

SITE DATA:

- 1. OWNER: G. DODSON MATHIAS 400 AVINGER LANE, VILLA 609 DAVIDSON, NC 28036
DEVELOPER: BOSWOOD ESTATES, LLC PO BOX 100 CURRITUCK, NC 27929 252-483-4300
2. SITE INFORMATION: PIN: 006000059380000 D.S. 211 PG. 466 ZONING: GB (GENERAL BUSINESS)
TOTAL PARCEL AREA: 28.94 AC AREA OUTSIDE CAMA JURISDICTION: 20.51 AC UPLAND AREA: 16.28 AC WETLAND AREA: 10.66 AC
OPEN SPACE REQUIRED: 30% OPEN SPACE PROVIDED: 41% 1.54 AC BUFFERS TO BE OWNED BY HOA 9.51 AC 404 WETLAND/CAMA TO BE DEDICATED TO NON-PROFIT
PROPOSED STREETS: DODSON DRIVE 50' RW 1,046 LF MATHIAS COURT 50' RW 150 LF
EXISTING USE: VACANT/AGRICULTURAL PROPOSED USE: RESIDENTIAL
3. TOTAL NUMBER OF LOTS = 14 PHASE 1: LOTS 1-6 PHASE 2: LOTS 7-14 SMALLEST LOT = 0.91 AC LOT AREA = 13.22 AC RW AREA = 1.44 AC TYPE B AESTHETIC BUFFER AREA: 0.64 AC MAJOR ARTERIAL BUFFER AREA: 0.37 AC AGRICULTURAL BUFFER AREA: 0.53 AC
4. MINIMUM BUILDING SETBACKS: FRONT: 25' (BASED ON EASEMENT) SIDE: 15' (ZONING) SIDE (CORNER): 25' (BASED ON EASEMENT) REAR: 25' (ZONING) (30' MAJOR ARTERIAL SETBACK ALONG US HWY 168)
5. EASEMENTS: 10' ALONG ALL REAR & SIDE PROPERTY LINES 25' DRAINAGE, LANDSCAPE, & PEDESTRIAN EASEMENT ALONG RIGHT OF WAY
6. SITE IS LOCATED IN FLOOD ZONE 'X' 'SHADED X' & AE(4') AS SHOWN ON F.I.R.M. PANEL 370888R00K, DATED DECEMBER 21, 2018. FLOOD ZONES SUBJECT TO CHANGE BY FEMA.
7. THE MAXIMUM BUILT UPON AREA PER LOT PER NCDEQ STORMWATER MANAGEMENT PERMIT: 24% THE MAXIMUM BUILT UPON AREA FOR EACH LOT IS 24%. THE ALLOTTED AMOUNT INCLUDES ANY BUILT UPON AREA CONSTRUCTED WITHIN THE LOTS PROPERTY LINES AND THAT PORTION OF THE RIGHT-OF-WAY BETWEEN THE FRONT PROPERTY LINE AND THE BACK OF CURB. BUILT UPON AREA INCLUDES, BUT IS NOT LIMITED TO, STRUCTURES, ASPHALT, GRAVEL, CONCRETE, BRICK, STONE, SLATE, OR SIMILAR MATERIAL, BUT DOES NOT INCLUDE RAISED OPEN WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS.
8. ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
9. DISTURBED AREAS SHALL BE MANAGED AND MAINTAINED IN ACCORDANCE WITH NCDEQ REGULATIONS.
10. EXISTING CONDITIONS DATA IS BASED UPON A TOPOGRAPHIC SITE SURVEY PERFORMED BY THE TIMMONS GROUP IN DECEMBER 2019.
11. WETLANDS SHOWN HEREON DELINEATED BY ATLANTIC ENVIRONMENTAL CONSULTANTS, LLC ON FEBRUARY 4, 2020. U.S. ARMY CORPS OF ENGINEERS APPROVED DELINEATION ONSITE FEBRUARY 4, 2020. JD LETTER ISSUED MARCH 25, 2020.
12. ELEVATION INFORMATION SHOWN HEREON IS NAVD 1988 DATUM AND DERIVED FROM LEICA RTK NETWORK.
13. ACCESS TO CORNER LOTS (10 & 14) SHALL BE FROM MATHIAS COURT.
14. NO STREET LIGHTING IS PROPOSED.
15. RECREATION & PARK AREA DEDICATION: 14 LOTS X 0.0255 AC/LOT = 0.36 AC. PAYMENT IN LIEU OF DEDICATION IS PROPOSED DUE TO SIZE.
16. STREET INTERCONNECTIVITY INDEX CALCULATION: NUMBER OF LINKS = 3 NUMBER OF NODES = 2 CONNECTIVITY INDEX = 3/2 = 1.50 (FOR GB, MIN. INDEX SCORE REQ'D = 1.40)
17. ALL SIDEWALKS SHALL BE MINIMUM 4" THICK, 5' WIDE AND SHALL BE CONSTRUCTED WITHIN THE STREET RIGHT OF WAY.
18. NO DISTURBANCE IS PROPOSED WITHIN WETLANDS OR CAMA AEC.
19. NO SHORELINE IMPROVEMENTS ARE PROPOSED.

APPROVAL CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE ADMINISTRATOR

ENVIRONMENTAL CONCERN CERTIFICATE

THIS SUBDIVISION (OR PORTIONS THEREOF) IS LOCATED WITHIN AN AREA OF ENVIRONMENTAL CONCERN.

DATE LOCAL PERMIT OFFICER

IMPROVEMENTS CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE TIMMONS GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

DATE REGISTERED LAND SURVEYOR/ENGINEER

REGISTRATION NUMBER

OWNERSHIP AND DEDICATION CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE OWNER

I, A NOTARY PUBLIC OF COUNTY,

NORTH CAROLINA, DO HEREBY CERTIFY THAT PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS DAY OF 20

NOTARY PUBLIC

MY COMMISSION EXPIRES

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE

I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE OWNER

ADJACENT ACTIVE FARMLAND STATEMENT

AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS OF THIS DEVELOPMENT ADJOIN LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS NORMAL OPERATION.

AIRPORT OVERLAY DISTRICT STATEMENT

ALL OR A PORTION OF THIS PROPERTY LIES WITHIN THE AIRPORT OVERLAY DISTRICT. PERSONS ON THE PREMISES MAY BE EXPOSED TO NOISE AND OTHER EFFECTS AS MAY BE INHERENT IN AIRPORT OPERATIONS. CURRITUCK COUNTY HAS PLACED CERTAIN RESTRICTIONS ON DEVELOPMENT AND USE OF PROPERTY WITHIN THIS OVERLAY.

EASEMENT ESTABLISHMENT STATEMENT

A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 25 FOOT EASEMENT ALONG THE FRONT PROPERTY LINE IS HEREBY ESTABLISHED.

FLOODWAY/FLOODPLAIN STATEMENT

USE OF LAND WITHIN A FLOODWAY OR FLOODPLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.

INTERCONNECTIVITY STATEMENT

THIS SUBDIVISION CONTAINS A RIGHT-OF-WAY THAT IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHT-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT

A PAYMENT-IN-LIEU OF RECREATION AND PARK AREA DEDICATION HAS BEEN PROVIDED IN ACCORDANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENTS-IN-LIEU RECEIVED BY THE COUNTY SHALL BE USED ONLY FOR THE ACQUISITION OR DEVELOPMENT OF RECREATION AND PARK AREAS, AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTES SECTION 153A-331.

STORMWATER STATEMENT

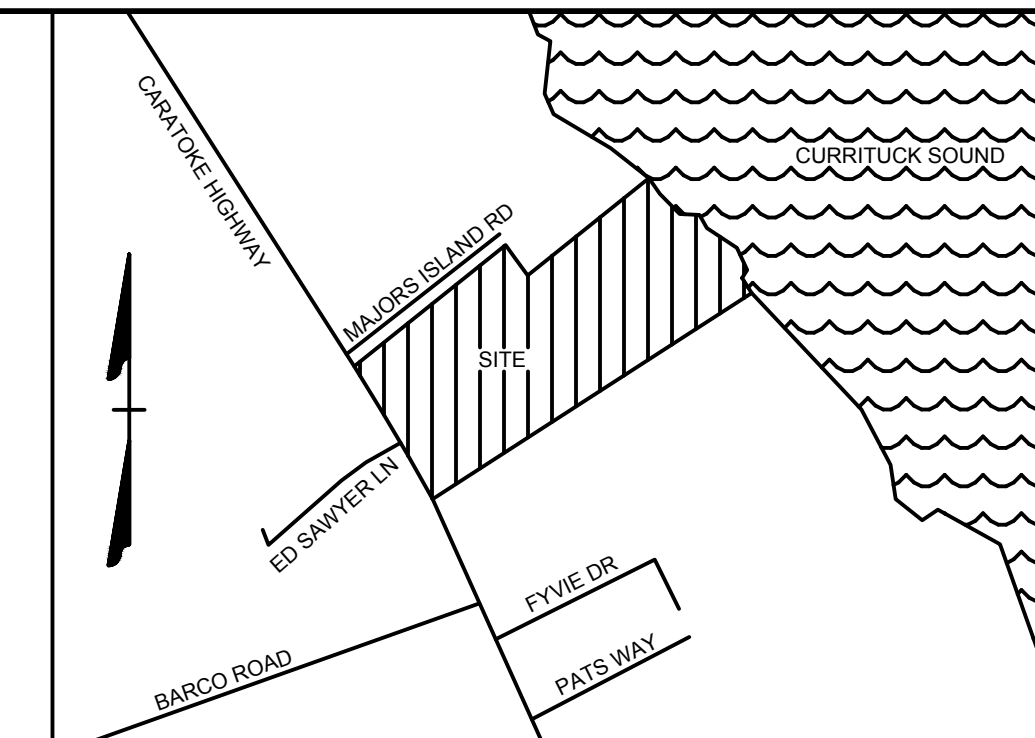
NO MORE THAN 24% OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.

WETLANDS STATEMENT

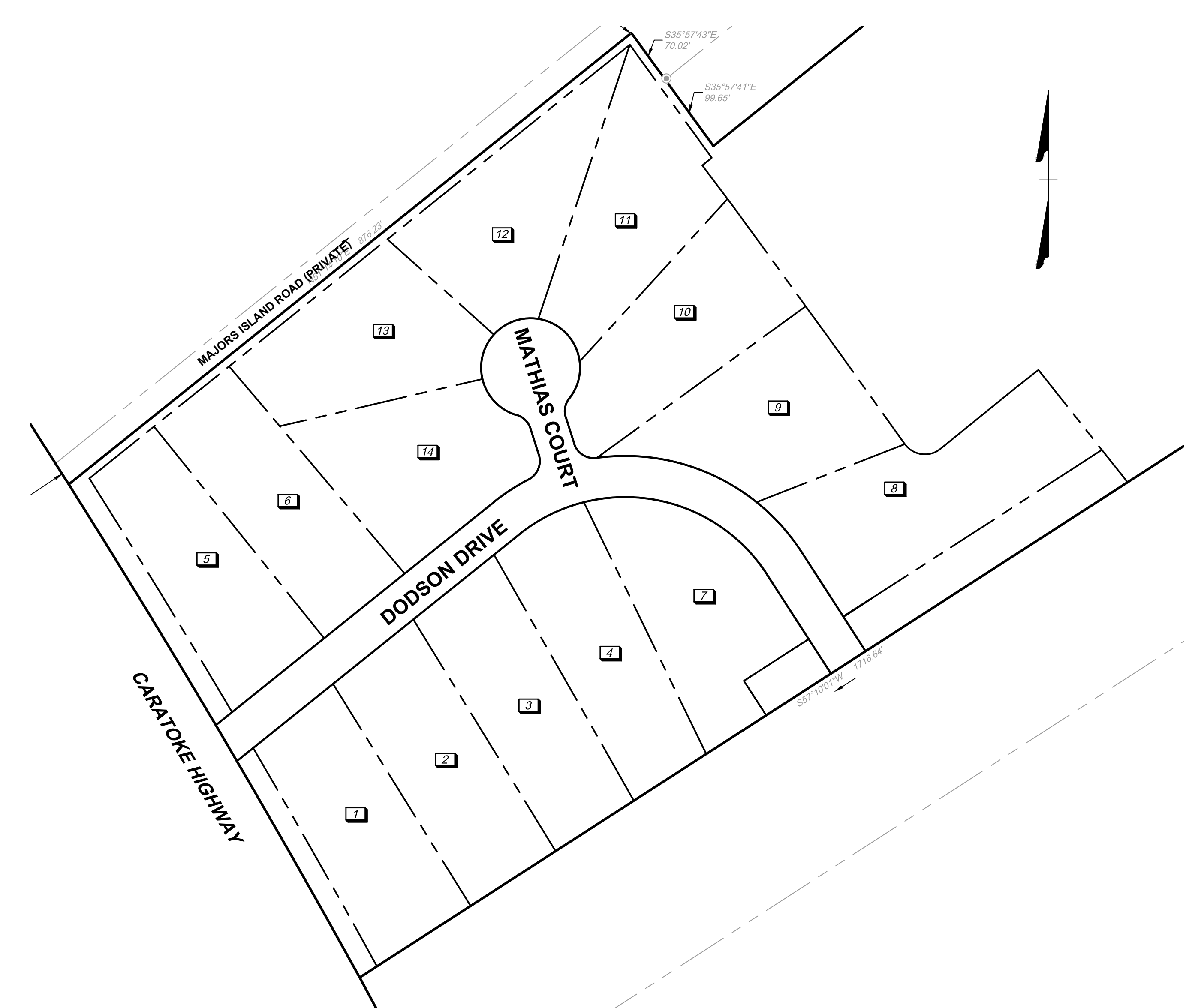
PROPERTY ON THIS PLAT MAY CONTAIN 404 WETLANDS AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.

PROPERTY ADDRESSES

- LOT 1: 100 DODSON DR
LOT 2: 102 DODSON DR
LOT 3: 104 DODSON DR
LOT 4: 106 DODSON DR
LOT 5: 101 DODSON DR
LOT 6: 103 DODSON DR
LOT 7: 108 DODSON DR
LOT 8: 111 DODSON DR
LOT 9: 109 DODSON DR
LOT 10: 100 MATHIAS CT
LOT 11: 102 MATHIAS CT
LOT 12: 104 MATHIAS CT
LOT 13: 103 MATHIAS CT
LOT 14: 101 MATHIAS CT



VICINITY MAP NO SCALE



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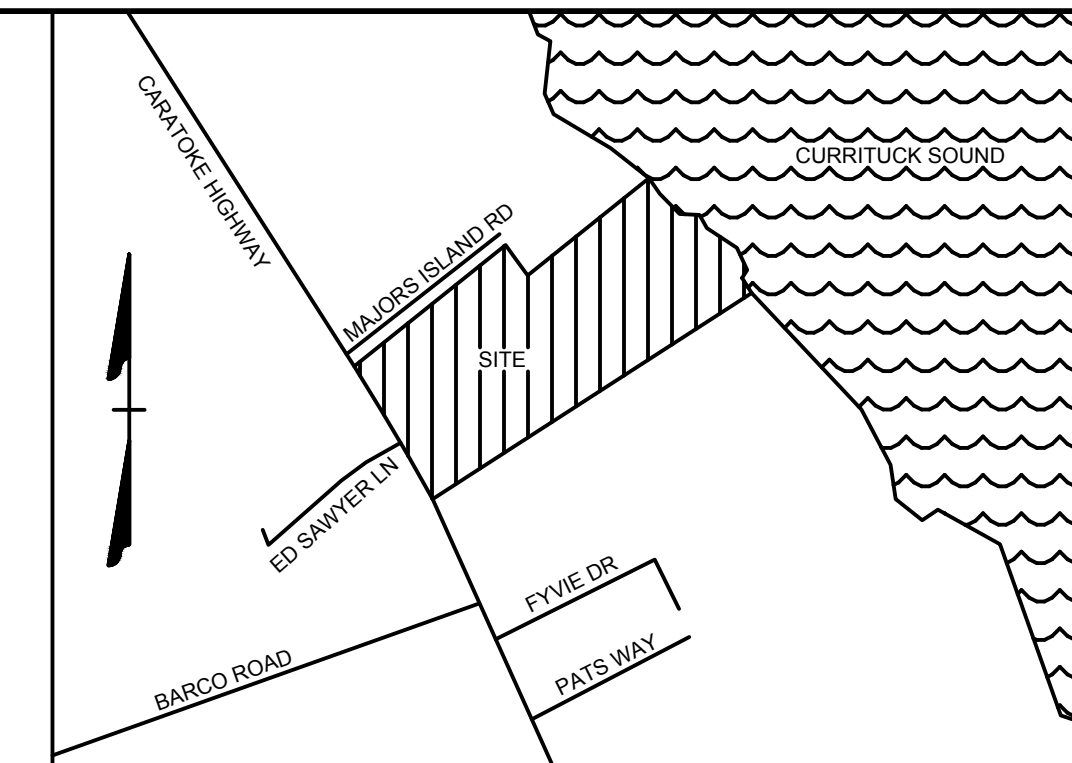
YOUR VISION ACHIEVED THROUGH OURS. REVISION DESCRIPTION DATE 05/22/2020 REVISED PER TRC COMMENTS 04/22/2020

DRAWN BY JHS DESIGNED BY JAM CHECKED BY JAM SCALE N/A

TIMMONS GROUP BOSWOOD ESTATES NORTH CAROLINA LICENSE NO. C-1652 CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA COVER SHEET

JOB NO. 44845 SHEET NO. C1.0

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NO SCALE

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DESIGNED BY
NA

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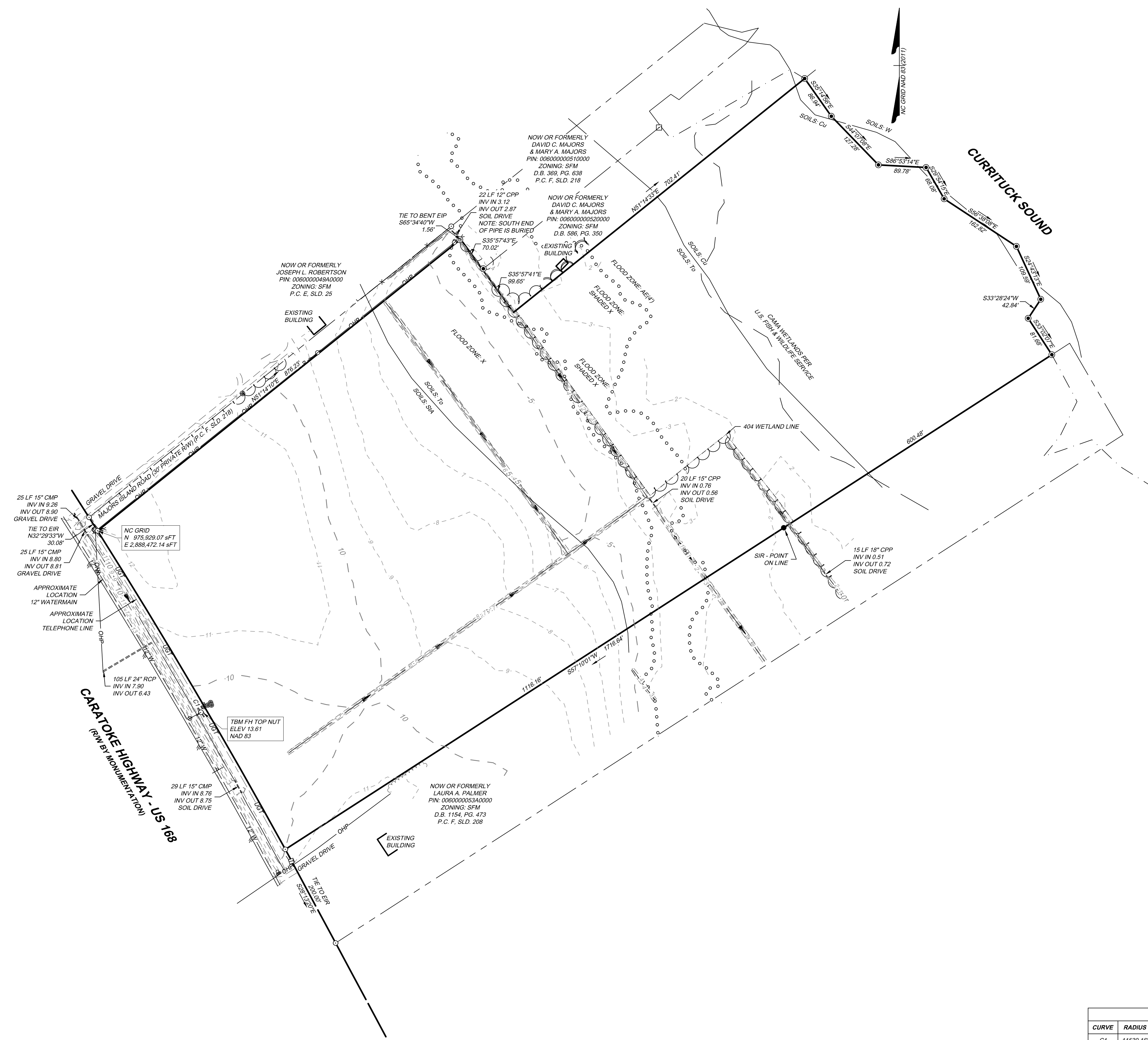
SCALE
1" = 100'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

BOSWOOD ESTATES
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
EXISTING CONDITIONS

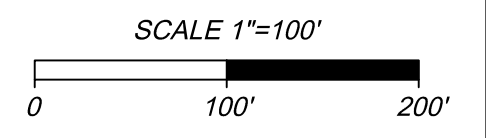
JOB NO.
44845
SHEET NO.
C2.0



LEGEND

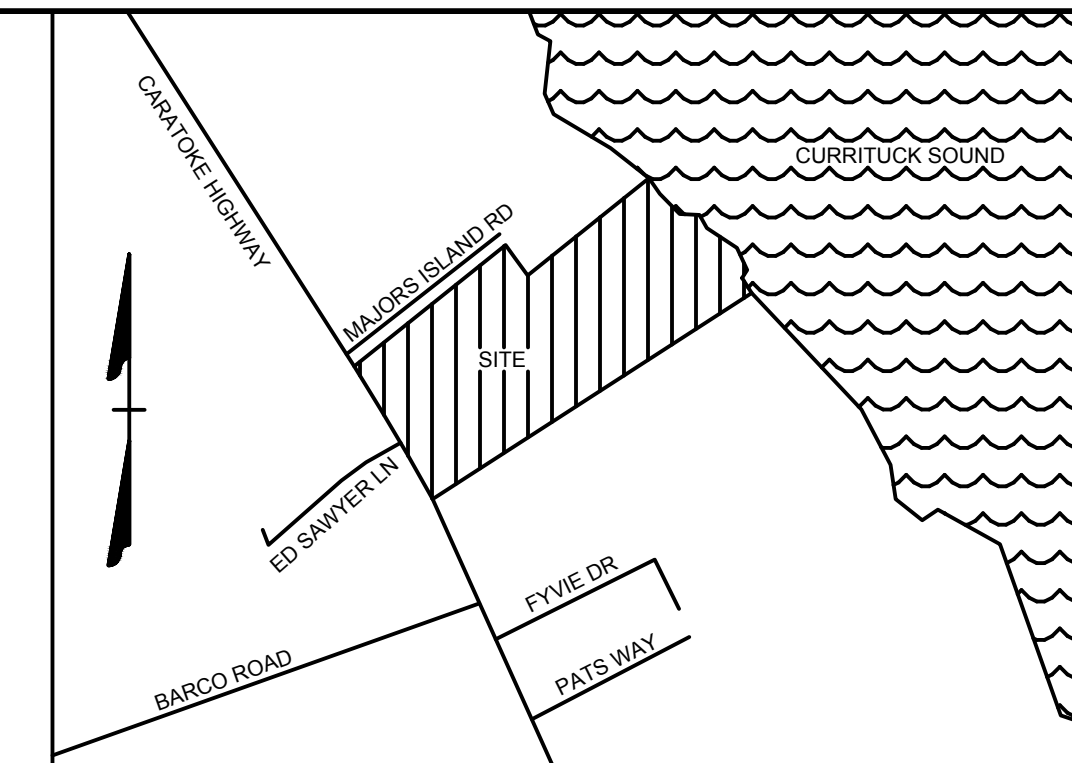
- BENCHMARK
- EXISTING IRON PIPE (EIP)
- EXISTING IRON REBAR (EIR)
- SET IRON REBAR (SIR)
- CALCULATED POINT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING SIGN / MARKER
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- EXISTING GUY WIRE
- EXISTING TELEPHONE PEDESTAL
- EXISTING MAILBOX
- EXISTING BOLLARD
- PROPERTY BOUNDARY LINES
- PROPERTY EXTENSION LINES
- RIGHT OF WAY LINES
- EXISTING EDGE OF PAVEMENT
- EXISTING TELEPHONE LINE
-
- EXISTING OVERHEAD POWER
- EXISTING CENTER OF DITCH
- EXISTING TOP OF BANK
- EXISTING STORM PIPE
- EXISTING APPROXIMATE SHORELINE
- EXISTING FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FEMA FLOOD ZONE
- 404 WETLAND LINE
- SOILS LINE
- CAMA LINE
- SHRUB LINE
- TREELINE

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	11539.16'	695.78'	347.99'	3°27'17"	N30°31'05"W	695.67'



S:\10944445 - Boswood Estates - Mathias Property - Barco - NC\DWG\Sheet\CD\44845 - C1.0 - EXIST COND.dwg | Printed on 5/22/2020 7:59 AM by John Sawyer

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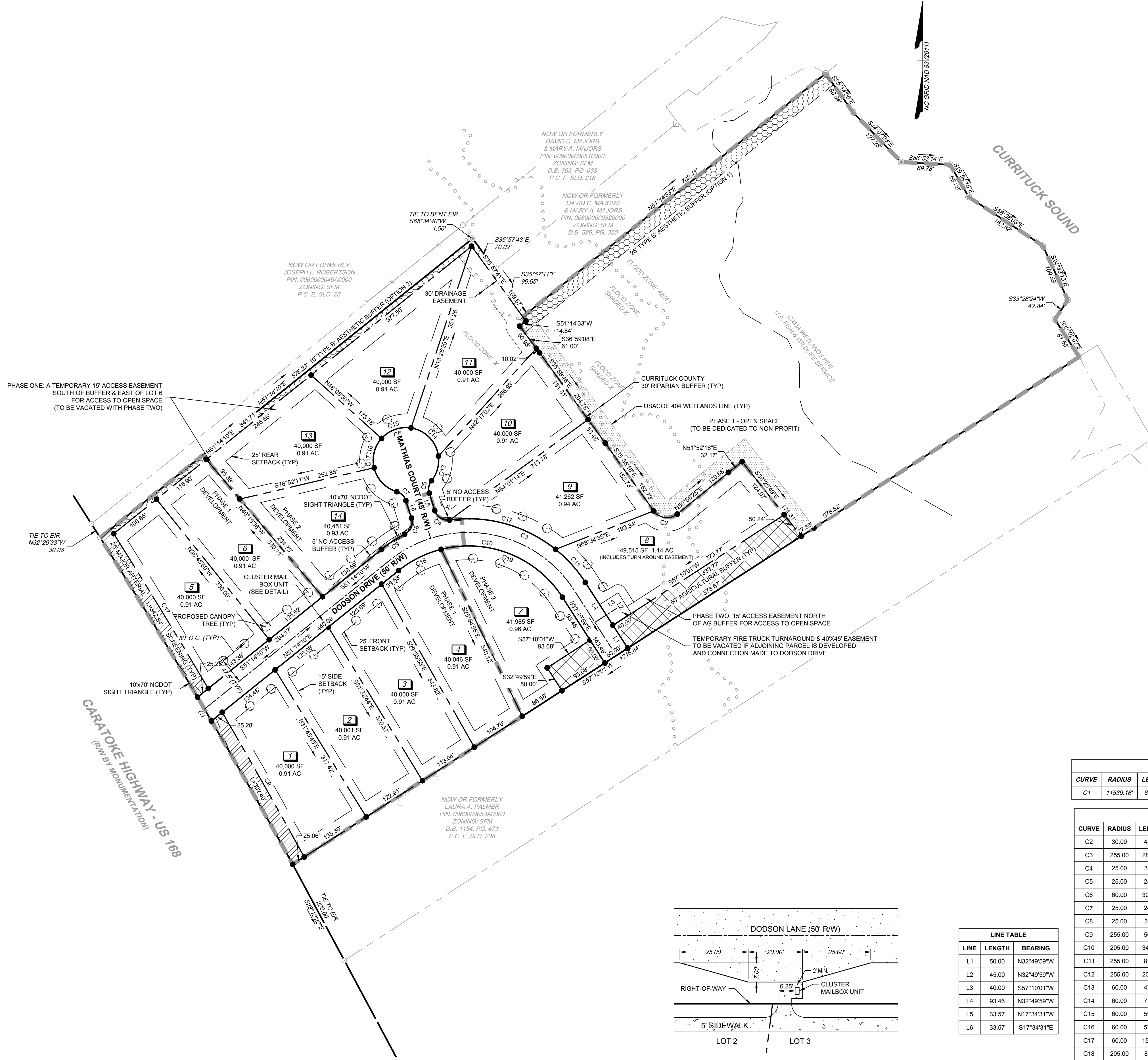
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CHECKED BY

JHS
JAM
JAM

SCALE
1" = 100'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
BOSWOOD ESTATES
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
PRELIMINARY PLAT & BUFFERING PLAN

JOB NO.
44845
SHEET NO.
C3.0



BUFFERING REQUIREMENTS

TYPE B, OPTION 1: 702 LF PROPOSED (25' WIDE)*

CANOPY TREES: 8 ACI PER 100 LF = 56 ACI REQUIRED
UNDERSTORY TREES: 10 ACI PER 100 LF = 70 ACI REQUIRED
SHRUBS: 15 SHRUBS PER 100 LF = 105 SHRUBS REQUIRED

TYPE B, OPTION 2: 1020 LF PROPOSED (10' WIDE)

CANOPY TREES: 2 ACI PER 100 LF = 20 ACI REQUIRED
UNDERSTORY TREES: 14 ACI PER 100 LF = 143 ACI REQUIRED
SHRUBS: 20 SHRUBS PER 100 LF = 204 SHRUBS REQUIRED

MAJOR ARTERIAL SCREENING: 645 LF (25' WIDE)

CANOPY TREES: 6 ACI PER 100 LF = 39 ACI REQUIRED
UNDERSTORY TREES: 3 ACI PER 100 LF = 19 ACI REQUIRED
SHRUBS: 5 SHRUBS PER 100 LF = 32 SHRUBS REQUIRED

AGRICULTURAL BUFFER: 472 LF (50' WIDE)

14 TREES (HARDWOOD/EVERGREEN MIX) PER 100 LF = 19 TREES REQUIRED
ACI = AGGREGATE CALIPER INCHES
*AREA OF PROPOSED TYPE B, OPTION 1 BUFFER IS LOCATED IN WETLANDS.

CURVE TABLE

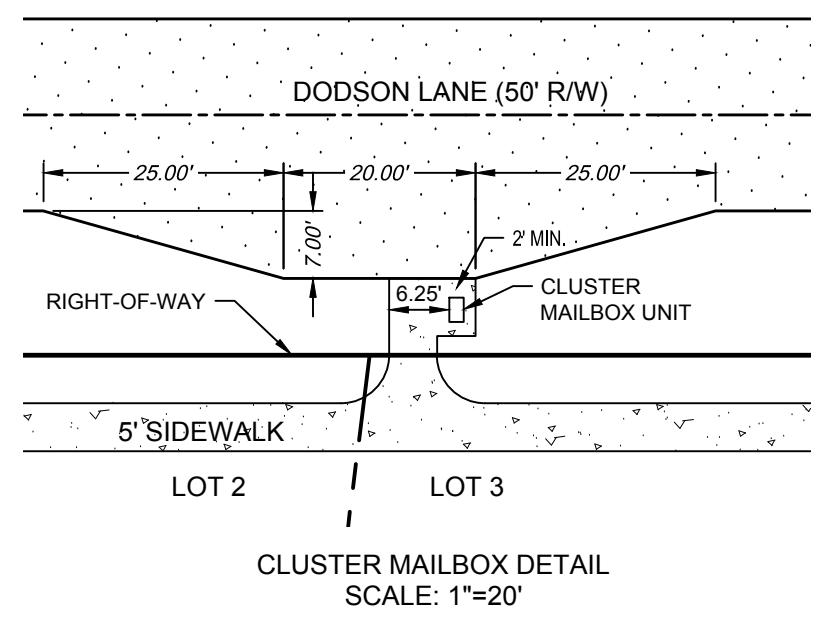
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	11539.16'	695.78'	347.99'	3°27'17"	N30°31'05"W	695.67'

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C2	30.00	48.94	31.88	93°28'20"	S82°19'25"E	43.69
C3	255.00	289.18	162.38	64°58'30"	N65°19'14"W	273.93
C4	25.00	35.01	21.06	80°13'59"	S57°41'30"E	32.22
C5	25.00	24.45	13.30	56°01'32"	S10°26'15"W	23.48
C6	60.00	305.84	40.43	292°03'04"	S72°25'29"W	67.06
C7	25.00	24.45	13.30	56°01'32"	N45°35'17"W	23.48
C8	25.00	35.01	21.06	80°13'59"	N22°32'28"E	32.22
C9	255.00	50.83	25.50	11°25'18"	S66°56'49"W	50.75
C10	205.00	343.23	227.40	95°55'51"	N80°47'55"W	304.52
C11	255.00	81.99	41.35	18°25'19"	N42°02'39"W	81.64
C12	255.00	207.19	109.70	46°33'11"	N74°31'54"W	201.54
C13	60.00	47.97	25.35	45°48'18"	N15°32'52"E	46.70
C14	93.46	77.26	45.03	73°46'47"	N44°14'41"W	72.03
C15	60.00	59.65	32.55	56°57'26"	S70°23'13"W	57.22
C16	60.00	57.64	31.26	55°02'19"	S14°23'20"W	55.45
C17	60.00	152.92	196.41	146°01'32"	S0°35'17"E	114.76
C18	205.00	88.11	44.75	24°37'35"	S63°32'57"W	87.43
C19	205.00	255.12	147.05	71°18'16"	N68°29'07"W	238.97

LINE TABLE

LINE	LENGTH	BEARING
L1	50.00	N32°49'59"W
L2	45.00	N32°49'59"W
L3	40.00	S57°10'01"W
L4	93.46	N32°49'59"W
L5	33.57	N17°34'31"W
L6	33.57	S17°34'31"E



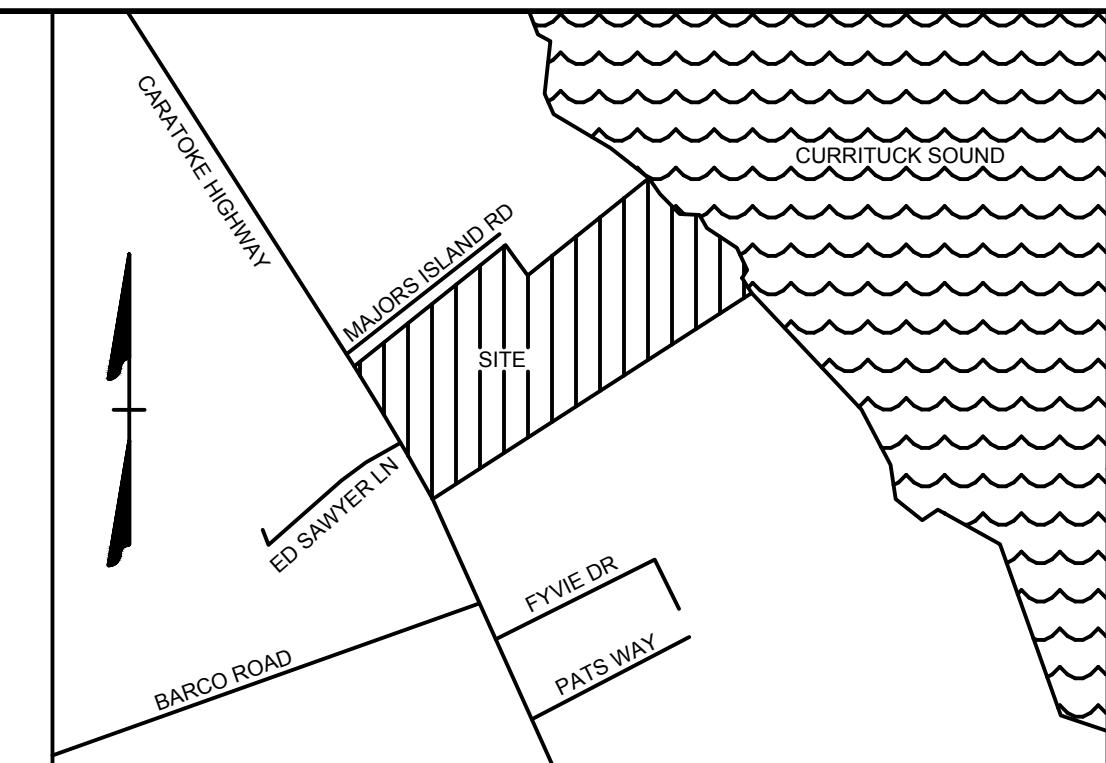
LEGEND

- EXISTING IRON PIPE (EIP)
- EXISTING IRON REBAR (EIR)
- SET IRON REBAR (SIR)
- CALCULATED POINT
- PROPERTY BOUNDARY LINES
- PROPERTY EXTENSION LINES
- RIGHT OF WAY LINES
- EXISTING APPROXIMATE SHORELINE
- FEMA FLOOD ZONE
- 404 WETLAND LINE
- CAMA LINE
- PROPOSED LOT LINES
- PROPOSED BUILDING SETBACK
- PROPOSED RIGHT OF WAY
- AESTHETIC BUFFER
- DRAINAGE EASEMENT
- NO ACCESS BUFFER
- PHASE LINE
- AGRICULTURAL BUFFER
- MAJOR ARTERIAL SCREENING
- AESTHETIC BUFFER
- RIPARIAN BUFFER
- PROPOSED CANOPY TREE

SCALE 1"=100'
0 100' 200'

S:\10944845 - Boswood Estates - Mathias Property - Barco - NC\DWG\Sheet\CD\44845 - C3.0 - PRELIM PLAT.dwg | Printed on 05/22/2020 7:57 AM | by John Sawyer

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DRAWN BY
JHS

DESIGNED BY
JAM

CHECKED BY
JAM

SCALE
1" = 50'

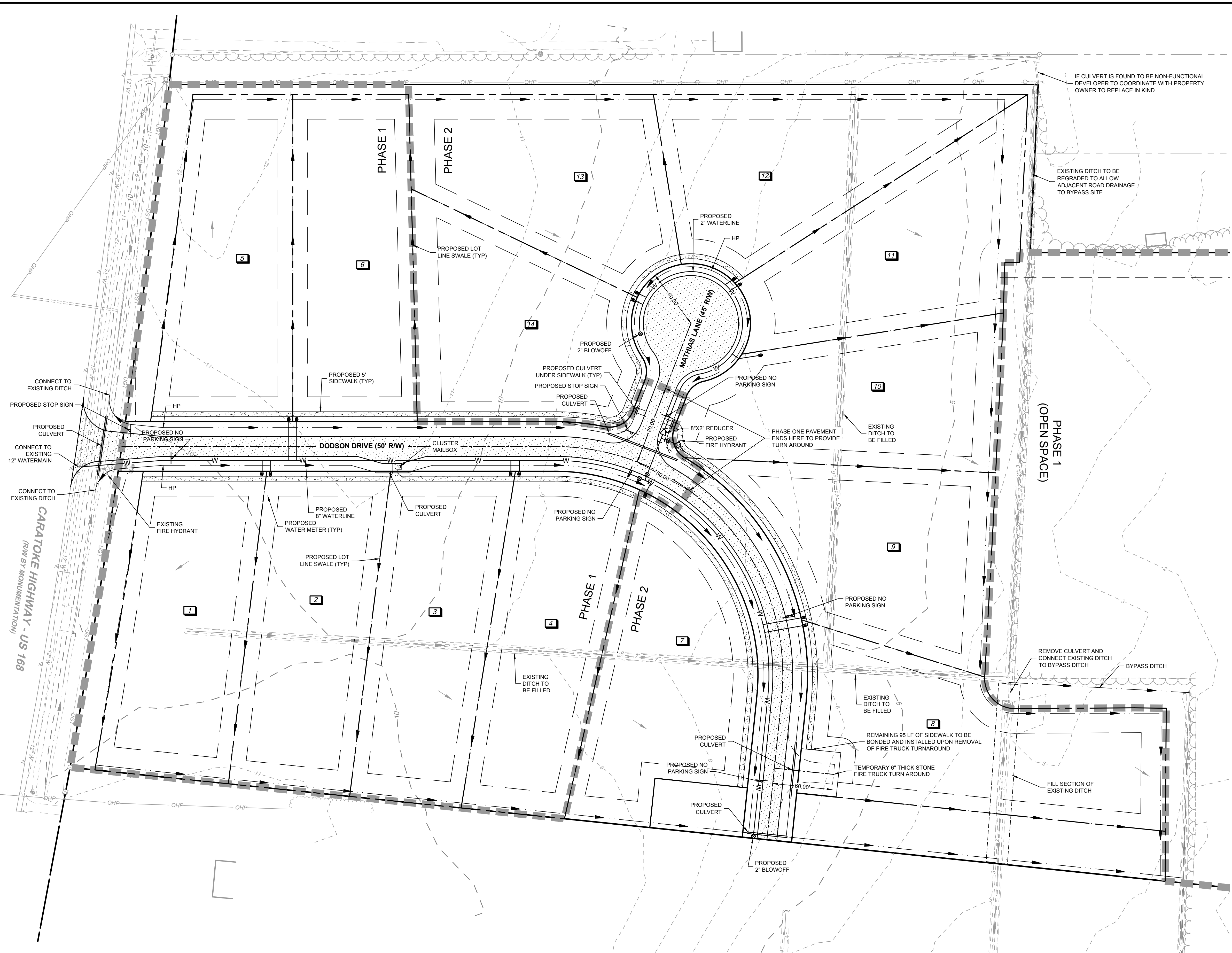
TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

BOSWOOD ESTATES
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
PRELIMINARY PLAT - STORMWATER MANAGEMENT & UTILITIES

JOB NO.
44845
SHEET NO.
C4.0

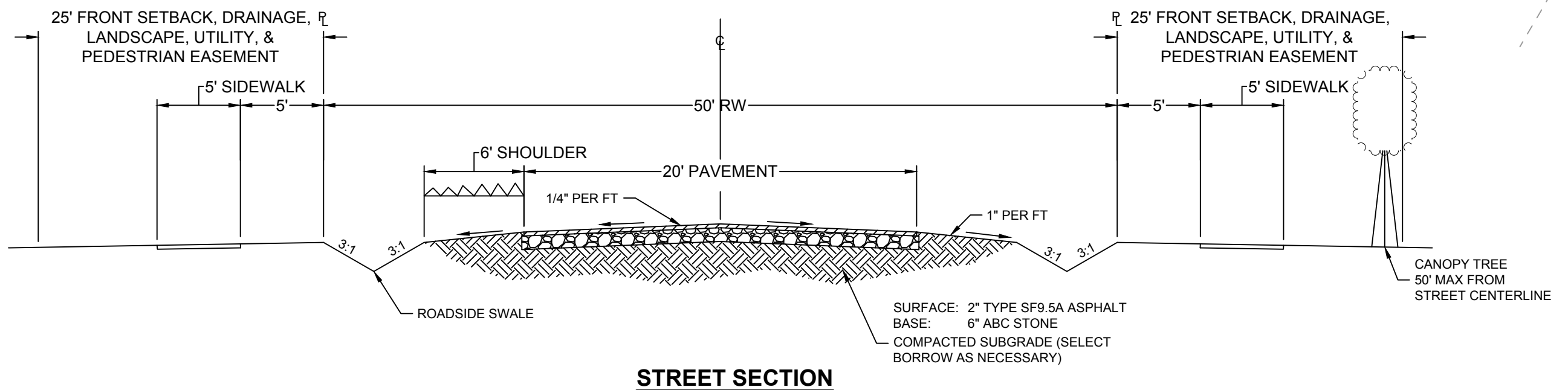
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LEGEND

	BENCHMARK
	EXISTING IRON PIPE (EIP)
	EXISTING IRON REBAR (EIR)
	SET IRON REBAR (SIR)
	CALCULATED POINT
	EXISTING FIRE HYDRANT
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	EXISTING CENTER OF DITCH
	EXISTING TOP OF BANK
	EXISTING STORM PIPE
	EXISTING APPROXIMATE SHORELINE
	EXISTING FENCE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	SHRUB LINE
	TREE LINE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	PROPOSED LOT LINES
	PROPOSED RIGHT OF WAY
	PROPOSED BUILDING SETBACK & DRAINAGE EASEMENT
	DRAINAGE EASEMENT
	PHASE LINE
	PROPOSED WATERLINE
	PROPOSED DITCH/SWALE
	PROPOSED DRAINAGE DIRECTION
	PROPOSED CONCRETE
	PROPOSED ASPHALT

SCALE 1"=50'
0 50' 100'



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