

PRELIMINARY PLAT  
SEP 08, 2025  
NOT FOR RECORDATION  
OR CONVEYANCE

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.5030 FAX 252.562.6974 [www.timmons.com](http://www.timmons.com)

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DA<sup>-</sup>

09/08/2025

DRAW

JH

DESIGN  
M

CHECK

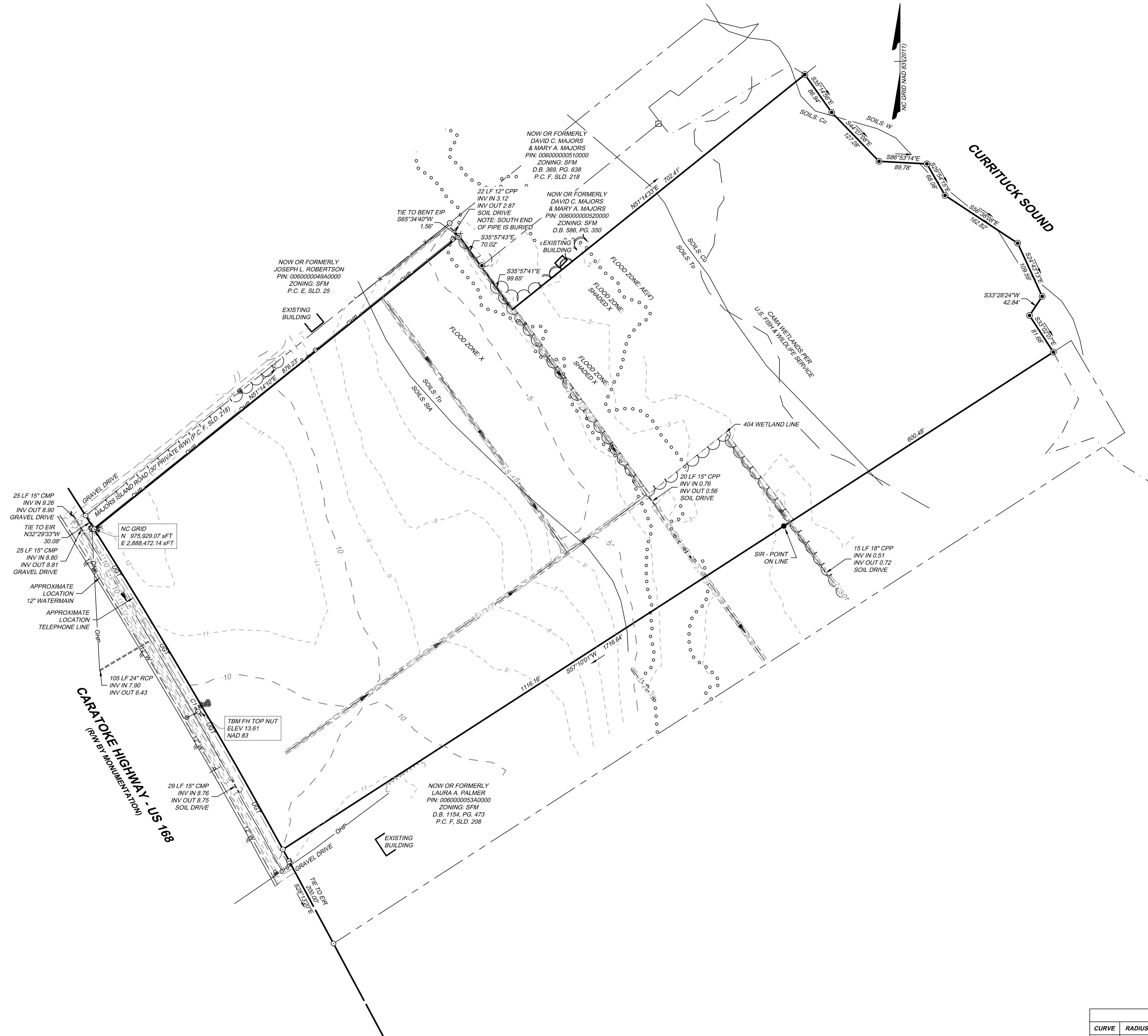
SCALE  
 $1'' = 100'$

**BOSWOOD ESTATES**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

JOB NO.  
44845

SHEET NO.  
C2.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to, construction, bidding, and/or construction taking without the express, written consent of TIMMONS GROUP.





S:\10944845 - Boswood Estates - Matthews Property - Barco, NC\DWG\Preliminary\44845-C3.DWG Preliminary\44845-C3.DWG - PRELIM PLAT.dwg | Printed on 9/8/2025 11:56 AM | by Kim Hamby

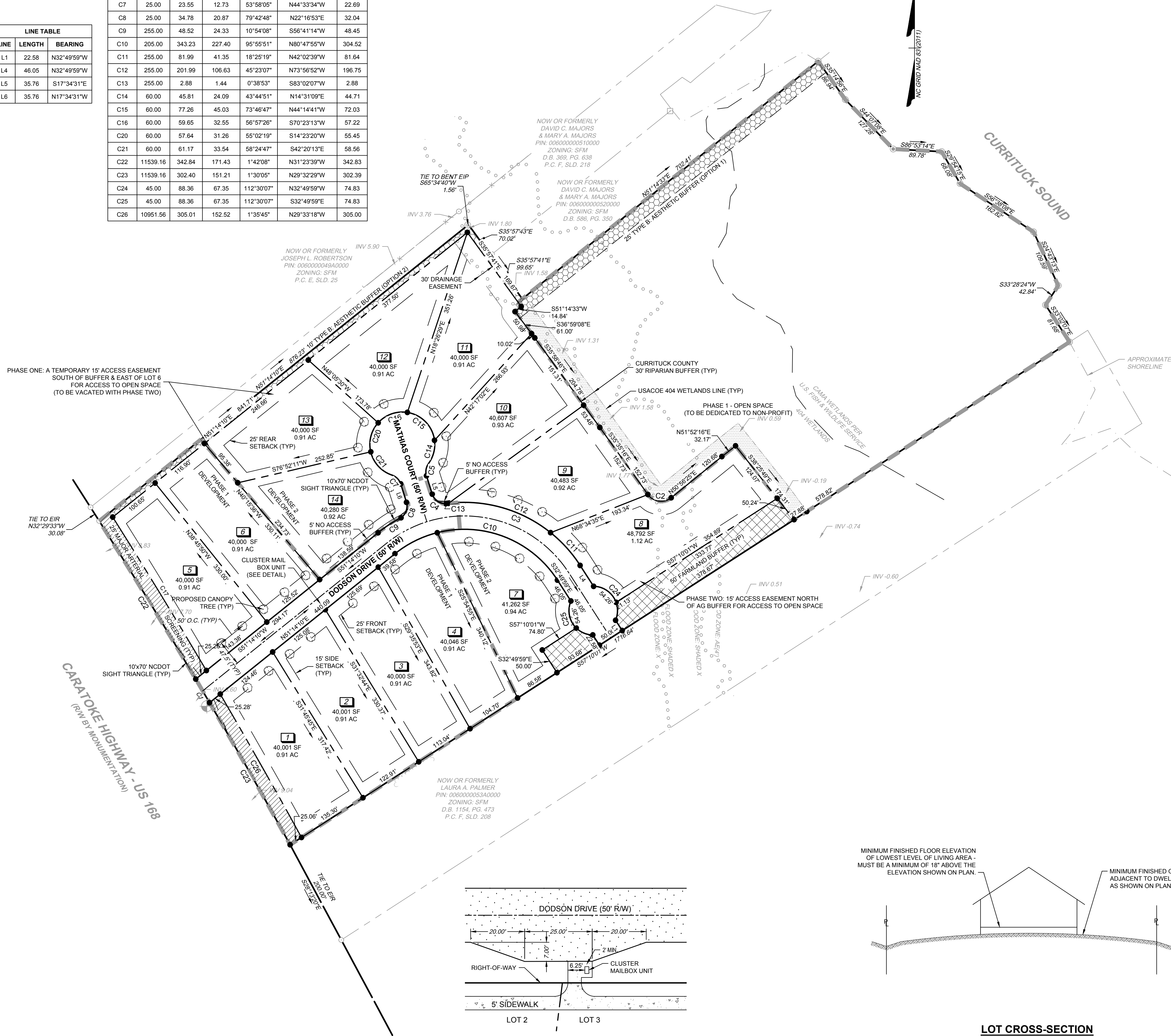


Know what's below.  
Call before you dig.

LINE TABLE		
LINE	LENGTH	BEARING
L1	22.58	N32°49'59"W
L4	46.05	N32°49'59"W
L5	35.76	S17°34'31"E
L6	35.76	N17°34'31"W

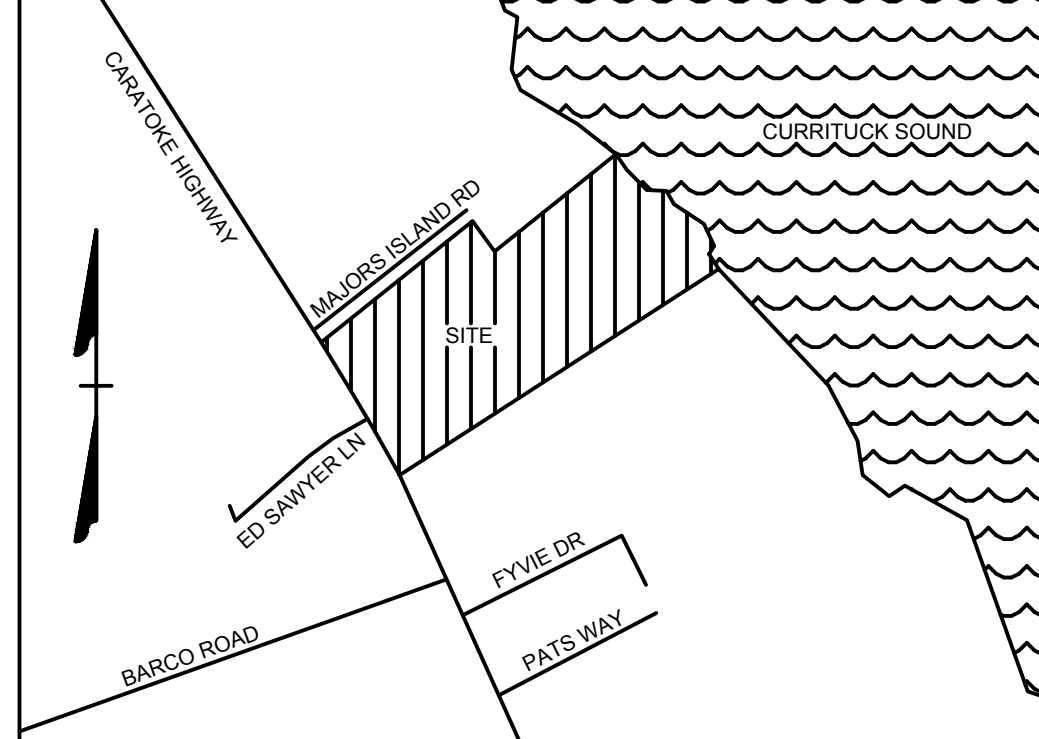
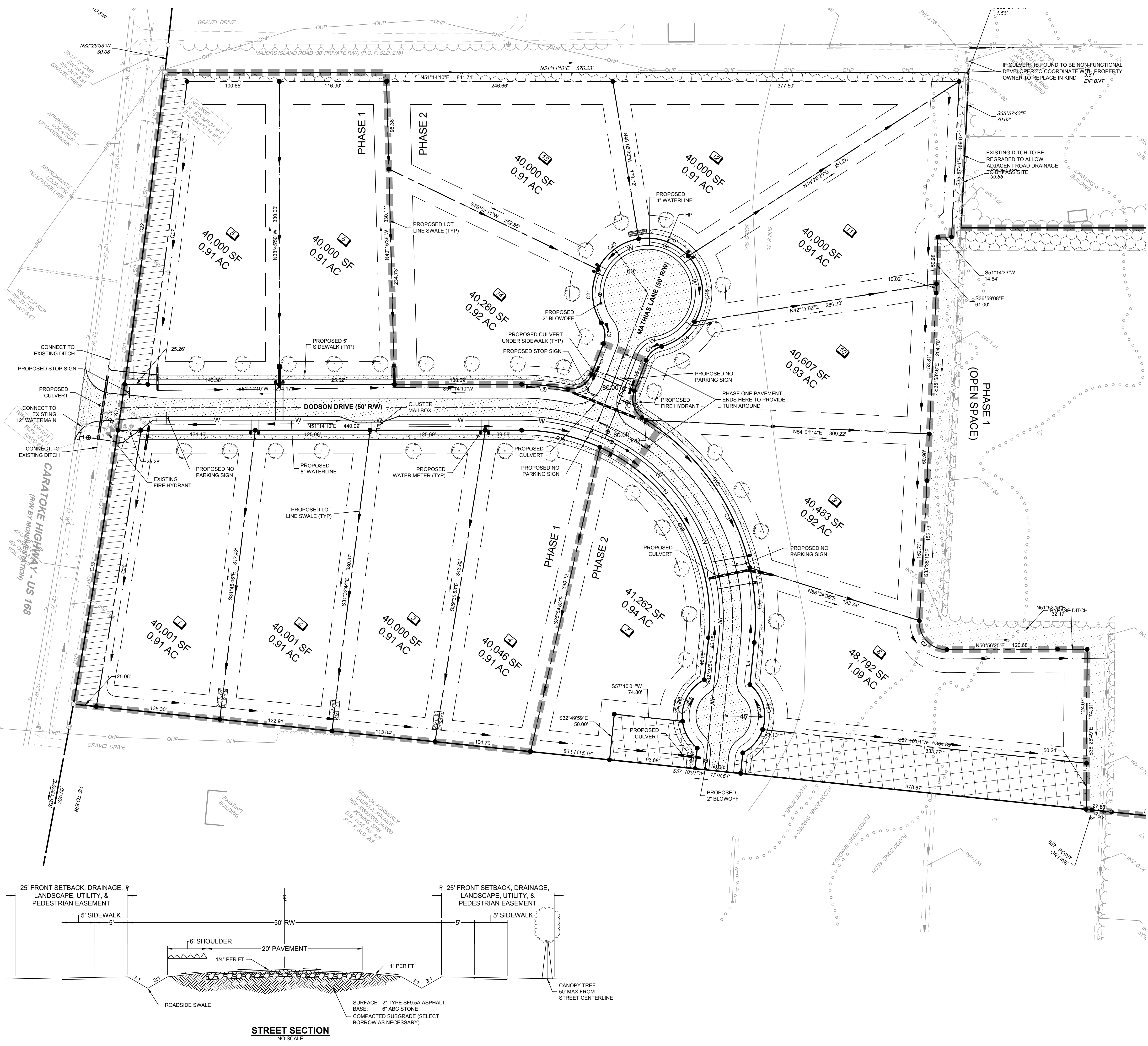
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	11539.16'	695.78'	347.99'	3°27'17"	N30°31'05"W	695.67'

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C2	30.00	48.94	31.88	93°28'20"	S82°19'25"E	43.69
C3	255.00	286.87	160.75	64°27'20"	N65°03'39"W	271.98
C4	25.00	34.78	20.87	79°42'48"	S57°25'55"E	32.04
C5	25.00	23.55	12.73	53°58'05"	S9°24'32"W	22.69
C6	60.00	301.53	43.64	287°56'10"	S72°25'29"W	70.59
C7	25.00	23.55	12.73	53°58'05"	N44°33'34"W	22.69
C8	25.00	34.78	20.87	79°42'48"	N22°16'53"E	32.04
C9	255.00	48.52	24.33	10°54'08"	S56°41'14"W	48.45
C10	205.00	343.23	227.40	95°55'51"	N80°47'55"W	304.52
C11	255.00	81.99	41.35	18°25'19"	N42°02'39"W	81.64
C12	255.00	201.99	106.63	45°23'07"	N73°56'52"W	196.75
C13	255.00	2.88	1.44	0°38'53"	S83°02'07"W	2.88
C14	60.00	45.81	24.09	43°44'51"	N14°31'09"E	44.71
C15	60.00	77.26	45.03	73°46'47"	N44°14'41"W	72.03
C16	60.00	59.65	32.55	56°57'26"	S70°23'13"W	57.22
C20	60.00	57.64	31.26	55°02'19"	S14°23'20"W	55.45
C21	60.00	61.17	33.54	58°24'47"	S42°20'13"E	58.56
C22	11539.16	342.84	171.43	1°42'08"	N31°23'39"W	342.83
C23	11539.16	302.40	151.21	1°30'05"	N29°32'29"W	302.39
C24	45.00	88.36	67.35	112°30'07"	N32°49'59"W	74.83
C25	45.00	88.36	67.35	112°30'07"	S32°49'59"E	74.83
C26	10951.56	305.01	152.52	1°35'45"	N29°33'18"W	305.00





S:\10944845 - Boswood Estates - Mathias Property - Barco, NC\DWG\Preliminary\44845C - C4.0 - PRELIM PLAT.dwg | Printed on 9/8/2025 11:56 AM | by Kim Hamby



VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON PIPE (EIP)
- EXISTING IRON REBAR (EIR)
- SET IRON REBAR (SIR)
- CALCULATED POINT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING SIGN / MARKER
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING TELEPHONE PEDESTAL
- EXISTING MAILBOX
- EXISTING BOLLARD
- PROPERTY BOUNDARY LINES
- PROPERTY EXTENSION LINES
- RIGHT OF WAY LINES
- EXISTING EDGE OF PAVEMENT
- EXISTING TELEPHONE LINE
- EXISTING WATERLINE
- EXISTING OVERHEAD POWER
- EXISTING CENTER OF DITCH
- EXISTING TOP OF BANK
- EXISTING STORM PIPE
- EXISTING APPROXIMATE SHORELINE
- EXISTING FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- SHRUB LINE
- TREE LINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED LOT LINES
- PROPOSED RIGHT OF WAY
- PROPOSED BUILDING SETBACK & DRAINAGE EASEMENT
- DRAINAGE EASEMENT
- PHASE LINE
- PROPOSED WATERLINE
- PROPOSED DITCH/SWALE
- PROPOSED DRAINAGE DIRECTION
- PROPOSED CONCRETE
- PROPOSED ASPHALT

SCALE 1"=50'  
0 50' 100'

PRELIMINARY PLAT  
SEP 08, 2025  
NOT FOR RECORDATION  
OR CONVEYANCE

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.592.0574 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	09/08/2025

DRAWN BY  
**JHS**

DESIGNED BY  
**JAM**

CHECKED BY  
**JAM**

SCALE  
1" = 50'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**BOSWOOD ESTATES**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**PRELIMINARY PLAT - STORMWATER MANAGEMENT & UTILITIES**

JOB NO.  
**44845**

SHEET NO.  
**C4.0**

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.