

OWNERSHIP & DEDICATION CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNER'S ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

OWNER _____ DATE _____

NOTARY CERTIFICATE

I, _____, A NOTARY PUBLIC OF _____ COUNTY NORTH

CAROLINA, DO HEREBY CERTIFY THAT _____ PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGE THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____ 2022.

NOTARY PUBLIC _____ DATE _____

SURVEYOR'S CERTIFICATE

I, JOHN M. HURDLE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (SEE NOTES); THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS DASHED LINES AND ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN (SEE NOTES); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION AND SEAL THIS 16TH DAY OF JANUARY, 2024.

JOHN M. HURDLE, PLS NC L-5209

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE (1) BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY QUIBLE & ASSOCIATES, P.C. AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS, AND (2) A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS MUST BE COMPLETED BY THE 25TH DAY OF AUGUST, 2024, ACCORDING TO PLANS AND SPECIFICATIONS PREPARED BY QUIBLE & ASSOCIATES, P.C.

DATE _____ MICHAEL W. STRADER, JR., P.E. REG.#. 031813

PRIVATE STREETS OWNER CERTIFICATE

I HEREBY CERTIFY THAT THE PRIVATE STREETS SHOWN ON THIS PLAT ARE INTENDED FOR PRIVATE USE AND WILL REMAIN UNDER THE CONTROL, MAINTENANCE AND RESPONSIBILITY OF THE DEVELOPER AND/OR A HOMEOWNER'S ASSOCIATION AND ACKNOWLEDGE THAT SOME PUBLIC SERVICES MAY NOT BE PROVIDED DUE TO THE PRIVATE NATURE OF THE ROAD.

OWNER _____ DATE _____

REVIEW OFFICER'S CERTIFICATE

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____, REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____ DATE _____

APPROVAL CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE OFFICE OF THE CURRITUCK COUNTY REGISTER OF DEEDS WITHIN NINETY (90) DAYS OF THE DATE BELOW.

ADMINISTRATOR _____ DATE _____

PRIVATE ACCESS DISCLOSURE STATEMENT

PRIVATE ACCESS STREETS DO NOT MEET THE NCDOT'S MINIMUM STANDARDS FOR ASSUMPTION OF MAINTENANCE. CURRITUCK COUNTY DOES NOT CONSTRUCT OR MAINTAIN STREETS. FURTHER SUBDIVISION OF ANY LOT SHOWN ON THIS PLAT MAY BE PROHIBITED BY THE CURRITUCK COUNTY UDO UNLESS THE PRIVATE ACCESS STREET IS IMPROVED CONSISTENT WITH MINIMUM NCDOT STANDARDS.

PUBLIC DEDICATION OF OPEN SPACE, PONDS & DRAINAGE FACILITIES

OPEN SPACE, PONDS AND DRAINAGE FACILITIES REQUIRED TO BE PROVIDED BY THE DEVELOPER IN ACCORDANCE WITH THIS ORDINANCE SHALL NOT BE DEDICATED TO THE PUBLIC EXCEPT UPON WRITTEN ACCEPTANCE BY THE COUNTY, BUT SHALL REMAIN UNDER THE OWNERSHIP AND CONTROL OF THE DEVELOPER (OR HIS SUCCESSOR) OR A HOMEOWNERS ASSOCIATION OR SIMILAR ORGANIZATION THAT SATISFIES THE CRITERIA ESTABLISHED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.

EASEMENT ESTABLISHMENT STATEMENT

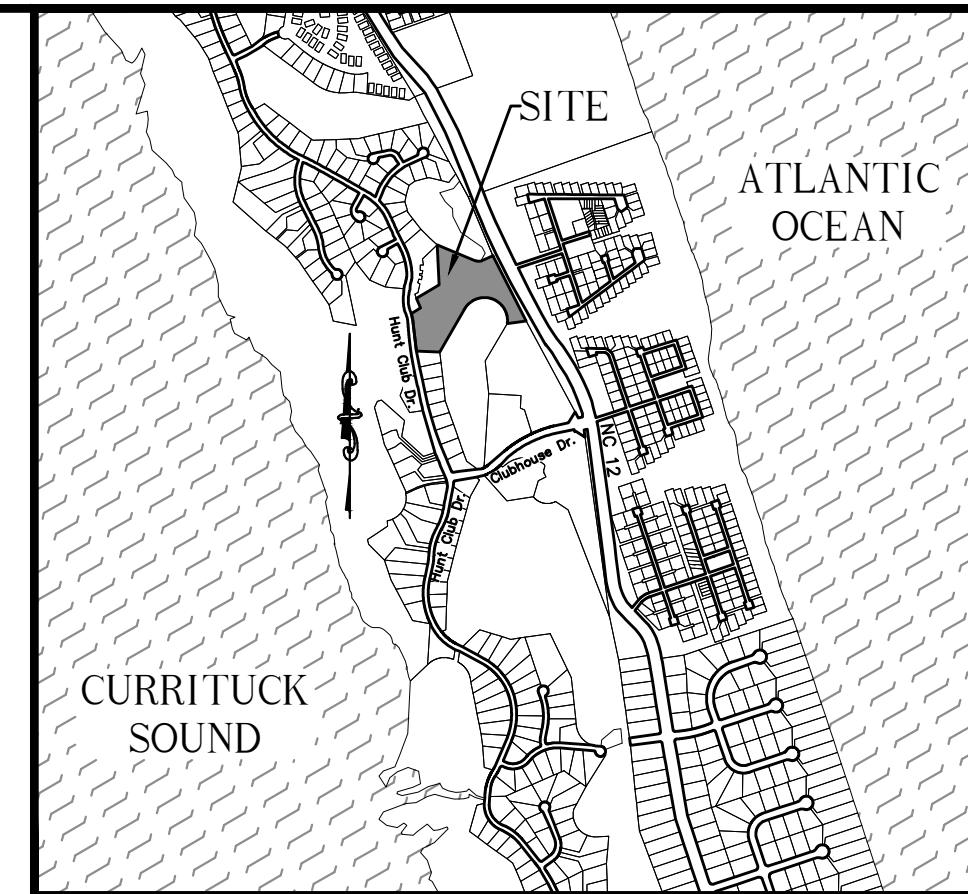
A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG SIDE PROPERTY LINES, A 20 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG THE REAR PROPERTY LINE AND A 20 FOOT EASEMENT FOR UTILITIES, DRAINAGE, PEDESTRIAN & SIDEWALK ALONG THE FRONT PROPERTY LINE IS HEREBY ESTABLISHED.

FLOODWAY/FLOODPLAIN STATEMENT

USE OF LAND WITHIN A FLOODWAY OR FLOODPLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.

STORMWATER STATEMENT

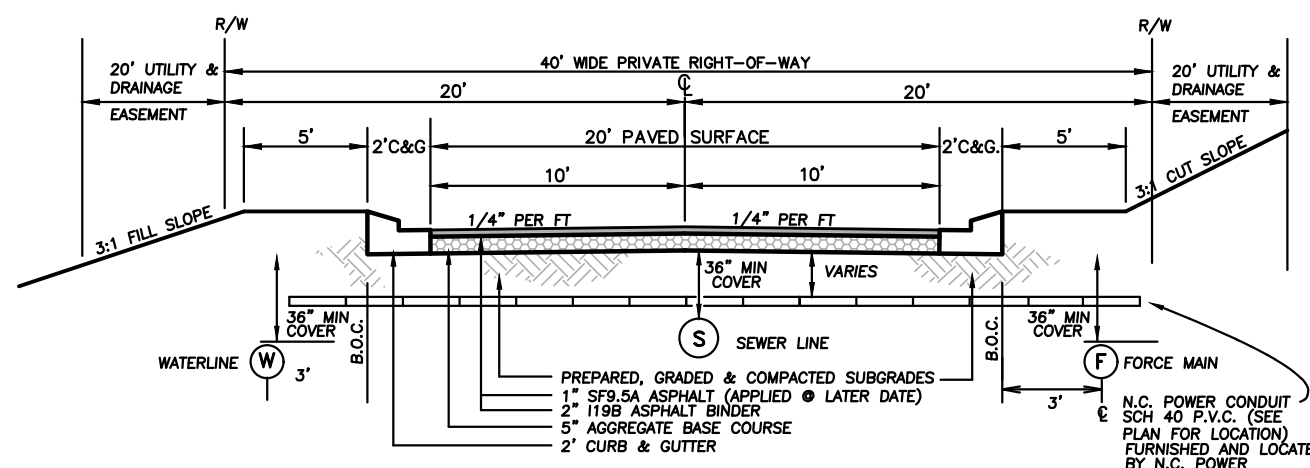
NO MORE THAN 30% OF TOTAL PARCEL SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK, STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.



VICINITY MAP (Currituck Club)
1"=1,500'

NOTES:

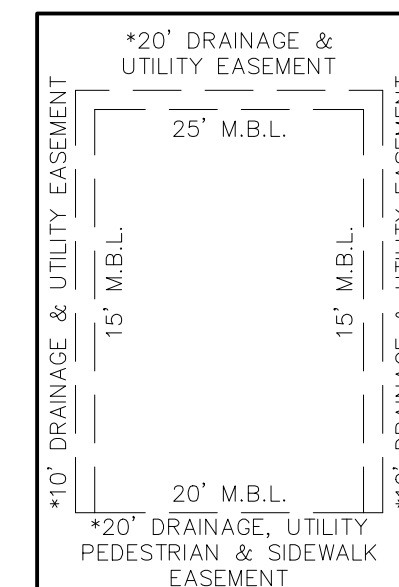
- PROPERTY OWNERS: THE CURRITUCK ASSOCIATES RESIDENTIAL LLC
c/o BODDIE-NOELL ENTERPRISES
PO BOX 1908
ROCKY MOUNT, NC 27802
(252)-937-2000
PARCEL#: 126G-000-0000-0000
PIN#: 9944-05-6142
PC 1, SL. 354, PC Q, SL 198
& PC R, SL 321
- APPLICANT/FINANCIALLY RESPONSIBLE PARTY: THE CURRITUCK ASSOCIATES RESIDENTIAL PARTNERSHIP
c/o BODDIE-NOELL ENTERPRISES
PO BOX 1908
ROCKY MOUNT, NC 27802
(252)-937-2000
- CURRENT ZONE: SINGLE FAMILY RESIDENTIAL OUTER BANKS (SFO) WITH PLANNED UNIT DEVELOPMENT OVERLAY ZONE (PUD)
- TOTAL PHASE AREA: 106,008.02 SF / 2.43 AC
- TOTAL LOTS PROPOSED: RESIDENTIAL = 10 (82,345.58 SF / 1.89 AC)
- NO WETLANDS LOCATED ON PARCELS AS PER MAP ENTITLED "RE-CERTIFICATION OF WETLANDS LOCATIONS FOR CURRITUCK CLUB" DATED: AUGUST 15, 2005.
- PROPERTY IS LOCATED IN NFIP FLOOD ZONE X AND SUBJECT TO CHANGES, BASED ON COMMUNITY CID NO. 370078; PANEL 9944; SUFFIX K. (MAP NUMBER 3721904400K) EFFECTIVE DATE: 12/21/2018.
- IRON RODS SET FLUSH WITH GRADE AT ALL PROPERTY CORNERS, UNLESS OTHERWISE NOTED.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- MINIMUM BUILDING SETBACKS: FRONT - 20'
SIDE - 15'
SIDE (ST.) - 20'
REAR - 25'
- DRAINAGE & UTILITY EASEMENTS: FRONT - 20'
SIDE - 10'
SIDE (ST.) - 20'
REAR - 20'



SUBDIVISION ROAD CROSS SECTION

N.T.S.

- CONTRACTOR TO INSURE THAT WATERMAIN IS INSTALLED SO AS TO MAINTAIN LEAST 36" COVER FROM FINISH GRADE OF SIDE SLOPES & SWALES
- CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL RECOMMENDATIONS FOR CONSTRUCTION OF ROADWAYS DEPICTED ON THESE PLANS.



TYPICAL LOT SETBACKS & EASEMENTS

*STORMWATER PERMIT MAY REQUIRE LARGER DRAINAGE EASEMENTS

NC License#: C-0208
SINCE 1959
Quible & Associates, P.C.
ENGINEERING** * CONSULTING * PLANNING
ENVIRONMENTAL SCIENCES * SURVEYING**
SURVEYING NOT OFFERED AT BLACK MTN. OFFICE
8466 CARATOKE HWY SUITE B
POWELL'S POINT, NC 27966
Phone: (252) 491-8477
administrator@quible.com



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FINAL PLAT 1 of 2
The Currituck Club
PHASE 8A, SECTION 2B
POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO.	P92009.8
DRAWN BY	JMH
CHECKED BY	CS/DT/JM
SCALE	NTS
ISSUE DATE	01/16/24

THE CURRITUCK CLUB, P.U.D.

CURVE TABLE				
CURVE#	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C1	101.04'	261.06'	100.46'	N 22° 04' 24" W
C2	164.37'	134.29'	154.30'	N 68° 13' 50" W
C3	164.71'	260.20'	166.71'	S 56° 27' 54" W
C4	84.15'	1580.00'	84.14'	N 07° 14' 38" W
C5	108.67'	480.00'	108.44'	N 00° 41' 04" E
C6	128.35'	310.00'	127.44'	N 04° 41' 29" W
C7	25.46'	310.00'	25.45'	N 18° 54' 25" W
C8	23.85'	260.00'	23.64'	N 18° 34' 13" W
C9	99.37'	114.42'	96.27'	S 88° 06' 18" E
C10	144.66'	1020.83'	144.54'	S 67° 17' 09" E
C11	90.65'	2250.59'	90.64'	S 72° 24' 58" E
C12	62.19'	171.93'	61.85'	S 84° 00' 58" E

**PRELIMINARY
PLAT-NOT FOR
RECORDATION,
CONVEYANCES
OR SALES**

NF
SHALLOWBAG BAY
DEVELOPMENT COMPANY, LLC
UI OF 116 & 120





RESIDUAL PARCEL
89,391.69 Sq.Ft.
2.05 Acres

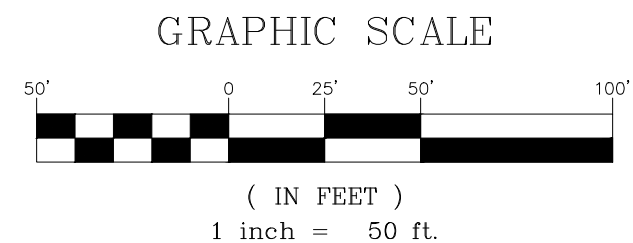
NF
CURRITUCK ASSOCIATION
RESIDENTIAL LLC
PC I, SL 354, PG Q, SL 198
PC R, SL 321
1266-000-0000-0000

NF
CURRITUCK ASSOCIATION
RESIDENTIAL LLC
DB 363, PG 451
DB 375, PG 541

CURVE TABLE				
CURVE#	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C13	338.02'	720.00'	334.92'	N 72° 32' 29" E
C14	119.60'	720.00'	119.46'	N 63° 51' 03" E
C15	218.42'	720.00'	217.59'	N 77° 18' 00" E
C16	90.32'	740.00'	90.27'	N 62° 35' 20" E
C17	30.87'	25.00'	28.94'	N 30° 42' 48" E
C18	23.18'	25.00'	22.36'	N 31° 13' 27" W
C19	81.10'	50.00'	72.50'	N 11° 19' 17" W
C20	35.00'	50.00'	34.29'	N 55° 12' 00" E
C21	51.52'	50.00'	49.27'	S 75° 13' 39" E
C22	40.75'	50.00'	39.63'	S 22° 21' 32" E
C23	41.43'	50.00'	40.26'	S 24° 43' 52" W
C24	23.18'	25.00'	22.36'	S 21° 54' 21" W
C25	44.61'	25.00'	38.93'	S 55° 46' 58" E

CURVE TABLE				
CURVE#	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C26	101.57'	740.00'	101.49'	N 77° 01' 33" E
C27	65.00'	740.00'	64.98'	N 83° 28' 28" E
C28	80.00'	700.00'	79.96'	N 62° 21' 58" E
C29	80.00'	700.00'	79.96'	N 68° 54' 52" E
C30	80.00'	700.00'	79.96'	N 75° 27' 45" E
C31	80.00'	700.00'	79.96'	N 82° 00' 38" E
C32	8.63'	700.00'	8.63'	N 85° 38' 16" E
C33	86.24'	114.42'	84.21'	N 88° 36' 26" E
C34	13.13'	114.42'	13.12'	S 66° 30' 50" E
C35	131.76'	1020.83'	131.66'	S 66° 55' 25" E
C36	12.91'	1020.83'	12.91'	S 70° 59' 00" E
C37	29.98'	2250.59'	29.98'	S 71° 43' 38" E
C38	60.67'	2250.59'	60.66'	S 72° 52' 52" E

SYMBOL LEGEND:
 - EXISTING CONC. MON. ECM
 - EXISTING IRON ROD, SIR
 - 5/8" SET IRON ROD, SIR
 - CALCULATED POINT
 (T) - TOTAL DISTANCE
 AG - ABOVE GRADE
 BG - BELOW GRADE



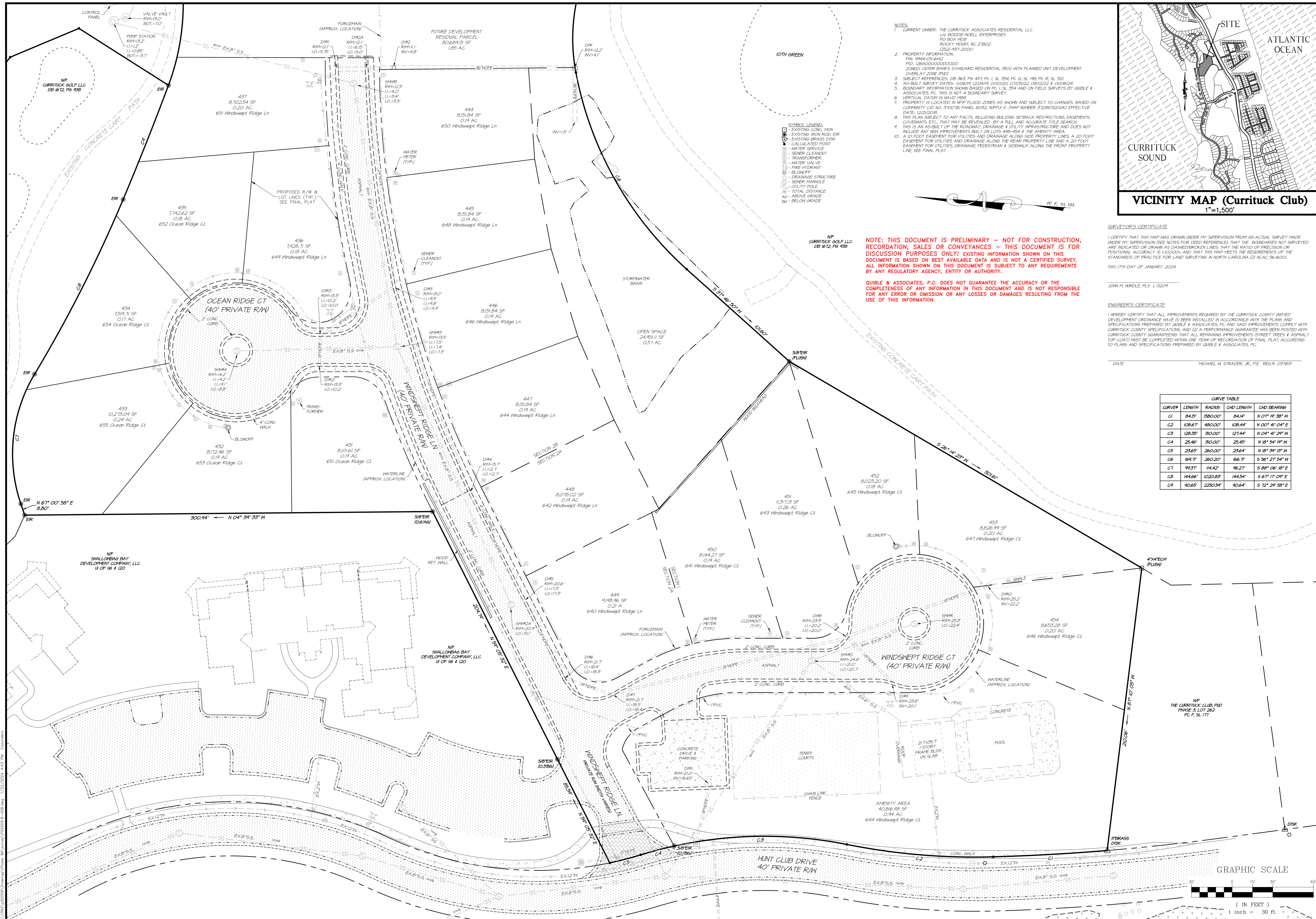
NC License# C-0208
Quible
 & Associates, P.C.
 SINCE 1959
 ENGINEERING** * CONSULTING * PLANNING
 ENVIRONMENTAL SCIENCES * SURVEYING**
 SURVEYING NOT OFFERED AT BLACK MTN. OFFICE
 8466 CAROLINA HWY
 SUITE B
 BLD 400
 POWELL POINT, NC 27966
 Phone: (252) 491-8477
 administrator@quible.com

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CONVEYANCES
OR SALES**

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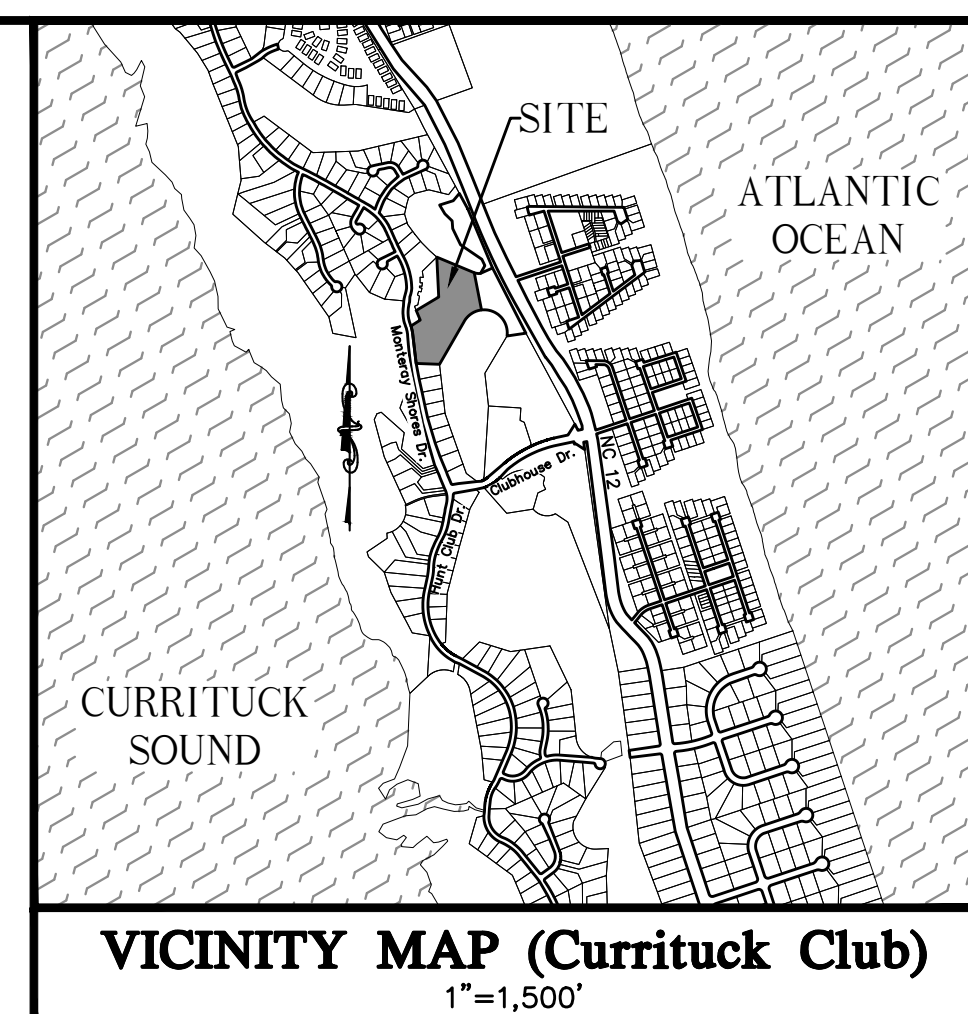
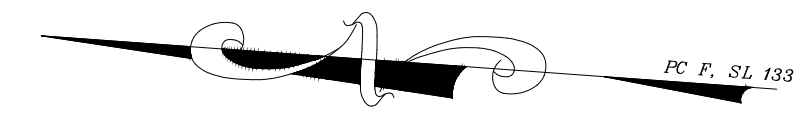
FINAL PLAT 2 of 2
The Currituck Club
 PHASE 8A, SECTION 2B
 CURRITUCK COUNTY
 POPLAR BRANCH TOWNSHIP
 NORTH CAROLINA

PROJECT NO.
P92009.8
 DRAWN BY
JMH
 CHECKED BY
CS/DT/JH
 SCALE
1"=50'
 ISSUE DATE
01/16/24



- NOTES:**
- CURRENT OWNER: THE CURRITUCK ASSOCIATES RESIDENTIAL LLC
616 BOYDREKELL ENTERPRISES
PO BOX 1909
ROCKY MOUNT, NC 27802
(652)-437-2000
 - PROPERTY INFORMATION:
PIN: 1944-05-040
PID: 1265000000000000
ZONED: OUTER BANKS STANDARD RESIDENTIAL (RO) WITH PLANNED UNIT DEVELOPMENT OVERLAY ZONE (PUD)
 - SUBJECT REFERENCES: DB 368, PG 457; PC 1, SL 354; PC 2, SL 140; PC 3, SL 321
 - AS-BUILT SURVEY DATES: 10/26/14, 12/24/14, 01/02/15, 02/12/15, 02/12/15, 01/02/15
 - BOUNDARY INFORMATION SHOWN BASED ON PC 1, SL 354 AND ON FIELD SURVEYS BY QUIBLE & ASSOCIATES, P.C. THIS IS NOT A BOUNDARY SURVEY.
 - VERTICAL DATUM IS NAVD 83.
 - PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES, BASED ON COMMUNITY C/D NO. 310018, PANEL 0032, SUFFIX K, (MAP NUMBER 312803200K) EFFECTIVE DATE: 12/22/2018.
 - THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
 - THIS IS AN AS-BUILT OF THE ROADWAY, DRAINAGE & UTILITY INFRASTRUCTURE AND DOES NOT INCLUDE ANY NEW IMPROVEMENTS BUILT ON LOTS 448-454 & THE AMENITY AREA.
 - A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG SIDE PROPERTY LINES, A 20 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG THE REAR PROPERTY LINE AND A 30 FOOT EASEMENT FOR UTILITIES, DRAINAGE, PEDESTRIAN & SIDEWALK ALONG THE FRONT PROPERTY LINE. SEE FINAL PLAT.

- SYMBOL LEGEND:**
- EXISTING CONC. MON.
 - EXISTING IRON ROD, EIR
 - EXISTING BRASS DISK
 - CALCULATED POINT
 - WATER SERVICE
 - SEWER CLEANOUT (TYP)
 - TRANSFORMER
 - WATER VALVE
 - FIRE HYDRANT
 - BLOWOFF
 - DRAINAGE STRUCTURE
 - SEWER MANHOLE
 - UTILITY EASE
 - TOTAL DISTANCE
 - ABOVE GRADE
 - BELOW GRADE



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SURVEYOR'S CERTIFICATE

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (SEE NOTES FOR DEED REFERENCES) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED OR DRAWN AS DASHED/BROKEN LINES THAT THE RATE OF PRECISION OR POSITIONAL ACCURACY IS 1/10,000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NC 36.000).

THIS 17TH DAY OF JANUARY, 2024.

JOHN M. HURDLE, PLS. L-52041

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE (1) BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY QUIBLE & ASSOCIATES, P.C. AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS, AND (2) A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS (STREET TREES & ASPHALT TOP COAT) MUST BE COMPLETED WITHIN ONE YEAR OF RECORDATION OF FINAL PLAT, ACCORDING TO PLANS AND SPECIFICATIONS PREPARED BY QUIBLE & ASSOCIATES, P.C.

DATE: MICHAEL W. STRADER, JR., P.E. REG.# 037818

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C1	84.15'	1500.00'	84.14'	N 07° 16' 38" W
C2	108.67'	480.00'	108.44'	N 00° 41' 04" E
C3	128.35'	310.00'	127.44'	N 04° 41' 24" W
C4	25.46'	310.00'	25.45'	N 18° 34' 14" W
C5	23.65'	260.00'	23.64'	N 18° 34' 13" W
C6	164.71'	260.20'	166.71'	S 56° 21' 54" W
C7	94.37'	14.42'	96.27'	S 88° 06' 18" E
C8	144.66'	1020.83'	144.54'	S 61° 17' 04" E
C9	40.65'	2250.59'	40.64'	S 72° 24' 58" E

NC License # C-028
SINCE 1959

Quible & Associates, P.C.
CURRITUCK COUNTY, NC
ENVIRONMENTAL SCIENCES & SURVEYING
HARRINGTON NOT OFFERED AT BLACK HILL OFFICE
8446 CAROLINA HWY
90 CHURCH STREET
BLACK MOUNTAIN, NC 28711
PHONE: (252) 891-8100
FAX: (252) 891-8101
WWW.QUIBLEANDASSOCIATES.COM

PRELIMINARY PLAN - NOT FOR RECORDATION OR CONVEYANCES OR SALES

CERTIFICATION

REVISIONS

NO.	DATE	DESCRIPTION
1	06/18/22	ADDED SECTION 2A IMPROVEMENTS
2	01/17/24	ADDED SECTION 2B IMPROVEMENTS

AS-BUILT SURVEY

THE CURRITUCK CLUB
PHASE 8A, SECTION 1 & 2

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. **P92009.8**

DESIGNED BY **OTH**

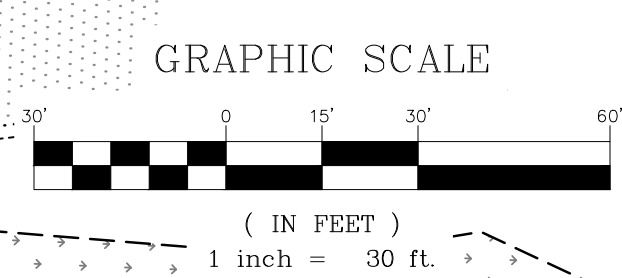
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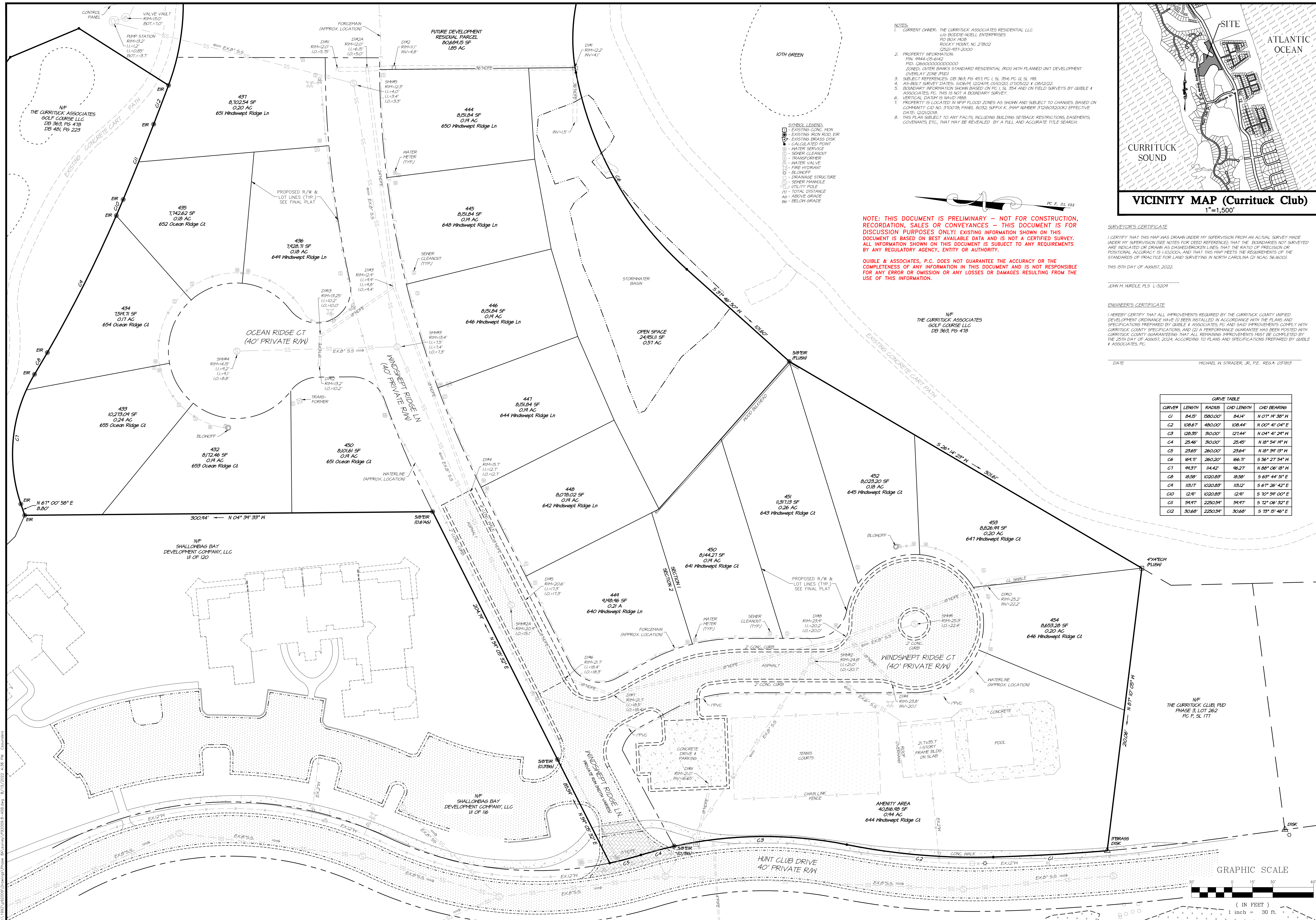
CHECKED BY **CS/DT/JH**

ISSUE DATE **03/26/20**

SHEET NO. **1**

OF 1 SHEETS



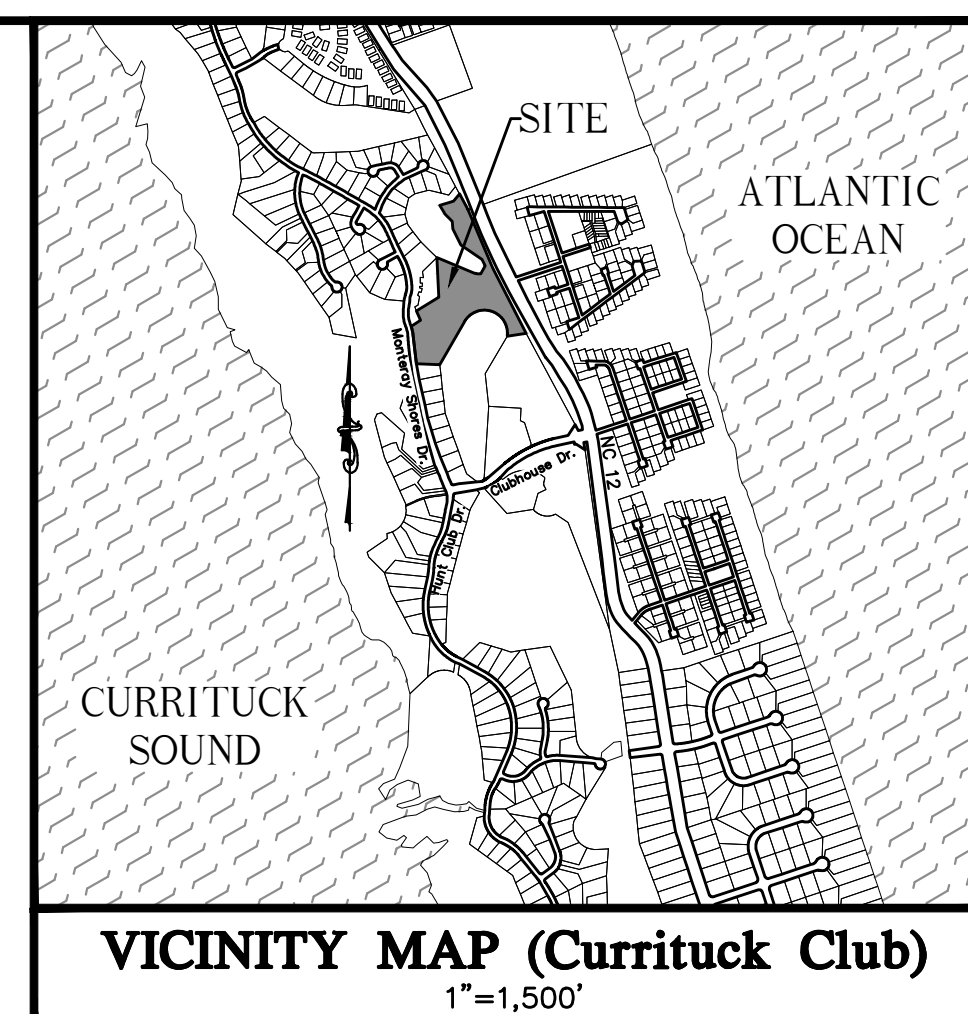


- NOTES:
- CURRENT OWNER: THE CURRITUCK ASSOCIATES RESIDENTIAL LLC
610 BOODRE-KELL ENTERPRISES
PO BOX 1800
ROCKY MOUNT, NC 27802
(252)-437-2000
 - PROPERTY INFORMATION:
PIN: 1944-05-642
PID: 1945000000000000
ZONED: OUTER BANKS STANDARD RESIDENTIAL (RO) WITH PLANNED UNIT DEVELOPMENT OVERLAY ZONE (PUD)
 - SUBJECT REFERENCES: DB 363, PG 457, PG 1, SL 354, PG 0, SL 180
 - AS-BUILT SURVEY DATES: 10/26/19, 12/24/19, 01/02/20, 07/05/22 & 08/23/22
 - BOUNDARY INFORMATION SHOWN BASED ON PG 1, SL 354 AND ON FIELD SURVEYS BY GURBLE & ASSOCIATES, P.C. THIS IS NOT A BOUNDARY SURVEY.
 - VERTICAL DATUM IS NAVD 1983
 - PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES, BASED ON COMMUNITY C/D NO. 370018, PANEL 0032, SUFFIX K, (MAP NUMBER 372803200K) EFFECTIVE DATE: 12/20/2018
 - THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.

- SYMBOL LEGEND:
- EXISTING CONC. MON.
 - EXISTING IRON ROD, EIR
 - EXISTING BRASS DISK
 - CALCULATED POINT
 - WATER SERVICE
 - SEWER CLEANOUT
 - TRANSFORMER
 - WATER VALVE
 - FIRE HYDRANT
 - BLOWOFF
 - DRAINAGE STRUCTURE
 - SEWER MANHOLE
 - UTILITY POLE
 - TOTAL DISTANCE
 - ABOVE GRADE
 - BELOW GRADE

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SURVEYOR'S CERTIFICATE

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (SEE NOTES FOR DEED REFERENCES), THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED OR DRAWN AS DASHED/BROKEN LINES, THAT THE RATE OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.0600).

THIS 15TH DAY OF AUGUST, 2022.

JOHN M. HURDLE, PLS. L-52014

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE (1) BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY GURBLE & ASSOCIATES, P.C. AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS, AND (2) A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS MUST BE COMPLETED BY THE 30TH DAY OF AUGUST, 2024, ACCORDING TO PLANS AND SPECIFICATIONS PREPARED BY GURBLE & ASSOCIATES, P.C.

DATE: MICHAEL K. STRADER, JR., P.E. REG.# 0378018

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C1	84.15'	1500.00'	84.14'	N 07° 11' 38" W
C2	108.67'	480.00'	108.44'	N 00° 41' 04" E
C3	128.35'	310.00'	127.44'	N 04° 41' 24" W
C4	25.46'	310.00'	25.45'	N 10° 54' 14" W
C5	23.65'	260.00'	23.64'	N 10° 34' 13" W
C6	184.71'	260.20'	186.71'	S 56° 27' 54" W
C7	94.37'	14.42'	96.27'	N 88° 06' 10" W
C8	10.59'	1020.83'	10.59'	S 63° 44' 51" E
C9	131.71'	1020.83'	113.12'	S 67° 36' 42" E
C10	12.91'	1020.83'	12.91'	S 70° 54' 00" E
C11	54.97'	2250.54'	54.97'	S 72° 06' 32" E
C12	30.68'	2250.54'	30.68'	S 73° 15' 46" E

QUIBLE & ASSOCIATES, P.C.
SINCE 1959
CURRITUCK COUNTY REGISTERED PROFESSIONAL SURVEYORS
ENVIRONMENTAL SCIENCES SURVEYING**
ENGINEERING/SURVEYING NOT OFFERED IN BLACK MOUNTAIN OFFICE**
8445 CAMAROCK HWY. 90 CHURCH STREET
POWELLVILLE, NC 27868 BLACK MOUNTAIN, NC 28711
PHONE: (252) 89-5437 FAX: (252) 89-5438
WWW.QUIBLEANDASSOCIATES.COM

PRELIMINARY PLAN NOT FOR RECORDATION OR SALES

CERTIFICATION

REVISIONS

NO.	DATE	DESCRIPTION
1	06/15/22	ADDED SECTION 2 IMPROVEMENTS

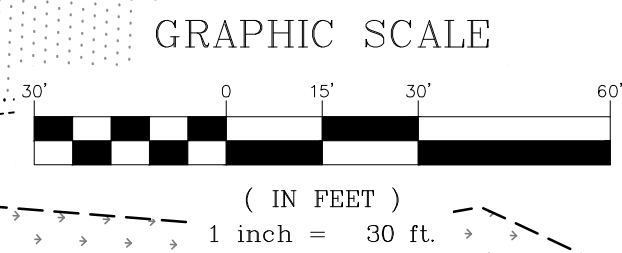
AS-BUILT SURVEY

THE CURRITUCK CLUB
PHASE 8A, SECTION 1 & 2

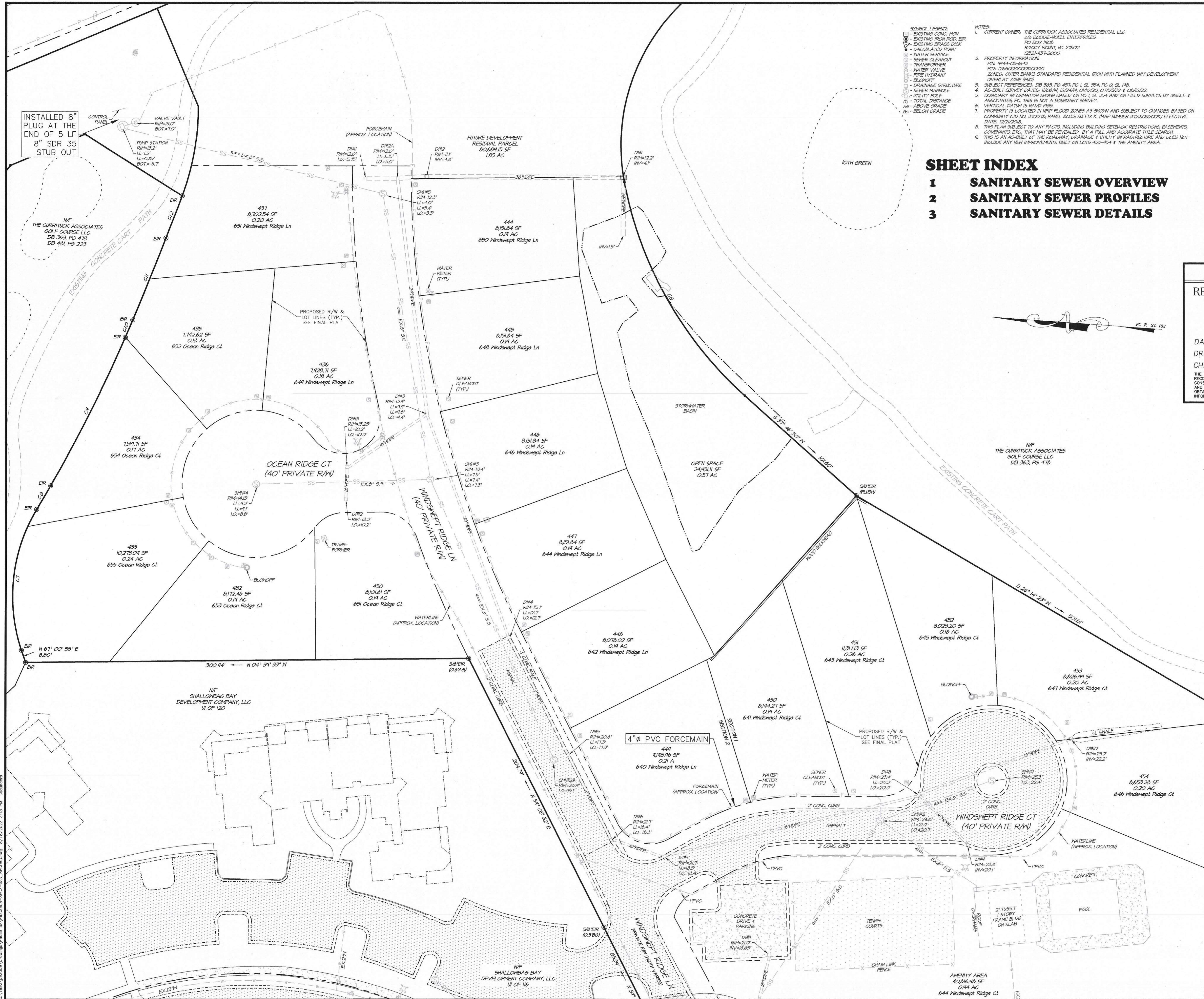
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P92009.8
DESIGNED BY OTH
DRAWN BY JMH
CHECKED BY CS/DT/JH
ISSUE DATE 03/26/20

SHEET NO. 1 OF 1 SHEETS



C:\Users\jgordon\Documents\Projects\AS-Built\AS-Built.dwg 8/15/2022 4:05 PM

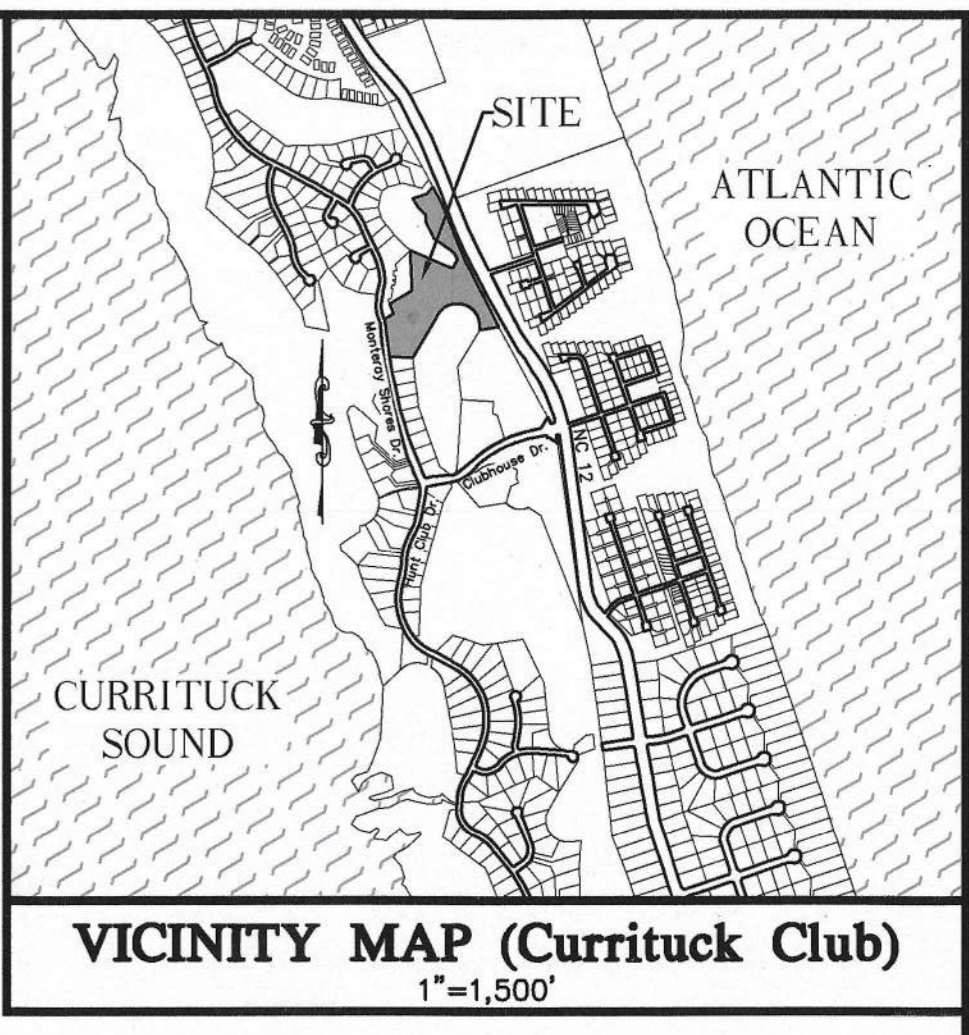


- SYMBOL LEGEND**
- EXISTING CONC. MAN
 - EXISTING IRON ROD, EIR
 - EXISTING BRASS DISK
 - CALCULATED POINT
 - WATER SERVICE
 - SEWER CLEANOUT
 - TRANSFORMER
 - WATER VALVE
 - FIRE HYDRANT
 - BLOWOFF
 - DRAINAGE STRUCTURE
 - SEWER MANHOLE
 - UTILITY POLE
 - TOTAL DISTANCE
 - ABOVE GRADE
 - BELOW GRADE

- NOTES**
1. CURRENT OWNER, THE CURRITUCK ASSOCIATES RESIDENTIAL LLC, 616 BODDIE-NOELL ENTERPRISES, PO BOX 1008, ROCKY MOUNT, NC 27802, (252) 481-2000
 2. PROPERTY INFORMATION: P.O. 9444-05-6142, P.O. 126600000000000, ZONED, OUTER BANKS STANDARD RESIDENTIAL (R24) WITH PLANNED UNIT DEVELOPMENT OVERLAY ZONE (PUD)
 3. SUBJECT REFERENCES: DB 363, PG. 453, FC 1, SL 354, PG. 2, SL 183
 4. AS-BUILT SURVEY DATES: 1/10/04, 1/24/04, 01/28/02, 4/08/02/02
 5. BOUNDARY INFORMATION SHOWN BASED ON PC 1, SL 354 AND ON FIELD SURVEYS BY GIBBLE & ASSOCIATES, P.C. THIS IS NOT A BOUNDARY SURVEY.
 6. VERTICAL DATUM IS NAVD 83.
 7. PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES, BASED ON COMMUNITY FLOOD INSURANCE PROGRAM MAP NUMBER 3702000000000000 EFFECTIVE DATE: 12/2/2008.
 8. THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, EASEMENTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
 9. THIS IS AN AS-BUILT OF THE ROADWAY, DRAINAGE & UTILITY INFRASTRUCTURE AND DOES NOT INCLUDE ANY NEW IMPROVEMENTS BUILT ON LOTS 450-454 & THE AMENITY AREA.

SHEET INDEX

- 1 SANITARY SEWER OVERVIEW**
- 2 SANITARY SEWER PROFILES**
- 3 SANITARY SEWER DETAILS**



RECORD DRAWING

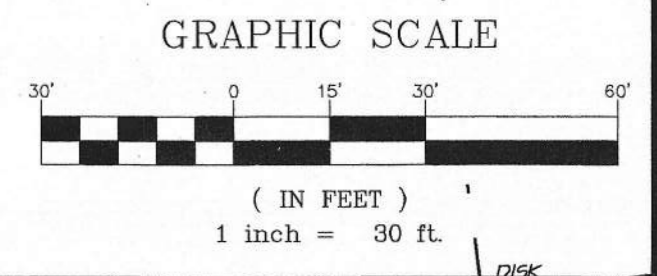
RECORD DRAWING BASED ON PERIODIC CONSTRUCTION OBSERVATION

DATE: 08/18/22
 DRAWN BY: CMS
 CHECKED BY: CMS

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CURVE TABLE

CURVER	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C1	84.85'	1580.00'	84.84'	N 07° 11' 38" W
C2	128.85'	480.00'	128.84'	N 00° 41' 04" E
C3	128.85'	310.00'	127.44'	N 04° 41' 24" W
C4	25.46'	310.00'	25.45'	N 18° 54' 14" W
C5	23.85'	280.00'	23.84'	N 18° 34' 13" W
C6	164.71'	260.00'	166.71'	5 56° 27' 54" W
C7	44.37'	14.42'	46.27'	N 88° 08' 18" W
C8	18.50'	1020.83'	18.50'	5 63° 44' 51" E
C9	18.17'	1020.83'	18.12'	5 67° 26' 42" E
C10	12.91'	1020.83'	12.91'	5 70° 54' 00" E
C11	51.47'	2250.54'	51.47'	5 72° 08' 32" E
C12	30.60'	2250.54'	30.60'	5 73° 15' 46" E



SANITARY SEWER OVERVIEW

SANITARY SEWER *RECORD DRAWING*

THE CURRITUCK CLUB PHASE 8A, SECTION 2

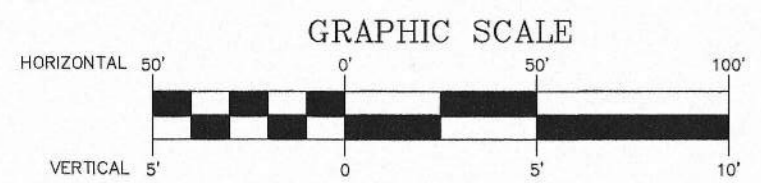
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P92009.8
 DESIGNED BY OTH
 DRAWN BY JMH/CMS
 CHECKED BY MWS
 ISSUE DATE 08/18/22

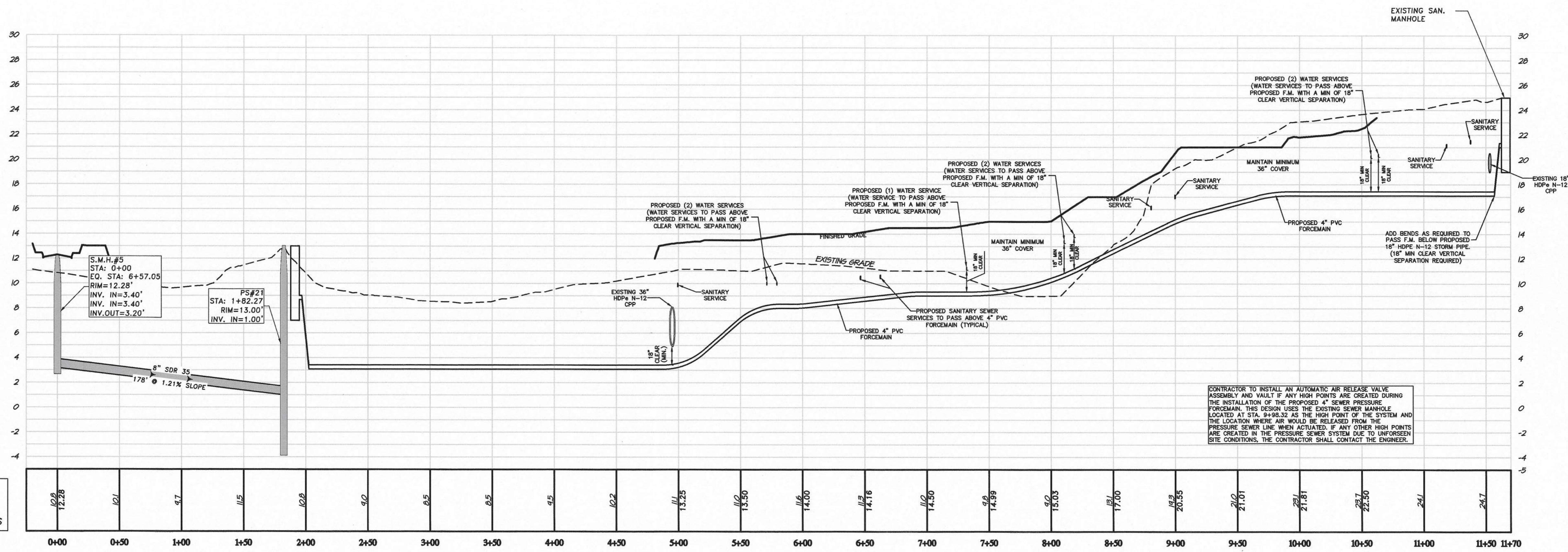
SHEET NO. **1** OF 3 SHEETS

NC License: C-10208
Quible & Associates, P.C.
 ENGINEERING & CONSULTING & PLANNING
 8488 CAROLINE HWY. SUITE B, ROCKY MOUNT, NC 27802
 PH: (252) 491-1447 FAX: (252) 491-1448
 WWW: QUIBLEANDASSOCIATES.COM

PROFILE VIEW SHOWN PER DESIGN FOR REFERENCE AND DOES NOT REFLECT ACTUAL INSTALL LOCATION



PROFILE OF FORCEMAIN
SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'
VERTICAL SCALE IS EXAGGERATED 10 TIMES



CONTRACTOR TO INSTALL AN AUTOMATIC AIR RELEASE VALVE ASSEMBLY AND VAULT IF ANY HIGH POINTS ARE CREATED DURING THE INSTALLATION OF THE PROPOSED 4" SEWER PRESSURE FORCEMAIN. THIS DESIGN USES THE EXISTING SEWER MANHOLE LOCATED AT STA. 9+98.32 AS THE HIGH POINT OF THE SYSTEM AND THE LOCATION WHERE AIR WOULD BE RELEASED FROM THE PRESSURE SEWER LINE WHEN ACTUATED. IF ANY OTHER HIGH POINTS ARE CREATED IN THE PRESSURE SEWER SYSTEM DUE TO UNFORESEEN SITE CONDITIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER.

RECORD DRAWING
RECORD DRAWING BASED ON PERIODIC CONSTRUCTION OBSERVATION

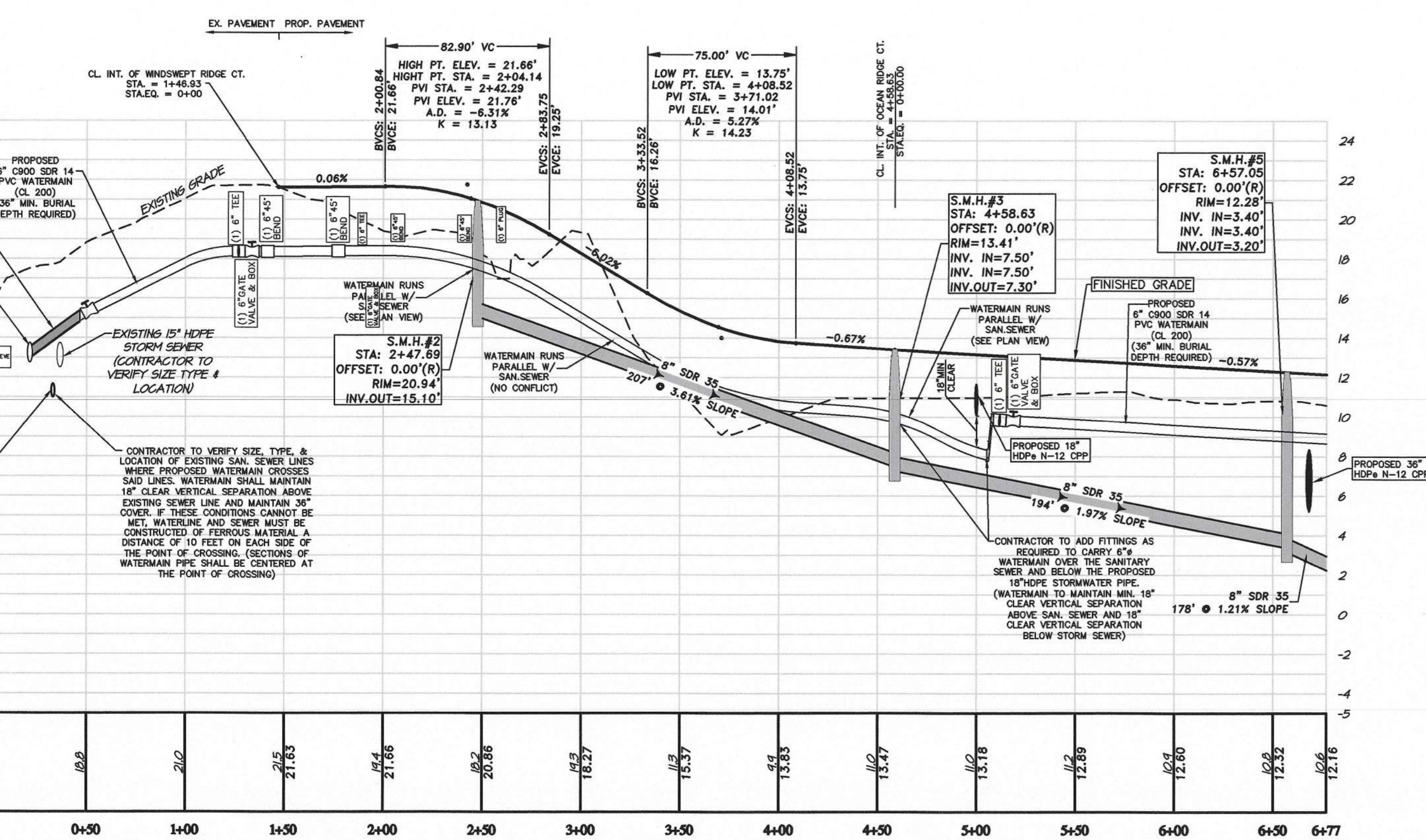
DATE: 08/18/22
DRAWN BY: CMS
CHECKED BY: CMS

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SANITARY SEWER PROFILES
SANITARY SEWER *RECORD DRAWING*
THE CURRITUCK CLUB PHASE 8A, SECTION 2
NORTH CAROLINA
CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP

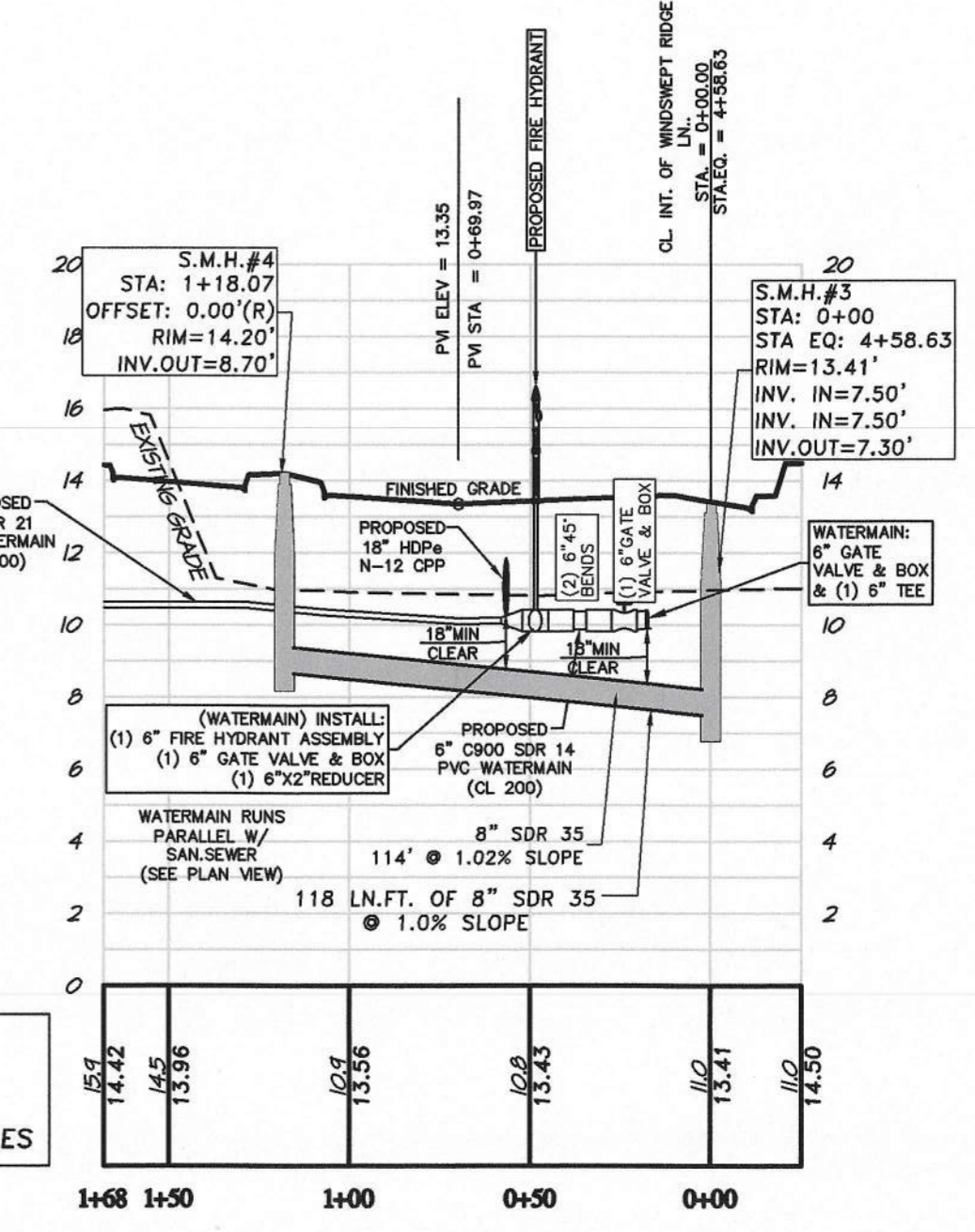
PROJECT NO. P92009.8
DESIGNED BY OTH
DRAWN BY JMH/CMS
CHECKED BY MWS
ISSUE DATE 08/18/22
SHEET NO. **2**
OF 3 SHEETS

PROFILE OF WINDSWEPT RIDGE LANE
SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'
VERTICAL SCALE IS EXAGGERATED 10 TIMES



PROFILE VIEW SHOWN PER DESIGN FOR REFERENCE AND DOES NOT REFLECT ACTUAL INSTALL LOCATION

PROFILE OF OCEAN RIDGE COURT
SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'
VERTICAL SCALE IS EXAGGERATED 10 TIMES



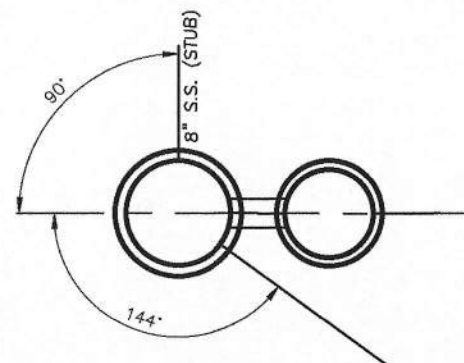
Quible & Associates, P.C.
ENGINEERING • CONSULTING • PLANNING
ENVIRONMENTAL SCIENCES • SURVEYING
1000 NOT OF OFFICE
90 CHURCH STREET
SUITE 200
RALEIGH, NC 27601
Phone: (252) 441-7472
Fax: (252) 441-7472
www.quibleandassociates.com

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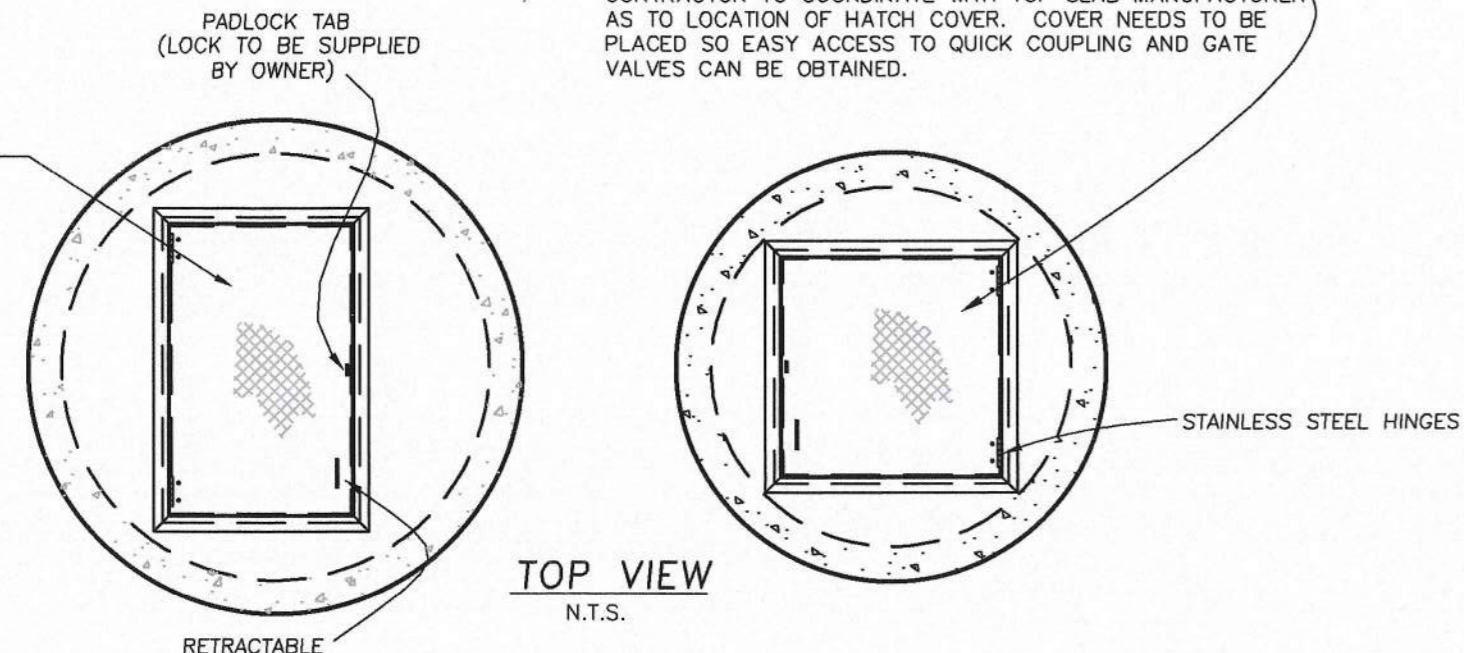
NO.	DATE	REVISIONS

G:\1924\p2009\Drawings\Phase 8A\92009.8-SECS-SAN RECORD.dwg 8/18/2022 3:13 PM



**P.S. 21
S.S. INLET ANGLES**

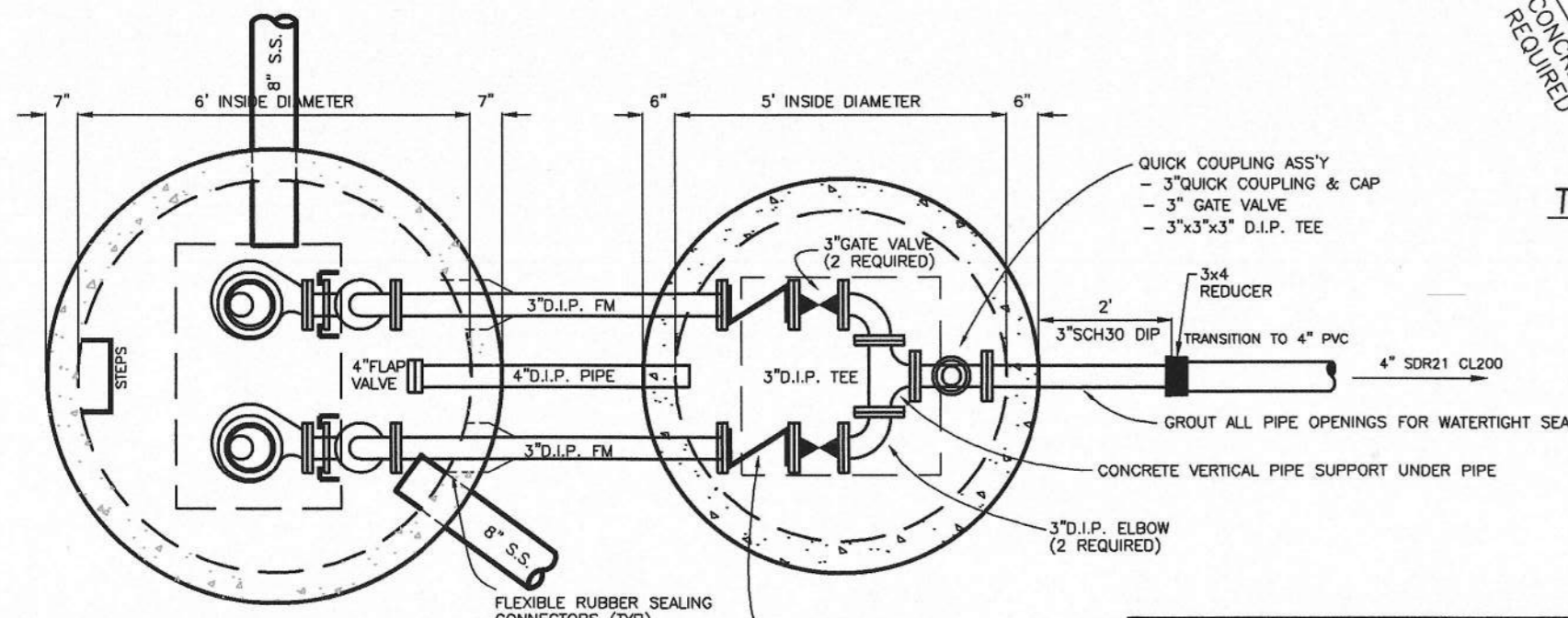
LOCKABLE SINGLE DOOR ALUMINUM ACCESS COVER TO BE HALLIDAY PRODUCTS, INC. MODEL NO. S13R2048, OR EQUAL. CONTRACTOR TO COORDINATE CAST-IN-PLACE COVER LOCATION AND SIZE WITH PUMP MANUFACTURER'S MOUNTING INSTRUCTIONS.



**TOP VIEW
N.T.S.**

BARNES SUBMERSIBLE NON-CLOG PUMPS:

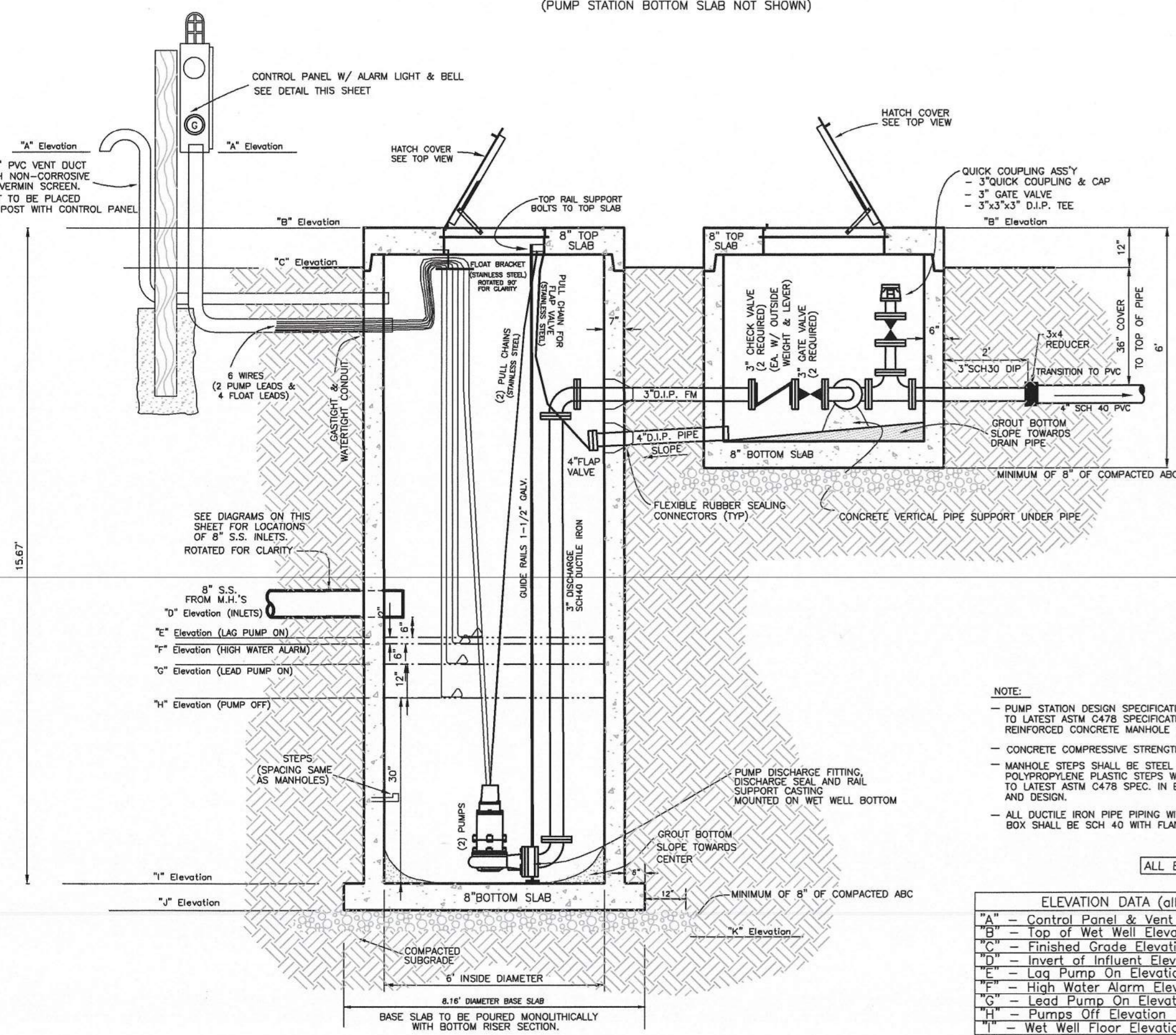
- PUMP STATION #21
- MYERS 3PH
- 4.52\"/>
- 5.0 BHP
- SPEED 3450 RPM
- 230 VOLT 1 PHASE MOTOR
- (CONTRACTOR TO VERIFY EXISTING POWER VOLTAGE AND PHASE PRIOR TO ORDERING PUMPS AND CONTROLS)



**PLAN VIEW
N.T.S.**

(PUMP STATION BOTTOM SLAB NOT SHOWN)

PUMP LAYOUT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL INSTALLATION MAY VARY AS PER PUMP MANUFACTURER'S INSTRUCTIONS.



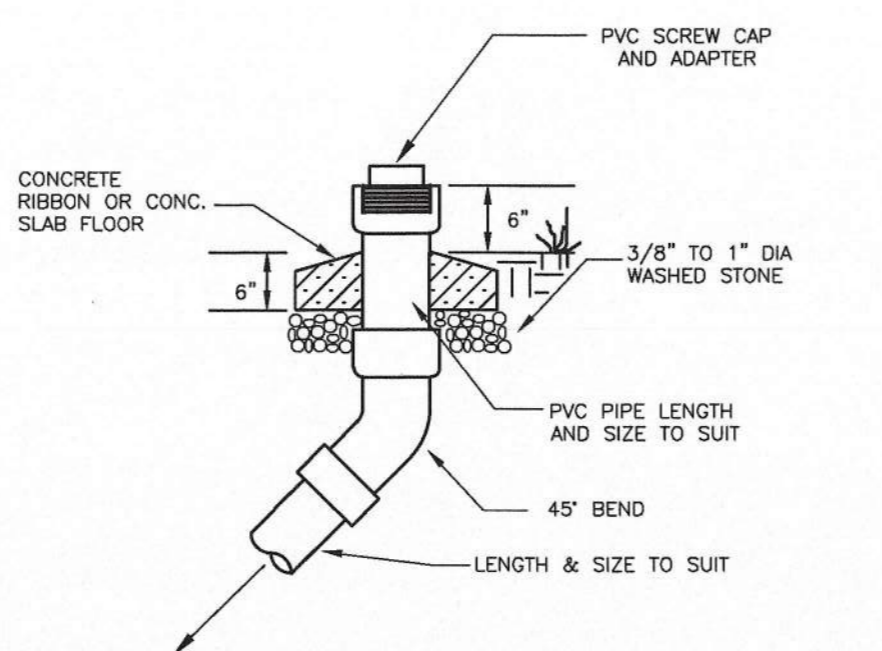
**SECTION
PUMP STATION #21
N.T.S.**

- NOTE:**
- PUMP STATION DESIGN SPECIFICATIONS TO CONFORM TO LATEST ASTM C478 SPECIFICATIONS FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
 - CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
 - MANHOLE STEPS SHALL BE STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS WHICH CONFORM TO LATEST ASTM C478 SPEC. IN BOTH MATERIAL AND DESIGN.
 - ALL DUCTILE IRON PIPE PIPING WITHIN PUMP STATION AND VALVE BOX SHALL BE SCH 40 WITH FLANGE TYPE FITTINGS.

ELEVATION DATA (all elev's m.s.l.)		P.S.#21
A	Control Panel & Vent	17.00
B	Top of Wet Well Elevation	13.00
C	Finished Grade Elevation	12.01
D	Invert of Influent Elevation (8\"/>	
E	Low Pump On Elevation	0.33
F	High Water Alarm Elevation	0.33
G	Lead Pump On Elevation	(-10.17)
H	Pumps Off Elevation	(-11.17)
J	Wet Well Floor Elevation	(-3.87)
K	Bottom Elevation	(-4.24)
L	Bottom of Stone Elevation	(-5.00)

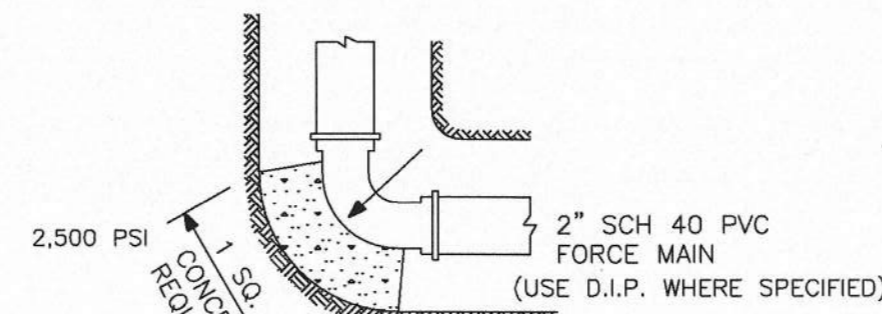
TYPICAL SEWER CLEAN-OUT

N.T.S.



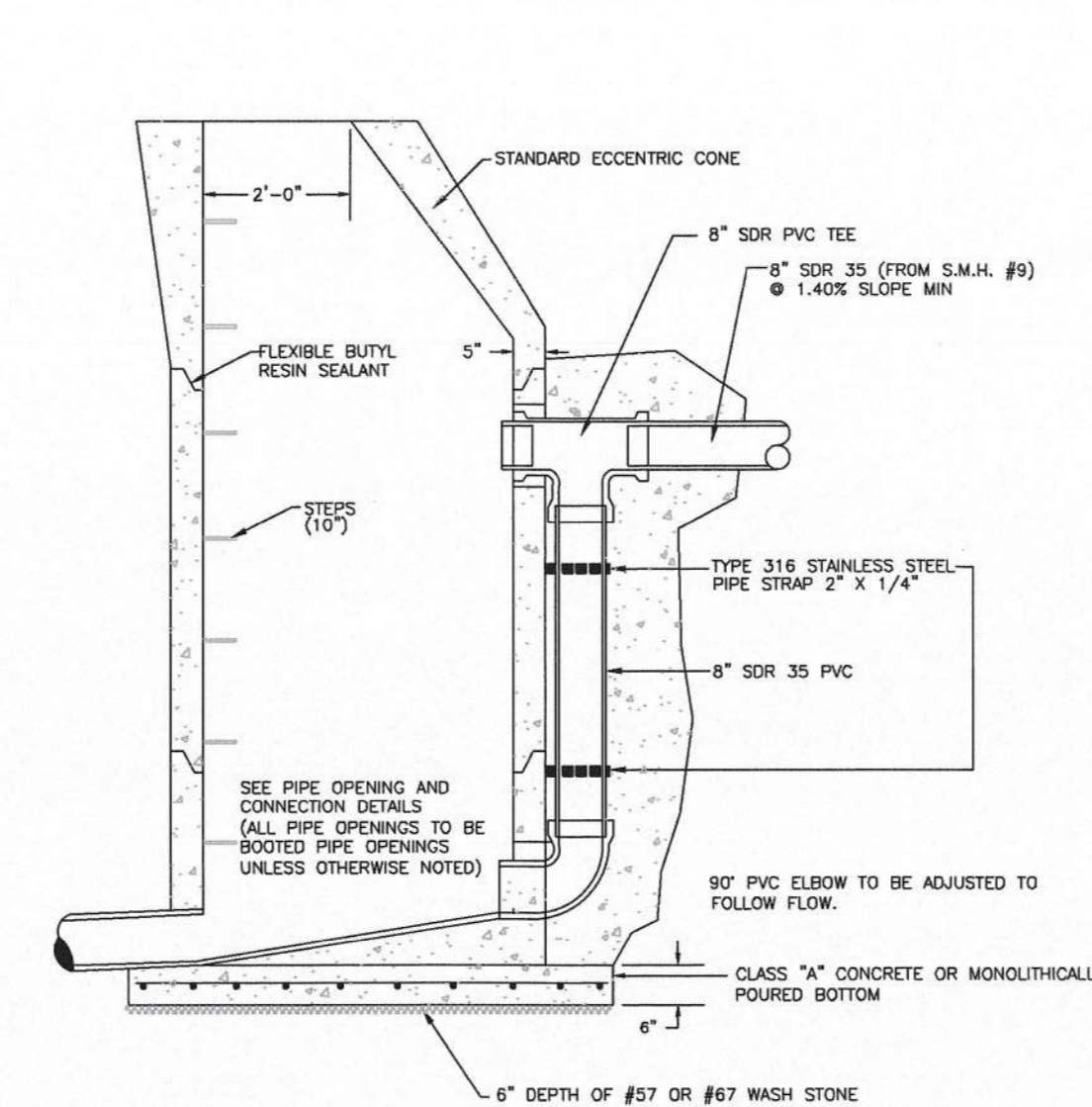
TYPICAL SEWER CLEAN-OUT

N.T.S.



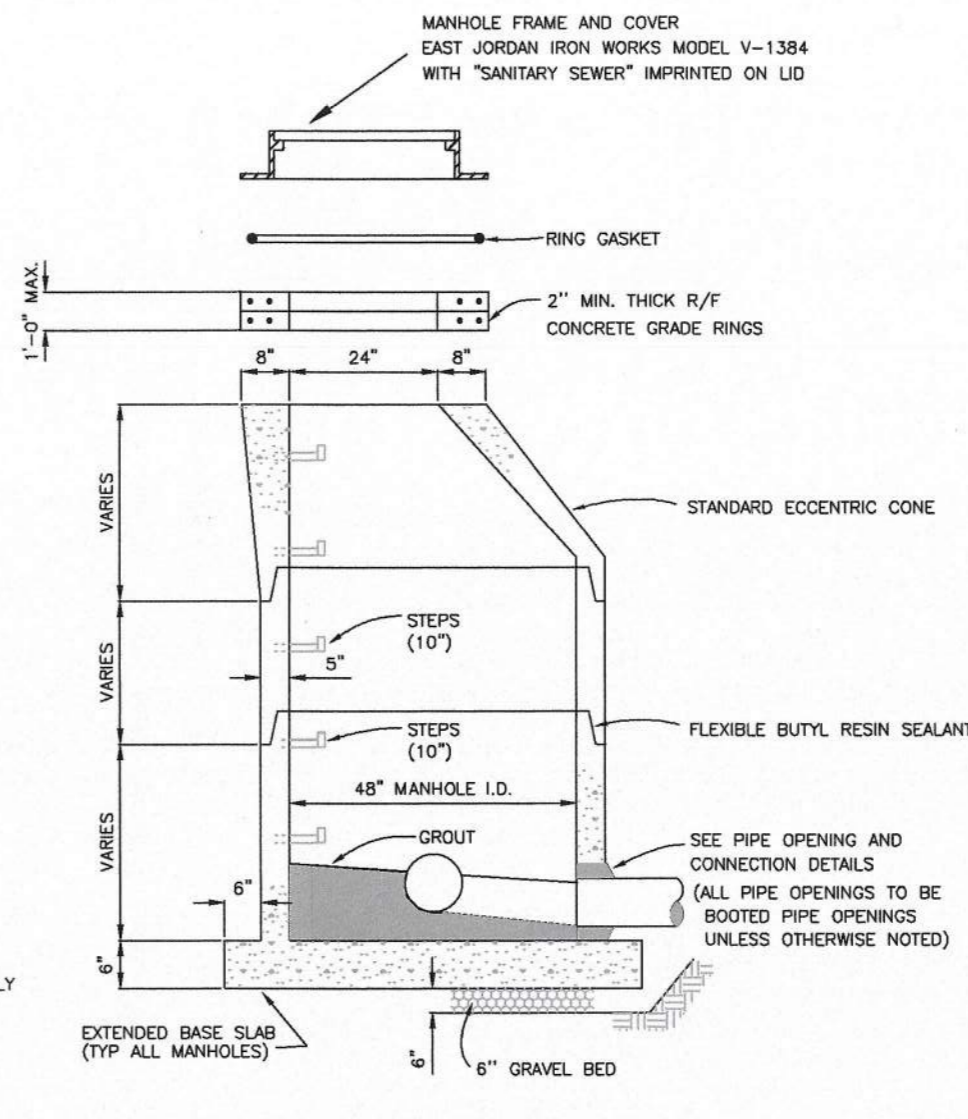
**FORCE MAIN
THRUST BLOCKS @ BENDS**

N.T.S.



OUTSIDE DROP MANHOLE (S.M.H.#8)

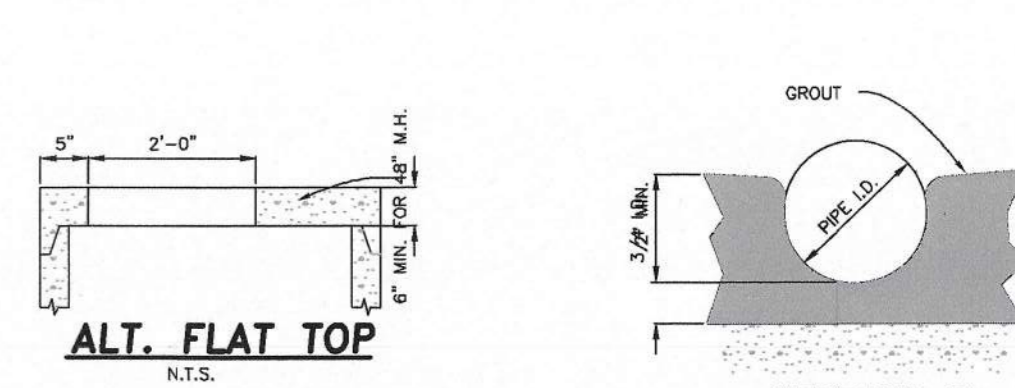
N.T.S.



SECTION A

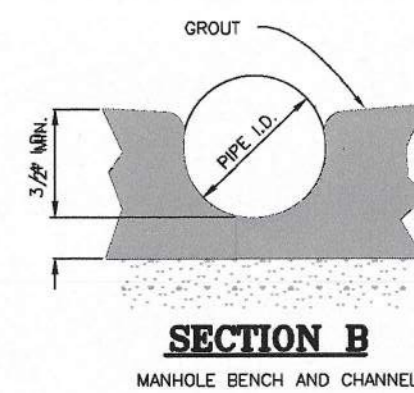
STANDARD PRECAST CONCRETE MANHOLE

N.T.S.



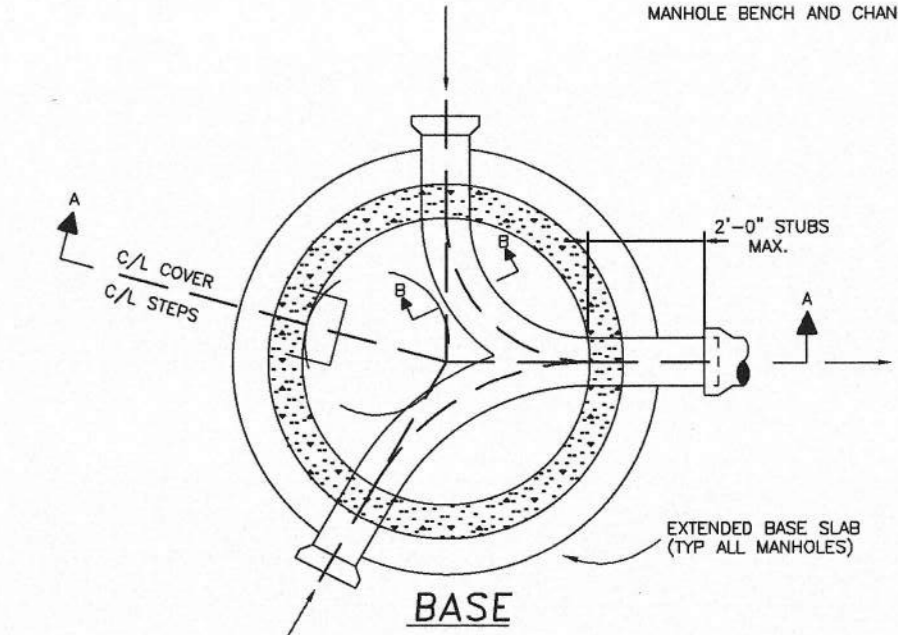
ALT. FLAT TOP

N.T.S.



SECTION B

MANHOLE BENCH AND CHANNEL

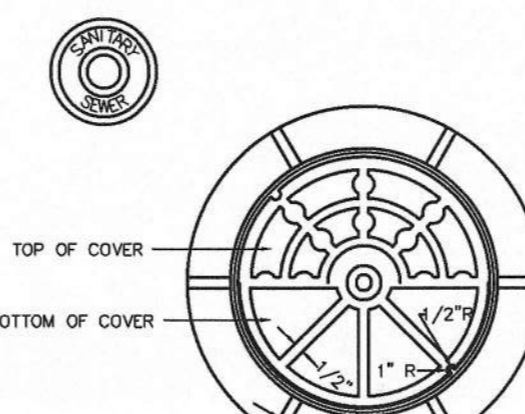


BASE

IN FIELD PIPE OPENINGS

N.T.S.

- NOTES:**
- THIS APPLIES TO ALL PIPES 6\"/>
 - CLOSE WITH NON-SHRINK GROUT AFTER PIPE INSTALLATION.



EAST JORDAN IRON WORKS, INC. MANHOLE FRAME AND COVER - V-1384 W/ SANITARY SEWER IMPRINTED ON THE LID

MINIMUM AVERAGE WEIGHTS	
RING	180 LBS
COVER	135 LBS
TOTAL	315 LBS

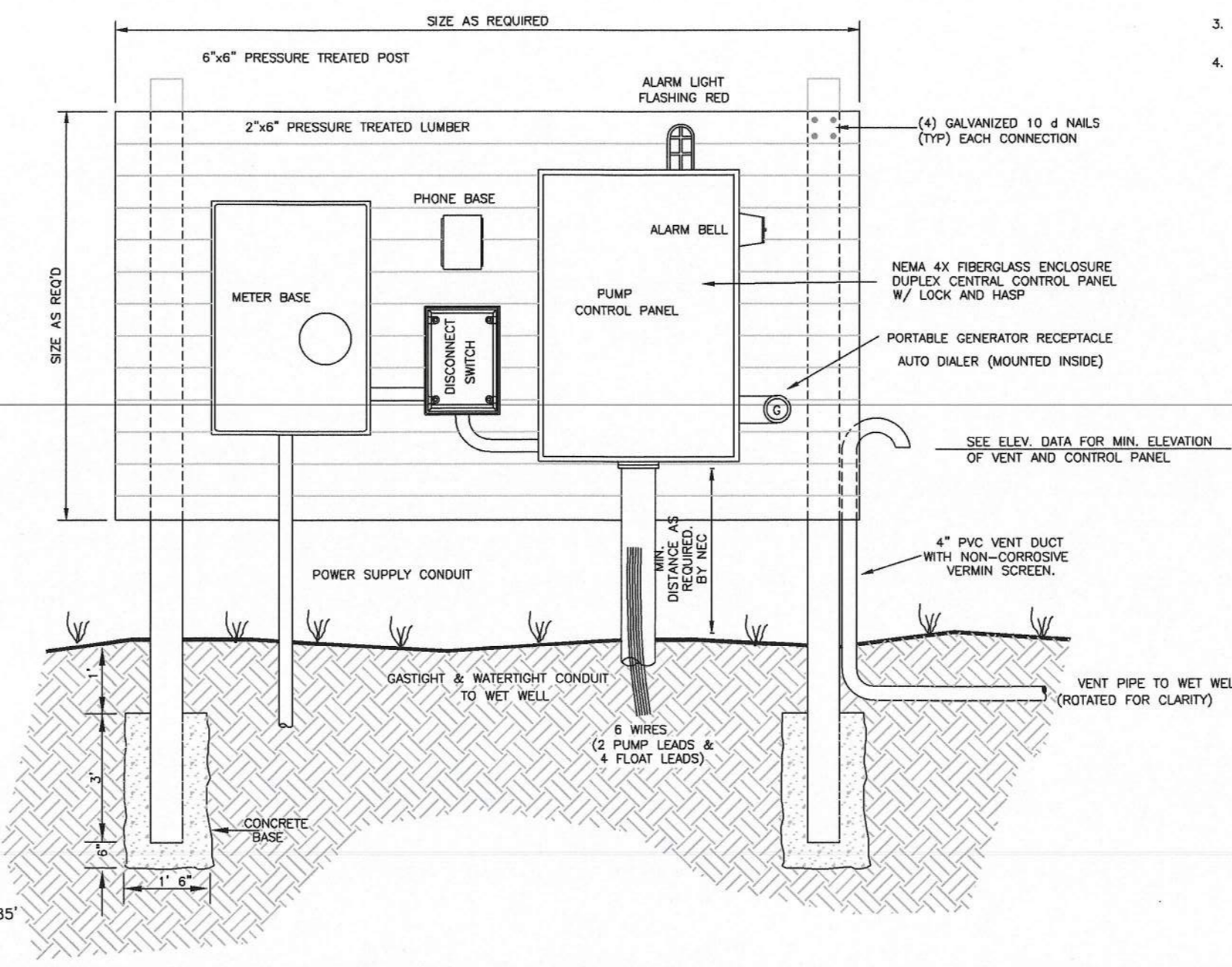
TYPICAL MANHOLE RING & COVER DETAILS

N.T.S.

BOOTED PIPE OPENINGS

N.T.S.

- NOTES:**
- PIPE TO MANHOLE CONNECTION TO CONFORM TO LATEST ASTM C-478 SPECIFICATION.
 - PSX FLEXIBLE BOOT CONNECTOR TO CONFORM TO LATEST ASTM C-923 SPECIFICATION.
 - BOOT CONNECTOR IS MANUFACTURED BY THE PRESS SEAL GASKET CORP., FORT WAYNE, IN.
 - SEE MANUFACTURER'S LITERATURE FOR FURTHER INFORMATION AND DETAIL.



CONTROL PANEL & VENT MOUNTING

N.T.S.

RECORD DRAWING

RECORD DRAWING BASED ON PERIODIC CONSTRUCTION OBSERVATION

DATE: 08/18/22
DRAWN BY: CMS
CHECKED BY: CMS

PROJECT NO. P92009.8
DESIGNED BY: OTH
DRAWN BY: JMH/CMS
CHECKED BY: MWS
ISSUE DATE: 08/18/22

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NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL 043682
GLENN M. SAUNDERS

Quible & Associates, P.C.
ENGINEERING • CONSULTING • PLANNING
ENVIRONMENTAL SCIENCES • SURVEYING
1405 WEST 10TH STREET, SUITE 100
8446 CANTON, INDIANAPOLIS, IN 46219
PHONE: (317) 491-8147
WWW.QUIBLEANDASSOCIATES.COM

FINAL DRAWINGS FOR REVIEW PURPOSES ONLY

REVISIONS

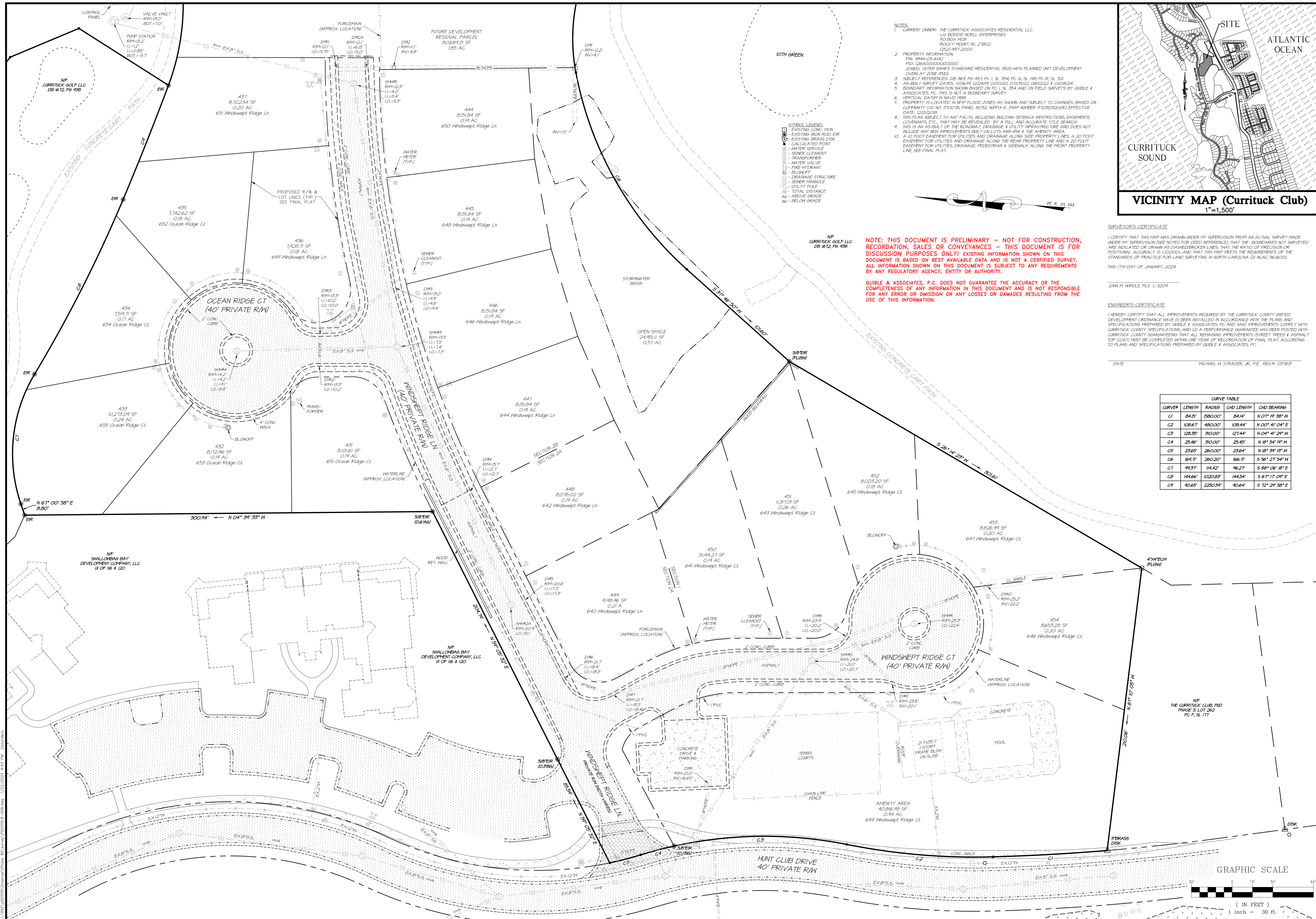
SANITARY SEWER DETAILS

SANITARY SEWER *RECORD DRAWING*
THE CURRITUCK CLUB PHASE 8A, SECTION 2

NORTH CAROLINA
CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP

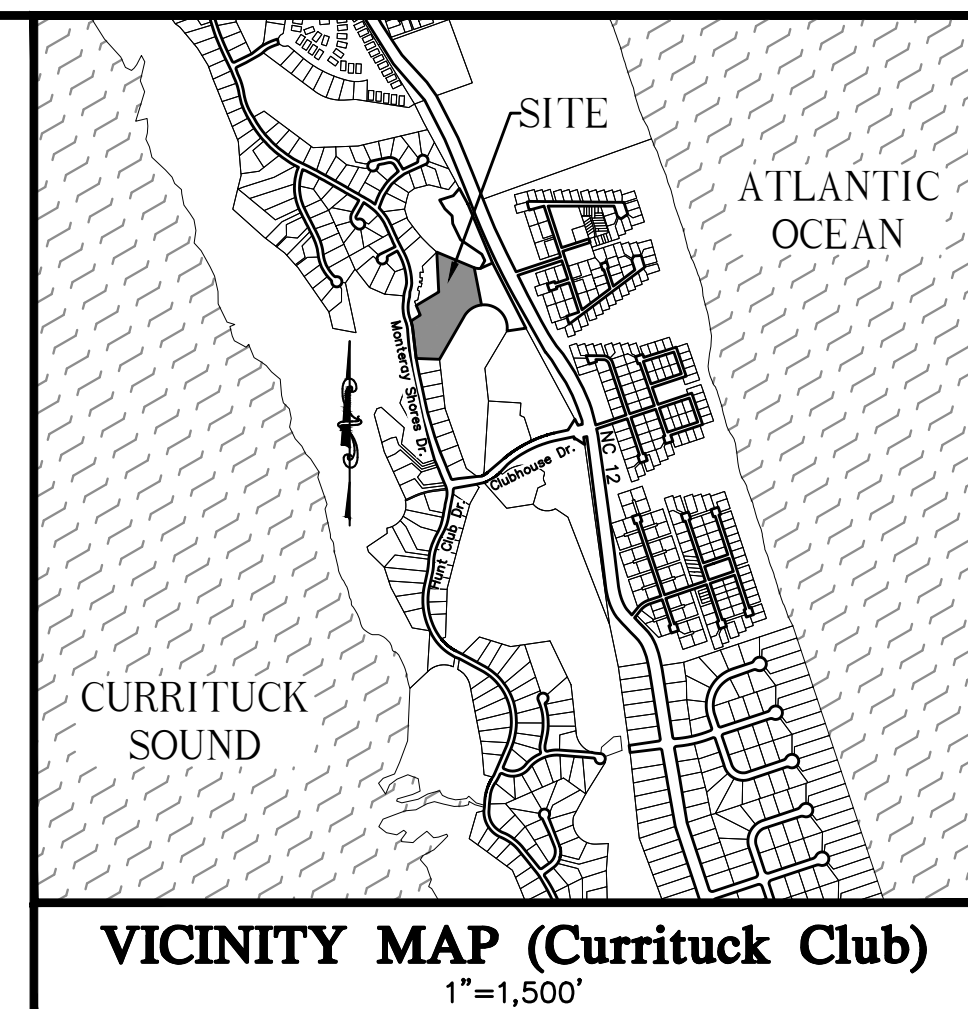
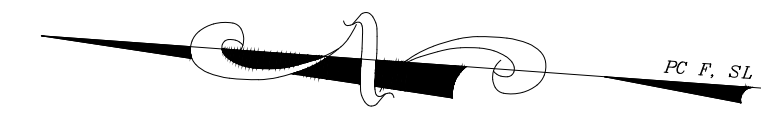
PROJECT NO. P92009.8
DESIGNED BY: OTH
DRAWN BY: JMH/CMS
CHECKED BY: MWS
ISSUE DATE: 08/18/22

SHEET NO. **3** OF 3 SHEETS



- NOTES:**
- CURRENT OWNER: THE CURRITUCK ASSOCIATES RESIDENTIAL LLC
616 BOYDREKELL ENTERPRISES
PO BOX 1909
ROCKY MOUNT, NC 27802
(800) 437-2000
 - PROPERTY INFORMATION:
PIN: 194405440
PID: 126500000000000000
ZONED: OUTER BANKS STANDARD RESIDENTIAL (RO) WITH PLANNED UNIT DEVELOPMENT OVERLAY ZONE (PUD)
 - SUBJECT REFERENCES: DB 368, PG 457; PC 1, SL 354; PC 2, SL 140; PC 3, SL 321
 - AS-BUILT SURVEY DATES: 10/26/14, 12/24/14, 01/02/15, 02/12/15, 03/12/15, 04/02/15
 - BOUNDARY INFORMATION SHOWN BASED ON PC 1, SL 354 AND ON FIELD SURVEYS BY QUIBLE & ASSOCIATES, P.C. THIS IS NOT A BOUNDARY SURVEY.
 - VERTICAL DATUM IS NAVD 83.
 - PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES, BASED ON COMMUNITY C/D NO. 310018, PANEL 0032, SUFFIX K, (MAP NUMBER 312803200K) EFFECTIVE DATE: 12/22/2018.
 - THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
 - THIS IS AN AS-BUILT OF THE ROADWAY, DRAINAGE & UTILITY INFRASTRUCTURE AND DOES NOT INCLUDE ANY NEW IMPROVEMENTS BUILT ON LOTS 448-454 & THE AMENITY AREA.
 - A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG SIDE PROPERTY LINES, A 20 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG THE REAR PROPERTY LINE AND A 30 FOOT EASEMENT FOR UTILITIES, DRAINAGE, PEDESTRIAN & SIDEWALK ALONG THE FRONT PROPERTY LINE. SEE FINAL PLAT.

- SYMBOL LEGEND:**
- EXISTING CONC. MON.
 - EXISTING IRON ROD, EIR
 - EXISTING BRASS DISK
 - CALCULATED POINT
 - WATER SERVICE
 - SEWER CLEANOUT (TYP)
 - TRANSFORMER
 - WATER VALVE
 - FIRE HYDRANT
 - BLOWOFF
 - DRAINAGE STRUCTURE
 - SEWER MANHOLE
 - UTILITY EASE
 - TOTAL DISTANCE
 - ABOVE GRADE
 - BELOW GRADE



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SURVEYOR'S CERTIFICATE

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (SEE NOTES FOR DEED REFERENCES) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED OR DRAWN AS DASHED/BROKEN LINES THAT THE RATE OF PRECISION OR POSITIONAL ACCURACY IS 1/10,000', AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.0600).

THIS 17TH DAY OF JANUARY, 2024.

JOHN M. HURDLE, PLS. L-52041

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE (1) BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY QUIBLE & ASSOCIATES, P.C. AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS, AND (2) A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS (STREET TREES & ASPHALT TOP COAT) MUST BE COMPLETED WITHIN ONE YEAR OF RECORDATION OF FINAL PLAT, ACCORDING TO PLANS AND SPECIFICATIONS PREPARED BY QUIBLE & ASSOCIATES, P.C.

DATE: MICHAEL W. STRADER, JR., P.E. REG.# 037819

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C1	84.15'	1500.00'	84.14'	N 07° 16' 38" W
C2	108.67'	480.00'	108.44'	N 00° 41' 04" E
C3	128.35'	310.00'	127.44'	N 04° 41' 24" W
C4	25.46'	310.00'	25.45'	N 18° 54' 14" W
C5	23.65'	260.00'	23.64'	N 18° 34' 13" W
C6	164.71'	260.20'	166.71'	S 56° 21' 54" W
C7	94.37'	14.42'	96.27'	S 88° 06' 18" E
C8	144.66'	1020.83'	144.54'	S 61° 17' 04" E
C9	40.65'	2250.59'	40.64'	S 72° 24' 58" E

NC License # C-028
SINCE 1959

Quible & Associates, P.C.
CURRITUCK COUNTY, NC
ENVIRONMENTAL SCIENCES & SURVEYING
WORKING NOT OFFERED AT BLACK HILL OFFICE
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90 CHURCH STREET
BLACK MOUNTAIN, NC 28711
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PRELIMINARY PLAN - NOT FOR RECORDATION OR CONVEYANCES OR SALES

CERTIFICATION

PROJECT NO. P92009.8

DESIGNED BY OTH

DRAWN BY JMH

CHECKED BY CS/DT/JH

ISSUE DATE 03/26/20

SHEET NO. 1 OF 1 SHEETS

AS-BUILT SURVEY

THE CURRITUCK CLUB

PHASE 8A, SECTION 1 & 2

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

NO. DATE

1	06/18/22	ADDED SECTION 2A IMPROVEMENTS
2	01/17/24	ADDED SECTION 2B IMPROVEMENTS

REVISIONS

