

**SITE DATA:**

- OWNER: PACIFIC BEACH CONSTRUCTION, LLC  
PO BOX 116  
BARCO, NC 27917
- DEVELOPER: BOSWOOD ESTATES, LLC  
PO BOX 116  
BARCO, NC 27917  
252-453-4300
- SITE INFORMATION  
PIN: 00600005380000  
D.B.: 1566 PG. 733  
ZONING: GB (GENERAL BUSINESS)
- TOTAL PARCEL AREA: 28.97 AC  
AREA OUTSIDE CMA JURISDICTION: 20.51 AC  
UPLAND AREA: 16.30 AC  
WETLAND AREA: 10.67 AC
- OPEN SPACE REQUIRED: 30%  
OPEN SPACE PROVIDED: 46%  
1.13 AC BUFFERS TO BE OWNED BY HOA  
11.22 AC 404 WETLAND/CMA TO BE DEDICATED TO NON-PROFIT  
REMAINING SUBDIVISION AREA = 15.74 AC
- PROPOSED STREETS: DODSON DRIVE 50' RW 1,048 LF  
MATHIAS COURT 50' RW 150 LF
- EXISTING USE: VACANT/AGRICULTURAL  
PROPOSED USE: RESIDENTIAL
- TOTAL NUMBER OF LOTS = 14  
PHASE 1: LOTS 1-9  
PHASE 2: LOTS 1-14  
SMALLEST LOT = 0.91 AC
- TYPE B AESTHETIC BUFFER AREA: 0.23 AC  
MAJOR ARTERIAL BUFFER AREA: 0.37 AC  
FARMLAND BUFFER AREA: 0.50 AC  
TOTAL BUFFER AREA: 1.10 AC
- DEDICATED OPEN SPACE: 11.22 AC  
LOT AREA: 13.07 AC  
R/W AREA: 1.58 AC  
TOTAL OPEN SPACE: 12.32 AC  
TOTAL PARCEL AREA: 28.97 AC
- MINIMUM BUILDING SETBACKS:  
FRONT: 25' (BASED ON EASEMENT)  
SIDE: 15' (ZONING)  
SIDE (CORNER): 25' (BASED ON EASEMENT)  
REAR: 25' (ZONING)  
(30' MAJOR ARTERIAL SETBACK ALONG US HWY 168)
- EASEMENTS:  
10' ALONG SIDE PROPERTY LINES  
25' ALONG REAR PROPERTY LINES  
25' DRAINAGE, LANDSCAPE, & PEDESTRIAN EASEMENT  
ALONG RIGHT OF WAY  
EASEMENTS EXCEEDING THESE ARE AS NOTED
- SITE IS LOCATED IN FLOOD ZONE "X", "SHADED X", & AE(4)" AS SHOWN ON F.I.R.M. PANEL 372099800K, DATED DECEMBER 21, 2018. FLOOD ZONES SUBJECT TO CHANGE BY FEMA.
- THE MAXIMUM BUILT UPON AREA PER LOT PER NCDQEQ STORMWATER MANAGEMENT PERMIT: 8,000 SF  
THE MAXIMUM BUILT-UPON AREA FOR EACH LOT IS 8,000 SF. THE ALLOTTED AMOUNT INCLUDES ANY BUILT-UPON AREA CONSTRUCTED WITHIN THE LOTS PROPERTY LINES AND THAT PORTION OF THE RIGHT-OF-WAY BETWEEN THE FRONT PROPERTY LINE AND THE BACK OF CURB. BUILT-UPON AREA INCLUDES, BUT IS NOT LIMITED TO, STRUCTURES, ASPHALT, GRAVEL, CONCRETE, BRICK, STONE, SLATE, OR SIMILAR MATERIAL, BUT DOES NOT INCLUDE RAISED OPEN WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS.
- COVERAGE CALCULATIONS:  
LOT COVERAGE: 112,000 SF (16.33%)  
ASPHALT: 34,921 SF (5.09%)  
CONCRETE: 11,303 SF (1.65%)  
TOTAL: 158,224 SF (23.07%)  
(PERCENTAGE BASED ON 15.74 ACRES REMAINING AFTER DEDICATION OF WETLANDS TO NON-PROFIT)
- ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITES/MINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
- DISTURBED AREAS SHALL BE MANAGED AND MAINTAINED IN ACCORDANCE WITH NCDQEQ REGULATIONS. DISTURBED AREA WILL NOT EXCEED 16.46 ACRES.
- EXISTING CONDITIONS DATA IS BASED UPON A TOPOGRAPHIC SITE SURVEY PERFORMED BY THE TIMMONS GROUP IN DECEMBER 2019.
- WETLANDS SHOWN HEREON DELINEATED BY ATLANTIC ENVIRONMENTAL CONSULTANTS, LLC ON FEBRUARY 4, 2020. U.S. ARMY CORPS OF ENGINEERS APPROVED DELINEATION ON SITE FEBRUARY 4, 2020. JD LETTER ISSUED MARCH 25, 2020.
- ELEVATION INFORMATION SHOWN HEREON IS NAVD 1988 DATUM AND DERIVED FROM LEICA RTK NETWORK.
- ACCESS TO CORNER LOTS (10 & 14) SHALL BE FROM MATHIAS COURT.
- NO STREET LIGHTING IS PROPOSED.
- RECREATION & PARK AREA DEDICATION: 14 LOTS X 0.0255 AC/LOT = 0.36 AC. PAYMENT IN LIEU OF DEDICATION IS PROPOSED DUE TO SIZE.
- STREET INTERCONNECTIVITY INDEX CALCULATION: NUMBER OF LINKS = 3  
NUMBER OF NODES = 2  
CONNECTIVITY INDEX = 3/2 = 1.50  
(FOR GB, MIN. INDEX SCORE REQ'D = 1.40)
- NO DISTURBANCE IS PROPOSED WITHIN WETLANDS OR CMA AEC.
- NO SHORELINE IMPROVEMENTS ARE PROPOSED.

**APPROVAL CERTIFICATE**  
I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE \_\_\_\_\_ ADMINISTRATOR \_\_\_\_\_

**ENVIRONMENTAL CONCERN CERTIFICATE**  
THIS SUBDIVISION (OR PORTIONS THEREOF) IS LOCATED WITHIN AN AREA OF ENVIRONMENTAL CONCERN.

DATE \_\_\_\_\_ LOCAL PERMIT OFFICER \_\_\_\_\_

**IMPROVEMENTS CERTIFICATE**  
I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE TIMMONS GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

DATE \_\_\_\_\_ REGISTERED LAND SURVEYOR/ENGINEER \_\_\_\_\_

REGISTRATION NUMBER \_\_\_\_\_

**OWNERSHIP AND DEDICATION CERTIFICATE**  
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE \_\_\_\_\_ OWNER \_\_\_\_\_

I, \_\_\_\_\_, A NOTARY PUBLIC OF \_\_\_\_\_ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_  
MY COMMISSION EXPIRES \_\_\_\_\_

**PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE**  
I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE \_\_\_\_\_ OWNER \_\_\_\_\_

**AIRPORT OVERLAY DISTRICT STATEMENT**  
ALL OR A PORTION OF THIS PROPERTY LIES WITHIN THE AIRPORT OVERLAY DISTRICT. PERSONS ON THE PREMISES MAY BE EXPOSED TO NOISE AND OTHER EFFECTS AS MAY BE INHERENT IN AIRPORT OPERATIONS. CURRITUCK COUNTY HAS PLACED CERTAIN RESTRICTIONS ON DEVELOPMENT AND USE OF PROPERTY WITHIN THIS OVERLAY.

**EASEMENT ESTABLISHMENT STATEMENT**  
A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 25 FOOT EASEMENT ALONG THE FRONT PROPERTY LINE IS HEREBY ESTABLISHED.

**FLOODWAY/FLOODPLAIN STATEMENT**  
USE OF LAND WITHIN A FLOODWAY OR FLOODPLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.

**INTERCONNECTIVITY STATEMENT**  
THIS SUBDIVISION CONTAINS A RIGHT-OF-WAY THAT IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHT-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

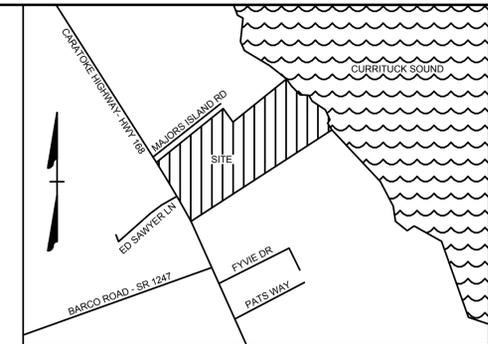
**PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT**  
A PAYMENT-IN-LIEU OF RECREATION AND PARK AREA DEDICATION HAS BEEN PROVIDED IN ACCORDANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENTS-IN-LIEU RECEIVED BY THE COUNTY SHALL BE USED ONLY FOR THE ACQUISITION OR DEVELOPMENT OF RECREATION AND PARK AREAS, AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTES SECTION 153A-331.

**STORMWATER STATEMENT**  
NO MORE THAN 8,000 SF OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.

**WETLANDS STATEMENT**  
PROPERTY ON THIS PLAT MAY CONTAIN 404 WETLANDS AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.

**PROPERTY ADDRESSES**

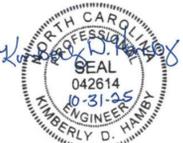
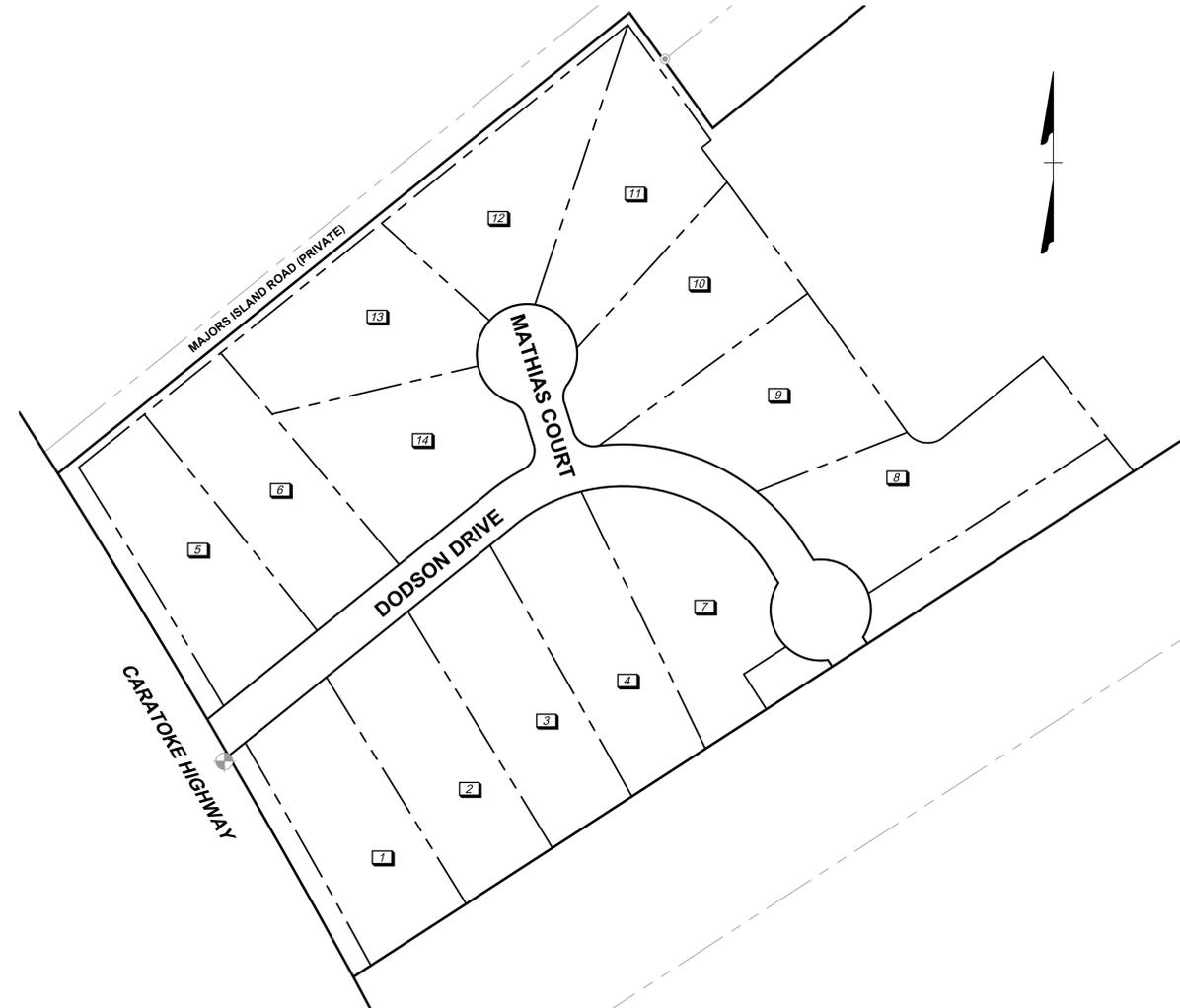
LOT 1: 100 DODSON DR  
LOT 2: 102 DODSON DR  
LOT 3: 104 DODSON DR  
LOT 4: 106 DODSON DR  
LOT 5: 101 DODSON DR  
LOT 6: 103 DODSON DR  
LOT 7: 108 DODSON DR  
LOT 8: 111 DODSON DR  
LOT 9: 109 DODSON DR  
LOT 10: 100 MATHIAS CT  
LOT 11: 102 MATHIAS CT  
LOT 12: 104 MATHIAS CT  
LOT 13: 103 MATHIAS CT  
LOT 14: 101 MATHIAS CT



**VICINITY MAP**  
NO SCALE

**ADJACENT ACTIVE FARMLAND STATEMENT**

AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS OF THIS DEVELOPMENT ADJOINS LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS NORMAL OPERATION.



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YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
11/05/2021	REVISIONS PER TRC COMMENTS
12/21/2021	REVISIONS PER ADDITIONAL TRC COMMENTS
05/08/2024	REVISIONS PER INCREASE FOR MATHIAS COURT
09/11/2025	REVIS DUE TO DOT TURNAROUND POLICY, COUNTY COMMENTS
10/31/2025	REVIS PER COUNTY REVIEW COMMENTS

DATE	11/10/2020
DRAWN BY	JHS
DESIGNED BY	JAM
CHECKED BY	JAM
SCALE	N/A

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

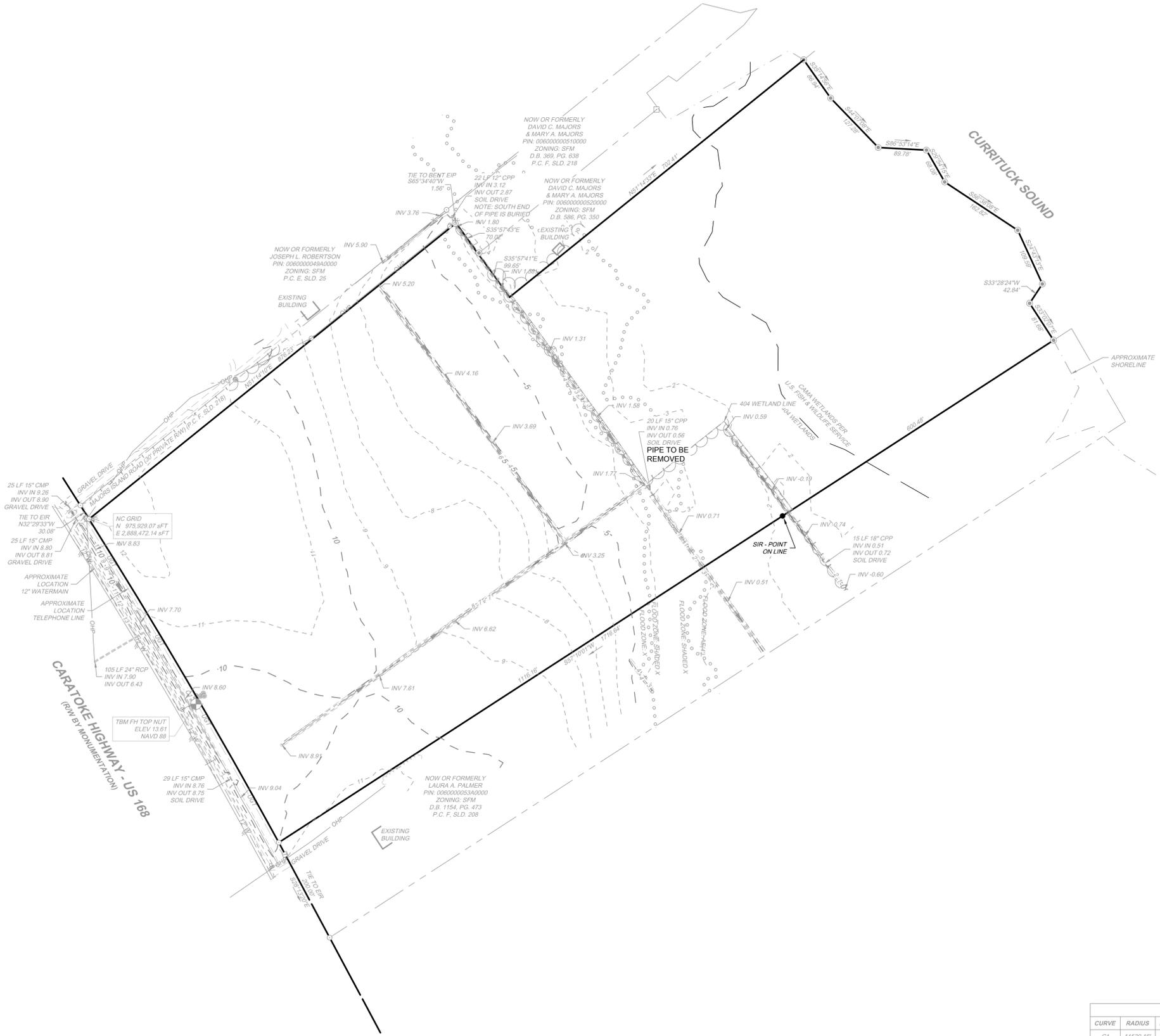
**COVER SHEET**

JOB NO.	44845
SHEET NO.	C0.0

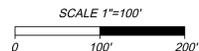


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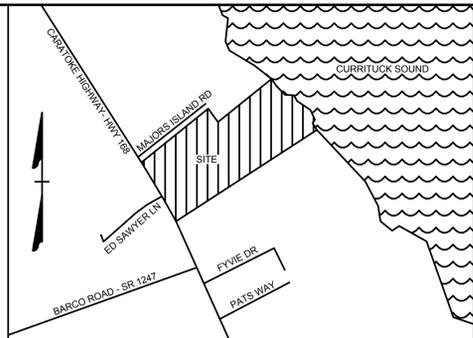
S:\10944445 - Boswood Estates - Mathias Property - Barco, NC\DWG\Sheet\CD4446C - C1.0 - EXIST COND.dwg | Printed on: 10/31/2025 11:14 AM | by Kim Heintz



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	11539.16'	695.78'	347.99'	3°27'17"	N30°31'05"W	695.67'



- LEGEND**
- BENCHMARK
  - EXISTING IRON PIPE (EIP)
  - EXISTING IRON REBAR (EIR)
  - SET IRON REBAR (SIR)
  - CALCULATED POINT
  - EXISTING FIRE HYDRANT
  - EXISTING WATER VALVE
  - EXISTING WATER METER
  - EXISTING SIGN / MARKER
  - EXISTING UTILITY POLE
  - EXISTING GUY WIRE
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING MAILBOX
  - EXISTING BOLLARD
  - PROPERTY BOUNDARY LINES
  - PROPERTY EXTENSION LINES
  - RIGHT OF WAY LINES
  - EXISTING EDGE OF PAVEMENT
  - EXISTING TELEPHONE LINE (UGT)
  - EXISTING WATERLINE (12" W)
  - EXISTING OVERHEAD POWER (OHP)
  - EXISTING CENTER OF DITCH
  - EXISTING TOP OF BANK
  - EXISTING STORM PIPE
  - EXISTING APPROXIMATE SHORELINE
  - EXISTING FENCE
  - EXISTING MAJOR CONTOUR (-5')
  - EXISTING MINOR CONTOUR (-4')
  - FEMA FLOOD ZONE
  - 404 WETLAND LINE
  - SOILS LINE
  - CAMA LINE
  - SHRUB LINE
  - TREELINE



**VICINITY MAP**  
NO SCALE



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NORTH CAROLINA LICENSE NO. C-1652

**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**

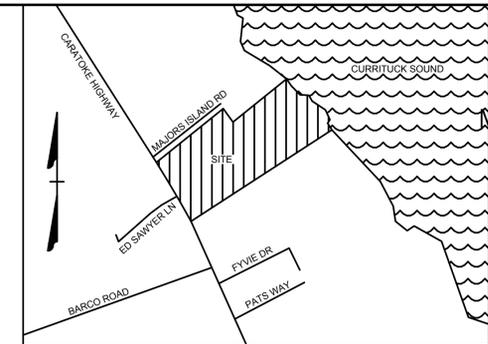
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**EXISTING CONDITIONS**

JOB NO.	44845
SHEET NO.	C1.0

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PRELIMINARY PLAT  
OCT 31, 2025  
NOT FOR RECORDATION  
OR CONVEYANCE



VICINITY MAP  
NO SCALE

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JHS/BCD

JAM

JAM

SCALE  
1" = 100'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**PRELIMINARY PLAT & BUFFERING PLAN**

JOB NO. 44845  
SHEET NO. C2.0

**BUFFERING REQUIREMENTS**

**TYPE B, OPTION 1: 702 LF PROPOSED (25' WIDE)\***

CANOPY TREES: 8 ACI PER 100 LF = 56 ACI REQUIRED  
UNDERSTORY TREES: 10 ACI PER 100 LF = 70 ACI REQUIRED  
SHRUBS: 15 SHRUBS PER 100 LF = 105 SHRUBS REQUIRED

**TYPE B, OPTION 2: 1020 LF PROPOSED (10' WIDE)**

CANOPY TREES: 2 ACI PER 100 LF = 20 ACI REQUIRED  
UNDERSTORY TREES: 14 ACI PER 100 LF = 143 ACI REQUIRED  
SHRUBS: 20 SHRUBS PER 100 LF = 204 SHRUBS REQUIRED

**MAJOR ARTERIAL SCREENING: 645 LF (25' WIDE)**

CANOPY TREES: 6 ACI PER 100 LF = 39 ACI REQUIRED  
UNDERSTORY TREES: 3 ACI PER 100 LF = 19 ACI REQUIRED  
SHRUBS: 5 SHRUBS PER 100 LF = 32 SHRUBS REQUIRED

**FARMLAND BUFFER: 472 LF (50' WIDE)**

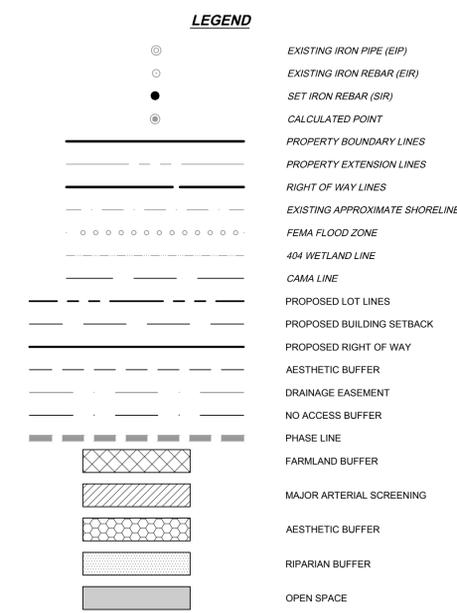
14 TREES (HARDWOOD/EVERGREEN MIX) PER 100 LF = 19 TREES REQUIRED

ACI = AGGREGATE CALIPER INCHES

\*AREA OF PROPOSED TYPE B, OPTION 1 BUFFER IS LOCATED IN WETLANDS.

NOTE: ACTUAL LANDSCAPE MATERIALS TO BE USED SHALL BE SUBMITTED TO PLANNING FOR APPROVAL PRIOR TO INSTALLATION.

\*\*SEE SHEET C2.1 FOR ADDITIONAL LANDSCAPE BUFFER INFORMATION.



CURVE TABLE

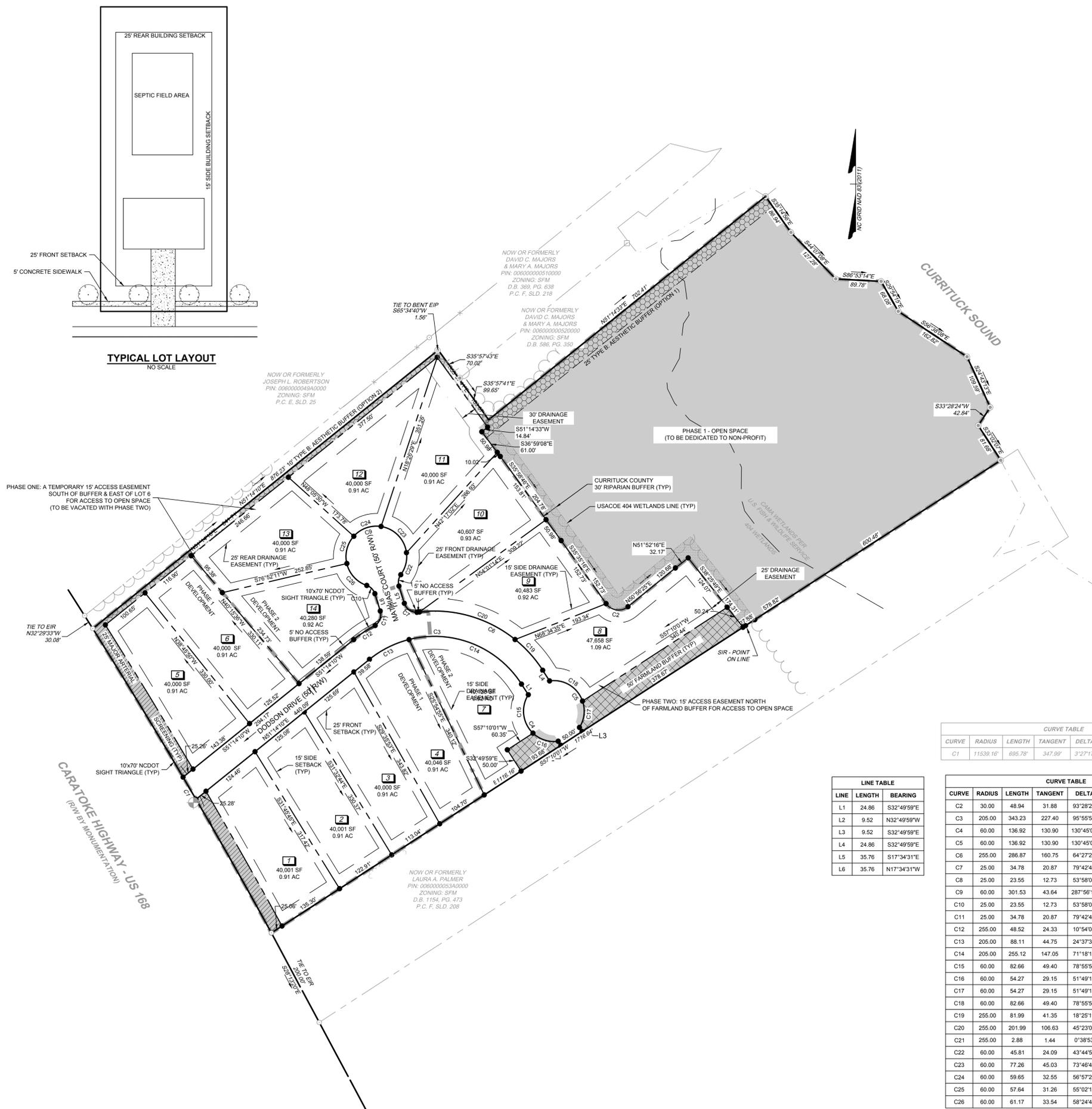
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	11539.16'	695.78'	347.99'	3°27'17"	N30°31'05"W	695.67'

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C2	30.00	48.94	31.88	93°28'20"	S82°19'25"E	43.69
C3	205.00	343.23	227.40	95°55'51"	N80°47'55"W	304.52
C4	60.00	136.92	130.90	130°45'05"	S32°49'59"E	109.09
C5	60.00	136.92	130.90	130°45'05"	N32°49'59"W	109.09
C6	255.00	286.87	160.75	64°27'20"	N65°03'39"W	271.98
C7	25.00	34.78	20.87	79°42'48"	S57°25'55"E	32.04
C8	25.00	23.55	12.73	53°58'05"	S9°24'32"W	22.69
C9	60.00	301.53	43.64	287°56'10"	S72°25'29"W	70.59
C10	25.00	23.55	12.73	53°58'05"	N44°33'34"W	22.69
C11	25.00	34.78	20.87	79°42'48"	N22°16'53"E	32.04
C12	255.00	48.52	24.33	10°54'08"	S56°41'14"W	48.45
C13	205.00	88.11	44.75	24°37'35"	S63°32'57"W	87.43
C14	205.00	255.12	147.05	71°18'16"	N68°29'07"W	238.97
C15	60.00	82.66	49.40	78°55'50"	S6°55'21"E	76.27
C16	60.00	54.27	29.15	51°49'15"	S72°17'54"E	52.44
C17	60.00	54.27	29.15	51°49'15"	N6°37'56"E	52.44
C18	60.00	82.66	49.40	78°55'50"	N58°44'37"W	76.27
C19	255.00	81.99	41.35	18°25'19"	N42°02'39"W	81.64
C20	255.00	201.99	106.63	45°23'07"	N73°56'52"W	196.75
C21	255.00	2.88	1.44	0°38'53"	S83°02'07"W	2.88
C22	60.00	45.81	24.09	43°44'51"	N14°31'09"E	44.71
C23	60.00	77.26	45.03	73°46'47"	N44°14'41"W	72.03
C24	60.00	59.65	32.55	56°57'26"	S70°23'13"W	57.22
C25	60.00	57.64	31.26	55°02'19"	S14°23'20"W	55.45
C26	60.00	61.17	33.54	58°24'47"	S42°20'13"E	58.56

LINE TABLE

LINE	LENGTH	BEARING
L1	24.86	S32°49'59"E
L2	9.52	N32°49'59"W
L3	9.52	S32°49'59"E
L4	24.86	S32°49'59"E
L5	35.76	S17°34'31"E
L6	35.76	N17°34'31"W



TYPICAL LOT LAYOUT  
NO SCALE

PHASE ONE: A TEMPORARY 15' ACCESS EASEMENT SOUTH OF BUFFER & EAST OF LOT 6 FOR ACCESS TO OPEN SPACE (TO BE VACATED WITH PHASE TWO)

PHASE 1 - OPEN SPACE (TO BE DEDICATED TO NON-PROFIT)

PHASE TWO: 15' ACCESS EASEMENT NORTH OF FARMLAND BUFFER FOR ACCESS TO OPEN SPACE

S:\109\44845 - Boswood Estates - Mathias Property - Barco, NC\DWG\Sheet\C2.dwg [Plotted on 10/31/2025 11:14 AM] by Kim Hamby





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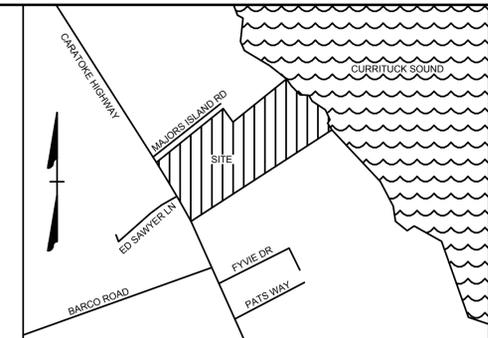
DATE: 11/10/2020  
DRAWN BY: BCD

CHECKED BY: KDH  
SCALE: 1" = 60'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**SITE PLAN**  
JOB NO. 44845  
SHEET NO. C2.1

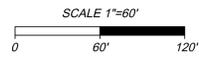


### VICINITY MAP

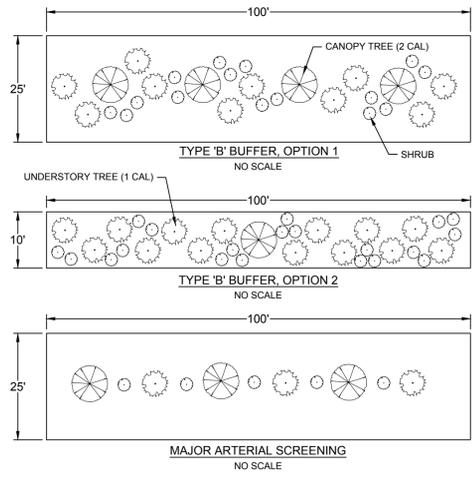
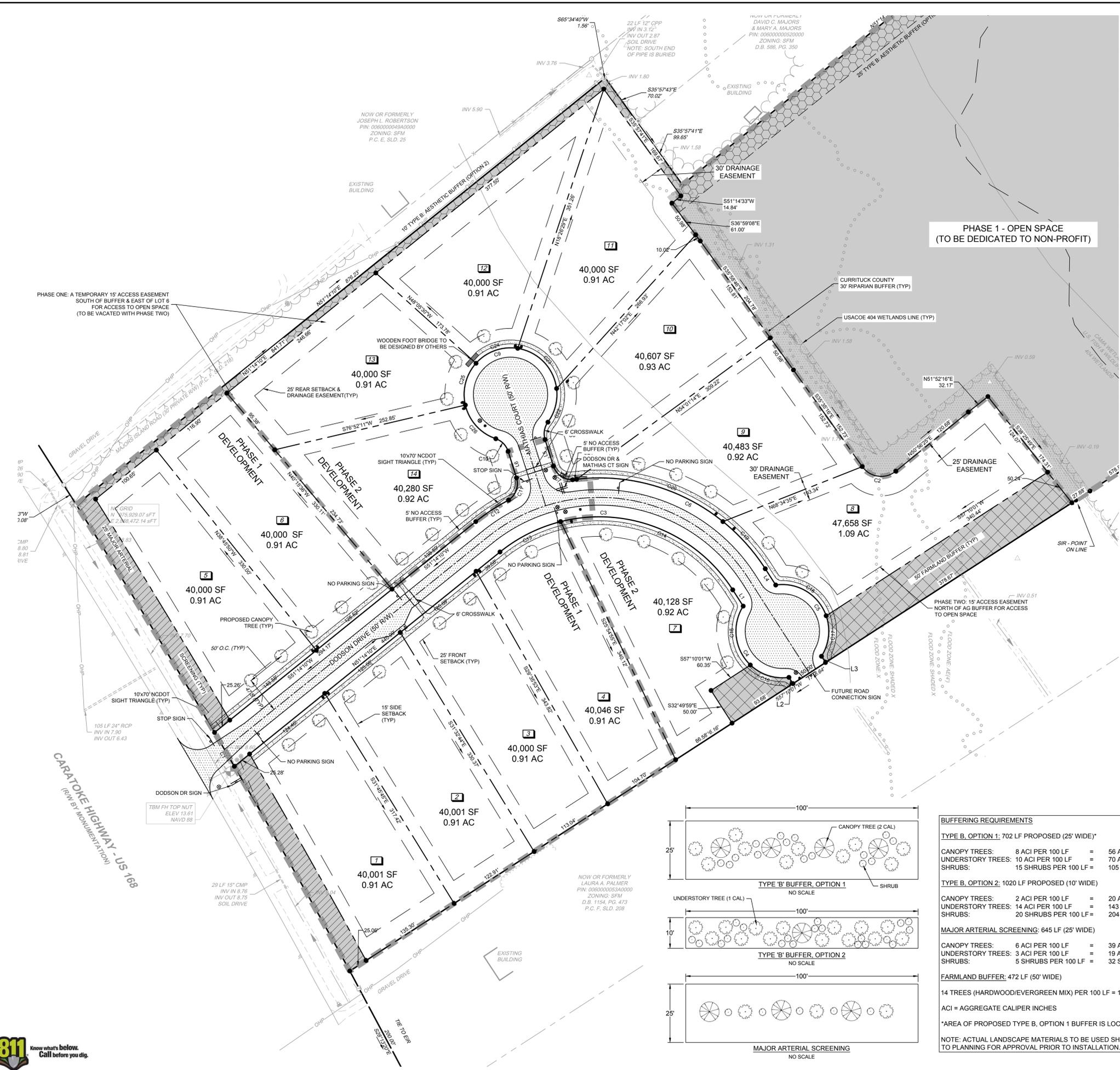
NO SCALE

**LEGEND**

	BENCHMARK
	EXISTING IRON PIPE (EIP)
	EXISTING IRON REBAR (EIR)
	SET IRON REBAR (SIR)
	CALCULATED POINT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING SIGN / MARKER
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING TELEPHONE PEDESTAL
	EXISTING MAILBOX
	EXISTING BOLLARD
	PROPOSED WATER METER
	PROPOSED WATER VALVES
	PROPOSED FIRE HYDRANT
	PROPERTY BOUNDARY LINES
	PROPERTY EXTENSION LINES
	RIGHT OF WAY LINES
	EXISTING EDGE OF PAVEMENT
	EXISTING OVERHEAD POWER
	EXISTING CENTER OF DITCH
	EXISTING TOP OF BANK
	EXISTING STORM PIPE
	EXISTING APPROXIMATE SHORELINE
	EXISTING FENCE
	FEMA FLOOD ZONE
	404 WETLAND LINE
	SOILS LINE
	CANA LINE
	SHRUB LINE
	TREE LINE
	PROPOSED LOT LINES
	PROPOSED BUILDING SETBACK
	PROPOSED RIGHT OF WAY
	ROAD CENTERLINE
	AESTHETIC BUFFER
	DRAINAGE EASEMENT
	NO ACCESS BUFFER
	PHASE LINE
	FARMLAND BUFFER
	MAJOR ARTERIAL SCREENING
	AESTHETIC BUFFER
	RIPARIAN BUFFER
	PROPOSED CANOPY TREE
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	OPEN SPACE



### PHASE 1 - OPEN SPACE (TO BE DEDICATED TO NON-PROFIT)



**BUFFERING REQUIREMENTS**

**TYPE B, OPTION 1: 702 LF PROPOSED (25' WIDE)\***

CANOPY TREES:	8 ACI PER 100 LF	=	56 ACI REQUIRED
UNDERSTORY TREES:	10 ACI PER 100 LF	=	70 ACI REQUIRED
SHRUBS:	15 SHRUBS PER 100 LF	=	105 SHRUBS REQUIRED

**TYPE B, OPTION 2: 1020 LF PROPOSED (10' WIDE)**

CANOPY TREES:	2 ACI PER 100 LF	=	20 ACI REQUIRED
UNDERSTORY TREES:	14 ACI PER 100 LF	=	143 ACI REQUIRED
SHRUBS:	20 SHRUBS PER 100 LF	=	204 SHRUBS REQUIRED

**MAJOR ARTERIAL SCREENING: 645 LF (25' WIDE)**

CANOPY TREES:	6 ACI PER 100 LF	=	39 ACI REQUIRED
UNDERSTORY TREES:	3 ACI PER 100 LF	=	19 ACI REQUIRED
SHRUBS:	5 SHRUBS PER 100 LF	=	32 SHRUBS REQUIRED

**FARMLAND BUFFER: 472 LF (50' WIDE)**

14 TREES (HARDWOOD/EVERGREEN MIX) PER 100 LF = 19 TREES REQUIRED

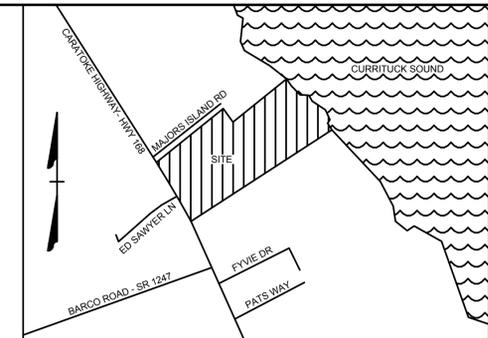
ACI = AGGREGATE CALIPER INCHES

\*AREA OF PROPOSED TYPE B, OPTION 1 BUFFER IS LOCATED IN WETLANDS.

NOTE: ACTUAL LANDSCAPE MATERIALS TO BE USED SHALL BE SUBMITTED TO PLANNING FOR APPROVAL PRIOR TO INSTALLATION.

S:\10944445 - Boswood Estates - Mathias Property - Barco, NC\DWG\Sheet\C2.1.dwg | Plotted on 10/31/2025 11:14 AM | by Kim Hamby





VICINITY MAP  
NO SCALE

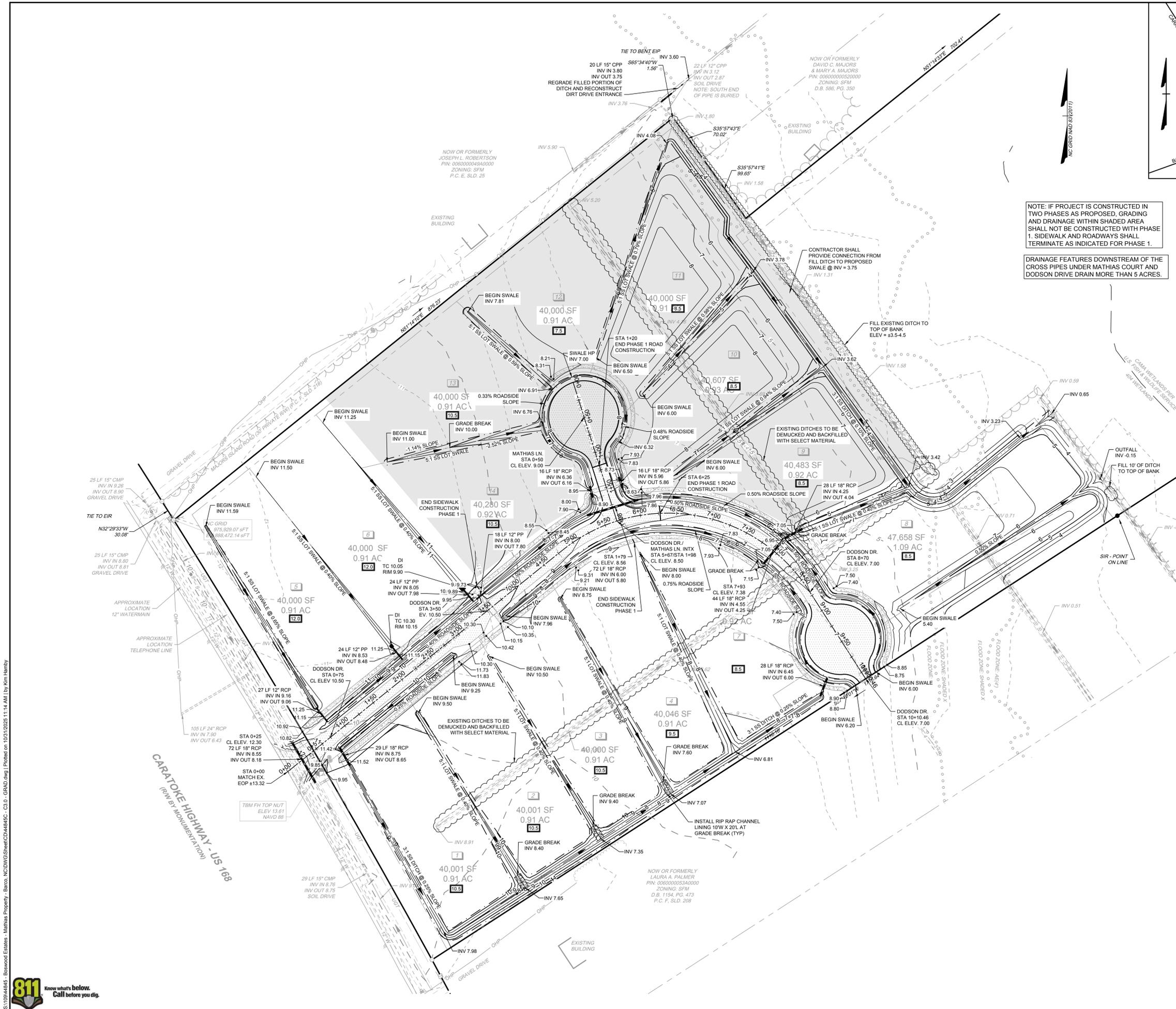
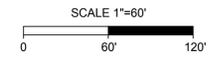
NOTE: IF PROJECT IS CONSTRUCTED IN TWO PHASES AS PROPOSED, GRADING AND DRAINAGE WITHIN SHADED AREA SHALL NOT BE CONSTRUCTED WITH PHASE 1. SIDEWALK AND ROADWAYS SHALL TERMINATE AS INDICATED FOR PHASE 1.

DRAINAGE FEATURES DOWNSTREAM OF THE CROSS PIPES UNDER MATHIAS COURT AND DODSON DRIVE DRAIN MORE THAN 5 ACRES.

NOTE: ALL DEVELOPMENT WITHIN A SPECIAL FLOOD HAZARD AREA SHALL OBTAIN ALL REQUIRED FLOOD CERTIFICATES OR CERTIFICATIONS IN ACCORDANCE WITH THIS SECTION AND TABLE 7.4.5, FLOOD CERTIFICATES IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.

LEGEND

- BENCHMARK
- EXISTING IRON PIPE (EIP)
- EXISTING IRON REBAR (EIR)
- SET IRON REBAR (SIR)
- CALCULATED POINT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING SIGN / MARKER
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING TELEPHONE PEDESTAL
- EXISTING MAILBOX
- EXISTING BOLLARD
- PROPERTY BOUNDARY LINES
- PROPERTY EXTENSION LINES
- RIGHT OF WAY LINES
- EXISTING EDGE OF PAVEMENT
- EXISTING TELEPHONE LINE
- EXISTING WATERLINE
- EXISTING OVERHEAD POWER
- EXISTING CENTER OF DITCH
- EXISTING TOP OF BANK
- EXISTING STORM PIPE
- EXISTING APPROXIMATE SHORELINE
- EXISTING FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FEMA FLOOD ZONE
- 404 WETLAND LINE
- CAMA LINE
- TREELINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED TOP OF BANK LINE
- PROPOSED DITCH CENTERLINE
- PROPOSED STORM PIPE
- BUILDING PAD ELEVATION
- PHASE 2 DRAINAGE WORK



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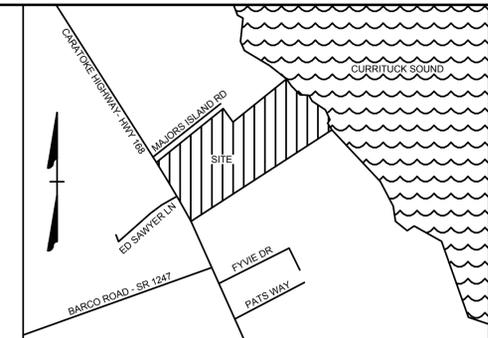
NORTH CAROLINA LICENSE NO. C-1652

## BOSWOOD ESTATES CONSTRUCTION DRAWINGS

CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

### GRADING & DRAINAGE PLAN

JOB NO. 44845  
SHEET NO. C3.0



VICINITY MAP  
NO SCALE

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11/05/2021	REVISIONS PER TRC COMMENTS
12/21/2021	REVISIONS PER ADDITIONAL TRC COMMENTS
05/08/2024	REVIS DUE TO RAW INCREASE FOR MATIAS COURT
09/11/2025	REVIS DUE TO DOT TURNAROUND POLICY, COUNTY COMMENTS
10/31/2025	REVIS PER COUNTY REVIEW COMMENTS

11/10/2020  
BCD  
KDH  
KDH  
SCALE  
1" = 60'

# TIMMONS GROUP

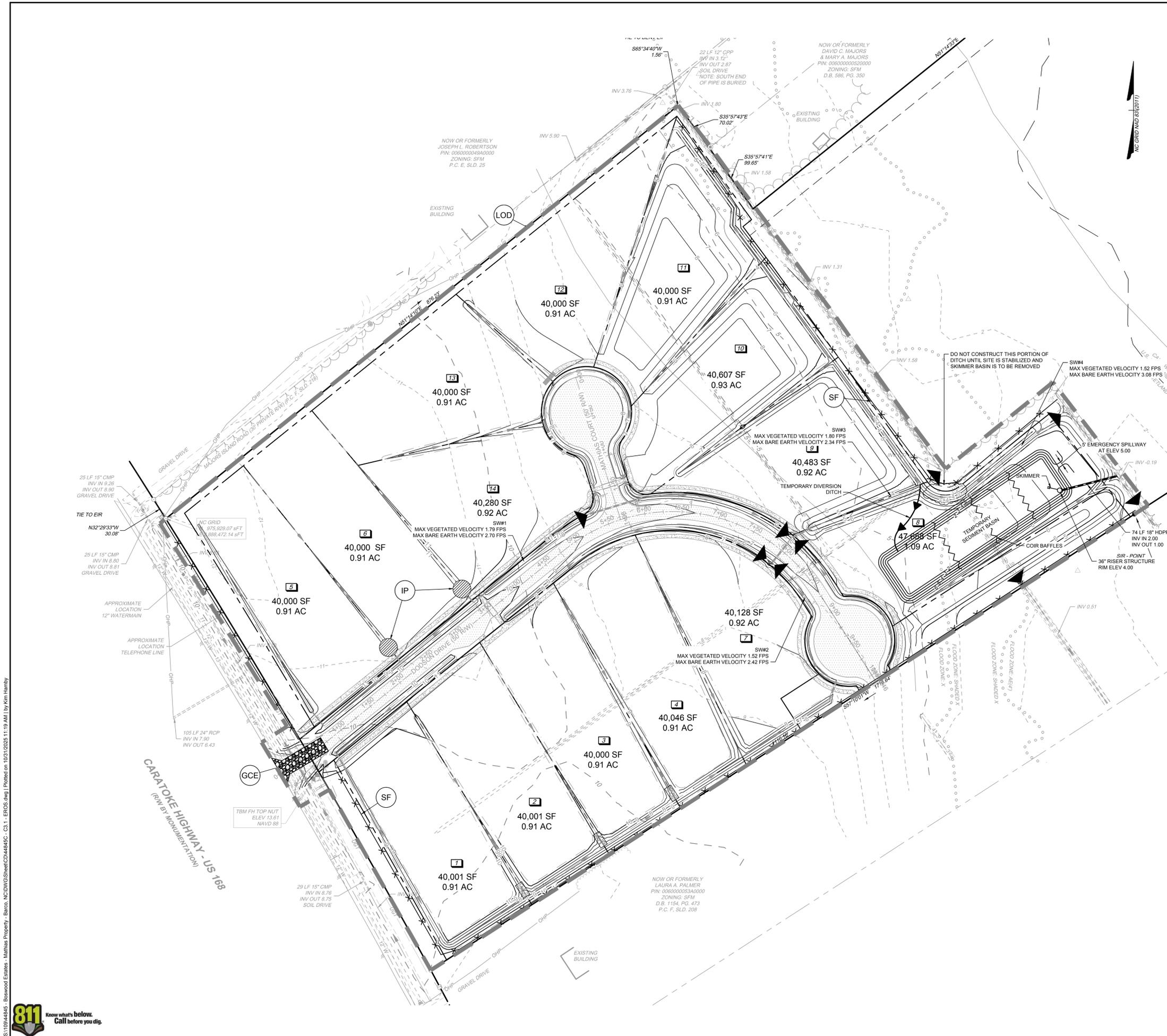
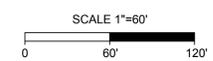
NORTH CAROLINA LICENSE NO. C-1652

**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**EROSION & SEDIMENTATION CONTROL PLAN**

JOB NO.  
**44845**  
SHEET NO.  
**C3.1**

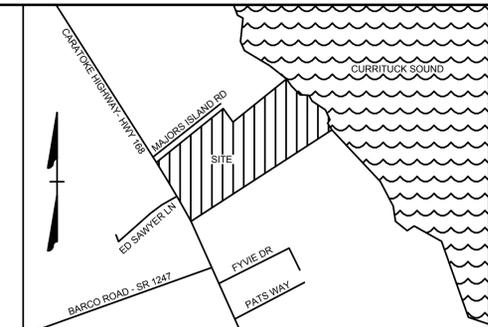
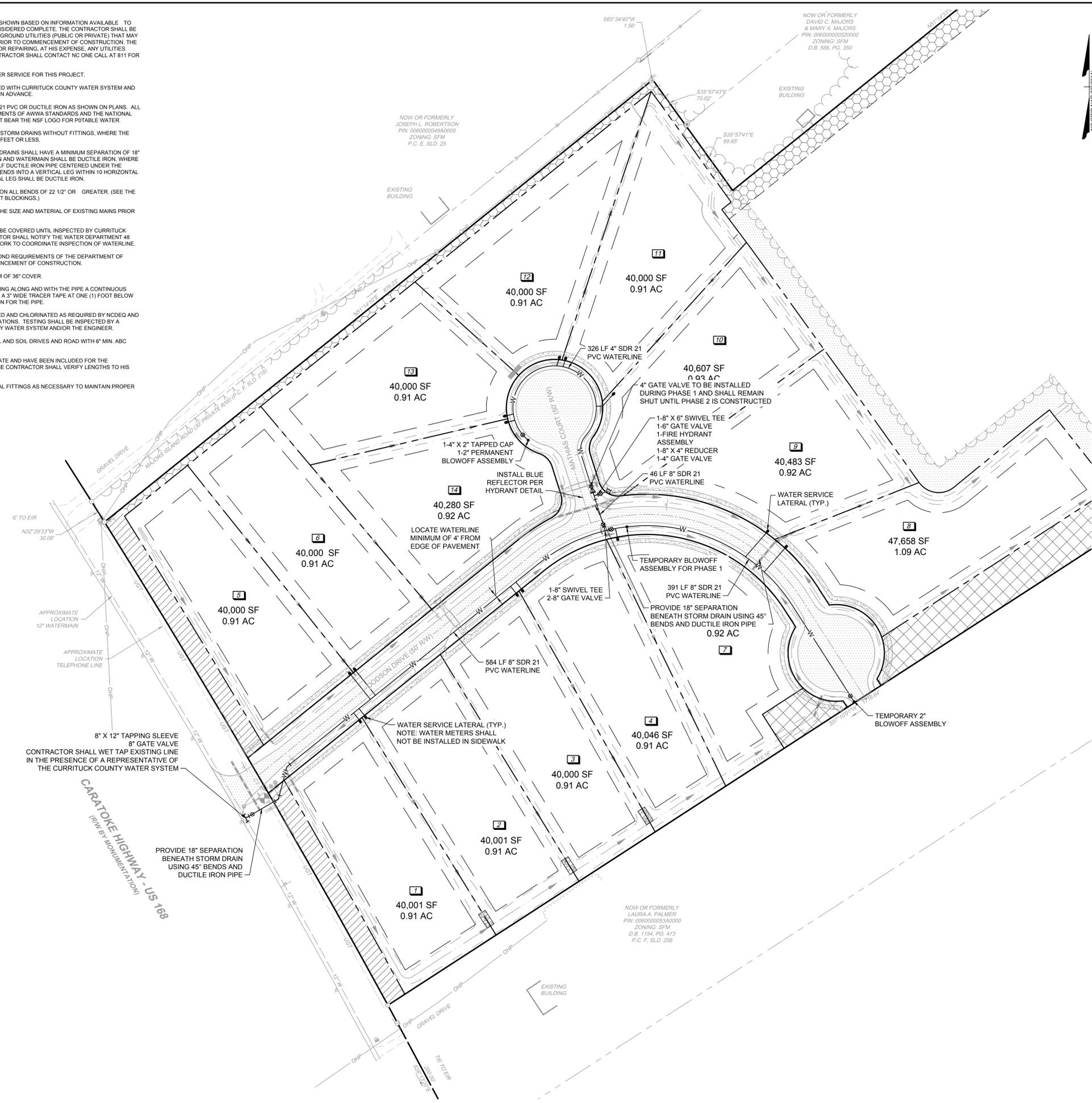
**LEGEND**

(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	-x-x-x-x-	SILT FENCE
(IP)	[Symbol]	INLET PROTECTION
	[Symbol]	STONE CHECK DAM
	[Symbol]	RIP RAP
	[Symbol]	COIR BAFFLES
	[Symbol]	DIVERSION DITCH



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- WATERMAIN NOTES:**
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL AT 811 FOR UTILITY LOCATION.
  - CURRITUCK COUNTY WILL PROVIDE WATER SERVICE FOR THIS PROJECT.
  - ALL INSPECTIONS SHALL BE COORDINATED WITH CURRITUCK COUNTY WATER SYSTEM AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
  - ALL WATERMANS SHALL BE EITHER SDR 21 PVC OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF ANWA STANDARDS AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER.
  - WATERMANS MAY BE INSTALLED UNDER STORM DRAINS WITHOUT FITTINGS, WHERE THE CHANGE IN VERTICAL ELEVATION IS TWO FEET OR LESS.
  - WATERMANS INSTALLED UNDER STORM DRAINS SHALL HAVE A MINIMUM SEPARATION OF 18" BETWEEN WATERMAIN AND STORM DRAIN AND WATERMAIN SHALL BE DUCTILE IRON. WHERE PRACTICAL, INSTALL A FULL JOINT OF 20 LF DUCTILE IRON PIPE CENTERED UNDER THE STORM DRAIN. WHERE THE WATERLINE BENDS INTO A VERTICAL LEG WITHIN 10 HORIZONTAL FEET OF THE STORM DRAIN, THE VERTICAL LEG SHALL BE DUCTILE IRON.
  - THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2" OR GREATER. (SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
  - THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING MAINS PRIOR TO ORDERING MATERIALS.
  - DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY CURRITUCK COUNTY WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION OF WATERLINE.
  - THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - ALL WATERMANS SHALL HAVE A MINIMUM OF 36" COVER.
  - ALL PIPES AND SERVICES TO HAVE RUNNING ALONG AND WITH THE PIPE A CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
  - WATERLINES SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY NCDEQ AND AS DETAILED IN THE COUNTY'S SPECIFICATIONS. TESTING SHALL BE INSPECTED BY A REPRESENTATIVE OF CURRITUCK COUNTY WATER SYSTEM AND/OR THE ENGINEER.
  - CONTRACTOR SHALL REPAIR ALL GRAVEL AND SOIL DRIVES AND ROAD WITH 6" MIN. ABC STONE.
  - LENGTHS OF WATERLINE ARE APPROXIMATE AND HAVE BEEN INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY LENGTHS TO HIS SATISFACTION.
  - CONTRACTOR SHALL PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO MAINTAIN PROPER ALIGNMENT AND COVER.



**LEGEND**

	BENCHMARK
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	EXISTING IRON REBAR (EIR)
	SET IRON REBAR (SIR)
	CALCULATED POINT
	EXISTING FIRE HYDRANT
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	EXISTING WATER METER
	EXISTING SIGN / MARKER
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING TELEPHONE PEDESTAL
	EXISTING MAILBOX
	EXISTING BOLLARD
	WATER METER
	WATER VALVE
	PROPOSED FIRE HYDRANT

	PROPERTY BOUNDARY LINES
	PROPERTY EXTENSION LINES
	RIGHT OF WAY LINES
	EXISTING EDGE OF PAVEMENT
	EXISTING TELEPHONE LINE
	EXISTING WATERLINE
	EXISTING OVERHEAD POWER
	EXISTING CENTER OF DITCH
	EXISTING TOP OF BANK
	EXISTING STORM PIPE
	EXISTING APPROXIMATE SHORELINE
	EXISTING FENCE
	FEMA FLOOD ZONE
	404 WETLAND LINE
	SOILS LINE
	CAMA LINE
	SHRUB LINE
	TREE LINE
	PROPOSED LOT LINES
	PROPOSED BUILDING SETBACK
	PROPOSED RIGHT OF WAY
	ROAD CENTERLINE
	AESTHETIC BUFFER
	DRAINAGE EASEMENT
	NO ACCESS BUFFER
	PHASE LINE
	PROPOSED TOP OF BANK LINE
	PROPOSED DITCH CENTERLINE
	PROPOSED STORM PIPE
	PROPOSED WATERMAIN
	AGRICULTURAL BUFFER
	MAJOR ARTERIAL SCREENING
	AESTHETIC BUFFER
	RIPARIAN BUFFER
	PROPOSED CANOPY TREE
	PROPOSED CONCRETE
	PROPOSED ASPHALT

SCALE 1" = 60'

0 60' 120'



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12/21/2021					
05/08/2024					
09/11/2025					
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SCALE	1" = 60'

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**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
 CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**UTILITY PLAN**

JOB NO. 44845  
 SHEET NO. C4.0

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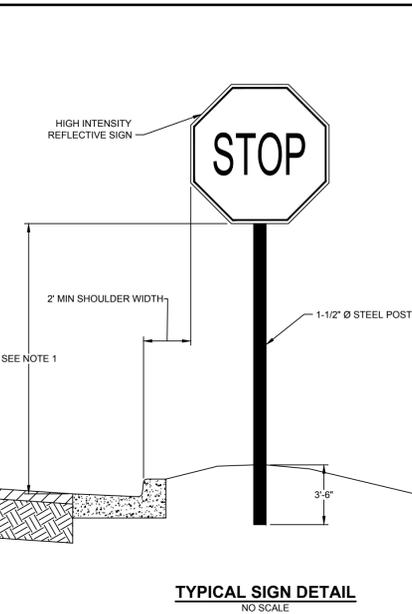
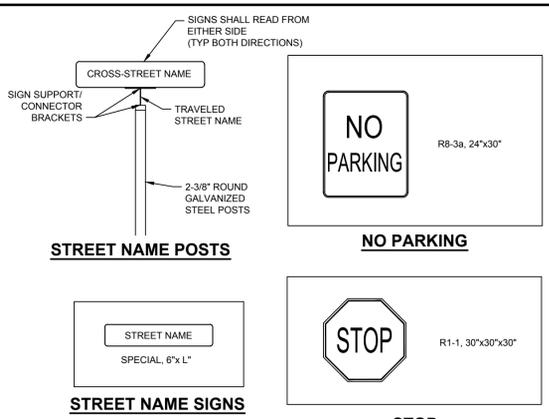
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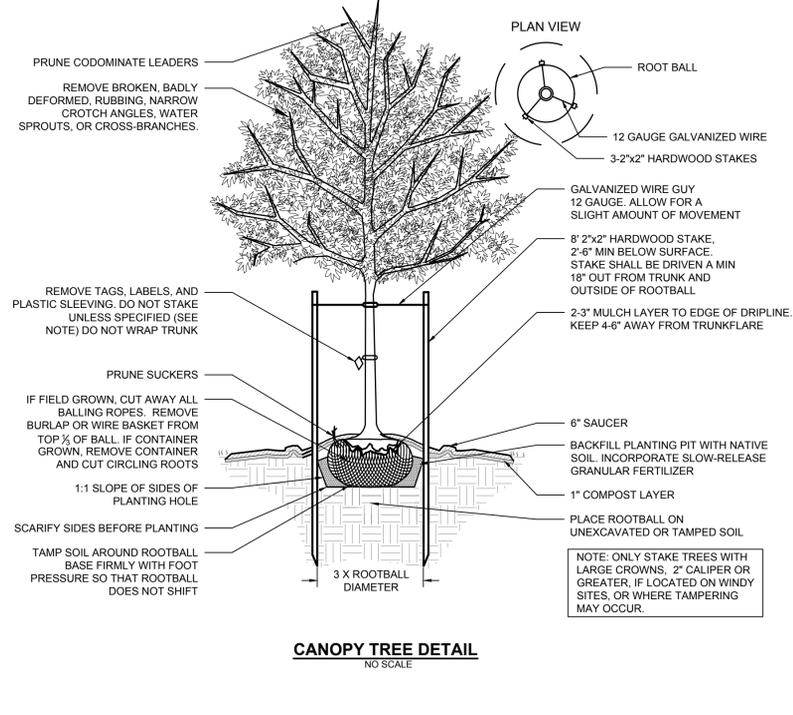
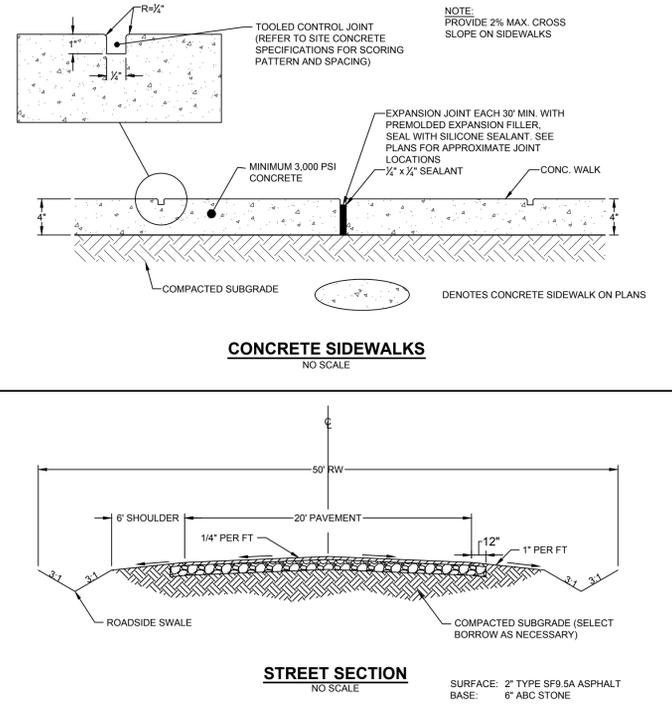
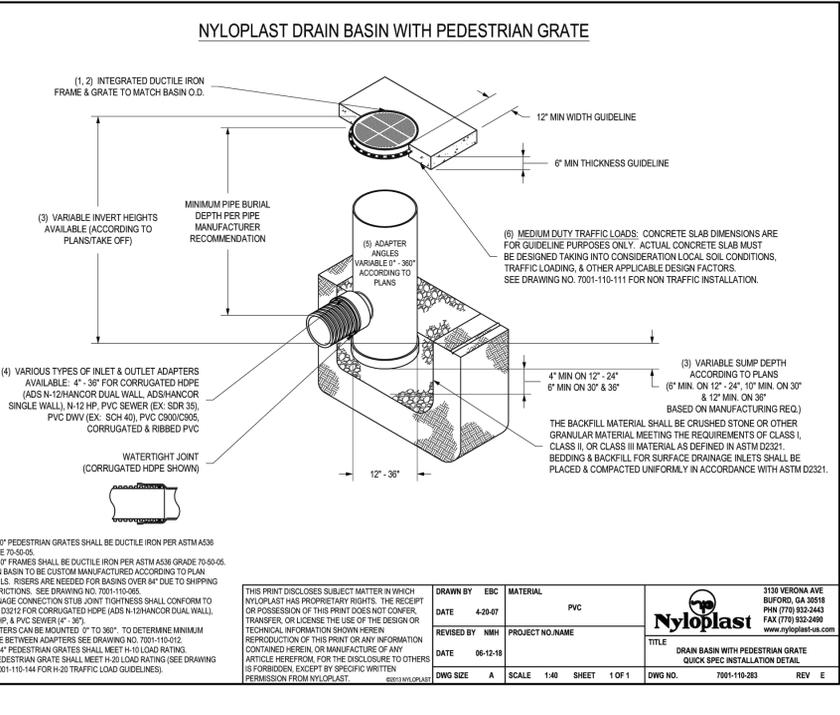
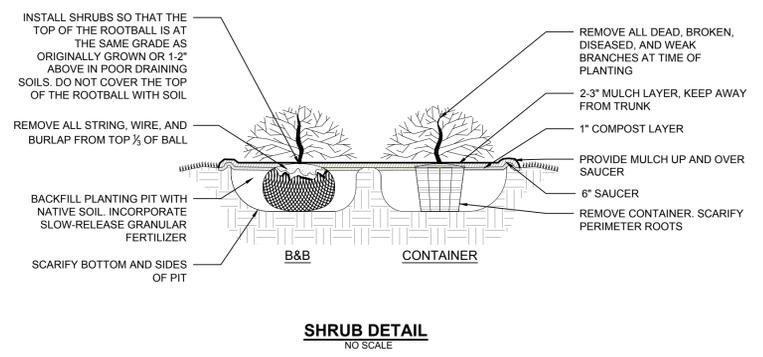
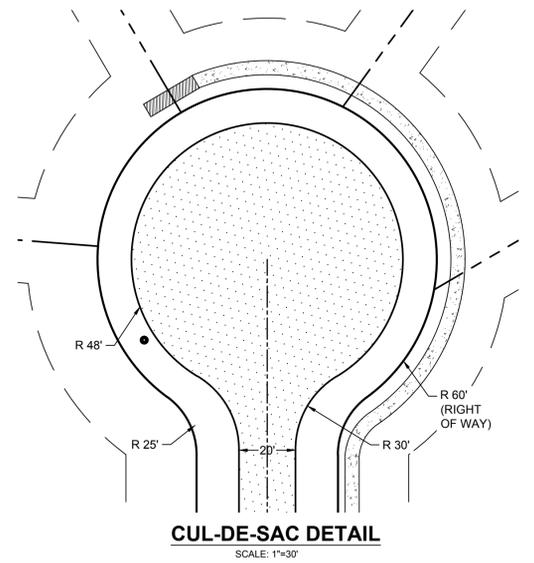
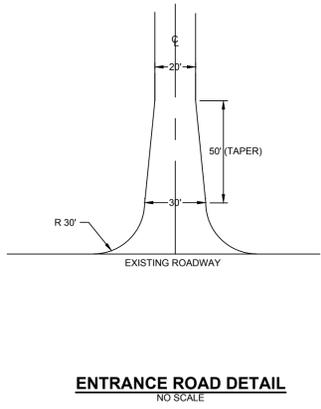
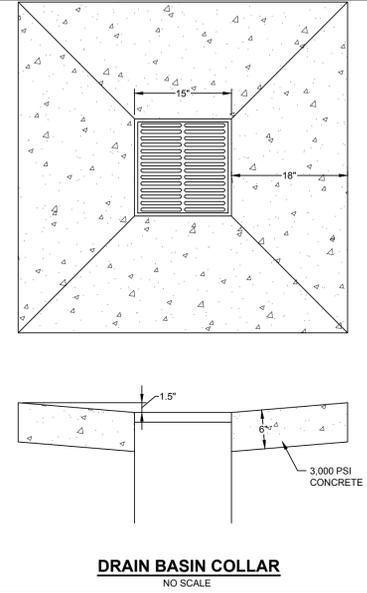
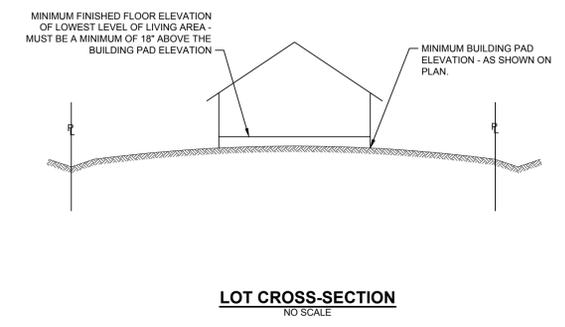
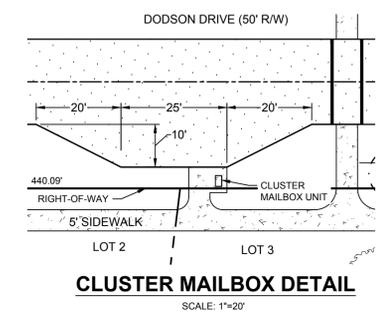
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**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
 CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**SITE DETAILS**

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- NOTES:
- SIGN SHALL BE ERECTED WITH THE BOTTOM OF SIGN ASSEMBLY 6 FT. ABOVE THE EDGE OF THE TRAVEL LANE ON FREEWAYS AND 5 FT. ON OTHER ROUTES. THE VERTICAL CLEARANCE SHALL BE 7 FT. WHERE REQUIRED FOR PEDESTRIAN TRAFFIC AND/OR PARKED VEHICLES. OR A 6 FT. + MINIMUM CLEARANCE TO THE SIDEWALK OR WALKING SURFACE.
  - THE VERTICAL DIMENSIONS BETWEEN MOUNTING HOLE CENTERS SHALL BE 30" MAXIMUM. THE VERTICAL AND HORIZONTAL DIMENSIONS BETWEEN MOUNTING HOLES SHALL BE TO THE WHOLE INCH. SIGN SHALL HAVE A MINIMUM OF 2 BOLTS PER SUPPORT.
  - BOLT THREADS SHALL BE DEFORMED WITH PUNCH AND CHISEL AFTER INSTALLATION SUFFICIENTLY TO REDUCE REMOVAL BY VANDALS.



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10/31/2025

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11/10/2020

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BCD

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KDH

SCALE  
NO SCALE

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NORTH CAROLINA LICENSE NO. C-1652  
**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**EROSION CONTROL DETAILS**

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SHEET NO.  
C5.1

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**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**  
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauges maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken. 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2)(c) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&SC Plan Documentation**  
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be Kept on Site**  
In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**  
All data used to complete the e-NCI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that Must be Reported**  
Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**  
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1)(b)-(c) above	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(8)]	<ul style="list-style-type: none"> <li>A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(9)]	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(l)(8)].</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

**PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

(a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.

(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit.

(c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, weir tanks, and filtration systems.

(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.

(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and

(f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING** EFFECTIVE: 04/01/19

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Site Area Description	Required Ground Stabilization Timeframes	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	Stabilize within this many calendar days after ceasing land disturbance: 7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	-10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**  
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Roller erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Roller erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING** EFFECTIVE: 04/01/19



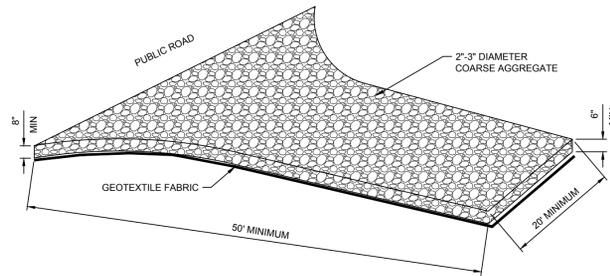
S:\10944845 - Boswood Estates - Mahanah Property - Beroo - NCG01.dwg | Sheet: C044845C5 - LDT:EROS.DWG | Plotted on: 10/31/2025 11:19 AM | by: Kim Hamby

**CONSTRUCTION SPECIFICATIONS:**

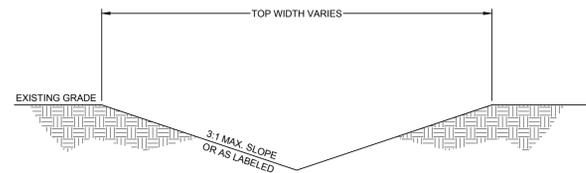
1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, AND PROPERLY GRADE IT.
2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLAN.
3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

**MAINTENANCE**

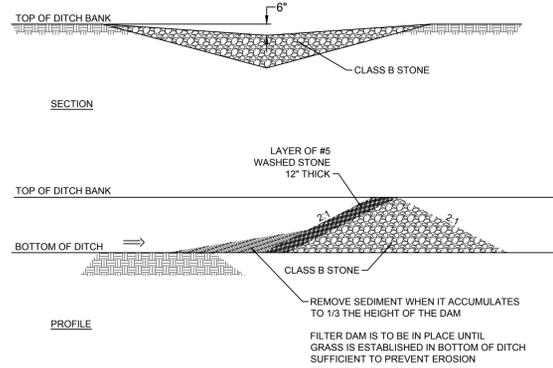
MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TWO-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.



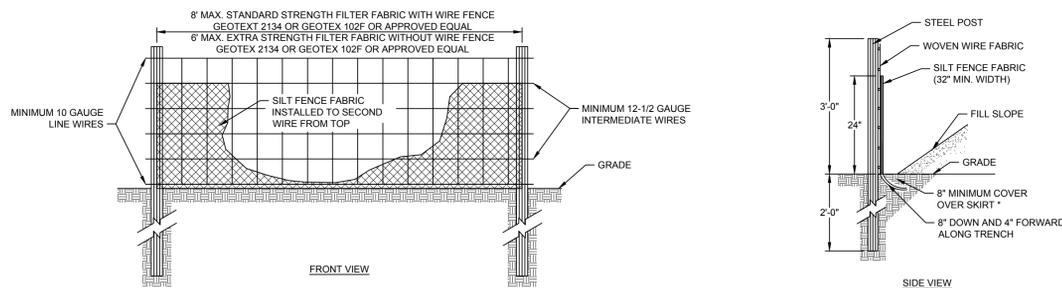
**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**  
NO SCALE



**TYPICAL DITCH/SWALE**  
NO SCALE



**CHECK DAM**  
NO SCALE



- CONSTRUCTION SPECIFICATIONS**
1. USE SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461.
  2. SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0-120 DEGREES F.
  3. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.33 LB/LF STEEL WITH A MINIMUM LENGTH OF 5'. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.
  4. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 14 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

**SILT FENCE**  
NO SCALE

- MAINTENANCE**
1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
  2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
  3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
  4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

DATE:

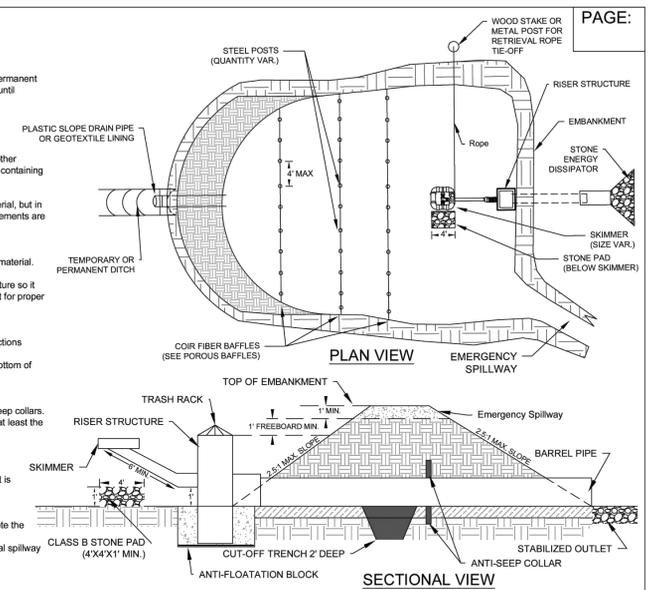
NOTES:

1. Install temporary sediment basins to the approved design. If the basin will eventually be converted to a permanent completion of the project:
  - Maximum Drainage Area: 100 acres
  - Minimum Sediment Storage Volume: 1800 cubic feet per acre of disturbed area
  - Minimum Surface Area: 435 square feet per cfs of  $Q_{10}$  peak inflow
  - Minimum dwelltime: 48 hours
2. Clear, grub, and strip topsoil from areas under the embankment to remove trees, vegetation, roots, and other objectionable material. Delay clearing the pool area until the dam is complete. Stockpile all topsoil or soil containing organic matter for use on the outer shell of the embankment to facilitate vegetative establishment.
3. Place temporary sediment control measures below the basin and stockpile as needed.
4. Excavate a cut-off trench along the center line of the earth fill embankment. Cut trench to stable soil material, but in no case make it less than 2 feet deep with maximum side slopes no steeper than 1:1. Compaction requirements are the same as those for the embankment.
5. Extend the cut-off trench into both abutments to at least the elevation of the riser crest.
6. Keep the trench dry during backfilling and compaction operations.
7. Fill material should be clean mineral soil, free of roots, woody vegetation, rocks, and other objectionable material. Areas of approved fill should be shown on the plans.
8. Scarify areas on which fill is to be placed prior to placing. Ensure that fill material contains sufficient moisture so it can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction.
9. Place fill material in 6 to 8 inch continuous layers over the entire length of fill area and compact.
10. Construct the embankment to an elevation 10% higher than the design height to allow for settling.
11. Securely attach the riser to the barrel or barrel stub to make a watertight structural connection. All connections should be made using approved watertight assemblies.
12. If no riser structure is to be used, couple the skimmer arm directly into the embankment 1 foot from the bottom of the basin.
13. The arm pipe connecting the skimmer to the riser shall have a minimum length of 6 feet.
14. Place barrel and riser on a firm, smooth foundation of impervious soil.
15. Do not use pervious material such as sand, gravel, or crushed stone as backfill around the pipe or anti-seep collars.
16. Place fill material around the pipe spillway in 4-inch layers, and compact it under and around the pipe to at least the same density as the adjacent embankment.
17. Place a minimum depth of 2 feet of compacted backfill over the pipe spillway before crossing it with any construction equipment.
18. Anchor riser in place by concrete or other satisfactory means to prevent flotation.
19. In no case should the pipe conduit be installed by cutting a trench through the dam after the embankment is complete.
20. Install the emergency spillway in undisturbed soil.
21. Discharge water into the basin in a manner to prevent erosion.
22. Construct basin so that the disturbed area is minimized, divert surface water from bare areas and complete the embankment before the area is cleared.
23. Stabilize the emergency spillway embankment and all other disturbed area above the crest of the principal spillway immediately after construction.
24. Seed and place matting for erosion control on interior and exterior side slopes.
25. Install Porous Baffles as specified on following sheets.



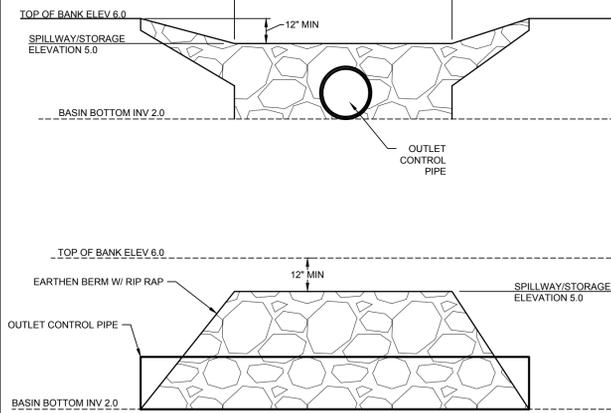
**SEDIMENT BASIN**

Effective Date: 9/1/2023  
In accordance with the 2013 Design Manual Updates

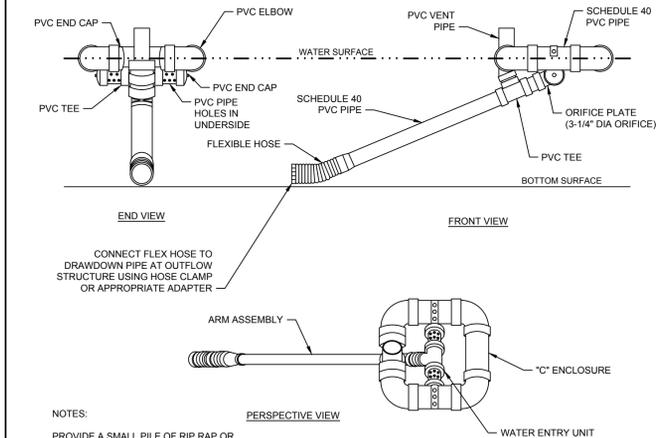


**Acceptable Dimensions for Basin Embankment**

Fill Height	Minimum Top Width
Less than 10.0 ft	8.0 ft
10.0 ft to 15.0 ft	10.0 ft



**SEDIMENT BASIN EMERGENCY SPILLWAY**  
NO SCALE

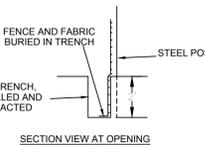
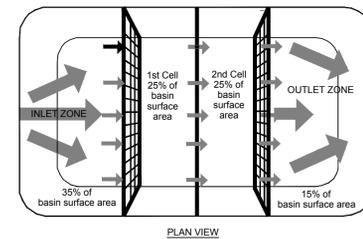


NOTES:

1. PROVIDE A SMALL PILE OF RIP RAP OR CONCRETE MASONRY BLOCK DIRECTLY BELOW SKIMMER TO PREVENT SKIMMER FROM RESTING ON SOIL.
2. ALL SCHEDULE 40 PVC PIPE & FITTINGS SHALL BE 4" MIN. DIA.
3. SKIMMER TO BE TETHERED

SEE N.C. DENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR CONDITIONS WHERE PRACTICE APPLIES. PLANNING CONSIDERATION & DESIGN CRITERIA.

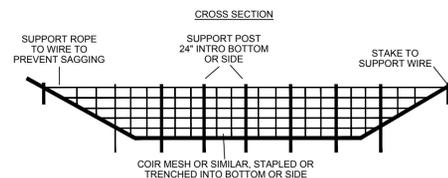
**4" SKIMMER**  
NO SCALE



**COIR BAFFLES**  
NO SCALE

NOTES:

1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE 1ST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
3. PROVIDE 3 BAFFLES (USE TWO IF LESS THAN 20 FEET IN LENGTH). PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
4. BAFFLE SHALL BE 700 GMZ COIR EROSION BLANKET.
5. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS
6. INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL



MAINTENANCE

- INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.
- REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



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DATE	REVISION DESCRIPTION
11/05/2021	REVISED PER TRC COMMENTS
12/21/2021	REVISED PER ADDITIONAL TRC COMMENTS
05/08/2024	REVISED TO RAW INCREASE FOR MATIUS COURT
09/11/2025	REVISED TO DOT TURNAROUND POLICY, COUNTY COMMENTS
10/31/2025	REVISED PER COUNTY REVIEW COMMENTS

11/10/2020  
DRAWN BY  
BCD  
DESIGNED BY  
KDH  
CHECKED BY  
KDH  
SCALE  
NO SCALE

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**GRADING/DRAINAGE AND EROSION CONTROL DETAILS**

JOB NO.  
44845  
SHEET NO.  
C5.2

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 NORTH CAROLINA LICENSE NO. C-1652  
**BOSWOOD ESTATES CONSTRUCTION DRAWINGS**  
 CRAWFORD TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**EROSION CONTROL DETAILS**

JOB NO.  
**44845**  
 SHEET NO.  
**C5.3**

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**CONSTRUCTION SEQUENCING**

1. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS. (SEE DETAIL)
2. INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS AND ALL SILT FENCE TO PREVENT OFF SITE SEDIMENTATION.
3. PERFORM CLEARING DEMOLITION WORK AND INSTALL SEDIMENT BASIN.
4. PERFORM GRADING AND INSTALL STORM DRAINAGE.
5. INSTALL THE REMAINING SEDIMENT AND EROSION CONTROL PROTECTION.
6. INSTALL THE STONE BASE AND ASPHALT FOR THE ROAD UP TO PHASE 1 LIMITS.
7. PROVIDE GROUND COVER IN ACCORDANCE WITH DETAIL MARKED 'EROSION CONTROL MEASURES'; THIS SHEET.
8. MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
9. ONCE PHASE 1 DEVELOPMENT IS COMPLETE AND SITE IS SUBSTANTIALLY STABILIZED, FILL TEMPORARY DIVERSION DITCH. LEAVE SEDIMENT BASIN IN PLACE FOR PHASE 2 DEVELOPMENT.
10. RECONSTRUCT TEMPORARY DIVERSION DITCH.
11. REPEAT STEPS 4-8 FOR PHASE 2 CONSTRUCTION.
12. PERIMETER MEASURES MUST BE LEFT IN PLACE UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED.
13. AFTER SITE IS PERMANENTLY STABILIZED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, AND PROVIDE PERMANENT SEEDING WHERE TEMPORARY MEASURES HAVE BEEN REMOVED AND GROUND COVER IS NOT ADEQUATE. SKIMMER/SEDIMENT BASINS MAY NOT BE REMOVED UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED. NCDEQ SHOULD BE NOTIFIED 10-DAYS PRIOR TO REMOVAL OF A BASIN.
14. UPON NCDEQ APPROVAL, SKIMMER, DISCHARGE PIPE, SPILLWAY, AND BAFFLES SHALL BE REMOVED AND GRADE BASIN AREAS ACCORDING TO FINISHED GRADES AND IMMEDIATELY SEED AND MULCH.
15. ONCE THE BASIN AREAS ARE VEGETATED AND THE REMAINDER OF THE SITE IS FULLY STABILIZED, REMOVE ANY REMAINING EROSION CONTROL DEVICES.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED ON ALL AREAS OF THE SITE WHICH ALL DISTURBED OR GRADED.

PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY FOR SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH, FOR SLOPES 4:1 OR FLATTER OF ANY LENGTH (EXCEPT FOR PERIMETERS AND HOW ZONES), AND SLOPES NO STEEPER THAN 2:1 AND LESS THAN 10' IN LENGTH.

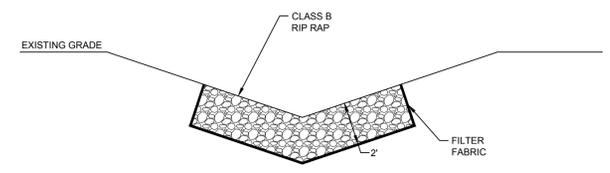
PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOR SLOPES STEEPER THAN 3:1 OR SLOPES 3:1 OR FLATTER GREATER THAN 50' IN LENGTH, FOR HIGH QUALITY WATER (HWO) ZONES, AND PERIMETER DIKES, SWALES, DITCHES AND SLOPES.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON ALL EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING; AND, A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

THE CONTROL MEASURES SHALL BEGIN PRIOR TO ANY LAND DISTURBING ACTIVITY INCLUDING CLEARING. SHALL CONTINUE DURING CONSTRUCTION AND SHALL CONTINUE WITH THE NECESSARY MAINTENANCE UNTIL THE DISTURBED LAND IS STABILIZED. COMPLIANCE WITH LOCAL AND/OR STATE SOIL EROSION AND SEDIMENTATION CONTROL LAWS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR. THIS PARAGRAPH IS INTENDED TO SERVE ONLY AS A GUIDE TO THE CONTRACTOR FOR COMPLIANCE WITH SUCH LAWS, ORDERS, RULES AND REGULATIONS CONCERNING EROSION AND SEDIMENTATION CONTROL PROTECTION OF EXISTING STRUCTURES AND FACILITIES FROM SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO, CATCH BASINS, NATURAL WATERWAYS, DRAINAGE DITCHES, WALKS, DRIVES, ROADS, LAWNS, AND STREAMS.

**EROSION CONTROL MEASURES**

NO SCALE



NOTES:  
 INSTALL RIP RAP SO TOP OF STONE WILL MATCH DITCH INVERT.  
 EXTEND RIP RAP ALONG SIDE SLOPE AS SHOWN ON PLANS.

**RIP RAP CHANNEL LINING**

NO SCALE

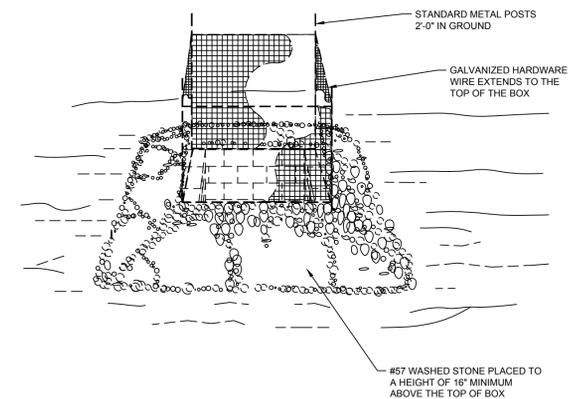
**SEEDBED PREPARATION**

CONSTRUCTION SPECIFICATIONS

1. PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEED USING TILLAGE AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. SOIL SHALL RECEIVE LIME, FERTILIZER AND/OR SUPERPHOSPHATE UNIFORMLY AS NEEDED PER RECOMMENDATIONS FROM NORTH CAROLINA DEPARTMENT OF AGRICULTURE OR OTHER COMMERCIAL LABORATORY.
3. SEED ON A FRESHLY PREPARED SEEDBED AND ENSURE SEED IS LIGHTLY COVERED FOLLOWING INSTALLATION.
4. MULCH IMMEDIATELY AFTER SEEDING.
5. CONTRACTOR SHALL SEED ALL AREAS THAT ARE DISTURBED WITHIN TWO DAYS. INSPECT ALL SEEDED AREAS AND MAKE SURE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETE, AN INSPECTION WILL BE COMPLETED TO DETERMINE IF ADDITIONAL SEEDING WILL BE REQUIRED.

\*APPLY:  
 FERTILIZER, LIME, AND MULCH SHALL BE APPLIED AT RATES RECOMMENDED BY NCDA (OR OTHERS). OTHERWISE, APPLY AS DESCRIBED BELOW.

AGRICULTURAL LIMESTONE - 1-1.5 TONS/ACRE ON COURSE TEXTURED SOILS AND 2-3 TONS/ACRE IN FINE-TEXTURED SOILS.  
 SOILS WITH PH OF 6 OR HIGHER NEED NOT BE LIME.  
 FERTILIZER - 700/1000 LBS/ACRE (10-10-10)  
 MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)  
 ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE



MAINTENANCE  
 INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

**INLET PROTECTION**

NO SCALE

**PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN**

DATE	TYPE	BROADCAST SEEDING RATES
OCT 1 - APR 1	SERICEA LESPEDEZA	15 LBS/ACRE
AUG 30 - MAR 15	KY 31 TALL FESCUE	200-250 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	40 LBS/ACRE
APR 15 - AUG 15	GERMAN MILLET	10 LBS/ACRE

**TEMPORARY SEEDING SCHEDULE**

DATE	TYPE	PLANTING RATES
DEC 1 - APR 15	ANNUAL LESPEDEZA (KORBE IN PIEDMONT AND COASTAL PLAIN)	50 LBS/ACRE
APR 15 - AUG 15 (COASTAL PLAIN)	GERMAN MILLET	40 LBS/ACRE
AUG 15 - DEC 30 (COASTAL PLAIN)	RYE	120 LBS/ACRE



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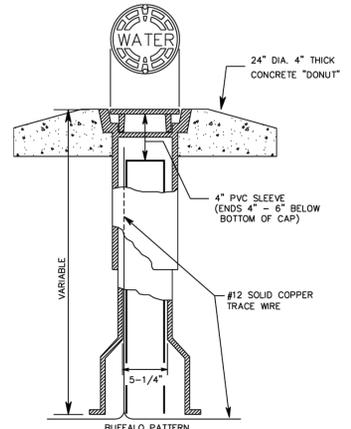
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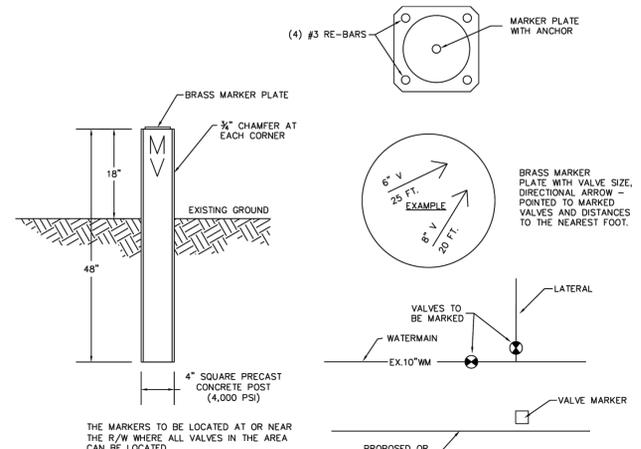
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 UTILITY DETAILS

JOB NO. 44845  
 SHEET NO. C5.4

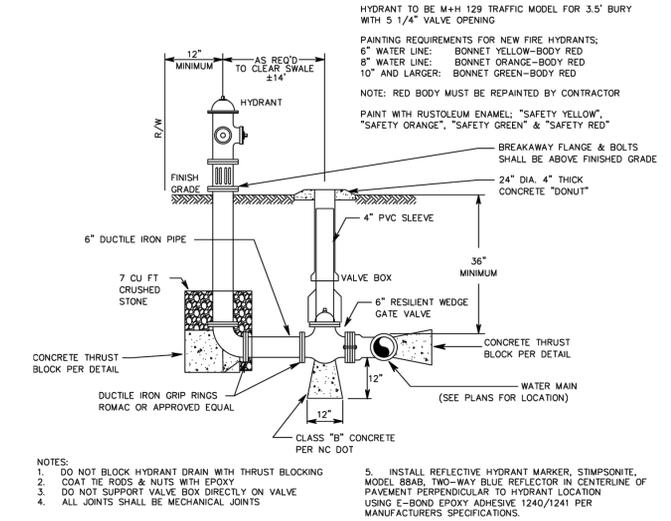
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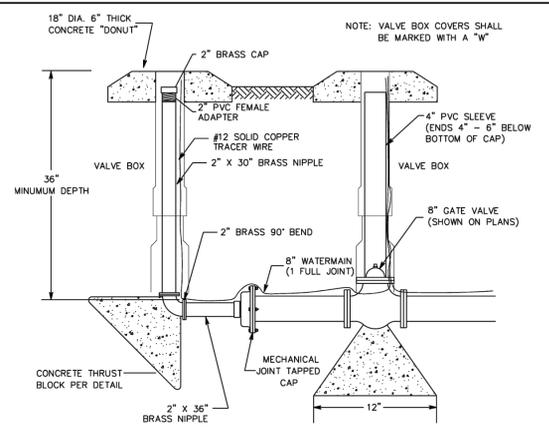
**VALVE BOX**  
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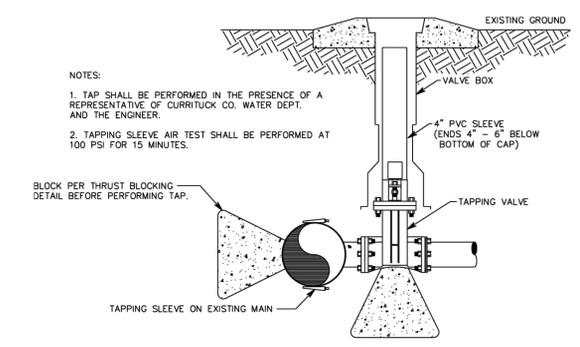
**VALVE MARKER DETAIL**  
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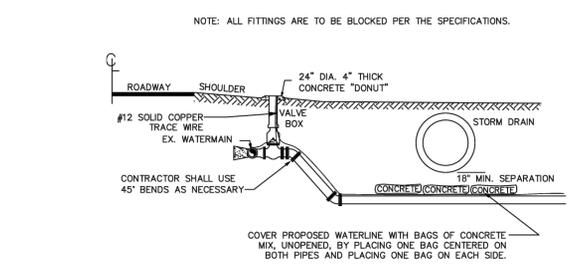
**FIRE HYDRANT DETAIL**  
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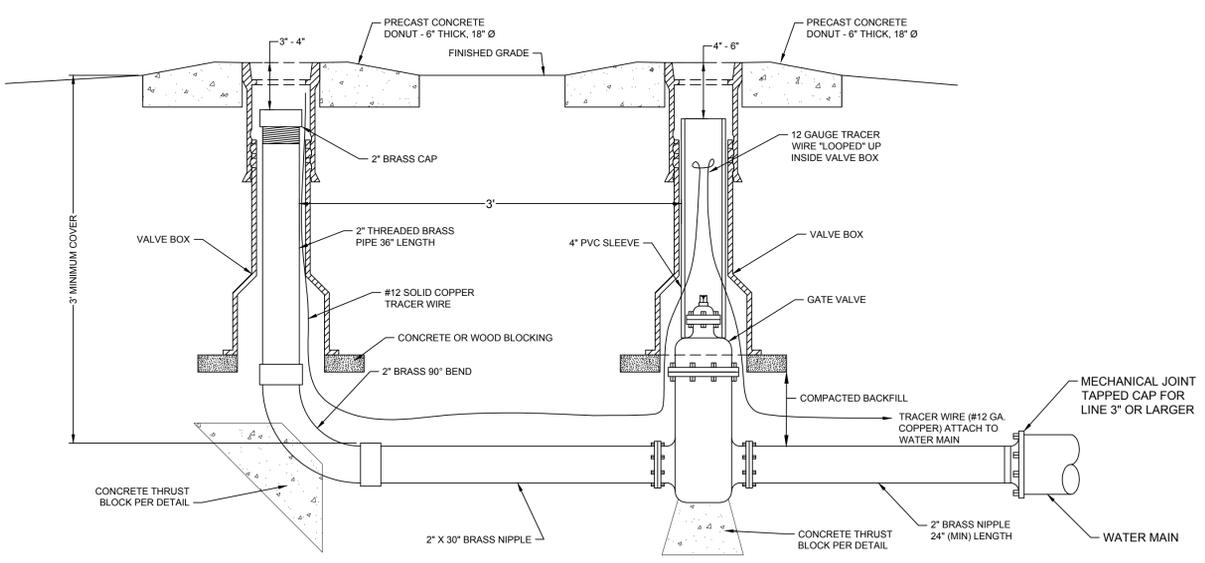
**TEMPORARY BLOW-OFF DETAIL**  
NTS



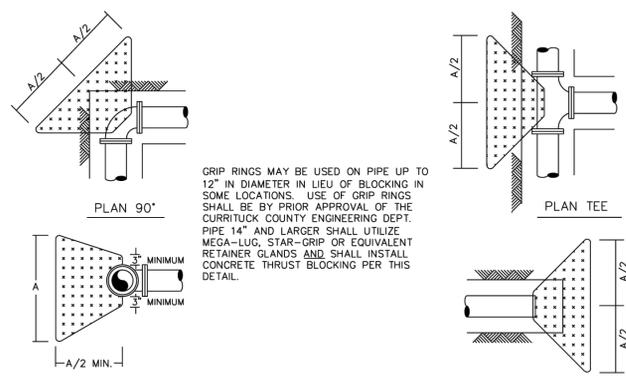
**TAPPING DETAIL**  
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**CULVERT CROSSING DETAIL**  
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**PERMANENT BLOW-OFF VALVE**  
NO SCALE

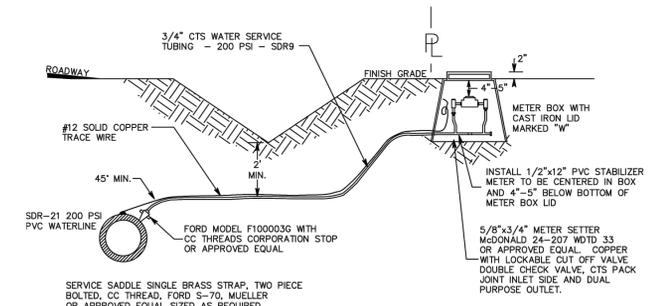


CONCRETE THRUST BLOCK SCHEDULE

FITTING	PIPE SIZE (NOM. DIA. IN INCHES)									
	2"	4"	6"	8"	10"	12"	16"	18"	20"	24"
TEE	1.6	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
90° BEND	1.5	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
45° BEND	1.0	1.4	2.1	2.8	3.5	4.3	5.5	6.2	6.9	7.7
22 1/2° BEND	.8	1.0	1.5	2.0	2.5	3.1	4.0	4.5	4.9	5.5

TABLE "A" DIMENSIONS (IN FEET)

**THRUST BLOCK DETAIL**  
NTS



**3/4" WATER SERVICE LATERAL DETAIL**  
NTS