



August 28, 2026

Currituck County Planning Department
Currituck Historic Courthouse
153 Courthouse Road, Suite 110
Currituck, NC, 27929

ATTN: Jennie Turner, Assistant Planning Director

RE: Major Site Plan Application

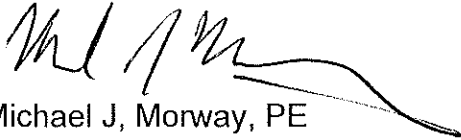
Dear Jennie:

Please find the attached Major Site Plan Application and submittal package for the Duey Fishing Lodge. As we discussed during the pre-application meeting, the Duey's purchased the property in 2024 and have renovated the historic home. They intend on transitioning this property into a Fishing Lodge which will include 4 additional single-bedroom cabins, replacing the bulkhead (currently underway by CAMA General Permit) and installing a boat ramp and 8 boat slips along with waterside dock. The work will include access and parking improvements, site security lighting consisting of decorative hood style area lights at parking areas, bollard lighting along the docks and cabin entrances and 2 new septic systems serving the cabins. Included with this submittal you will find the following items:

- Major Site Plan Application
- \$500 Review Fee (\$0.15 per sf x (392 sf/cabin X 4 cabin = \$235.20)
- SW-002 Stormwater Management Form & Stormwater Management Report
- \$5,500 Major Site Plan Stormwater Escrow Fee
- ARHS Permits for new septic systems
- CAMA General Permit for Bulkheads
- Plans
 - C101 – Demolition & Erosion Control Plan (dated 8/27/2026)
 - C201 – Site Plan (dated 8/27/2026)
 - C202 – Site Plan Details (dated 8/27/2026)
 - C203 – Lighting Plan (dated 8/27/2026)
 - C204 – Buffering Plan (dated 8/27/2026)
 - C301 – Grading & Drainage Plan (dated 8/27/2026)
 - C401 – Wastewater & Utility Plan (dated 8/27/2026)
 - C401 – Wastewater Details (dated 8/27/2026)

Please note that a CAMA Major Application and Stormwater Management Permit Application for Low Density development are being submitted in conjunction with this project. I appreciate your assistance with this project and look forward to working with you further. If you have any questions pertaining to this project, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael J. Morway', with a long horizontal flourish extending to the right.

Michael J, Morway, PE
Engineer

cc: File 05316B
Duey Marina LLC



Major Stormwater Plan Form SW-002

Review Process

Contact Information

Currituck County
Planning and Inspections Department
153 Courthouse Road, Suite 110
Currituck, NC 27929

Phone: 252-232-3055

Website: <http://www.currituckcountync.gov/planning-zoning/>

Email: ccpz@currituckcountync.gov

General

Major stormwater plan approval is required for:

- Major subdivisions.
- Major site plans - development or expansion on a nonresidential, multi-family, or mixed use lot by 5,000 square feet or more of impervious coverage or resulting in 10% or more total impervious coverage.

Step 1: Application Submittal

The applicant must submit a complete application packet consisting of the following:

Submitted on a USB flash drive or a compact disc (CD):

- Completed Currituck County Major Stormwater Plan Form SW-002.
- Completed Rational Method Form SW-003 or NRCS Method Form SW-004.
- Stormwater management plan drawn to scale. The plan shall include the items listed in the major stormwater plan design standards checklist.
- Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable.
- NCDENR permit applications, if applicable.
- Stormwater Review Fee (see fee schedule)

On receiving an application, staff shall determine whether the application is complete or incomplete. A complete application contains all the information and materials listed above and is in sufficient detail to evaluate and determine whether it complies with appropriate review standards. An application for major stormwater plan must be submitted and approved prior altering an existing drainage system, performing any land disturbing activity or, before construction documents are approved.

Step 2: Staff Review and Action

Once an application is determined complete staff shall approve, approve subject to conditions or disapprove the application.



Major Stormwater Plan Form SW-002

OFFICIAL USE ONLY:

Permit Number: _____

Date Filed: _____

Date Approved: _____

Contact Information

APPLICANT:

Name: Albemarle & Associates, Ltd
Address: PO Box 3989
Kill Devil Hills, NC, 27948
Telephone: 252-441-2113
E-Mail Address: mikem@albemarleassociates.com

PROPERTY OWNER:

Name: Duey Marina, LLC
Address: 740 Oak St.
Tyrone, PA, 16686
Telephone: 814-684-7283
E-Mail Address: dueypavin1@verizon.net

Property Information

Physical Street Address: 181 Coinjock Canal Rd, Coinjock, NC,
Parcel Identification Number(s): 071A003000030000
FEMA Flood Zone Designation: X, Shaded X, AE4

Request

Project Description: Conversion of a residential parcel (former marina) to a Fishing Lodge

Total land disturbance activity: 51,400 sf Calculated volume of BMPs: 949 (cf) sf
Maximum lot coverage: 62,043 sf Proposed lot coverage: 21,675 sf

TYPE OF REQUEST

- ☐ Major subdivision (10-year, 24-hour rate)
☒ Major site plan (5-year, 24-hour rate)

METHOD USED TO CALCULATE PEAK DISCHARGE

- ☐ Rational Method
☐ NRCS Method (TR-55 and TR-20)
☐ Simple volume calculation for small sites (less than 10 acres)
☒ Alternative stormwater runoff storage analysis
☐ Downstream drainage capacity analysis

I hereby authorize county officials to enter my property for the purpose of determining compliance. All information submitted and required as part of this process shall become public record.

A handwritten signature in black ink, appearing to be "Mike M.", written over a horizontal line.

Applicant

7/24/2026

Date

Property Owner(s)

Date

*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Major Stormwater Plan Design Standards Checklist

The table below depicts the design standards of the major stormwater plan application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Major Stormwater Plan Design Standards Checklist

Date Received: _____

Project Name: Duey Fishing Lodge

Applicant/Property Owner: Duey Marina, LLC

Minor Stormwater Plan Design Standards Checklist		
General		
1	Property owner name and address.	☒
2	Site address and parcel identification number.	☒
3	North arrow and scale to be 1" = 100' or larger.	☒
Site Features		
4	Scaled drawing showing existing and proposed site features: Property lines with dimensions, acreage, streets, easements, structures (dimensions and square footage), fences, bulkheads, septic area (active and repair), utilities, vehicular use areas, driveways, and sidewalks.	☒
5	Approximate location of all designated Areas of Environmental Concern (AEC) or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.	☒
6	Existing and proposed ground elevations shown in one foot intervals. All elevation changes within the past six months shall be shown on the plan.	☒
8	Limits of all proposed fill, including the toe of fill slope and purpose of fill.	☒
9	Square footage of all existing and proposed impervious areas (structures, sidewalks, walkways, vehicular use areas regardless of surface material), including a description of surface materials.	☒
10	Existing and proposed drainage patterns, including direction of flow.	☒
11	Location, capacity, design plans (detention, retention, infiltration), and design discharge of existing and proposed stormwater management features.	☒
12	Elevation of the seasonal high water level as determined by a licensed soil scientist.	☒
13	Plant selection.	☒
Permits and Other Documentation		
14	NCDENR stormwater permit application (if 10,000sf or more of built upon area).	☒
15	NCDENR erosion and sedimentation control permit application (if one acre or more of land disturbance).	☒
16	NCDENR coastal area management act permit application, if applicable.	☒
17	Stormwater management narrative with supporting calculations.	☒
18	Rational Method Form SW-003 or NRCS Method Form SW-004	☒
19	Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable	☒
20	Design spreadsheets for all BMPs (<i>Appendix F – Currituck County Stormwater Manual</i>).	☒
21	Detailed maintenance plan for all proposed BMPs.	☒

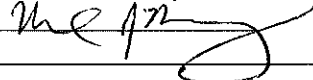
Certificate

22 The major stormwater plan shall contain the following certificate:

I, Michael Morway, PE, owner/agent hereby certify the information included on this and attached pages is true and correct to the best of my knowledge.

On the plan entitled C301 - Grading & Drainage Plan, stormwater drainage improvements shall be installed according to these plans and specifications and approved by Currituck County. Yearly inspections are required as part of the stormwater plan. The owner is responsible for all maintenance required. Currituck County assumes no responsibility for the design, maintenance, or performance of the stormwater improvements.

Date: 7/24/2026

Owner/Agent: 

Major Stormwater Plan Submittal Checklist

Staff will use the following checklist to determine the completeness of your application. Please make sure all the listed items are included. Staff shall not process an application for further review until it is determined to be complete.

Major Stormwater Plan Form SW-002 Submittal Checklist

Date Received: _____

Project Name: Duey Fishing Lodge

Applicant/Property Owner: Duey Marina, LLC

Major Stormwater Plan Form SW-002 Submittal Checklist – Documents provided on USB flash drive or CD		
1	Completed Major Stormwater Plan Form SW-002	☐
2	Completed Rational Method Form SW-003 or NRCS Method Form SW-004	☐
3	Stormwater plan	☐
4	NCDENR permit applications, if applicable	☐

Comments



Duey Fishing Lodge Stormwater Management Narrative

July 21, 2026

Existing Conditions: In 2024, Duey Marina LLC purchased a 2.21-acre parcel on the Intercoastal Waterway in Coinjock in Currituck County. The site contains a historic home, a former commercial building, a garage and several small outbuildings. There is also a concrete pad on the southeast corner of the site. The shoreline was bulkheaded although much of it has failed. Rip rap shoreline protection has been installed along portions of the shoreline as a temporary measure. In addition, the remnants of a boardwalk along the Intercoastal Waterway are present. The Natural Resource Conservation Service Soil Survey for Currituck County has mapped the soils on the site to consist primarily of Augusta fine sandy loam (At) and Newhan fine sandy loam (NeC). The majority of the site is 3 -5 feet above sea level (NAVD 1988). The site is grassed, with gravel driveways and parking areas and a small wooded area on the north. The southern edge of the property (along the Intercoastal Waterway) is in a flood zone AE4 and the remainder is in flood zone X and shaded X. Duey Marina LLC has recently restored the historical structure and replaced the septic system. The site is served by Currituck County water who maintains a 2" waterline along this portion of Coinjock Canal Rd. The majority of the site drains directly into the Intercoastal Waterway. There is a small swale on the front (north side) of the site that drains between 2 adjacent residential properties.

Proposed Development: Duey Marina LLC intends to develop the property to be a Fishing Lodge. This work will include the installation of 4 cabins to be served by 2 new septic systems and modifications to the existing gravel driveway to provide 20' minimum access width (24' adjacent to parking spaces). A new access driveway connecting to Coinjock Development Road and several parking areas will be constructed using #57 stone placed over geotextile. A screened in porch will be added to the existing home.

Waterfront improvements will include replacing portions of the bulkhead, which has been approved by CAMA under general permit PA-3295 issued on 5/26/2026. Additional work scheduled within the CAMA AEC includes reconstructing the boardwalk, excavation of uplands area to construct 8 boat slips, additional bulkheading, a boat ramp and modifications to the existing gravel driveway and parking areas. These improvements will be applied for under a CAMA Major permit as support facilities to the Fishing Lodge.

NCDEQ Stormwater Management Compliance: The project includes a significant reduction in coverage of the existing compacted gravel access, but results in a net increase of site coverage of 2,520 sf from the installation of cabins and access walkways. This increase would not be required to obtain a NCDEQ stormwater management permit based upon the increase in coverage. However, the project will require a NCDEQ CAMA Major permit and therefore will be required to obtain a NCDEQ stormwater management permit. The permit will be a Low Density permit with a total site coverage of 22.7% (below the 24% threshold for high density) and minimal piping being used for the conveyance of stormwater. For this reason, the project is not required to provide a BMP to manage the stormwater. Runoff from the cabins and sidewalk is directed into shallow raingardens to provide infiltration, vegetative uptake, attenuation of peak flows and for conveyance and filtration of runoff that is discharged. Runoff that is discharged is controlled by an orifice and an overflow weir with trash rack into a small culvert that conveys discharge beneath the access driveway and into a level spreader / vegetative filter for additional infiltration and filtration and overflow into the Intercoastal Waterway.

Currituck County Stormwater Management Compliance: Stormwater runoff from the majority of the site drains directly into the Intercoastal Waterway. Because the property drains via surface sheet flow directly into the Intercoastal Waterway, the project is being submitted under an Alternative Stormwater Runoff Storage Analysis. The Intercoastal Waterway is considered open surface waters and thus a "downstream analysis" is not applicable. The "Alternative Stormwater Runoff Analysis" states "in no case shall the BMP treatment volume be less than required by NCDWQ". As noted in the previous section, the North Carolina regulations do not require any BMP treatment volume under the low-density permit. However, with the increase in site coverage from 19,155 sf to 21,675 sf, the corresponding increase in runoff resulting from the 1.5 inch rainfall is calculated to be 284 cf. The surface area of the raingardens totals 1,844 sf and provides 949 cf of treatment volume, or more than 3 times what treatment volume would be required under a High-Density scenario. The following items are attached to this report:

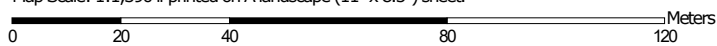
- Soils Map
- Soils Boring Log
- Site coverage and runoff calculations
- Raingarden volume capacity calculations

Soil Map—Currituck County, North Carolina
(Duey Marina LLC)



Soil Map may not be valid at this scale.

Map Scale: 1:1,390 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

8/22/2025
Page 1 of 3

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
At	Augusta fine sandy loam	1.1	35.7%
NeC	Newhan fine sand, 0 to 10 percent slopes	1.6	52.0%
W	Water	0.4	12.3%
Totals for Area of Interest		3.1	100.0%

Soil Hydrologic Group

At C

NeC A

Soil Boring Log

181 Coinjock Canal Rd - Raingardens

Soil Boring			
Depth	B-2	Depth	B-5
0" to 6"	tan sand clay mix	0" to 6"	dark sandy loam
6" to 12"	Thick silt/clay	6" to 12"	tan sandy loam
12" to 18"	sand / clay mix	12" to 18"	tan sandy loam
18" to 24"	grey sand / clay	18" to 24"	tan sandy loam w/ mottles
24" to 30"	grey sand / clay	24" to 30"	grey sand with clay (saturated)
30" to 36"	grey sand / clay	30" to 36"	
36" to 42"	grey sand (saturated)	36" to 42"	
Soil Type	Augusta fine sandy loam (At)	Soil Type	Augusta fine sandy loam (At)
Hydraulic Group	C	Hydraulic Group	C
Ex. Ground Elevation (ft. above MSL)	4.3	Ex. Ground Elevation (ft. above MSL)	4.0
Depth to ESHWT (in)	18	Depth to ESHWT (in)	18
ESHWT Elevation	2.8	ESHWT Elevation	2.5
Depth to Water table (in)	36	Depth to Water table (in)	24
Estimated Water table Elevation (ft)	1.3	Estimated Water table Elevation (ft)	2.0

Volumetric Runoff Calculations Simple Method

Project Name : Duey Fishing Lodge (181 Coinjock Canal Rd)

Drainage Area (Entire Site)				
Basin Information				
Receiving Stream Name	Intercoastal Waterway			
Receiving Stream Class & Index Number	SC			
Drainage Area (Entire Site)	96,341	SF		
Existing Impervious Area	19,155	SF		
	19.9%			
Existing Impervious Area (to remain)	14,458	SF		
Proposed Impervious Area (new)	7,217	SF		
Proposed Impervious Area (total)	21,675	SF		
	22.5%			
Impervious Surface Area			existing	existing (to remain)
On-site Buildings or Lot BUA	6,851	SF	5,204	4,689
On-site Streets & Parking	10,495	SF	11,681	7,499
On-site Parking (HC parking)	320	SF	0	0
On-site Sidewalks	717	SF	0	0
Other on-site	3,292	SF	2,270	2,270
Future	0	SF	0	0
Off-site	0	SF	0	0
Total:	21,675	SF	19,155	14,458
				7,217

Summary of Impervious & Pervious Pavement

Streets / Access

2,996 sf gravel / ABC
 3,000 sf pervious (#57)
 0% % Pervious
2,996 Applied BUA

Parking

320 sf HC Parking
 6,704 sf pervious (#57)
 0% % Pervious
320 Applied BUA

Sidewalks

717 sf Concrete
 535 sf pervious (#57)
 0% % Pervious
717 Applied BUA

Runoff Calculations (Simple Method)			
	Runoff Volume (Proposed Conditions)	Runoff Volume (Existing Conditions)	
Design Runoff (in)	1.5	1.5	
Total Area (sf)	96,341	96,341	96,341
Coverage	22.5%	19.9%	2.6%
R(v)	0.252	0.229	0.074
Rainfall Volume	3,041	2,757	0

NCDEQ Runoff

Increase from 1.5" **284** cf

Raingarden

Volume Provided: **949** cf

STORMWATER MANAGEMENT CALCULATIONS - RAINGARDEN DESIGN

Project Fishing Lodge (181 Coinjock Canal Rd)

By : MJM

Raingarden Basin Information

	Raingarden #1		Raingarden #2	
	elevation	area	elevation	area
	(msl)	(sf)	(msl)	(sf)
Storage Elevation:	4.8	1,629	4.8	216
Bottom of basin:	4.1	785	4.1	81
Storage Volume	844.9		104.0	
Available Storage Volume:	949	(cf)		
Required NCDENR Volume:	284	(cf)		

Orifice Elevation 4.1 (ft)
 Orifice Size: 1 (in)
 Storage Elevation: 4.8 (ft)

Basin Drawdown Calculations (orifice only)

Design Volume =	949	cf
Design Storage Height =	0.70	ft
Average Head =	0.22	ft.
Orifice Diameter =	1.00	1n
Discharge Coefficient =	0.60	
Area of Orifice =	0.005	sf.
Discharge Rate =	0.012	cfs.
<u>Drawdown Calculations</u>		
Design Volume =	21	hrs



August 28, 2026

NCDENR DLQ
943 Washington Square Mall
Washington, NC, 27889

ATTN: DEMLR Stormwater Program

**RE: Duey Fishing Lodge – 181 Coinjock Canal Rd
Low-Density Stormwater Management Permit Submittal**

Dear DEMLR Stormwater Program Manager:

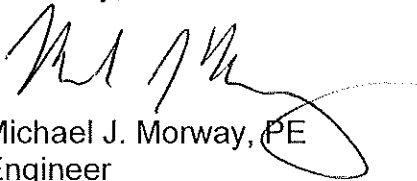
Please find the attached submittal for the Duey Fishing Lodge located at 181 Coinjock Canal Rd. in Coinjock, NC. Duey Marina LLC purchased the property in 2024. The property contains a historic 5-bedroom home, former marina store, garage and several small outbuildings. Duey Marina LLC intends to expand development of the property as a fishing lodge, to include the replacement of bulkheading, installation of a boat ramp and boats slips, as well as 4 one-bedroom cabins. A CAMA permit has already been issued for the bulkhead replacement and a CAMA Major permit is being applied for the remaining waterfront items as well as work within the AEC. The project increases site coverage on the 2.21-acre parcel from 19,438 sf (20.2%) to 21,675 sf (22.7%). Parking and lower trafficked portions of the access will be constructed with 4" of #57 stone over geotextile fabric, allowing the site to meet low-density requirements. A series of raingardens are also being implemented to meet County standards and provide infiltration, filtration and attenuation of runoff, which will be released through a grassed vegetative filter and allowed to drain towards the canal. It should be noted that the site currently contains impervious coverage within the 50' buffer. The project includes removal of portions of these surfaces and provides an overall reduction in coverage in the buffer. However, portions of the BUA, including the former marina store and adjacent parking, are impractical to remove and will remain. The proposed boat ramp is also in a location that currently has compacted gravel access and parking.

This submittal includes the following items:

- Stormwater Permit Application SWU-101 (original and copy)
- Low Density Supplement
- Low Density O&M Agreement
- Permit Application Fee \$1,056
- Stormwater Narrative dated 8/28/2026
- USGS Topo Quad
- Coverage Calculations
- Soils Report
- Plans (2 sets)
 - C101 – Demolition & Erosion Control Plan (dated 8/27/2026)
 - C201 – Site Plan (dated 8/27/2026)
 - C202 – Site Plan Details (dated 8/27/2026)
 - C301 – Grading & Drainage Plan (dated 8/27/2026)
- Warranty Deed (Book 1779 Pages 80-86)
- Secretary of State filing for Duey Marina LLC

I appreciate your assistance with the Duey Fishing Lodge. Please do not hesitate to call me if you have any questions pertaining to this project.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael J. Morway", with a large, stylized flourish extending from the end of the signature.

Michael J. Morway, PE
Engineer

cc: File 05316B
Duey Marina LLC

DEMLR USE ONLY		
Date Received	Fee Paid	Permit Number
Applicable Rules: ☐ Coastal SW – 1995 ☐ Coastal SW – 2008 ☐ Ph II - Post Construction (select all that apply) ☐ Non-Coastal SW- HQW/ORW Waters ☐ Universal Stormwater Management Plan ☐ Other WQ Mgmt Plan: _____		

State of North Carolina
Department of Environmental Quality
Division of Energy, Mineral and Land Resources

POST-CONSTRUCTION STORMWATER MANAGEMENT PERMIT APPLICATION FORM

This form may be photocopied for use as an original.

I. GENERAL INFORMATION

- Project Name (subdivision, facility, or establishment name - should be consistent with project name on plans, specifications, letters, operation and maintenance agreements, etc.):
Duey Marina
- Location of Project (street address):
181 Coinjock Canal
City: Coinjock County: Currituck Zip: 27923
- Directions to project (from nearest major intersection):
From the intersection of US158 and SR 168 (Barco), proceed south along US158 (east) into Coinjock (approx into Coinjock and turn left onto Worth Guard Rd. Travel 0.44 miles (south) along Worth Guard Rd and turn left onto Coinjock Canal Rd to the end of the road (0.4 miles) and the site is on the right.
- Latitude: 36° 20' 59.93" N Longitude: -75° 57' 0.26" W of the main entrance to the project.

II. PERMIT INFORMATION:

- Specify whether project is (check one): ☒ New ☐ Modification ☐ Renewal w/ Modification[†]
[†]Renewals with modifications also requires SWU-102 – Renewal Application Form
 - If this application is being submitted as the result of a **modification** to an existing permit, list the existing permit number _____, its issue date (if known) _____, and the status of construction: ☐ Not Started ☐ Partially Completed* ☐ Completed* *provide a designer's certification
- Specify the type of project:
☒ Low Density ☐ High Density ☐ Drains to an Offsite Stormwater System ☐ Other
- If this application is being submitted as the result of a **previously returned application** or a **letter from DEMLR requesting a state stormwater management permit application**, list the stormwater project number, if assigned, _____ and the previous name of the project, if different than currently proposed, _____.
- Additional Project Requirements (check applicable blanks; information on required state permits can be obtained by contacting the Customer Service Center at 1-877-623-6748):
☒ CAMA Major ☒ Sedimentation/Erosion Control: 1.2 ac of Disturbed Area
☐ NPDES Industrial Stormwater ☐ 404/401 Permit: Proposed Impacts _____
 - If any of these permits have already been acquired please provide the Project Name, Project/Permit Number, issue date and the type of each permit: _____
- Is the project located within 5 miles of a public airport? ☐ No ☒ Yes
 If yes, see S.L. 2012-200, Part VI: <http://portal.ncdenr.org/web/lr/rules-and-regulations>

III. CONTACT INFORMATION

1. a. Print Applicant / Signing Official's name and title (specifically the developer, property owner, lessee, designated government official, individual, etc. who owns the project):

Applicant/Organization: Duey Marina, LLC

Signing Official & Title: Lael Duey, President

- b. Contact information for person listed in item 1a above:

Street Address: 740 Oak St

City: Tyronne

State: PA

Zip: 16686

Mailing Address (if applicable): _____

City: _____

State: _____

Zip: _____

Phone: (814) 684-7283

Fax: (_____) _____

Email: dueypavin1@verizon.net

- c. Please check **(one)** the appropriate box. The applicant listed above is:

☒ The property owner (Skip to Contact Information, item 3a)

☐ Lessee* (Attach a copy of the lease agreement and complete Contact Information, item 2a and 2b below)

☐ Purchaser* (Attach a copy of the pending sales agreement and complete Contact Information, item 2a and 2b below)

☐ Developer* (Complete Contact Information, item 2a and 2b below.)

2. a. Print Property Owner's name and title below, if you are the lessee, purchaser or developer. (This is the person who owns the property that the project is located on):

Property Owner/Organization: _____

Signing Official & Title: _____

- b. Contact information for person listed in item 2a above:

Street Address: _____

City: _____

State: _____

Zip: _____

Mailing Address (if applicable): _____

City: _____

State: _____

Zip: _____

Phone: (_____) _____

Fax: (_____) _____

Email: _____

3. a. (Optional) Print the name and title of another contact such as the project's construction supervisor or other person who can answer questions about the project:

Other Contact Person/Organization: _____

Signing Official & Title: _____

- b. Contact information for person listed in item 3a above:

Mailing Address: _____

City: _____

State: _____

Zip: _____

Phone: (_____) _____

Fax: (_____) _____

Email: _____

4. Local jurisdiction for building permits: Currituck County

Point of Contact: Jennie Turner

Phone #: (252) 232-6031

Email: Jennie.Turner@CurrituckCountyNC.gov

IV. PROJECT INFORMATION

1. In the space provided below, briefly summarize how the stormwater runoff will be treated.
The project adds 2,520 sf of coverage but requires a CAMA Major and E&SC permit and thus is required to obtain a stormwater permit. The project maintains 22.7% coverage and minimizes the use of pipe for Low Density. However, raingardens are provided to meet County requirements.
- 2.a. **If claiming vested rights**, identify the supporting documents provided and the date they were approved:
☐ Approval of a Site Specific Development Plan or PUD Approval Date: _____
☐ Valid Building Permit Issued Date: _____
☐ Other: _____ Date: _____
- b. **If claiming vested rights**, identify the regulation(s) the project has been designed in accordance with:
☐ Coastal SW – 1995 ☐ Ph II – Post Construction
3. Stormwater runoff from this project drains to the Pasquotank River basin.
4. Total Property Area: 2.2 acres 5. Total Coastal Wetlands Area: n/a acres
6. Total Surface Water Area: n/a acres
7. Total Property Area (4) – Total Coastal Wetlands Area (5) – Total Surface Water Area (6) = Total Project Area*: 2.20 acres

* Total project area shall be calculated to exclude the following: the normal pool of impounded structures, the area between the banks of streams and rivers, the area below the Normal High Water (NHW) line or Mean High Water (MHW) line, and coastal wetlands landward from the NHW (or MHW) line. The resultant project area is used to calculate overall percent built upon area (BUA). Non-coastal wetlands landward of the NHW (or MHW) line may be included in the total project area.
8. Project percent of impervious area: (Total Impervious Area / Total Project Area) X 100 = 22.5 %
9. How many drainage areas does the project have? 1 (For high density, count 1 for each proposed SCM. For low density and other projects, use 1 for the whole property area. If there are multiple receiving streams, provide the drainage areas within the project area to each stream.)
10. Complete the following information for each drainage area directed to an SCM or low density area identified in Project Information item 9. If there are more than four drainage areas in the project, attach an additional sheet with the information for each area provided in the same format as below.

Basin Information	Drainage Area 1	Drainage Area	Drainage Area	Drainage Area
Receiving Stream Name	Intercoastal Waterway			
Stream Class *	SC			
Stream Index Number *	30-2-5-1			
Total Drainage Area (sf)	95,451			
On-site Drainage Area (sf)	95,451			
Off-site Drainage Area (sf)	0			
Proposed Impervious Area** (sf)	21,675			
% Impervious Area ** (total)	22.7%			

Impervious** Surface Area	Drainage Area 1	Drainage Area	Drainage Area	Drainage Area
On-site Buildings/Lots (sf)	6,851			
On-site Streets (sf)	0			
On-site Parking (sf)	10,715			
On-site Sidewalks (sf)	717			
Other on-site (sf)	2,270			
Future (sf)	0			
Off-site (sf)	0			
Existing BUA*** (sf)	14,458			
Total (sf):	21,675			

* Stream Class and Index Number can be determined at: <https://www.deq.nc.gov/about/divisions/water-resources/water-planning/classification-standards/classifications>

** Impervious area is defined as the built upon area including, but not limited to, buildings, roads, parking areas, sidewalks, gravel areas, etc.

*** Report only that amount of existing BUA that will remain after development. Do not report any existing BUA that is to be removed and which will be replaced by new BUA. See definition 15A NCAC 02H .1002(17).

11. How was the off-site Impervious area listed the Section IV, 10 Tables determined? Provide documentation.
n/a

Projects in Union County: Contact DEMLR Central Office staff to check if the project is located within a Threatened & Endangered Species watershed that may be subject to more stringent stormwater requirements as per 15A NCAC 02B .0600.

V. SUPPLEMENT AND O&M FORMS

The applicable state stormwater management permit supplement and operation and maintenance (O&M) forms must be submitted for each SCM specified for this project. The latest versions of the forms can be downloaded from <https://www.deq.nc.gov/about/divisions/energy-mineral-and-land-resources/stormwater/stormwater-program/stormwater-design-manual>. For SCMs subject to older design standards or offsite projects, the archived supplement can be found from <https://www.deq.nc.gov/about/divisions/energy-mineral-and-land-resources/stormwater/stormwater-program/stormwater-design-manual/archived-stormwater-design-manual-supplemental-forms>

VI. CHECKLIST OF SUBMITTAL REQUIREMENTS FOR AN ADMINISTRATIVELY COMPLETE APPLICATION PACKAGE PER 15A NCAC 02H .1042(2)

Only complete application packages will be accepted and reviewed by the Division of Energy, Mineral and Land Resources (DEMLR). An administratively complete application package includes all of the items listed below. A detailed application instruction sheet and SCM checklists are available from <https://www.deq.nc.gov/about/divisions/energy-mineral-and-land-resources/stormwater/post-construction-program/new-permits-permit-modifications>. The complete application package should be submitted to the appropriate DEMLR Office. (The appropriate office may be found by locating project on the interactive online map at <https://www.deq.nc.gov/about/divisions/energy-mineral-and-land-resources/stormwater/stormwater-program/post-construction-program>.)

Please **indicate that the following required information have been provided by initialing** in the space provided for each item. All original documents **MUST** be signed and initialed in blue ink. Download the latest versions for each submitted application package from <https://www.deq.nc.gov/about/divisions/energy-mineral-and-land-resources/stormwater/stormwater-program>.

1. Original and one copy of the Stormwater Management Permit Application Form.
2. Original and one copy of the signed and notarized Deed Restrictions & Protective Covenants Form or, for major modifications, a copy of the recorded deed restrictions and protective covenants limiting the built-upon area so that it does not exceed the capacity of the SCM(s) or the BUA thresholds. (if required as per Part VII below)
Deed book: _____ Page No: _____ Relevant section: _____
3. Original of the applicable Supplement Form(s) (sealed, signed and dated) and O&M agreement(s) for each SCM. (please refer to Section V for more information)
4. Appropriate permit application processing fee per NCGS 143-215.3D(e)(2) payable to NCDEQ.
A full list of fee adjustments is available on the DEQ website:
<https://www.deq.nc.gov/accessdeq/permit-fees-2023-updates>
(For an Express review, refer to: <https://www.deq.nc.gov/accessdeq/express-permitting> for information on the Express program and the associated fees. Contact the appropriate Coastal regional office Express Permit Coordinator for additional information and to schedule the required application meeting.)
5. A detailed narrative (one to two pages) describing the stormwater treatment/management for the project. This is required in addition to the brief summary provided in the Project Information, Item 1.
6. A USGS map identifying the site location. If the receiving stream is reported as class SA or the receiving stream drains to class SA waters within ½ mile of the site boundary, include the ½ mile radius on the map.
7. Sealed, signed, and dated calculations (one copy).

Initials

MSM
N/A

MSM

MSM

MSM

MSM

MSM

8. Two sets of plans folded to 8.5" x 14" (sealed, signed, & dated), including:
- Development/Project name.
 - Engineer and firm.
 - Location map with named streets and NCSR numbers.
 - Legend.
 - North arrow.
 - Scale.
 - Revision number and dates.
 - Identify all surface waters on the plans by delineating the normal pool elevation of impounded structures, the banks of streams and rivers, the MHW or NHW line of tidal waters, and any coastal wetlands landward of the MHW or NHW lines.
 - Delineate the vegetated setback landward from the normal pool elevation of impounded structures, the banks of streams or rivers, and the MHW (or NHW) of tidal waters.
 - Dimensioned property/project boundary with bearings & distances.
 - Site Layout with all BUA identified and dimensioned.
 - Existing contours, proposed contours, spot elevations, finished floor elevations.
 - Details of roads, drainage features, collection systems, and stormwater control measures (including any applicable SCM planting plans).
 - Wetlands delineated, or a note on the plans that none exist. (Must be delineated by a qualified person; identify the person who made the determination on the plans.
 - Existing drainage (including off-site), drainage easements, pipe sizes, runoff calculations.
 - Drainage areas delineated (included in the main set of plans, not as a separate document).
9. Copy of any applicable soils report with the associated SHWT elevations (Please identify elevations in addition to depths) as well as a map of the boring locations with the existing elevations and boring logs. Include an 8.5"x11" copy of the NRCS County Soils map with the project area clearly delineated. For projects with infiltration SCMs, the report should also include the soil type, expected infiltration rate, and the method of determining the infiltration rate. **(Infiltration Devices submitted to WiRO: Schedule a site visit for DEMLR to verify the SHWT Prior to submittal, (910) 796-7378.)**
10. A copy of the most current property deed. Deed book: 1779 Page No: 80-86
11. For corporations and limited liability corporations (LLC): Provide documentation from the NC Secretary of State or other official documentation, which supports the titles and positions held by the persons listed in Contact Information, item 1a, 2a, and/or 3a per 15A NCAC 2H.1040(1). The corporation or LLC must be listed as an active corporation in good standing with the NC Secretary of State, otherwise the application will be returned.
<http://www.secretary.state.nc.us/Corporations/CSearch.aspx>
12. If the applicant is not the property owner, a copy of a lease agreement, affidavit, or other document showing that the applicant has obtained legal rights to submit a stormwater permit application within the proposed project area;
13. If applicable, a copy of any recorded drainage, maintenance, or operation and maintenance easements demonstrating ownership interest sufficient to operate the SW system.
Deed book: _____ Page No: _____ Relevant section: _____
14. If a modification to an existing permit:
- The applicant / permit holder will remain the same and permit has not and will not expire within the next 180 days.
 - Signed, sealed & dated Designer Certification Forms
 - Copies of the following documents recorded with the County Register of Deeds
 - Deed restrictions and protective covenants limiting the BUA so that it does not exceed the capacity of the SCM(s) or the BUA thresholds.
 - Drainage easements, when applicable.
 - Operation & Maintenance Agreement
 - Final subdivision plat referencing the Operation & Maintenance Agreement

MSM

MSM

MSM

MSM

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

VII. DEED RESTRICTIONS AND PROTECTIVE COVENANTS

For all subdivisions, outparcels, and future development, the appropriate property restrictions and protective covenants are required to be recorded prior to the sale of any lot. If lot sizes vary significantly or the proposed BUA allocations vary, a table listing each lot number, lot size, and the allowable built-upon area must be provided as an attachment to the completed and notarized deed restriction form. The appropriate deed restrictions and protective covenants forms can be downloaded from <https://www.deq.nc.gov/about/divisions/energy-mineral-and-land-resources/stormwater/stormwater-program/post-construction-program/post-construction-forms>. Download the latest versions for each submittal.

In the instances where the applicant is different than the property owner, it is the responsibility of the property owner to sign the deed restrictions and protective covenants form while the applicant is responsible for ensuring that the deed restrictions are recorded.

By the notarized signature(s) below, the permit holder(s) certify that the recorded property restrictions and protective covenants for this project, if required, shall include all the items required in the permit and listed on the forms available on the website, that the covenants will be binding on all parties and persons claiming under them, that they will run with the land, that the required covenants cannot be changed or deleted without concurrence from the NC DEMLR, and that they will be recorded prior to the sale of any lot.

VIII. CONSULTANT INFORMATION AND AUTHORIZATION

Applicant: Complete this section if you wish to designate authority to another individual and/or firm (such as a consulting engineer and/or firm) so that they may provide information on your behalf for this project (such as addressing requests for additional information).

Consulting Engineer: Michael Morway, PE

Consulting Firm: Albemarle & Associates, Ltd

Mailing Address: PO Box 3989

City: Kill Devil Hills

State: NC Zip: 27948

Phone: (252) 441-2113

Fax: (252) 441-0965

Email: mikem@albemarleassociates.com

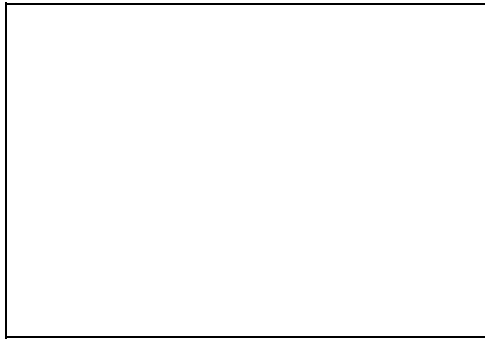
IX. PROPERTY OWNER AUTHORIZATION (if Contact Information, item 2 has been filled out, complete this section)

I, (print or type name of person listed in Contact Information, item 2a) _____, certify that I own the property identified in this permit application, and thus give permission to (print or type name of person listed in Contact Information, item 1a) _____ with (print or type name of organization listed in Contact Information, item 1a) _____ to develop the project as currently proposed. A copy of the lease agreement or pending property sales contract has been provided with the submittal, which indicates the party responsible for the operation and maintenance of the stormwater system.

As the legal property owner I acknowledge, understand, and agree by my signature below, that if my designated agent (entity listed in Contact Information, item 1) dissolves their company and/or cancels or defaults on their lease agreement, or pending sale, responsibility for compliance with the DEMLR Stormwater permit reverts back to me, the property owner. As the property owner, it is my responsibility to notify DEMLR immediately and submit a completed Name/Ownership Change Form within 30 days; otherwise I will be operating a stormwater treatment facility without a valid permit. I understand that the operation of a stormwater treatment facility without a valid permit is a violation of NC General Statute 143-215.1 and may result in appropriate enforcement action including the assessment of civil penalties of up to \$25,000 per day, pursuant to NCGS 143-215.6.

Signature: _____ Date: _____

I, _____, a Notary Public for the State of _____,
County of _____, do hereby certify that _____
personally appeared before me this _____ day of _____, _____, and acknowledge the
due execution of the application for a stormwater permit. Witness my hand and official seal,



SEAL

My commission expires _____

X. APPLICANT'S CERTIFICATION

I, (print or type name of person listed in Contact Information, item 1a) Lael Duey,
certify that the information included on this permit application form is, to the best of my knowledge, correct and
that the project will be constructed in conformance with the approved plans, that the required deed restrictions
and protective covenants will be recorded, and that the proposed project complies with the requirements of the
applicable stormwater rules under 15A NCAC 2H .1000 and any other applicable state stormwater requirements.

Signature: *Lael Duey* Date: 8/13/26

I, Kimberly D. Gurekovich, a Notary Public for the State of Pennsylvania
County of Blair, do hereby certify that Lael D. Duey
personally appeared before me this 13th day of August, 2026 and acknowledge the
due execution of the application for a stormwater permit. Witness my hand and official seal,

Kimberly D. Gurekovich

Commonwealth of Pennsylvania - Notary Seal
Kimberly D. Gurekovich, Notary Public
Blair County
My commission expires August 25, 2029
Commission number 1117997
Member, Pennsylvania Association of Notaries

SEAL

My commission expires 8/25/2029

SUPPLEMENT-EZ COVER PAGE

FORMS LOADED

PROJECT INFORMATION

1	Project Name	Duey Fishing Lodge
2	Project Area (ac)	2.19
3	Coastal Wetland Area (ac)	0
4	Surface Water Area (ac)	0
5	Is this project High or Low Density?	Low
6	Does this project use an off-site SCM?	No

COMPLIANCE WITH 02H .1003(4)

7	Width of vegetated setbacks provided (feet)	50
8	Will the vegetated setback remain vegetated?	Yes
9	If BUA is proposed in the setback, does it meet NCAC 02H.1003(4)(c-d)?	N/A
10	Is streambank stabilization proposed on this project?	Yes

NUMBER AND TYPE OF SCMs:

11	Infiltration System	
12	Bioretention Cell	
13	Wet Pond	
14	Stormwater Wetland	
15	Permeable Pavement	
16	Sand Filter	
17	Rainwater Harvesting (RWH)	
18	Green Roof	
19	Level Spreader-Filter Strip (LS-FS)	
20	Disconnected Impervious Surface (DIS)	
21	Treatment Swale	
22	Dry Pond	
23	StormFilter	
24	Silva Cell	
25	Bayfilter	
26	Filterra	

FORMS LOADED

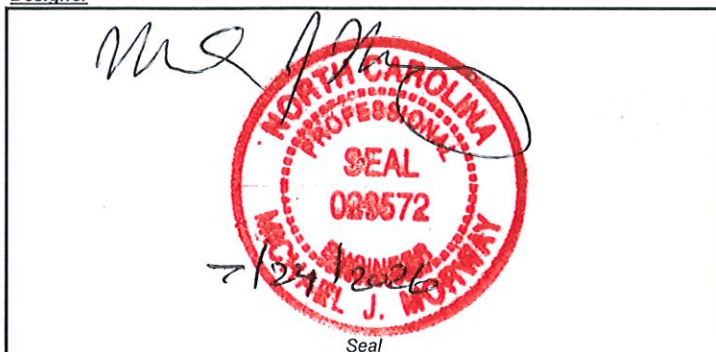
DESIGNER CERTIFICATION

27	Name and Title:	Michael Morway, PE
28	Organization:	Albemarle & Associates, Ltd
29	Street address:	115 West St. Clair St
30	City, State, Zip:	Kill Devil Hills, NC, 27948
31	Phone number(s):	252-441-2113
32	Email:	mikem@albemarleassociates.com

Certification Statement:

I certify, under penalty of law that this Supplement-EZ form and all supporting information were prepared under my direction or supervision; that the information provided in the form is, to the best of my knowledge and belief, true, accurate, and complete; and that the engineering plans, specifications, operation and maintenance agreements and other supporting information are consistent with the information provided here.

Designer



Signature of Designer

7/24/2020

Date

DRAINAGE AREAS

1	Is this a high density project?	No
2	If so, number of drainage areas/SCMs	
3	Does this project have low density areas?	Yes
4	If so, number of low density drainage areas	1
5	Is all/part of this project subject to previous rule versions?	No

[CLICK TO LOAD FORM](#)

LOW DENSITY

DESIGN REQUIREMENTS FOR LOW DENSITY PROJECTS FROM 02H .1003		
1	Is project below density thresholds set forth in the applicable stormwater rule?	Yes
2	Does project maximize dispersed flow and minimize channelization of flow?	Yes
3	Has the use of piping been minimized per .1003(2)(c)?	Yes
4	Side slopes of the vegetated conveyances (H:V)	4:1
5	Maximum velocity in the vegetated conveyances during the 10-year storm?	
6	Are curb outlet swales proposed?	No
7	Maximum longitudinal slope of curb outlet swale(s) (%)	
8	Bottom width of curb outlet swale(s) (feet)	
9	Maximum side slope of curb outlet swale(s) (H:V)	
10	Minimum length of curb outlet swale(s) (feet)	
11	Are treatment swales used instead of curb outlet swales?	
12	Is stormwater released at the edge of the setback as dispersed flow?	Yes
13	Have stormwater outlets been designed to prevent downslope erosion?	Yes
14	Are variations to rule .1003 proposed?	No
ADDITIONAL INFORMATION		
15	Please use this space to provide any additional information about this low density project:	

[illegible]

Operation & Maintenance Agreement

Project Name: Duey Fishing Lodge

Project Location: 181 Coinjock Canal Rd, Coinjock, NC

Cover Page

Maintenance records shall be kept on the following SCM(s). This maintenance record shall be kept in a log in a known set location. Any deficient SCM elements noted in the inspection will be corrected, repaired, or replaced immediately. These deficiencies can affect the integrity of structures, safety of the public, and the pollutant removal efficiency of the SCM(s).

The SCM(s) on this project include (check all that apply & corresponding O&M sheets will be added automatically):

Infiltration Basin	Quantity:		Location(s):	
Infiltration Trench	Quantity:		Location(s):	
Bioretention Cell	Quantity:		Location(s):	
Wet Pond	Quantity:		Location(s):	
Stormwater Wetland	Quantity:		Location(s):	
Permeable Pavement	Quantity:		Location(s):	
Sand Filter	Quantity:		Location(s):	
Rainwater Harvesting	Quantity:		Location(s):	
Green Roof	Quantity:		Location(s):	
Level Spreader - Filter Strip	Quantity:		Location(s):	
Proprietary System	Quantity:		Location(s):	
Treatment Swale	Quantity:		Location(s):	
Dry Pond	Quantity:		Location(s):	
Disconnected Impervious Surface	Present:	No	Location(s):	
User Defined SCM	Present:	No	Location(s):	
Low Density	Present:	Yes	Type:	Dispersed flow only

I acknowledge and agree by my signature below that I am responsible for the performance of the maintenance procedures listed for each SCM above, and attached O&M tables. I agree to notify NCDEQ of any problems with the system or prior to any changes to the system or responsible party.

Responsible Party: Lael Duey

Title & Organization: President, Duey Marina, LLC

Street address: 740 Oak St.

City, state, zip: Tyrone, PA, 16636

Phone number(s): 814-684-7283

Email: dueypavin1@verizon.net

Signature:

Date:

8/13/26

Kimberly D. Gurekovich

Pennsylvania

County of Blair, do hereby certify that Lael D. Duey

personally appeared before me this 13th day of August, 2026 and

acknowledge the due execution of the Operations and Maintenance Agreement.

In witness my hand and official seal, *Kimberly D. Gurekovich*

Commonwealth of Pennsylvania - Notary Seal
Kimberly D. Gurekovich, Notary Public
Blair County
My commission expires August 25, 2029
Commission number 1117997
Member, Pennsylvania Association of Notaries

My commission expires

8/25/2029

O&M Agreement

6/26/2026
Page 1 of 1

Low Density Maintenance Requirements

Important maintenance procedures:

- The drainage area to the vegetated conveyance or vegetated receiving area will be carefully managed to reduce the sediment load to the vegetated conveyance or
- After the initial fertilization to establish the grass in the vegetated conveyance or the vegetated receiving area, fertilizer will not be applied to the vegetated receiving

The vegetated conveyance or vegetated receiving area will be inspected **quarterly**. Records of operation and maintenance will be kept in a known set location and will be available upon request.

ection activities shall be performed as follows. Any problems that are found shall be repaired immediately.

SCM element:	Potential problem:	How to remediate the problem:
Vegetation	Vegetation is too short or too long.	Maintain grassed vegetation such that the swale or vegetated area does not erode during the peak flow from the 10-year storm
Vegetated receiving areas	Trash/debris is present	Remove the trash/debris.
	Areas of bare soil and/or erosive gullies have formed.	Regrade the soil if necessary to remove the gully, and then re-sod (or plant with other appropriate species) and water until established. Provide lime and a one-time fertilizer application.
The outlet device (if applicable)	Clogging has occurred.	Clean out the outlet device. Dispose of the sediment off-site.
	The outlet device is damaged	Repair or replace the outlet device.
The receiving water	Erosion or other signs of damage have occurred at the outlet.	Repair the damage and improve the flow dissipation structure.
	Discharges from the site are causing erosion or sedimentation in the receiving water.	Contact the local NCDEQ Regional Office.



Duey Fishing Lodge Stormwater Management Narrative

August 28, 2026

Existing Conditions: In 2024, Duey Marina LLC purchased a 2.21-acre parcel on the Intercoastal Waterway in Coinjock in Currituck County. The site contains a historic home, a former marina supply building, a garage and several small outbuildings. There is also a concrete pad on the southeast corner of the site. The shoreline was bulkheaded although much of it has failed. Rip rap shoreline protection has been installed along portions of the shoreline as a temporary measure. In addition, the remnants of a boardwalk along the Intercoastal Waterway are present. There is currently significant built upon area within the 50' buffer to the intercoastal waterway, including the former marina supply building and adjacent gravel parking area, as well as a concrete slab.

The Natural Resource Conservation Service Soil Survey for Currituck County has mapped the soils on the site to consist primarily of Augusta fine sandy loam (At) and Newhan fine sandy loam (NeC). The majority of the site is 3 - 5 feet above sea level (NAVD 1988). The site is grassed, with gravel driveways and parking areas, a concrete slab and a small wooded area on the north. The southern edge of the property (along the Intercoastal Waterway) is in a flood zone AE4 and the remainder is in flood zone X and shaded X. Duey Marina LLC has recently restored the historical structure and replaced the septic system. The site is served by Currituck County water who maintains a 2" waterline along this portion of Coinjock Canal Rd. The majority of the site drains directly into the Intercoastal Waterway. There is a small swale on the front (north side) of the site that drains between 2 adjacent residential properties.

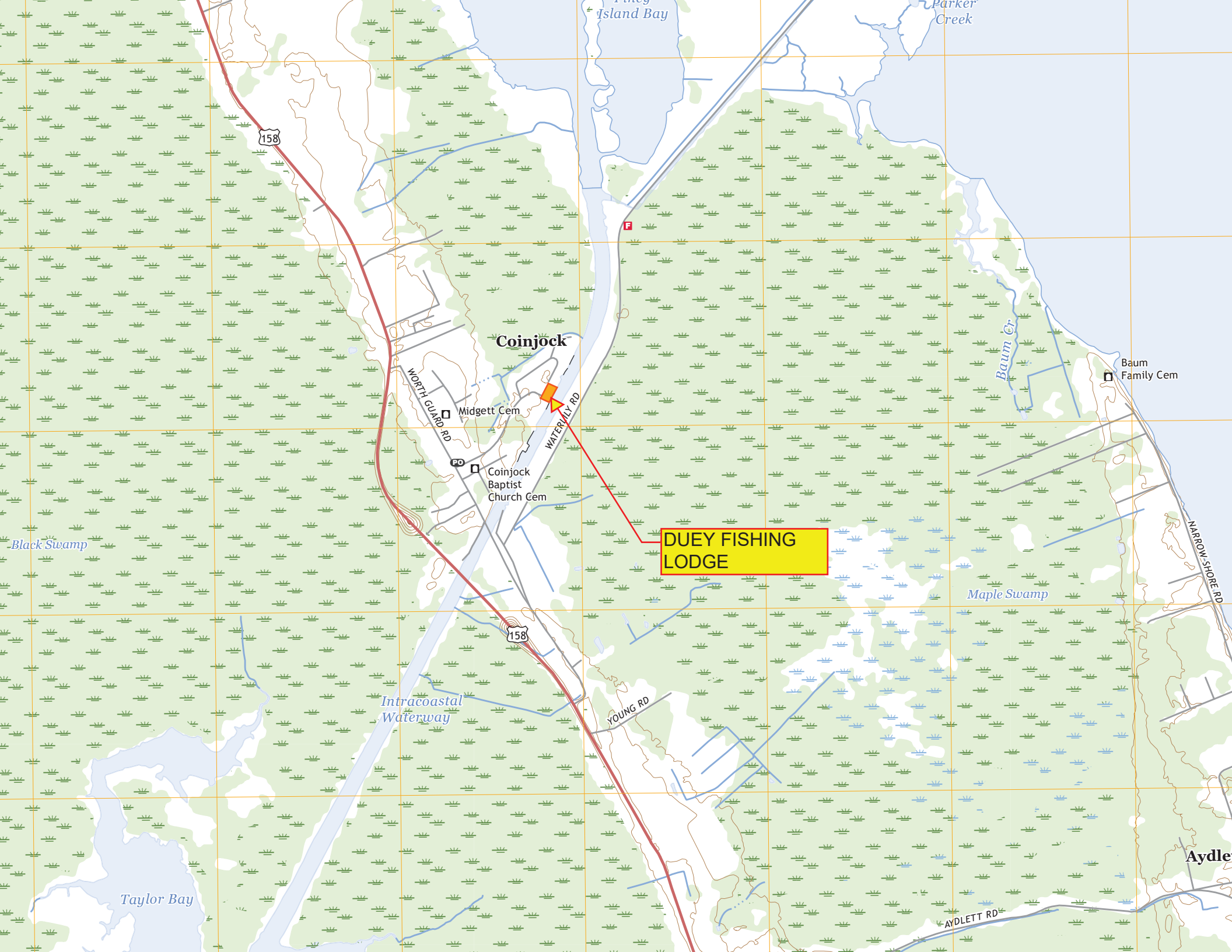
Proposed Development: Duey Marina LLC intends to develop the property to be a Fishing Lodge. This work will include the installation of 4 cabins to be served by 2 new septic systems and modifications to the existing gravel driveway to provide 20' minimum access width (24' adjacent to parking spaces). A new access driveway connecting to Coinjock Development Road and several parking areas will be constructed using #57 stone placed over geotextile. A screened in porch will be added to the existing home and a screened in pavilion will be constructed over the existing concrete pad (to be resurfaced).

Waterfront improvements will include replacing portions of the bulkhead, which has been approved by CAMA under general permit PA-3295 issued on 5/26/2026. Additional work scheduled within the CAMA AEC includes reconstructing the boardwalk, excavation of uplands area to construct 8 boat slips, additional bulkheading, a boat ramp and modifications to the existing gravel driveway and

parking areas. These improvements will be applied for under a CAMA Major permit as support facilities to the Fishing Lodge.

Much of the existing compacted gravel parking area within the 50' buffer is being removed, and a portion of it will be replaced with 4" of #57 stone over geotextile. The former marina supply structure will remain and be utilized as support to the fishing lodge.

NCDEQ Stormwater Management Compliance: The project includes a significant reduction in coverage of the existing compacted gravel access, but results in a net increase of site coverage of 2,520 sf from the installation of cabins and access walkways. This increase would not be required to obtain a NCDEQ stormwater management permit based upon the increase in coverage. However, the project will require a NCDEQ CAMA Major permit and therefore will be required to obtain a NCDEQ stormwater management permit. The permit will be a Low Density permit with a total site coverage of 22.5% (below the 24% threshold for high density) and minimal piping being used for the conveyance of stormwater. For this reason, the project is not required to provide a BMP to manage the stormwater. However, runoff from the cabins and sidewalk will be directed into shallow raingardens to provide infiltration, vegetative uptake, attenuation of peak flows and for conveyance and filtration of runoff that is discharged. Runoff that is discharged is controlled by an orifice and an overflow weir with trash rack into a small culvert that conveys discharge beneath the access driveway and into a level spreader / vegetative filter for additional infiltration and filtration and overflow into the Intercoastal Waterway.



Coinjock

DUEY FISHING LODGE

Middett Cem

Coinjock Baptist Church Cem

Baum Family Cem

Black Swamp

Maple Swamp

Intra-coastal Waterway

158

158

YOUNG RD

BAUM CR

PARKER CR

TAYLOR BAY

NARROW-SHORE RD

AYDLE

AYDLETT RD

Taylor Bay

Volumetric Runoff Calculations Simple Method

Project Name : Duey Fishing Lodge (181 Coinjock Canal Rd)

Drainage Area (Entire Site)				
Basin Information				
Receiving Stream Name	Intercoastal Waterway			
Receiving Stream Class & Index Number	SC			
Drainage Area (Entire Site)	96,341	SF		
Existing Impervious Area	19,155	SF		
	19.9%			
Existing Impervious Area (to remain)	14,458	SF		
Proposed Impervious Area (new)	7,217	SF		
Proposed Impervious Area (total)	21,675	SF		
	22.5%			
Impervious Surface Area				
On-site Buildings or Lot BUA	6,851	SF	existing	existing (to remain)
On-site Streets & Parking	10,495	SF	5,204	4,689
On-site Parking (HC parking)	320	SF	11,681	7,499
On-site Sidewalks	717	SF	0	0
Other on-site	3,292	SF	0	0
Future	0	SF	2,270	2,270
Off-site	0	SF	0	0
Total:	21,675	SF	19,155	14,458
				7,217

Summary of Impervious & Pervious Pavement

Streets / Access

2,996 sf gravel / ABC
3,000 sf pervious (#57)
0% % Pervious
2,996 Applied BUA

Parking

320 sf HC Parking
6,704 sf pervious (#57)
0% % Pervious
320 Applied BUA

Sidewalks

717 sf Concrete
535 sf pervious (#57)
0% % Pervious
717 Applied BUA

Michael J. Morway
0/28/2026
NORTH CAROLINA
PROFESSIONAL SEAL
028572
MICHAEL J. MORWAY

I. NARRATIVE:

DUEY MARINA LLC, INTENDS TO FURTHER DEVELOP THE 2.21 AC. PARCEL AT 181 COINJOCK CANAL RD INTO A FISHING LODGE. THE PARCEL CURRENTLY HAS A 5-BEDROOM HISTORIC HOME, FORMER MARINE, A GARE BUILDING, A GARAGE AND SEVERAL OUTBUILDINGS. NEW DEVELOPMENT WILL INCLUDE THE REMOVAL OF 3 OUTBUILDINGS, WIDENING OF THE EXISTING DRIVEWAY, CONSTRUCTION OF AN ACCESS DRIVE, FOUR 1-BEDROOM CABINS WITH 2 SEPTIC SYSTEMS, PARKING AREAS (#57 STONE OVER GEOTEXTILE), CANAL IMPROVEMENTS INCLUDING BULKHEAD AND BOARDWALK REPLACEMENT, 8 BOAT SLIPS AND A BOAT RAMP, A STORMWATER MANAGEMENT RAINGARDEN, SITE LIGHTING AND LANDSCAPING. CONSTRUCTION OF THE BULKHEAD REPLACEMENT IS PENDING AND SITE WORK IS ANTICIPATED TO BEGIN IN THE FALL OF 2026. APPROXIMATELY 1.18 ACRES OF THE SITE IS TO BE DISTURBED.

THE SITE IS LEVEL AND GRASSED WITH SANDY LOAM SOILS. THERE IS A STAND OF EXISTING PINE TREES WITH UNDERSTORY VEGETATION ALONG SOUTH SIDE OF THE SITE. MUCH OF WHICH WILL BE CLEARED AND REPLACED WITH REQUIRED BUFFER PLANTINGS.

DISTURBED AREAS ARE TO BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION ACCORDING TO THE SEQUENCE OF CONSTRUCTION.

II. SOILS DESCRIPTION:

SOIL TYPES AS MAPPED IN THE SOIL SURVEY OF CURRITUCK COUNTY:

AUGUSTA FINE SANDY LOAM (AT)
NEWHAM FINE SAND (NEC)

III. CONSTRUCTION SEQUENCE:

- OBTAIN SITE PLAN APPROVAL.
- OBTAIN ALL NECESSARY ENVIRONMENTAL PERMITS.
- FLAG OR STAKE WORK LIMITS.
- HOLD PRE-CONSTRUCTION MEETING.

CABIN CONSTRUCTION:

- UTILIZE EXISTING GRAVEL DRIVEWAY FOR ALL CONSTRUCTION TRAFFIC (MAINTAIN 6" DEPTH THROUGHOUT CONSTRUCTION).
- INSTALL WOOD POSTS TO DELINEATE EXISTING SEPTIC SYSTEM AND MAINTAIN THROUGHOUT CONSTRUCTION. NO CONSTRUCTION TRAFFIC OF MATERIALS ARE PERMITTED ON THE EXISTING SEPTIC SYSTEM.
- INSTALL SILT FENCE AND OUTLETS AS SHOWN ON THE PLAN.
- PLACE AND GRADE FILL MATERIALS FOR CABINS AND ROADWAY AND ROUGH GRADE RAINGARDEN.
- CONSTRUCT CABINS.
- PLACE AND GRADE FILL MATERIALS FOR CABIN SEPTIC SYSTEMS. SEE SEPTIC SYSTEM PLANS FOR REQUIREMENTS TO MIX EXISTING SUBGRADE WITH CLEAN SAND.
- CONSTRUCT NEW DRIVEWAYS AND PARKING.
- INSTALL DRAINAGE PIPING AND OUTLET STRUCTURE.
- INSTALL RAINGARDEN LANDSCAPING AND FINE GRADE RAINGARDEN.
- FERTILIZE AND WATER DISTURBED AREAS UNTIL PERMANENT VEGETATION IS FIRMLY ESTABLISHED AND STABILIZATION IS ACHIEVED.

WATERFRONT IMPROVEMENTS:

- REVIEW CMAA MAJOR PERMIT FOR INSTALLATION REQUIREMENTS.
- INSTALL ENVIRONMENTAL PROTECTION FEATURES (SUCH AS TURBIDITY CURTAINS) AS NOTED ON THE CMAA PERMIT.
- EXCAVATE AREA FOR BOAT SLIPS AND INSTALL BULKHEAD.
- INSTALL COFFERDAM, EXCAVATE AREA FOR BOAT RAMP AND INSTALL BULKHEAD.
- BACKFILL BULKHEADS AND ESTABLISH AND SEED OR HYDROSEED.
- CONSTRUCT BOAT RAMP AND ALLOW TO CURE.
- ONCE BOAT RAMP HAS PROPERLY CURED, REMOVE COFFERDAM.
- INSTALL NEW WOOD BOARDWALK AND BOAT SLIP OUTBOARD PILES.

IV. SEDIMENTATION AND EROSION CONTROL NOTES:

- PRECONSTRUCTION CONFERENCE:
PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER'S REPRESENTATIVE AND A REPRESENTATIVE OF THE MUNICIPALITY (IF REQUIRED) IN ORDER TO IDENTIFY AND MARK SPECIFIC ELEMENTS WHICH ARE TO BE PROTECTED. TREES SHALL BE PROTECTED IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- INSTALLATION OF EROSION CONTROL MEASURES:
PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, ALL EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS AND ALL PERMIT CONDITIONS.
- UTILITIES:
PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL HAVE THE APPROPRIATE UNDERGROUND UTILITIES LOCATED. CONTACT 811 AT 811 OR 800-632-4949. UTILITIES SHOWN ARE TAKEN FROM EXISTING RECORDS, FIELD OBSERVATIONS AND/OR UTILITY LOCATING SERVICE AND ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE.
- ACCESS TO SITE:
ALL CONSTRUCTION TRAFFIC SHALL UTILIZE THE CONSTRUCTION ENTRANCE AS DESIGNATED ON THIS PLAN.
- LIMITS OF DISTURBANCE:
THE CONTRACTOR SHALL ENSURE THAT AREAS OUTSIDE OF THE LIMITS OF LAND DISTURBING AS WELL AS EXISTING IMPROVEMENTS SPECIFICALLY NOTED TO REMAIN ARE NOT ADVERSELY IMPACTED BY ANY CLEARING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ITEMS DAMAGED OUTSIDE THE LIMITS OF DISTURBANCE OR OTHERWISE NOTED TO REMAIN.
- STABILIZATION:
EXPOSED SWALES, DITCHES, DIKES OR OTHER SLOPES STEEPER THAN 3(H):1(V) SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVER WITHIN 7 CALENDAR DAYS. ALL OTHER EXPOSED EARTHEN AREAS SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVER WITHIN 14 CALENDAR DAYS OF THE COMPLETION OF ANY PHASE OF GRADING.
- INSPECTIONS REQUIRED:
SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN COMPLETED SELF-INSPECTION / MONITORING FORMS (COMPLETED WEEKLY WITH DAILY RAINFALL TOTALS) THROUGHOUT THE PROJECT. THE SITE SHALL ALSO BE INSPECTED AFTER ANY RAINFALL EVENT EQUAL OR GREATER THAN 0.5 INCHES OVER A 24 HOUR PERIOD.
- CORRECTIVE MEASURES:
ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL WORK IS COMPLETE AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. IF EXCESSIVE WIND EROSION OR STORM WATER RUNOFF DEVELOPS DURING TIME OF CONSTRUCTION IN ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SAND OR SILT FENCE SHALL BE INSTALLED AS DIRECTED BY ENGINEER, SEE SAND OR SILT FENCE DETAIL.
- DEBRIS REMOVAL:
ALL CLEARING DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN A LAWFUL MANNER. NO BURNING OF DEBRIS ON SITE IS PERMITTED. NO ON-SITE BURNING IS PERMITTED UNLESS OTHERWISE APPROVED BY THE LOCAL FIRE MARSHALL, MUNICIPAL AGENCY OF JURISDICTION AND THE OWNER.
- EXCAVATION AND EMBANKMENT:
ANY OFF-SITE MATERIAL BROUGHT ONTO TO THE SITE TO BE USED FOR GRADING FILL SHALL BE OBTAINED FROM A PERMITTED BORROW PIT. FILL SHALL CONFORM TO PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT. NO BORROW IS PERMITTED FROM THE SITE.
- EXISTING INFORMATION:
THE EXISTING SURVEY AND SITE TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON SURVEY INFORMATION PROVIDED BY SEALEVEL AS SURVEYED ON SEPTEMBER 3 & 4, 2025.

V. DEMOLITION NOTES

ALL EXISTING IMPROVEMENTS SHOWN WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED UNLESS SPECIFICALLY NOTED TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL TO AN OFFSITE LOCATION PROVIDED BY THE CONTRACTOR.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CAREFULLY REMOVE ALL ITEMS SHOWN TO BE RELOCATED. PRIOR TO REMOVAL, ANY CONDITIONS THAT PREVENT SUCH REMOVAL OR EXISTING DAMAGE TO THE ITEMS SHALL BE REPORTED TO THE OWNER IMMEDIATELY. CONTRACTOR WILL BE RESPONSIBLE FOR ITEMS DAMAGED DURING THE PROJECT.

WARNING:

LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN AND HAS NOT BEEN SHOWN ON THESE DRAWINGS. ALL UNDERGROUND UTILITIES ENCOUNTERED SHALL IMMEDIATELY BE REPORTED TO THE OWNER.

FINAL DRAWING
NOT FOR
CONSTRUCTION

SEEDING SCHEDULE

APRIL 1 - MAY 15 PERMANENT SEEDING

SPECIES	RATE
K-31 FESCUE	3 LB/1000 SF
COMMON BERMUDAGRASS	1 LB/1000 SF
WINTER RYE GRAIN	3 LB/1000 SF

NOTE: DELETE RYE GRAIN IF OVERSEEDING ESTABLISHED RYE OR FESCUE.
DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.

MAY 15 - JULY 15 PERMANENT SEEDING

SPECIES	RATE
K-31 FESCUE	3 LB/1000 SF
COMMON BERMUDAGRASS	1 LB/1000 SF
GERMAN MILLET	3 LB/1000 SF

NOTE: DELETE MILLET IF OVERSEEDING ESTABLISHED MILLET OR FESCUE.
DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.

AUGUST 15 - APRIL 1 TEMPORARY SEEDING

SPECIES	RATE
K-31 FESCUE	3 LB/1000 SF
WINTER RYE GRAIN	5 LB/1000 SF

SOIL AMENDMENTS

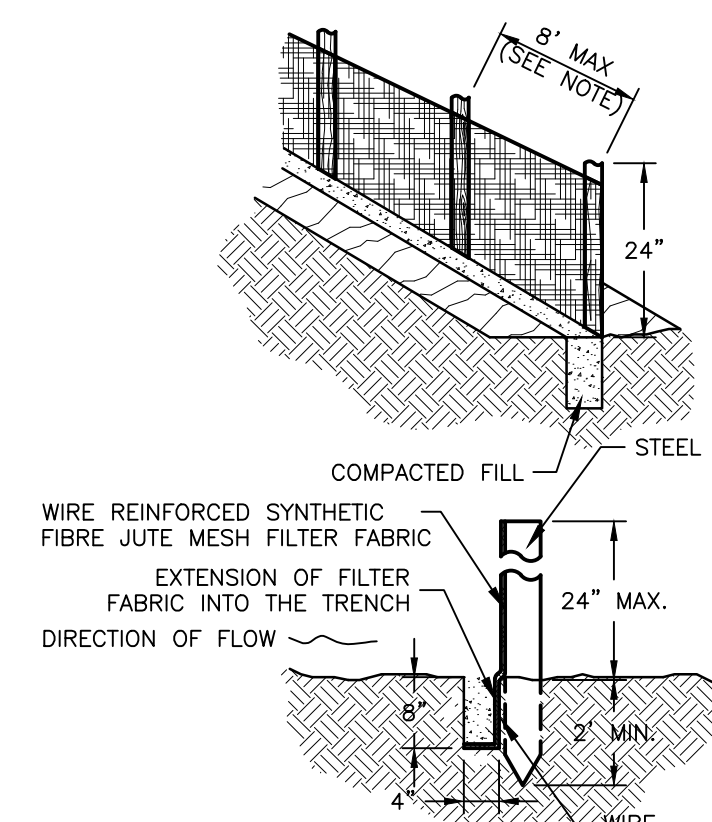
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 500 LB PER ACRE OF 10-10-10 FERTILIZER.

MULCH

USE JUTE, EXCELSIOR MATTING OR OTHER EFFECTIVE CHANNEL LINING MATERIAL TO COVER BOTTOM AND SIDES OF SWALES. ANCHOR MATTING PER MANUFACTURERS RECOMMENDATIONS. HYDROSEEDING IS ALSO AN ACCEPTABLE METHOD OF TEMPORARY STABILIZATION.

MAINTENANCE

A MINIMUM OF 3 WEEKS IS REQUIRED TO FOR ESTABLISHMENT. INSPECT AND REPAIR MULCH FREQUENTLY. FERTILIZE THE FOLLOWING SPRING WITH 50 LB/ACRE NITROGEN.



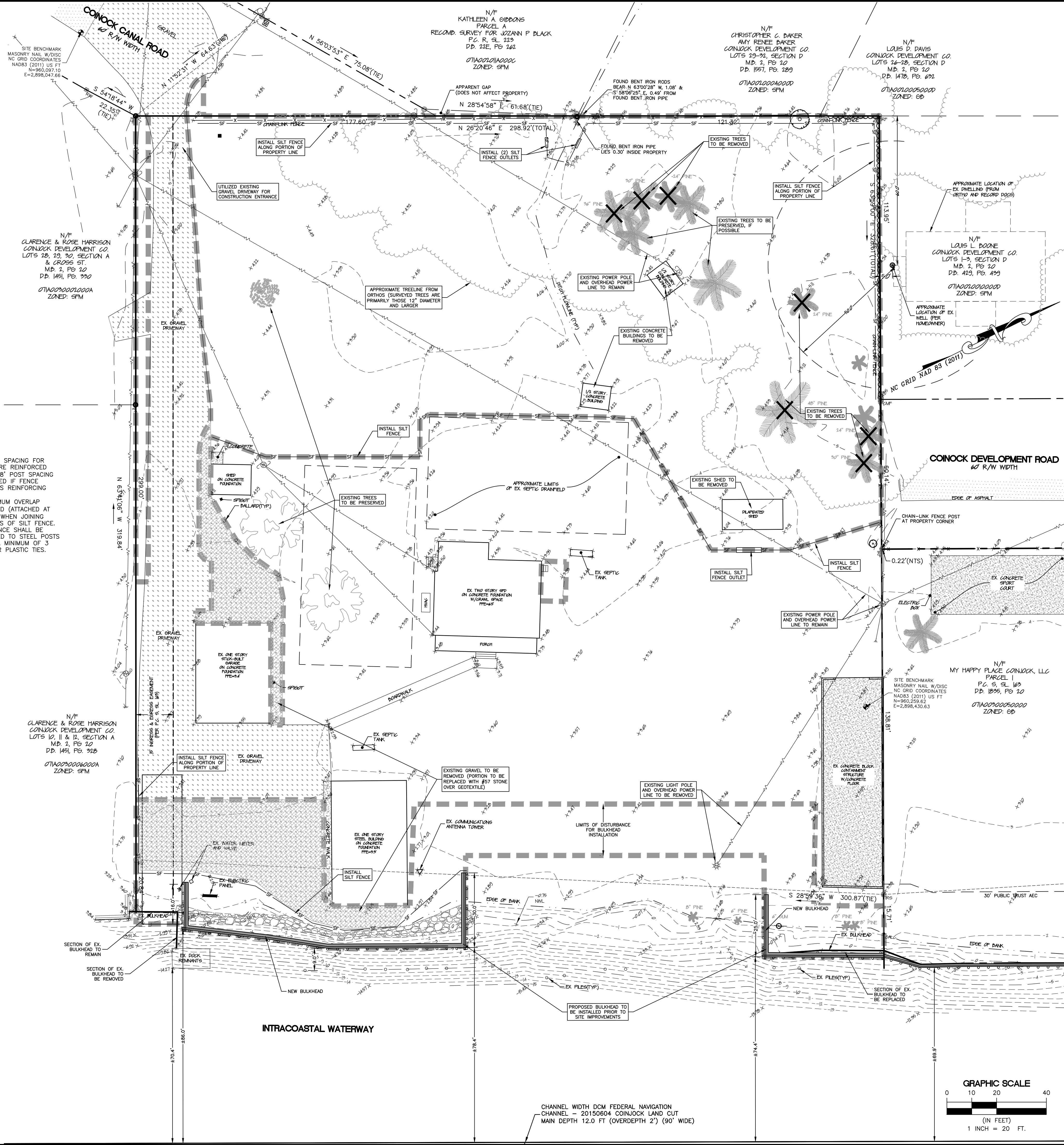
SILT FENCE DETAIL
NTS

LEGEND

•	BENCHMARK
•	CALCULATED POINT
■	CONCRETE MONUMENT FOUND
○	IRON PIPE FOUND
○	IRON ROD FOUND
○	IRON ROD SET
○	R/W MONUMENT FOUND
---	PROPERTY BOUNDARY
---	RIGHT OF WAY
---	ADJACENT PROPERTY LINES
---	EASEMENT
---	EXISTING POWER POLE
---	EXISTING GUY WIRE
---	OVERHEAD ELECTRIC
○	EXISTING TELEPHONE PEDESTAL
○	EXISTING CABLE TV PEDESTAL
○	EXISTING LIGHT POLE
---	EXISTING FENCE
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	EXISTING SPOT ELEVATIONS
---	EXISTING CONTOURS
---	EXISTING DITCH/SWALE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER METER
---	EXISTING WATER VALVE
○	EXISTING WELL
---	EXISTING WATERLINE
---	EXISTING CONCRETE
---	EXISTING GRAVEL
---	SILT FENCE
---	LIMITS OF CONSTRUCTION

- NOTES:
- 6" POST SPACING FOR NON-WIRE REINFORCED FENCE. 8" POST SPACING PERMITTED IF FENCE CONTAINS REINFORCING WIRE.
 - 4" MINIMUM OVERLAP REQUIRED (ATTACHED AT POSTS) WHEN JOINING SECTIONS OF SILT FENCE. SILT FENCE SHALL BE ATTACHED TO STEEL POSTS USING A MINIMUM OF 3 WIRE OR PLASTIC TIES.

N/F
CLARENCE & ROSE HARRISON
COINJOCK DEVELOPMENT CO.
LOTS 10, 11 & 12, SECTION A
M.D. 2, PG. 20
D.D. 1491, PG. 318
DTA0000000000
ZONED: SFM



SEE SHEET C202 FOR ADDITIONAL DETAILS

Albemarle
& ASSOCIATES, LTD.

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P.O. Box 985
Kill Devil Hills, NC 27548
Phone: (252) 441-2113
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Cert. of Licensure No. C-1027
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NORTH CAROLINA
PROFESSIONAL
SEAL
105512
JAMES L. MOYER
REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	DESCRIPTION	BY
1	06/26/2026	PRELIMINARY DESIGN REVIEW COMMENTS	ALB

DEMOLITION AND EROSION CONTROL PLAN
DUEY FISHING LODGE
181 COINJOCK CANAL ROAD
NORTH CAROLINA
CURRITUCK COUNTY
CRAWFORD TOWNSHIP
COINJOCK

DATE:	06/26/2026	SEE NOTES
SURVEYED:	MJM/ALO	
DESIGNED:	RCA	
DRAWN:	MJM/ALO	
CHECKED:		
FILE:	05316B-2	

PROJ. NO. 05316B-2



VICINITY MAP
SCALE: 1" = 1000'

SITE PLAN NOTES:

- CONTACT INFORMATION:**
OWNER/DEVELOPER:
DUEY MARINA, LLC
740 OAK STREET
TYRONE, PA 16686
- PARCEL DATA:**
THE PROPERTY IS PARCEL 2 - BOUNDARY SURVEY FOR DUEY MARINA, LLC., PLAT CABINET S, SLIDE 163. RECORDED IN DEED BOOK 1779, PAGE 80.
CURRITUCK COUNTY PARCEL ID 071A00300030000; PIN NO. 8996-80-3106
PROPERTY ADDRESS: 181 COINJOCK CANAL ROAD, COINJOCK
THE PROPERTY IS ZONED GB - GENERAL BUSINESS AND IS LOCATED IN A G-4 TRANSECT.
- PROJECT DESCRIPTION:**
DUEY MARINA, LLC INTENDS TO DEVELOP THIS PROPERTY AS A FISHING LODGE. THE PROPERTY CURRENTLY INCLUDES A 5 BEDROOM HOME, A GARAGE, FORMER MARINE SUPPLY BUILDING AND SEVERAL OUT-BUILDINGS. DEVELOPMENT OF THE FISHING LODGE WILL INCLUDE THE INSTALLATION OF 4 CABINS WITH 2 SEPTIC SYSTEMS, DRIVEWAY AND PARKING, 8 BOAT SLIPS, A BOAT RAMP, NEW BULKHEAD AND BOARDWALK.
- FLOODPLAIN INFORMATION:**
THE SITE IS LOCATED IN FIRM ZONES X, SHADED X AND AE(4) PER FIRM MAP NUMBER 3720898600K, EFFECTIVE DATE DECEMBER 21, 2018, (SUBJECT TO CHANGE BY FEMA).
EXISTING FEATURES, TOPOGRAPHIC, WETLAND AND BOUNDARY SURVEY INFORMATION HAS BEEN OBTAINED BY SEA LEVEL CONSULTING, INC. ON SEPTEMBER 3 & 4, 2025.
ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE SPECIFIED. ELEVATIONS SHOWN ARE HEREON PER NAVD88.
AREAS SHOWN ARE BY COORDINATE METHOD.
- PROPERTY AREA:**
PROPERTY AREA = 96,341 SF (2.21 ACRES) TO SHORELINE AS SURVEYED SEPTEMBER 2025.
PROPERTY AREA TO FACE OF PROPOSED BULKHEAD = 95,550 SF (2.19 ACRES)
- MINIMUM BUILDING SETBACKS:**
FRONT 20'
REAR 25'
SIDES 15'
ACCESSORY SIDE 10'
- LOT COVERAGE:**
THE ALLOWABLE COVERAGE IS 65%
(95,451 SF) X (0.65) = 62,043.26 SF ALLOWED

LOT COVERAGE NOTE: LOT COVERAGE INCLUDES IMPERVIOUS SURFACES. STORMWATER MANAGEMENT SHALL ACCOUNT FOR RUNOFF FROM ALL IMPERVIOUS SURFACES. PERVIOUS PAVEMENT, ELEVATED SLATTED WALKWAYS (WOODEN OR COMPOSITE) AND WETTED POOL SURFACES AREAS ARE NOT CONSIDERED IMPERVIOUS PER POLICY SET FORTH BY CURRITUCK COUNTY AND THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

LOT COVERAGE IS:	
EXISTING:	
MAIN BUILDING AND STEPS	1,757.44 SF
GARAGE	1,210.52 SF
STEEL BUILDING	1,522.56 SF
SHED	198.25 SF
CONCRETE	2,243.51 SF
GRAVEL DRIVE	11,681.86 SF
WOOD WALK	282.99 SF
HVAC	26.51 SF
DILAPIDATED BLDGS	514.53 SF
EXISTING COVERAGE	19,155.20 SF

TO BE REMOVED:	
DILAPIDATED BLDGS	- 514.53 SF
GRAVEL DRIVE	-4,183.13 SF

NEW COVERAGE:	
CABINS	2,001.60 SF
RAMP AND STEPS	400.00 SF
NEW PORCH ADDITION	160.00 SF
CONCRETE SIDEWALKS/PARKING	1,036.67 SF
GRAVEL - DRIVEWAY	2,995.78 SF
DUMPSTER PAD & APRON	201.86 SF
CONCRETE BOAT RAMP	800.00 SF
NEW COVERAGE:	7,595.92 SF
TOTAL COVERAGE:	22,053.45 SF (23.1%)

IN ADDITION, THE FOLLOWING SURFACES ARE NOT INCLUDED IN COVERAGE CALCULATIONS *

#57 STONE - PARKING AREAS	9,704.40 SF*
#57 STONE - WALKWAYS	535.36 SF*
BOARDWALK ON LAND	1,813.99 SF*

PARKING REQUIREMENTS:

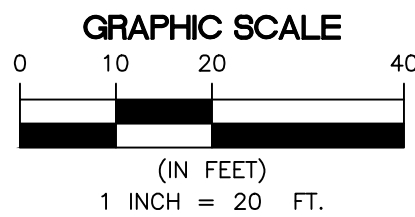
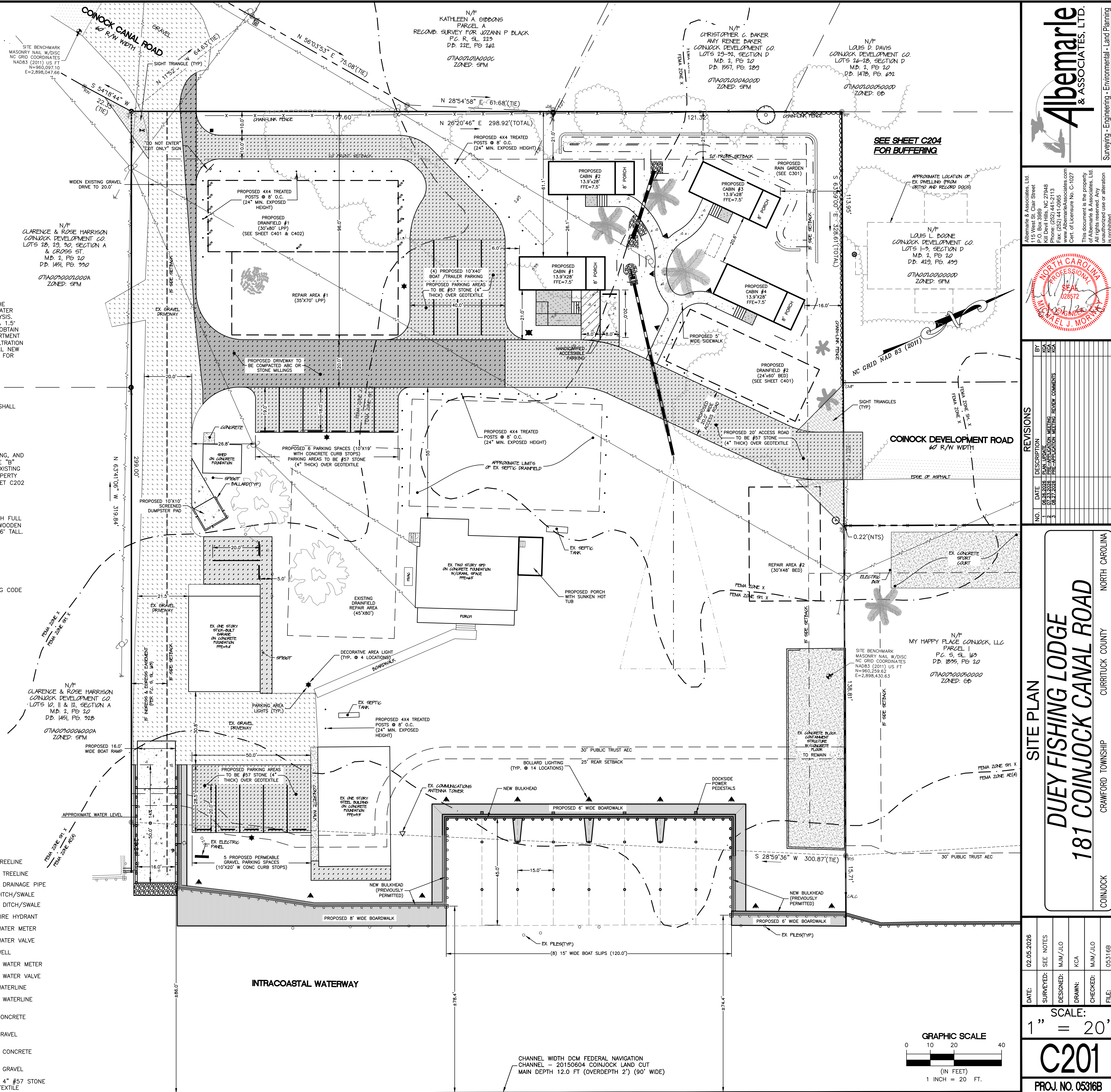
HUNTING/FISHING LODGE (1 SPACE PER BEDROOM + 2)

REQUIRED:
EXISTING LODGE: (5 BEDROOMS)(1 PER BEDROOM) = 5 SPACES
4 NEW 1 BEDROOM CABINS: (4 BEDROOMS)(1 PER BEDROOM) = 4 SPACES
FISHING LODGE: 2 ADDITIONAL SPACES = 2 SPACES
TOTAL SPACES REQUIRED: = 11 SPACES
TOTAL SPACES PROVIDED:
14 STANDARD SPACES AND 4 VEHICLE WITH TRAILER SPACES = 18 SPACES

FINAL DRAWING
NOT FOR
CONSTRUCTION

LEGEND

	BENCHMARK		EXISTING TREELINE
	CALCULATED POINT		PROPOSED TREELINE
	CONCRETE MONUMENT FOUND		PROPOSED DRAINAGE PIPE
	IRON PIPE FOUND		EXISTING DITCH/SWALE
	IRON ROD FOUND		PROPOSED DITCH/SWALE
	IRON ROD SET		EXISTING FIRE HYDRANT
	R/W MONUMENT FOUND		EXISTING WATER METER
	PROPERTY BOUNDARY		EXISTING WATER VALVE
	RIGHT OF WAY		EXISTING WELL
	ADJACENT PROPERTY LINES		PROPOSED WATER METER
	EASEMENT		PROPOSED WATER VALVE
	EXISTING POWER POLE		EXISTING WATERLINE
	EXISTING GUY WIRE		PROPOSED WATERLINE
	OVERHEAD ELECTRIC		EXISTING CONCRETE
	EXISTING TELEPHONE PEDESTAL		EXISTING GRAVEL
	EXISTING CABLE TV PEDESTAL		PROPOSED CONCRETE
	EXISTING LIGHT POLE		PROPOSED GRAVEL
	PROPOSED LIGHT POLES		PROPOSED 4" #57 STONE OVER GEOTEXTILE
	HANDICAP PARKING		
	WHEELSTOPS		
	EXISTING FENCE		



Albemarle & Associates, Ltd.
Surveying - Engineering - Environmental - Land Planning

PROFESSIONAL SEAL
JAMES L. MOHR
02512
NORTH CAROLINA

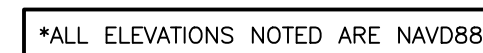
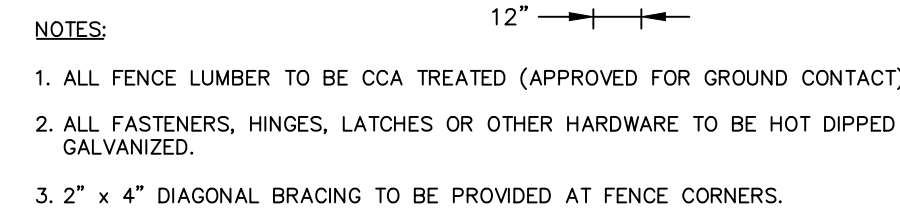
REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02.05.2026	FINAL PLAN	JLM
2	02.05.2026	FOR APPROVAL	JLM
3	02.05.2026	FOR APPROVAL	JLM

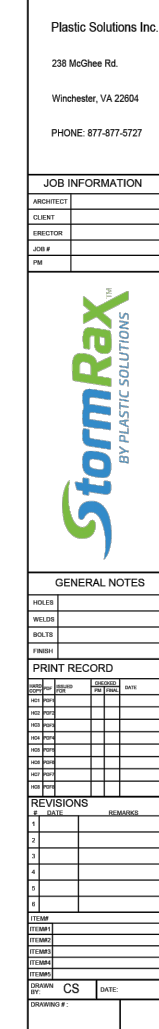
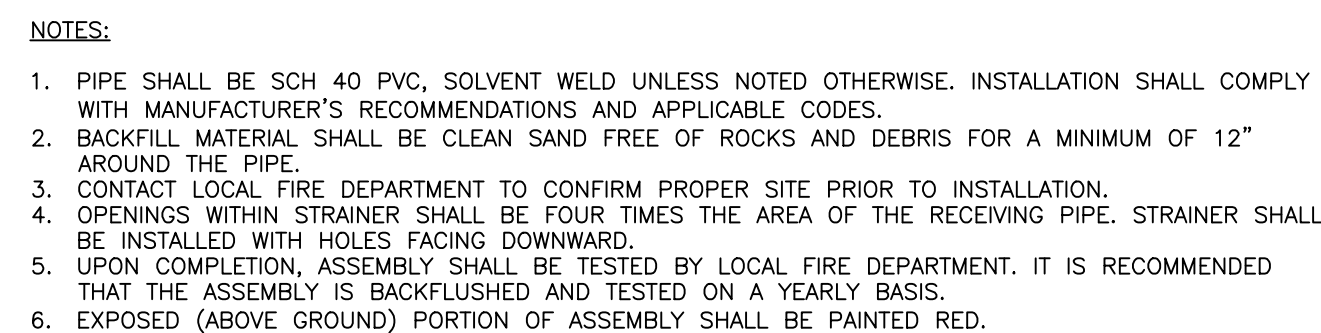
SITE PLAN
DUEY FISHING LODGE
181 COINJOCK CANAL ROAD
NORTH CAROLINA
CURRITUCK COUNTY
CRAWFORD TOWNSHIP
COINJOCK

DATE:	02.05.2026	SEE NOTES
SURVEYED:	MJM/JLO	
DESIGNED:	KCA	
DRAWN:	MJM/JLO	
CHECKED:		
FILE:	05316B	

SCALE:
1" = 20'
C201
PROJ. NO. 05316B



NOTE: SEE CAMA PERMIT CONDITIONS
FOR CONCRETE BOAT RAMP
CONSTRUCTION CONDITIONS.

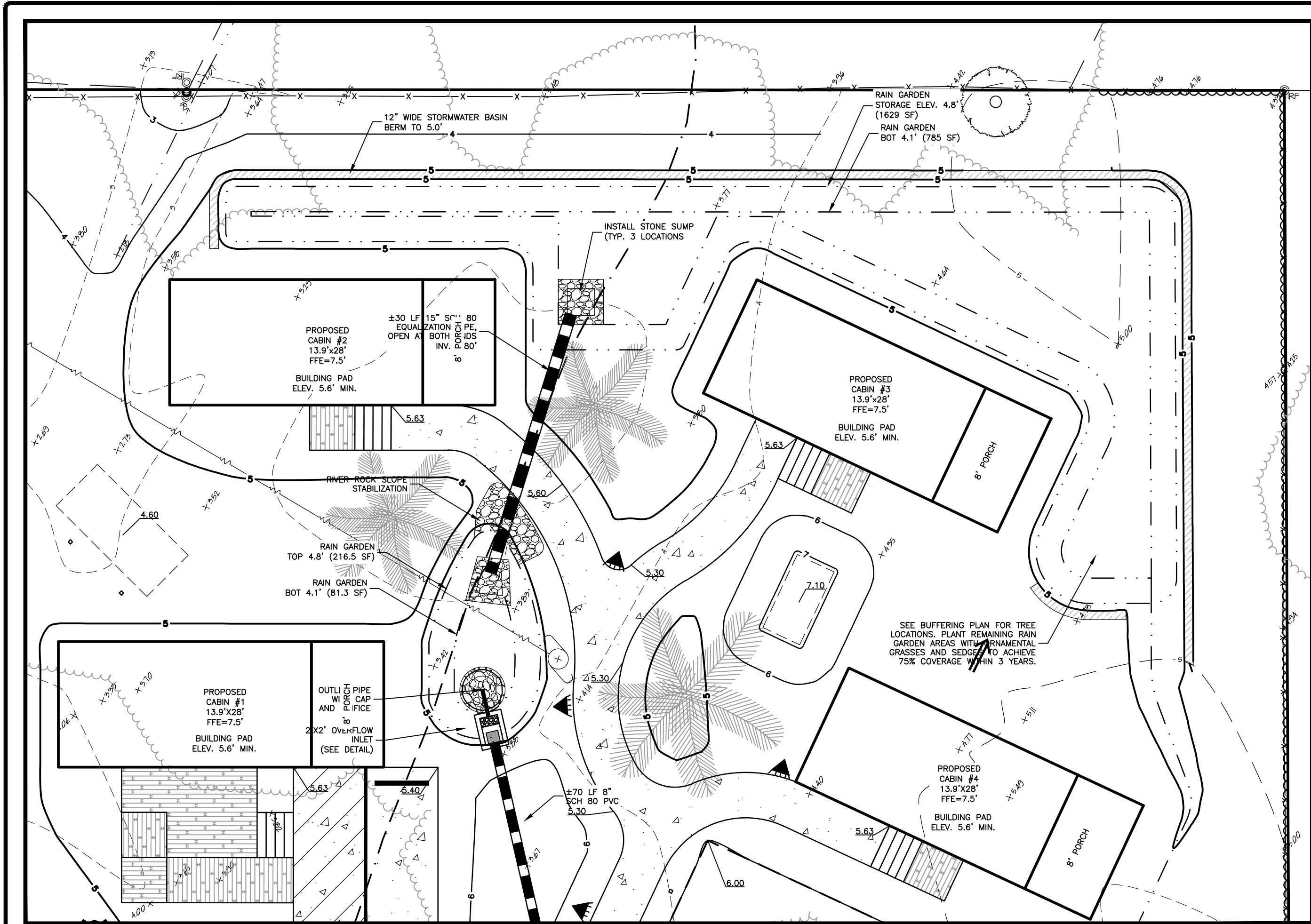


DATE:	06.26.2026
SURVEYED:	SEE NOTES
DESIGNED:	MJM/JLO
DRAWN:	KCA
CHECKED:	MJM/JLO
FILE:	05316B

SCALE:
AS SHOWN

C202

PROJ NO 05316B



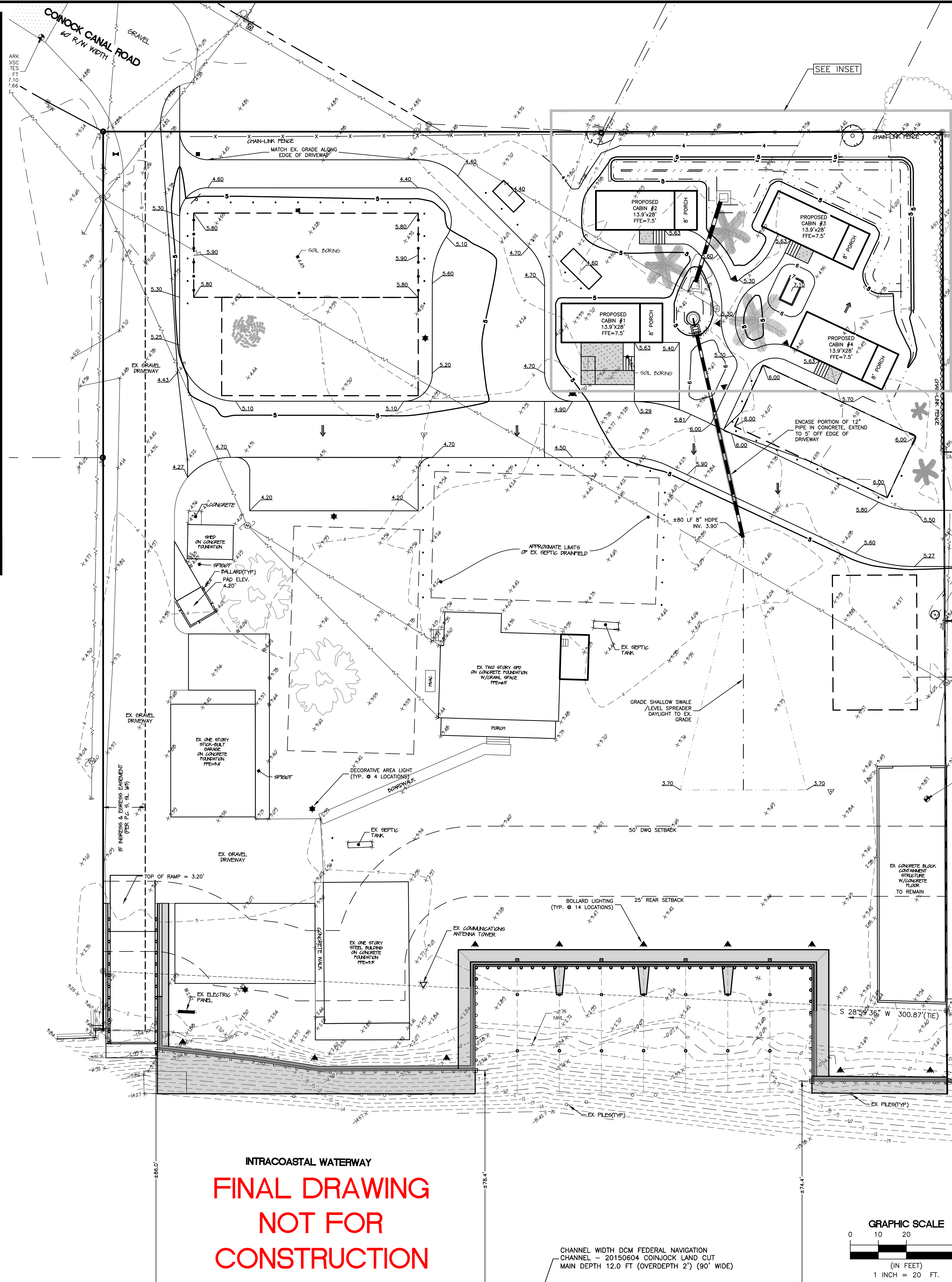
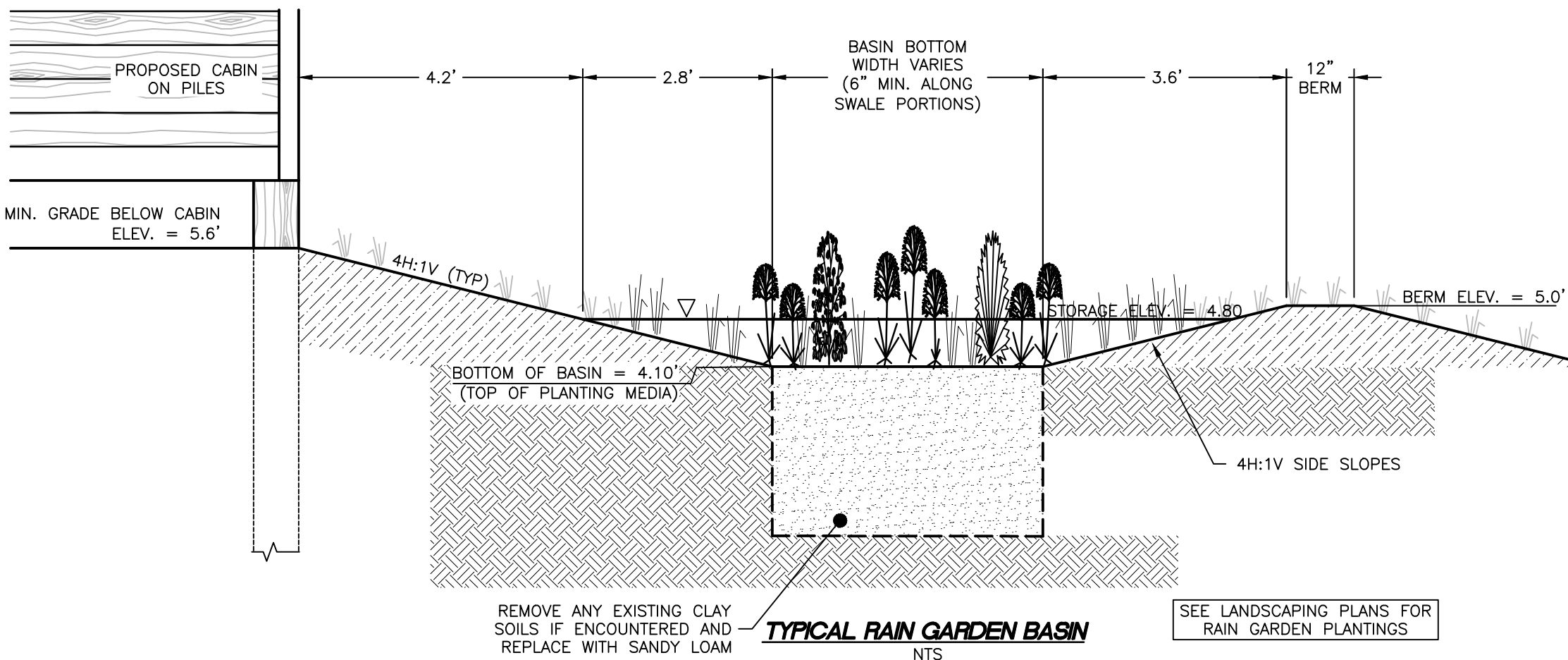
RAIN GARDEN / CABIN GRADING
SCALE: 1" = 10'

SEE SHEET C202 FOR DRAINAGE STRUCTURE DETAILS

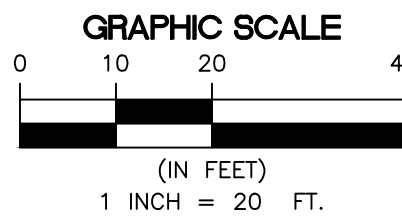
RAIN GARDEN MAINTENANCE NOTES:

- KEEP RAINGARDEN WATERED AS NEEDED OF INITIAL ESTABLISHMENT OF VEGETATION (TYPICALLY ONE YEAR).
- PERIODICALLY INSPECT THE RAIN GARDEN, THIS SHOULD BE PERFORMED AT LEAST EVERY 3 MONTHS AND AFTER AND SIGNIFICANT RAINFALL OF AN INCH OR MORE. THE INSPECTION SHOULD INCLUDE THE FOLLOWING ITEMS:
 - INSPECT THE PERIMETER SIDE SLOPES FOR ANY EROSION. IF EROSION IS LOCATED, REGRADE THE PORTION OF THE BANK AS NEEDED TO REESTABLISH THE SLOPE, PLANT GROUND COVER, FERTILIZE AND WATER AS NEEDED TO RE-ESTABLISH VEGETATION. UTILIZE TEMPORARY MATING IF NEEDED TO REESTABLISH THE AREA.
 - INSPECT THE AREA OUTSIDE OF THE RAINGARDEN FOR POTENTIAL BLOCKAGE OR DIVERTING OF RUNOFF FROM THE CABINS AND SIDEWALKS FROM ENTERING THE RAIN GARDEN.
 - INSPECT THE PIPE INLETS AND OUTLETS. REMOVE ANY DEBRIS FROM THE ROCK SUMP OR IN THE PIPE ITSELF.
 - INSPECT THE OUTFALL STRUCTURE. VERIFY THE ORIFICE IS OPEN AND REMOVE ANY DEBRIS FROM THE ROCK SUMP. CHECK FOR AND REMOVE ANY DEBRIS FROM BETWEEN THE OVERFLOW SPILLWAY AND THE OUTLET TRASH RACK.
 - INSPECT THE RAIN GARDEN VEGETATION. REMOVE WEEDS AND OTHER INVASIVE PLANTS IF PRESENT. PRUNE VEGETATION AS NEEDED AND REMOVE AND/OR EXCESS VEGETATIONAL DEBRIS. IF PLANTS HAVE DEAD, REMOVE AND DETERMINE THE SOURCE OF THE PROBLEM. REPLACE THE PLANTS, POSSIBLY USING AN ALTERNATIVE PLANTING BASED ON OVERALL SUN EXPOSURE, SOIL, WETNESS OR SOILS PRESENT.
 - INSPECT THE OUTLET PIPE DISCHARGE AREA FOR EROSION AND VEGETATIONAL COVERAGE. REPAIR AND EROSION AND SEED OF SOD THE IMPACTED AREAS. UTILIZE TEMPORARY MATING IF NEEDED TO REESTABLISH THE AREA. RESEED OR SOD ANY OTHER BANK AREAS WITHIN THE DISCHARGE AREA.

RECOMMENDED RAIN GARDEN PLANTINGS	
TREES	
SWEETBAY	MAGNOLIA VIRGINIANA
WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM
SHRUBS	
YAUPON	ILEX VOMITORIA
FLORIDA ANISE	ILICUM FRORIDANUM
WAX MYRTLE	MYRICIA CERIFERA
DWARF PALMETTO	SABAL MINOR
PERENNIALS	
COASTAL JOE PYE WEED	EUTROCHUM DUBIUM
TICKSEED	COREOPSIS
BLUE FLAG IRIS	IRIS VIRGINICA
ORNAMENTAL GRASSES	
MUHL GRASS	MUHLBERGIA CAPILLARIS
PANIC GRASS	PANICUM VIRGATUM
SEDGES	
SOUTHERN WAXY WEDGE	CAREX GLAUCCESCENS
WHITE TOP SEED	RHYNCHOSPORA LATIFOLIA
WOOLGRASS	SCIRPUS CYPERINUS



FINAL DRAWING
NOT FOR
CONSTRUCTION



Albemarle & Associates, Ltd.
Surveying - Engineering - Environmental - Land Planning

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Cert. of Licensure No. C-1027
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PROFESSIONAL SEAL
JAMES L. MOYER
005316B

NO.	DATE	DESCRIPTION
1	04/24/2026	FINAL DRAINAGE PLAN
2	04/24/2026	PRELIMINARY DRAINAGE PLAN
3	04/24/2026	PRELIMINARY DRAINAGE PLAN

BY: JLM
CHECKED: JLM
DATE: 04/24/2026

REVISIONS

GRADING AND DRAINAGE PLAN
DUEY FISHING LODGE
181 COINJOCK CANAL ROAD
CRAWFORD TOWNSHIP
CURRITUCK COUNTY
NORTH CAROLINA
COINJOCK

DATE:	04/24/2026
SURVEYED:	SEE NOTES
DESIGNED:	MJM
DRAWN:	KCA
CHECKED:	MJM
FILE:	05316B

SCALE:
1" = 20'
C301
PROJ. NO. 05316B

Soil Boring Log

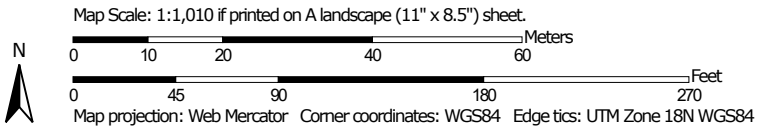
181 Coinjock Canal Rd - Raingardens

Soil Boring			
Depth	B-2	Depth	B-5
0" to 6"	tan sand clay mix	0" to 6"	dark sandy loam
6" to 12"	Thick silt/clay	6" to 12"	tan sandy loam
12" to 18"	sand / clay mix	12" to 18"	tan sandy loam
18" to 24"	grey sand / clay	18" to 24"	tan sandy loam w/ mottles
24" to 30"	grey sand / clay	24" to 30"	grey sand with clay (saturated)
30" to 36"	grey sand / clay	30" to 36"	
36" to 42"	grey sand (saturated)	36" to 42"	
Soil Type	Augusta fine sandy loam (At)	Soil Type	Augusta fine sandy loam (At)
Hydraulic Group	C	Hydraulic Group	C
Ex. Ground Elevation (ft. above MSL)	4.3	Ex. Ground Elevation (ft. above MSL)	4.0
Depth to ESHWT (in)	18	Depth to ESHWT (in)	18
ESHWT Elevation	2.8	ESHWT Elevation	2.5
Depth to Water table (in)	36	Depth to Water table (in)	24
Estimated Water table Elevation (ft)	1.3	Estimated Water table Elevation (ft)	2.0

Soil Map—Currituck County, North Carolina
(181 Coinjock Canal Rd)



Soil Map may not be valid at this scale.



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
At	Augusta fine sandy loam	1.1	51.4%
NeC	Newhan fine sand, 0 to 10 percent slopes	0.9	43.8%
W	Water	0.1	4.8%
Totals for Area of Interest		2.1	100.0%

BK 1779 PG 80 - 86 (7)

DOC# 390381

This Document eRecorded:

07/24/2024 03:07:03 PM

Tax: \$1,080.00

Fee: \$26.00

Currituck County, North Carolina

Denise A. Hall, Register of Deeds

This certifies that there are no delinquent taxes which the Currituck County Tax Collector is charged with collecting, that are lien on the property described in this deed, as of the date of this certification.

Date: 07/24/2024 Tax Collector/Deputy/Clerk: Jessica Timmons

Currituck County Land Transfer Tax: ~~5400.00~~ County Excise Tax: 1985 Sessions Law Chapter 670 (HB 215)

Return to: ~~Hornthal~~ Riley Ellis & Maland, LLP (File No. 40618-0.WBM)

Prepared by: ~~William~~ Brumsey, III/se0

File No: 24B61925

PIN: ~~071A-003-0005-0000~~ &
071A-003-0003-0000

NORTH CAROLINA

GENERAL WARRANTY DEED

CURRITUCK COUNTY

THIS DEED, made and entered into this 20th day of June, 2024, by and between CLARENCE M. HARRISON, JR. and wife, JAN HARRISON, DENNIS EDWARD HARRISON, unmarried and DONNA LYNN MONTGOMERY and husband, JAMES M. MONTGOMERY, hereinafter called Grantors, whose address is 1100 Brandon Court Chesapeake, VA 23320 and DUEY MARINA, LLC, a North Carolina Limited Liability Company, hereinafter called Grantees, whose permanent mailing address is 740 Oak Street, Tyrone, PA 16686 ;

The designation of Grantor and Grantee as used herein shall include said parties, their heirs, and successors and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH:

THAT the Grantors, for a valuable consideration paid by the Grantees, the receipt of which is hereby acknowledged, have and by these presents do grant, bargain, sell and convey, unto the Grantees a fee simple interest, in and to all that certain lot or parcel of land situated in Crawford Township, Currituck County, North Carolina, and more particularly described as follows:

See Exhibit A attached hereto and made a part hereof.

All or a portion of the property herein conveyed _____ does or X does not include the primary residence of a Grantor.

Submitted electronically by "HORNTHAL, RILEY, ELLIS & MALAND, LLP"
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Currituck County Register of Deeds.

The property hereinabove described was acquired by Grantors by instruments recorded in Deed Book 1503, Page 126 and Deed Book 1775, Page 193, both of the Currituck County Public Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee and his heirs and assigns forever.

And the said Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple and has the right to convey the same in fee simple; that title is marketable and free and clear from all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions herein stated.

Title to the property hereinabove described is subject to the following exceptions:

See Exhibit B attached hereto.

IN TESTIMONY WHEREOF, the said Grantors have hereunto set their hands and official seals, the day and year first above written.

SIGNATURE AND ACKNOWLEDGMENT PAGES TO FOLLOW
ON SEPARATE PAGES

SIGNATURE/ACKNOWLEDGEMENT PAGE TO THAT CERTAIN DEED FROM
CLARENCE M. HARRISON, JR. et al to DUEY MARINA, LLC

Grantors:

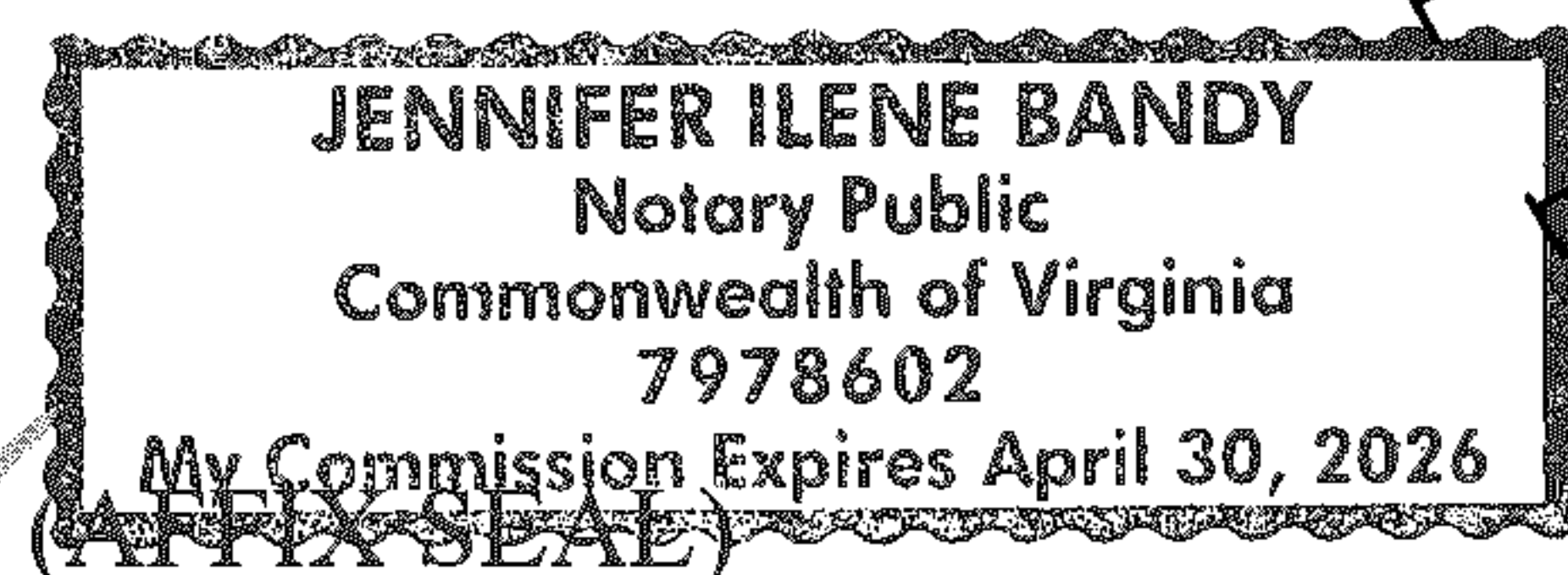
✓ Clarence M. Harrison, Jr. (SEAL)
CLARENCE M. HARRISON, JR.

✓ Jan Harrison (SEAL)
JAN HARRISON

VIRGINIA, City of Chesapeake

I, Jennifer Ilene Bandy, a Notary Public of the City and State aforesaid,
certify that CLARENCE M. HARRISON, JR. and JAN HARRISON personally appeared before
me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal this the 26th day of June, 2024.

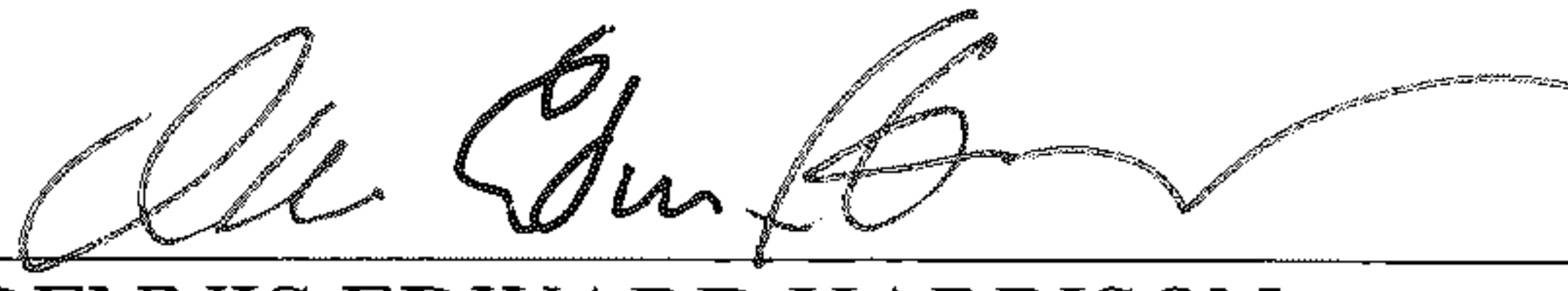


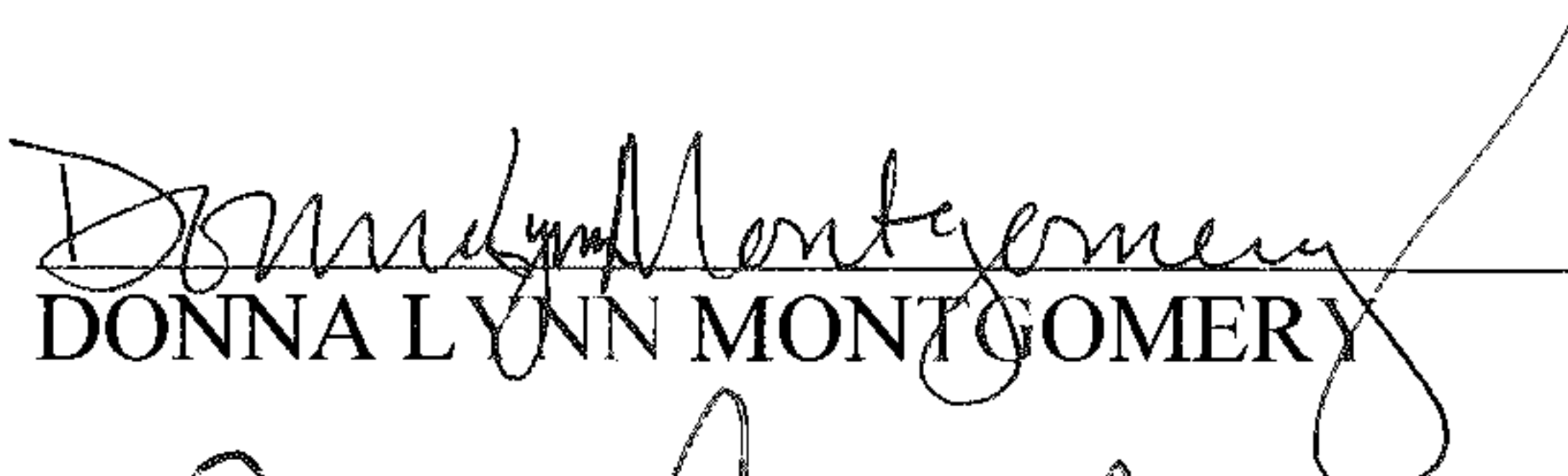
✓ Jennifer Ilene Bandy
Notary Public

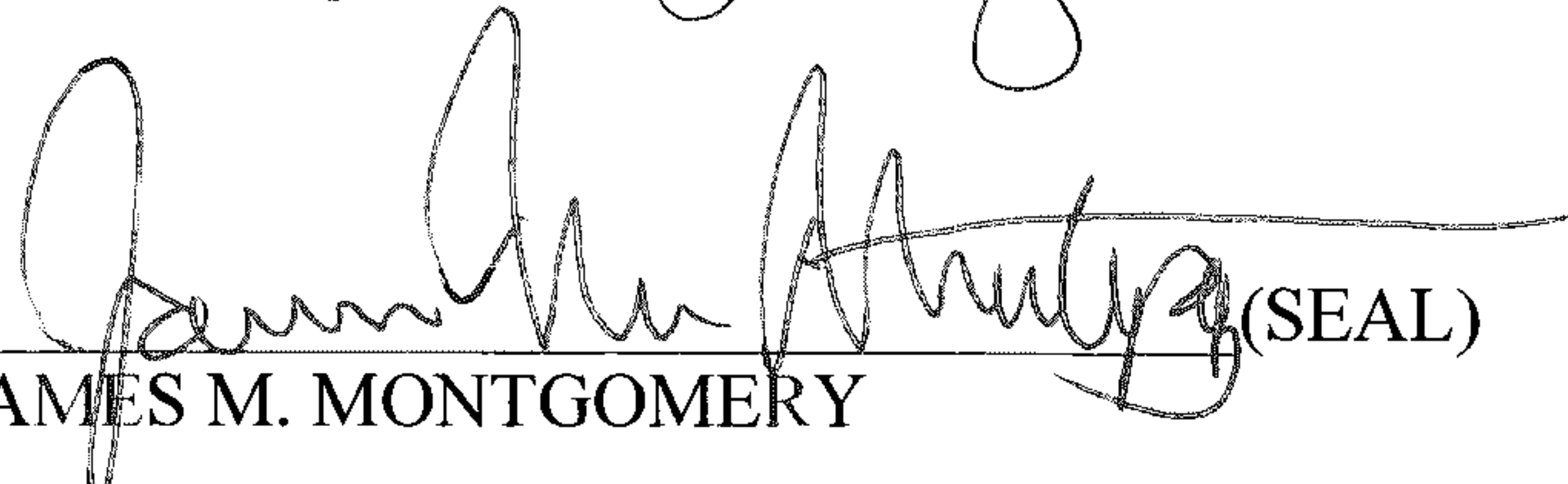
✓ My commission expires: 04/30/2026

SIGNATURE/ACKNOWLEDGEMENT PAGE TO THAT CERTAIN DEED FROM
CLARENCE M. HARRISON, JR. et al to DUEY MARINA, LLC

Grantors:

 (SEAL)
DENNIS EDWARD HARRISON

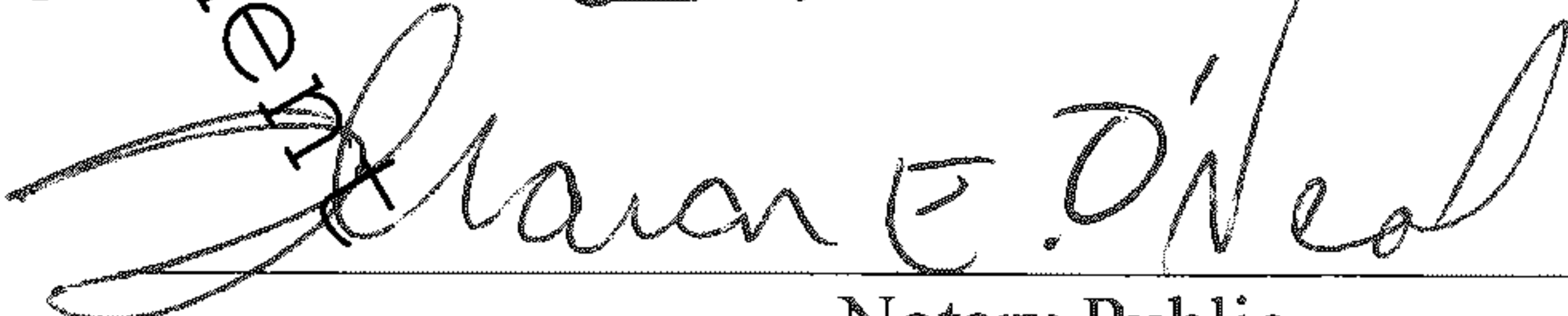
 (SEAL)
DONNA LYNN MONTGOMERY

 (SEAL)
JAMES M. MONTGOMERY

NORTH CAROLINA, CURTIS COUNTY

I, Sharon E. O'Neal, a Notary Public of the County and State aforesaid, certify that
DENNIS EDWARD HARRISON, DONNA LYNN MONTGOMERY and JAMES M.
MONTGOMERY personally appeared before me this day and acknowledged the execution of
the foregoing instrument.

Witness my hand and official stamp or seal this the 28th day of June, 2024.


Notary Public

My commission expires: 11-24-2026

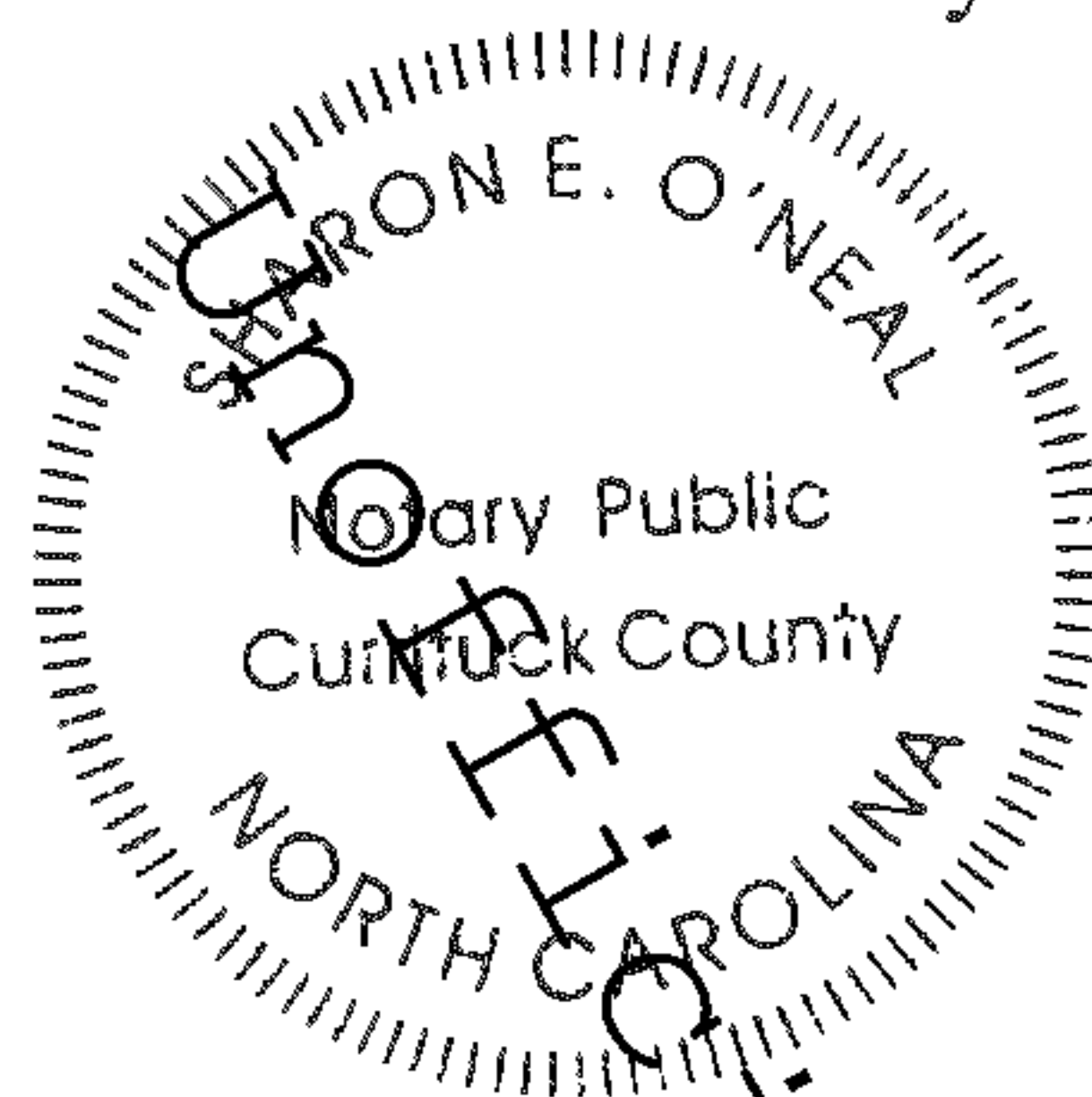


EXHIBIT A**Parcel One:**

BEGINNING AT A POINT marked by an existing iron pipe (N.C. NAD 83 (2011) GRID Coordinates: N: 960,506.46 *sFT*; and E: 2,898,480.78 *sFT*) set in the eastern right of way margin of Coinjock Development Road (S.R. 1165 – 60' R/W), which existing iron pipe marks the southwest corner of that property, now or formerly, owned by ACME Coinjock NC, LLC (referencing Deed Book 1731, Page 293, and Plat Cabinet 2, Slide 20, *BOTH* of the Currituck County Public Registry); thence from said existing iron pipe and **POINT OF BEGINNING** and running away from Coinjock Development Road South 63° 54' 08" East 126.00 feet to a set iron rod; thence running South 63° 54' 08" East 9.43 feet to a point set in a bulkhead along the western bank of the Intracoastal Waterway; thence cornering and running along said bulkhead and the western bank of the Intracoastal Waterway South 20° 39' 12" West 238.07 feet to a point, which point marks the northeast corner of **Parcel Two** described below; thence cornering and running away from said bulkhead and the western bank of the Intracoastal Waterway North 63° 54' 08" West 19.97 feet to a set iron rod; thence running North 63° 54' 08" West 138.05 feet to an existing iron rod set in the eastern right of way margin of Coinjock Development Road (S.R. 1165 – 60' R/W); thence cornering and running along the eastern right of way margin of Coinjock Development Road (S.R. 1165 – 60' R/W) North 26° 05' 52" East 237.00 feet to the existing iron pipe and **POINT OF BEGINNING**, containing 0.80 acre (34,993.00 square feet), and being designated as "PARCEL 1" as described and delineated on that plat entitled in part, "Duey Marina LLC," dated June 6, 2018, prepared by Michael D. Barr, Professional Land Surveyor, which plat is recorded in Plat Cabinet S, Slide 163, of the Currituck County Public Registry, and which plat is incorporated herein by reference.

Parcel Two:

BEGINNING AT A POINT marked by an existing iron pipe, which existing iron pipe marks the southeast terminus of the southern right of way margin of Coinjock Canal Road (60' R/W), and which existing iron pipe marks the northwest corner of that property, now or formerly, owned by Clarence M. Harrison and Rose B. Harrison (referencing Deed Book 1451, Page 330, and Plat Cabinet 2, Slide 20, *BOTH* of the Currituck County Public Registry); thence from said existing iron pipe and **POINT OF BEGINNING** and running through the eastern terminus of Coinjock Canal Road (60' R/W) North 26° 18' 00" East 299.47 feet to an existing iron rod, which existing iron rod marks the southwest corner of that property, now or formerly, owned by Louis L. Boone (referencing Deed Book 429, Page 439, and Plat Cabinet 2, Slide 20, *BOTH* of the Currituck County Public Registry); thence cornering and running South 63° 54' 08" 174.00 feet to an existing concrete monument, which existing concrete monument marks the southeast corner of that property, now or formerly, owned by Louis L. Boone (referencing Deed Book 429, Page 439, and Plat Cabinet 2, Slide 20, *BOTH* of the Currituck County Public Registry), and which existing concrete monument marks the southwest terminus of Coinjock Development Road (S.R. 1165 – 60' R/W); thence running through the southern terminus of Coinjock Development Road (S.R. 1165 – 60' R/W) South 63° 54' 08" East 60.00 feet to an existing iron rod, which existing iron rod marks the southwest corner of **Parcel One** described above, and which existing iron rod marks the southeast terminus of Coinjock Development Road (S.R. 1165 – 60' R/W); thence running South 63° 54' 08" East 138.05 feet to a set iron rod, thence running South 63° 54' 08" East 19.97 feet to a point set in a bulkhead along the western bank of the Intracoastal Waterway, which point marks the southeast corner of **Parcel One** described above; thence cornering and running along the bulkhead and western bank of the Intracoastal Waterway South 28° 48' 10" West 300.86 feet to a point, which point marks the northeast corner of that property, now or formerly, owned by Clarence M. Harrison and Rose B. Harrison (referencing Deed Book 1451, Page 328, and Plat Cabinet 2, Slide 20, *BOTH* of the Currituck County Public Registry); thence cornering and running away from said bulkhead and the western bank of the

Intracoastal Waterway North 63° 42' 39" West 20.06 feet to a set iron rod; thence running North 63° 42' 39" West 182.95 feet to an existing iron rod, which existing iron rod marks the northwest corner of that property, now or formerly, owned by Clarence M. Harrison and Rose B. Harrison (referencing Deed Book 1451, Page 330, and Plat Cabinet 2, Slide 20, *BOTH* of the Currituck County Public Registry) and the northeast corner of that property, now or formerly, owned by Clarence M. Harrison and Rose B. Harrison (referencing Deed Book 1451, Page 330, and Plat Cabinet 2, Slide 20, *BOTH* of the Currituck County Public Registry); thence running North 63° 42' 39" West 115.87 feet to the existing iron pipe and **POINT OF BEGINNING**, containing 2.25 acres, and being designated as "PARCEL 2," as described and delineated on that plat entitled in part, "Duey Marina LLC," dated June 6, 2018, prepared by Michael D. Barr, Professional Land Surveyor, which plat is recorded in Plat Cabinet S, Slide 163, of the Currituck County Public Registry, and which plat is incorporated herein by reference.

J:\REAL ESTATE\CLIENTS.2023\Duey Marina, LLC - PURCH Harrison Marina-181 & 000 Coinjock Canal Rd - 40618-0\Legal.wpd

EXHIBIT B

1. Taxes for the year 2024, and subsequent years, not yet due and payable;
2. Maintenance Agreement to VEPCO recorded in Deed Book 93, Page 205, of the Currituck County Public Registry (**Parcel One Only**);
3. Matters shown on plat recorded in Map Book 2, Page 20, of the Currituck County Public Registry (**Parcel One Only**);
4. Reservation to The United States of America in that Deed recorded in Deed Book 90, Page 510, of the Currituck County Public Registry (**Parcel Two Only**);
5. Maintenance Agreement to The Norfolk & Carolina Telephone & Telegraph Co., recorded in Deed Book 98, Page 348, of the Currituck County Public Registry (**Parcel Two Only**);
6. Maintenance Agreement to VEPCO recorded in Deed Book 92, Page 131, of the Currituck County Public Registry (**Parcel Two Only**);
7. Matters shown on that plat recorded Plat Cabinet S, Slide 160, and Plat Cabinet S, Slide 163, ***BOTH*** of the Currituck County Public Registry, including the following located on the Property:
 - (a) chainlink fence;
 - (b) electric panel;
 - (c) monitoring well;
 - (d) 15' ingress and egress easement;
 - (e) water and valve meter; and
 - (f) gravel drive; and
8. That Deed of Easement recorded in Deed Book 1778, Page 535, of the Currituck County Public Registry (**Parcel Two Only**).



LIMITED LIABILITY COMPANY ANNUAL REPORT

1/6/2022

NAME OF LIMITED LIABILITY COMPANY: Duey Marina, LLC

SECRETARY OF STATE ID NUMBER: 2873666

STATE OF FORMATION: NC

REPORT FOR THE CALENDAR YEAR: 2026

Filing Office Use Only
E - Filed Annual Report
2873666
CA202606300196
3/4/2026 07:32

SECTION A: REGISTERED AGENT'S INFORMATION

☐ Changes

1. NAME OF REGISTERED AGENT: W. Brock Mitchell

2. SIGNATURE OF THE NEW REGISTERED AGENT: _____

SIGNATURE CONSTITUTES CONSENT TO THE APPOINTMENT

3. REGISTERED AGENT OFFICE STREET ADDRESS & COUNTY 4. REGISTERED AGENT OFFICE MAILING ADDRESS

301 East Main Street

301 East Main Street

Elizabeth City, NC 27909 Pasquotank County

Elizabeth City, NC 27909

SECTION B: PRINCIPAL OFFICE INFORMATION

1. DESCRIPTION OF NATURE OF BUSINESS: OWNS REAL ESTATE FOR PURPOSES OF RENTALS

2. PRINCIPAL OFFICE PHONE NUMBER: (814) 684-7283

3. PRINCIPAL OFFICE EMAIL: Privacy Redaction

4. PRINCIPAL OFFICE STREET ADDRESS

5. PRINCIPAL OFFICE MAILING ADDRESS

740 Oak Street

740 Oak Street

Tyrone, PA 16686

Tyrone, PA 16686

6. Select one of the following if applicable. (Optional see instructions)

☐

The company is a veteran-owned small business

☐

The company is a service-disabled veteran-owned small business

SECTION C: COMPANY OFFICIALS (Enter additional company officials in Section E.)

NAME: Lael Duey

NAME: SICKLER TARPEY & ASSOCIATES

NAME: _____

TITLE: President

TITLE: Authorized Representative

TITLE: _____

ADDRESS: _____

ADDRESS: _____

ADDRESS: _____

740 OAK STREET

227 JEFFERSON AVE

tyrone, PA 16686

TYRONE, PA 16686

SECTION D: CERTIFICATION OF ANNUAL REPORT. Section D must be completed in its entirety by a person/business entity.

SICKLER TARPEY & ASSOCIATES, by CHRISTOPHER D DEANTONIO ACCOUNTANT

3/4/2026

SIGNATURE

DATE

Form must be signed by a Company Official listed under Section C of This form.

SICKLER TARPEY & ASSOCIATES, by CHRISTOPHER D DEANTONIO ACCOUNTANT

Authorized Representative

Print or Type Name of Company Official

Print or Type Title of Company Official

This Annual Report has been filed electronically.

MAIL TO: Secretary of State, Business Registration Division, Post Office Box 29525, Raleigh, NC 27626-0525



Construction Authorization

Currituck County Environmental Health
PO Box 189
Elizabeth City, NC 27907
Phone: (252) 232-6603

For Office Use Only

*CDP File Number: 466869 - 1
County ID Number: 071A00300030000
Evaluated For: NEW

PERMIT VALID UNTIL: 05/29/2031

☐ Open Pump System Sheet

Applicant: Albemarle & Associates LTD

Address: PO Box 3989

City: Kill Devil Hills

State/Zip: NC 27948

Phone #: home: (252) 441-2113

Property Owner: Duey Marina LLC

Address: 740 Oak St

City: Tyrone

State/Zip: PA. 16686

Phone #: _____

Property Location & Site Information

Address/Road #: 181 Coinjock Canal Rd Cabins
3&4 Coinjock, NC 27923

Subdivision: _____

Phase: NEW Lot: _____

Directions:

Structure: SINGLE FAMILY

of Bedrooms: 1

of People: 2

*Water Supply: PUBLIC

Units 3 & 4
Bed System
Drainfield #2

System Specifications

Usuable Soil Depth: _____

Minimum Trench Depth: 6 Inches

Design Flow: 480

Maximum Trench Depth: _____ Inches

Soil Application Rate: 0.5000

Minimum Soil Cover: 6 Inches

*System Classification/Description:

Type.IIa - Conventional System

Maximum Soil Cover: 12 Inches

*Proposed System:

FILL/MOUND

*Distribution Type: GRAVITY FILL SYSTEM

Nitrification Field: 1440 Sq. ft.

Septic Tank: 1,000 Gallons

No. Drain Lines: 8

Pump Required: ☐ Yes ☐ No ☒ May Be Required

Total Trench Length: 60 ft.

☐ Inches O.C.

Pump Tank: _____ Gallons

☐ Feet O.C.

Trench Spacing: 3 - _____

☐ Inches

Grease Trap: _____ Gallons

☐ Feet

Trench Width: _____

Septic Tank Installer

Aggregate Depth: 12 inches

Grade Level Required: ☐ I ☒ II ☐ III ☐ IV

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements.

*Permit Conditions:

SYSTEM LABELED AS #2 (BED DRAINFIELD)

**Fill area per site plan prepared by Albemarle & Associated, LTD, Project #05316B, Dated: 4/24/26. Signed & Sealed by Jared Madwell 4/24/26, Sheet C401

**Major system components: 1000 gallon septic tank, 8 lines, 60' long with center fed d-box (8 - 30's each side)

**A pump will be needed if gravity fall to properly set drainfield can't be met

**Engineer should set benchmark so proper fill height is met

**Attached drawing showing system layout is considered part of the permit



Construction Authorization

Currituck County Environmental Health
PO Box 189
Elizabeth City, NC 27907
Phone: (252) 232-6603

For Office Use Only

*CDP File Number: 466869 - 1
County ID Number: 071A00300030000
Evaluated For: NEW

PERMIT VALID UNTIL: 05/29/2031

☐ Open Pump System Sheet

The Authorization for Wastewater System Construction shall be valid for a period equal to the period of validity of the Improvement Permit and may be issued at the same time the Improvement Permit issued (NCGS 130A-336(b)). If the installation has not been completed during the period of validity of the Construction Permit, the information submitted in the application for a permit or Construction Authorization shall become invalid, and may be suspended or revoked (.0204(k)(1)). The person owning or controlling the system shall be responsible for assuring compliance with the laws, rules, and permit conditions regarding system location, installation, operation, maintenance, monitoring, reporting and repair (per rule .0301(a)).

Authorized State Agent:



Carver, Kevin

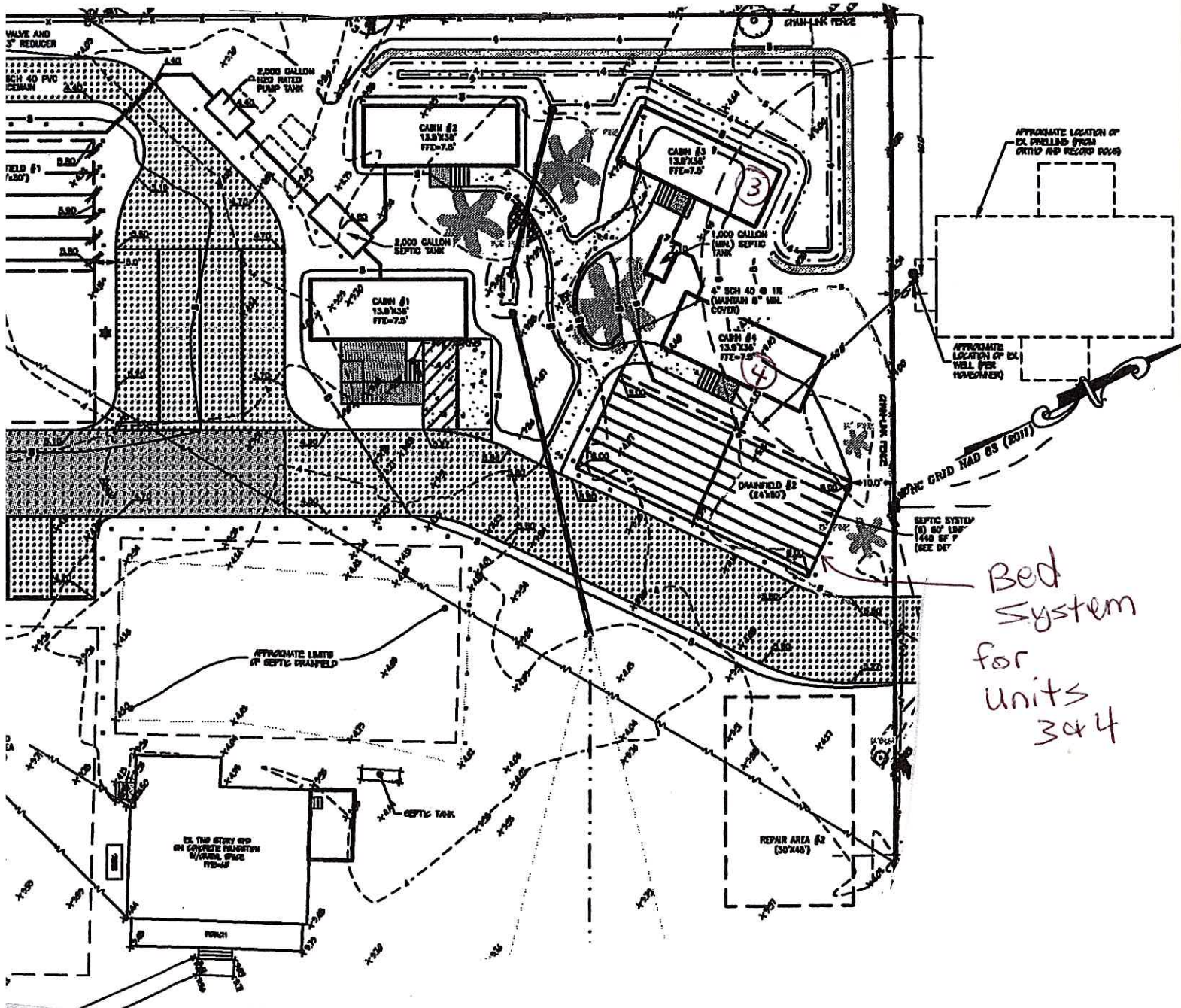
☐ Hand Drawing

☐ Import Drawing

Date of Issue: 05/29/2026

****Site Plan/Drawing attached.****

Total Time : (HH:MM)





Construction Authorization

Currituck County Environmental Health
PO Box 189
Elizabeth City, NC 27907
Phone: (252) 232-6603

For Office Use Only

*CDP File Number: 466869 - 1
County ID Number: 071A00300030000
Evaluated For: NEW

PERMIT VALID UNTIL: 05/29/2031

☐ Open Pump System Sheet

Applicant: Albemarle & Associates LTD
Address: PO Box 3989
City: Kill Devil Hills
State/Zip: NC 27948
Phone #: home: (252) 441-2113

Property Owner: Duey Marina LLC
Address: 740 Oak St
City: Tyrone
State/Zip: PA. 16686
Phone #:

Property Location & Site Information

Address/Road #: 181 Coinjock Canal Rd Cabins Subdivision: Phase: NEW Lot:
3&4 Coinjock, NC 27923

Directions:

Structure: SINGLE FAMILY
of Bedrooms: 1
of People: 2
*Water Supply: PUBLIC

System Specifications

Usable Soil Depth: Minimum Trench Depth: 6 Inches
Design Flow: 480 Maximum Trench Depth: Inches
Soil Application Rate: 0.5000 Minimum Soil Cover: 6 Inches
*System Classification/Description: Maximum Soil Cover: 12 Inches
Type IIa - Conventional System
*Proposed System: *Distribution Type: GRAVITY FILL SYSTEM
FILL/MOUND
Nitrification Field: 1440 Sq. ft. Septic Tank: 1,000 Gallons
No. Drain Lines: 8 Pump Required: ☐ Yes ☐ No ☒ May Be Required
Total Trench Length: 60 ft. ☐ Inches O.C. Pump Tank: Gallons
☐ Feet O.C. Grease Trap: Gallons
Trench Spacing: 3 - ☐ Inches
Trench Width: - ☐ Feet
Aggregate Depth: 12 inches Septic Tank Installer
Grade Level Required: ☐ I ☒ II ☐ III ☐ IV

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements.

*Permit Conditions:

SYSTEM LABELED AS #2 (BED DRAINFIELD)

**Fill area per site plan prepared by Albemarle & Associated, LTD, Project #05316B, Dated: 4/24/26. Signed & Sealed by Jared Madwell 4/24/26, Sheet C401

**Major system components: 1000 gallon septic tank, 8 lines, 60' long with center fed d-box (8 - 30's each side)

**A pump will be needed if gravity fall to properly set drainfield can't be met

**Engineer should set benchmark so proper fill height is met

**Attached drawing showing system layout is considered part of the permit



Construction Authorization

Currituck County Environmental Health

PO Box 189

Elizabeth City, NC 27907

Phone: (252) 232-6603

For Office Use Only

*CDP File Number: 466869 - 1

County ID Number: 071A00300030000

Evaluated For: NEW

PERMIT VALID UNTIL: 05/29/2031

☐ Open Pump System Sheet

The Authorization for Wastewater System Construction shall be valid for a period equal to the period of validity of the Improvement Permit and may be issued at the same time the Improvement Permit issued (NCGS 130A-336(b)). If the installation has not been completed during the period of validity of the Construction Permit, the information submitted in the application for a permit or Construction Authorization shall become invalid, and may be suspended or revoked (.0204(k)(1)). The person owning or controlling the system shall be responsible for assuring compliance with the laws, rules, and permit conditions regarding system location, installation, operation, maintenance, monitoring, reporting and repair (per rule .0301(a)).

Authorized State Agent:

Carver, Kevin

☐ Hand Drawing

☐ Import Drawing

Date of Issue: 05/29/2026

****Site Plan/Drawing attached.****

Total Time : (HH:MM)



CAMA + Dredge & Fill GENERAL PERMIT

New

PA-3296

Previous Permit:

Date Previous Permit Issued:

As authorized by the State of North Carolina, Department of Environmental Quality and the Coastal Resources Commission in an area of environmental concern pursuant to:

15A NCAC: DCM-GP-1100, DCM-GP-1500

General Permit Rules available at the following link: www.deq.nc.gov/CAMARules

Applicant Name: My Happy Place Coinjock, LLC
Address: 740 Oak Street
City: Tyrone State: PA Zip: 16686
Phone #: 814.330.5776
Email: dueypavi1@verizon.net

Authorized Agent: Environmental Professionals, Inc.
Project Location (County): Currituck
Street Address/State Road/Lot #(s):
Coinjock Development Road
Subdivision:
City: Coinjock Zip: 27923

Affected AEC(s): Estuarine Shoreline, Public Trust Shoreline, Public Trust Areas, Estuarine Waters

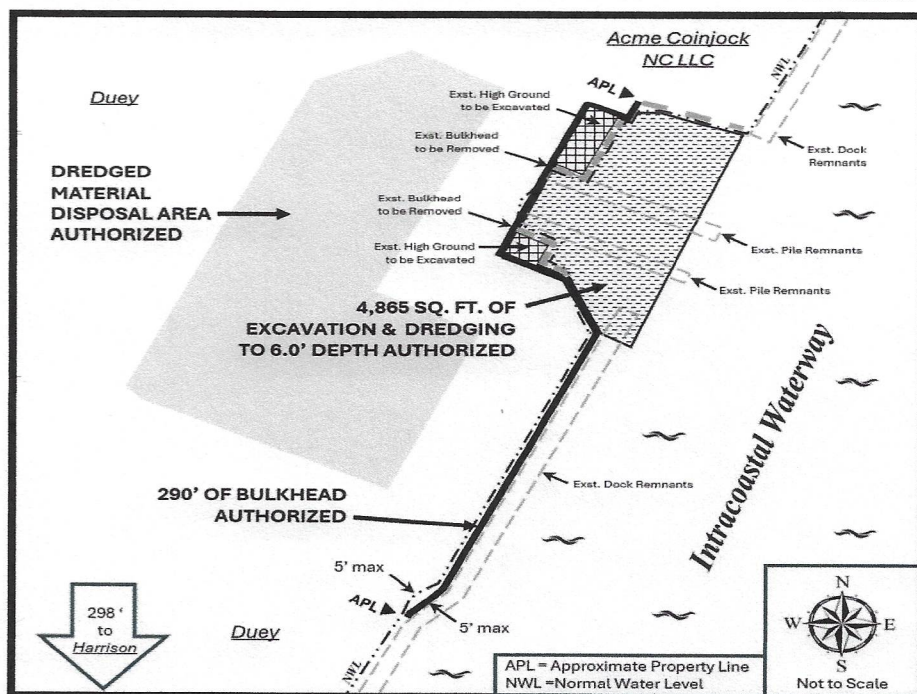
Adj. Wtr. Body: Intracoastal Waterway (Natural)

ORW: No

Closest Maj. Wtr. Body: Currituck Sound

PNA: No

Type of Project/ Activity: Install 290' of bulkhead. Dredge & excavate 4,865 sq.ft. of shallow bottom & high ground to -6.0'. Dispose of dredged material on 14,760 sq.ft. of high ground.



Shoreline Length: 300
Pier (Dock) Length: _____
Floating Platform(s): _____
Total Shaded Area: 0
Bulkhead/Riprap Length: 290.0
Breakwater/Sill: _____
Basin, Channel: _____
Boat Ramp: _____

Avg Distance Offshore: 0 [Bulkhead]
Max Distance/Length: 5 / 290 (Bulkhead)
Other: _____

SAV Observed: No
Site Photos: Yes
A building permit/zoning permit may be required by: Currituck County

Access Length: _____
Fixed Platform(s): _____
Finger Pier(s): _____
Groin Length/#: _____
Boathouse/Boatlift: _____
Beach Bulldozing: _____
Cubic Yards: 810.0

I AM AWARE OF STATUTES, CRC RULES AND CONDITIONS THAT APPLY TO THIS PROJECT AND REVIEWED COMPLIANCE STATEMENT.

(Please Initial) _____

George H. Wood (agent)
Agent or Applicant PRINTED Name

Martin Mitchell

Permit Officers PRINTED Name

G. H. Wood
Signature * Please read compliance statement on back of permit**

[Signature]
Signature

\$948.00
Application Fees

05-26-2026
Issuing Date

28062
Check # / Money Order

09-26-2026
Expiration Date

Statement of Compliance and Consistency

This permit is subject to compliance with this application and permit conditions. Any violation of these terms may subject the permittee to a fine or criminal or civil action; and may cause the permit to become null and void.

This permit must be on the project site and accessible to the permit officer when the project is inspected for compliance. The applicant certifies by signing this permit that: 1) prior to undertaking any activities authorized by this permit, the applicant will confer with appropriate local authorities to confirm that this project is consistent with the local land use plan and all local ordinances, and 2) a written statement from the adjacent riparian property owner(s) has been obtained, or proof of delivery of certified mail notification of the adjacent riparian property owner(s).

The State of North Carolina and the Division of Coastal Management, in issuing this permit under the best available information and belief, certify that this project is consistent with the North Carolina Coastal Management Program.

River Basin Rules Applicable To Your Project:

☐

Tar - Pamlico River Basin Buffer Rules

☐

Neuse River Basin Buffer Rules

If indicated on front of permit, your project is subject to the Environmental Management Commission's Buffer Rules for the River Basin checked above due to its location within that River Basin. These buffer rules are enforced by the NC Division of Water Resources. If you have any questions, please contact the Division of Water Resources at the Washington Regional Office (252-946-6481) or the Wilmington Regional Office (910-796-7215).

NOTE: A CAMA/Dredge and Fill Permit is a determination that the proposed development meets the CAMA/Dredge and Fill laws and CRC's rules for coastal development. It is not a determination of private property ownership or an authorization to trespass onto property owned by someone other than the Permittee.

NOTE: This permit action may be appealed by the permittee or other qualified persons within twenty (20) days of the issuing date. Any development authorized under this permit that occurs prior to the expiration of the twenty (20) day appeal period or completion of an appeal process, shall be done at the permittee's risk.

Permit Conditions:

Additional Permit Notes:

Please ensure all debris associated with the removal or construction of the permitted development is contained within the authorized project area and disposed of in an appropriate upland location.

Division of Coastal Management Offices

Morehead City Headquarters

400 Commerce Ave Morehead City, NC 28557

252-808-2808/ 1-888-4RCOAST Fax: 252-247-3330

(Serves: Carteret, Craven – south of the Neuse River, Onslow Counties)

Elizabeth City District

401 S. Griffin St. Ste. 300 Elizabeth City, NC 27909

252-264-3901

(Serves: Bertie, Camden, Chowan, Currituck, Dare, Gates, Hertford, Pasquotank and Perquimans Counties)

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910-796-7215 Fax: 910-395-3964

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Washington District

943 Washington Square Mall Washington, NC 27889

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CAMA + Dredge & Fill
GENERAL PERMIT
New

PA-3295

Previous Permit:
Date Previous Permit Issued:

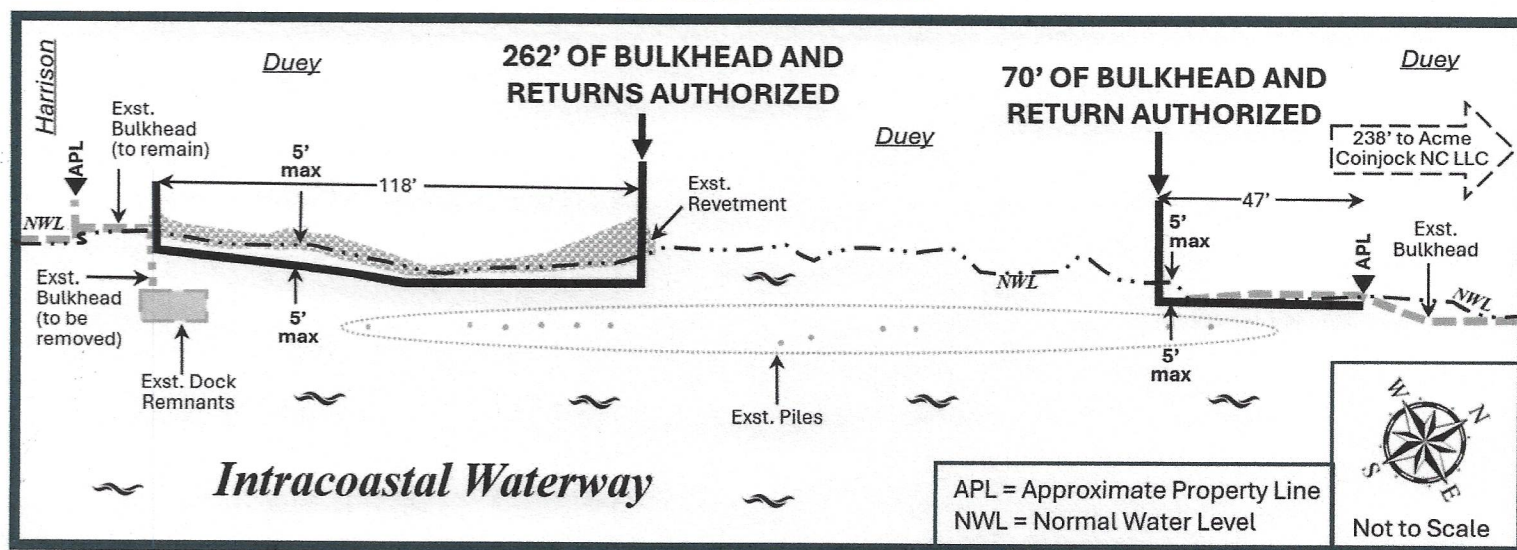
As authorized by the State of North Carolina, Department of Environmental Quality and the Coastal Resources Commission in an area of environmental concern pursuant to:
15A NCAC: DCM-GP-1100 General Permit Rules available at the following link: www.deq.nc.gov/CAMARules

Applicant Name: Duey Marina LLC
Address: 740 Oak Street
City: Tyrone State: PA Zip: 16686
Phone #: 814 330 5776
Email: dueypavin1@verizon.net

Authorized Agent: Environmental Professionals, Inc.
Project Location (County): Currituck
Street Address/State Road/Lot #(s):
181 Coinjock Canal Road
Subdivision:
City: Coinjock Zip: 27923

Affected AEC(s): Estuarine Shoreline, Public Trust Shoreline, Public Trust Areas, Estuarine Waters
Adj. Wtr. Body: Intracoastal Waterway (Natural) Closest Maj. Wtr. Body: Currituck Sound
ORW: No PNA: No

Type of Project/ Activity: Install a total of 332 feet of bulkhead and returns.



Shoreline Length: 306
Pier (Dock) Length: _____
Floating Platform(s): _____
Total Shaded Area: 0
Bulkhead/Riprap Length: 70.0, 262.0
Breakwater/Sill: _____
Basin, Channel: _____
Boat Ramp: _____
Avg Distance Offshore: 0 [Bulkhead], 0 [Bulkhead]
Max Distance/Length: 5 / 70 (Bulkhead), 5 / 262 (Bulkhead)
Other: Total length includes returns.
SAV Observed: No
Site Photos: Yes
A building permit/zoning permit may be required by: Currituck County

Access Length: _____
Fixed Platform(s): _____
Finger Pier(s): _____
Groin Length/#: _____
Boathouse/Boatlift: _____
Beach Bulldozing: _____
Cubic Yards: _____

Moratorium: No
Riparian Waiver Attached: No

I AM AWARE OF STATUTES, CRC RULES AND CONDITIONS THAT APPLY TO THIS PROJECT AND REVIEWED COMPLIANCE STATEMENT.

(Please Initial) _____

George H. Wood (Agent)
Agent or Applicant PRINTED Name

Martin Mitchell

Permit Officers PRINTED Name

George H. Wood
Signature **Please read compliance statement on back of permit**

[Signature]
Signature

\$474.00 28061

05-26-2026

Application Fees Check # / Money Order

Issuing Date

09-26-2026
Expiration Date

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