SITE	DATA:	APPROVAL CERTIFICATE	STORMW
1.	OWNER: PACIFIC BEACH CONSTRUCTION, LLC PO BOX 116 BARCO, NC 27917  DEVELOPER:	I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.	NO MORE MATERIAI MATERIAI POOLS. 1 PERMIT N
	BOSWOOD ESTATES, LLC PO BOX 116 BARCO, NC 27917 252-453-4300	DATE ADMINISTRATOR	BE CHANG ANY VEG DEVELOP ANY PER:
2.	SITE INFORMATION PIN: 0060000053B0000 D.B. 1566 PG. 783	DATE ADMINISTRATOR	UNIFIED I STORMW
	ZONING: GB (GENERAL BUSINESS)	ENVIRONMENTAL CONCERN CERTIFICATE  THIS SUBDIVISION (OR PORTIONS THEREOF) IS LOCATED WITHIN AN AREA OF	WETLAND
	TOTAL PARCEL AREA: 26.97 AC AREA OUTSIDE CAMA JURISDICTION: 20.51 AC UPLAND AREA: 16.30 AC WETLAND AREA: 10.67 AC	ENVIRONMENTAL CONCERN.	PROPERT ENGINEE
	OPEN SPACE REQUIRED: 30% OPEN SPACE PROVIDED: 46% 1.13 AC BUFFERS TO BE OWNED BY HOA 11.22 AC 404 WETLAND/CAMA TO BE DEDICATED TO NON-PROFIT REMAINING SUBDIVISION AREA = 15.74 AC	DATE LOCAL PERMIT OFFICER  IMPROVEMENTS CERTIFICATE	
	PROPOSED STREETS: DODSON DRIVE 50' R/W 1,046 LF	I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN	
	MATHIAS COURT 50' R/W 150 LF  EXISTING USE: VACANT/AGRICULTURAL PROPOSED USE: RESIDENTIAL	ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE TIMMONS GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.	LAT
3.	TOTAL NUMBER OF LOTS = 14 PHASE 1: LOTS 1-6		E TION
	PHASE 2: LOTS 7-14 SMALLEST LOT = 0.91 AC	DATE REGISTERED LAND SURVEYOR/ENGINEER OF FOR RECORD	AIION
	TYPE B AESTHETIC BUFFER AREA: 0.23 AC MAJOR ARTERIAL BUFFER AREA: 0.37 AC FARMLAND BUFFER AREA: 0.52 AC TOTAL BUFFER AREA: 1.13 AC	REGISTRATION NUMBER	ICE
	DEDICATED OPEN SPACE: 11.22 AC  LOT AREA: 13.12 AC	OWNERSHIP AND DEDICATION CERTIFICATE	
	R/W AREA: 1.50 AC TOTAL OPEN SPACE: 12.35 AC TOTAL PARCEL AREA: 26.97 AC	I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO	
4.	MINIMUM BUILDING SETBACKS: FRONT: 25' (BASED ON EASEMENT) SIDE: 15' (ZONING) SIDE (CORNER): 25' (BASED ON EASEMENT) REAR: 25' (ZONING)	PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW	
	(30' MAJOR ARTERIAL SETBACK ALONG US HWY 168)	WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.	
5.	EASEMENTS:  10' ALONG SIDE PROPERTY LINES  25' ALONG REAR PROPERTY LINES  25' DRAINAGE, LANDSCAPE, & PEDESTRIAN EASEMENT  ALONG RIGHT OF WAY  EASEMENTS EXCEEDING THESE ARE AS NOTED	DATE OWNER	
6.	SITE IS LOCATED IN FLOOD ZONE "X", "SHADED X", & AE(4')" AS SHOWN ON F.I.R.M.	I, , A NOTARY PUBLIC OF	
	PANEL 3720898600K, DATED DECEMBER 21, 2018. FLOOD ZONES SUBJECT TO CHANGE BY FEMA.	COUNTY,	
7.	THE MAXIMUM BUILT UPON AREA PER LOT PER NCDEQ STORMWATER MANAGEMENT PERMIT: 8,000 SF	NORTH CAROLINA, DO HEREBY CERTIFY THAT	
	THE MAXIMUM BUILT-UPON AREA FOR EACH LOT IS 8,000 SF. THE ALLOTTED AMOUNT INCLUDES ANY BUILT-UPON AREA CONSTRUCTED WITHIN THE LOTS PROPERTY LINES AND THAT PORTION OF THE RIGHT-OF-WAY BETWEEN THE FRONT PROPERTY LINE AND THE BACK OF CURB. BUILT-UPON AREA INCLUDES, BUT IS NOT LIMITED TO, STRUCTURES, ASPHALT, GRAVEL, CONCRETE, BRICK, STONE, SLATE, OR SIMILAR MATERIAL, BUT DOES NOT INCLUDE RAISED OPEN WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS.	PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.  WITNESS MY HAND AND OFFICIAL SEAL THIS DAY OF	
	COVERAGE CALCULATIONS:	NOTARY PUBLIC	
	LOT COVERAGE: 112,000 SF (16.33%) ASPHALT: 31,027 SF (4.52%) CONCRETE: 10,981 SF (1.60%) TOTAL: 154,008 SF (22.46%) (PERCENTAGE BASED ON 15.74 ACRES REMAINING AFTER DEDICATION OF	MY COMMISSION EXPIRES	
8.	WETLANDS TO NON-PROFIT)  ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MINE. ANY	PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE	
9.	MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.  DISTURBED AREAS SHALL BE MANAGED AND MAINTAINED IN ACCORDANCE WITH	I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY	
10.	NCDEQ REGULATIONS. DISTURBED AREA WILL NOT EXCEED 16.46 ACRES.  EXISTING CONDITIONS DATA IS BASED UPON A TOPOGRAPHIC SITE SURVEY	SYSTEM FOR MAINTENANCE.	
11	PERFORMED BY THE TIMMONS GROUP IN DECEMBER 2019.  WETLANDS SHOWN HEREON DELINEATED BY ATLANTIC ENVIRONMENTAL	<del></del>	
	CONSULTANTS, LLC ON FEBRUARY 4, 2020. U.S. ARMY CORPS OF ENGINEERS APPROVED DELINEATION ONSITE FEBRUARY 4, 2020. JD LETTER ISSUED MARCH 25, 2020.	DATE OWNER	
12.	ELEVATION INFORMATION SHOWN HEREON IS NAVD 1988 DATUM AND DERIVED FROM LEICA RTK NETWORK.	AIRPORT OVERLAY DISTRICT STATEMENT	
	ACCESS TO CORNER LOTS (10 & 14) SHALL BE FROM MATHIAS COURT.	ALL OR A PORTION OF THIS PROPERTY LIES WITHIN THE AIRPORT OVERLAY DISTRICT. PERSONS ON THE PREMISES MAY BE EXPOSED TO NOISE AND OTHER EFFECTS AS MAY BE INHERENT IN AIRPORT OPERATIONS. CURRITUCK COUNTY HAS PLACED CERTAIN	
14. 15.	NO STREET LIGHTING IS PROPOSED.  RECREATION & PARK AREA DEDICATION: 14 LOTS X 0.0255 AC/LOT = 0.36 AC.	RESTRICTIONS ON DEVELOPMENT AND USE OF PROPERTY WITHIN THIS OVERLAY.	
16.	PAYMENT IN LIEU OF DEDICATION IS PROPOSED DUE TO SIZE.  STREET INTERCONNECTIVITY INDEX CALCULATION: NUMBER OF LINKS = 3  NUMBER OF NODES = 2 CONNECTIVITY INDEX = 3/2 = 1.50  (FOR GB, MIN. INDEX SCORE REQ'D = 1.40)	EASEMENT ESTABLISHMENT STATEMENT	
	NO DISTURBANCE IS PROPOSED WITHIN WETLANDS OR CAMA AEC.	A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 25 FOOT EASEMENT ALONG THE FRONT PROPERTY LINE IS HEREBY ESTABLISHED.	
10.	NO SHORELINE IMPROVEMENTS ARE PROPOSED.		
		FLOODWAY/FLOODPLAIN STATEMENT	
		USE OF LAND WITHIN A FLOODWAY OR FLOODPLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.	
		INTERCONNECTIVITY STATEMENT	
		THIS SUBDIVISION CONTAINS A RIGHT-OF-WAY THAT IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHT-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.	

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT

A PAYMENT-IN-LIEU OF RECREATION AND PARK AREA DEDICATION HAS BEEN PROVIDED IN ACCORDANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENTS-IN-LIEU RECEIVED BY THE COUNTY SHALL BE USED ONLY FOR THE ACQUISITION OR DEVELOPMENT OF RECREATION AND PARK AREAS, AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTES SECTION 153A-331.

RE THAN <u>24</u>%\* OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND ALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR L, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER NUMBER ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT IGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF SETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS PMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY RSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE NATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.

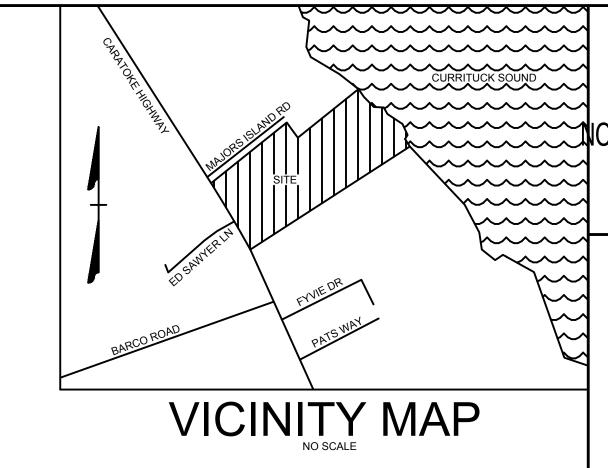
## DS STATEMENT

TY ON THIS PLAT MAY CONTAIN 404 WETLANDS AND MAY REQUIRE U.S. CORP OF ERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.

102 DODSON DR 104 DODSON DR LOT 4: 106 DODSON DR LOT 5: 101 DODSON DR 103 DODSON DR 108 DODSON DR 111 DODSON DR 109 DODSON DR 100 MATHIAS CT 102 MATHIAS CT 104 MATHIAS CT LOT 13: 103 MATHIAS CT LOT 14: 101 MATHIAS CT

# ADJACENT ACTIVE FARMLAND STATEMENT

AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS



PRELIMINARY PLAT OR CONVEYANCE

THIS DRAWING PREPARED / ELIZABETH CITY OFFI t City Drive, Unit E | Elizabet 11.5030 FAX 252.562.6974 v

DRAWN BY JHS DESIGNED BY CHECKED BY

09/08/2025

SHEET NO.

OF THIS DEVELOPMENT ADJOINS LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS NORMAL OPERATION.

