

4 Perspective

3 Second Floor Plan 1/8" = 1'-0" 2 First Floor Plan 1/8" = 1'-0"







7 West Elevation
1/8" = 1'-0"



cahoon+kasten

118 West Woodhill Drive

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Project: **804 Retail Shops** 

Project No: **22084** 

Location: 804 Ocean Trail Corolla, NC

July 14, 2023

Title: **Preliminary** 

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the



Revisions:

No.	Description	Date	

Designed: Designer

Drawn: Author

Reviewed: Checker

# VICINITY MAP

# SITE PLAN NOTES:

- 1. OWNER/DEVELOPER: GOLASA HOLDINGS, LLC PO BOX 120 KITTY HAWK, NC 27949
- 2. THE OWNER INTENDS TO CONSTRUCT 2-STORY STRUCTURE WITH APPROXIMATELY 2,221 SF OF RETAIL SPACE ON THE FIRST FLOOR AND TWO (2) 2-BEDROOM APARTMENTS ON THE SECOND FLOOR.
- 3. THE PROPERTY IS PARCEL Y THIRD DIVISION OF LOT 3, TIMBUCK II PHASE -BUCK ISLAND, D.B. 1026, PG 598, D.B. 1668, PG. 569 CURRITUCK COUNTY PARCEL ID 116D000003B0000 CURRITUCK COUNTY PIN#: 9935-73-2011 PROPERTY ADDRESS: 804 OCEAN TRAIL, COROLLA
- 4. THE SITE IS LOCATED IN FIRM ZONE "X". FIRM MAP NUMBER 3720993500K, EFFECTIVE DATE DECEMBER 21, 2018. (SUBJECT TO CHANGE BY FEMA)
- 5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE SPECIFIED. ELEVATIONS SHOWN ARE HEREON PER NAVD88.
- 6. AREAS SHOWN ARE BY COORDINATE METHOD.
- 7. EXISTING SITE FEATURES AND SURVEY INFORMATION PROVIDED BY SEABOARD SURVEYING & PLANNING, INC. SURVEY DATED DECEMBER 22, 2016. EXISTING TOPOGRAPHY OBTAINED FROM NOAA 2019 AND COMPARED TO SURVEY DATA OBTAINED ALONG OCEAN TRAIL BY ALBEMARLE & ASSOCIATES, LTD. IN 2011. ELEVATIONS BASED UPON NAVD 1988.
- 8. THERE ARE NO DELINEATED WETLANDS ON THE PROJECT SITE.
- 9. THE PROPERTY IS ZONED SFO WITH A PUD OVERLAY DESIGNATED AS GB. RETAIL SALES ESTABLISHMENTS AND UPPER STORY DWELLINGS ARE ALLOWABLE USES WITHIN THE GB DISTRICT STANDARDS. ALL ADJACENT PROPERTIES ARE ZONED WITH THE SAME CLASSIFICATION.
- 10. MINIMUM BUILDING SETBACKS: REAR - 25'
- SIDE 15' 30' ALONG MID COUNTY BRIDGE CORRIDOR PER P.C. E, SL. 102.
- 11. TOTAL PROPERTY AREA = 19,378 SF AREA TO BE DISTURBED = 27,767 SF (0.64 ACRES) (INCLUDES WORK ALONG OCEAN TRAIL)
- 12. COVERAGE IS AS FOLLOWS:

EXISTING (PER 2016 SURVEY) BUILDING/DECK 991.05 SF

CONCRETÉ 314.93 SF 7,009.79 SF

ALL EXISTING FEATURES TO BE REMOVED

PROPOSED

2,349.02 SF BUILDING/STEPS 3,928.24 SF PARKING CONCRETE SIDEWALK 1,247.03 SF PERVIOUS SIDEWALK 142.01 SF DUMPSTER PAD' 80.00 SF 7,746.30 SF (39.97%)

ALLOWABLE COVERAGE 12,595.7 SF (65.0%)

13. PARKING REQUIREMENTS: RETAIL, GROUND FLOOR: (1 SPACE / 300 SF) \* (2,221 SF) = 7.4 SPACES DWELLING, UPPER FLOOR: (0.5 SPACE / DU) \* (2 DU) = 1.0 SPACE TOTAL REQUIRED PACKING SPACES: 8.4 SPACES

TOTAL PROVIDED SPACES: 9 SPACES

- 14. STORMWATER MANAGEMENT WILL BE ACCOMMODATED THROUGH INFILTRATION BASINS DESIGNED IN ACCORDANCE WITH CURRITUCK COUNTY REQUIREMENTS.
- 15. THE NRCS SOILS MAP FOR CURRITUCK COUNTY HAS MAPPED THE SOILS ON THIS SITE TO BE NEWHAN-COROLLA COMPLEX AND OSIER FINE SAND.
- 16. LIGHTS WILL BE DOMINION POWER BASIC SHOEBOX LED (8318 LUMENS / 150 WATT EQUIVALENT) WITH TYPE 4 DISTRIBUTION MOUNTED AT 25' ABOVE GRADE. LIGHTS FOR THIS SITE WILL BE PLACED IN ACCORDANCE WITH CURRITUCK
- 17. ALL SIGNS SHALL BE ERECTED, ALTERED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS IN THE CURRITUCK COUNTY CODE OF ORDINANCES.
- 18. SILT FENCE TO BE INSTALLED ON SITE AS SHOWN ON EROSION CONTROL/GRADING PLAN.
- 19. ALL DISTURBED AREAS SHALL BE STABILIZED WITH A COASTAL VEGETATION MIX.
- 20. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BUFFERING. ALL REQUIRED LANDSCAPING AND BUFFER AREAS SHALL BE MAINTAINED IN GOOD CONDITION SO AS TO PRESENT A HEALTHY AND ORDERLY APPEARANCE AND SHALL BE KEPT FREE FROM REFUSE AND DEBRIS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE REPLACEMENT OF PLANTS DAMAGED BY INSECTS, DISEASE, VEHICULAR TRAFFIC, AND VANDALISM.
- 21. ALL NEW UTILITIES ARE TO BE PLACED UNDERGROUND.
- 22. TRASH COLLECTION WILL BE VIA ON-SITE DUMPSTER.
- 23. WASTEWATER WILL BE CONNECTED TO THE CAROLINA WATER SERVICE WASTEWATER

# PRELIMINARY ONLY NOT FOR CONSTRUCTION

# **LEGEND**

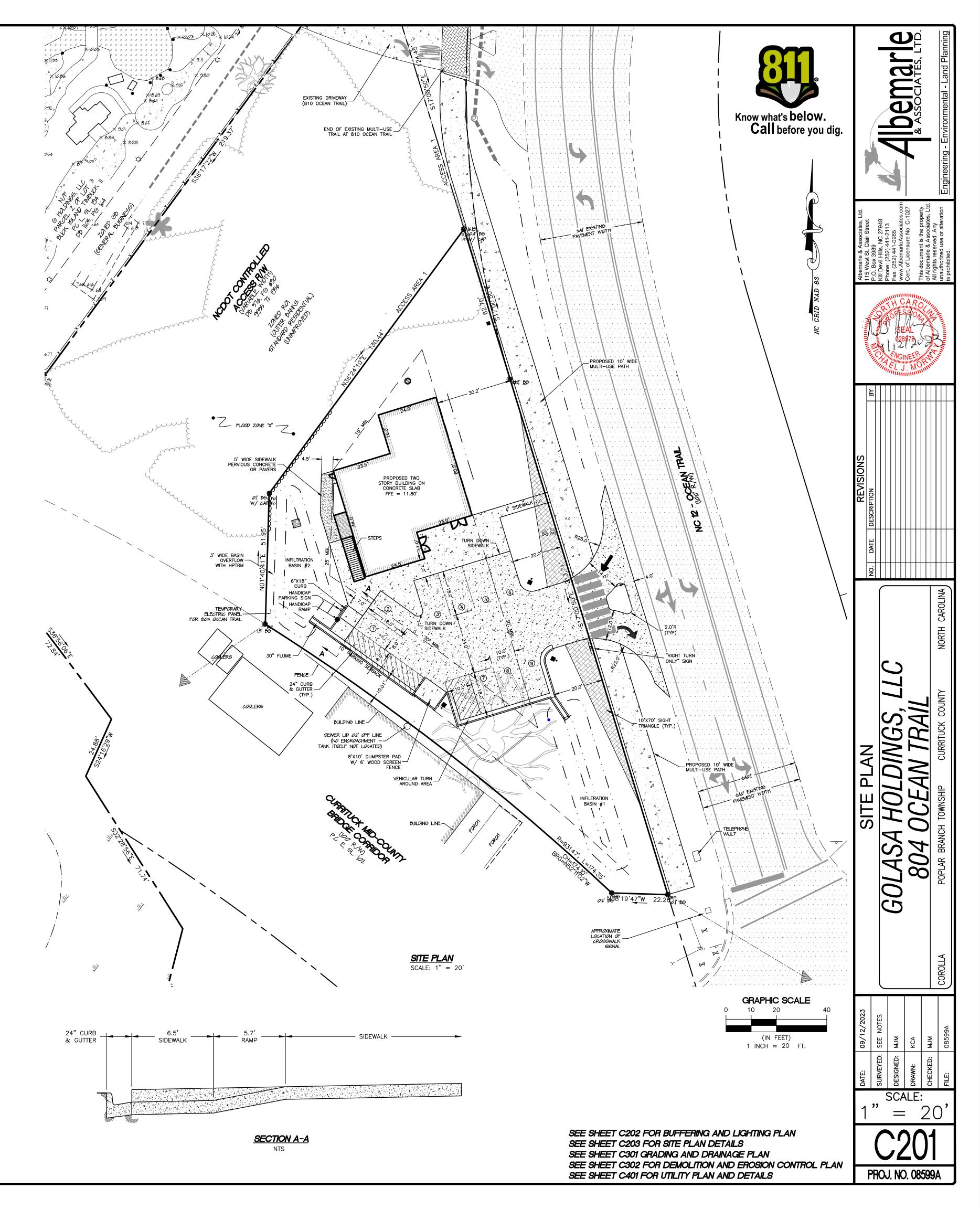
PROPOSED DRAINAGE PIPE

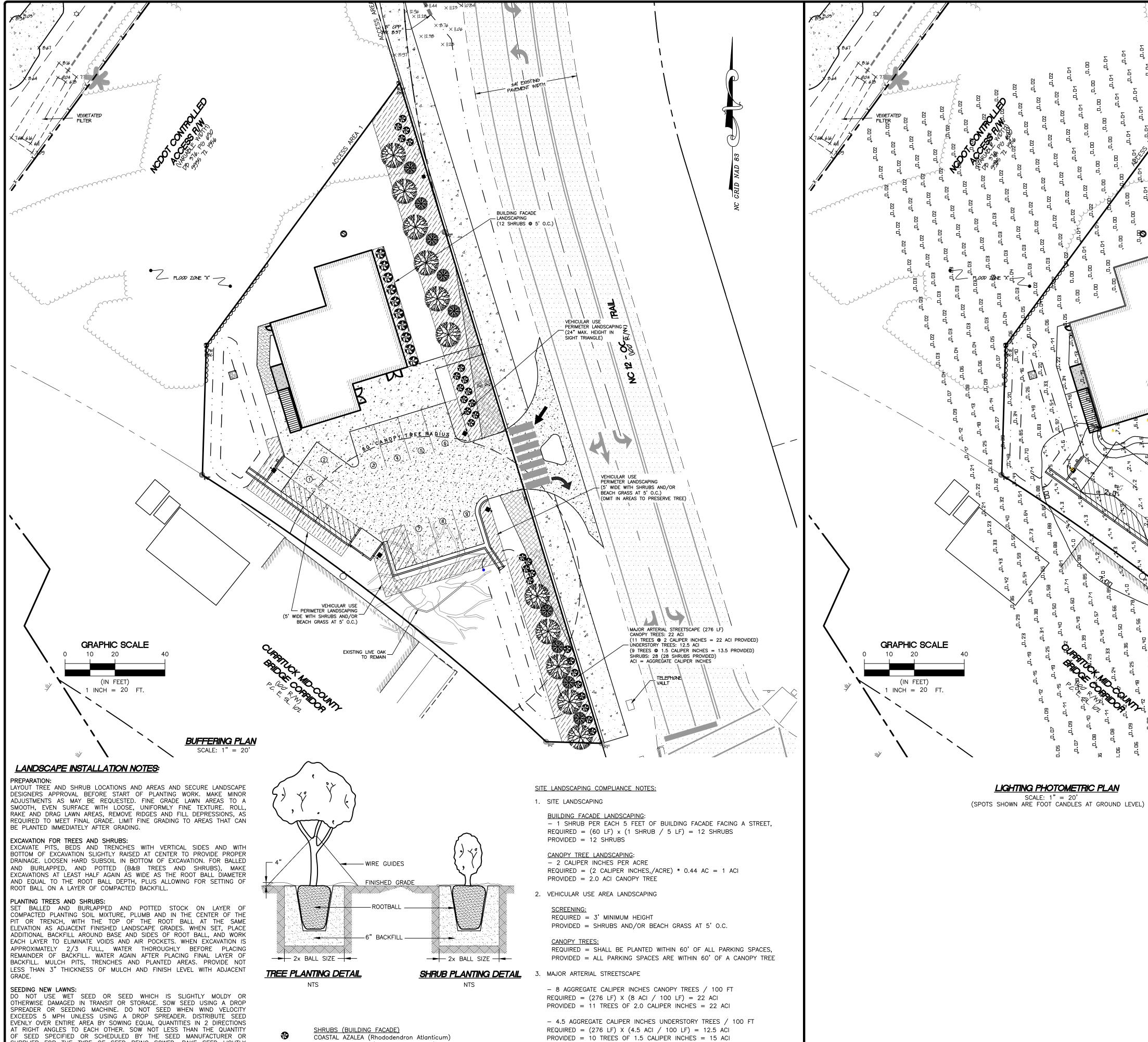
IRON ROD FOUND

PARKING LOT TRAFFIC FLOW

PAVEMENT MARKINGS

<b>●</b> PKF	PK NAIL FOUND	·	PROPOSED DITCH/SWALE
	RIGHT OF WAY	6	EXISTING SANITARY STRUCTURE
	PROPERTY BOUNDARY	$\bowtie$	EXISTING SANITARY VALVE
Q	EXISTING POWER POLE	<b>©</b>	PROPOSED SANITARY STRUCTURE
-<	EXISTING GUY WIRE	<b>——</b> SS <b>——</b>	PROPOSED SANITARY SEWER
	OVERHEAD ELECTRIC	—— FM ———	EXISTING FORCEMAIN
— VOE ———	UNDERGROUND ELECTRIC	n	EXISTING FIRE HYDRANT
— т———	UNDERGROUND TELEPHONE LINE		EXISTING WATER METER
— F <i>OC</i> ——	EXISTING COMMUNICATIONS LINE	M	EXISTING WATER VALVE
•	EXISTING TELEPHONE PEDESTAL	•	PROPOSED WATER METER
(F)	EXISTING FIBER OPTIC REFERENCE	—— w ——	EXISTING WATERLINE
<b></b>	PROPOSED LIGHT POLES EXISTING CONTOURS	- W	PROPOSED WATERLINE
10	PROPOSED CONTOURS		EXISTING GRAVEL
. NA.67	EXISTING SPOT ELEVATIONS	4 4 4 4 4	EXISTING CONCRETE
14.67	PROPOSED SPOT ELEVATIONS		EXISTING CONCILE
· · · · · · · · · · · · · · · · · · ·	EXISTING TREELINE		EXISTING ASPHALT PAVEMENT
<b>~~~~</b> .	PROPOSED TREELINE		PROPOSED CONCRETE
x	EXISTING FENCE		SILT FENCE
x	PROPOSED FENCE		
فر	HANDICAP PARKING		LIMITS OF DISTURBANCE





REQUIRED =  $(276 \text{ LF}) \times (4.5 \text{ ACI} / 100 \text{ LF}) = 12.5 \text{ ACI}$ 

PROVIDED = 10 TREES OF 1.5 CALIPER INCHES = 15 ACI

HALF OF BUILDING FACADE SHRUBS SHALL BE EVERGREEN.

REQUIRED =  $(276 \text{ LF}) \times (10 \text{ SHRUBS}/100 \text{ LF}) = 28 \text{ SHRUBS}$ 

4. SHRUBS SHALL BE 3 GALLON CONTAINERS AND 36" IN HEIGHT WITHIN 3 YEARS

5. BUILDING FACADE SHRUBS SHALL BE PLANTED WITHIN 15' OF BUILDING FACADE.

UNDERSTORY TREES SHALL BE 1.5" CALIPER (MINIMUM) AT TIME OF PLANTING.

6. CANOPY TREES SHALL BE 2.0" CALIPER (MINIMUM) AT TIME OF PLANTING.

- 10 SHRUBS / 100 LF

PROVIDED = 28 SHRUBS

OF PLANTING.

AT RIGHT ANGLES TO EACH OTHER. SOW NOT LESS THAN THE QUANTITY

OF SEED SPECIFIED OR SCHEDULED BY THE SEED MANUFACTURER OR

SUPPLIER FOR THE TYPE OF SEED BEING SOWED. RAKE SEED LIGHTLY

INTO TOP 1/8" OF SOIL, ROLL LIGHTLY AND WATER WITH A FINE SPRAY.

LAY TURF STARTING IN THE CENTER AND WORKING TOWARDS THE SIDES.

TURF SHALL BE LAID PARALLEL TO THE LONGEST EDGE OF FINISHED AREA

AND SHALL BE LAID WITH STAGGERED SEAMS. EDGE TURF AFTER

DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREA IN

AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM

CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR

DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER

INSTALLATION IS COMPLETED. WATER THOROUGHLY.

REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.

INDIAN HAWTHORN (Rhaphiolepis Indica)

JAPANESE PITTOSPORUM (Pittosporum Tobira)

COASTAL AZALEA (Rhododendron Atlanticum)

SHRUBS (VEHICULAR USE AREA)

UNDERSTORY TREES

RED MAPLE (Acer Rebrum)

RIVER BIRCH (Betula Nigra)

CANOPY TREES

Know what's **below. Call** before you dig. LIGHTING PHOTOMETRIC PLAN

Luminaire list (Site 1)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
1	Not yet a DIALux member	Autobahn Small P203 Package Roadway Type IV 3000K 60W	ATB0 P203 R4 3K 60W	1x	8318 lm	0.80	60 W	4
2	Not yet a DIALux member	SMALL SURFACE MOUNT CANOPY FIXTURE WITH DIFFUSE LENS, (1) 5000K LED MODULE WITH (14) LEDS PER MODULE AND (1) INVENTRONICS ELECTRONIC DRIVER.	SSCLED101017X 5XDIMXXFRRXWB LD	1x X1-5000K LED MODULE	1462 lm	0.80	16.1 W	6

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Overall Site	Perpendicular illuminance (Adaptive)	0.000 fc	11.3 fc	0.60 fc	_	_
		Luminance (Adaptive)	0.000 cd/m²	7.73 cd/m²	0.41 cd/m²	_	_

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SCALE:

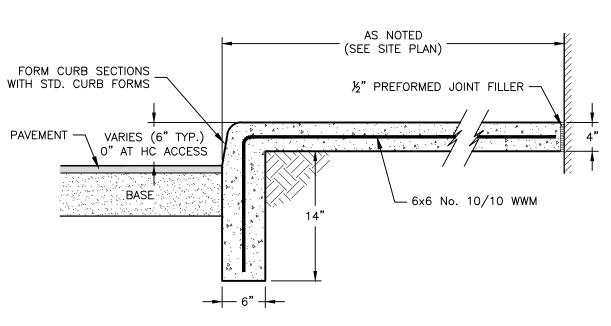
PROJ. NO. 08599A

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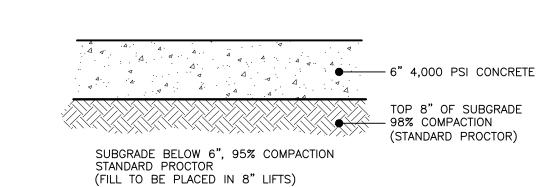
TING

BUFFERING

PAVEMENT (SEE DETAIL)

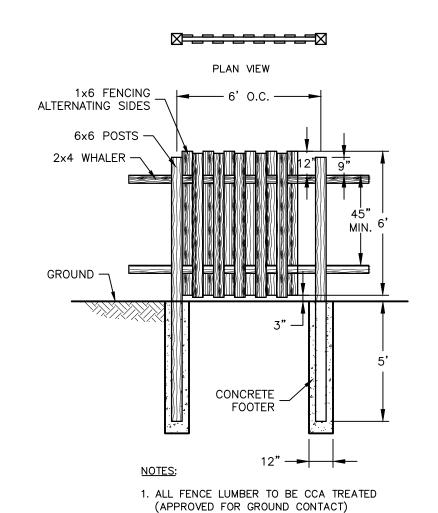


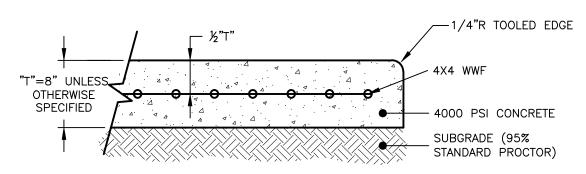
TURN DOWN SIDEWALK



STANDARD CURB AND GUTTER





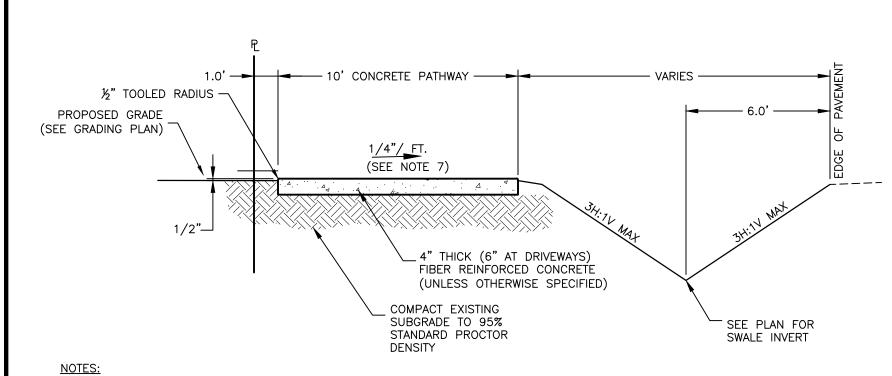


SCREENED FENCE DETAIL

3. 2" x 4" DIAGONAL BRACING TO BE PROVIDED AT FENCE CORNERS.

2. ALL FASTNERS, HINGES, LATCHES OR OTHER HARDWARE TO BE HOT DIPPED GALVANIZED.

CONCRETE DUMPSTER PAD DETAIL



- 1. ALL CONCRETE SHALL BE 3,000 PSI, 4" THICK, UNLESS NOTED OTHERWISE. DRIVE APRONS AND PATHWAY AT DRIVEWAYS SHALL BE 6" THICK CONCRETE SHALL BE PREPARED IN ACCORDANCE WITH ACI 211.1, ACI 301 AND ASTM C94.
- 2. CONTROL JOINTS SHALL BE PLACED PERPENDICULAR TO THE EDGE OF PAVEMENT AT 5' SPACING. CONTROL JOINTS SHALL BE SAWED. 3. EXPANSION JOINTS SHALL BE PLACED AT THE END OF EACH SECTION OF CONSTRUCTION INCLUDING THE LOCATIONS THAT PAVEMENT ABUTS EXISTING PAVEMENT AND AT 30' INTERVALS. EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK AND CONFORM TO ASTM D 1751.
- 4. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. 5. A BROOMED SURFACE FINISH SHALL BE PROVIDED UNLESS OTHERWISE APPROVED BY THE OWNER.
  6. TESTING SHALL BE PROVIDED BY THE CONTRACTOR.
- 7. REFER TO PLANS FOR SLOPE DIRECTION.

# CONCRETE SIDEWALK DETAIL

PRELIMINARY ONLY NOT FOR CONSTRUCTION



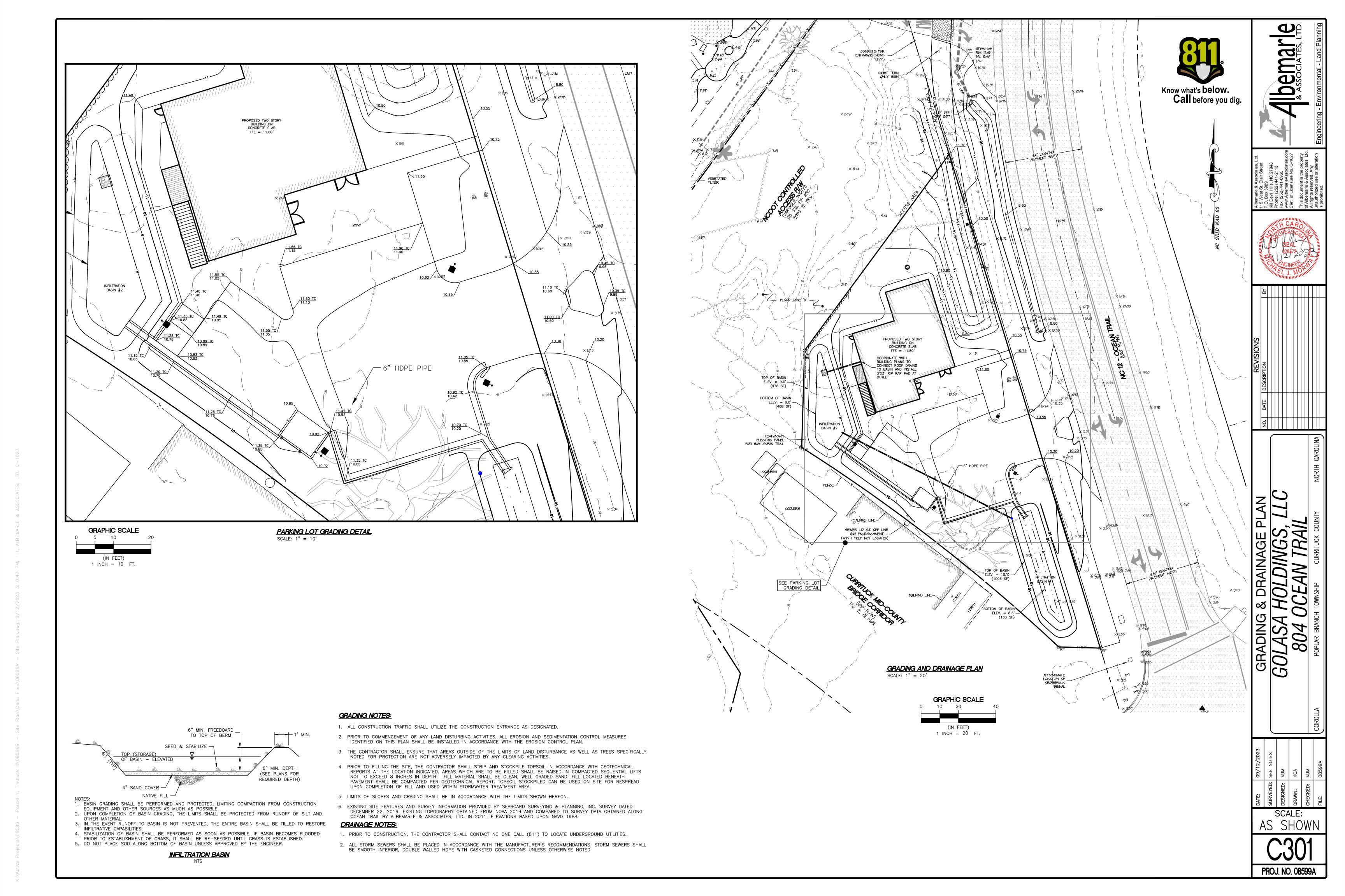


6. STANDARD SIGN COLORS: BACKGROUND - WHITE, LETTERING/BORDER — GREEN, FIGURE — WHITE ON BLUE FIELD. HANDICAPPED PARKING SIGN DETAIL

"VAN ACCESSIBLE" WHERE APPLICABLE 18"x24" ALUMINUM SIGN "ONE WAY" BOLTED
WITH (2) %" CADMIUM PLATED
BOLTS, NUTS AND WASHERS 1'-0"x1'-6"x.080" ALUMINUM HANDICAP PARKING SIGN. SIGN TO READ "RESERVED PARKING" WITH IDENTIFICATION SYMBOL, BOLTED TO SIDE OF BUILDING OR WOOD POST WITH 3/8" CADMIUM PLATED BOLTS, NUTS AND WASHERS. "MAXIMUM PENALTY \$250" & \_ REFERENCE TO GS 20-37.6 CORNER RADIUS: 1-1/2" (TYPICAL) 4"x4" STYP POST WOOD POST 1. REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVEGROUND SIGNS ONLY (SEE 2. NEW SPACES SHALL NOT USE GROUND-PAINTED 3. ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOT REQUIRED. 4. STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)

5. CONDITION 1: PEDESTRIAN PATH DOES NOT PASS UNDER OR AROUND SIGN. CONDITION 2: PEDESTRIAN LEGEND BACKGROUND - WHITE (RETROREFLECTIVE) PATH GOES BY, UNDER, OR AROUND SIGN.

"RIGHT TURN ONLY" SIGN DETAIL



#### I. NARRATIVE:

GOLASA HOLDINGS, LLC INTENDS TO CONSTRUCT A TWO STORY STRUCTURE WITH RETAIL SPACE BELOW AND (2) APARTMENTS ABOVE. THE CONSTRUCTION WILL INCLUDE NEW DRIVEWAY AND PARKING AREA, STORMWATER MANAGEMENT BASINS, UTILITY CONNECTIONS AND OTHER SITE IMPROVEMENTS. THE SITE IS LOCATED ON 0.45 ACRES LOCATED AY 804 OCEAN TRAIL IN COROLLA, NC. APPROXIMATELY 0.50 ACRES OF THE SITE ARE TO BE DISTURBED. CONSTRUCTION IS SCHEDULED TO BEGIN IN THE FALL OF 2023.

THE SITE IS LEVEL SANDY SOILS. MUCH OF THE SITE IS CURRENTLY COVERED IN GRAVEL AS WELL AS DECKING AND A SMALL STRUCTURE THAT REMAIN.

DISTURBED AREAS ARE TO BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION ACCORDING TO THE SEQUENCE OF CONSTRUCTION.

#### II. SOILS DESCRIPTION:

SOIL TYPES AS MAPPED IN THE SOIL SURVEY OF (COUNTY) COUNTY:

NEWHAN-COROLLA COMPLEX (NhC) OUSIER FINE (Os)

#### III. CONSTRUCTION SEQUENCE:

 OBTAIN SITE PLAN APPROVAL OBTAIN ALL NECESSARY ENVIRONMENTAL PERMITS

#### FLAG OR STAKE WORK LIMITS HOLD PRE—CONSTRUCTION MEETING

#### PHASE ONE:

INSTALL SILT FENCING

 UTILIZE EXISTING DRIVEWAY AS INITIAL CONSTRUCTION ENTRANCE. MAINTAIN DRIVEWAY IN SWEPT CONDITION SO PREVENT SOIL FROM BEING TRACKED ONTO THE ROADWAY.

• INSTALL TREE PROTECTION AT LIVE OAK. CLEAR LOT OF EXISTING VEGETATION AS SHOWN

 PLACE FILL MATERIALS AND ROUGH GRADE NEW STORMWATER BASINS COMMENCE CONSTRUCTION OF NEW STRUCTURE AND SEWAGE PUMP STATION.

 CONSTRUCT NEW PAVEMENT CLEANOUT SEDIMENT OUT IF STORMWATER BASINS AND FINE GRADE SEED, FERTILIZE AND WATER DISTURBED AREA TO STABILIZE

#### IV. SEDIMENTATION AND EROSION CONTROL NOTES:

1. PRECONSTRUCTION CONFERENCE: PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER'S REPRESENTATIVE AND A REPRESENTATIVE OF THE MUNICIPALITY (IF REQUIRED) IN ORDER TO IDENTIFY AND MARK SPECIFIC FLEMENTS WHICH ARE TO BE PROTECTED. TREES SHALL BE PROTECTED IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENTATION CONTROL

2. INSTALLATION OF EROSION CONTROL MEASURES: PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, ALL EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS AND ALL PERMIT CONDITIONS.

PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL HAVE THE APPROPRIATE UNDERGROUND UTILITIES LOCATED. CONTACT NC811 AT 811 OR 800-632-4949. UTILITIES SHOWN ARE TAKEN FROM EXISTING RECORDS, FIELD OBSERVATIONS AND/OR UTILITY LOCATING SERVICE AND ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE.

ALL CONSTRUCTION TRAFFIC SHALL UTILIZE THE CONSTRUCTION ENTRANCE AS DESIGNATED ON THIS PLAN.

5. LIMITS OF DISTURBANCE: THE CONTRACTOR SHALL ENSURE THAT AREAS OUTSIDE OF THE LIMITS OF LAND DISTURBING AS WELL AS EXISTING IMPROVEMENTS SPECIFICALLY NOTED TO REMAIN ARE NOT ADVERSELY IMPACTED BY ANY CLEARING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ITEMS DAMAGED OUTSIDE THE LIMITS OF DISTURBANCE OR OTHERWISE NOTED TO

EXPOSED SWALES, DITCHES, DIKES OR OTHER SLOPES STEEPER THAT 3(H):1(V) SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVÈR WÌTHIN 7 CALENDAR DAYS. ALL OTHER EXPOSED EARTHEN AREAS SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVER WITHIN 14 CALENDAR DAYS OF THE COMPLETION OF ANY PHASE OF GRADING.

# INSPECTIONS REQUIRED:

SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN COMPLETED SELF-INSPECTION / MONITORING FORMS (COMPLETED WEEKLY WITH DAILY RAINFALL TOTALS) THROUGHOUT THE PROJECT. THE SITE SHALL ALSO BE INSPECTED AFTER ANY RAINFALL EVENT EQUAL OR GREATER THAN 0.5 INCHES OVER A 24 HOUR PERIOD.

#### 8. CORRECTIVE MEASURES: ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT

CONSTRUCTION UNTIL WORK IS COMPLETE AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. IF EXCESSIVE WIND EROSION OR STORM WATER RUNOFF DEVELOPS DURING TIME OF CONSTRUCTION IN ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SAND OR SILT FENCE SHALL BE INSTALLED AS DIRECTED BY ENGINEER, SEE SAND OR SILT FENCE DETAIL.

# 9. DEBRIS REMOVAL:

ALL CLEARING DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN A LAWFUL MANNER. NO BURNING OF DEBRIS ON SITE IS PERMITTED. NO ON-SITE BURNING IS PERMITTED UNLESS OTHERWISE APPROVED BY THE LOCAL FIRE MARSHALL, MUNICIPAL AGENCY OF JURISDICTION AND THE

# 10. EXCAVATION AND EMBANKMENT:

ANY OFF-SITE MATERIAL BROUGHT ONTO TO THE SITE TO BE USED FOR GRADING FILL SHALL BE OBTAINED FROM A PERMITTED BORROW PIT. FILL SHALL CONFORM TO PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT. NO BORROW IS PERMITTED FROM THE SITE.

11. EXISTING INFORMATION: EXISTING SITE FEATURES AND SURVEY INFORMATION PROVIDED BY SEABOARD SURVEYING & PLANNING, INC. SURVEY DATED DECEMBER 22, 2016. EXISTING TOPOGRAPHY OBTAINED FROM NOAA 2019 AND COMPARED TO SURVEY DATA OBTAINED ALONG OCEAN TRAIL BY ALBEMARLE & ASSOCIATES, LTD. IN 2011. ELEVATIONS BASED UPON NAVD 1988.

# V. DEMOLITION NOTES

ALL EXISTING IMPROVEMENTS SHOWN WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED UNLESS SPECIFICALLY NOTED TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL TO AN OFFSITE LOCATION PROVIDED BY THE

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CAREFULLY REMOVE ALL ITEMS SHOWN TO BE RELOCATED. PRIOR TO REMOVAL, ANY CONDITIONS THAT PREVENT SUCH REMOVAL OR EXISTING DAMAGE TO THE ITEMS SHALL BE REPORTED TO THE OWNER IMMEDIATELY. CONTRACTOR WILL BE RESPONSIBLE FOR ITEMS DAMAGED DURING THE

# **WARNING:**

LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HAS BEEN TAKEN FROM RECORD DRAWINGS. EXACT LOCATION OF THESE UTILITIES IS UNKNOWN. LOCATION OF OTHER UNDERGROUND UTILITIES IS UNKNOWN AND HAS NOT BEEN SHOWN ON THESE DRAWINGS. ALL UNDERGROUND UTILITIES ENCOUNTERED SHALL IMMEDIATELY BE REPORTED TO THE

#### SEEDING SCHEDULE

APRIL 1 - MAY 15: PERMANENT SEEDING SPECIES

K-31 FESCUE 3 LB/1000 SF

COMMON BERMUDAGRASS 1 LB/1000 SF WINTER RYE GRAIN 3 LB/1000 SF NOTE: DELETE RYE GRAIN IF OVERSEEDING ESTABLISHED RYE OR FESCUE

#### <u>MAY 15 - JULY 16; PERMANENT SEEDING</u>

SPECIES

K-31 FESCUE 3 LB/1000 SF COMMON BERMUDAGRASS 1 LB/1000 SF GERMAN MILLET 3 LB/1000 SF

NOTE: DELETE MILLET IF OVERSEEDING ESTABLISHED MILLET OR FESCUE. DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.

DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.

#### <u> AUGUST 15 - APRIL 1; TEMPORARY SEEDING</u> SPECIES

K-31 FESCUE 3 LB/1000 SF 5 LB/1000 SF

# WINTER RYE GRAIN

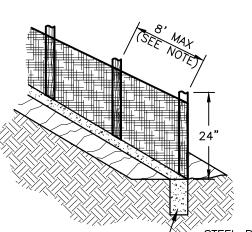
SOIL AMENDMENTS APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 500 LB PER ACRE OF 10-10-10 FERTILIZER.

USE JUTE, EXCELSIOR MATTING OR OTHER EFFECTIVE CHANNEL LINING MATERIAL TO COVER BOTTOM AND SIDES OF SWALES. ANCHOR MATTING PER MANUFACTURERS RECOMMENDATIONS. HYDROSEEDING IS ALSO AN ACCEPTABLE METHOD OF TEMPORARY STABILIZATION.

#### <u>MAINTENANCE</u>

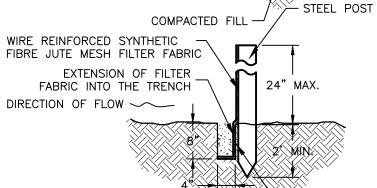
A MINIMUM OF 3 WEEKS IS REQUIRED TO FOR ESTABLISHMENT. INSPECT AND REPAIR MULCH FREQUENTLY. FERTILIZE THE FOLLOWING SPRING WITH 50 LB/ ACRE NITROGEN.

#### SITE STABILIZATION REQUIREMENTS SITE AREA STABILIZATION TABILIZATION TIME FRAME **EXCEPTIONS** DESCRIPTION TIME FRAME PERIMETER DIKES, SWALES, DITCHES AND 7 DAYS NONE SLOPES HIGH QUALITY WATER 7 DAYS NONE (HQW) ZONES IF SLOPES ARE 10' OR SLOPES STEEPER LESS IN LENGTH AND ARE 7 DAYS NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED 7-DAYS FOR SLOPES SLOPES 3:1 OR 14 DAYS GREATER THAN 50 FEET FLATTER IN LENGTH NONE (EXCEPT FOR ALL OTHER AREAS PERIMETER AND HQW WITH SLOPES FLATTER 14 DAYS ZONES) THAN 4:1

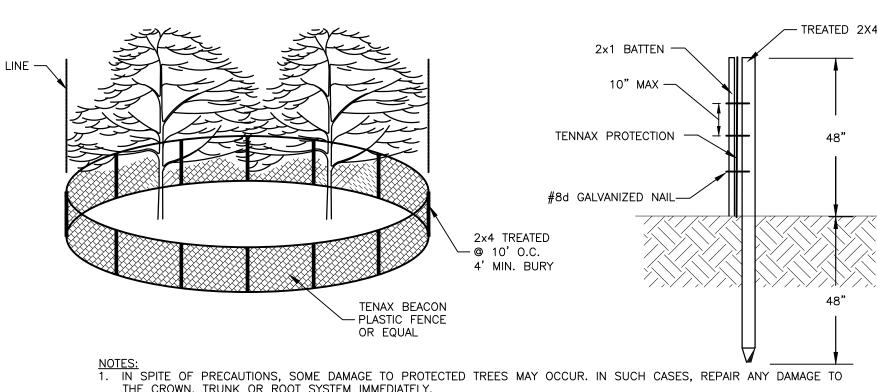


NOTES: 1. 6' POST SPACING FOR NON-WIRE REINFORCED FENCE. 8' POST SPACING PERMITTED IF FENCE CONTAINS REINFORCING 4' MINIMUM OVERLAP REQUIRED (ATTACHED AT

POSTS) WHEN JOINING SECTIÓNS OF SILT FENCE. SILT FENCE SHALL BE ATTACHED TO STEEL POSTS USING A MINIMUM OF 3 WIRE OR PLASTIC TIES.



# SILT FENCE DETAIL

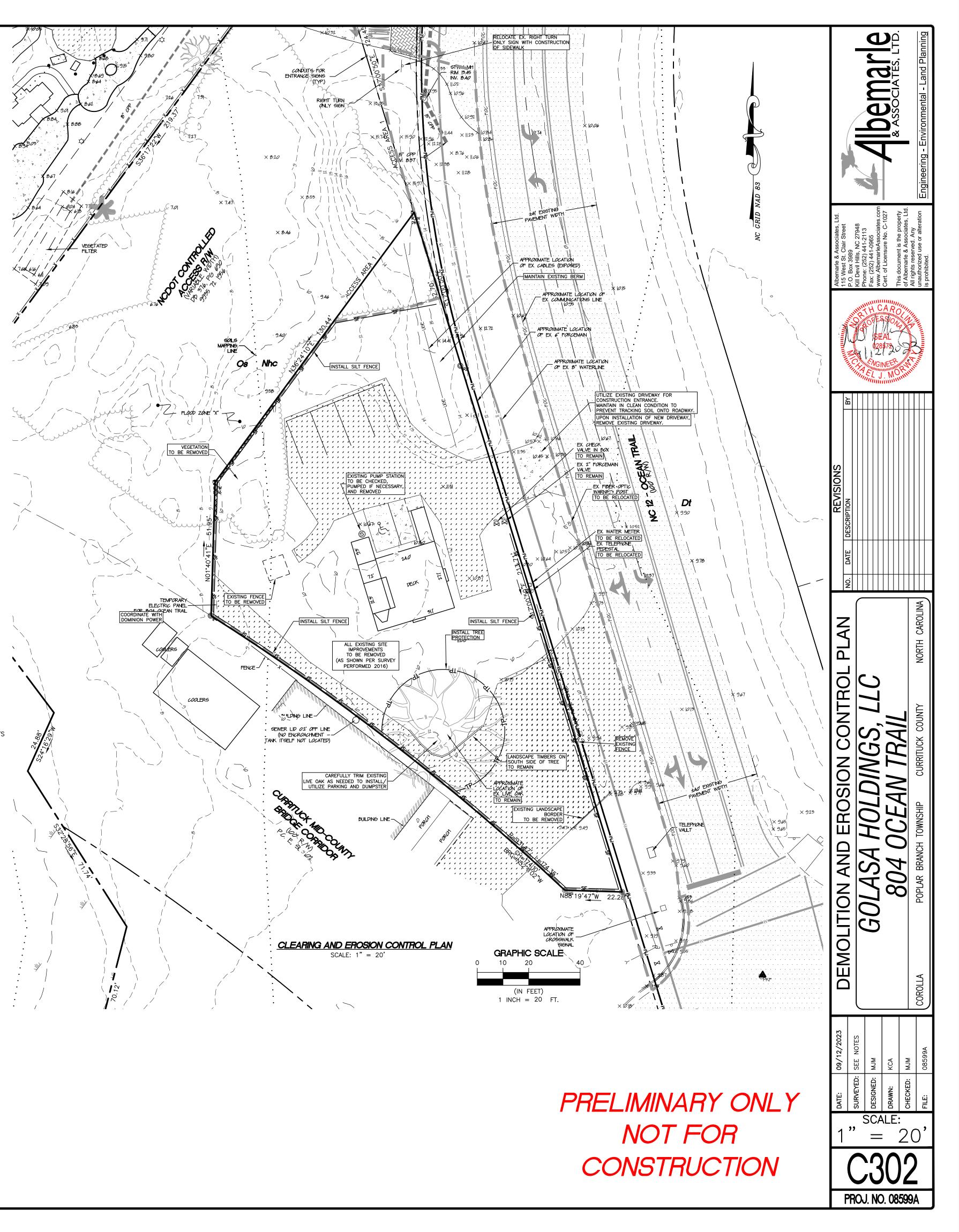


- THE CROWN, TRUNK OR ROOT SYSTEM IMMEDIATELY. 2. REPAIR ROOTS BY COVERING DAMAGED ROOTS WITH MOIST TOPSOIL OVER EXPOSED ROOTS.
- 3. REPAIR DAMAGE TO BARK BY TRIMMING AROUND THE DAMAGED AREAS. TAPER THE CUT TO PROVIDE DRAINAGE, AND PAINT WITH TREE PAINT. 4. CUT OFF ALL DAMAGED TREE LIMBS ABOVE THE TREE COLLAR AT THE TRUNK OR MAIN BRANCH. USE THREE SEPARATE

5. BARRIER SHOULD BE INSTALLED OUTSIDE THE DRIP LINE OF TREE BRANCHES AS FAR AS PRACTICAL.

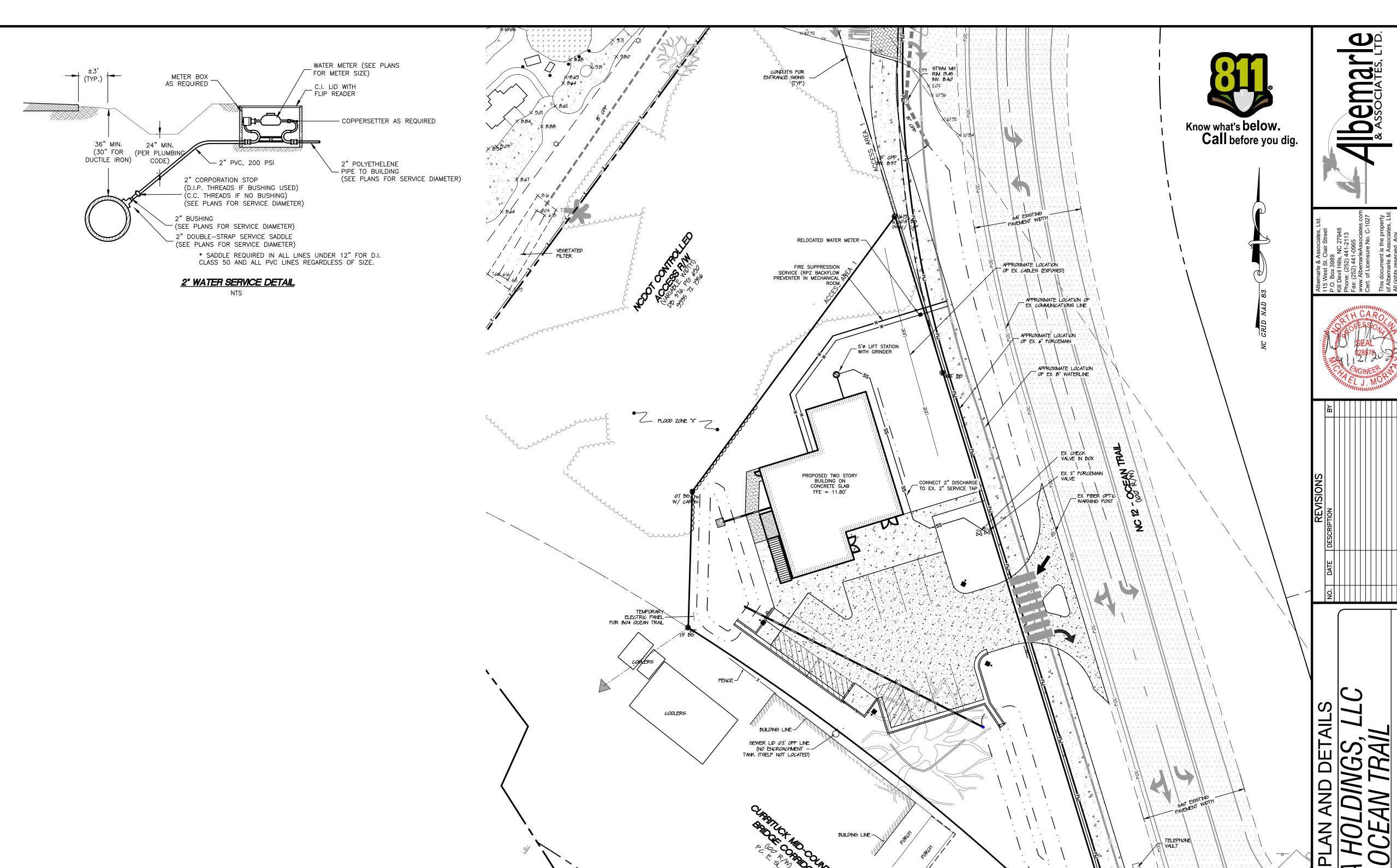
CUTS TO AVOID PEELING BARK FROM HEALTHY AREAS OF THE TREE.

TREE PROTECTION DETAIL



#### <u>WASTEWATER PUMP STATION NOTES:</u>

- THE LIFT STATION IS DESIGNED TO SERVE 804 OCEAN TRAIL. THE LIFT STATION IS DESIGNED TO SERVE 2,474 SF PF RETAIL SPACE AND TWO (2—BEDROOM) APARTMENTS WITH AN AVERAGE DAILY FLOW OF X,XXX GPD. THE SYSTEM WILL BE INSTALLED BY GOLASA HOLDINGS, LLC. UPON ACCEPTANCE, THE SYSTEM WILL BE OWNED AND OPERATED BY THE CAROLINA WATER SERVICE, INC.
- 2. ALL COMPONENTS OF THE SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE CONTRACT DRAWINGS, SPECIFICATIONS AND SECTION 15 NCAC.02T CURRENT EDITION.
- 3. THE CONTRACTOR SHALL SUBMIT A LIST OF MATERIALS FOR APPROVAL TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 4. ROUTINE INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE ENGINEER AND UTILITY COMPANY. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING THE SYSTEM IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- 5. ANY FIELD CHANGES TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND CAROLINA WATER SERVICE, INC. AND SHALL BE ACCURATELY INDICATED ON THE AS—BUILT DRAWINGS.
- 6. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY AGENCY HAVING JURISDICTION. HE SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION
- 7. THE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS TO A CONDITION EQUAL TO OR BETTER THAN THOSE EXISTING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE OWNER RESERVES THE RIGHT TO STOP WORK IF AND WHEN, IN THE SOLE OPINION OF THE OWNER, CLEANUP, RESTORATION OR PUBLIC SAFETY ARE NOT BEING PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL NOTIFY NC ONE CALL IF NECESSARY.
- 9. HORIZONTAL AND VERTICAL ORIENTATION OF EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED.
  THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO
  COMMENCEMENT OF CONSTRUCTION.
- 10. THE ALARM SHALL ACTIVATE UPON THE HIGH WATER LEVEL, POWER FAILURE, AND EACH PUMP FAILURE. THE ALARM WILL INCLUDE A TEST FUNCTION. AN INDEPENDENT FLOAT SWITCH SHALL BE PROVIDED TO ACTIVATE THE TELEMETRY SYSTEM.
- 11. ALL ALARMS, BOTH AUDIO AND VISUAL, SHALL BE PLACED TO BE VISIBLE FROM THE EXTERIOR OF THE
- 12. TANK DIMENSIONS SHOWN ARE BASED UPON \_\_\_\_\_\_. CONTRACTOR TO VERIFY SEWER INVERTS FROM BUILDING, TANK DIMENSIONS AND BOTTOM OF TANK ELEVATION BASED UPON TANK SUPPLIED. SEWER INVERTS SHALL BE MAINTAINED. ALL TANKS SHALL BE STATE APPROVED. ALL TANKS SHALL BE TESTED FOR WATER TIGHTNESS.
- 13. ALL GRAVITY SEWER BENDS 45° OR GREATER SHALL BE FITTED WITH A CLEAN-OUT.
- 14. ALL SEPTIC COMPONENTS SHALL BE LOCATED A MINIMUM OF TEN FEET FROM EXISTING AND PROPOSED WATERLINES.
- 15. THE ENGINEER AND LOCAL UTILITY REPRESENTATIVE SHALL INSPECT SYSTEM INSTALLATION.
- 16. ALL DISTURBED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE BY GRADING AND SEEDING.
- 17. THE ENGINEER OR HIS ASSIGNEE SHALL WITNESS ON—SITE TESTING. REQUIRED TESTING SHALL INCLUDE WATERTIGHT TESTING (ACI—3501R), FACTORY PUMP TESTING AND DRAWDOWN TESTING.
- 18. PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS, O & M MANUALS AND WARRANTY INFORMATION.
- 19. BOTH THE CONTROL PANEL AND VENT OPENING SHALL BE PLACED ABOVE THE MINIMUM ELEVATION OF 10.0' ABOVE MSL.



UTILITY PLAN
SCALE: 1" = 20'

PRELIMINARY ONLY
NOT FOR
CONSTRUCTION

DATE: 09/12/2023
SURVEYED: SEE NOTES
SURVEYED: MJM
CHECKED: MJM
FILE: 08599A

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