Quible

Quible & Associates, P.C.

ENGINEERING • ENVIRONMENTAL SCIENCES • PLANNING • SURVEYING SINCE 1959 P.O. Drawer 870 Kitty Hawk, NC 27949 Phone: 252-491-8147 Fax: 252-491-8146 Web: quible.com

May 22, 2024

Mr. Jason Litteral **Currituck County Planning & Community Development** 153 Courthouse Road, Suite 110 Currituck, North Carolina 27949

Re: Major Site Plan Application Resubmittal **RPP Holdings Group, LLC – 4510 Caratoke Hwy** Barco, Currituck County, North Carolina

Mr. Litteral,

Thank you for your comments on the above-referenced project. On behalf of RPP Holdings Group LLC, Quible & Associates, P.C. hereby submits for your review the following digital documents:

- 1. One (1) digital copy of the revised Plan Set;
- 2. One (1) digital copy of the revised Building Elevations;
- 3. One (1) digital copy of the SW-002 and SW-003 forms;
- 4. One (1) digital copy of the revised calculations;
- 5. One (1) CD containing digital copies of all the documents and plans.

A copy of the TRC review comments dated May 8, 2024, are enclosed for reference, and our responses listed below for ease of review:

Planning (Jason Litteral, Jovita Hood)

- 1. Provide a cross access easement for the property to the north and south and extend the parking lot/driveway improvements to the property to the south. *Acknowledged. Gravel drive has been extended to the property line.*
- 2. Please provide building elevation showing faux windows or Bermuda shutters on the short ends of the proposed 3-sided structure. *Please see revised elevations.*
- 3. Staff would like to have a discussion regarding the front façade of the proposed 3-sided structure. Items to be discussed include, but are not limited to, raising the faux windows, providing awnings or Bermuda shutters directly over the windows, options for material and color changes. *Please see revised elevations*.
- 4. Specify the perimeter opaque fence is 8 feet tall and show the required understory trees every 15 feet on center immediately adjacent to, and on the outside of, the fence. *Acknowledged. Additional call outs have been added and understory trees shown throughout.*
- 5. Why does is the southwest corner of the perimeter fence shown as chain link? The entire outdoor use area shall be screened with an opaque 8-foot fence. *All existing chainlink is now shown to be removed and 8' tall opaque fencing to be installed.*

- 6. Section 8.6.5 A and B may require full compliance with off-street parking, landscaping, buffers, screening and signage. Including streetscape landscaping. *It is our understanding that the plan as provided has brought the existing building to be renovated into compliance with off street parking, landscaping, screening, and signage.*
- 7. SW escrow fee \$5500 required with submittal. Acknowledged. This has been provided.
- 8. Heritage tree ordinance applies. Acknowledged. Please note a call out is on Sheet 2 to indicate no heritage tree impacts.
- 9. There appears to be proposed fill in the 10-foot setback in the SW corner that is not part of stormwater conveyance. *Please note a call out has been added to Sheet 3 to show fill is outside of this setback.*
- 10. An as built survey is required due to the proximity of the proposed building to the setback. *Acknowledged.*

Currituck County Building and Fire Inspections (Rick Godsey, 252-232-6020)

Approved, Knox Box will be required for emergency responder access behind gate. Watch high pile combustible storage height. *Acknowledged.*

Stormwater Review, (McAdams, county consultant)

- 1. The stormwater calculations included in this submittal must also be accompanied by a completed copy of the Major Stormwater Plan Form SW-002. Please provide a copy of this with your next submittal. *The SW-002 form was submitted with the initial submittal, a duplicate copy is included with this resubmittal for reference along with a completed SW-003 form.*
- 2. Please check all BUA tables and update them for consistency. *Acknowledged. The DRAFT State Stormwater permit package will be reviewed and updated prior to final submittal to the State.*
- 3. Please review and update the fields in the EZ Form to match the rest of the submittal documents. *Acknowledged. The DRAFT State Stormwater permit package will be reviewed and updated prior to final submittal to the State.*
- 4. Please reconcile the 2" orifice elevation in either the narrative or the detail for the outlet structure. *Acknowledged. The DRAFT State Stormwater permit package will be reviewed and updated prior to final submittal to the State.*
- 5. The elevation of the top of the forebay is listed at 6' in the volume calculations and in the plan view, and the grading within the SCM shows the top of berm at 6'. Equalization will occur between the forebay and the main pool through the riprap pad, bringing the volume in the forebay up to 5' instead of 6'. Additionally, the above permanent pool storage volume calculated for the wet detention basin begins at 5'. Is the volume from 5' to 6' excluding the forebay? Please provide a more accurate description of the berm height and rip rap heights to show the top of berm vs. the bottom and top of the rip rap pad, and reconcile the discrepancy/provide a detailed stage storage breakdown with the volume calculation sheet to reflect where the forebay top of 5.0'; grading has been revised to show the ground elevation under the rip-rap vs. the top of rip-rap.
- 6. Please clarify if the haunching is intended to be soil or stone. The current callouts list both.
 - a. Is this detail intended for pipes under dams? The use of stone instead of solid cradle may lead to routing from the SCM through the dam, which could weaken

P.O. Drawer 870 • Kitty Hawk, NC 27949 Telephone (252) 491-8147 • Fax (252) 491-8146 its integrity. The reference to No 57 stone has been removed. Soil should be used for backfill throughout.

- 7. Please provide clarification about the grading shown in the snip below. Is the 8' contour closed around the SCM, or does the top of the SCM extend out to the incoming swale. The 8' contour continues around the basin to make the top, but the site east of the basin is currently at 8'. This contour is tying back into the existing 8' contour.
- 8. Please include a velocity dissipator in the forebay where the swale enters the SCM to avoid erosion. *Acknowledged and added, as requested.*
- 9. Please provide the inlet elevation for the flared end section draining to the SCM. *Acknowledged and added, as requested.*
- 10. Please provide clarification on the callout below. Is the 6:1 slope on both the main pool side and forebay side? If so, please update the slope and recalculate storage on the forebay. As mentioned in comment #5, the grading reflects the top of the berm to be 6', but the top of rip rap is called out to be 6'. The note has been updated to reflect vegetated shelf is only on the main pond side and grading has been updated accordingly to reflect the top of the earth instead of the top of the rip rap.

Please review the enclosed documents and our above responses at your earliest convenience. Please do not hesitate to contact me at (252) 491-8147 or csaunders@quible.com should you have any questions or require any additional information. We respectfully request that Staff approve the major site plan application package so that a building permit application may be submitted.

Sincerely, **Quible & Associates, P.C.**

MJuch

Cathleen M. Saunders, P.E.

Encl.: as stated Cc: RPP Group Holdings, LLC

> P.O. Drawer 870 • Kitty Hawk, NC 27949 Telephone (252) 491-8147 • Fax (252) 491-8146



NOTES	LE	GEND			
1. CURRENT OWNER: RPP HOLDINGS GROUP, LLC 917 BURNSIDE RD.	EXISTING ASPHALT PAV	EMENT PROPOSED H	EAVY DUTY TON		
2. ENGINEER: QUIBLE & ASSOCIATES, P.C.		PROPOSED			
P.O DRAWER 870 KITTY HAWK, NC TEL: (252) 491–8147		CONCRETE P	AVEMENT		
3. PIN: 8996-40-4911	EXISTING GRAVEL	PROPOSED D	ROP INLET		
4. PID: 007000001110000	T EX. TELEPHONE PEDES	TAL PROPOSED S	TORM PIPE	5/8"SIR	-
5. PROPERTY ADDRESS: 4510 CARATOKE HWY	C EX. CABLE TV BOX	PROPOSED F	RE HYDRANT	DITCH	P
6. PROPERTY ZONED: ZONE: 3.26 ACRES GENERAL BUSINESS (GB) AND REMAINING AGRICULTURAL (AG)	C EX. UTILITY POLE		ends & tees - 5/5	V VIII NA	₹ <i>F</i> ILL
7. MAXIMUM BUILDING HEIGHT = 35 FT	==== ex. drainage pipe	PROPOSED G	ATE VALVE		Г
8. MAXIMUM ALLOWABLE LOT COVERAGE (WITHIN GB) = 65% MAX 9. LOT AREA = 12.02 ACES TOTAL (AREAS BY COORDINATE METHOD)	EX. UG GAS LINE		ATERLINE	Y N Y	
10. SUBJECT REFERENCES: DB 86, PG 57; PC E.		ss PROPOSED S	ANITARY SEWER 🗸		
11. ADDITIONAL REFERENCES: PC P, SL 98; PC L, SL 84; PC I, SL 198.		INE C.O. PROPOSED C			
12. FIELD SURVEY DATES: 06/16/23-06/30/23.			WER MARINEL V		
13. HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVE FROM NCGS BOUNDARY MON NC VA RESET.	D		- -		. ^
14. PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO C BASED ON COMMUNITY CID NO. 370078; PANEL 8986; MAP NUMBER 3720898	HANGES. 600K;		V F	× × +	
EFFECTIVE DATE: 12/21/2018. 15. THIS PLAN SUBJECT TO ANY FACTS. INCLUDING BUILDING SETBACK RESTRICTION	DNS. FASEMENTS.		¥	V V	
COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITL	E SEARCH.		× C	V V V	4"
17. LOT COVERAGE:	AGE BUILDING		v v	v v ivi	
$\frac{PROPOSED}{ROADWAY/PARKING} = 44,311.90 \text{ SQ.FT.}$			× / ×	× × ``Y	
BUILDINGS W/ OVERHANG = 18,143.35 SQ.F1. CONCRETE AREAS = 13,491.04 SQ.F.T. TOTAL PROPOSED = 23,566.1 SQ.FT			(1102) X	V V V	
TOTAL LOT COVERAGE (EXISTING TO REMAIN AND PROPOSED) = 75,946.3 SC).FT.		V. AND	12 12 12	à
PERCENT COVERAGE 53.4% OVER 3.27 ACRES OF GB ZONING 18. MAXIMUM BUILDING HEIGHT = $35'$			V Tary	ACTIVE SYSTEM:	
19. SETBACKS: <u>REQUIRED</u>			V VX V V	(12) 60' LINES AT 5' O.C. (900	ſ
FRONT: 20' (MAJOR ARTERIAL FULL SERVICE = 3 SIDE: 15' REAR: 25'	30°)		V	GPD CAPACITY) Z	ي
WETLAND/RIPARIAN BUFFER: 20'			L V V	Y Y Y	2
ACCESSORY USE/PARKING = $10'$ MINIMUM FILL SETBACK = $10'$ (COUNTY ENGINEER EXCEPTION REQUIRED)			OR SHALL INSTALL	N 22
20. PARKING REQUIREMENTS: RETAIL:1 SPACE PER EVERY 300 SO.FT.			MANNER A POSITIVE FLC	AS TO GUARANTEE DW THROUGHOUT THE	Ň
7,133 SQ. FT. INTERIOR RETAIL FLOOR X 1 SPACE/300 SQ. FT. = 23.8 OR 23 SPACES REQUIRED.			× ×	SYSTEM V	
STORAGE AREA: 1 SPACE PER EVERY 2,000 SQ. FT. 7.500 SQ. FT. ENCLOSED STORAGE X 1 SPACE/2,000 SQ. FT. = 3.8 SPACE	s		V V V		τu
OR 3 SPACES REQUIRED.	-		V V V V	DB 1700, PG 794	! п
TOTAL SPACES REQUIRED: RETAIL + STORAGE =26 SPACES TOTAL SPACES PROVIDED: 29 SPACES BIKE RACK REQUIRED:1-BIKE RACK PROVIDED: 1			V V		• .
21. ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.		V		V V V	
22. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.		, , , , , , , , , , , , , , , , , , ,	k v	V V V	
23. BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH C CODE.	AROLINA BUILDING AND FIRE	¥	× × ×	Y Y Y	Ŧ.
24. EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.		V	× × ×	Y Y Y	
25. THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING UTILITIES SHOWN AF AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY A PRIOR TO CONSTRUCTION TO HIS (HER OWN SATISFACTION THE CONTRACTOR	RE BASED ON THE BEST ALL DATA IN THE FIELD ? SHALL PERFORM ANY TEST	¥.	V V	V V VI	ľ
PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLIC CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-632-494	TS WITH EXISTING UTILITES. 9, 48 HOURS PRIOR TO		× × ×	Y Y Y	
PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.	ATURES TO EXISTING	N V	× × 1351.35	Y Y Y	
FEATURES AS NECESSARY.		v V	× 2"E × ×		12
ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.	STANDARD SPECIFICATIONS	× 144°	53 0 4		シーテ
28. ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A	DURABLE AND UNIFORM	V V	PRO	PERTY LINE AS	
29. PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY	UNACCEPTABLE AREAS.	y - C y y	× 1 × PER	DB 102, PG 225 v	
30. THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPR NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTRO	ROVEMENTS INCLUDING, BUT	Y Y Y		V V V	Ī
AND WATER SYSTEM. FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, SEE PLANS.	APPROPRIATE SEPARATE	V V V	×/ × ×	V V V	
31. ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF TH UNIFORM DEVELOPMENT ORDINANCE. LIGHTING PLAN TO BE PROVIDED UNDER	E CURRITUCK COUNTY SEPARATE COVER.		/ × ×	Y Y	V
32. REMOVE TREES, GRASSES, SHRUBS, AND OTHER VEGETATION IMPROVEMENTS (DR OBSTRUCTIONS	V V V V		V V V V	
33. STORMWATER MANAGEMENT:	NOTED.	V V		V V V V V	
RUNOFF FROM ALL PROPOSED IMPROVEMENTS WILL BE COLLECTED AND CONVI CONTROL MEASURE LOCATED AT THE REAR OF THE PROPERTY. A STATE HIGH PERMIT MUST BE OBTAINED	EYED INTO A STORMWATER I DENSITY STORMWATER	× × ×/	V V V V	WETLANDS V V	V
34. PRIOR TO LAND DISTURBANCE, A STATE APPROVED SOIL EROSION AND SEDIM		V V	V V	· ·	
35. PRIOR TO ANY WORK WITHIN THE NCDOT RIGHT-OF-WAY, AN NCDOT ENCROA	ENT CONTROL PLAN IS	V	V	V V V- V V	
DRIVEWAY ACCESS AGREEMENT SHALL BE OBTAINED.	ENT CONTROL PLAN IS	v v v v v			-
\mathbf{x}	CHMENT AGREEMENT AND	v v v v v	× × × ×		
36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A				
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES AND NODED DIVISION OF ENERGY MINERAL 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PLICABLE CURRITUCK			$\begin{array}{cccccccccccccccccccccccccccccccccccc$	<u>-</u> - <u>-</u>
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PLICABLE CURRITUCK L, AND LAND RESOURCES			$\begin{array}{cccccccccccccccccccccccccccccccccccc$	× 12 ×
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPL ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS.			$\begin{array}{cccccccccccccccccccccccccccccccccccc$	
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPL ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING LINDERCROUND LIT 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS.			$\begin{array}{cccccccccccccccccccccccccccccccccccc$	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPL ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES 1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. ILITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN			$\begin{array}{cccccccccccccccccccccccccccccccccccc$	
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPL ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION LINESS NOTED OTHERWISE 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. ILITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN ITS OR OBSTRUCTIONS INTERFERING		× × × × × × × × × × × × × × × × × × ×	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES 1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. 2. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. 3. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. HITTES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN NTS OR OBSTRUCTIONS INTERFERING	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	× × × × × × × × × × × × × × × × × × ×	V V V V V V V V V <td></td>	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES 1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. 2. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. 3. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 ST 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. HITTES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN NTS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD)	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	V V	V V V V V V V V V <td></td>	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES 1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. 2. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. 3. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. ILITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN NTS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM	$\begin{array}{c} & & & \\ & & & & \\ & & & \\ & & & & \\ & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\$	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY**	HEIGHT SPREAD 50' - 100'. 20' - 30' 40' - 50' 25' - 45' 15' - 30' 10' - 20'	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES @ 5' O.C. (720 LN. FT. TOTAL) 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. LLITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN NTS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA***	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES 1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. 2. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. 3. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES © 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. LLITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN NTS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM	$\begin{array}{c} $	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARE YAUPON HOLLY***	4 $40' - 50'$ $25' - 45'$ $15' - 30'$ $10' - 20'$ $15' - 30'$ $6' - 15'$ $3' - 6'$ $3' - 6'$ $3' - 5'$ $3' - 6'$	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECADITORS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES 1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. 2. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. 3. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES @ 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA 4. UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. LLITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN NTS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND DETAILS IN TREATMENT AND	$\begin{array}{c} $	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARF AZALEA*** DWARF AZALEA***	4 $40' - 50'$ $25' - 45'$ $15' - 30'$ $10' - 20'$ $15' - 30'$ $6' - 15'$ $3' - 6'$ $3' - 6'$ $3' - 6'$ $3' - 6'$ $3' - 6'$ $3' - 6'$ $3' - 6'$ $3' - 6'$ $3' - 6'$ $3' - 6'$	
 36. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH. NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. 37. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. 38. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES 1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. 2. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. 3. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES @ 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA 4. UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARI NATURAL RESOURCES, DIVISION OF ENVRONMENTAL HEALTH, ON-SITE WA 18A 1900) 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. LLITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN NTS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND NATE OF ENVIRONMENT AND	$\begin{array}{c} & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\$	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARF AZALEA*** DWARF AZALEA*** SPECIES MAY BE SUB THE CURRITUCK AD	V V V V V V V V V AE (eL.4') V	
 HE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPL ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPL ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES © 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEMS' OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARI NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSI. 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. LLITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN ITS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND INSTEWATER SECTION (15 NCAC SAL SYSTEM IS TO CONFORM WITH	$\begin{array}{c} & & & & & & & & & & & & & & & & & & &$	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA*** SPECIES MAY BE SUB THE CURRITUCK AD REE SPECIES MAY BE	Image: Ward of the system Im	
 HE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROPERTY DURING CONSTRUCTION. DISTURED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES © 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPART NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSA ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT. 	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. LITTES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN ITS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND ASTEWATER SECTION (15 NCAC SAL SYSTEM IS TO CONFORM WITH WITH SAME REQUIREMENTS AS #4	V V V V V V V V V <td>TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA***</td> <td>Image: Second state of the second s</td> <td></td>	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA*** DWARF AZALEA***	Image: Second state of the second s	
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTORS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LI 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES © 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEMS IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEMS INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEMS IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEMS IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEMS OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPAR	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. LLITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN ATS OR OBSTRUCTIONS INTERFERING OF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND ASTEWATER SECTION (15 NCAC SAL SYSTEM IS TO CONFORM WITH M WITH SAME REQUIREMENTS AS #4	V V V V V V V V V <td>TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARF AZALEA*** DWARF AZALEA***</td> <td>HEIGHT SPREAD 50' - 100'. 20' - 30' HEIGHT SPREAD 50' - 100'. 20' - 30' 40' - 50' 25' - 45' 15' - 30' 10' - 20' 15' - 30' 10' - 20' 15' - 30' 6' - 15' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' SUBSTITUTED WITH THE SPECIES MINISTRATIVE MANUAL WITH SUBSTITUTED WITH THE SPECIES MINISTRATIVE MANUAL WITH</td> <td></td>	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** DWARF AZALEA*** DWARF AZALEA***	HEIGHT SPREAD 50' - 100'. 20' - 30' HEIGHT SPREAD 50' - 100'. 20' - 30' 40' - 50' 25' - 45' 15' - 30' 10' - 20' 15' - 30' 10' - 20' 15' - 30' 6' - 15' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' SUBSTITUTED WITH THE SPECIES MINISTRATIVE MANUAL WITH	
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LI 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./S FT. TRENCH = 720 LN. FT. (12) 60' LINES © 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM'S OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARI NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEMS' OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARI NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOS ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT. MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM ABOVE. FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS S I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INC SYSTEM SHALL HAVE A ENDER DEVENDING TEXTURE TO BE CLASSIFIED AS S UP TO THE TOP OF THE NITRIFICATION TRENCHES.	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. ILITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN ATS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND MENT O	V V V V V V V V V <td>COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** OWARF YAUPON HOLLY*** DWARF YAUPON HOLLY*** DWARF AZALEA*** SPECIES MAY BE SUB THE CURRITUCK AD REE SPECIES MAY BE THE CURRITUCK AD STALLATION WITH OWN O WITH THE SPECIES MANUAL WITH COUN</td> <td>Image: Superior of the second state of the second stat</td> <td></td>	COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** OWARF YAUPON HOLLY*** DWARF YAUPON HOLLY*** DWARF AZALEA*** SPECIES MAY BE SUB THE CURRITUCK AD REE SPECIES MAY BE THE CURRITUCK AD STALLATION WITH OWN O WITH THE SPECIES MANUAL WITH COUN	Image: Superior of the second state of the second stat	
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AP COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMP ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMP ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LF 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./S FT. TRENCH = 720 LN. FT. (12) 60' LINES © 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION, 1900 "LAWS AND RULE DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPART NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOS ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT. MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS S I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INC SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL ON SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE COVER. THE FILL MATERIAL AND THE	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. ILITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN ATS OR OBSTRUCTIONS INTERFERING OF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND ASTEWATER SECTION (15 NCAC SAL SYSTEM IS TO CONFORM WITH M WITH SAME REQUIREMENTS AS #4 GAND OR LOAMY SAND (SOIL GROUP CHES OF FILL USED TO COVER THE E ESTABLISHMENT OF A VEGETATIVE D A DEPTH OF SIX INCHES BELOW BE REMOVED BEFORE THE FILL	V V V V V V V V	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** OWARF YAUPON HOLLY*** DWARF YAUPON HOLLY*** DWARF YAUPON HOLLY*** DWARF AZALEA*** SPECIES MAY BE SUB THE CURRITUCK AD REE SPECIES MAY BE SUB THE CURRITUCK AD STALLATION WITH OWN O WITH THE SPECIES MANUAL WITH COUN W	HEIGHT SPREAD 50' - 100'. 20' - 30' 40' - 50' 25' - 45' 15' - 30' 10' - 20' 15' - 30' 10' - 20' 15' - 30' 6' - 15' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' 3' - 6' STITUTED WITH THE SPECIES MINISTRATIVE MANUAL WITH SUBSTITUTED WITH THE SPECIES MINISTRATIVE MANUAL WITH	
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT A DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMP ACCORDANCE WITH CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMP ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LI 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES © 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEM S' OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPART NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOS ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT. MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORI ABOVE. FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS S I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INC SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL SE MIXED TO THE INTERFA	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PPLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. ILITIES IN AREAS OF WORK PRIOR N IF UTILITIES ARE TO REMAIN IN ATS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND ISTEWATER SECTION (15 NCAC SAL SYSTEM IS TO CONFORM WITH M WITH SAME REQUIREMENTS AS #4 GAND OR LOAMY SAND (SOIL GROUP HE STABLISHMENT OF A VEGETATIVE D A DEPTH OF SIX INCHES BELOW BE REMOVED BEFORE THE FILL IE DRAINFIELD AREA EINISH CRAPE	$ \begin{array}{c} $	TREE PL COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** OWARF YAUPON HOLLY*** DWARF YAUPON HOLLY*** DWARF AZALEA*** SPECIES MAY BE SUB F THE CURRITUCK AD REE SPECIES MAY BE SUB F THE CURRITUCK AD STALLATION WITH OWN O WITH THE SPECIES MANUAL WITH COUN W NF L. ANGE, JR. ME L. ANGE, JR. ME L. ANGE, JR. ME L. ANGE, JR. ME L. ANGE, JR.	$\begin{array}{c} FIRM ZONE \\ AE (EL.4') \\ FIRM ZONE \\ FIRM Z$	
 THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTET MONUMENTS SH DURING CONSTRUCTION, DISTURBED OR REMOVED PROPERTY MONUMENTS SH NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, AF COUNTY CODES AND ORDINANCES, AND NCDEQ DIVISION OF ENERGY, MINERA REGULATIONS. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPI ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS A WASTEWATER. NOTES CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UT TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTIO PLACE. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMEN WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 S ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LI 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./5 FT. TRENCH = 720 LN. FT. (12) 60' LINES @ 5' 0.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRETREATMENT REPAIR AREA UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE DISPOSAL SYSTEM IS TO CONFORM WITH SECTION .1900 "LAWS AND RULE DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARI NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARI NATURAL RESOLACES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WA 18A.1900). CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL I MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORT ABOVE. ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY	ENT CONTROL PLAN IS CHMENT AGREEMENT AND LL PROPERTY MONUMENTS ALL BE REPLACED BY A PLICABLE CURRITUCK L, AND LAND RESOURCES ROVEMENTS SHALL BE IN ND DETAILS. ILITIES IN AREAS OF WORK PRIOR IN IF UTILITIES ARE TO REMAIN IN ITS OR OBSTRUCTIONS INTERFERING SF = 856 GALLONS PER DAY (GPD) PP SYSTEM COLLECTION, TREATMENT AND ES FOR SEWAGE TREATMENT AND MENT OF ENVIRONMENT AND ASTEWATER SECTION (15 NCAC SAL SYSTEM IS TO CONFORM WITH IM WITH SAME REQUIREMENTS AS #4 GAND OR LOAMY SAND (SOIL GROUP PHES OF FILL USED TO COVER THE E STABLISHMENT OF A VEGETATIVE D A DEPTH OF SIX INCHES BELOW BE REMOVED BEFORE THE FILL IE DRAINFIELD AREA. FINISH GRADE SETATE DRAINFIELD AREA AS	V V V V V V V V V <td>Image: Second state COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** OWARF YAUPON HOLLY** DWARF YAUPON HOLLY** DWARF YAUPON HOLLY** DWARF ZALEA*** SPECIES MAY BE SUBE THE CURRITUCK AD REE SPECIES MAY BE SUBE THE CURRITUCK AD STALLATION WITH OWN OWITH THE SPECIES MANUAL WITH COUN V NF L. ANGE ZP G 569 J.SL 137 NIG: GB</td> <td>Image: Superior of the system of the sys</td> <td></td>	Image: Second state COMMON NAME BALD CYPRESS* RED MAPLE* AMERICAN HOLLY** CRAPE MYRTLE** GLOSSY ABELIA*** OWARF YAUPON HOLLY** DWARF YAUPON HOLLY** DWARF YAUPON HOLLY** DWARF ZALEA*** SPECIES MAY BE SUBE THE CURRITUCK AD REE SPECIES MAY BE SUBE THE CURRITUCK AD STALLATION WITH OWN OWITH THE SPECIES MANUAL WITH COUN V NF L. ANGE ZP G 569 J.SL 137 NIG: GB	Image: Superior of the system of the sys	



<u>NOTES</u>

RPP HOLDINGS GROUP, LLC 917 BURNSIDE RD. MANTEO, NC 27954 . CURRENT OWNER:

- ENGINEER:
- QUIBLE & ASSOCIATES, P.C. P.O.. DRAWER 870 KITTY HAWK, NC TEL: (252) 491-8147
- 3. PIN: 8996-40-4911
- 4. PID: 007000001110000 . PROPERTY ADDRESS: 4510 CARATOKE HWY
- . PROPERTY ZONED: ZONE: 3.26 ACRES GENERAL BUSINESS (GB) AND REMAINING AGRICULTURAL (AG)
- 7. MAXIMUM BUILDING HEIGHT = 35 FT
- MAXIMUM ALLOWABLE LOT COVERAGE = 65% MAX
- . LOT AREA = 12.02 ACRES TOTAL (AREAS BY COORDINATE METHOD.)
- 10. SUBJECT REFERENCES: DB 86, PG 57; PC E.
- 11. ADDITIONAL REFERENCES: PC P, SL 98; PC L, SL 84; PC I, SL 198.
- 12. FIELD SURVEY DATES: 06/16/23-06/30/23.
- 13. HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM NCGS BOUNDARY MON NC VA RESET. 4. PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 8986; MAP NUMBER 3720898600K;
- EFFECTIVE DATE: 12/21/2018.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- 6. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN SPOT ELEVATION GRADES AND MAINTAIN POSITIVE DRAINAGE
- 7. AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUGARED AND BACKFILLED IN 6" LIFTS.
- 18. ALL PIPES TO BE CLASS III REINFORCED CONCRETE, UNLESS OTHERWISE NOTED.
- 19. ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT 20. PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY
- UNACCEPTABLE AREAS.
- 21. ALL PORTIONS OF ROOF DRAIN COLLECTION SYSTEM WITH LESS THAN 36" OF COVER IN TRAFFIC RATED CONDITIONS SHALL BE DUCTILE IRON PIPE. 22. A STATE HIGH DENSITY STORMWATER PERMIT IS REQUIRED IN ADVANCE OF ANY ONSITE DISTURBANCE. SITE IS WITHIN THE PASQUOTANK RIVER BASIN RECEIVING STREAM INTRACOASTAL WATERWAY (SC; 30-2-5-1)
- 3. ALL STORMWATER CONTROL MEASURES (SCM'S) ASSOCIATED WITH THE SITE MUST BE PERMITTED WITH THE STATE OF NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL PERMITTED SCM FOOTPRINT, PLUS AN ADDITIONAL TEN FEET, SHALL BE ENCOMPASSED BY AN ACCESS AND MAINTENANCE EASEMENT FOR THE BENEFIT OF NCDEQ AND MAINTENANCE PERSONONEL. THE ACCESS AND MAINTENANCE EASEMENT SHALL ALSO INCLUDE THE SIDE SLOPES, EMBANKMENT, AND EMERGENCY SPILLWAY OF ALL THE SCM'S SHOWN ON THE PLAN.
- 4. ALL REINFORCED CONCRETE PIPES (RCP) TO HAVE END TREATMENTS, EITHER FLARED END SECTIONS (FES) OR END WALLS. END WALLS TO BE CONSTRUCTED AS PER NCDOT STANDARD 838.01.



DRAW-DOWN STRUCTURE DETAIL

N.T.S.

A FAIRCLOTH SKIMMER TO BE INSTALL DURING THE INITIAL CONSTRUCTION OF THE WET NOTE: BASIN. THE SKIMMER IS TO BE CONNECTED TO THE 8" STUB-OUT ON THE WETBASIN OVERFLOW STRUCTURE. THE WET BASIN WILL SERVE AS A SEDIMENT BASIN DURING THE CONSTRUCTION OF THE SITE. ONCE THE SITE HAS BEEN FULLY STABILIZED THE FAIRCLOTH SKIMMER IS TO BE REMOVED AND THE SPECIFIED DRAW DOWN PIPE IS TO BE INSTALLED PER THE BASIN OVERFLOW STRUCTURE DETAIL. THE STUB-OUT FOR THE DRAW DOWN PIPE SHALL BE CAPPED DURING CONSTRUCTION

5. ONCE A YEAR, A DAM SAFETY EXPERT SHOULD INSPECT THE EMBANKMENT. NOTE: THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER

NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS

MAINTENANCE 1. IMMEDIATELY AFTER THE WET POND IS ESTABLISHED, THE PLANTS ON THE VEGETATED SHELF AND PERIMETER OF THE BASIN SHOULD BE WATERED TWICE WEEKLY IF

NEEDED, UNTIL THE PLANTS BECOME ESTABLISHED (COMMONLY SIX WEEKS).

2.NO PORTION OF THE WET POND SHOULD BE FERTILIZED AFTER THE FIRST INITIAL FERTILIZATION THAT IS REQUIRED TO ESTABLISH THE PLANTS ON THE VEGETATED

3.STABLE GROUNDCOVER SHOULD BE MAINTAINED IN THE DRAINAGE AREA TO REDUCE

4.IF THE POND MUST BE DRAINED FOR AN EMERGENCY OR TO PERFORM MAINTENANCE,

THE FLUSHING OF SEDIMENT THROUGH THE EMERGENCY DRAIN SHOULD BE MINIMIZED

5/8"SII

DITCH

(0.1'BG)

NOTICE TO PROCEED.

WET DETENTION BASIN

THE SEDIMENT LOAD TO THE WET POND.

AS MUCH AS POSSIBLE.

Know what's below. Call before you dig.

N/F

JERRY L. ANGE, JR. & JENNIE L. ANGE

DB 1172, PG 569

PC J, SL 137

ZONING: GB

PROPERTY LINE AS

PER DB 102, PG 225

WETLANDS

FIRM ZONE

AE (EL.4')

QUIBLE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

of 8 <u>sheets</u>

GROUND STABILIZATION THE NCGO1 CONSTRUCTION Implementing the details a activity being considered of sections of the NCGO1 Cor permittee shall comply wi delegated authority havin may not apply depending SECTION E: GROUND STA	AND MATERIALS HAI DN GENERAL PERMIT and specifications on compliant with the Gr nstruction General Pe th the Erosion and Se g jurisdiction. All deta on site conditions and BILIZATION	NDLING PRACTICES FOR COMPLIANCE WITH this plan sheet will result in the construction yound Stabilization and Materials Handling rmit (Sections E and F, respectively). The diment Control plan approved by the ils and specifications shown on this sheet d the delegated authority having jurisdiction.	 EQUIPMENT AND VEHICLE MAINTENANCE 1. Maintain vehicles and equipment to pr 2. Provide drip pans under any stored equ 3. Identify leaks and repair as soon as fea project. 4. Collect all spent fluids, store in separat hazardous waste (recycle when possiblis) 5. Remove leaking vehicles and construct has been corrected.
R	equired Ground Stab	ilization Timeframes	6. Bring used fuels, lubricants, coolants, h
Site Area Description	Stabilize within this many calendar days after ceasing	s Timeframe variations	LITTER, BUILDING MATERIAL AND LAND CLEA
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None	 Never bury or burn waste. Place litter a Provide a sufficient number and size of receptacle) on site to contain construct Locate waste containers at least 50 feet
(b) High Quality Water (HQW) Zones	7	None	waters unless no other alternatives are4. Locate waste containers on areas that does not alternative and the second does
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed	5. Cover waste containers at the end of ea provide secondary containment. Repair
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones	 Anchor all lightweight items in waste co Empty waste containers as needed to provide containers overflow. Dispose waste off-site at an approved d On business days, clean up and dispose
 (e) Areas with slopes flatter than 4:1 Note: After the permanen ground stabilization shall practicable but in no case activity. Temporary grour 	14 t cessation of constru- be converted to perm longer than 90 calence ad stabilization shall b	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope action activities, any areas with temporary anent ground stabilization as soon as dar days after the last land disturbing e maintained in a manner to render the	 PAINT AND OTHER LIQUID WASTE Do not dump paint and other liquid wa Locate paint washouts at least 50 feet a waters unless no other alternatives are Contain liquid wastes in a controlled ar Containment must be labeled, sized an Prevent the discharge of soaps, solvent construction sites.
GROUND STABILIZATION Stabilize the ground suffic techniques in the table be Temporary grass seed cov other mulches and tackific • Hydroseeding • Rolled erosion control pro- without temporary grass s • Appropriately applied stra	elerated erosion until SPECIFICATION iently so that rain will low: bilization ered with straw or ers ducts with or seed w or other mulch	permanent ground stabilization is achieved. not dislodge the soil. Use one of the Permanent Stabilization Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered	 PORTABLE TOILETS Install portable toilets on level ground, streams or wetlands unless there is not offset is not attainable, provide relocation a gravel pad and surround with sance Provide staking or anchoring of portable foot traffic areas. Monitor portable toilets for leaking and Utilize a licensed sanitary waste hauler with properly operating unit.
• Plastic sheeting	•	with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed	EARTHEN STOCKPILE MANAGEMENT 1. Show stockpile locations on plans. Loca 50 feet away from storm drain inlets, se and surface waters unless it can be sho available.
 POLYACRYLAMIDES (PAM Select flocculants the construction, select Apply flocculants at PAMS/Flocculants at PAMS/Flocculants at offsite. Store flocculants in 	IS) AND FLOCCULANT nat are appropriate fo ing from the <i>NC DWR</i> or before the inlets t the concentrations s nd in accordance with the for containment of leak-proof containers	r the soils being exposed during <i>List of Approved PAMS/Flocculants.</i> o Erosion and Sediment Control Measures. pecified in the <i>NC DWR List of Approved</i> in the manufacturer's instructions. treated Stormwater before discharging that are kept under storm-resistant cover	 Protect stockpile with slit tence installe five feet from the toe of stockpile. Provide stable stone access point when Stabilize stockpile within the timeframe with the approved plan and any additio as vegetative, physical or chemical cove erosion on disturbed soils for temporar
or surrounded by se	econdary containmen	t structures. CG01 GROUND S	STABILIZATION AN
	PART	11	DAR

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	(during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un- attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 Identification of the measures inspected, Date and time of the inspection, Name of the person performing the inspection, Indication of whether the measures were operating properly, Description of maintenance needs for the measure, Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain	 Identification of the discharge outfalls inspected, Date and time of the inspection, Name of the person performing the inspection, Evidence of indicators of stormwater pollution such as oil
	event ≥ 1.0 inch in 24 hours	 sheen, floating or suspended solids or discoloration, Indication of visible sediment leaving the site, Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division
(6) Ground stabilization measures	24 hours After each phase of grading	 Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit. 1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION. RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUIBLE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

SECTION B: RECORDKEEPING 1. E&SC Plan Documentation The approved E&SC plan as well as any approve approved E&SC plan must be kept up-to-date th The following items pertaining to the E&SC plan described: Item to Document Each E&SC Measure has been installed Initi d does not significantly deviate from the 🔰 of th ations, dimensions and relative elevations \mid and s own on the approved E&SC Plan. E&SC Plan initia the insta A phase of grading has been completed. Initi Plan repo Ground cover is located and installed Initi Plan accordance with the approved E&SC repo grou The maintenance and repair Com quirements for all E&SC Measures ve been performed. Corrective actions have been taken Initi E&SC Measures. Plan repoi l corr dditional Documentation addition to the E&SC Plan documents above, nd available for agency inspectors at all times vision provides a site-specific exemption base quirement not practical: This general permit as well as the certificat Records of inspections made during the prethe required observations on the Inspection a similar inspection form that includes all t electronically-available records in lieu of th shown to provide equal access and utility a All data used to complete the Notice of Int maintained for a period of three years afte upon request. [40 CFR 122.41]

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

D VEHICLE MAINTENAN ehicles and equipment ip pans under any store aks and repair as soon a spent fluids, store in sep waste (recycle when po aking vehicles and cons orrected. fuels, lubricants, coolar ing or disposal center th	ICE to prevent discharge of fluids. d equipment. s feasible, or remove leaking equipment from the parate containers and properly dispose as possible). truction equipment from service until the problem nts, hydraulic fluids and other petroleum products nat handles these materials.	ONSITE CONCRETE WASHOUT STRUCTURE WITH LINER Image: Structure with tree with	NC License#: C-0208	lible since 1959	Ssociates, P.C. 16** * CONSULTING * PLANNING ENTAL SCIENCES * SURVEYING** 5 NOT OFFERED AT BLACK MTN. OFFICE**	E HWY 90 CHURCH STREET SUITE B , NC 27966 BLACK MOUNTAIN, NC 28711	191–8147 Phone: (828) 357–5149 quible.com administrator@quible.com
ATTERIAL AND LAND or burn waste. Place lit ifficient number and siz on site to contain const the containers at least 50 ses no other alternatives the containers on areas t d areas and does not dr e containers at the end ondary containment. R ightweight items in was e containers as needed overflow. Ste off-site at an approve to days, clean up and disp the paint and other liquing the washouts at least 50 ess no other alternative uid wastes in a controllent must be labeled, size e discharge of soaps, so on sites. TS able toilets on level grow wetlands unless there is t attainable, provide rel pad and surround with king or anchoring of point	CLEARING WASTE tter and debris in approved waste containers. te of waste containers (e.g dumpster, trash truction and domestic wastes. feet away from storm drain inlets and surface are reasonably available. hat do not receive substantial amounts of runoff ain directly to a storm drain, stream or wetland. of each workday and before storm events or epair or replace damaged waste containers. te containers during times of high winds. to prevent overflow. Clean up immediately if red disposal facility. pose of waste in designated waste containers. d waste into storm drains, streams or wetlands. feet away from storm drain inlets and surface s are reasonably available. ed area. ed and placed appropriately for the needs of site. lvents, detergents and other liquid wastes from und, at least 50 feet away from storm drains, s no alternative reasonably available. If 50 foot ocation of portable toilet behind silt fence or place sand bags. rtable toilets during periods of high winds or in high	 CONCRETE WASHOUTS Do not discharge concrete or cement slurry from the site. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions. At the comple	COPYRIGHT © 2024 QUIBLE & ASSOCIATES, P.C.	THIS DOCUMENT IS THE PROPERTY OF QUIBLE & ASSOCIATES, P.C. ANY ALTERATION OF THIS DOCUMENT IS	PROHIBITED. IF THIS DOCUMENT IS NOT SIGNED AND SEALED BY A LICENSED PROFESSIONAL THEN THIS DOCUMENT SHALL BE CONSIDERED PRELIMINARY, **SURVEYING	NUL A CERTIFIEU DUCUMENI AND SHALL NOT BE USED FOR CONSTRUCTION, RECORDATION, SALES OR LAND CONVEYANCES, UNLESS	OTHERWISE NOTED. CERTIFICATION Phone: (252) administratore
areas. rtable toilets for leaking ensed sanitary waste have rly operating unit. PILE MANAGEMENT spile locations on plans. ay from storm drain inlest to waters unless it can be ckpile with silt fence inse to ble stone access point wo ockpile within the timefor proved plan and any action we, physical or chemical disturbed soils for temp	and properly dispose of any leaked material. uler to remove leaking portable toilets and replace Locate earthen-material stockpile areas at least ets, sediment basins, perimeter sediment controls a shown no other alternatives are reasonably stalled along toe of slope with a minimum offset of when feasible. Frames provided on this sheet and in accordance ditional requirements. Soil stabilization is defined coverage techniques that will restrain accelerated borary or permanent control needs. AND MATERIALS H	 HERBICIDES, PESTICIDES AND RODENTICIDES Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately. Do not stockpile these materials onsite. HAZARDOUS AND TOXIC WASTE Create designated hazardous waste collection areas on-site. Place hazardous waste containers under cover or in secondary containment. Do not store hazardous chemicals, drums or bagged materials directly on the ground. EFFECTIVE: 04/01/19 	O. DATE REVISIONS	1 05/21/2024 REVISED PER TRC COMMENTS			
SELF-INSPECTION, REC KEEPING entation C plan as well as any ap an must be kept up-to-or is pertaining to the E&S occument ure has been installed antly deviate from the s and relative elevations red E&SC Plan. Ing has been completed. ocated and installed he approved E&SC e and repair E&SC Measures d. Ins have been taken Mentation E&SC Plan documents a agency inspectors at all for a site-specific exemptio	PART III CORDKEEPING AND REPORTING poroved deviation shall be kept on the site. The date throughout the coverage under this permit. C plan shall be documented in the manner Note: The approved the teach the teach the teach the teach the teach the teach teach teach teach teach teach teach teach teach the teach	PART III SELF-INSPECTION, RECORDREEPING AND REPORTING SECTION C: REPORTING SECTION C: REPORTING Occurrences that must be reported Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland. (b) Oil spills if: • They are 25 gallons or more, • They are 25 gallons but cannot be cleaned up within 24 hours, • They are 25 gallons or more, • They are 25 gallons or more, • They are within 100 feet of surface waters (regardless of volume), or • They are within 100 feet of surface waters (regardless of volume). (a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.5. 143-215.85. (b) Anticipated bypasses and unanticipated bypasses. (c) Noncompliance with the conditions of this permit that may endanger health or the environment. Description Teinoframes and Other Requirements After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeFrames and in accordance with the o		SESC DETAILS	RPP HOLDINGS GROUP, LLC	FORMERLY JJ HAYMAN AND SON	DRD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
permit as well as the cer spections made during to observations on the Ins ection form that include available records in lieu vide equal access and u to complete the Notice or a period of three year [40 CFR 122.41]	tificate of coverage, after it is received. the previous 30 days. The permittee shall record pection Record Form provided by the Division or es all the required elements. Use of u of the required paper copies will be allowed if tility as the hard-copy records. of Intent and older inspection records shall be rs after project completion and made available	Instant of the permittee may be reduced to be perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above• Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.(c) Anticipated bypasses [40 CFR 122.41(m)(3)]• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]• Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(l)(7)]• Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6).• Division staff may waive the requirement for a written report on a case-by-case basis.	DES DRA ISSI	DJECT NG GIGNED E WN BY ECKED B JE DATE SHE	P2305 P2305 CMS BPJ/C MWS 04/25 TET	K 8 5/24 NO.	
RECOR	DKEEPING AND RE	EPORTING EFFECTIVE: 04/01/19)F	8 SHI	EETS	7

1 First Floor Plan 1/8" = 1'-0"

2 Rendering 12" = 1'-0"

Project:	Kellogg Coinjock Storage Bldg #1
Project No:	24004
Location:	4510 Caratoke Hwy Coinjock, NC
Title:	Preliminary
Date:	May 21, 2024
Scale:	As indicated

cahoon+kasten

118 West Woodhill Drive

Nags Head, North Carolina 27959 P.252.441.0271 F.252.441.8724

E.office@obxarchitects.com

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

Revisions:

2 Prl02

No.	D	escription	Date
Designed	l: Designer	D 10	
Drawn:	Author	Drll	
Reviewe	d: Checker	ΓIIU	L
Cad File:		~	

Date

50' - 0"	 ,	

Major Stormwater Plan Form SW-002

APPLICANT:			PROPERTY OW	/NER:	
Name:	RPP Holdings Group, LLC.		Name:	same	
Address	917 Burnside Road		Address		
Address:	Manteo, NC 27954		Address:		
Telephone	252-473-2167		Telephone		
E-Mail Addres	s: joeg@kelloggsupplyco.c	com	E-Mail Address	:	
Property Infor	mation				
Physical Stree	t Address: 4510 Caratoke	Hwy			
Parcal Identifi	cation Number(s), 8996-40-	4911			
FEMA Flood Z	one Designation: Varies - see	e plan			
FEMA Flood Z Request	one Designation: <u>varies - sec</u>	e plan			
FEMA Flood Z Request Project Descri	one Designation: <u>varies - sec</u>	e plan			
FEMA Flood Z Request Project Descri Total land dis	one Designation: <u>varies - sec</u> ption: <u>Kellogg's Supply Co.</u> turbance activity: <u>126,324</u>	e plansf	Calculated volu	ume of BMPs: 24,085	sf
FEMA Flood Z Request Project Descri Total land dis Maximum lot	one Designation: varies - see ption: Kellogg's Supply Co. turbance activity: <u>126,324</u> coverage: <u>92,453</u>	e plansfsf	Calculated volu Proposed lot ca	ume of BMPs: <u>24,085</u> overage: <u>75,946</u>	sf sf
FEMA Flood Z Request Project Descri Total land dis Maximum lot TYPE OF REQ	one Designation: varies - see ption: Kellogg's Supply Co. turbance activity: <u>126,324</u> coverage: <u>92,453</u>	e plansf sf	Calculated volu Proposed lot co	ume of BMPs: <u>24,085</u> overage: <u>75,946</u>	sf sf
FEMA Flood Z Request Project Descri Total land dis Maximum lot TYPE OF REQ D Majo Z Majo	one Designation: varies - see ption: Kellogg's Supply Co. turbance activity: <u>126,324</u> coverage: <u>92,453</u> <u>UEST</u> r subdivision (10-year, 24-hour ro	e plan sf sf ur rate) ute)	Calculated volu Proposed lot ca	ume of BMPs: <u>24,085</u> overage: <u>75,946</u>	sf
FEMA Flood Z Request Project Descri Total land dis Maximum lot <u>TYPE OF REQ</u> Majo <u>METHOD USE</u>	one Designation: varies - see ption: Kellogg's Supply Co. turbance activity: 126,324 coverage: 92,453 UEST r subdivision (10-year, 24-hour r site plan (5-year, 24-hour ro D TO CALCULATE PEAK DISCI	e plan sf sf sf r rate) ite) HARGE	Calculated volu Proposed lot ca	ume of BMPs: 24,085 overage: _75,946	sf
FEMA Flood Z Request Project Descri Total land dis Maximum lot <u>TYPE OF REQ</u> Majo <u>METHOD USE</u> Ratio	one Designation: varies - see ption: Kellogg's Supply Co. turbance activity: 126,324 coverage: 92,453 UEST r subdivision (10-year, 24-hour r site plan (5-year, 24-hour ro D TO CALCULATE PEAK DISCI nal Method	e plan sf sf or rate) tte) HARGE	Calculated volu Proposed lot ca	ume of BMPs: <u>24,085</u> overage: <u>75,946</u>	sf sf
FEMA Flood Z Request Project Descri Total land dis Maximum lot <u>TYPE OF REQ</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u> <u>Major</u>	one Designation: varies - see ption: Kellogg's Supply Co. turbance activity: 126,324 coverage: 92,453 UEST r subdivision (10-year, 24-hour r site plan (5-year, 24-hour ro D TO CALCULATE PEAK DISCI nal Method Method (TR-55 and TR-20)	e plan sf sf or rate) tte) HARGE	Calculated volu Proposed lot co	ume of BMPs: 24,085 overage: _75,946	sf sf
FEMA Flood Z Request Project Descri Total land dis Maximum lot <u>TYPE OF REQ</u> <u>Major</u> <u>METHOD USE</u> <u>Ration</u> <u>NRCS</u> <u>Simple</u>	one Designation: varies - see ption: Kellogg's Supply Co. turbance activity: 126,324 coverage: 92,453 UEST r subdivision (10-year, 24-hour r site plan (5-year, 24-hour re D TO CALCULATE PEAK DISCI nal Method Method (TR-55 and TR-20) e volume calculation for small	e plan sf sf r rate) tte) HARGE sites (less t	Calculated volu Proposed lot a	ume of BMPs: <u>24,085</u> overage: <u>75,946</u>	sf sf

Property Owner(s)/Applicant ONK

4-22-20 a4

OFFICIAL USE ONLY: Permit Number: _____ Date Filed: _____ Date Approved: _____

Date

Major Stormwater Plan SW-002 Page 2 of 4 Major Stormwater Plan Design Standards Checklist

The table below depicts the design standards of the major stormwater plan application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Major Stormwater Plan

Design Standards Checklist

Date Received: _____

Project Name: <u>RPP Holdings Group, LLC - 4510 Caratoke Hwy</u>

Applicant/Property Owner: <u>RPP Holdings Group, LLC</u>

Min	or Stormwater Plan Design Standards Checklist	
1492	General	
1	Property owner name and address.	X
2	Site address and parcel identification number.	√
3	North arrow and scale to be 1" = 100' or larger.	X
	Site Features	State Sta
4	Scaled drawing showing existing and proposed site features: Property lines with dimensions, acreage, streets, easements, structures (dimensions and square footage), fences, bulkheads, septic area (active and repair), utilities, vehicular use areas, driveways, and sidewalks.	X
5	Approximate location of all designated Areas of Environmental Concern (AEC) or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.	X
6	Existing and proposed ground elevations shown in one foot intervals. All elevation changes within the past six months shall be shown on the plan.	X
8	Limits of all proposed fill, including the toe of fill slope and purpose of fill.	X
9	Square footage of all existing and proposed impervious areas (structures, sidewalks, walkways, vehicular use areas regardless of surface material), including a description of surface materials.	X
10	Existing and proposed drainage patterns, including direction of flow.	X
11	Location, capacity, design plans (detention, retention, infiltration), and design discharge of existing and proposed stormwater management features.	X
12	Elevation of the seasonal high water level as determined by a licensed soil scientist.	X
13	Plant selection.	X
	Permits and Other Documentation	Aller 18
14	NCDENR stormwater permit application (if 10,000sf or more of built upon area).	X
15	NCDENR erosion and sedimentation control permit application (if one acre or more of land disturbance).	X
16	NCDENR coastal area management act permit application, if applicable.	n/a
17	Stormwater management narrative with supporting calculations.	X
18	Rational Method Form SW-003 or NRCS Method Form SW-004	X
19	Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable	n/a
20	Design spreadsheets for all BMPs (Appendix F – Currituck County Stormwater Manual). See na	rrative
21	Detailed maintenance plan for all proposed BMPs.	X

22 The major stormwater plan shall contain the following certificate:

I, <u>Joseph T Goca</u> owner/agent hereby certify the information included on this and attached pages is true and correct to the best of my knowledge.

Certificate

On the plan entitled <u>Kellogg Supply Co</u>, stormwater drainage improvements shall be installed according to these plans and specifications and approved by Currituck County. Yearly inspections are required as part of the stormwater plan. The owner is responsible for all maintenance required. Currituck County assumes no responsibility for the design, maintenance, or performance of the stormwater improvements. Date: <u>4-24-2024</u> Owner/Agent: <u>Jank</u>

Major Stormwater Plan Submittal Checklist

Staff will use the following checklist to determine the completeness of your application. Please make sure all of the listed items are included. Staff shall not process an application for further review until it is determined to be complete.

Major Stormwater Plan Form SW-002

Submittal Checklist

Date Received: ___

Project Name: <u>RPP Holdings Group, LLC - 4510 Caratoke Hwy</u>

Applicant/Property Owner: <u>RPP Holdings Group, LLC</u>

Maj	or Stormwater Plan Form SW-002 Submittal Checklist	
1	Completed Major Stormwater Plan Form SW-002	X
2	Completed Rational Method Form SW-003 or NRCS Method Form SW-004	Χ
3	Stormwater plan	Χ
4	NCDENR permit applications, if applicable DRAFT included	Χ
5	3 copies of plans	n/a
6	3 hard copies of ALL documents	n/a
7	1 PDF digital copy of all plans AND documents (ex. Compact Disk – e-mail not acceptable)	X

Comments

Major Stormwater Plan SW-002 Page 4 of 4

Rational Method Peak Flow Form SW-003

Project Information
Privation 4510 Caratoke Hwy
Parcel Identification Number(s): 8996 - 40 - 9977
Drainage area: 1142, 310. 5054) 3.21 ac
Slow 30 %
Average Slope:
Maximum Slope Length:

Calculations

*The Rational Method may only be used where development will impact less than 10 acres

	Pre-	Post-	
Sheet Flow			
Manning's roughness, n (Table 2-4)	0.1	Cardina and the	
2-year, 24-hour Rainfall, P	4.0	6.0	in
Slope, S	0.03		
Length of Sheet Flow, L (<=300 feet)	300		††
Total Time for Sheet Flow	13		min
Shallow Concentrated Flow			
Surface Paved (P) or Unpaved (U)	0		
Length of flow, L	120	-	f1
Slope, S	0.05		
Average Velocity, V (Table 2-3)	151.5		ft/min
Total Time for Shallow Concentrated Flow	0-8		min
Channel Flow	1		
Pipe (P) or Channel (C)	N/A		
If pipe: Diameter, D			in
If channel: Bottom Width, w			ft
If channel: side slope 1 (:1)			
If channel: side slope 2 (:1)			so ft
Cross sectional flow area, A			54 II f+
Wetted perimeter, Wp			11
Hydraulic radius, R = A/Wp	V		

	Pre-	Post-	
Channel slope, S	1		ft/ft
Manning's roughness, n (Table 2-4)	<u> </u>		
Channel velocity			ft/sec
Length of Flow, L			ft/sec
Total Time for Channel Flow	-		min

Pre-development Conditions			
Land Use Description	С	Area (acres)	C*A
Woods	0.2	3.27	0.654
Total			0.654

Intensity for 2-year, 24-hour storm (Table 2-5)

4.25 in/hr

2.78 cfs

Pre-development peak flow, Q = CiA

Post-development Conditions С Land Use Description Area (acres) C*A 0.95 2.014 IMPERVIOUS 2.12 0.285 0.75 OPEN 3.27 2.299 Totals

Area-weighted C:

Intensity for 10-year, 24-hour storm (Table 2-5)

0.7

<u>6.82</u> in/hr

Post-development peak flow, Q = CiA

(5,71 cfs

Minimum Storage Volume Required - Refer to Section 2.4.4 for Volume Calculations

Storage Volume, Vs

21,254 ft³

KELLOGGS

Applicant

<u>4/24/24</u> Date

Rational Method Peak Flow SW-003 Page 2 of 2

.

Kellogg's Wet Detention Basin NCDEQ Stormwater Calculations

Drainage Area Calculations

	Combined Drainage Area		
	(sq.ft.) (acre)		
Drainage Area =	142,310.50	3.27	
Open Space	49,858.01	1.14	
Roadway/Parking =	44,311.90	1.02	
Building=	18,143.35	0.42	
Concrete/Display =	13,491.04	0.31	
Future Removal =	31,050.00	0.71	
Future Coverage =	47,556.20	1.09	
Impervious =	92,452.49	2.12	

Runoff generated by 1.5" Rainfall Event (NCDEQ Simplified Method)

Ia = Impervious Percentage = Impervious Area/Drainage Area Rv= Runoff Coefficient, 0.05+0.9la Rd= Rain fall denth (1.5 in)

Ru– Rain Iail depth (1.5 m.)						
V= <u>Runoff Volume</u> , 3630*Rd*Rv*A						
	Area 1					
la =	65.0%					
Rv=	0.64					
Rd (in.)=	1.5					
A (ac.) =	3.27					
V (cf.)=	11296					

Total Storage Required by NCDEQ =	11,300.00	cf
Total Storage Required by Currituck County =	21,300.00	cf

Permanent pool Storage Provided In Wet Detention Basin 1

Elev	Area (sf)	Avg area (sf)	Volume (cf)	Cum Vol. (cf)
0	2021.5			0
		3031	9093	
3	4040.5			9093
		4450.75	4451	
4	4861			13544
		5544	5544	
5	6227			19088

Total Storage (cf.) Provided in Basin 1: 19088

	-			
Elev	Area (sf)	Avg area (sf)	Volume (cf)	Cum Vol. (cf)
5	6227			0
		6985	6985	
6	7743			6985
		8960.5	8961	
7	10178			15946
		10852.5	8139	
7.75	11527			24085
Total Storage (cf.) Provided in Ba	isin 1:		24085

Above Permanent Pool Storage Provided In Wet Detention Basin 1

Total Storage (cf.) Provided in Basin 1:

3.18

Volume in Forebay for Basin 1

Elev	Area (sf)	Avg area (sf)	Volume (cf)	Cum Vol. (cf)
1	192.5			0
		346.4	693	
2	330.6			693
		514.4	1029	
3	500.3			1722
		599.25	599	
4	698.2			2321
		809.9	810	
5	921.6			3131
Total Storage (cf.) Provided in Ba	isin 1:		3131

Total Storage (cf.) Provided in Basin 1:

16.4%

P23058 RPP Holdings Group, LLC Kellogg's Supply Co. - Barco, NC 5/21/2024

	A _{bot_shelf} =	5298	sf			
	A _{perm_pool} =	6227	sf			
	A _{bot_pond} =	2021.5	sf			
	V _{perm_pool} =	19088	cf			
	V _{shelf} =	222.75	cf			
	Depth	=	5			
	Deve	2.4		£	04/04 -	4.00
Equation 2	Dav	= 3.1		teet	SA/DA =	4.20
					DA =	142,310.50
					Req'd SA =	5,977.04
Equation 3	Dav	= 3.6		feet		

Wet Detention Basin Supplement Calculations

Orifice Draw Down Calculations	Basin 1		
Q = CA(2gH)^0.5			
H=Driving Head = D/3 =	0.92 ft.		
C = orific coefficient =	0.6		
Try orifice diameter =	2 in		
A = Area = 3.14*(d^2)/4 =	0.022 sf		
Q = CA(2gH)^0.5 =	0.101 cfs		
Required Storage Volume =		11300.0 cf	
Drawdown = Storage Volume / Q =			2.77 days