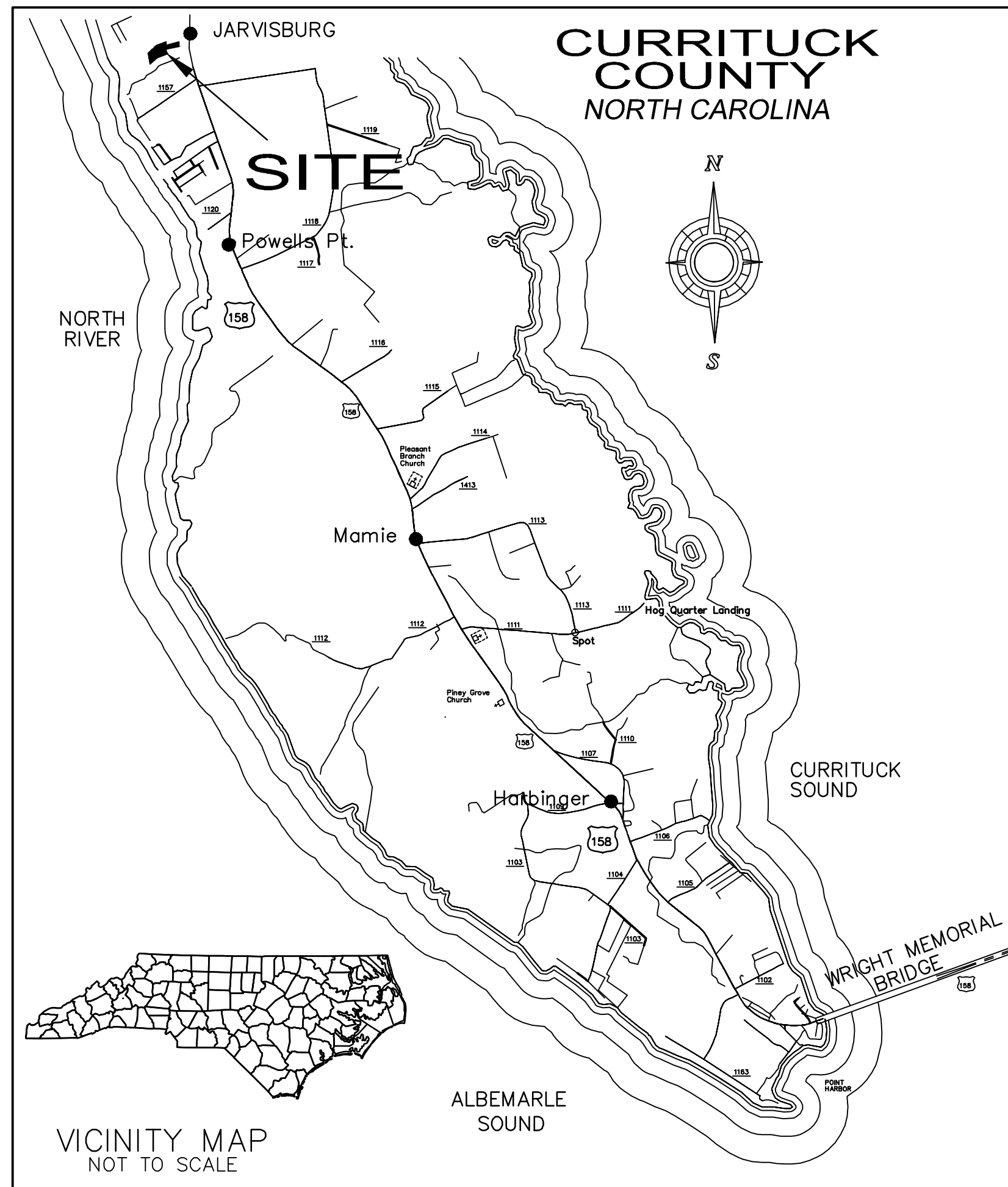


1st Floor Plan

2nd Floor Plan



- GENERAL NOTES:**
- PROJECT NAME: JARVIS LANDING
 - DEVELOPER: GOB, LLC
2522 S. CROATAN HWY SUITE 1C
NAGS HEAD, NC 27959
 - PROPERTY DATA:
ADDRESS: 111 JARVIS LANDING DR, JARVISBURG, NC 27947
PK: 110L-000-0001-0000 THRU 110L-000-0039-0000, 110L-000-00CA-0000
RECORD DOCUMENT(S): D.B. 1047, P.G. 828; P. R. SL: 337
PROPERTY ZONING: C-GB (CONDITIONAL - GENERAL BUSINESS)
 - F.I.R.M. DATA:
ZONE X PER F.I.R.M. MAP NOS. 3720982900 K HAVING AN EFFECTIVE DATE DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
 - THIS PROPERTY CONTAINS NO ACOE "404" JURISDICTIONAL WETLANDS.
 - EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING:
 - 2012 AERIAL IMAGERY OBTAINED FROM NCONEMAP.COM
 - FIELD TOPOGRAPHIC SURVEY DATA BY BISSELL PROFESSIONAL GROUP.
 - ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.
 - CULVERT DATA PER SURVEY PERFORMED BY SEA LEVEL CONSULTING, INC. DATED 10-10-23
 - ALL UTILITIES ARE TO BE UNDERGROUND.
 - A VARIABLE WIDTH EASEMENT CENTERED UPON THE CENTERLINE OF THE ROADWAYS IS ESTABLISHED FOR THE ROADS, DRAINAGE, UTILITIES, PEDESTRIANS, AND PLANTINGS. AN EASEMENT AROUND THE CUL-DE-SAC HAVING A RADIUS OF 75' IS ALSO ESTABLISHED.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR STORMWATER MAINTENANCE UNTIL AT LEAST 75% OF THE LOTS ARE SOLD, AT WHICH TIME THE MAINTENANCE WILL BECOME THE RESPONSIBILITY OF THE HOA. MINOR SWALES WILL BE PROVIDED BETWEEN BUILDING CLUSTERS WHERE THESE AREAS HAVE BEEN CLEARED.

- DEVELOPMENT NOTES:**
- PROPERTY AREA SUMMARY:
TOTAL TRACT AREA: 16.71 AC.
 - DEVELOPMENT AREA SUMMARY:
PROPOSED LOT AREA: 1.89 AC.
PROPOSED COMMON AREA: 14.82 AC.
OF PROPOSED LOTS: 39
MINIMUM LOT AREA: 1,450 SQ. FT.
DENSITY: 2.34 DU/AC < 2.53 DU/AC.
 - ROADWAY SUMMARY:
PROPOSED PAVED ROADWAY WIDTH: 20 FT. (TYPICAL)
TOTAL LINEAR FEET OF ROADWAY: 1,727 L.F.±
 - BUILT UPON AREA SUMMARY:
PROPOSED BUILT-UPON AREA: 150,200 SF± (20.6%)
MAX. ALLOWABLE BUILT-UPON AREA: 155,899 SF (21.4%) [NCDEQ PERMIT SW7120518]
 - TOTAL PROPOSED DISTURBED AREA: 8.00 AC.

SURVEYOR'S CERTIFICATION
I, MICHAEL D. BARR, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN BOOKS REFERENCED); THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000 AND VERTICAL ACCURACY IS ± 0.05'; THAT THE GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS WERE PERFORMED TO THE GEOSPATIAL POSITIONING ACCURACY STANDARDS, PART 2; STANDARDS FOR GEODETIC NETWORKS AT THE 2-CENTIMETER ACCURACY CLASSIFICATION (95% CONFIDENCE) USING REAL TIME KINEMATIC AND TRADITIONAL TRAVERSE. THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. THAT THIS PLAN MEETS THE REQUIREMENT OF G.S. 47-30 SECTION F-11-C-1AND FURTHER THAT IT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600).

THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS _____

DAY OF _____ A.D., 2023.

SIGNATURE L-1796

AMENDED MAJOR SITE PLANS FOR JARVIS LANDING

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET, DEVELOPMENT NOTES & SITE LOCATION
2	EXISTING CONDITIONS & SITE FEATURES MAP
3	OVERALL DEVELOPMENT PLAN
4	EROSION & SEDIMENT CONTROL PLAN
5	GRADING, DRAINAGE & UTILITIES PLAN
6	GRADING, DRAINAGE & UTILITIES PLAN
7	EROSION & SEDIMENT CONTROL NOTES & DETAILS
8	NCG01-GROUND STABILIZATION & MATERIAL HANDLING
9	NCG01-RECORD KEEPING & RECORDING
10	GENERAL CONSTRUCTION DETAILS & NOTES

LEGEND	
	ROADWAY CENTERLINE
	RIGHT-OF-WAY
	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	EXISTING DITCH CENTERLINE
	EXISTING/PROP DITCH TOP OF BANK
	PROPOSED SWALE W/ FLOW ARROW
	PROPOSED SWALE HIGH POINT
	EXISTING GRADE CONTOUR
	PROPOSED GRADE CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EXISTING CULVERT
	PROPOSED CULVERT
	PROPOSED SIDEWALK
X 0.00	
• 0.00	
EROSION CONTROL LEGEND	
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED TEMPORARY CHECK DAM
UTILITY LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE (SIZE AS NOTED)
	PROPOSED FIRE HYDRANT (APRX)
	PROPOSED WATER SERVICE (APRX)
	PROPOSED VALVE (APRX)
	PROPOSED BLOW-OFF (APRX)
	PROPOSED REDUCER (APRX)

CERTIFICATE OF OWNERSHIP AND DEDICATION
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAN AS STREETS, ALLEYS, WALKS, PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY. ALL PROPERTY SHOWN ON THIS PLAN AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE OWNER

NOTARY CERTIFICATE
I, _____, A NOTARY PUBLIC OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT _____ PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE. WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL
I hereby certify that all streets shown on this plan are within Currituck County, all streets and other improvements shown on this plan have been installed or completed and that the subdivision shown on this plan is in all respects in compliance with the Currituck County Unified Development, and therefore this plan has been approved by the Currituck County Planning Board and signed by the Chairman, Board of Commissioners, subject to its being recorded in the Currituck County Registry within ninety (90) days of the date below.

Date Chairman, Board of Commissioners

REVIEW OFFICER CERTIFICATION
STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK
I, _____, REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE REVIEW OFFICER

DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE
I hereby certify that the public streets shown on this plan are intended for dedication and have been completed in accordance with at least the minimum specifications and standards of the State Department of Transportation for acceptance of subdivision streets on the State highway system for maintenance.

DATE DISTRICT ENGINEER

ENGINEER CERTIFICATE OF STORMWATER IMPROVEMENTS
IN THE SUBDIVISION ENTITLED JARVIS LANDING, STORMWATER DRAINAGE IMPROVEMENTS HAVE BEEN INSTALLED IN SUBSTANTIAL CONFORMANCE WITH PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND APPROVED BY THE CURRITUCK COUNTY PLANNING BOARD. CURRITUCK COUNTY ASSUMES NO RESPONSIBILITY FOR THE DESIGN, MAINTENANCE OR THE GUARANTEED PERFORMANCE OF THE STORM WATER DRAINAGE IMPROVEMENTS AND THEIR EFFECTS.

REGISTERED LAND SURVEYOR/CIVIL ENGINEER

REGISTRATION NUMBER DATE

North Carolina
One-Call Center Inc.



Know what's below
Call before you dig.

SURVEY LEGEND	
SCM	SET CONCRETE MONUMENT
ECM	EXISTING CONCRETE MONUMENT
SIR	SET IRON ROD
ER	EXISTING IRON ROD
EP	EXISTING IRON PIPE
CP	CALCULATED POINT
M.B.L.	MAXIMUM BUILDING LIMIT
N.T.S.	NOT TO SCALE
P.C.	PLAT CABINET
D.B.	DEED BOOK
S	SIDE
SF	SQUARE FEET
AC	ACRES

Bissell Professional Group
3819 North Croatan Highway
Kitty Hawk, North Carolina 27949
(252) 851-7800
FAX (252) 851-7800

BISSELL
PROFESSIONAL GROUP
Engineers, Planners, Surveyors
and Environmental Specialists

COVER SHEET, DEVELOPMENT
NOTES & SITE LOCATION
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JARVIS LANDING
CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP
NORTH CAROLINA
AMENDED MAJOR SITE PLAN

NO.	DATE	BY	DESCRIPTION
1	02/22/2023	MB	PRELIMINARY

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**

DATE	SCALE
09/14/23	N/A
DESIGNED	DRAWN
BPG	MSB
THAW	APPROVED
DMK	BPG
SHEET:	
1 of 10	
CAD FILE:	
428400B2	
PROJECT NO:	
4284	

CODE AND SPECIAL USE PERMIT REQUIREMENTS:

- An open space preservation easement needs to be recorded when the following list of easements are recorded (as required in the SUP 3-3-08):
 - A recorded deed of easements along with a map of the easements shall be recorded in the Currituck County Registry of Deeds for the following (Section 9.2.1 Utility Easements):
 - A utility easement shall be dedicated to the Currituck County Water Department for all areas that contain county water lines.
 - A utility easement area shall be established for all drainage infrastructures, power, telephone, and cable lines.
 - The width of the drainage and utility easement shall be 60 feet wide along the streets with a 60-foot radius at the cul-de-sacs. This will comply with the requirements for lots of 45 feet wide street right of way plus 15 feet along the frontage of lots. (Section 9.2.1 Utility Easements)
- Individual site plan submissions will be required for each building when the architectural drawings are submitted.
- The concrete sidewalks shall be installed with each building as they are constructed so that a pedestrian travel way is created between the residential unit and the amenities area.
- All of the conditions approved 3-3-08 for the Special Use Permit and Conditional District-General Business district (CD-GB) apply to this amended project.

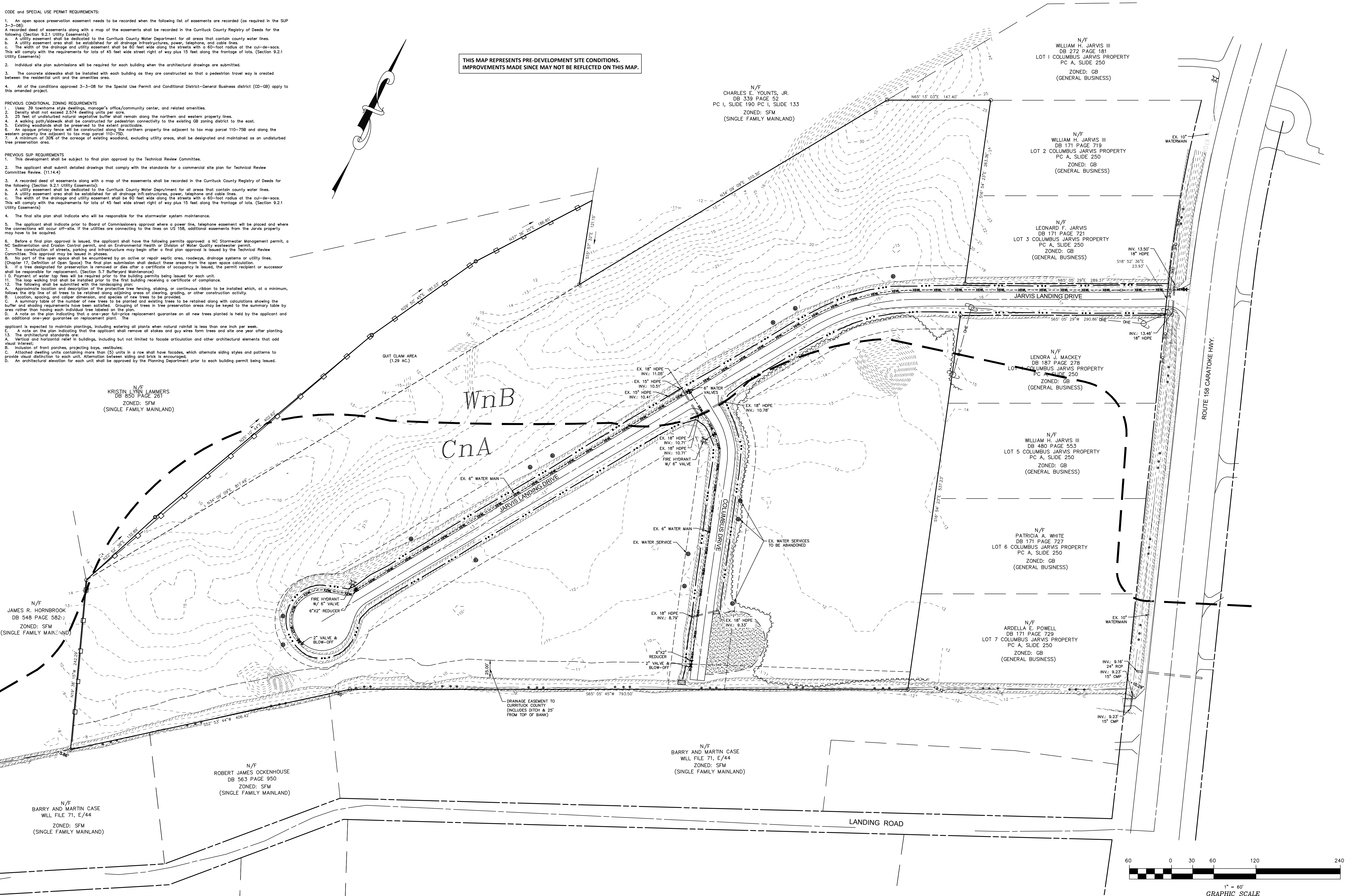
- PREVIOUS CONDITIONAL ZONING REQUIREMENTS**
- Uses: 39 townhome style dwellings, manager's office/community center, and related amenities.
 - Density shall not exceed 2.74 dwelling units per acre.
 - 25 feet of undisturbed natural vegetative buffer shall remain along the northern and western property lines.
 - A walking path/sidewalk shall be constructed for pedestrian connectivity to the existing GB zoning district to the east.
 - Existing woodlands shall be preserved to the extent practicable.
 - An opaque privacy fence will be constructed along the northern property line adjacent to tax map parcel 110-75B and along the western property line adjacent to tax map parcel 110-75D.
 - A minimum of 30% of the acreage of existing woodland, excluding utility areas, shall be designated and maintained as an undisturbed tree preservation area.

- PREVIOUS SUP REQUIREMENTS**
- This development shall be subject to final plan approval by the Technical Review Committee.
 - The applicant shall submit detailed drawings that comply with the standards for a commercial site plan for Technical Review Committee Review. (11.14.4)

- A recorded deed of easements along with a map of the easements shall be recorded in the Currituck County Registry of Deeds for the following (Section 9.2.1 Utility Easements):
 - A utility easement shall be dedicated to the Currituck County Water Department for all areas that contain county water lines.
 - A utility easement area shall be established for all drainage infrastructures, power, telephone, and cable lines.
 - The width of the drainage and utility easement shall be 60 feet wide along the streets with a 60-foot radius at the cul-de-sacs. This will comply with the requirements for lots of 45 feet wide street right of way plus 15 feet along the frontage of lots. (Section 9.2.1 Utility Easements)
- The final site plan shall indicate who will be responsible for the stormwater system maintenance.
- The applicant shall indicate prior to Board of Commissioners approval where a power line, telephone easement will be placed and where the connections will occur off-site. If the utilities are connecting to the lines on US 158, additional easements from the Jarvis property may have to be acquired.
- Before a final plan approval is issued, the applicant shall have the following permits approved: a NC Stormwater Management permit, a Sedimentation and Erosion Control permit, and an Environmental Health or Division of Water Quality wastewater permit.
- The construction of streets, parking and infrastructure may begin after a final plan approval is issued by the Technical Review Committee. This approval may be issued in phases.
- No part of the open space shall be encumbered by an active or repair septic area, roadways, drainage systems or utility lines. (Chapter 17, Definition of Open Space). The final plan submission shall deduct these areas from the open space calculation.
- If a tree designated for preservation is removed or dies after a certificate of occupancy is issued, the permit recipient or successor shall be responsible for replacement. (Section 5.7 Bufferland Maintenance)
- Payment of water tap fees will be required prior to the building permits being issued for each unit.
- The top walking trail shall be installed prior to the first building receiving a certificate of compliance.
- The following shall be submitted with the landscaping plan:
 - Approximate location and description of the protective tree fencing, staking, or continuous ribbon to be installed which, at a minimum, follows the drip line of all trees to be retained along existing areas of clearing, grading, or other construction activity.
 - Location, spacing, and caliper dimension, and species of new trees to be provided.
 - A summary table of the number of new trees to be planted and existing trees to be retained along with calculations showing the buffer and shading requirements have been satisfied. Grouping of trees in tree preservation areas may be keyed to the summary table by area rather than naming each individual tree labeled on the plan.
 - A note on the plan indicating that a one-year full-price replacement guarantee on all new trees planted is held by the applicant and an additional one-year guarantee on replacement plant.

- The applicant is expected to maintain plantings, including watering all plants when natural rainfall is less than one inch per week.
- A note on the plan indicating that the applicant shall remove all stakes and guy wires from trees and site one year after planting.
- The architectural standards are:
 - Vertical and horizontal relief in buildings, including but not limited to facade articulation and other architectural elements that add visual interest.
 - Inclusion of front porches, projecting bays, vestibules.
 - Attached dwelling units containing more than (3) units in a row shall have facades, which alternate siding styles and patterns to provide visual distinction between units. Alternation between siding and brick is encouraged.
 - An architectural elevation for each unit shall be approved by the Planning Department prior to each building permit being issued.

THIS MAP REPRESENTS PRE-DEVELOPMENT SITE CONDITIONS. IMPROVEMENTS MADE SINCE MAY NOT BE REFLECTED ON THIS MAP.



RISSELL PROFESSIONAL GROUP
 Engineers, Planners, Surveyors
 and Environmental Specialists

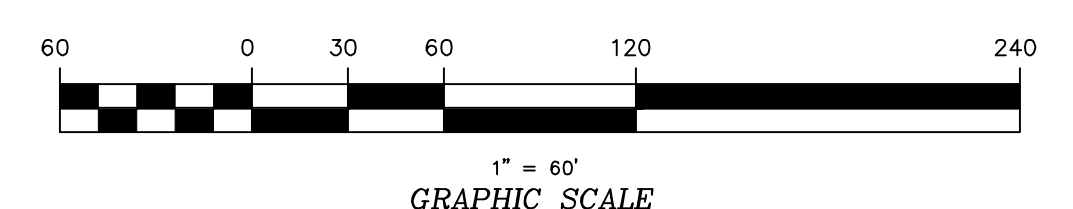
EXISTING SITE FEATURES & CONDITIONS MAP
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JARVIS LANDING
 POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
AMENDED MAJOR SITE PLAN

NO.	DATE	DESCRIPTION	BY	CHKD.
1	09-14-23	ISSUE FOR PUBLIC COMMENT	DMK	BPK

PRELIMINARY DO NOT USE FOR CONSTRUCTION

DATE: 09/14/23 SCALE: 1"=60'
 DESIGNED: BPK CHECKED: MSB
 DRAWN: DMK APPROVED: BPK
 SHEET: 2 of 10
 CAD FILE: 428400B2
 PROJECT NO: 4284



RETENTION AND PROTECTION OF LARGE TREES

A. THE RETENTION OR PROTECTION OF TREES 18 INCHES IN DIAMETER OR MORE AS PROVIDED BELOW, UNREASONABLY BURDENS A DEVELOPMENT IF, TO ACCOMPLISH SUCH RETENTION OR PROTECTION, THE DESIRED LOCATION OF IMPROVEMENTS ON A LOT OR THE PROPOSED ACTIVITIES ON A LOT WOULD HAVE TO BE SUBSTANTIALLY ALTERED AND SUCH ALTERATION WOULD WORK AN UNREASONABLE HARSHSHIP UPON THE DEVELOPER. INCONVENIENCE TO EQUIPMENT OPERATORS DOES NOT CONSTITUTE AN UNREASONABLE BURDEN.

B. NO EXCAVATION OR OTHER SUBSURFACE DISTURBANCE MAY BE UNDERTAKEN WITHIN THE DRIP LINE OF ANY TREE 18 INCHES IN DIAMETER OR MORE, AND NO IMPERVIOUS SURFACE MAY BE LOCATED WITHIN 12.5 FEET (MEASURED FROM THE CENTER OF THE TRUNK) OF ANY TREE 18 INCHES IN DIAMETER OR MORE.

C. IF A TREE DESIGNATED FOR PRESERVATION IS REMOVED OR DIES AFTER A CERTIFICATE OF OCCUPANCY IS ISSUED, THE PERMIT RECIPIENT OR SUCCESSOR SHALL BE RESPONSIBLE FOR REPLACEMENT.

PROTECTION OF TREES DURING CONSTRUCTION

A. THE PERMIT RECIPIENT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL EXISTING TREES SPECIFICALLY SHOWN ON APPROVED PLANS AS BEING RETAINED ARE PROTECTED DURING THE CONSTRUCTION PROCESS FROM REMOVAL, DESTRUCTION, OR INJURY. THE DEVELOPER SHALL ENSURE THAT, BEFORE ANY EXCAVATION TAKES PLACE ON THE SITE, A BARRIER IS ERRECTED AROUND THE DRIPLINE OF ALL SUCH TREES SUFFICIENT TO PUT ON NOTICE ALL CONSTRUCTION PERSONNEL THAT THE AREA WITHIN THE DRIPLINE OF SUCH TREES IS NOT TO BE DISTURBED.

B. IF A VIOLATION OF THIS SECTION OCCURS AND AS A RESULT A TREE IS REMOVED OR DIES WITHIN TWO YEARS AFTER A CERTIFICATE OF OCCUPANCY IS GRANTED THEN THE DEVELOPER (OR HIS SUCCESSOR) SHALL BE REQUIRED TO REPLACE THE TREE WITH ONE AT LEAST OF EQUAL DIAMETER, UP TO A DIAMETER OF FOUR INCHES. SUCH REPLACEMENT MUST TAKE PLACE WITHIN ONE YEAR AFTER THE DEATH OR REMOVAL OF THE TREE OCCURS, AND THIS OBLIGATION SHALL BE A CONTINUING CONDITION OF THE VALIDITY OF THE PERMIT.

C. IN ORDER TO BETTER ENSURE THE SURVIVAL OF EXISTING TREES, THE DEVELOPER SHOULD HEED THE FOLLOWING GUIDELINES:

1. PROTECT TREES WITH FENCING AND ARMORING DURING THE ENTIRE CONSTRUCTION PERIOD. THE FENCE SHOULD ENCLOSE AN AREA TEN FEET SQUARE WITH THE TREE AT THE CENTER.
2. AVOID EXCAVATIONS BENEATH THE CROWN OF THE TREE.
3. AVOID COMPACTION OF THE SOIL AROUND EXISTING TREES DUE TO HEAVY EQUIPMENT. DO NOT PILE DIRT OR OTHER MATERIALS BENEATH THE CROWN OF THE TREE.
4. KEEP FIRES OR OTHER SOURCES OF EXTREME HEAT WELL CLEAR OF EXISTING TREES.
5. REPAIR DAMAGED ROOTS AND BRANCHES IMMEDIATELY. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL. SEVERED LIMBS AND ROOTS SHOULD BE PAINTED. WHENEVER ROOTS ARE DESTROYED, A PROPORTIONAL AMOUNT OF BRANCHES MUST BE PRUNED SO THAT THE TREE DOESN'T TRANSPIRE MORE WATER THAN IT TAKES IN. INJURED TREES MUST BE THOROUGHLY WATERED DURING THE ENSUING GROWING YEAR.
6. ALL EXISTING TREES WHICH WILL BE SURROUNDED BY PAVING SHOULD BE PRUNED TO PREVENT DEHYDRATION.
7. NO PAVING OR OTHER IMPERMEABLE GROUND COVER SHOULD BE PLACED WITHIN THE DRIPLINE OF TREES TO BE RETAINED.

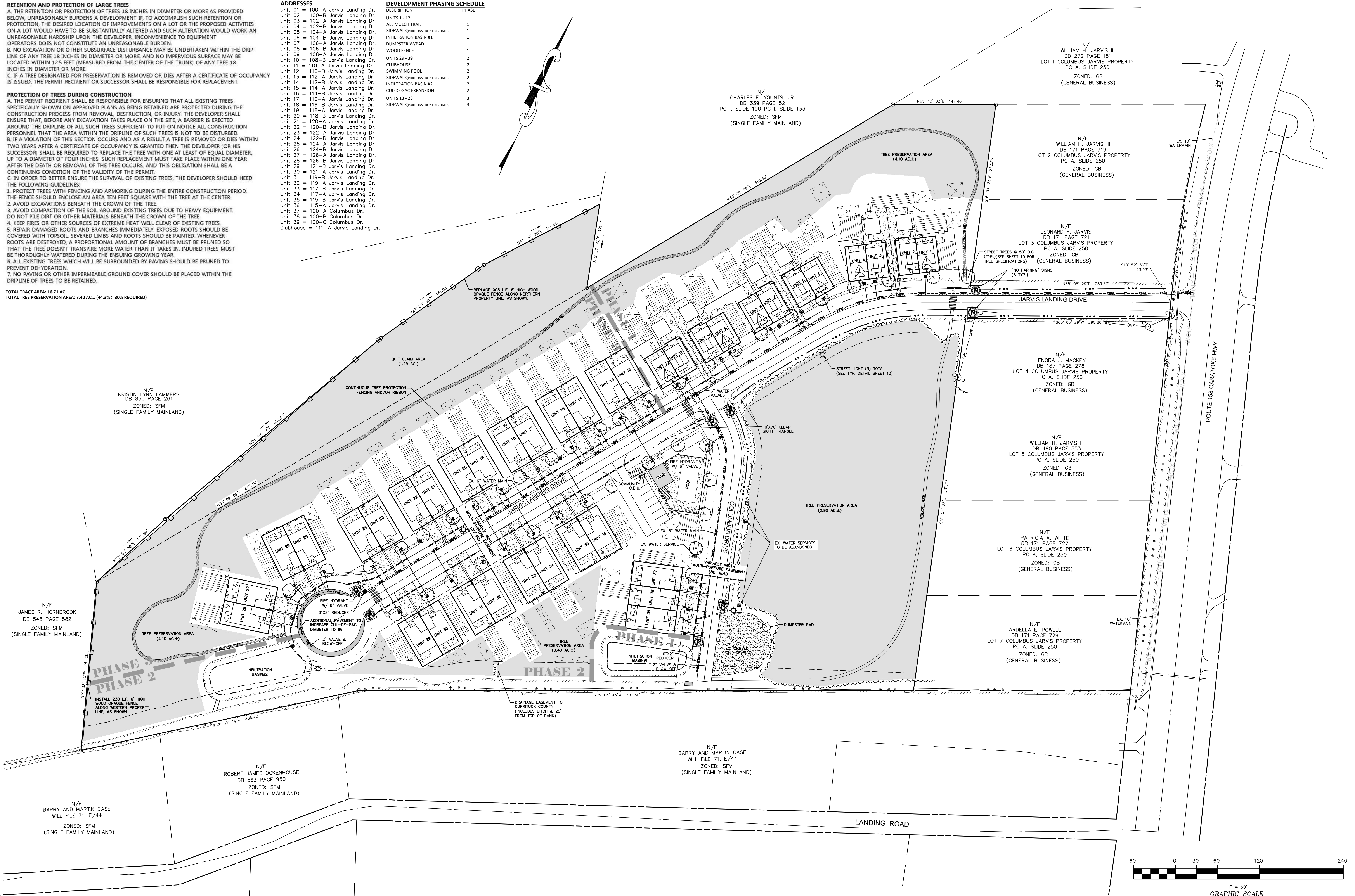
TOTAL TRACT AREA: 16.71 AC
 TOTAL TREE PRESERVATION AREA: 7.40 AC (44.3% > 30% REQUIRED)

ADDRESSES

- Unit 01 = 100-A Jarvis Landing Dr.
- Unit 02 = 100-B Jarvis Landing Dr.
- Unit 03 = 102-A Jarvis Landing Dr.
- Unit 04 = 102-B Jarvis Landing Dr.
- Unit 05 = 104-A Jarvis Landing Dr.
- Unit 06 = 104-B Jarvis Landing Dr.
- Unit 07 = 106-A Jarvis Landing Dr.
- Unit 08 = 106-B Jarvis Landing Dr.
- Unit 09 = 108-A Jarvis Landing Dr.
- Unit 10 = 108-B Jarvis Landing Dr.
- Unit 11 = 110-A Jarvis Landing Dr.
- Unit 12 = 110-B Jarvis Landing Dr.
- Unit 13 = 112-A Jarvis Landing Dr.
- Unit 14 = 112-B Jarvis Landing Dr.
- Unit 15 = 114-A Jarvis Landing Dr.
- Unit 16 = 114-B Jarvis Landing Dr.
- Unit 17 = 116-A Jarvis Landing Dr.
- Unit 18 = 116-B Jarvis Landing Dr.
- Unit 19 = 118-A Jarvis Landing Dr.
- Unit 20 = 118-B Jarvis Landing Dr.
- Unit 21 = 120-A Jarvis Landing Dr.
- Unit 22 = 120-B Jarvis Landing Dr.
- Unit 23 = 122-A Jarvis Landing Dr.
- Unit 24 = 122-B Jarvis Landing Dr.
- Unit 25 = 124-A Jarvis Landing Dr.
- Unit 26 = 124-B Jarvis Landing Dr.
- Unit 27 = 126-A Jarvis Landing Dr.
- Unit 28 = 126-B Jarvis Landing Dr.
- Unit 29 = 128-A Jarvis Landing Dr.
- Unit 30 = 128-B Jarvis Landing Dr.
- Unit 31 = 130-A Jarvis Landing Dr.
- Unit 32 = 130-B Jarvis Landing Dr.
- Unit 33 = 132-A Jarvis Landing Dr.
- Unit 34 = 132-B Jarvis Landing Dr.
- Unit 35 = 134-A Jarvis Landing Dr.
- Unit 36 = 134-B Jarvis Landing Dr.
- Unit 37 = 100-A Columbus Dr.
- Unit 38 = 100-B Columbus Dr.
- Unit 39 = 100-C Columbus Dr.
- Clubhouse = 111-A Jarvis Landing Dr.

DEVELOPMENT PHASING SCHEDULE

DESCRIPTION	PHASE
UNITS 1 - 12	1
ALL MULCH TRAIL	1
SIDEWALKS (PORTIONS FRONTING UNITS)	1
INFILTRATION BASIN #1	1
DUMPSTER W/PAD	1
WOOD FENCE	1
UNITS 29 - 39	2
CLUBHOUSE	2
SWIMMING POOL	2
SIDEWALKS (PORTIONS FRONTING UNITS)	2
INFILTRATION BASIN #2	2
CUL-DE-SAC EXPANSION	2
UNITS 13 - 28	3
SIDEWALKS (PORTIONS FRONTING UNITS)	3



Bissell Professional Group
 3810 North Carolina Highway
 Kitty Hawk, North Carolina 27849
 (252) 328-3200
 (252) 328-7850

BISSELL
 PROFESSIONAL GROUP

Engineers, Planners, Surveyors
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OVERALL DEVELOPMENT & TREE PRESERVATION PLAN

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JARVIS LANDING
 NORTH CAROLINA
 CURRITUCK COUNTY

AMENDED MAJOR SITE PLAN

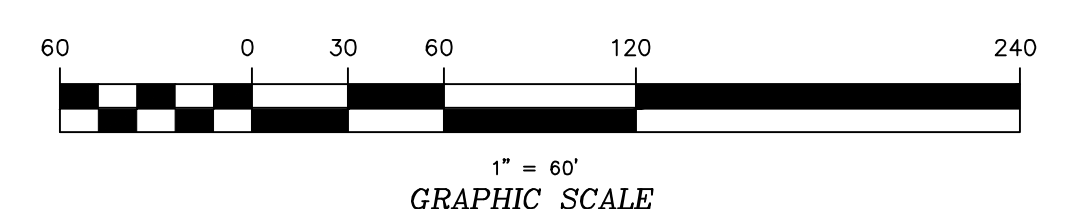
PROJECT: POPULAR BRANCH TOWNSHIP

NO.	DATE	DESCRIPTION	BY	CHKD.
1	09/14/23	REVISED PER PLAN #2 & 3		

PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION

DATE	SCALE
09/14/23	1"=60'

DESIGNED: BPG
 DRAWN: DMK
 SHEET: 3 of 10
 CAD FILE: 428400B2
 PROJECT NO: 4284

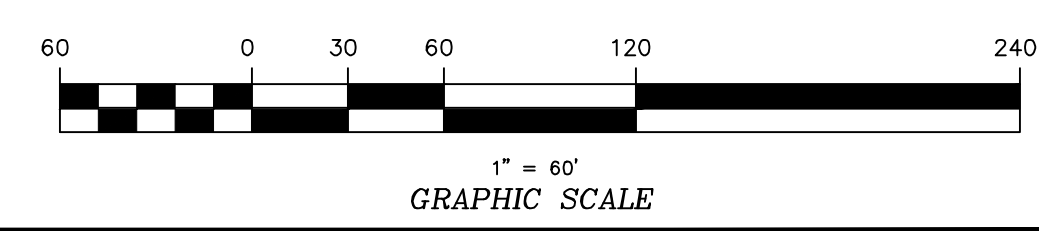
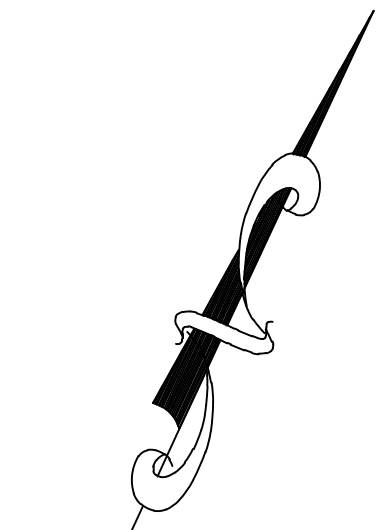
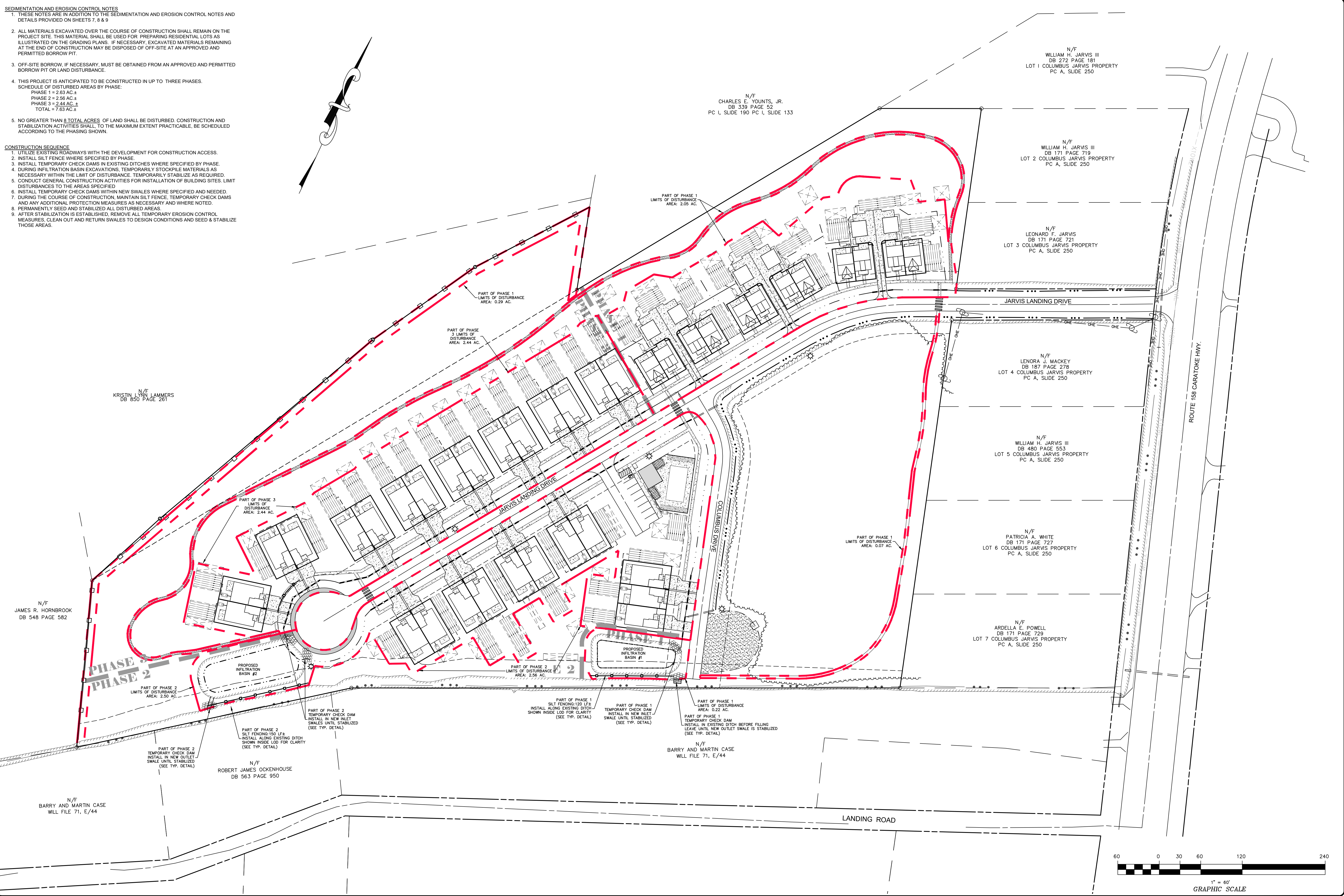


SEDIMENTATION AND EROSION CONTROL NOTES

- THESE NOTES ARE IN ADDITION TO THE SEDIMENTATION AND EROSION CONTROL NOTES AND DETAILS PROVIDED ON SHEETS 7, 8 & 9
- ALL MATERIALS EXCAVATED OVER THE COURSE OF CONSTRUCTION SHALL REMAIN ON THE PROJECT SITE. THIS MATERIAL SHALL BE USED FOR PREPARING RESIDENTIAL LOTS AS ILLUSTRATED ON THE GRADING PLANS. IF NECESSARY, EXCAVATED MATERIALS REMAINING AT THE END OF CONSTRUCTION MAY BE DISPOSED OF OFF-SITE AT AN APPROVED AND PERMITTED BORROW PIT.
- OFF-SITE BORROW, IF NECESSARY, MUST BE OBTAINED FROM AN APPROVED AND PERMITTED BORROW PIT OR LAND DISTURBANCE.
- THIS PROJECT IS ANTICIPATED TO BE CONSTRUCTED IN UP TO THREE PHASES. SCHEDULE OF DISTURBED AREAS BY PHASE:
 PHASE 1 = 2.63 AC ±
 PHASE 2 = 2.56 AC ±
 PHASE 3 = 2.44 AC ±
 TOTAL = 7.63 AC ±
- NO GREATER THAN 8 TOTAL ACRES OF LAND SHALL BE DISTURBED. CONSTRUCTION AND STABILIZATION ACTIVITIES SHALL, TO THE MAXIMUM EXTENT PRACTICABLE, BE SCHEDULED ACCORDING TO THE PHASING SHOWN.

CONSTRUCTION SEQUENCE

- UTILIZE EXISTING ROADWAYS WITH THE DEVELOPMENT FOR CONSTRUCTION ACCESS.
- INSTALL SILT FENCE WHERE SPECIFIED BY PHASE.
- INSTALL TEMPORARY CHECK DAMS IN EXISTING DITCHES WHERE SPECIFIED BY PHASE.
- DURING INFILTRATION BASIN EXCAVATIONS, TEMPORARILY STOCKPILE MATERIALS AS NECESSARY WITHIN THE LIMIT OF DISTURBANCE. TEMPORARILY STABILIZE AS REQUIRED.
- CONDUCT GENERAL CONSTRUCTION ACTIVITIES FOR INSTALLATION OF BUILDING SITES. LIMIT DISTURBANCES TO THE AREAS SPECIFIED.
- INSTALL TEMPORARY CHECK DAMS WITHIN NEW SWALES WHERE SPECIFIED AND NEEDED.
- DURING THE COURSE OF CONSTRUCTION, MAINTAIN SILT FENCE, TEMPORARY CHECK DAMS AND ANY ADDITIONAL PROTECTION MEASURES AS NECESSARY AND WHERE NOTED.
- PERMANENTLY SEED AND STABILIZE ALL DISTURBED AREAS.
- AFTER STABILIZATION IS ESTABLISHED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, CLEAN OUT AND RETURN SWALES TO DESIGN CONDITIONS AND SEED & STABILIZE THOSE AREAS.



Bissell Professional Group
 3810 North Carolina Highway
 Kitty Hawk, North Carolina 27849
 (252) 338-3226
 (252) 338-7840

BISSELL
 PROFESSIONAL GROUP

Engineers, Planners, Surveyors
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ERPSTON AND SEDIMENT CONTROL PLAN

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JARVIS LANDING
 CURRITUCK COUNTY, NORTH CAROLINA

POPULAR BRANCH TOWNSHIP

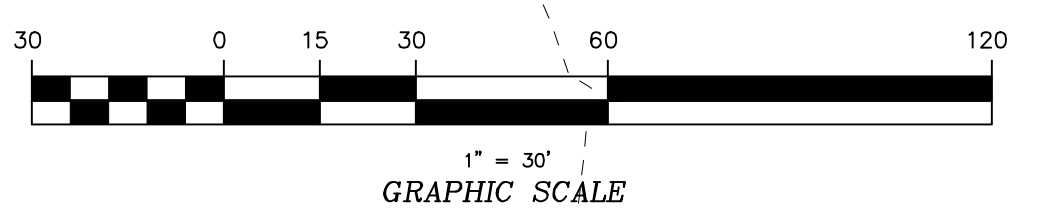
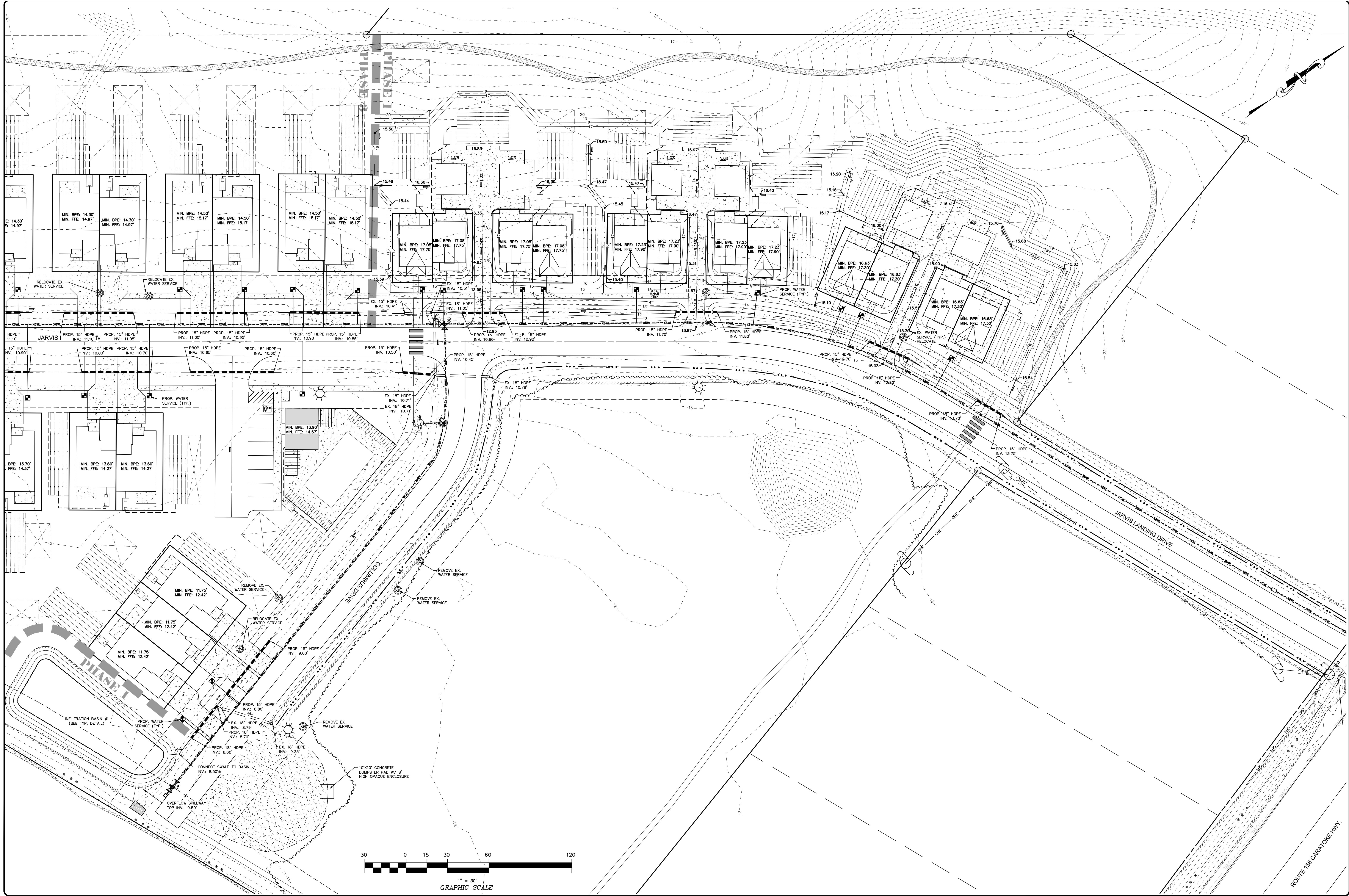
AMENDED MAJOR SITE PLAN

PROJECT: JARVIS LANDING

NO.	DATE	DESCRIPTION	BY	CHKD.
1	09-14-23	REVISED PER PLAN 2 & 3	DMK	BPG

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

DATE:	09/14/23	SCALE:	1"=60'
DESIGNED:	BPG	CHECKED:	MSB
DRAWN:	DMK	APPROVED:	BPG
SHEET:	4 of 10		
CAD FILE:	428400B2		
PROJECT NO.:	4284		

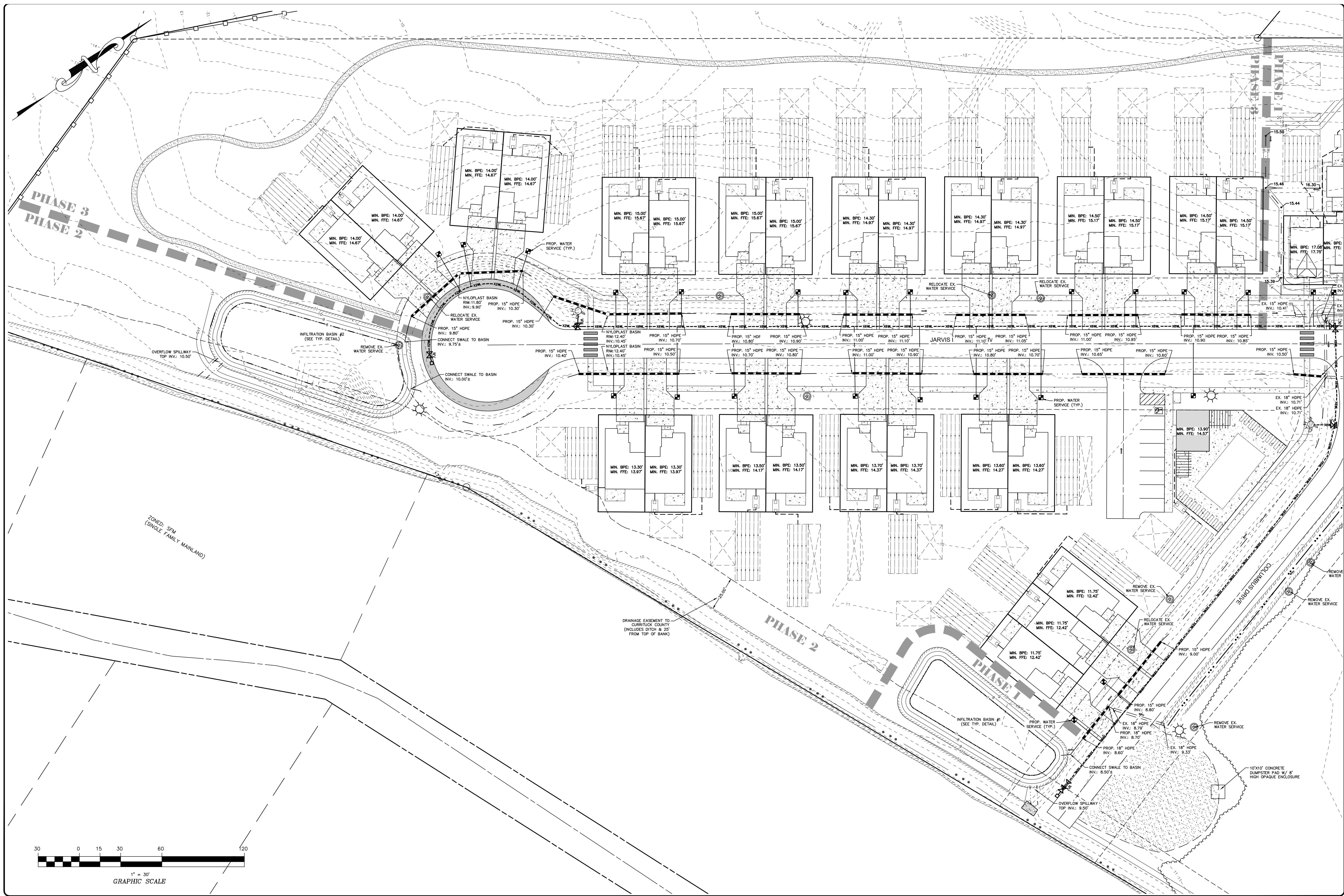


REVISIONS

NO.	DATE	BY	CHK	DESCRIPTION
1	08/25/22	DMK	DMK	ISSUE FOR PERMIT
2	08/25/22	DMK	DMK	REV. GRADING, BPE, FEE
3	10/20/22	DMK	DMK	REV. PER. 2 & 3

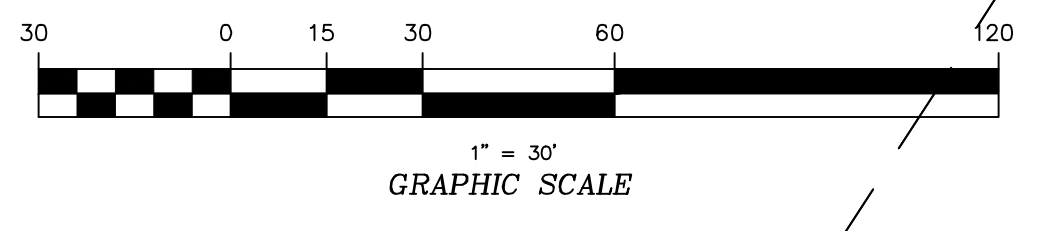
**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**

DATE:	08/25/22	SCALE:	1"=30'
DESIGNED:	BPG	CHECKED:	MSB
DRAWN:	DMK	APPROVED:	BPG
SHEET:	5 of 10		
CAD FILE:	428400B2		
PROJECT NO.:	4284		



ZONED: SPM
(SINGLE FAMILY MAINLAND)

DRAINAGE EASEMENT TO
CURRITUCK COUNTY
(INCLUDES DITCH & 25'
FROM TOP OF BANK)



BISSSEL
PROFESSIONAL GROUP
Engineers, Planners, Surveyors
and Environmental Specialists

Bissell Professional Group
3515 North Croatan Highway
Kitty Hawk, North Carolina 27849
Phone: (252) 336-3300
Fax: (252) 336-7800

GRADING, DRAINAGE & UTILITY PLAN

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JARVIS LANDING
POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROPOSED LAND DEVELOPMENT

REVISIONS

NO.	DATE	BY	CHK	DESCRIPTION
1	08-25-22	DMK	DMK	REVISED TO REFLECT
2	08-25-22	DMK	DMK	REVISED TO REFLECT
3	08-25-22	DMK	DMK	REVISED TO REFLECT

PRELIMINARY
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CONSTRUCTION

DATE: 08/25/22 SCALE: 1"=30'
DESIGNED: BPG CHECKED: MSB
DRAWN: DMK APPROVED: BPG
SHEET: 6 OF 10
CAD FILE: 428400B2
PROJECT NO: 4284

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

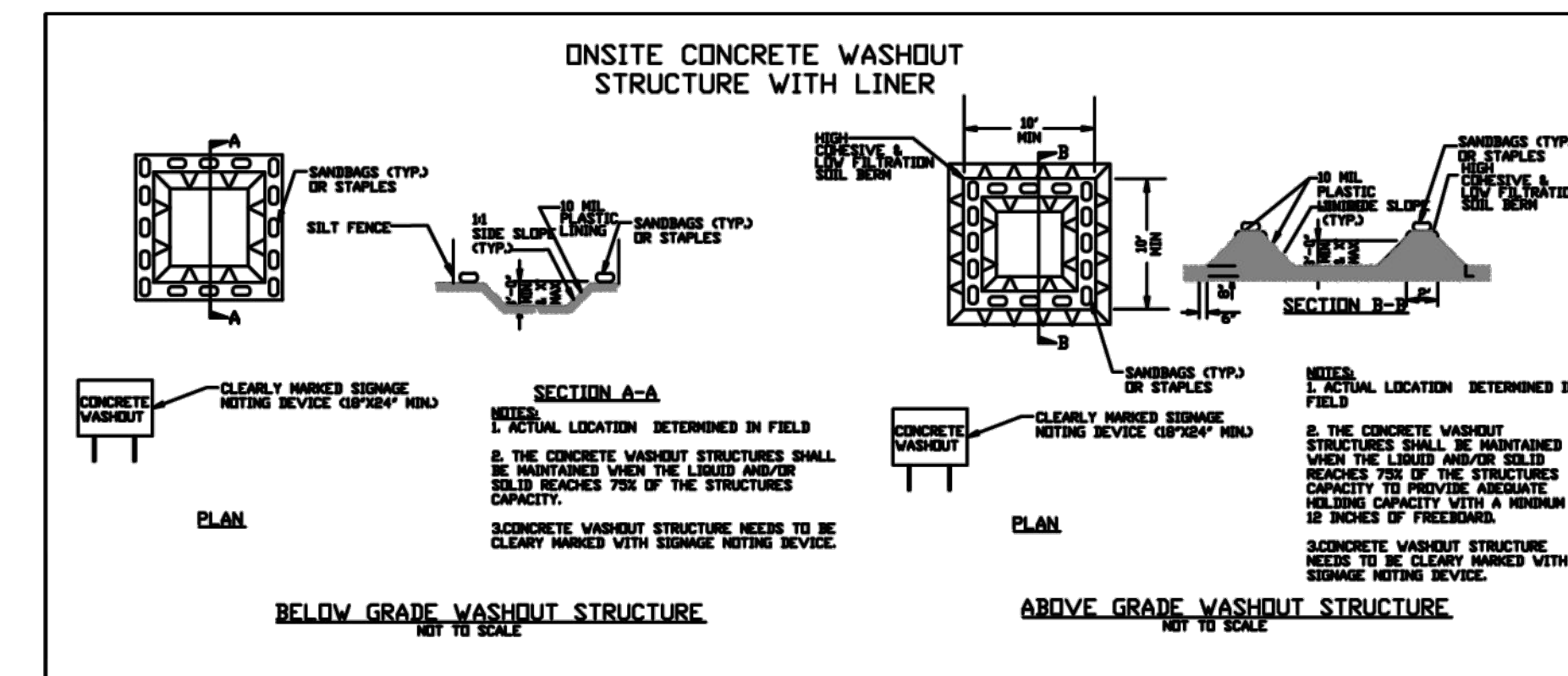
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NO.	DATE	DESCRIPTION	BY

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

DATE	SCALE
08/25/22	AS NOTED
DESIGNED	DRAWN
BPJ	MSB
DMK	BPJ
SHEET:	
8	of 10
CAD FILE:	
428400B2	
PROJECT NO:	
4284	

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). Division staff may waive the requirement for a written report on a case-by-case basis.



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

Bissell Professional Group
 3810 North Creston Highway
 Kitty Hawk, North Carolina 27949
 (252) 338-3266
 (252) 338-7160
 Engineers, Planners, Surveyors
 and Environmental Specialists

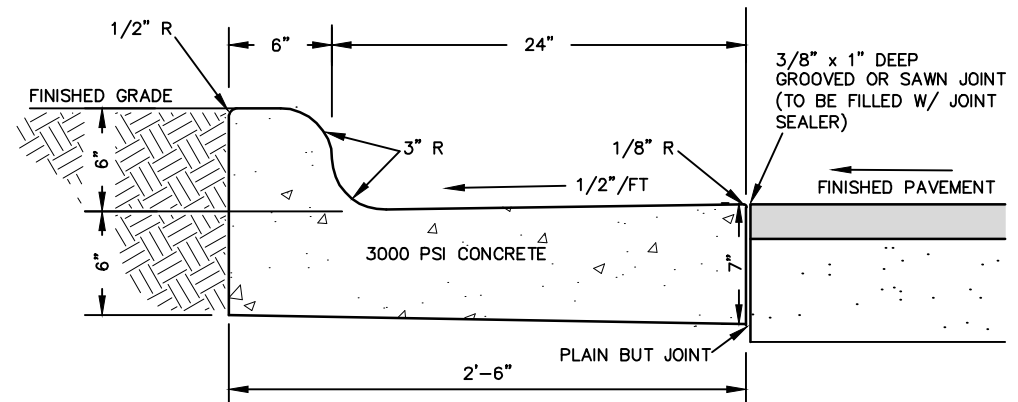
**NCG01-SELF INSPECTION,
RECORD KEEPING & REPORTING**
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PROJECT: **JARVIS LANDING**
 POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
PROPOSED LAND DEVELOPMENT

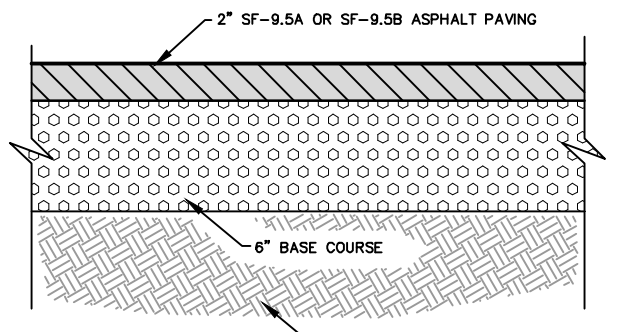
NO.	DATE	DESCRIPTION	BY

DATE: 08/25/22 SCALE: AS NOTED
 DESIGNED: BPG CHECKED: MSB
 DRAWN: DMK APPROVED: BPG
 SHEET: 9 of 10
 CAD FILE: 428400B2
 PROJECT NO: 4284

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**

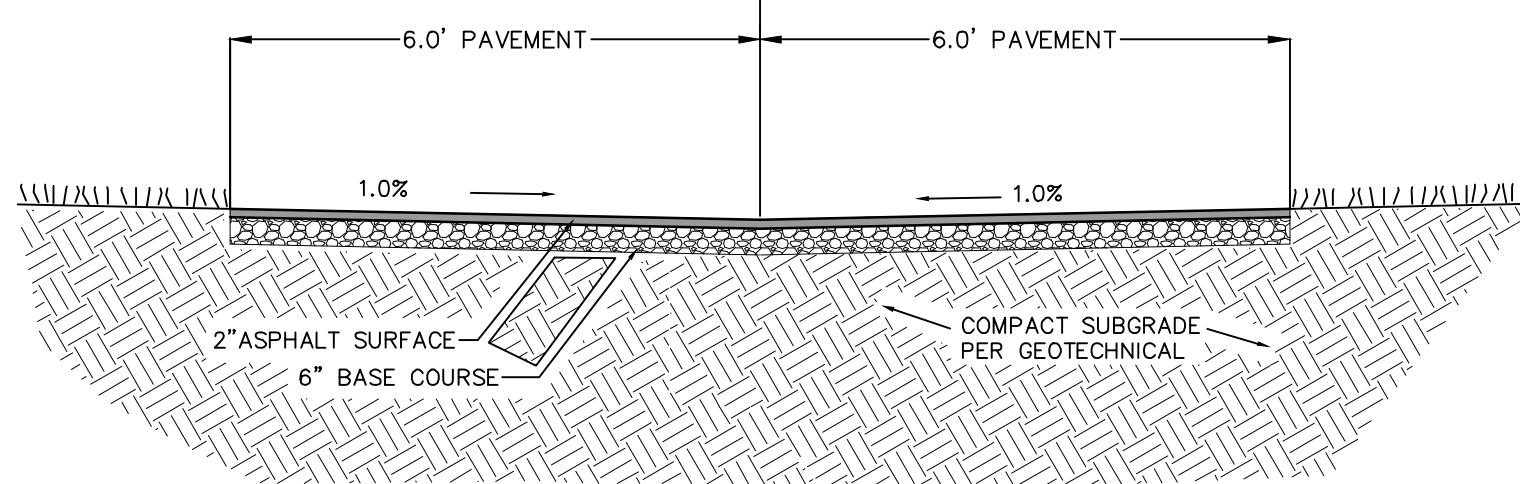


CURB & GUTTER COLLECTION SECTION
NOT TO SCALE NCDOT STD 846.01



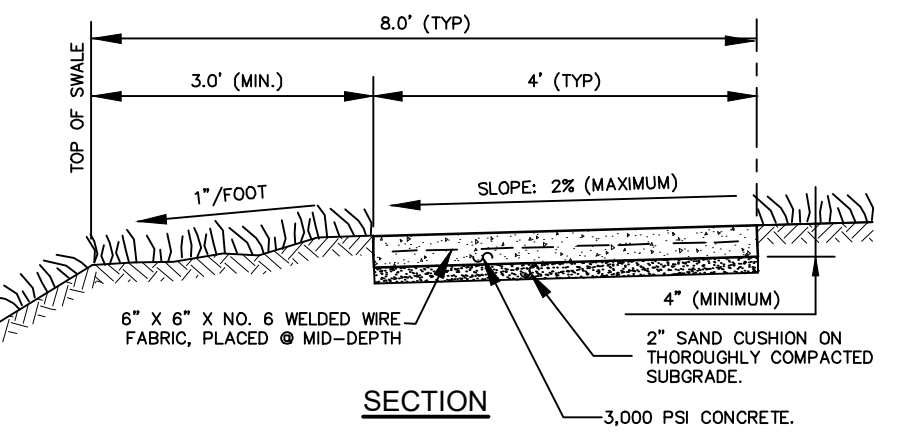
TYPICAL PAVEMENT SECTION

NOTE: PAVING SHALL CONSIST OF FINE GRADING THE SPECIFIED PARKING & DRIVE AREAS AND INSTALLING 2" SF-9.5A OR SF-9.5B ASPHALT CONCRETE SURFACE COURSE IN CONJUNCTION WITH 6" APPROPRIATE BASE COURSE. THE SOIL SUBGRADE BENEATH PAVEMENTS SHALL BE COMPACTED TO AT LEAST 95% OF ASTM D 698 PRIOR TO ANY PLACEMENT OF SUBBASE FILL OR STONE BASE. ALL SITE PREPARATION AND THE DESIGN AND CONSTRUCTION OF ALL FOUNDATIONS, GROUND SLABS, AND PAVEMENTS SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY A GEOTECHNICAL ENGINEER.

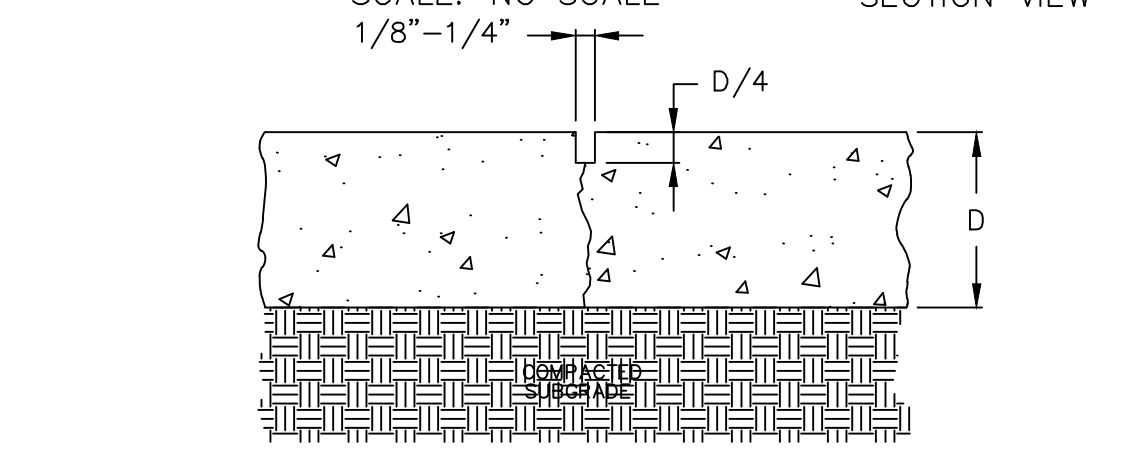


TYPICAL INVERTED DRIVEWAY

SCALE: NO SCALE SECTION VIEW
1/8" - 1/4"

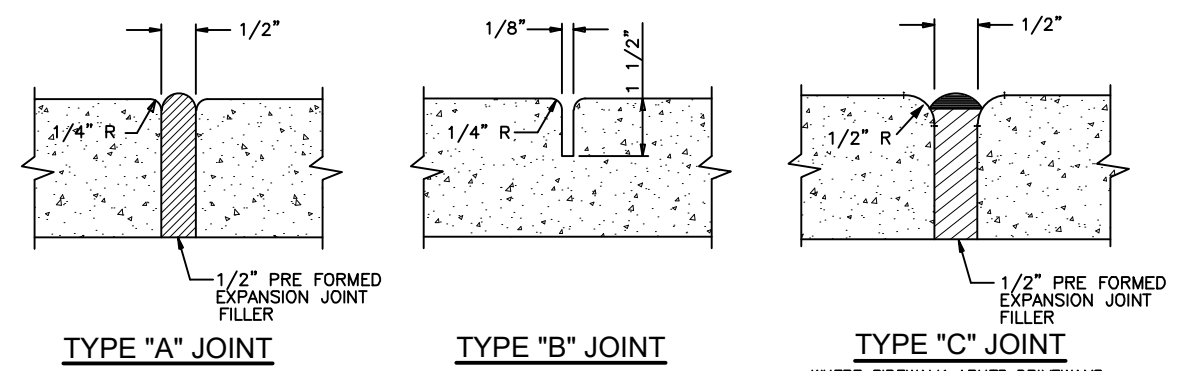


TYP. CONCRETE SIDEWALK DETAIL



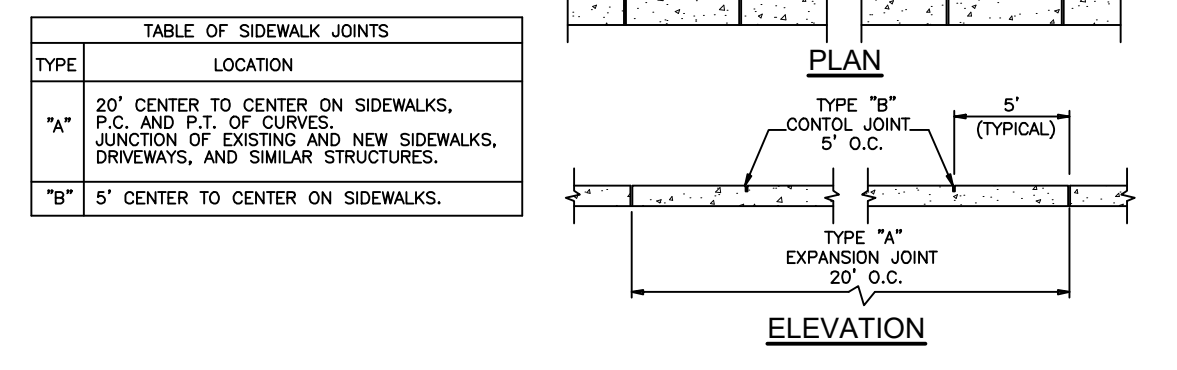
CONVENTIONAL CONCRETE CONTROL JOINT DETAIL

NOT TO SCALE SECTION VIEW
NOTES:
1. MINIMUM PAVEMENT THICKNESS (D) = 6" W/6x6-W2.9 x W2.9 W/W REINFORCEMENT, PLACE 2" BELOW TOP OF SLAB
2. UNDEVELOPED TRANSVERSE CONTRACTION OR LONGITUDINAL JOINT, SAWED OR PRE-MOLDED. DO NOT DOWEL PAVEMENTS LESS THAN 7" THICK.



TYPE 'A' JOINT, TYPE 'B' JOINT, TYPE 'C' JOINT

SIDEWALK AND WALKING TRAIL NOTES:
1. WALKS SHALL HAVE A 4" MINIMUM THICKNESS.
2. CONCRETE SHALL BE A MINIMUM OF 3,000 PSI.
3. WALKS SHALL HAVE A 5" FOOT MINIMUM WIDTH.
4. CROSS SLOPE SHALL BE LIMITED TO A MAXIMUM OF 2%.
5. LONGITUDINAL SLOPE SHALL BE LIMITED TO A MAXIMUM OF 1:20 (V:H) EXCEPT WHERE ACCESSIBILITY RAMP ARE PROVIDED AS NOTED.
6. ALL SIDEWALKS AND TRAILS SHALL BE COMPLIANT WITH THE LATEST HANDICAP ACCESSIBILITY REQUIREMENTS.

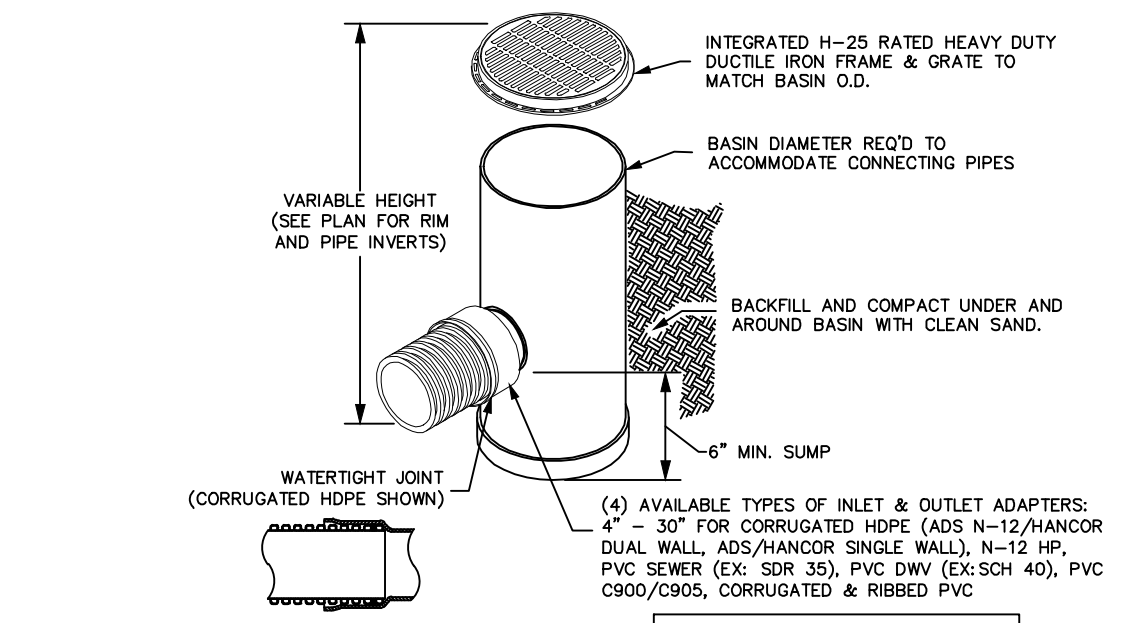


TRUNCATED DOME DETECTABLE WARNING DETAIL

DETECTABLE WARNING GENERAL NOTES:
1. DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES MANUFACTURED BY "COTE-L INDUSTRIES, INC.", CALLED "SAFTI-TRAX", WITH POLYURETHANE COATING "DURABAK", OR APPROVED EQUAL, APPLIED ON SMOOTH (NON-GROOVED) CLEAN CONCRETE RAMP, AND SHALL CONFORM TO THE DETAILS IN THE PLANS AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
2. ALL DETECTABLE WARNING AREAS SHALL START AT BACK OF CURB, BE 24 INCHES IN DEPTH AND COVER THE COMPLETE WIDTH OF THE RAMP AREA 48 INCHES MIN.
3. 70% VISUAL CONTRAST IS REQUIRED. THE COLOR SHALL BE AN INTEGRAL PART OF THE DETECTABLE WARNING MATERIAL, AS SPECIFIED ON THE PLANS. COLOR TO BE DETERMINED BY THE CITY STAFF, SAFETY YELLOW IS THE DEFAULT COLOR.
4. THE SMOOTH AND CLEAN CONCRETE UNDER DETECTABLE WARNING DEVICE AREA SHALL BE INCLUDED IN THE COST OF THE CONCRETE CURB RAMP. THE COST OF FURNISHING AND INSTALLING THE DETECTABLE WARNING DEVICE SHALL BE INCLUDED SEPARATELY AS "DETECTABLE WARNING DEVICE" PER SQUARE FOOT OR AS OUTLINED IN THE SPECIFICATIONS.
5. DETECTABLE WARNING SURFACE:
APPLIED A COATING OF "DURABAK" SLIP-RESISTANT POLYURETHANE COATING TO THE SMOOTH, CLEAN CONCRETE SURFACE. ON TOP OF THE POLYURETHANE COATING APPLY TRUNCATED DOMES FROM A "SAFTI-TRAX" CONTACT SHEET, ON TOP OF THE TRUNCATED DOMES AND INITIAL POLYURETHANE COATING PLACE THREE ADDITIONAL COATS OF "DURABAK" POLYURETHANE COATING. COLOR TO BE DETERMINED BY CITY STAFF OR AS SPECIFIED ON THE PLANS. SAFETY YELLOW IS A DEFAULT COLOR.
6. ALL RAMPS AND DETECTABLE WARNING SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL AND DIRECTED TOWARD RAMP ON THE OPPOSITE SIDE OF STREET.

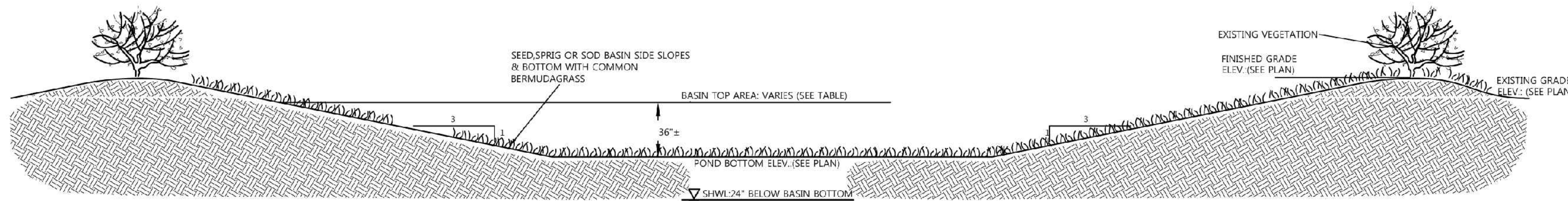
CONVENTIONAL CONCRETE THICKENED EDGE DETAIL

CONVENTIONAL CONCRETE SPECIFICATIONS:
1. USE ACI CERTIFIED FLATWORK FINISHER
2. USE ACI 330R-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS
3. USE ACI 330.1-94 STANDARD SPECIFICATION FOR PLAIN CONCRETE PARKING LOTS
4. ALL CONCRETE USED IN PARKING LOT, UNLESS OTHERWISE INDICATED, SHALL HAVE A COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS
5. IF SUBGRADE SOILS ARE FOUND BY THE CONTRACTOR TO BE UNSUITABLE, TESTING AND PREPARATION RECOMMENDATIONS BY A GEOTECHNICAL ENGINEER MUST BE PROVIDED PRIOR TO CONCRETE PLACEMENT.
6. IMPORTED SOIL USE FOR BACK FILL SHOULD BE FREE OF HEAVY CLAY, SILTS, STONES, PLANT ROOT OR OTHER FOREIGN MATERIAL GREATER THAN 1 1/2" IN DIAMETER IN ORDER TO ACHIEVE ADEQUATE COMPACTION AROUND ANY FIXED OBJECT IN GROUND. ALTERNATE WILL BE TO USE FLOWABLE FILL.
7. KEEP ALL JOINTS CONTINUOUS WITH A MAXIMUM JOINT SPACING OF 10 FT.
8. CONTROL JOINTS SHALL BE FORMED OR SAWED WITHIN 12 HOURS FROM TIME OF PLACEMENT:
A. SIDEWALK-SPACING SHALL BE SAME AS WIDTH OF PAVEMENT AND LESS THAN 5 FEET IN LENGTH
B. PAVEMENT-MAXIMUM SPACING SHALL BE 2.5 TIMES THICKNESS IN UNIT OF FEET AND LESS THAN 15 FEET IN LENGTH (E.G. T=4 INCH SPACING AT 10'x10')
9. CURE CONCRETE IMMEDIATELY AFTER FINISHING OPERATION IS COMPLETED BY USING ONE OF THE FOLLOWING METHODS: WATER, PIGMENTED WATER-BASED CURING COMPOUND OR VISQUEEN AND BURLAP



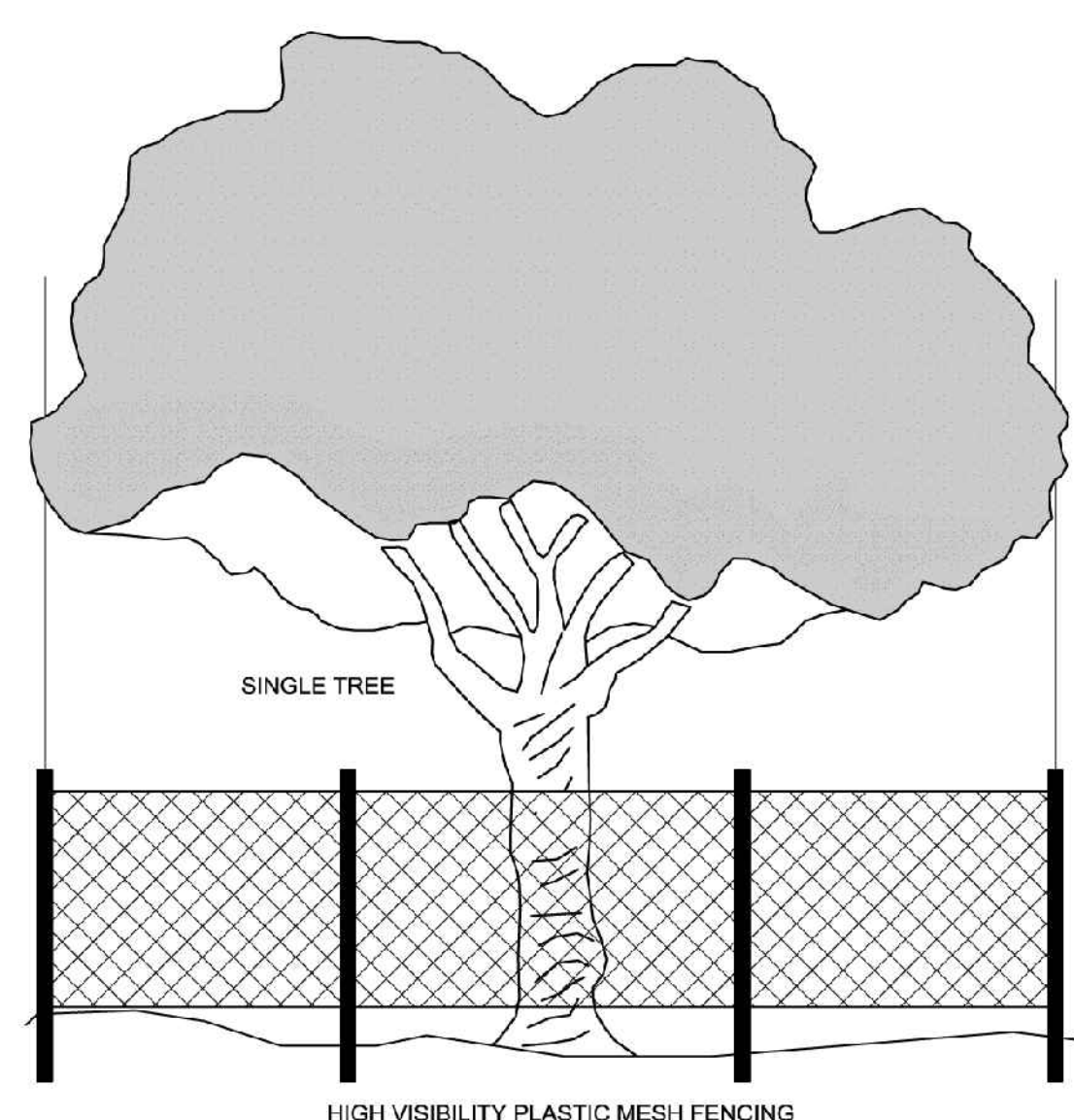
NYLOPLAST DRAIN BASIN DETAIL

STORM STRUCTURE SPECIFICATIONS:
DRAINAGE DROP INLET DRAINAGE STRUCTURES SHALL BE NYLOPLAST DRAIN BASINS AS MANUFACTURED BY ADS, OR APPROVED EQUAL. MINIMUM BASIN DIAMETER SHALL BE 20 INCHES. LARGER DIAMETERS MAY BE NEEDED TO ACCOMMODATE LARGER CONNECTING PIPES, AS DETERMINED BY MANUFACTURER/SUPPLIER. (SEE DETAILS PROVIDED THIS SET)



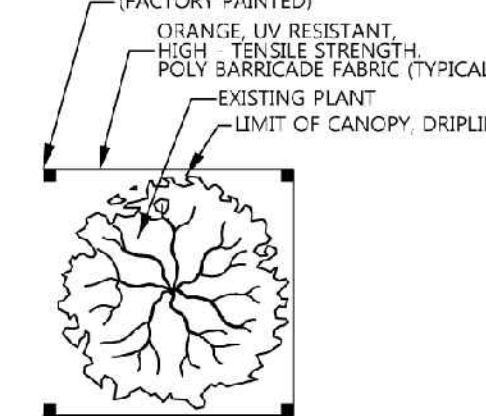
TYPICAL INFILTRATION BASIN SECTION

NOT TO SCALE LOCATION AS NOTED ON PLAN



METHOD OF TREE PROTECTION DURING CONSTRUCTION

TRUNK Ø (IN.)	PROTECTION ZONE RADIUS (FT)
4	5
6	7.5
8	10
12	15
16	20
20	25



TOP VIEW

PROTECTIVE FENCING:
ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING OR OTHER SIMILAR FENCING AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF TEN-FOOT (10') INTERVALS BY APPROVED METHODS SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THE FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL, AND SHALL HAVE A TREE PROTECTION SIGN AFFIXED TO THE FENCE EVERY TWENTY (20) FEET IN SUCH A MANNER TO BE CLEARLY VISIBLE TO THE WORKERS ON-SITE.

PRIOR TO CONSTRUCTION:
THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE OR GROUP OF TREES ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREES TO PROTECT THEM FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

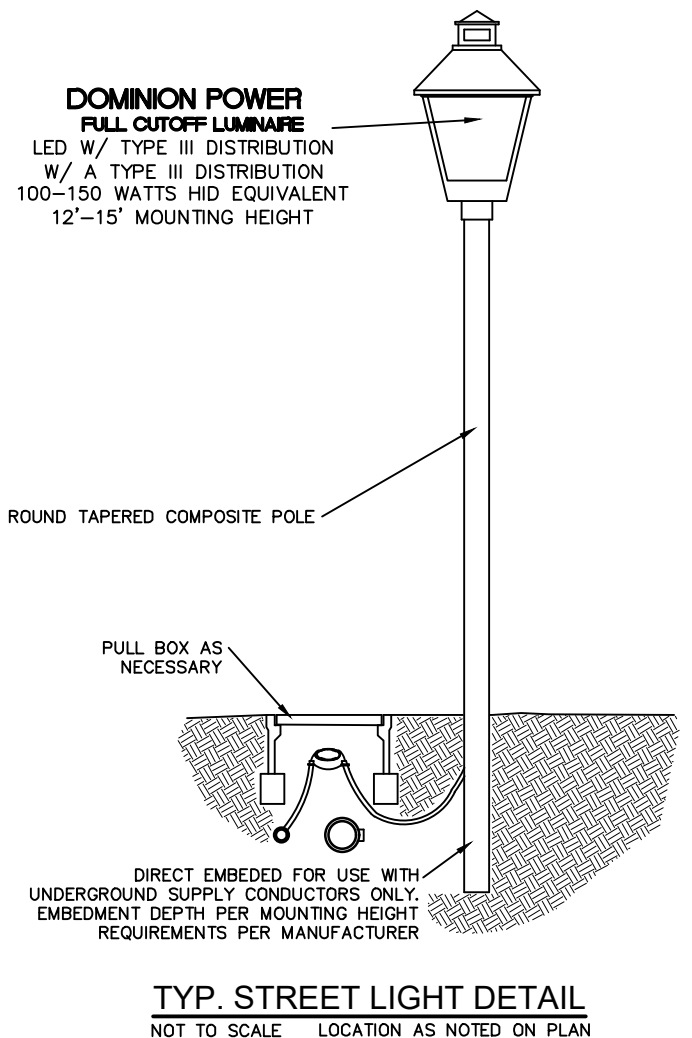
GENERAL LANDSCAPING AND BUFFERING NOTES:

GENERAL LANDSCAPING AND BUFFERING NOTES:
1. STREET TREES:
STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 6.2.1.K OF THE CURRITUCK UDO.
• TREES SHALL BE PLANTED ALONG EACH SIDE OF ROADWAYS AS GENERALLY SPECIFIED ON THE LANDSCAPE PLANS.
• EXISTING TREES RETAINED IN THE VICINITY MAY BE CREDITED AS STREET TREES.
• TREES SHALL BE PLANTED 35'± FROM CENTERLINE OF THE ROAD
• TREES SHALL BE CANOPY TYPE PLANTED A MAXIMUM OF 50' O/C UNDERSTORY TYPE TREES MAY BE SUBSTITUTED AND PLANTED A MAXIMUM OF 30' O/C
• SEE TREE SPECIES AND PLANTING NOTE BELOW
2. OPEN SPACE VEGETATION:
OPEN SPACE VEGETATION REQUIREMENTS ARE ACHIEVED THROUGH THE PRESERVATION OF THE EXISTING TREES ON THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
3. HERITAGE TREES:
A TOTAL OF (5) HERITAGE TREES HAVE BEEN IDENTIFIED WITHIN THE PROJECT AREA. ALL HERITAGE TREES ARE INTENDED TO REMAIN AND BE PROTECTED DURING CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE. (SEE "HERITAGE TREE PROTECTION FENCING" DETAIL THIS SHEET.)
4. TREE SPECIES AND PLANTING:
TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING STANDARDS SPECIFIED IN SECTION 3.5 OF THE CURRITUCK COUNTY ADMINISTRATIVE MANUAL.
• CANOPY AND UNDERSTORY TREE SPECIES SHALL BE OF THOSE LISTED UNDER "TABLE 3.4.6: RECOMMENDED PLANTINGS" IN THE SAME MANUAL.
• TREE SPECIES SHALL BE DIVERSE, A MINIMUM OF (4) DIFFERENT SPECIES OF CANOPY TREES SHALL BE INSTALLED IN ROUGHLY EQUAL PROPORTIONS.
• AT INSTALLATION, CANOPY TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES MEASURED AT 6 INCHES ABOVE GRADE. EIGHT FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
• AT INSTALLATION, UNDERSTORY TREES SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES MEASURED AT 6 INCHES ABOVE GRADE. SIX FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
• MATERIALS SHALL BE OF HIGH-QUALITY NURSERY GRADE.
• THE USE OF NATIVE, BROUGHT TOLERANT TREES IS ENCOURAGED.
• A REPUTABLE LANDSCAPE CONTRACTOR OR SUPPLIER SHALL PREPARE AN ITEMIZED SCHEDULE OF TREES TO BE INSTALLED IN ACCORDANCE WITH THIS LANDSCAPE PLAN. THIS SCHEDULE SHALL BE REVIEWED BY CURRITUCK COUNTY AND THE ENGINEER TO DETERMINE COMPLIANCE BEFORE ORDERING AND INSTALLATION. ALTERNATE TREES AND SPECIFICATIONS MAY BE PRESENTED FOR REVIEW AND APPROVAL.

COMPLIANCE WITH ZONING/S.U.P. CONDITIONS REGARDING TREES:

- LOCATIONS OF TREE PROTECTION & NEW TREES ARE SHOWN ON SHEETS 3, 5-7.
- SUMMARY TABLE IS PROVIDED BELOW.
- A ONE YEAR FULL PRICE REPLACEMENT GUARANTEE ON ALL TREES PLANTED IS HELD BY THE APPLICANT AND AN ADDITIONAL GUARANTEE ON REPLACEMENT PLANTS. THE APPLICANT IS EXPECTED TO MAINTAIN PLANTINGS, INCLUDING WATERING ALL PLANTS WHEN RAINFALL IS LESS THAN ONE INCH PER WEEK.
- THE APPLICANT SHALL REMOVE ALL STAKES & GUY WIRES FROM TREES AND SITE ONE YEAR AFTER PLANTING.

SUMMARY TABLE		
TYPE	REQUIREMENT	PROVISION
STREET TREES	37 TREES	42 TREES (SEE SPECS TO LEFT)
BUFFER TREES	30% OF TRACT	44.3% OF TRACT (SEE SHEET 3)



TYP. STREET LIGHT DETAIL

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**