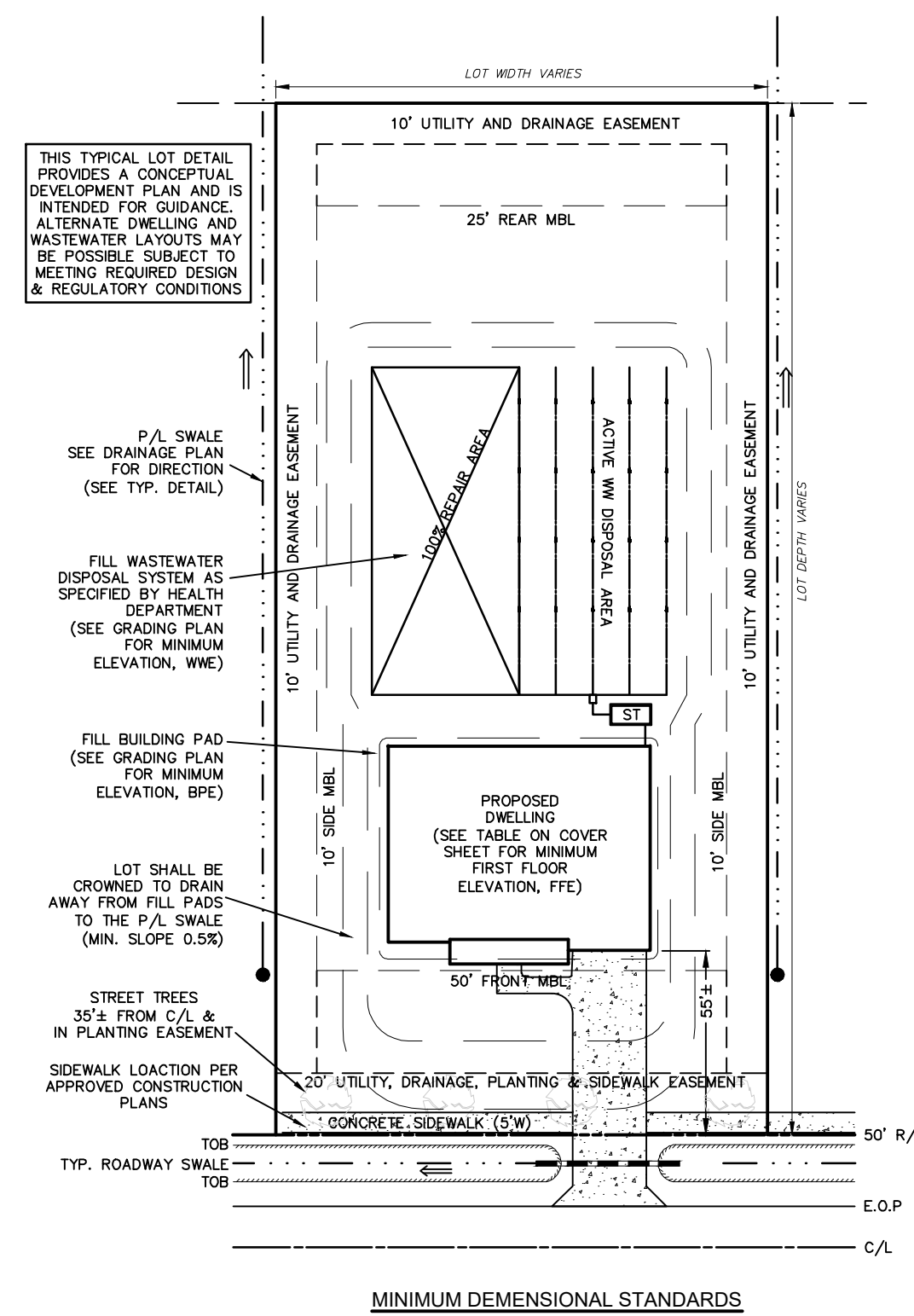
TYP. CONCRETE SIDEWALK DETAIL
NOT TO SCALE



TYPICAL PROPERTY LINE SWALE SECTION
NOT TO SCALE



TYPICAL ROADWAY SWALE SECTION
NOT TO SCALE



MINIMUM DIMENSIONAL STANDARDS
MINIMUM LOT SIZE = 25,025 SF
MINIMUM LOT WIDTH = 110'
SCALE 1"= 40'

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TYPICAL CONSTRUCTION DETAILS
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PROJECT: **SUNRISE ON THE SOUND** NORTH CAROLINA
CRAWFORD TOWNSHIP CURRITUCK COUNTY
PRELIMINARY LAND DEVELOPMENT PLANS

NO.	DATE	DESCRIPTION	BY

PRELIMINARY FOR REVIEW PURPOSES ONLY

DATE:	07/19/24	SCALE:	AS NOTED
DESIGNED:	BPG	CHECKED:	KFW
DRAWN:	MSB	APPROVED:	BPG
SHEET:	6	OF	6
CAD FILE:	467900PP1		
PROJECT NO:	4679		

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