

1 FITNESS CENTER FLOOR PLAN- 18,000 TOTAL BUILDING SQUARE FOOTAGE  
SCALE:  $\frac{1}{8}" = 1'-0"$

PROJECT NAME:  
**MOYOCK  
FITNESS  
BUILDING**  
104 Lark Drive  
Moyock, NC

REVISIONS:	DATE:
CLIENT REVIEW	10 / 23 / 25

DRAWING NAME:  
**BUILDING  
PLAN**

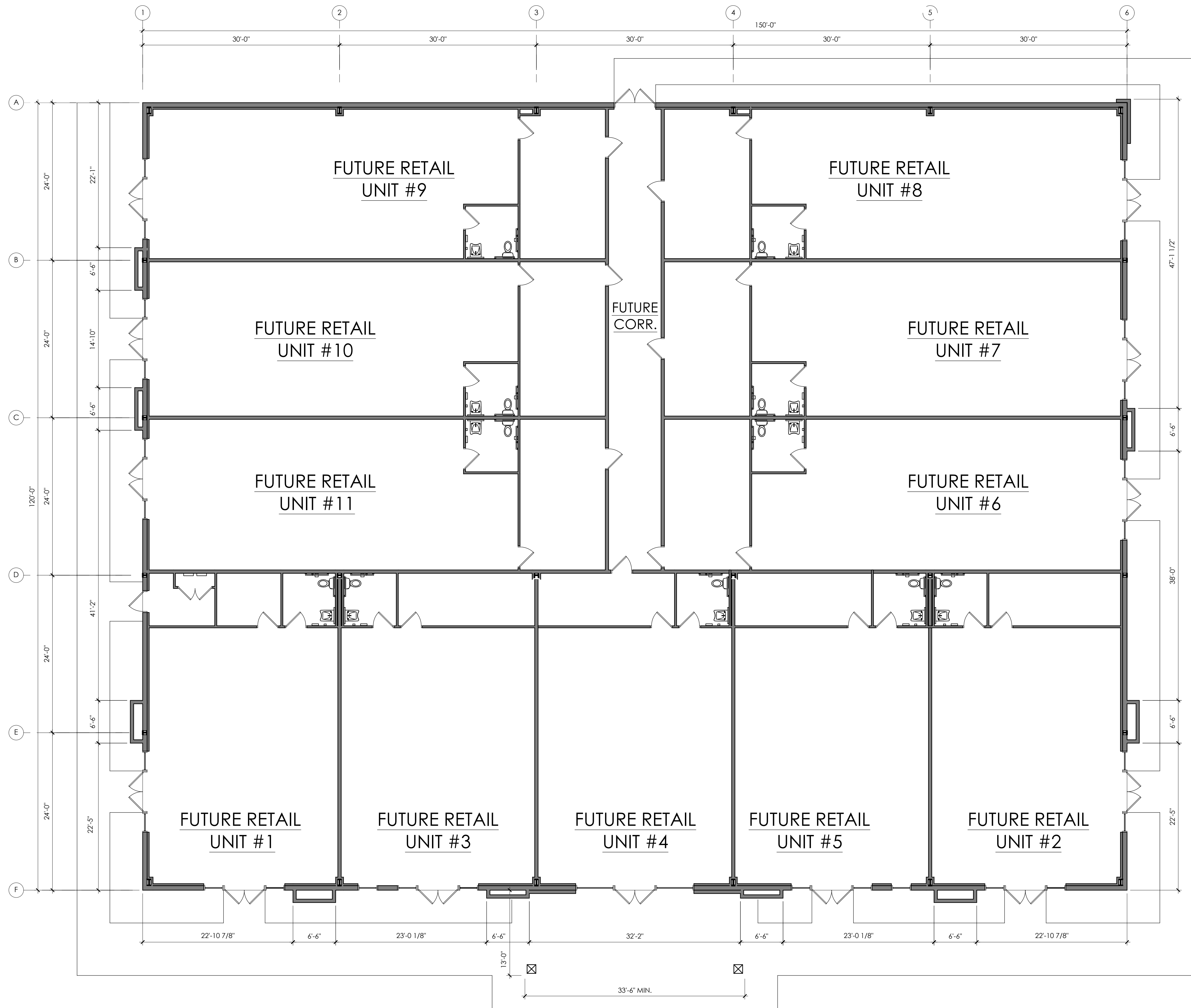
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1 ALTERNATE BUILD-OUT FLOOR PLAN  
SCALE:  $\frac{1}{8}" = 1'-0"$

**BEACON**  
ARCHITECTURE + DESIGN, P.L.L.C.  
P.O. BOX 1827  
KITTY HAWK, NC 27949  
PH: (252) 441-6767, FAX (252) 261-6045

PME ENGINEER:  
**COASTAL**  
ENGINEERING  
2406 Princess Anne Road  
Suite 200  
Virginia Beach, VA 23456  
Phone (757) 563-9027  
Facsimile (757) 563-9028

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SHEET:  
**A1.1a**

GUTTER AS REQ'D.  
BY CIVIL ENGINEERING PLANS AND OR  
OWNER REQUESTED.  
METAL BLDG. MFG. TO PROVIDE IN  
MATCHING COLORS WITH MATCHING  
DOWNSPOUTS TO MEET CODE

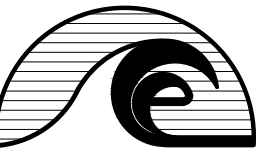


1 FITNESS CENTER ROOF PLAN  
SCALE: 1/8" = 1'-0"



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SHEET:  
**A1.2**

PROJECT NAME:  
**MOYOCK  
RETAIL  
CENTER**  
104 Lark Drive  
Moyock, NC

REVISIONS:	DATE:
CLIENT REVIEW	3 / 17 / 25
CLIENT REVIEW	3 / 21 / 25
CLIENT REVIEW	3 / 31 / 25
ENGINEERING	4 / 11 / 25
CLIENT REVIEW	4 / 28 / 25
CLIENT REVIEW	5 / 14 / 25
CLIENT REVIEW	10/ 21 / 25
CLIENT REVIEW	10/ 23 / 25

DRAWING NAME:  
**BUILDING  
PLAN**

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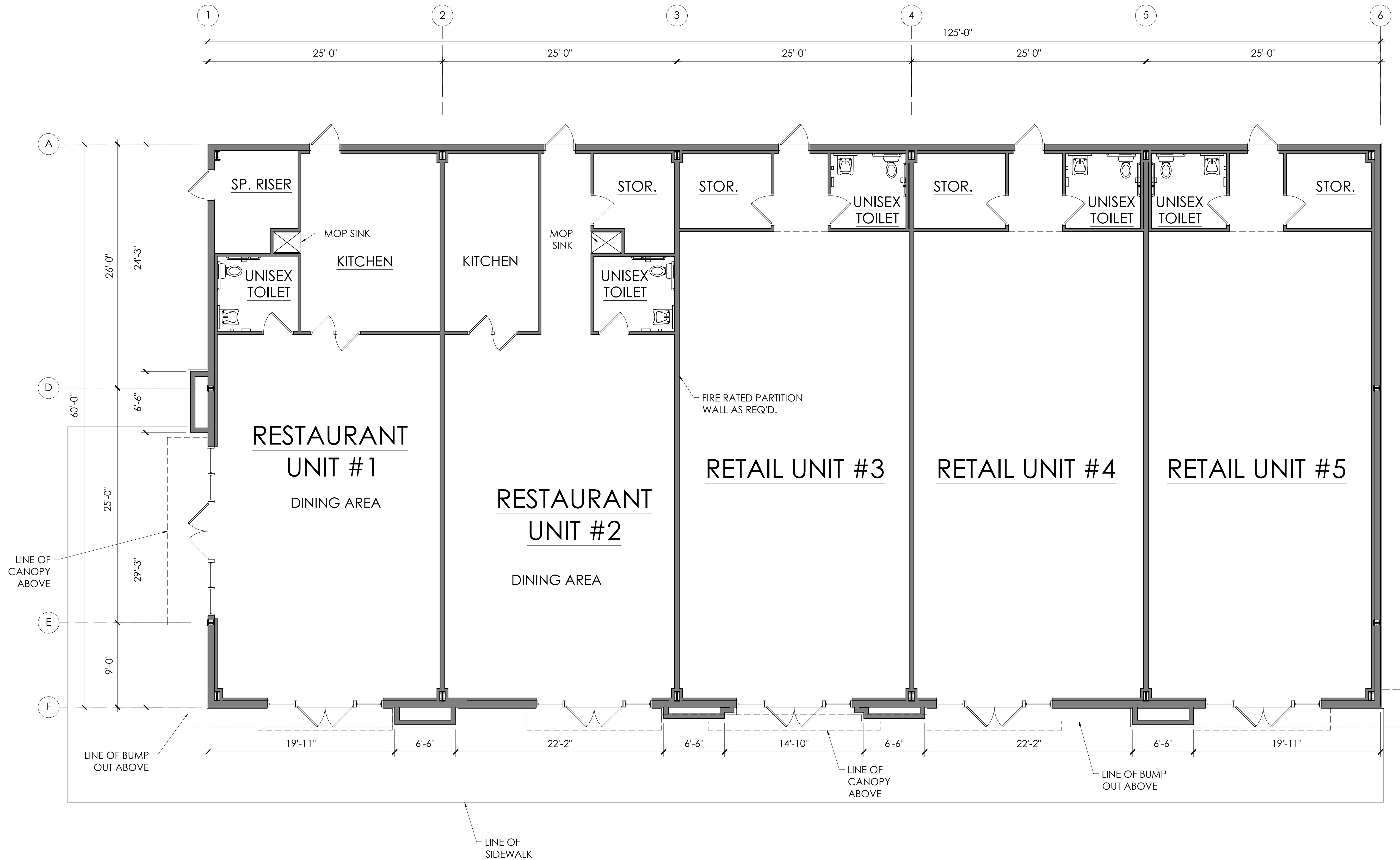
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**A1.3**

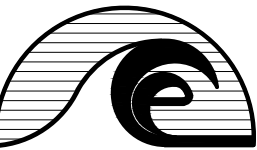






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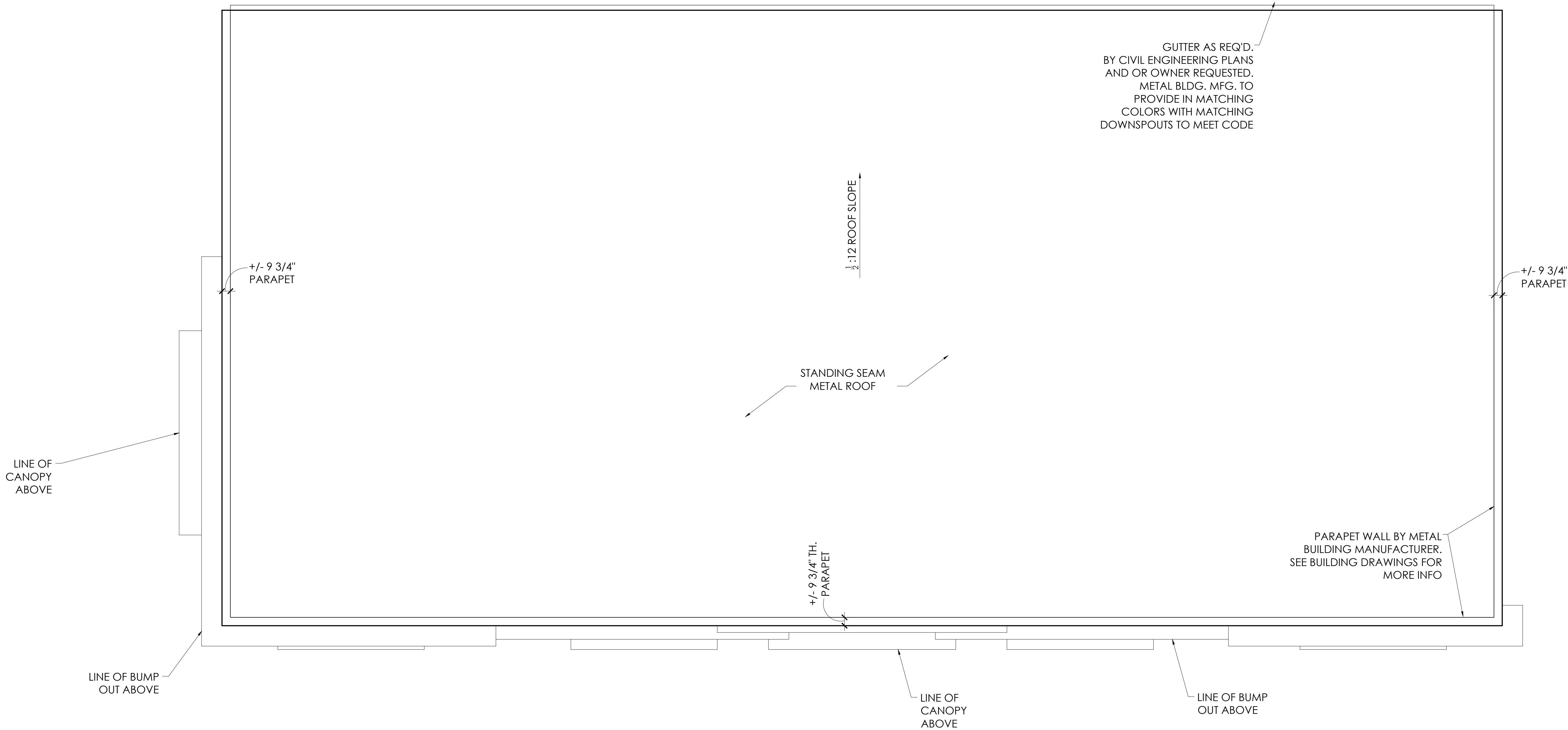
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SHEET:

A1.4



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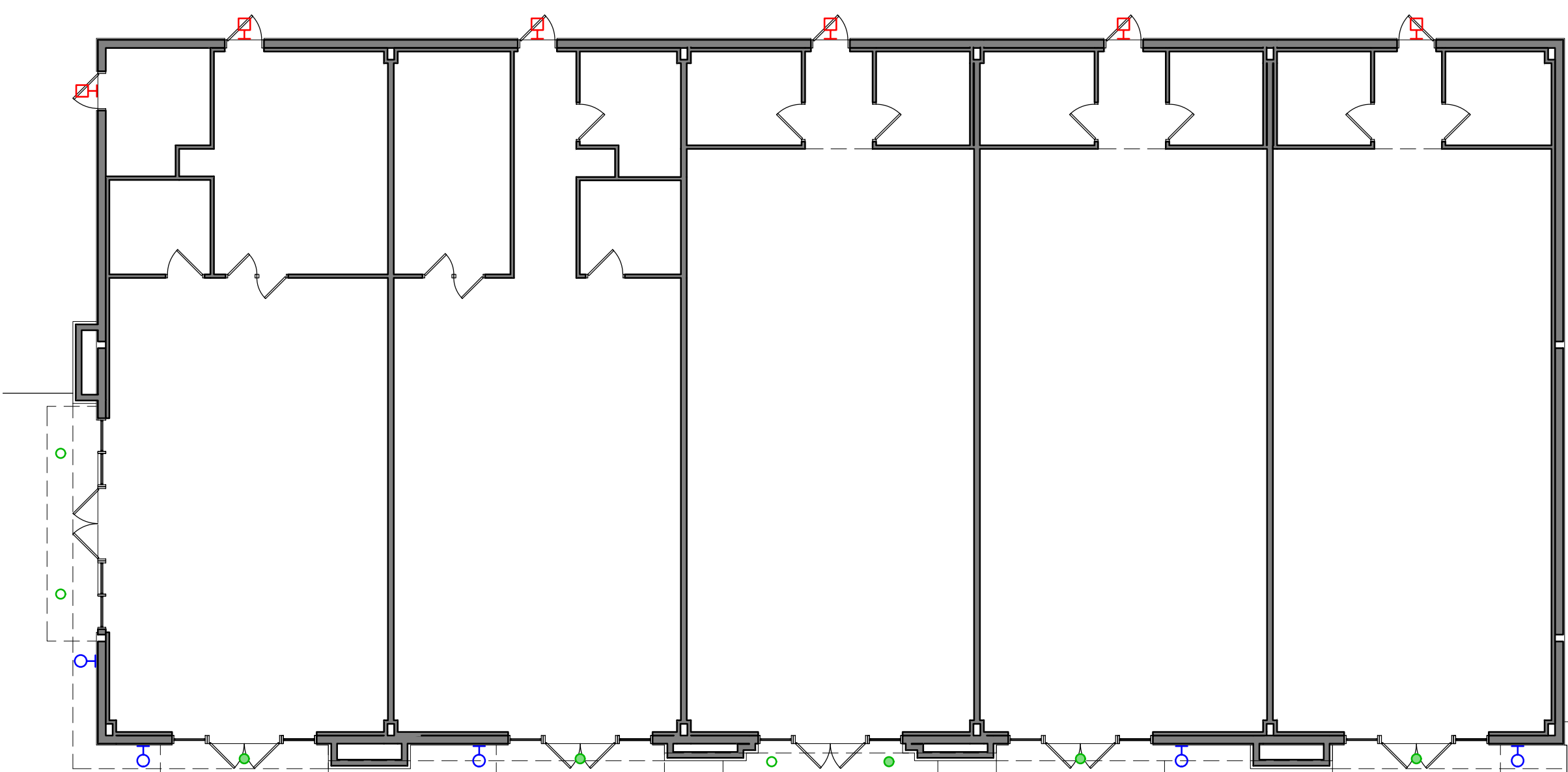
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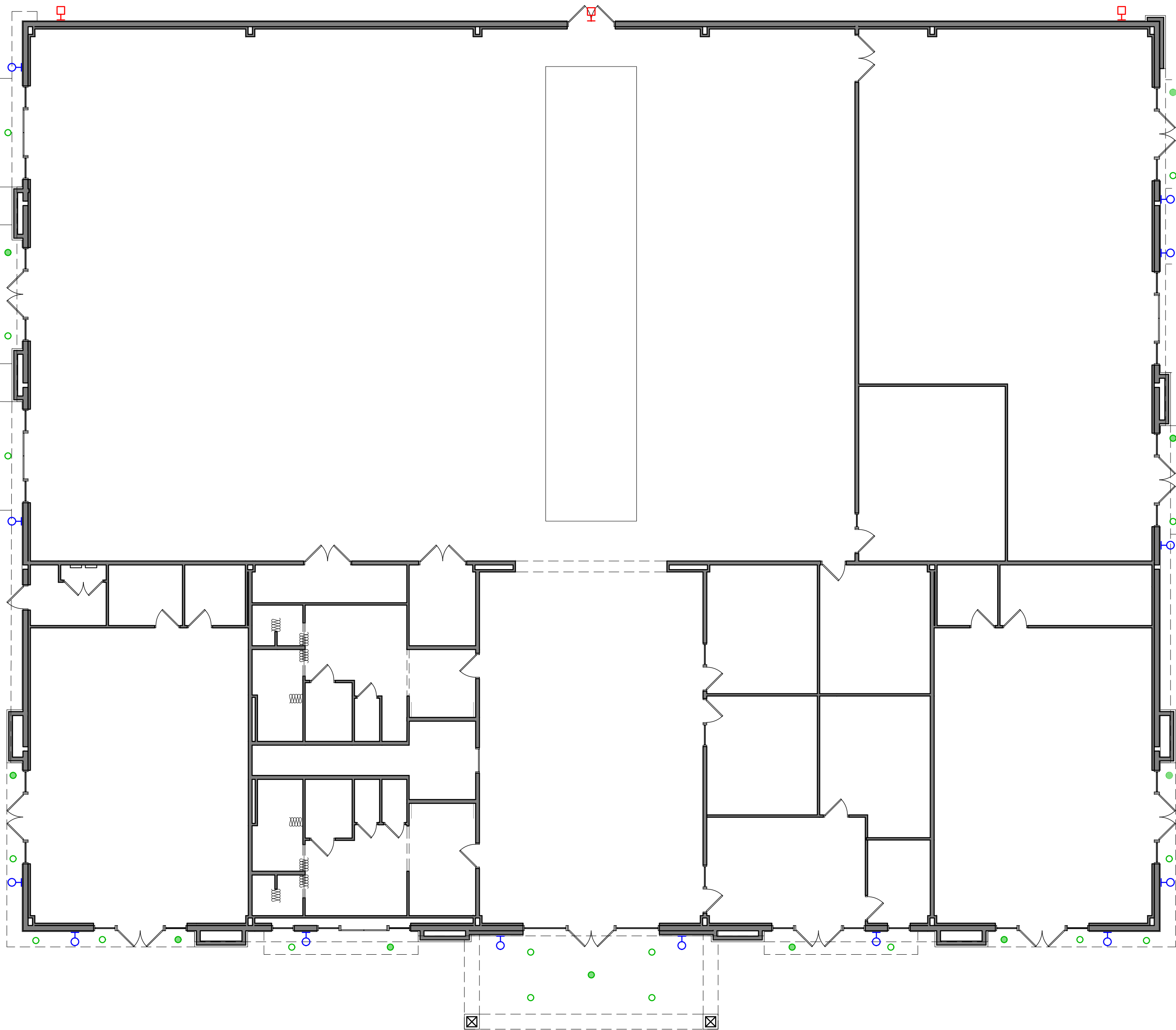
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SHEET:  
**A1.5**



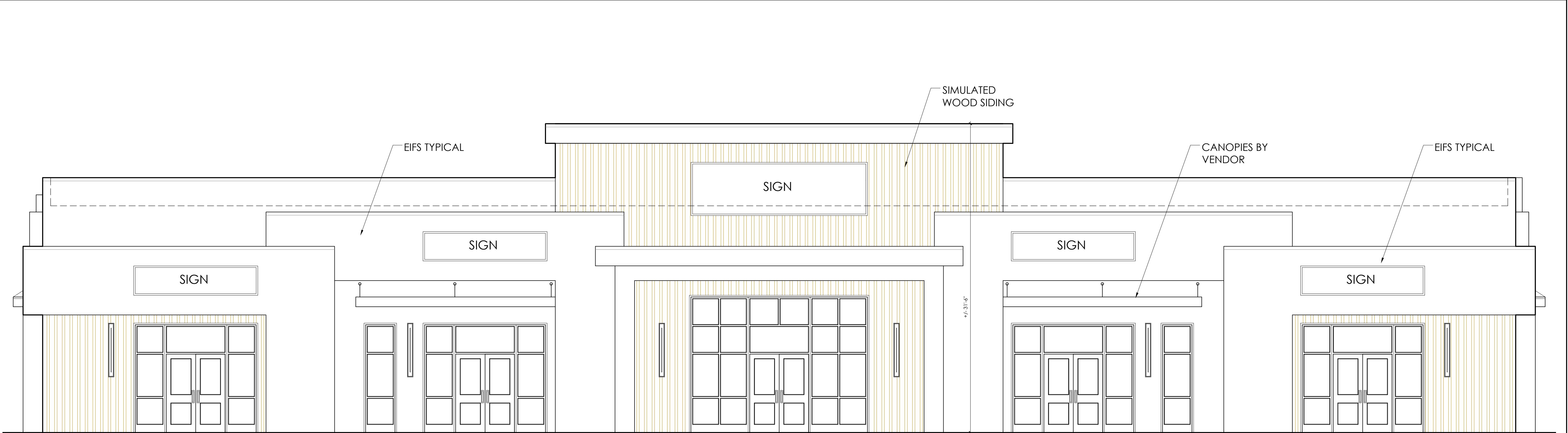
2 RETAIL CENTER LIGHTING PLAN  
SCALE:  $\frac{3}{32}$ " = 1'-0"



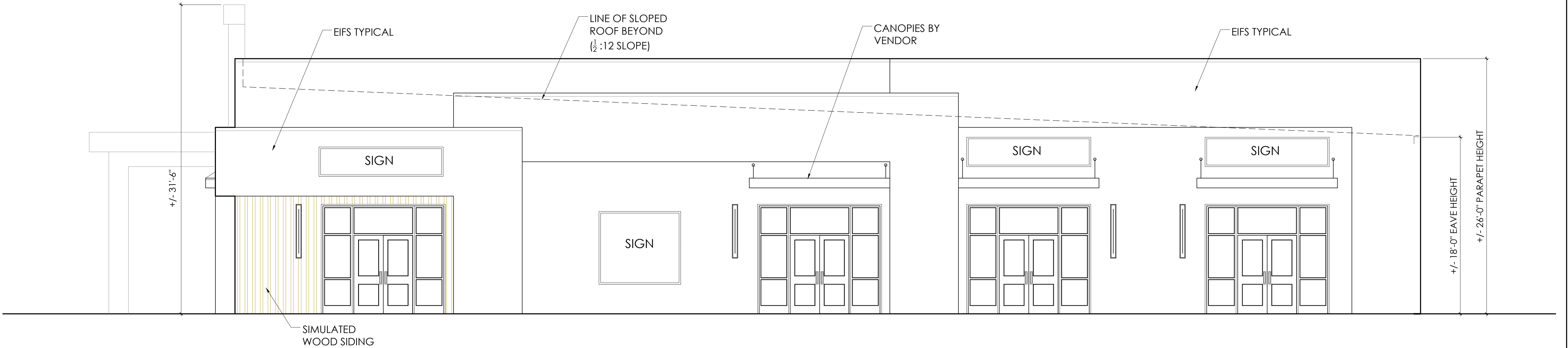
- FIXTURE "A": LED DOWN LIGHT, SLIM PROFILE,  
WET RATED
- FIXTURE "AE": LED DOWN LIGHT, SLIM PROFILE,  
WET RATED, EMERGENCY BATTERY  
BACKUP
- FIXTURE "B": 4K LUMEN LED WALLPACK, IP66  
RATED, W/ EMERGENCY BATTERY  
BACKUP AS REQ'D, WPX1 LED OR  
APPROVED EQUIVALENT
- FIXTURE "C": DECORATIVE WALL SCONCE  
BASED ON MODERN FORMS  
MIDNIGHT

3 LIGHTING PLAN LEGEND  
NOT TO SCALE

1 FITNESS CENTER LIGHTING PLAN  
SCALE:  $\frac{3}{32}$ " = 1'-0"



1 EXTERIOR ELEVATION  
SCALE:  $\frac{3}{16}$ " = 1'-0"



2 EXTERIOR ELEVATION  
SCALE:  $\frac{3}{16}$ " = 1'-0"

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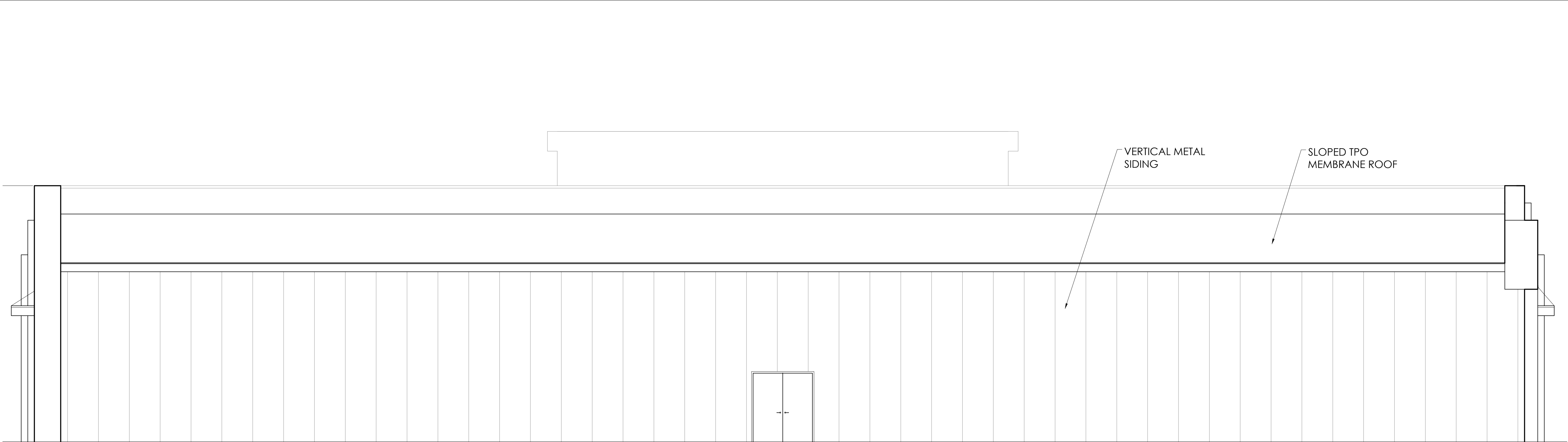
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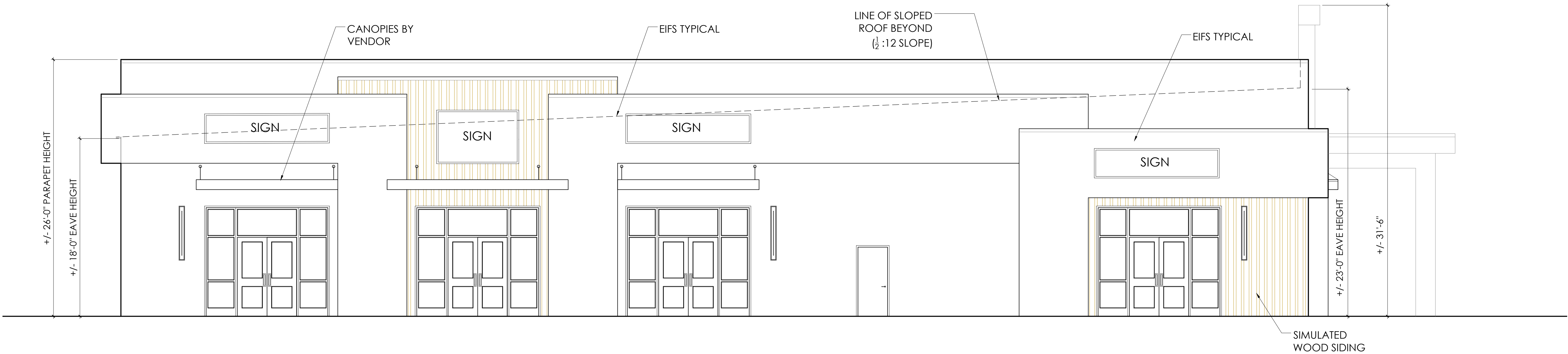
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SHEET:  
**A2.1**



1 EXTERIOR ELEVATION  
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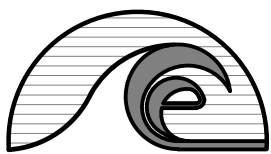


2 EXTERIOR ELEVATION  
SCALE:  $\frac{3}{16}$ " = 1'-0"

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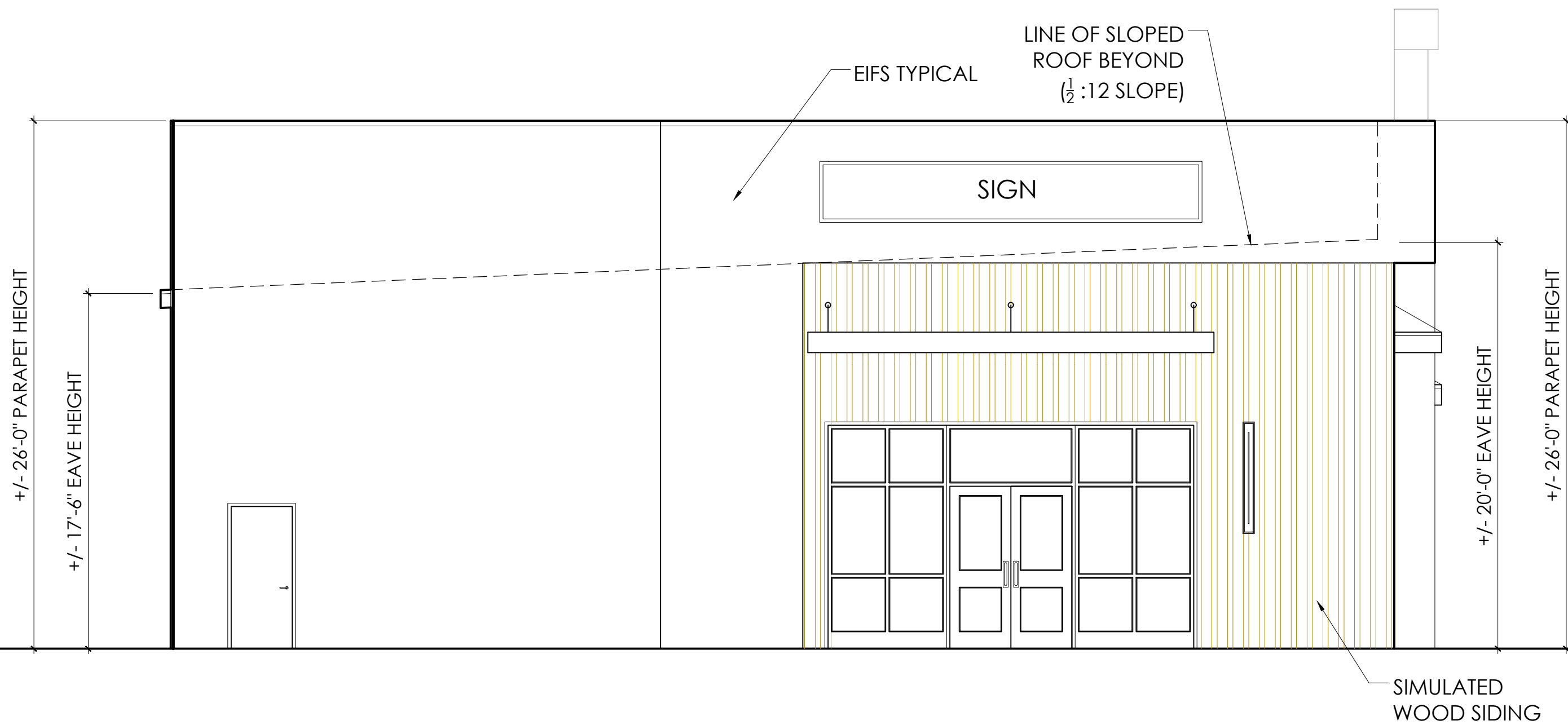
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SHEET:

**A2.2**



1 EXTERIOR ELEVATION  
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2 EXTERIOR ELEVATION  
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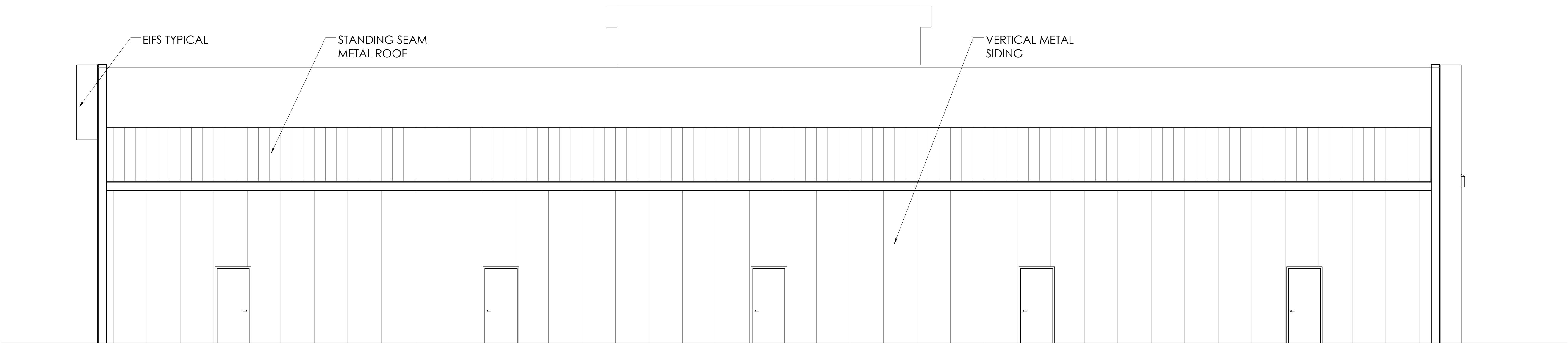
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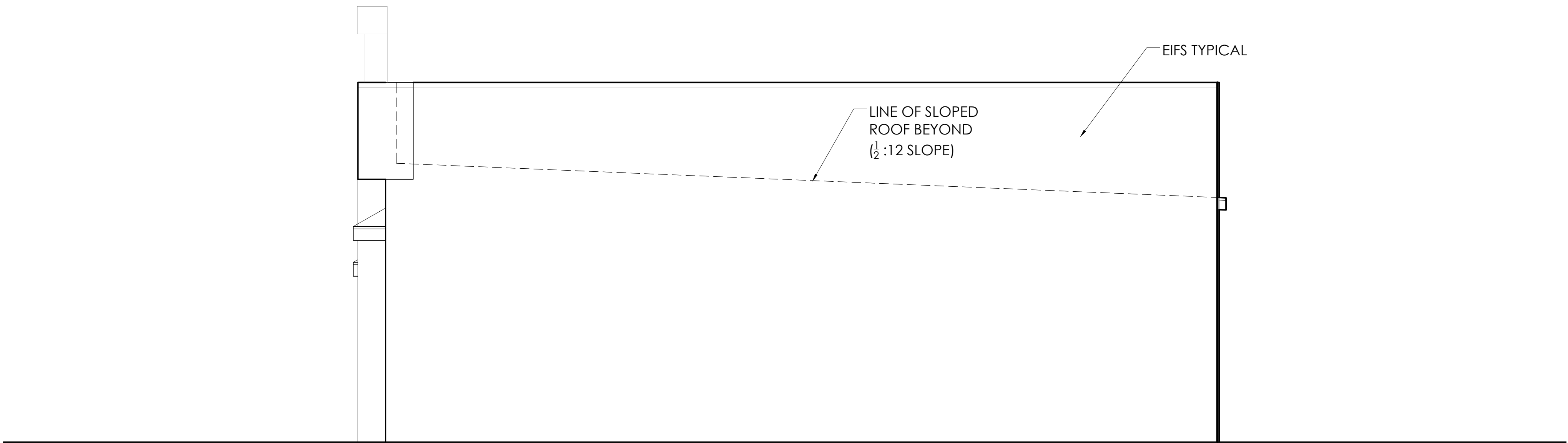
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**A2.3**



1 EXTERIOR ELEVATION  
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**A2.4**





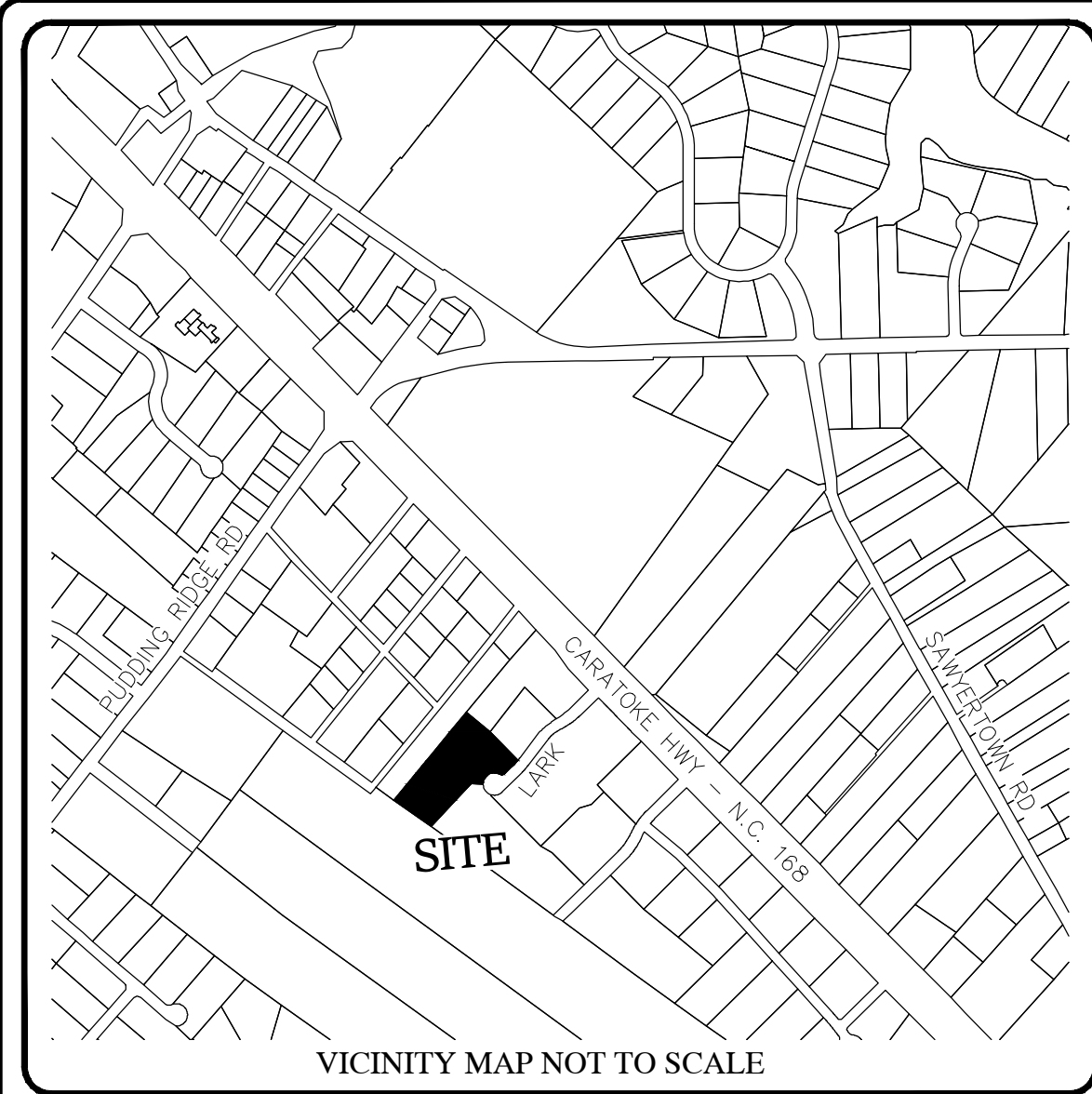












- GENERAL NOTES:**
- PROJECT NAME: MOYOCK COMMONS COMMERCIAL COMPLEX
  - OWNER/APPLICANT: 104 LARK, LLC  
134 MOYOCK LANDING DR.  
MOYOCK, NC 27958
  - PROPERTY DATA:  
PARCEL ID#: 0015-000-0751-0000  
PRIMARY ADDRESS: 104 LARK DRIVE, MOYOCK, NC 27958  
RECORDED REFERENCES: DB. 1572, PG. 412; PC. G, SL. 5  
PROPERTY ZONING: GB
  - F.I.R.M. DATA:  
SUBJECT PROPERTY IS LOCATED IN F.I.R.M. ZONE "X". REFERENCE F.I.R.M. PANEL # 3721803100 K, EFFECTIVE DATE DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
  - PROPOSED USE:  
A MIXED USE COMMERCIAL DEVELOPMENT THAT MAY INCLUDE A COMBINATION OF A FITNESS CENTER, RETAIL SALES, EATING ESTABLISHMENTS AND OFFICES. INDIVIDUAL TENANT USES ARE SUBJECT TO CHANGE BASED ON MARKET DEMAND. PARKING AND WASTEWATER CALCULATIONS BELOW ARE PERFORMED TO ILLUSTRATE VARYING SCENARIOS. SOME RESTRICTIONS MAY APPLY IN ACCORDANCE WITH COUNTY ORDINANCES, NC BUILDING CODE AND FIRE PROTECTION. [PROPERTY IS LESS THAN 4 ACRES, THEREFORE, THE USE IS NOT DEFINED A "SHOPPING CENTER."]
  - PARKING:
    - REQUIRED:

SCENARIO - FITNESS CENTER, RESTAURANT, RETAIL SALES & OFFICE			
Use	Rate	Floor Area (sf)	Spaces
Eating Establishment - Indoor	1 space / 150 sf	2,555	17.03
Eating Establishment - Outdoor	1 space / 150 sf	600	4.00
Specialty Eating Establishment	1 space / 200 sf	1,305	6.53
Fitness Center	1 space / 300 sf	11,915	39.72
Retail Sales	1 space / 300 sf	5,187	17.29
Office Space	1 space / 300 sf	1,394	4.65
Total		89,21	

SCENARIO - RESTAURANT & RETAIL SALES			
Use	Rate	Floor Area (sf)	Spaces
Eating Establishment - Indoor	1 space / 150 sf	5,253	35.02
Eating Establishment - Outdoor	1 space / 150 sf	600	4.00
Specialty Eating Establishment	1 space / 200 sf	1,305	6.53
Retail Sales	1 space / 300 sf	16,209	54.03
Total		99,58	

    - FLOOR AREAS ARE TO INTERIOR WALLS AND EXCLUDE BATHROOMS AND MECHANICAL ROOMS
    - PROVIDED:  
(103) SPACES, INCLUDING (5) A.D.A. SPACES. WIDTH DIMENSIONS VARY, SEE PLAN  - LOT COVERAGE (BUA):
    - TOTAL PARCEL AREA: 121,339 SF (2.79 AC.)
    - PROPOSED IMPERVIOUS SURFACES:
      - BUILDINGS UNDER ROOF: 27,210 SF
      - PARKING: 45,613 SF
      - SIDEWALKS: 5,544 SF
      - CONCRETE PADS: 445 SF
      - TOTAL=78,812 SF (64.95%)
    - ALLOWANCE:
      - CURRITUCK COUNTY: 78,870 SF (65%)
      - NCDEQ PERMIT: 97,071 SF (80%)
  - TOTAL PROPOSED DISTURBED AREA: 2.86 AC.
  - WASTEWATER DATA:
    - WASTEWATER COLLECTION SHALL BE INSTALLED IN ACCORDANCE WITH CURRITUCK COUNTY STANDARDS AND THESE PLANS.
    - WASTEWATER TREATMENT TO BE PROVIDED BY CURRITUCK COUNTY SEWER AUTHORITY.
    - REQUIRED ALLOCATION:

SCENARIO - FITNESS CENTER, RESTAURANT, RETAIL SALES & OFFICE			
Use	Rate	Seat/Empty Floor Area (sf)	Capacity (GPD)
Eating Establishment - Indoor	40 GPD/Seat	100	4,000
Eating Establishment - Outdoor	40 GPD/Seat	20	800
Specialty Eating Establishment	20 GPD/Seat	20	400
Fitness Center	50 GPD/100 sf	20	13,500
Retail Sales	100 GPD/1000 sf	20	6,000
Office Space	25 GPD/Empty	4	100
Total			12,650

SCENARIO - RESTAURANT & RETAIL SALES			
Use	Rate	Seat	Floor Area (sf) Capacity (GPD)
Eating Establishment - Indoor	40 GPD/Seat	241	9,640
Eating Establishment - Outdoor	40 GPD/Seat	20	800
Specialty Eating Establishment	20 GPD/Seat	20	400
Retail Sales	100 GPD/1000 sf	20	18,000
Total			12,640

    - FLOOR AREAS ARE TO EXTERIOR WALLS
    - WASTEWATER FROM FOOD HANDLING FACILITIES SHALL BE PLUMED TO A PROPERLY SIZED EXTERIOR GREASE INTERCEPTOR. SEE UTILITY PLAN AND DETAILS FOR MORE INFORMATION.
    - WASTEWATER FROM SANITARY FACILITIES SHALL NOT BE INTRODUCED INTO ANY GREASE INTERCEPTOR AND SHALL BE PLUMBED DIRECTLY TO THE DEVELOPMENT'S COLLECTION SYSTEM  - UTILITIES:
    - WATER SERVICE TO BE PROVIDED BY CURRITUCK COUNTY MAINLAND WATER SYSTEM.
    - DESIGN AND INSTALLATION OF FRANCHISE UTILITIES SHALL BE COORDINATED DIRECTLY WITH THE RESPECTIVE UTILITY COMPANY.
    - ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
  - MAXIMUM BUILDING HEIGHT IS 35'
  - ALL SIGNAGE SHALL COMPLY WITH COUNTY STANDARDS AS PRESCRIBED UNDER 5.12 OF THE U.D.O. A SEPARATE SIGNAGE PLAN MAY BE REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.
  - EXISTING SITE CONDITIONS ARE BASED ON A COMBINATION OF THE FOLLOWING:
    - FIELD SURVEY DATA OBTAINED BY BISSELL PROFESSIONAL GROUP
    - 2024 AERIAL IMAGERY OBTAINED FROM NCDEMAPP.COM
    - ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM

THE FOLLOWING PERMITS ARE REQUIRED PRIOR TO PROJECT CONSTRUCTION:

PERMIT	AGENCY	REFERENCE NUMBER	DATE OF ISSUANCE
SEDIMENTATION AND EROSION CONTROL PERMIT	N.C.D.E.Q. - DIVISION OF LAND RESOURCES		
STORMWATER MANAGEMENT PERMIT	N.C.D.E.Q. - DIVISION OF LAND RESOURCES	SW7980425	10/30/1998
WASTEWATER EXTENSION PERMIT	N.C.D.E.Q. - DIVISION OF WATER RESOURCES		
MAJOR SITE PLAN APPROVAL	CURRITUCK COUNTY PLANNING STAFF		

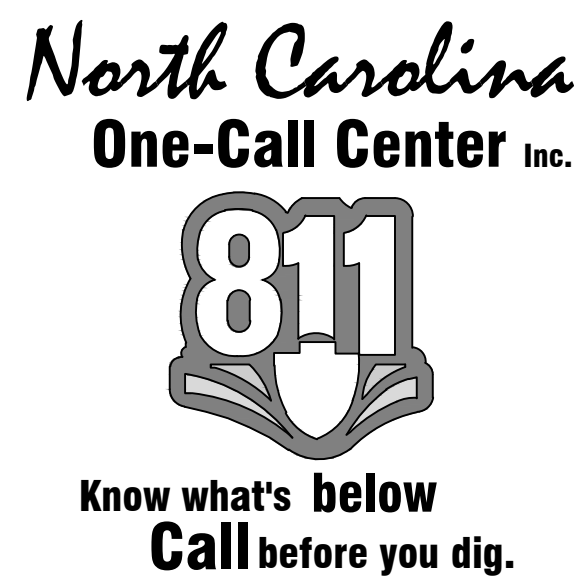
FINAL DRAWING  
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CONSTRUCTION

STORMWATER CERTIFICATE

I, \_\_\_\_\_, OWNER/AGENT HEREBY CERTIFY THE INFORMATION INCLUDED ON THIS AND ATTACHED PAGES IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

ON THE PLAN ENTITLED, CONSTRUCTION DRAWINGS FOR MOYOCK COMMONS COMMERCIAL COMPLEX- GRADING, DRAINAGE AND STORMWATER MANAGEMENT PLAN, STORMWATER DRAINAGE IMPROVEMENTS SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS AND APPROVED BY CURRITUCK COUNTY. YEARLY INSPECTIONS ARE REQUIRED AS PART OF THE STORMWATER PLAN. THE OWNER IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED. CURRITUCK COUNTY ASSUMES NO RESPONSIBILITY FOR THE DESIGN, MAINTENANCE, OR PERFORMANCE OF THE STORMWATER IMPROVEMENTS.

DATE \_\_\_\_\_ OWNER/AGENT \_\_\_\_\_



**SURVEY LEGEND**

SCM	SET CONCRETE MONUMENT
ECM	EXISTING CONCRETE MONUMENT
SR	SET IRON ROD
ER	EXISTING IRON ROD
IP	EXISTING IRON PIPE
CP	CALCULATED POINT
MBL	MAXIMUM BUILDING LIMIT
N.T.S.	NOT TO SCALE
P.C.	PLAT CABINET
D.B.	DEED BOOK
SL	SLIDE
AC	SQUARE FEET ACRES

**SOILS LEGEND**

SOILS LINE	
Ro	ROANOKE FINE SANDY LOAM

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# CONSTRUCTION DRAWINGS FOR MOYOCK COMMONS COMMERCIAL COMPLEX

## MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

### Sheet List Table

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3	SITE DEVELOPMENT OVERVIEW
4	GRADING, DRAINAGE & STORMWATER MANAGEMENT
5	EROSION & SEDIMENT CONTROL PLAN
6	WASTEWATER COLLECTION & WATER SERVICE PLAN
7	WASTEWATER COLLECTION PROFILES & TABLES
8	LANDSCAPING, BUFFERING & EXTERIOR LIGHTING PLAN
9	PAVEMENT, SIDEWALK & GRADING TYP. CONSTRUCTION DETAILS
10	DRAINAGE & BACKFLOW TYP. CONSTRUCTION DETAILS
11	EROSION CONTROL NOTES & TYP. CONSTRUCTION DETAILS
12	NCG01 SELF-INSPECTION, RECORDKEEPING & REPORTING
13	NCG01 GROUND STABILIZATION AND MATERIALS HANDLING
14	WASTEWATER COLLECTION TYP. CONSTRUCTION DETAILS
15	WASTEWATER COLLECTION TYP. CONSTRUCTION DETAILS

**PLAN LEGEND**

ROADWAY CENTERLINE	RIGHT-OF-WAY
PROPERTY BOUNDARY	ADJOINING PROPERTY LINE
EXISTING DITCH CENTERLINE	EXISTING DITCH TOP OF BANK
PROPOSED SWALE W/ FLOW ARROW	PROPOSED SWALE HIGH POINT
EXISTING DITCH TO BE FILLED	FEMA BOUNDARY LINE
EXISTING GRADE CONTOUR	PROPOSED GRADE CONTOUR
EXISTING SPOT GRADE	PROPOSED SPOT GRADE
EXISTING CULVERT	PROPOSED CULVERT
PROPOSED DRAINAGE STRUCTURE	EXISTING WATER LINE
PROPOSED WATER LINE (SIZE AS NOTED)	PROPOSED FIRE HYDRANT ASSEMBLY
PROPOSED WATER SERVICE	PROPOSED VALVE
PROPOSED SEWER COLLECTION MAIN	PROPOSED SEWER MANHOLE
PROPOSED LIMITS OF DISTURBANCE	PROPOSED SILT FENCE
PROPOSED INLET PROTECTION	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
PROPOSED TEMPORARY CHECK DAM	

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**Engineers, Planners, Surveyors  
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**COVER SHEET, DEVELOPMENT  
NOTES & SITE LOCATION**

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**MOYOCK COMMONS COMMERCIAL COMPLEX**  
NORTH CAROLINA  
CURRITUCK COUNTY  
MOYOCK TOWNSHIP

**COMMERCIAL SITE DEVELOPMENT PLANS**

DATE: 11-13-25 SCALE: NTS  
DESIGNED: BPG CHECKED: MSB  
DRAWN: DMK APPROVED: BPG  
SHEET: 1 OF 15  
CAD FILE: 484700B1  
PROJECT NO: 4847





Seal of the State of North Carolina Professional Engineer Seal  
DAVID M. MERTLE  
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DEPT: **MOYOCK COMMONS COMMERCIAL COMPLEX**  
**MOYOCK TOWNSHIP** **CURRITUCK COUNTY** **NORTH CAROLINA**

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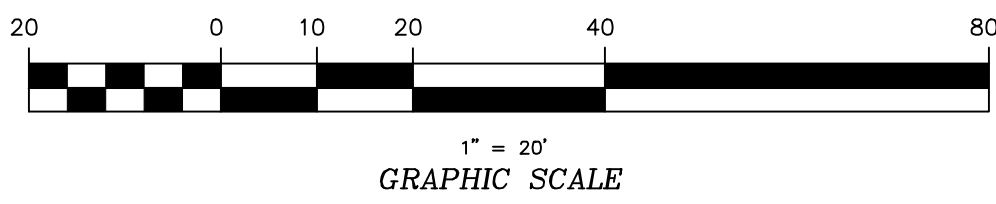
**COMMERCIAL SITE DEVELOPMENT PLANS**

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DATE:	11-13-25	SCALE:	1" = 20'
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SHEET:

3 OF 15

CAD FILE:

484700B1

PROJECT NO:

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**FINAL DRAWING**  
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PROJECT: MOYOCK COMMONS COMMERCIAL COMPLEX  
MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA  
COMMERCIAL SITE DEVELOPMENT PLANS

**GRADING, DRAINAGE &  
STORMWATER MANAGEMENT**

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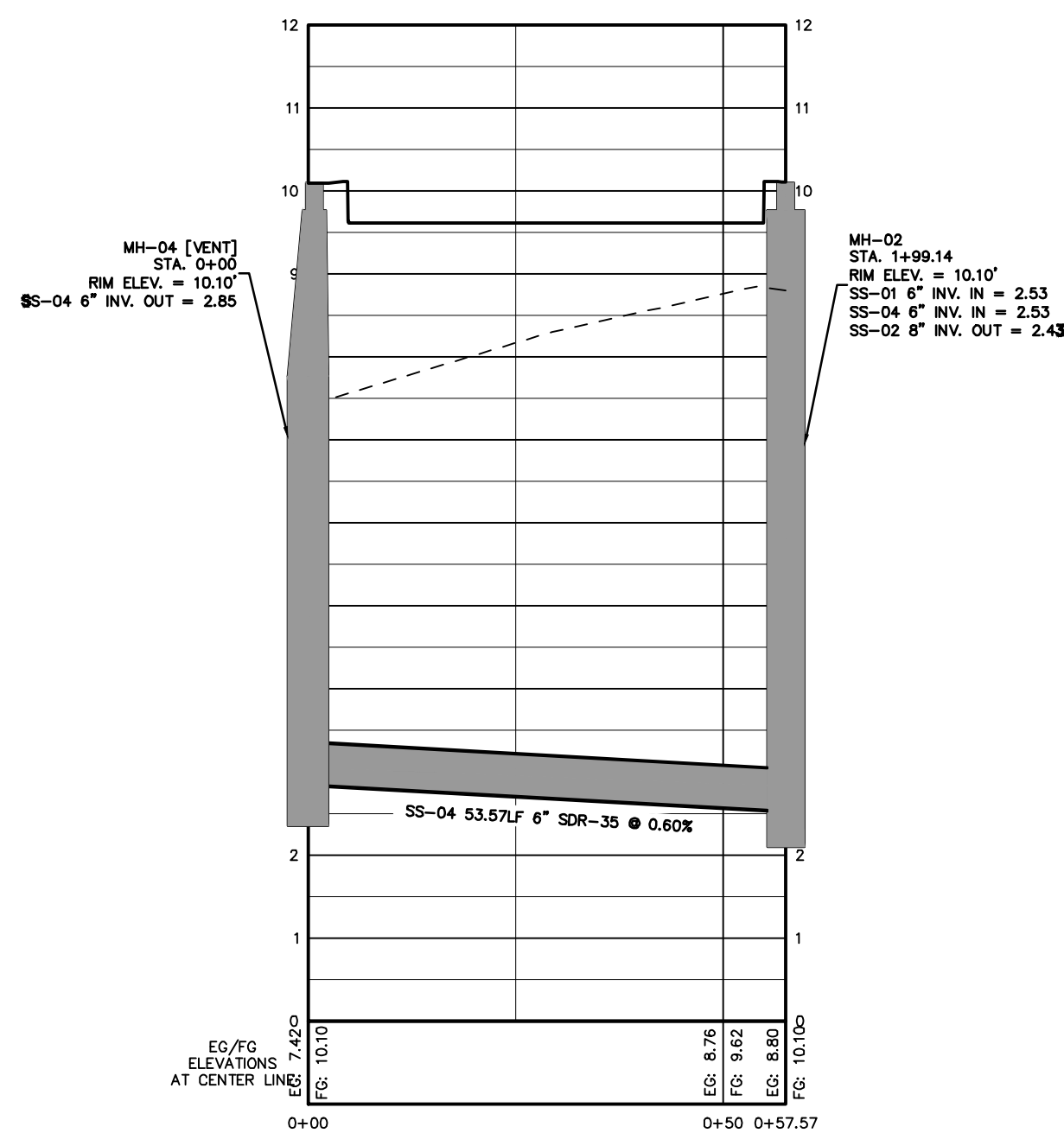
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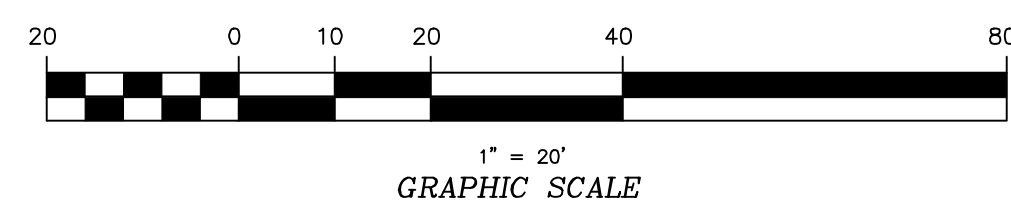






SANITARY SEWER STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
EXISTING MH	RM ELEV. 8.00' SUMP ELEV. 11.61' HEIGHT: 7.30'	SS-03, 6" INV IN:1.61	
MH-01	RM ELEV. 10.00' SUMP ELEV. 3.70' HEIGHT: 6.30'		SS-01, 6" INV OUT:3.7
MH-02	RM ELEV. 10.10' SUMP ELEV. 2.45' HEIGHT: 7.67'	SS-01, 6" INV IN:2.53 SS-04, 6" INV IN:2.53	SS-02, 6" INV OUT:2.45
MH-03	RM ELEV. 9.80' SUMP ELEV. 1.90' HEIGHT: 7.90'	SS-02, 6" INV IN:2.00	SS-03, 6" INV OUT:1.5
MH-04	RM ELEV. 10.10' SUMP ELEV. 2.85' HEIGHT: 7.25'		SS-04, 6" INV OUT:2.85

NAME	SIZE	LENGTH	SLOPE	MATERIAL
SS-01	6"	195.14'	0.60%	SDR-35
SS-02	8"	107.58'	0.40%	SDR-35
SS-03	8"	71.76'	0.40%	SDR-35
SS-04	6"	53.57'	0.60%	SDR-35



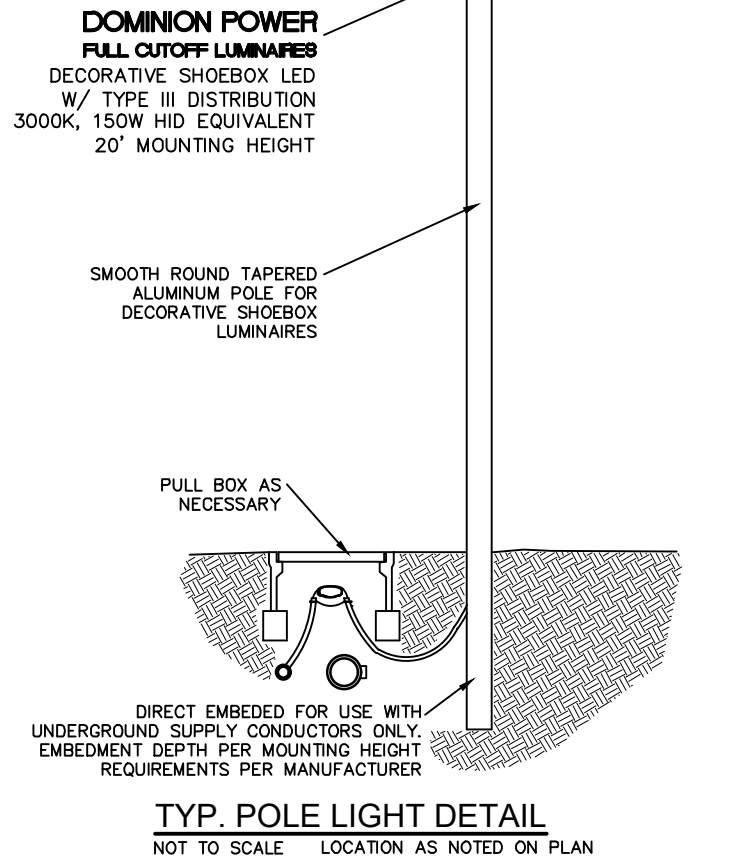
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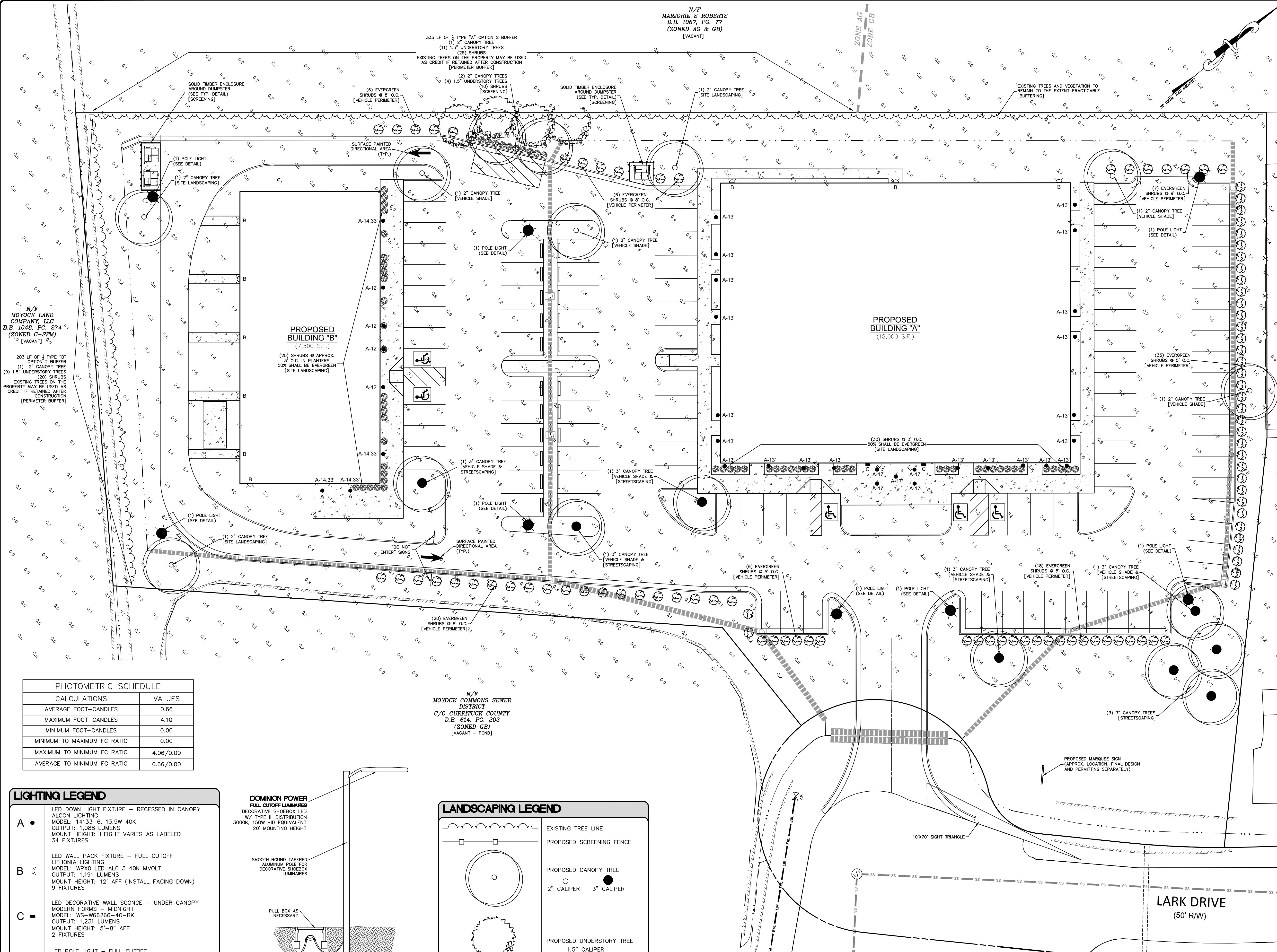
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PHOTOMETRIC SCHEDULE	
CALCULATIONS	VALUES
AVERAGE FOOT-CANDLES	0.66
MAXIMUM FOOT-CANDLES	4.10
MINIMUM FOOT-CANDLES	0.00
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	4.06/0.00
AVERAGE TO MINIMUM FC RATIO	0.66/0.00

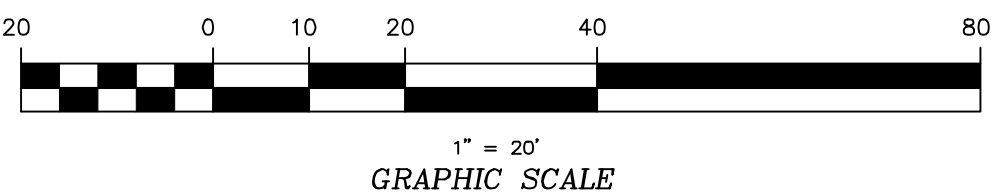
LIGHTING LEGEND	
A •	LED DOWN LIGHT FIXTURE - RECESSED IN CANOPY ALCON LIGHTING MODEL: 14133-6, 13.5W 40K OUTPUT: 1,088 LUMENS MOUNT HEIGHT: HEIGHT VARIES AS LABELED 34 FIXTURES
B ☒	LED WALL PACK FIXTURE - FULL CUTOFF LITHONIA LIGHTING MODEL: WPXO LED AL0 3 40K MVOLT OUTPUT: 1,191 LUMENS MOUNT HEIGHT: 12" AFF (INSTALL FACING DOWN) 9 FIXTURES
C ■	LED DECORATIVE WALL SCONCE - UNDER CANOPY MODERN FORMS - MIDNIGHT MODEL: WS-W66266-40-BK OUTPUT: 1,231 LUMENS MOUNT HEIGHT: 5"-8" AFF 2 FIXTURES
☼	LED POLE LIGHT - FULL CUTOFF DOMINION POWER MODEL: DECORATIVE SHOEBOX W/ TYPE III DISTRIBUTION OUTPUT: 3000K, 150W HID EQUIVALENT MOUNT HEIGHT: 20' AFF (INSTALL FACING DOWN) 8 FIXTURES
3.4	FOOT-CANDLES @ GROUND



LANDSCAPING LEGEND	
	EXISTING TREE LINE
	PROPOSED SCREENING FENCE
	PROPOSED CANOPY TREE
	2" CALIPER
	3" CALIPER
	PROPOSED UNDERSTORY TREE
	1.5" CALIPER
	PROPOSED SHRUBS
	SPACING AND EVERGREEN AS NOTED



- LANDSCAPING NOTES**  
**SITE LANDSCAPING (5.2.4)**
- REQUIREMENTS:
    - (2) CALIPER INCHES OF CANOPY TREES PER ACRE.
    - (1) SHRUB PER EACH 5 FEET OF BUILDING FACADE FACING A STREET.
    - AT LEAST ONE-HALF OF SHRUBS SHALL BE EVERGREEN.
  - PROVISIONS:
    - THE AREA OF THIS PROJECT IS APPROX. 2.8 ACRES REQUIRING (5.6) AGGREGATE CALIPER INCHES OF CANOPY TREE. SEE PLAN FOR (3) 2" CANOPY TREES PROPOSED AROUND THE SITE PROVIDING (6) AGGREGATE CALIPER INCHES.
    - BUILDING "A" FACADE FACING LARK DR. MEASURES 150', REQUIRING (30) SHRUBS. SEE PLAN FOR A TOTAL OF (30) SHRUBS PROPOSED ALONG THE FRONT FACADE OF BUILDING "A". 50% ARE NOTED AS EVERGREEN.
    - BUILDING "B" FACADE FACING LARK DR. MEASURES 125', REQUIRING (25) SHRUBS. SEE PLAN FOR A TOTAL OF (25) SHRUBS PROPOSED ALONG THE FRONT FACADE OF BUILDING "B". 50% ARE NOTED AS EVERGREEN.
  - VEHICULAR USE AREA LANDSCAPING (5.2.5)**
  - REQUIREMENTS:
    - SHADING - NO PARKING SPACE TO BE MORE THAN 60' FROM THE TRUNK OF A CANOPY TREE
    - PERIMETER LANDSCAPING STRIPS COMPOSED OF:
      - SHRUBS @ 5 FT ON-CENTER ALONG ABUTTING R/W OR OTHER DEVELOPMENT TO THE WEST IS ZONED C-SFM AND IS CURRENTLY VACANT. 1/2 OF A TYPE "B" BUFFER IS REQUIRED.
      - THE PROPERTY ADJOINING TO THE NORTH IS SPLIT ZONED AG & GB AND IS CURRENTLY VACANT. 1/2 OF A TYPE "A" BUFFER IS REQUIRED ALONG THE "AG" PORTION OF THE ADJOINING PROPERTY. NO BUFFER IS REQUIRED ALONG "GB" PORTION.
  - PROVISIONS:
    - SEE PLAN FOR 1/2 OF A TYPE "B" OPTION 2 BUFFER PROPOSED ALONG THE 203' P/L WITH THE ADJOINING PARCEL TO THE WEST. EXISTING TREES ALONG THE P/L MAY BE USED AS CREDIT IF RETAINED AFTER CONSTRUCTION.
    - SEE PLAN FOR 1/2 OF A TYPE "A" OPTION 2 BUFFER PROPOSED ALONG THE 335' P/L WITH THE "AG" PORTION OF THE ADJOINING PARCEL TO THE NORTH. EXISTING TREES ALONG THE P/L MAY BE USED AS CREDIT IF RETAINED AFTER CONSTRUCTION.
  - PERIMETER LANDSCAPE BUFFERS (5.2.6)**
  - REQUIREMENTS:
    - PROPERTIES ADJOINING TO THE SOUTH AND EAST ARE ALSO ZONED GB AND DO NOT REQUIRE PERIMETER BUFFERS.
    - THE PROPERTY ADJOINING TO THE WEST IS ZONED C-SFM AND IS CURRENTLY VACANT. 1/2 OF A TYPE "B" BUFFER IS REQUIRED.
    - THE PROPERTY ADJOINING TO THE NORTH IS SPLIT ZONED AG & GB AND IS CURRENTLY VACANT. 1/2 OF A TYPE "A" BUFFER IS REQUIRED ALONG THE "AG" PORTION OF THE ADJOINING PROPERTY. NO BUFFER IS REQUIRED ALONG "GB" PORTION.
  - PROVISIONS:
    - SEE PLAN FOR 1/2 OF A TYPE "B" OPTION 2 BUFFER PROPOSED ALONG THE 203' P/L WITH THE ADJOINING PARCEL TO THE WEST. EXISTING TREES ALONG THE P/L MAY BE USED AS CREDIT IF RETAINED AFTER CONSTRUCTION.
    - SEE PLAN FOR 1/2 OF A TYPE "A" OPTION 2 BUFFER PROPOSED ALONG THE 335' P/L WITH THE "AG" PORTION OF THE ADJOINING PARCEL TO THE NORTH. EXISTING TREES ALONG THE P/L MAY BE USED AS CREDIT IF RETAINED AFTER CONSTRUCTION.
  - SCREENING (5.2.7)**
  - REQUIREMENTS:
    - REFUSE DUMPSTERS SHALL BE SCREENED WITH APPROVED METHODS
    - LOADING BAYS & DOCKS SHALL BE SCREENED WITH APPROVED METHODS
  - PROVISIONS:
    - SEE PLAN AND TYPICAL DETAIL FOR OPAQUE SCREENING ENCLOSURES AROUND PROPOSED DUMPSTER PADS.
    - SEE PLAN FOR (2) 2" CANOPY TREES + (4) 1.5" UNDERSTORY TREES + (10) SHRUBS PROPOSED ALONG 30' LOADING ZONE.
  - STREETSCAPE (5.2.8)**
  - REQUIREMENTS: [PER SITE'S VISIBLE FROM, BUT NOT ACCESSED FROM MAJOR ARTERIAL]
  - PROVISIONS:
    - PROPERTY FRONTAGE VISIBLE FROM HWY 168 EXTENDS APPROX. 300', REQUIRING (24) ACI OF CANOPY TREES.
    - SEE PLAN FOR (8) PROPOSED 3" CANOPY TREES VISIBLE FROM HWY 168.
  - PLANTING AND FENCING GUIDELINES**  
**TREE & SHRUB SPECIES AND PLANTING GUIDELINES:**
  - ALL TREES AND SHRUBS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING STANDARDS SPECIFIED IN SECTION 3.5 OF THE CURRITUCK COUNTY ADMINISTRATIVE MANUAL AND THIS PLAN.
  - CANOPY AND UNDERSTORY TREE SPECIES SHALL BE OF THOSE LISTED UNDER "TABLE 3.4.6: RECOMMENDED PLANTINGS" IN THE SAME MANUAL.
  - TREE SPECIES SHALL BE DIVERSE, A MINIMUM OF (2) DIFFERENT SPECIES OF CANOPY TREES AND UNDERSTORY TREES SHALL BE INSTALLED IN ROUGHLY EQUAL PROPORTIONS.
  - AT INSTALLATION, CANOPY TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES MEASURED AT 6 INCHES ABOVE GRADE. EIGHT FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
  - AT INSTALLATION, UNDERSTORY TREES SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES MEASURED AT 6 INCHES ABOVE GRADE. EIGHT FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
  - SHRUBS SHALL BE PLANTED AT THE SPACING NOTED ON THE PLANS AND FORM A VISUAL SCREEN WITH A MIN. MATURE HEIGHT OF 36". SHRUBS SHALL BE EVERGREEN AS NOTED AND BE A MINIMUM (3) GALLON SIZE AT PLANTING.
  - THE USE OF NATIVE, DROUGHT TOLERANT TREES AND SHRUBS IS ENCOURAGED.
  - MATERIALS SHALL BE OF HIGH-QUALITY NURSERY GRADE.
  - A REPUTABLE LANDSCAPE CONTRACTOR OR SUPPLIER SHALL PREPARE AN ITEMIZED SCHEDULE OF TREES TO BE INSTALLED IN ACCORDANCE WITH THIS LANDSCAPE PLAN. THIS SCHEDULE SHALL BE REVIEWED BY CURRITUCK COUNTY AND THE ENGINEER TO DETERMINE COMPLIANCE BEFORE ORDERING AND INSTALLATION. ALTERNATE TREES AND SPECIFICATIONS MAY BE PRESENTED FOR REVIEW AND APPROVAL.
  - FENCE AND WALL GUIDELINES:**
  - ALL FENCES AND WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS SPECIFIED IN SECTIONS 5.2.7.D.(3) & 5.3 OF THE CURRITUCK COUNTY UDO AND THIS PLAN.
  - THE FENCE SHALL BE OF SOLID CONSTRUCTION AND NOT EXCEED OR FALL SHORT OF THE HEIGHT PRESCRIBED ON THIS APPROVED PLAN.
  - OPAQUE FENCES SHALL BE CONSTRUCTED OF TREATED OR ROT-RESISTANT WOOD, OR A PLASTIC OR VINYL FENCE DESIGNED TO LOOK LIKE AN OPAQUE WOODEN FENCE.
  - BARBED WIRE, CONCERTINA WIRE AND ABOVE GROUND ELECTRIFIED FENCES ARE PROHIBITED.
  - USE OF CHAIN LINK FENCING WITH WOODEN OR PLASTIC SLATS SHALL BE LIMITED TO ACCESS GATES ONLY.
  - FENCING ALONG A MAJOR ARTERIAL ROADWAY SHALL BE INSTALLED WITH THE "FINISHED" SIDE FACING THE ROADWAY.
  - ALL FENCING OR WALL SEGMENTS LOCATED ALONG A SIDE STREET SHALL BE COMPOSED OF A UNIFORM STYLE AND COLOR COMPATIBLE WITH OTHER PARTS OF THE FENCE.
  - FENCING SHALL BE DESIGNED AND INSTALLED BY A REPUTABLE FENCE CONTRACTOR.



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**LANDSCAPING, BUFFERING &  
EXTERIOR LIGHTING PLAN**

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**PROJECT:** MOYOCK COMMONS COMMERCIAL COMPLEX  
**LOCATION:** NORTH CAROLINA  
**TOWNSHIP:** CURRITUCK COUNTY  
**MUNICIPALITY:** MOYOCK TOWNSHIP

NO.	DATE	BY	DESCRIPTION
1	11-13-25	BPG	DESIGNED
2		DMK	DRAWN
3		MSB	CHECKED
4		BPG	APPROVED

SHEET: 8 OF 15

CAD FILE: 484700B1

PROJECT NO: 4847

**COMMERCIAL SITE DEVELOPMENT PLANS**

DATE: 11-13-25 SCALE: 1" = 20'

DESIGNED: BPG CHECKED: MSB

DRAWN: DMK APPROVED: BPG

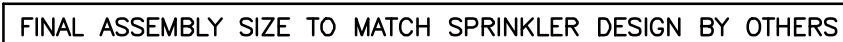
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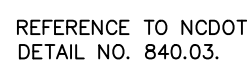


ALL EXCAVATIONS SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE CONSTRUCTION STANDARDS FOR EXCAVATIONS IN OSHA "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" CHAPTER XVIII OF TITLE 29, CFR PART 1926. THE CONTRACTOR SHALL HAVE A COMPETENT PERSON IN CHARGE OF THE EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE WORK. DO NOT OPERATE heavy EQUIPMENT OVER ANY PIPE CULVERT UNTIL THE PIPE CULVERT HAS BEEN PROPERLY BACKFILLED AND COVERED WITH AT LEAST 3 FEET OF APPROVED MATERIAL.

THE PIPE CULVERT INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH HD202 TYPE STANDARD TEST PIPE, STANDARD TEST PIPE, 3000D1.

D.O. = THE MAXIMUM HORIZONTAL INSIDE DIAMETER DIMENSION.

H = THE FULL HEIGHT MEASURED VERTICALLY AT ANY POINT ALONG THE PIPE FROM THE TOP OF THE PIPE TO THE TOP OF THE EMBANKMENT OR THE BOTTOM OF THE PAVEMENT STRUCTURE AT THAT POINT.



## NCDOT STD 840.03



IN ACCORDANCE WITH NCDOT'S CONCRETE CATCH BASIN STANDARD DETAIL 840.02,

1. ALL PIPE CONNECTIONS SHALL BE MADE FLUSH WITH THE VERTICAL INSIDE WALL OF THE STRUCTURE.
2. ALL STRUCTURE INVERTS SHALL BE MADE FLUSH WITH THE INVERT OF THE LOWEST CONNECTED PIPE. SUMPS SHALL BE FILLED WITH CONCRETE AS NECESSARY TO ACHIEVE THIS REQUIREMENT.

1. DESIGN SHALL CONFORM TO LATEST NCDDT 840.46 SPECIFICATIONS FOR "TRAFFIC BEARING PRECAST DRAINAGE STRUCTURE".
2. CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 4,000PSI.
3. USE ASTM A615 GRADE 60 REINFORCING STEEL. USE ASTM A182 WELDED WIRE FABRIC WWF.
4. LIMIT MAXIMUM DEPTH TO TOP OF BOTTOM SLAB TO 15".
5. PLACE LIFT HOLES OR PINS IN ACCORDANCE WITH OSHA STANDARD 1926.704.
6. ORIENT STRUCTURES SO THAT CORNERS WILL NOT BE CUT OR MODIFIED UNLESS ALLOWED BY DETAIL.
7. PRECAST ALL ELEMENTS TO MEET ASTM C913.
8. FRAME AND GRADE HEIGHT SHALL BE DETERMINED IN ACCORDANCE WITH STANDARD 840.25.
9. PROVIDE PRECAST STRUCTURES OVER 4'-0" IN DEPTH WITH STEPS 12" ON CENTERS PER 840.66.
10. WELDED WIRE FABRIC MAY BE SUBSTITUTED FOR REBAR IF THE SAME MIN. AREA OF STEEL IS PROVIDED.
11. SEAL JOINTS WITH AN APPROVED SEALANT (SECTION 840 OF NCDDT STANDARD SPECIFICATIONS).
12. MINIMUM STRUCTURE SIZE SHALL BE INSIDE CLEAR DIMENSIONS 18" BY 18" BY 18".
13. THE OUTSIDE PIPE DIAMETER PLUS 2" IS MINIMUM STRUCTURE SIZE OR THE OPENING REQUIRED FOR FRAME AND GRATE, WHICHEVER IS GREATER.
14. ALL STRUCTURES FROM THE APPROVED PLAN & SPECIFICATIONS SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

## NCDOT STD 840.46







**NOTE: The rain inspection resets the required 7 calendar day inspection requirement.**

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>• If the stream is named on the <a href="#">NC 303(d) list</a> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>• <b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6).</li> <li>• Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>



- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

## EFFECTIVE: 04/01/19



Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCGO1 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

## GROUND STABILIZATION SPECIFICATION

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>• Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>• Hydroseeding</li> <li>• Rolled erosion control products with or without temporary grass seed</li> <li>• Appropriately applied straw or other mulch</li> <li>• Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>• Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>• Geotextile fabrics such as permanent soil reinforcement matting</li> <li>• Hydroseeding</li> <li>• Shrubs or other permanent plantings covered with mulch</li> <li>• Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>• Structural methods such as concrete, asphalt or retaining walls</li> <li>• Rolled erosion control products with grass seed</li> </ul>

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.



EFFECTIVE: 04/01/19

**FINAL DRAWING**  
**NOT RELEASED FOR**  
**CONSTRUCTION**

[illegible]



