



**Board of Commissioners
Agenda Packet**

January 19, 2021

2:00 PM Call to Order

- A) Invocation & Pledge of Allegiance
- B) Approval of Agenda
- C) Public Comment

Please limit comments to matters other than those appearing on this agenda as a Public Hearing. Public comments are limited to 3 minutes.

Commissioner's Report**County Manager's Report****Public Hearings**

- A) **PB 84-11: Corolla Light PUD, Phase 11-** Outer Banks Ventures submitted an amended sketch plan/use permit application to allocate 8 residential units to Phase 11, located at 1099 Ocean Trail, Corolla.
- B) **PB 18-23: Fost Development, PRD (Phases 1-5)-** Moyock Development, LLC, submitted an amended preliminary plat/use permit application for the purpose of connecting the development to an off-site wastewater treatment facility (major utility), modify the clubhouse area and enlarge the pond, and adjust the phasing lines. Fost Development is a Planned Residential Development and Phases 1-5 include 301 residential units and associated infrastructure.

New Business

- A) **Consideration of Resolution Assigning County Property Located at 117 North Point Boulevard, Moyock, North Carolina for Economic Development Purposes**
- B) **Consent Agenda**
 - 1. Budget Amendments
 - 2. Nextel Communications of the Mid-Atlantic, Inc. ("Sprint") Cell Tower Upgrades, Corolla
 - 3. Memorandum of Understanding-State of NC and Currituck County Department of Social Services
 - 4. Approval Of Minutes-January 4, 2021

Recess**Special Meeting-Tourism Development Authority**

TDA-Budget Amendments

Adjourn TDA**Reconvene Regular Meeting/Work Session**

Mobile Classrooms

Adjourn



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3016)

Agenda Item Title: PB 84-11: Corolla Light PUD, Phase 11-

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Action

Brief Description of Agenda Item:

Outer Banks Ventures submitted an amended sketch plan/use permit application to allocate 8 residential units to Phase 11, located at 1099 Ocean Trail, Corolla.

Is this item regulated by plan, regulation or statute? No

Manager Recommendation:



STAFF REPORT
PB 84-11 COROLLA LIGHT PUD
(PHASE 11)
AMENDED SKETCH PLAN/USE PERMIT
BOARD OF COMMISSIONERS
JANUARY 19, 2021

APPLICATION SUMMARY

Property Owner: Richard C. Willis Outer Banks Ventures, LLC PO Box 549 Corolla, NC 27927	Applicant: Richard C. Willis Outer Banks Ventures, LLC PO Box 549 Corolla, NC 27927
Case Number: PB 84-11	Application Type: Amended Sketch Plan/Use Permit
Parcel Identification Number: 115B-000-P2AU-0000	Existing Use: Planned Unit Development (PUD)
2006 Land Use Plan Classification: Full Service	Parcel Size (Acres): 0.92 (Subject Parcel) 267.05 (Overall PUD)
Request: Amend Sketch Plan/Use Permit	Zoning: SFO with PUD Overlay
Number of Units: 8 units (Subject Parcel – Phase 11) 603 units (Overall PUD)	Project Density: 8.69 units per acre (Subject Parcel – Phase 11) 2.51 units per acre (Overall PUD)
Required Open Space: 93.47 acres (35%) (Overall PUD) .32 acres (35%) (Subject Parcel – Phase 11)	Provided Open Space: 128.51 acres (48.12%) (Overall PUD) .44 acres (48%) (Subject Parcel – Phase 11)

SURROUNDING PARCELS

	Land Use	Zoning
North	Shad Street & Corolla Light Single-Family Residential	SFO with PUD Overlay
South	Beacon Villas – 16 duplexes (Multi-Family Subdivision)	SFO with PUD Overlay
East	Single-Family Dwellings (Whalehead Subdivision)	SFO with PUD Overlay
West	NC12 & Corolla Light Single-Family Residential	SFO with PUD Overlay

Attachment: 1 Staff Report Corolla Light ASP UP (PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)

REQUEST

Narrative

The subject property (Phase 11) is part of the Corolla Light Planned Unit Development (PUD) and is subject to the Amended Sketch Plan. The property is designated commercial, and the applicant is requesting amended sketch plan/use permit approval for eight dwelling units on the property.

The applicant is proposing a mixed-use development. Two upper-story dwelling units are proposed in the existing building with commercial use on the ground level. Two 3-story multi-family buildings with three dwelling units in each building are proposed.

The site is located at the corner of Ocean Trail and Shad Street. There are multiple utility uses on-site including a water tower, telecommunications tower, several accessory/equipment buildings, propane tanks and generators. Easements for access to the utilities are held by the county, AT&T, Verizon, and Charter.

In the original Corolla Light PUD sketch plan, Phase 11 was approved for utility purposes including a water treatment plant and the property was designated as utility open space.

In 2008, the Board approved an amendment to the sketch plan that included the following:

- Phases 10, 11, 13 and 14 were rezoned from utility open space to General Business.
- Phase 11 was approved for commercial use only.
- 100 residential dwelling units were approved for Phases 10, 13 and 14.

In 2017 the county removed the water treatment equipment from the existing building on Phase 11. There are still elements of the water infrastructure on the property, but the building has reverted to the owner. The building may be used for commercial purposes subject to the review standards of the UDO.

There is an existing issue with building occupancy. According to the applicant, the existing building is being used for residential occupancy. The property is not currently zoned for residential use and there is no density assigned to the property. This request will allow the applicant to conform to the county's ordinance by properly permitting residential use of the existing building.

A preliminary site plan as well as preliminary architectural renderings were provided to illustrate the proposed uses and project layout. The site plan includes areas designated for open space as well as active recreation open space. Included in the proposal are a swimming pool, playground area, dog park area, seasonal garden area, decorative fountain, and cornhole/game area. The open space proposed meets the requirement for the site; however, the location of some proposed amenities appear to have compatibility issues within the site. For example: the walkway for access to the pool from the proposed multi-family buildings will be between the existing Verizon equipment building and the water tower.

Community Meeting

A community meeting was held on November 23, 2020. The applicant and his engineer were present along with Planning Staff. Employees of Corolla Light Resort as well as neighboring property owners were in attendance. The attendees asked questions regarding the proposal. A community meeting summary is included in the agenda packet as well as a response to the meeting summary that was received from several attendees of the meeting on January 12, 2021.

INFRASTRUCTURE

Water	Southern Outer Banks Water System (SOBWS)
Sewer	Carolina Water Service (Private)

RECOMMENDATIONS

TECHNICAL REVIEW COMMITTEE

The Technical Review Committee recommends **denial** of the use permit because the request is not consistent with goals and policies of the Land Use Plan and there are compatibility issues within the site and with surrounding land uses including the requested site-specific density.

USE PERMIT REVIEW STANDARDS

A use permit shall be approved on a finding that the applicant demonstrates the proposed use will meet the below requirements. It is staff's opinion that the evidence in the record, prepared in absence of testimony presented at a public hearing, supports the preliminary findings related to Land Use Plan conformity and adequate public facilities.

The use will not endanger the public health or safety.

Preliminary Applicant Findings:

Transportation, potable water, wastewater and stormwater management will be addressed in accordance with the following:

1. Transportation: The existing entrance configuration on Shad Street will be utilized with no direct connection to NC12 other than a pedestrian connection to the existing walkway. A driveway permit and encroachment agreement have been approved by NCDOT. Appropriate access has been made for emergency services vehicles.
2. Potable Water: Water will be supplied by Currituck County via existing water mains located on NC 12 and Shad Street. Fire protection will be provided in accordance with the NC Fire Code and applicable ISO standards.
3. Wastewater: Capacity for the development has been allocated by Carolina Water Service in the existing Monteray Shores Wastewater Treatment Facility which is regulated by NCDEQ and the NC Utilities Commission.
4. Stormwater Management: Stormwater will be collected and infiltrated via the existing basin on Shad Street, which will be able to accommodate the small additional impervious coverage proposed for the site.

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Preliminary Applicant Findings:

1. Adjacent properties are a combination of single family and multi-family development; community compatibility standards will be adhered to in the architectural design and materials that are proposed for the new construction. Landscaping and buffering are also being provided in accordance with the UDO standards and will add to existing vegetative screening that is provided by the significant growth of Live Oaks on the site. The proposed density is lower than that of the adjacent Phase 12 development.

Staff commentary:

Differences between this site and the property to the south, Phase 12, are existing utility uses that impact this parcel and proposed commercial use (restaurant). Phase 12 was developed as 16 duplexes.

The use will be in conformity with the Land Use Plan or other officially adopted plans.

Please reference the application Attachment "A" in the agenda packet for the applicant findings.

Preliminary Staff Findings:

The 2006 Land Use Plan classifies this site as Full Service within the Corolla subarea. The Full Service designation allows for a greater diversity of housing types. The policy emphasis for the Corolla subarea is to allow for predominantly medium density residential development (2 to 3 units per acre) with minimal commercial development arranged in clusters. An overall density of no more than 3 units per acre should apply to PUDs, the prevailing development form in the Corolla area.

The request does not appear to be in direct conflict with the 2006 Land Use Plan with respect to the proposed mixed-use development and overall density of a PUD nor is it in direct conflict with the Transitional Provisions of the UDO with respect to dimensional and overall density standards for PUDs. However, there are compatibility issues within the site and with surrounding land uses. The site is smaller than an acre and this request proposes commercial, multi-family and utility uses.

The project was not designed or planned from the outset as future mixed-use development. This is evident by the placement of buildings on the property that do not appear to be a compatible mixture of residential, non-residential, and utility uses. The existing utility uses on site make it difficult to design an aesthetic project that is compatible with high density residential use.

The 1982 zoning ordinance that was in effect when the Corolla Light PUD was established stated that a PUD is expected to promote a more efficient use of the land, a higher level of amenities and more creative design than would otherwise be possible. The current ordinance contains similar language regarding planned developments.

It may be reasonable to include residential dwelling units on the Phase 11 property; however, the density proposed appears to overwhelm the site thus making it difficult to design and place a higher level of amenities on the parcel.

The request is not consistent with the following goals and policies of the Land Use Plan

1. Land Use and Development Goal #10
To properly distribute development forms in accordance with the suitability of the land, infrastructure available and the compatibility of surrounding land uses.
2. Land Use Compatibility - CAMA Management Goal
Ensure that development and use of resources or preservation of land minimizes direct and secondary environmental impacts; avoids risks to public health, safety and welfare; and is consistent with the capability of the land based on considerations of interactions of natural and manmade features.
3. POLICY CD8: MIXED-USE DEVELOPMENTS, properly planned from the outset, which allow for a compatible mixture of residential and non-residential uses with a pedestrian scale and design, are encouraged. Similarly, businesses may be located adjoining (and therefore convenient to) an existing residential area, when such businesses can be shown to satisfy design considerations similar to a newly planned, pedestrian-scaled, mixed use development.
4. POLICY HN1: Currituck County shall encourage development to occur at densities appropriate for the location. LOCATION AND DENSITY FACTORS shall include whether the development

is within an environmentally suitable area, the type and capacity of sewage treatment available to the site, the adequacy of transportation facilities providing access to the site, and the proximity of the site to existing and planned urban services.

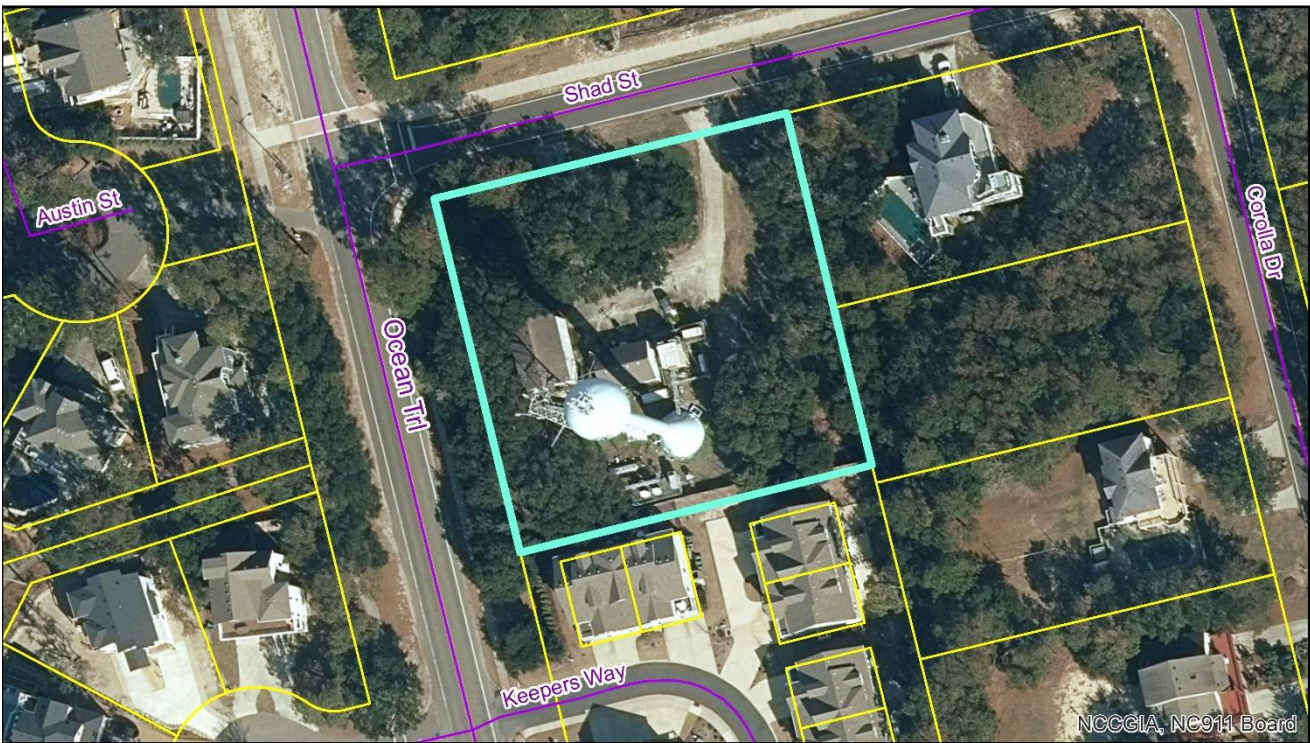
5. POLICY HN3: Currituck County shall especially encourage two forms of residential development, each with the objective of avoiding traditional suburban sprawl:
 1. OPEN SPACE DEVELOPMENTS that cluster homes on less land, preserving permanently dedicated open space and often employ on-site or community sewage treatment. These types of developments are likely to occur primarily in the Conservation, Rural, and to a certain extent the Limited Service areas identified on the Future Land Use Map.
 2. COMPACT, MIXED USE DEVELOPMENTS or DEVELOPMENTS NEAR A MIXTURE OF USES that promote a return to balanced, self-supporting community centers generally served by centralized water and sewer. The types of development are contemplated for the Full Service Areas identified on the Future Land Use Map.
6. POLICY HN9: Proposed residential development that would expose residents to the harmful effects of INCOMPATIBLE LAND USES or to ENVIRONMENTAL HAZARDS shall be prohibited. This would include, for example, residential development in locations adversely impacted by proximity to the airport or to activities involving excessive noise, light, odors, dust, fertilizers and insecticides (e.g. certain farm operations, mining activities, etc.).

The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to: schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

Preliminary Staff Findings:

1. The proposed use will not exceed the county's ability to provide adequate public facilities. Utility services are proposed for the site, wastewater and water capacity are available.

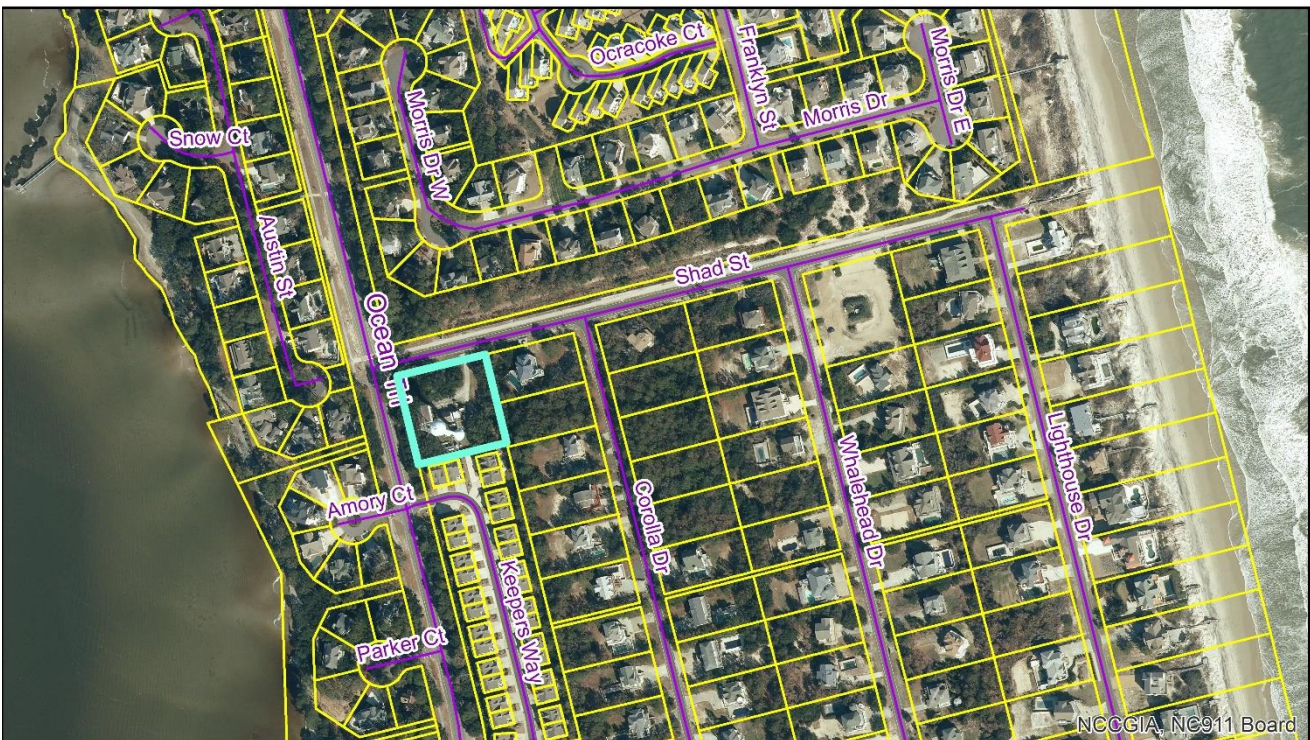
THE APPLICATION AND RELATED MATERIALS ARE AVAILABLE ON THE COUNTY'S WEBSITE
Board of Commissioners: www.co.currituck.nc.us/board-of-commissioners-minutes-current.cfm



PB 84-11 Corolla Light PUD (Phase 11)
Amended Sketch Plan/Use Permit
2020 Aerial Photography



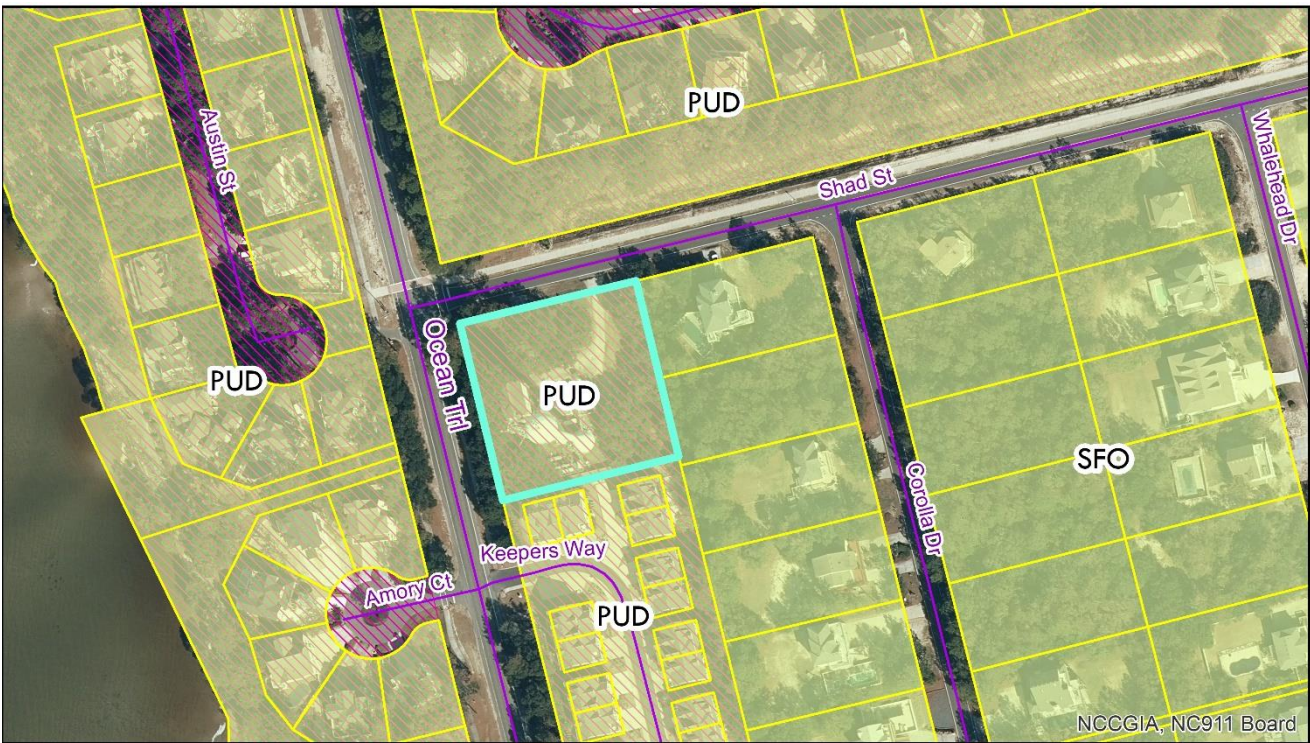
Currituck County
Planning and Community
Development



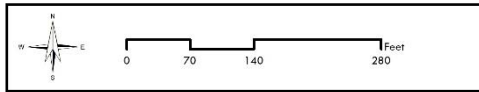
PB 84-11 Corolla Light PUD (Phase 11)
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2020 Aerial Photography



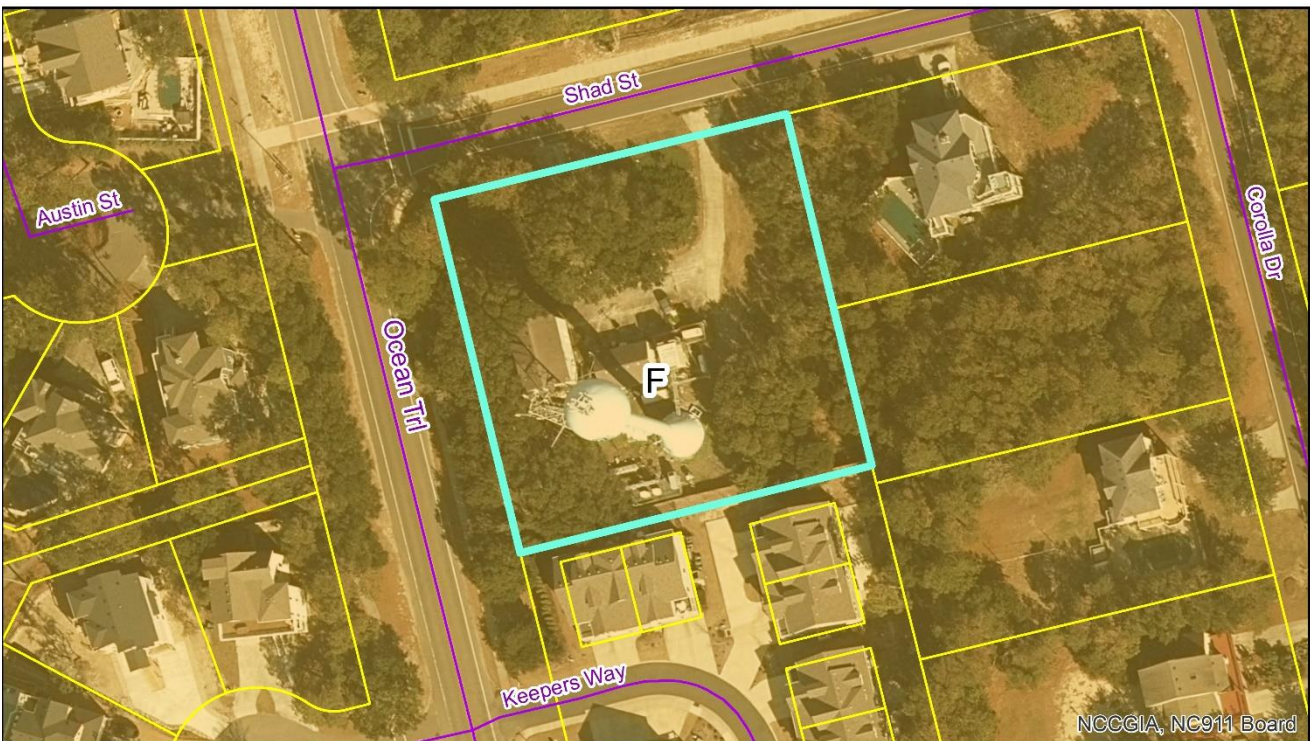
Currituck County
Planning and Community
Development



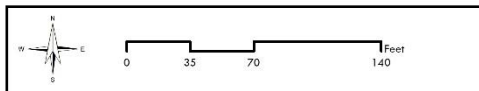
PB 84-11 Corolla Light PUD (Phase 11)
Amended Sketch Plan/Use Permit
Official Zoning Map



Currituck County
Planning and Community
Development



PB 84-11 Corolla Light PUD (Phase 11)
Amended Sketch Plan/Use Permit
Land Use Plan Classification



Currituck County
Planning and Community
Development



Major Subdivision Application

OFFICIAL USE ONLY:

Case Number: _____
 Date Filed: _____
 Gate Keeper: _____
 Amount Paid: _____

Contact Information
APPLICANT:

 Name: Outer Banks Ventures, Inc.

 Address: P.O. Box 549
Corolla, NC 27927

 Telephone: 757-286-5859

 E-Mail Address: rcwillis@outerbanksventures.com
PROPERTY OWNER:

 Name: Same

 Address: _____

Telephone: _____

E-Mail Address: _____

 LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER: Same
Request

 Physical Street Address: 1099 Ocean Trail, Corolla, NC

 Parcel Identification Number(s): 115B-000-P2AU-0000

 Subdivision Name: Corolla

 Number of Lots or Units: LightX 8

 Phase: 11
TYPE OF SUBMITTAL

- ☐ Conservation and Development Plan
☒ Amended Sketch Plan/Use Permit
☐ Preliminary Plat (or amended)
 ☐ Type I OR ☐ Type II
☐ Construction Drawings (or amended)
☐ Final Plat (or amended)

TYPE OF SUBDIVISION

- ☐ Traditional Development
☐ Conservation Subdivision
☒ Planned Unit Development
☐ Planned Development

I hereby authorize county officials to enter my property for purposes of determining compliance with all applicable standards. All information submitted and required as part of this process shall become public record.

[Signature]
 Property Owner(s)/Applicant*

12/21/2020
 Date

***NOTE:** Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Community Meeting, if applicable

 Date Meeting Held: Nov. 23, 2020

 Meeting Location: Corolla Movie & Bistro

Use Permit Review Standards, if applicable

PUD Amended Sketch Plan/Use Permit, Type II Preliminary Plat

Purpose of Use Permit and Project Narrative (please provide on additional paper if needed): _____
 Please refer to Attachment "A"

The applicant shall provide a response to the each one of the following issues. The Board of Commissioners must provide specific findings of fact based on the evidence submitted. All findings shall be made in the affirmative for the Board of Commissioners to issue the use permit.

- A. The use will not endanger the public health or safety.
 Please refer to Attachment "A"
- B. The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.
 Please refer to Attachment "A"
- C. The use will be in conformity with the Land Use Plan or other officially adopted plan.
 Please refer to Attachment "A"
- D. The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.
 Please refer to Attachment "A"

I, the undersigned, do certify that all of the information presented in this application is accurate to the best of my knowledge, information, and belief. Further, I hereby authorize county officials to enter my property for purposes of determining zoning compliance. All information submitted and required as part of this application process shall become public record.



 Property Owner(s)/Applicant*

12/21/2020

 Date

*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Major Subdivision Application
 Page 6 of 12
 Revised 7/1/2019

Attachment: 2 Application (PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)

ATTACHMENT "A"

Purpose of the Use Permit and Project Narrative

The purpose of Use Permit Application is to correct a conflict on the most recently approved Amended Sketch Plan for Corolla Light PUD, where the commercial area use table shows than Phase 11 was approved for Commercial Use only, while the residential density table shows that Phase 11 is approved for commercial and residential use, and to specifically allocate 8 residential units to Phase 11, including two upper-story dwelling units over the existing commercial structure, and 6 multi-family units to be added in two buildings. A Preliminary Site Plan and Preliminary Architectural Renderings are provided to illustrate the proposed uses.

A. The Use will not endanger the public health or safety.

Transportation, potable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

1. **Transportation:** The existing entrance configuration on Shad Street will be utilized with no direct connection to NC 12 other than a pedestrian connection to the existing walkway. A driveway permit and encroachment agreement have been approved by NCDOT.

Appropriate access has been made for emergency services vehicles.

2. **Potable Water:** Water will be supplied by Currituck County via existing water mains located on NC 12 and Shad Street. Fire protection will be provided in accordance with the NC Fire Code and applicable ISO Standards.
3. **Wastewater:** Capacity for the development has been allocated by Carolina Water Service in the existing Monterey Shore Wastewater Treatment Facility which is regulated by NCDEQ and the NC Utilities Commission.
4. **Stormwater Management:** Stormwater will be collected and infiltrated via the existing basin on Shad Street, which will be able to accommodate the small additional impervious coverage proposed for the site.

B. The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

1. Adjacent properties are a combination of single family and multi-family development; community compatibility standards will be adhered to in the architectural design and materials that are proposed for the new construction. Landscaping and buffering are

also being provided in accordance with the UDO standards, and will add to existing vegetative screening that is provided by the significant growth of Live Oaks on the site. The proposed density is lower than that of the adjacent Phase 12 development.

C. The use will be in conformity with the Land Use Plan or other officially adopted plan.

1. The following special policies applicable to the Outer Banks are supported:
POLICY OB3: Currituck County recognizes that, on the Outer Banks in particular, “single family” homes are being built that accommodate 15, 20, 25 or more people. Thus, these LARGE RESIDENTIAL STRUCTURES are circumventing existing zoning laws that could not anticipate the advent of these building forms. Development regulation and project approvals shall therefore be based upon the actual nature of the structure rather than the label (e.g. single family) that may be attached to it.

The proposed uses are upper-story residential and actual multi-family development that do not circumvent existing zoning laws and are labeled according to the actual use.

2. The property is located in the Full Service Land Use classification where, “A greater diversity in housing types (i.e. semi-detached, attached, multi-family) would be considered appropriate.
3. The property is also located within the existing PUD, where the density is below the allowable 3 dwelling units per acre.

D. The use will not exceed the county’s ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

1. The proposed uses are not expected to have an adverse impact on schools, fire and rescue, law enforcement or other county facilities.

Additional Land Use Plan policies that support the development proposal:

HOUSING AND NEIGHBORHOOD DEVELOPMENT POLICIES

POLICY HN1: Currituck County shall encourage development to occur at densities appropriate for the location. LOCATION AND DENSITY FACTORS shall include whether the development is within an environmentally suitable area, the type and capacity of sewage treatment available to the site, the adequacy of transportation facilities providing access to the site, and the proximity of the site to existing and planned urban services. ***The proposed development is not within an environmentally sensitive area and has more than adequate access to urban services including water, sewer and transportation (both vehicular and pedestrian). The density is comparable to, or below, the density of other multi-family and mixed-use areas in Corolla Light.***

POLICY HN2: ...The County shall therefore encourage alternatives to large lot developments through INNOVATIVE DEVELOPMENT CONCEPTS AND CORRESPONDING ZONING techniques. ***The proposed development provides a needed alternative housing type for Corolla.***

POLICY HN3: Currituck County shall especially encourage two forms of residential development, each with the objective of avoiding traditional suburban sprawl:

2. COMPACT, MIXED USE DEVELOPMENTS or DEVELOPMENTS NEAR A MIXTURE OF USES that promote a return to balanced, self-supporting community centers generally served by centralized water and sewer. The types of development are contemplated for the Full Service Areas identified on the Future Land Use Map. ***The proposed development is a compact mixed-use development with adequate public services and which will be self-supporting.***

COMMERCIAL DEVELOPMENT POLICIES

POLICY CD1: NEIGHBORHOOD SERVING COMMERCIAL DISTRICTS should be encouraged to locate where a collector or secondary street intersects with a street of equal or greater size. ***The proposed development is at a main intersection of a collector street and a primary highway.***

POLICY CD7: Attractive, environmentally beneficial LANDSCAPING shall be provided by new commercial or office developments, and in the rehabilitation and upgrading of existing developments. Appropriate BUFFERING or other effective DESIGN FEATURES may be employed to allow less intensive forms of commercial and office development to adjoin existing or planned residential uses. ***The site is already well-buffered with a heavy growth of live oaks, and additional heavy landscaping is being provided. Overall, the site will be upgraded from its current condition.***

Full Service Areas* (Areas Preferred for Community Centers)

A greater diversity in housing types (i.e. semi-detached, attached, multi-family) would be considered appropriate in the Full Service areas. ***The development is located in the heart of an existing full-service area and offers needed housing alternatives.***

Community Meeting Summary

Corolla Light PUD - Amended Sketch Plan/Use Permit

Monday, November 23, 2020

Scheduled Time/Place: 6:00 pm, Corolla Movie Theater, Monteray Plaza, Corolla, NC

Meeting Began at approximately 6:00 pm and Ended at approximately 6:40 pm

Attendees: Community Residents (See attached sign-in sheet)

Jennie Turner, Currituck County
 Savannah Newbern, Currituck County
 Richard Willis, Applicant
 Mark Bissell, Engineer

Overview:

An overview of the requested application and County review and approval process was offered. The overview included an explanation of the developer's desire to construct 2 upper story dwellings above the existing commercial building, and 6 multifamily dwellings in 2 new buildings was explained.

Building Renderings and site plan drawings were provided for review.

Comments from the Community	How Addressed
How many dwellings will there be?	A total of 8
How many bedrooms? Bathrooms?	Each unit will have 2 bedrooms and 2 bathrooms
What are the square footages?	Each unit will be a little under 900 square feet
What type of siding will be used?	Will determined by the Architect at the next stage
What will the eatery be?	While not part of this application, the developer is proposing a chicken restaurant on the first floor, which will have some outdoor seating.
Will there be a liquor license	Uncertain, but probably beer & wine will be served
How much Parking will there be?	23 spaced are being provided.

Summary:

The attendees appeared to be satisfied with the request. A few people stayed around after the meeting was adjourned to view maps and renderings.

COROLLA LIGHT PHASE II -

Community Meeting 11-23-20

NAME

ADDRESS

PHONE

E-MAIL

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JOHN ROBERTS 10884 KEEPERS WAY
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320-727-0422

Amy Adams 1140 Morris Dr.

Bob Storeking 1006 Ocean Trail

Deb Spillman 1127 Morris Dr.

Jennie Turner Currituck County

252-232-6034 jennieturner@currituckcounty.gov

Savannah Newbern Currituck Co.

252-232-6066 Savannah.Newbern@CurrituckCounty.gov

January 12, 2021

Laurie B. LoCicero, Director
Currituck County Department of Planning and Community Development
153 Courthouse Road, Suite 110
Currituck, North Carolina 27929

Re: Corolla Light PUD, Phase 11 - Community Meeting Response to Summary

Dear Ms. LoCicero:

The undersigned, members of the Corolla Light community, submit the following comments concerning proposed development plans for Phase 11:

A. Objections to Aspects of the Community Meeting

We take exception to multiple elements of the November 23, 2020 Community Meeting involving proposed development of a small piece of property in the Corolla Light PUD at Shad Street and Route 12.

1. Misleading Statement: A statement made in the closing paragraph of the Developer's Minutes of the Community Meeting is misleading. The statement claims that, "attendees appeared to be satisfied with the request" We dispute this assertion. While questions were asked, and as set forth below, all attendees were not satisfied with the answers or information provided.
2. Meeting Accessibility: The meeting was inaccessible to many with homes near the proposed development and elsewhere within the Corolla Light community due to COVID-related health concerns about attendance in an indoor venue.
3. Notification, Time and Place: The disorganized manner of notification to homeowners near the proposed development and the Corolla Light Community Association created significant confusion. The first notification received via mail did not provide a date, time or location for the meeting. A sign was subsequently posted on the property announcing a meeting date of November 9, time and location. This meeting was then canceled without notice or explanation. A second mailed notice announced a new date and time for November 23rd.
4. Conduct of the Meeting: The meeting (in an enclosed movie theater) was for all practical purposes held in the dark, making viewing of the presentation boards very difficult. Attendees were required to review the site plan boards with flashlights. In addition, it was believed that details and essential aspects of the

proposed development were communicated imprecisely, resulting in confusion over the exact scope of the proposed development.

B. Our substantive concerns about the proposed development are as follows:

1. Incompatible uses embodied in this proposal will endanger public health or safety.
 - a. A substantial proportion of the less than one acre parcel is dedicated to the operation and servicing of a water and communication tower. Squeezing eight residential units, a pool, a restaurant, 23 parking spaces, loading docks etc., onto the property will cause serious conflicts of use.
 - b. Those residing on the property, restaurant employees and customers will be exposed to potentially dangerous operational equipment, including transformers, generators, two gas tanks (one an above ground LPG tank), an elevated platform containing machinery, chemicals stored on site for maintenance purposes, etc. Of significance, it appears that residents desiring to use the pool will be required to traverse a walkway through the entirety of the restricted utility area, including water and cell tower energized equipment. Appropriate clearance and fencing will be required to safely separate the public, especially non-adults, from this equipment. It is recommended that all energized infrastructure equipment should have required clearances, along with high security fencing.
 - c. Utility workers must remain unimpeded in delivering water and communication services to Corolla consumers. The repair, maintenance, inspection and operation of these utilities requires unobstructed access for service vehicles and heavy equipment, especially during potential emergencies.
 - d. Water towers have an average life span of 50 to 60 years. Our coastal environment may accelerate the decay of this nearly 30 year old structure. What is the plan for decommissioning of the structure? Will it be dismantled and re-erected on site? Adequate space is required for cranes and heavy equipment for safe demolition and reconstruction.
 - e. The existing telecommunication tower can be expected to be disassembled at some point for removal or replacement. Will it be disassembled and/or re-erected on site? Adequate space is required for cranes and heavy equipment for safe demolition and reconstruction.
 - f. Maintaining the property as Utility Open Space for existing and possibly future improvements and utility support is consistent with best practices and guidance of Currituck County's Unified Development Ordinances.

2. The use will injure the value of property in and be inharmonious with the area in which it is located.
 - a. Residents living in the vicinity of the proposed development purchased and have made substantial improvements to their homes with the belief that the small property housing the two towers would be preserved permanently as Utility Open Space. In fact, the number of easements, including those for Currituck County, cable tv and wireless transmission, present on the property support this understanding.
 - b. The addition of overly dense residential and commercial uses to the site already used by Water and Communications towers will result in major adverse changes to the character and appearance of adjacent and nearby neighborhoods.
 - c. Just prior to application submission to the County Planning Department, multiple healthy and large live oaks were bulldozed and removed from the property and community easement along Shad Street and Route 12. This action has already created an adverse visual impact. The mature trees served as attractive buffers between the site and the adjacent roads and neighborhoods.
 - d. Increases in traffic, parking problems and noise are likely to have a negative impact on nearby homes. Seemingly inadequate parking space in both number and location for these incompatible uses, especially during the day, can be expected to result in (currently illegal) street parking along Shad Street.
 - e. Corolla Light is a destination vacation village resort, with years of awards and high visitor ratings. In maintaining and advancing tourism standing, the character of the overall resort and property values of existing homes must be protected. Design and construction of any structure on the property must be of the highest quality in order to promote the unique brand of the resort.
 - f. Any multifamily building height must not exceed two stories in height in conformity and compatibility with Corolla Light Resort characteristics, mirroring that of the two story Mirage Condominiums just north of the Recreation Center.
3. Conformity with the Land Use plan or other officially adopted plan.
 - a. Construction of any structure must comply with Unified Development Ordinances.

- b. The aesthetics and quality of structures built must complement the existing look and style of the architecture of Corolla Light Resort.

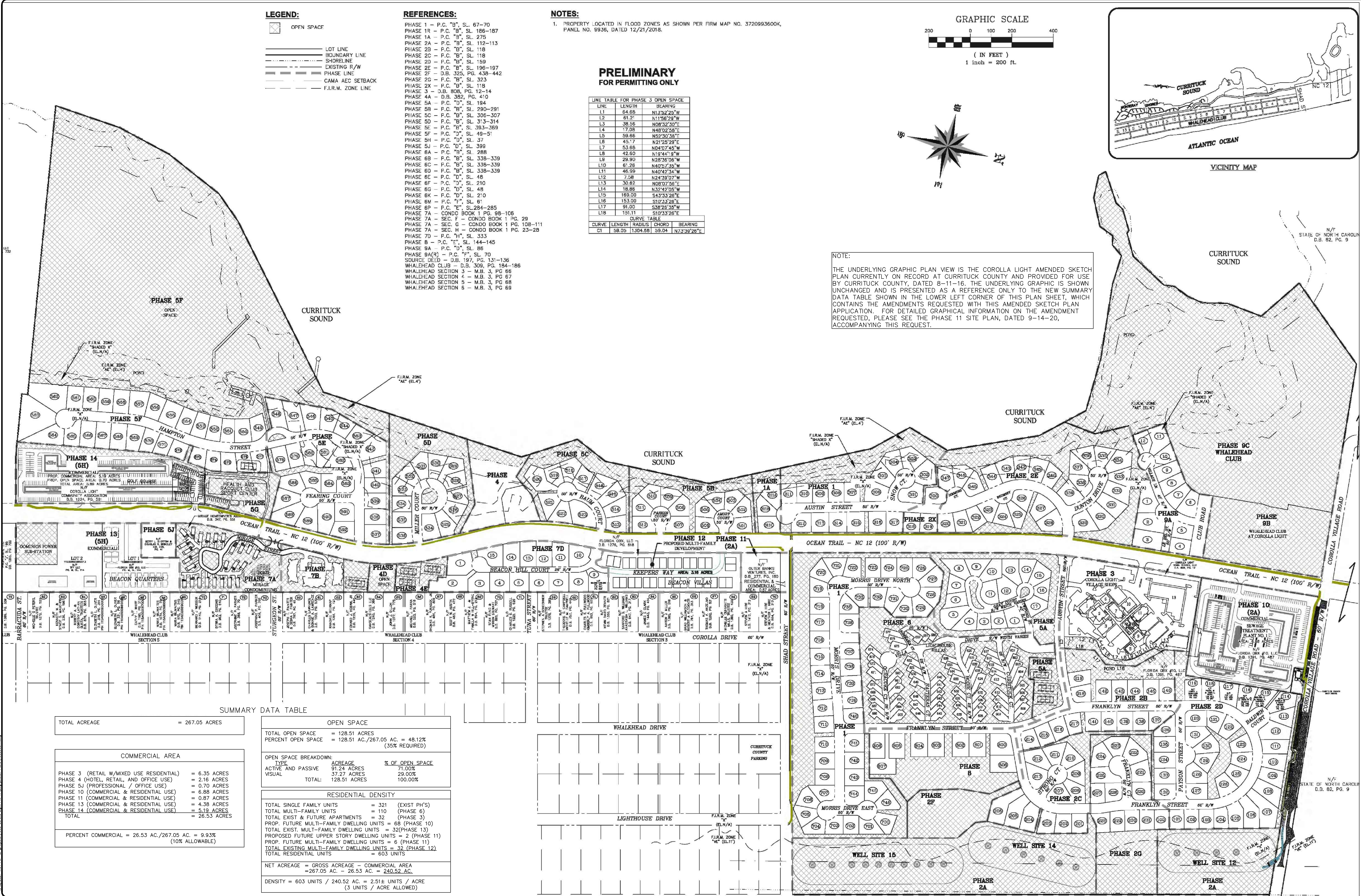
Thank you for consideration of our views.

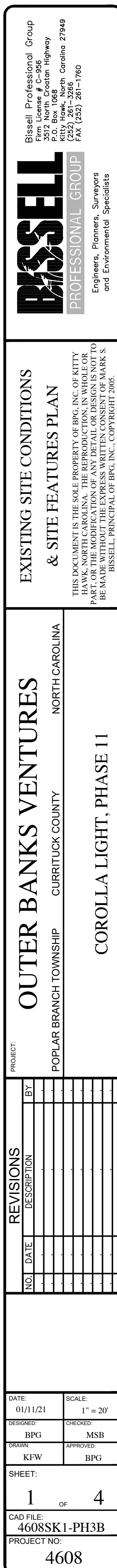
Bob Stoneking
Facilities Manager
Corolla Light Community Association
1006 Ocean Trail
Corolla, NC 27927

Amy Adams
1140 Morris Drive
Corolla, NC 27927

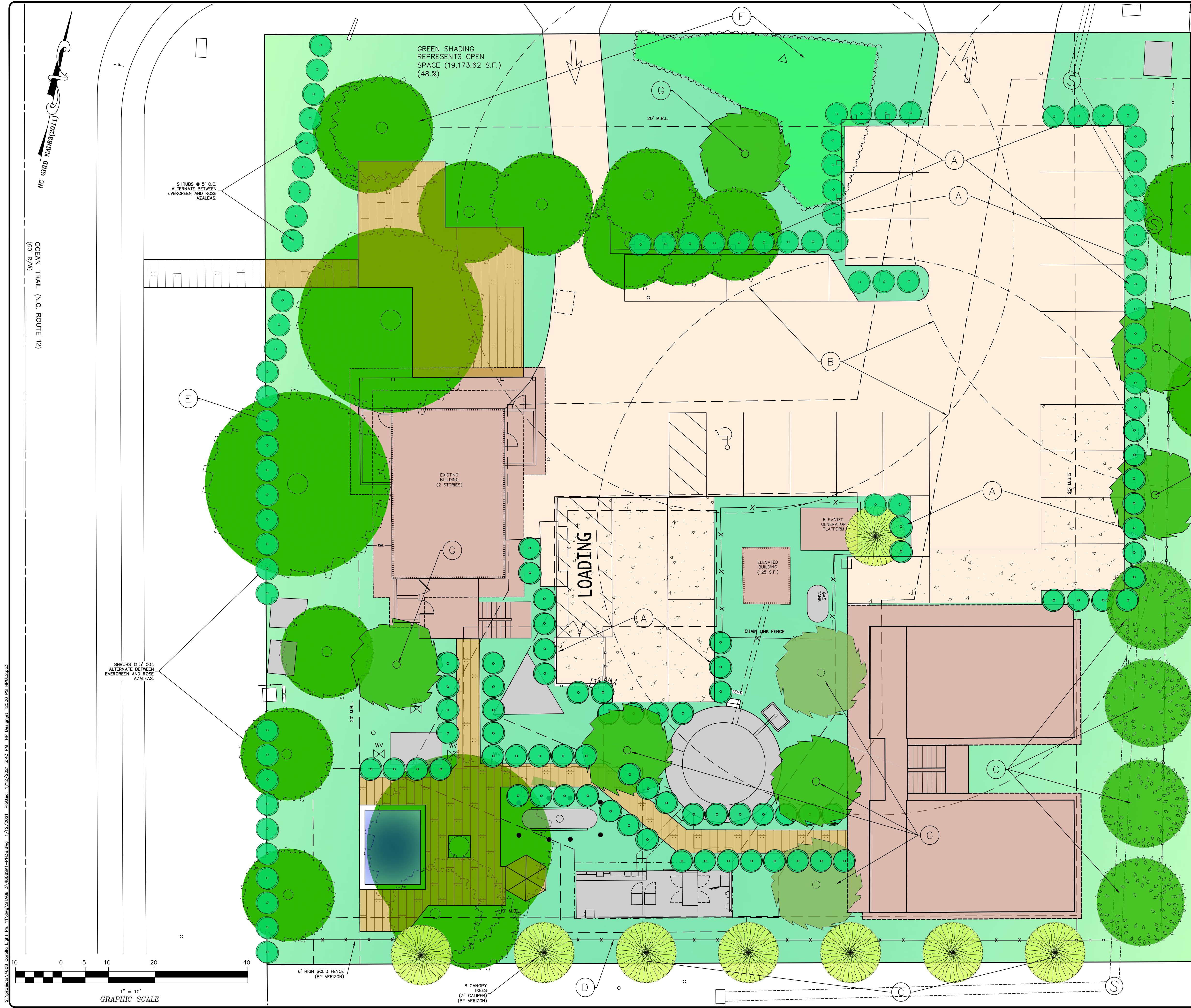
Deb Spillman
1127 Morris Drive
Corolla, NC 27927

Barbara Heffernan
1121 Austin Street
Corolla, NC 27927









- GENERAL LANDSCAPING AND BUFFERING NOTES:**
- 1. MAJOR ARTERIAL SCREENING:**
A VEGETATED SCREEN TO HWY 168 SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 5.2.8.D (2) OF THE CURRITUCK COUNTY ADMINISTRATIVE MANUAL. SITES VISIBLE FROM, BUT NOT ACCESSED FROM MAJOR ARTERIAL.
• VEGETATION SHALL INCLUDE A MINIMUM OF 8 AGGREGATE CALIPER INCHES OF CANOPY TREES FOR EVERY 100 LINEAR FEET OF SCREENING. EXISTING VEGETATION RETAINED WILL BE CREDITED. SUPPLEMENTAL TREES SHALL BE PLANTED IF NECESSARY.
 - 2. HERITAGE TREES:**
A TOTAL OF (25) HERITAGE TREES HAVE BEEN IDENTIFIED WITHIN THE PROJECT AREA AS INDICATED BY THE HERITAGE TREE SYMBOL PROVIDED IN THE LEGEND. ALL HERITAGE TREES ARE INTENDED TO REMAIN AND BE PROTECTED DURING CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE.
 - 3. TREE SPECIES AND PLANTING:**
TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING STANDARDS SPECIFIED IN SECTION 3.5.5 OF THE CURRITUCK COUNTY ADMINISTRATIVE MANUAL.
• CANOPY AND UNDERSTORY TREE SPECIES SHALL BE OF THOSE LISTED UNDER "TABLE 3.4.6: RECOMMENDED PLANTINGS" IN THE SAME MANUAL.
• TREE SPECIES SHALL BE DIVERSE. A MINIMUM OF (4) DIFFERENT SPECIES OF CANOPY TREES SHALL BE INSTALLED IN ROUGHLY EQUAL PROPORTIONS.
• AT INSTALLATION, CANOPY TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES MEASURED AT 6 INCHES ABOVE GRADE. EIGHT FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
• AT INSTALLATION, UNDERSTORY TREES SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES MEASURED AT 6 INCHES ABOVE GRADE. SIX FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
• MATERIALS SHALL BE OF HIGH-QUALITY NURSERY GRADE.
• THE USE OF NATIVE, DROUGHT TOLERANT TREES IS ENCOURAGED.
• A REPUTABLE LANDSCAPE CONTRACTOR OR SUPPLIER SHALL PREPARE AN ITEMIZED SCHEDULE OF TREES TO BE INSTALLED IN ACCORDANCE WITH THIS LANDSCAPE PLAN. THIS SCHEDULE SHALL BE REVIEWED BY CURRITUCK COUNTY AND THE ENGINEER TO DETERMINE COMPLIANCE BEFORE ORDERING AND INSTALLATION. ALTERNATE TREES AND SPECIFICATIONS MAY BE PRESENTED FOR REVIEW AND APPROVAL.

LANDSCAPING STANDARDS COMPLIANCE CHART			
SYMBOL	STANDARD	ORDINANCE SECTION	COMPLIANCE
A	PARKING PERIMETER LANDSCAPING STRIP	5.2.5.C	290 LF OF VEHICULAR USE AREA = 58 SHRUBS (PROVIDED)
B	PARKING SHADING REQUIREMENT	5.2.5.D	3 EXISTING HERITAGE TREES WITHIN 60 FT. OF ALL SPACES
C	PERIMETER LANDSCAPE BUFFERS	5.2.6	SOUTHERN PROPERTY LINE: TYPE D BUFFER (OPTION 2) REQ'D: ONE 6 FT. HIGH SOLID FENCE + 12 ACI OF CANOPY TREES PER 100 LF OF PROPERTY LINE = 24 ACI PROVIDED: (8) 3" CALIPER CANOPY TREES + (1) 6 FT. HIGH SOLID FENCE (BY VERIZON) EASTERN PROPERTY LINE: TYPE D BUFFER (OPTION 2) REQ'D: ONE 6 FT. HIGH SOLID FENCE + 12 ACI OF CANOPY TREES PER 100 LF OF PROPERTY LINE = 24 ACI PROVIDED: CREDIT (1) EXISTING HERITAGE OAK (12" TOTAL CALIPER INCHES) + (4) 3" CALIPER CANOPY TREES + 205 LF OF SOLID FENCING, 6 FT. HIGH
D	SCREENING	5.2.7.C	ROT-RESISTANT WOODEN OPAQUE FENCE, 6 FT. HIGH. FINISH TO MATCH BUILDING.
E	STREETSCAPE BUFFER	5.2.8	200 LF = 16 ACI REQ'D. 16" CREDIT FOR EXISTING HERITAGE TREES
F	SITE LANDSCAPING	5.2.4	2 CALIPER INCH PER ACRE = 2" X 0.92 AC. = 1.8" REQ'D. 1.8" CREDIT FOR EXISTING HERITAGE TREES PER 5 LF. OF BUILDING FACADE FACING STREET = 60 L.F./5 = 12 SHRUBS CREDIT FOR EXISTING JUNIPER SCREENING ON SHAD STREET
G	HERITAGE TREE REPLACEMENT	7.2.3.E(1)	REMOVED HERITAGE TREE REPLACED BY TREE(S) EQUALING 1/2 TREE DIAMETER. REMOVED: (4) 12" TREES PROVIDED: (6) 4" CANOPY TREES

S:\Projects\4608 Corolla Light Ph. 11\Drawings\4608SK1-PH11B.dwg 1/12/2021 3:43 PM UP Design\PLT 12500 PS 4608.2.dwg

OCEAN TRAIL (N.C. ROUTE 12)
(60' R/W)

NC GRD M089(2011)

SHRUBS Ø 5" O.C.
ALTERNATE BETWEEN
EVERGREEN AND ROSE
AZALEAS.

GREEN SHADING
REPRESENTS OPEN
SPACE (19,173.62 S.F.)
(48.%)

SHRUBS Ø 5" O.C.
ALTERNATE BETWEEN
EVERGREEN AND ROSE
AZALEAS.

20' M.B.L.

WV

20' M.B.L.

8 CANOPY
TREES
(3" CALIPER)
(BY VERIZON)

LOADING

CHAIN LINK FENCE

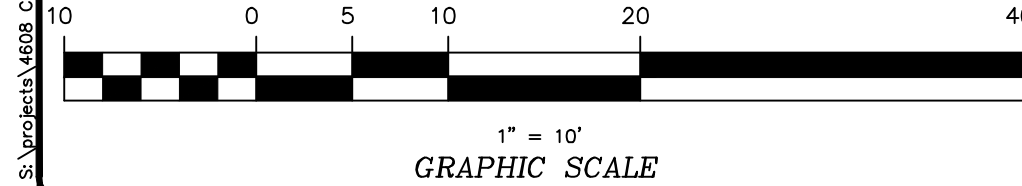
ELEVATED
BUILDING
(125 S.F.)

ELEVATED
GENERATOR
PLATFORM

WV

25' M.B.L.

6 FT. HIGH SOLID FENCE



Bissell Professional Group
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1000 Highway 101 North
Corolla, NC 27949
TEL (252) 281-1760
FAX (252) 281-1760

BISSELL
PROFESSIONAL GROUP

Engineers, Planners, Surveyors
and Environmental Specialists

**LANDSCAPING AND
BUFFERING PLAN**

OUTER BANKS VENTURES

COROLLA LIGHT, PHASE 11

PROJECT: **OUTER BANKS VENTURES**

CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP
NORTH CAROLINA

DATE: 01/11/21

SCALE: 1" = 10'

DESIGNED: BPG

CHECKED: MSB

DRAWN: KFW

APPROVED: BPG

SHEET: **3** OF **4**

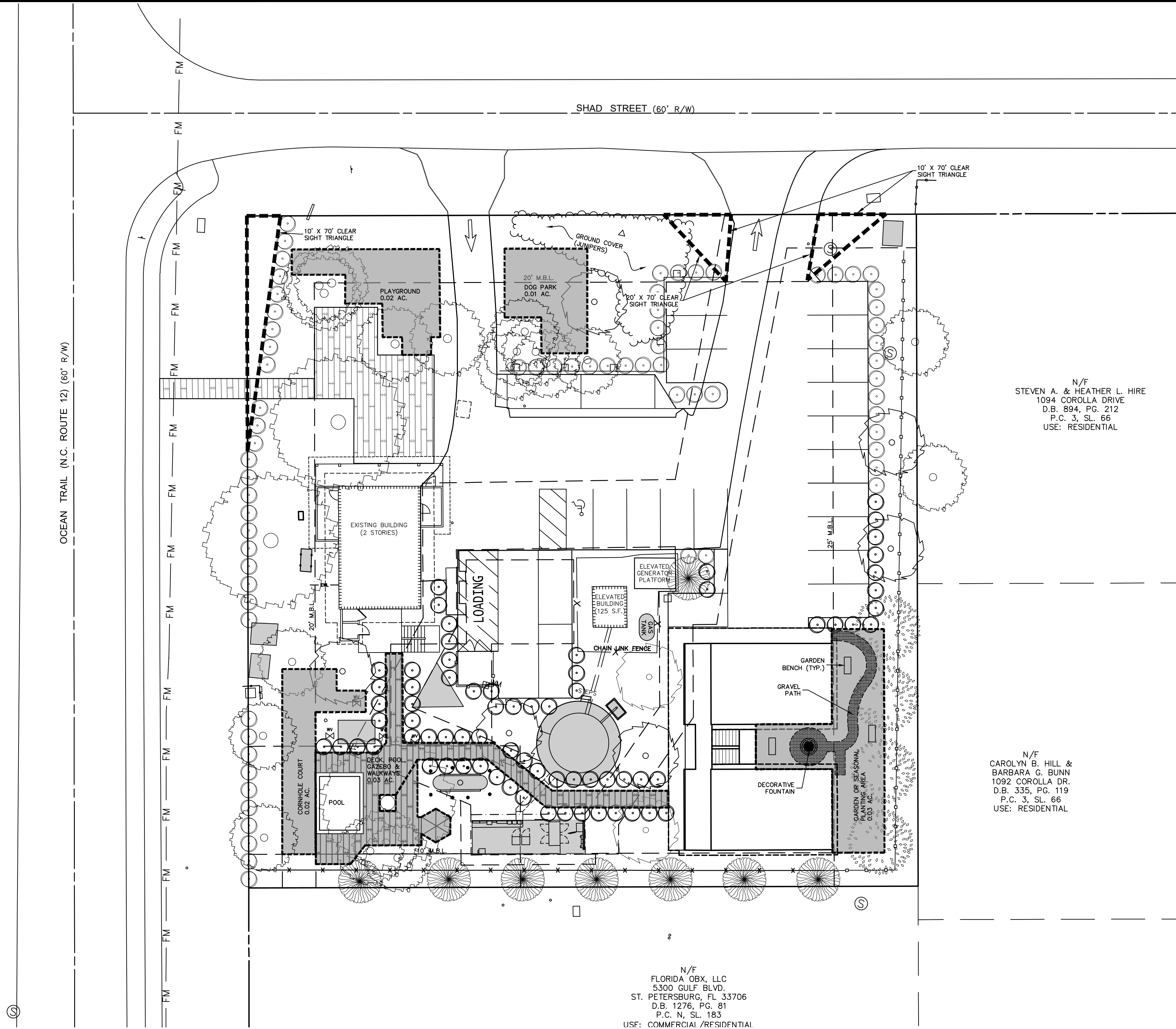
CAD FILE: 4608SK1-PH11B

PROJECT NO: 4608

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GRAPHIC SCALE



OPEN SPACE CALCULATIONS:
TOTAL TRACT AREA = 0.915 AC.
REQUIRED OPEN SPACE = 0.92 AC. X 0.35 = 0.32 AC.
OPEN SPACE PROVIDED = 48.1%
REQUIRED ACTIVE RECREATION OPEN SPACE = 0.32 AC. X 0.35 = 0.11 AC.
ACTIVE RECREATION OPEN SPACE PROVIDED = 0.11 AC.

N/F
FLORIDA OBX, LLC
5300 GULF BLVD.
ST. PETERSBURG, FL 33706
D.B. 1276, PG. 81
P.C. N, SL. 183
USE: COMMERCIAL /RESIDENTIAL

N/F
CAROLYN B. HILL &
BARBARA G. BUNN
1092 COROLLA DR.
D.B. 335, PG. 119
P.C. 3, SL. 66
USE: RESIDENTIAL

N/F
STEVEN A. & HEATHER L. HIRE
1094 COROLLA DRIVE
D.B. 894, PG. 212
P.C. 3, SL. 66
USE: RESIDENTIAL

DATE:	01/11/21	SCALE:	1" = 20'
DESIGNED:	BPG	CHECKED:	MSB
DRAWN:	KFW	APPROVED:	BPG
SHEET:	4	OF	4
CAD FILE:	4608SK1-PH3B		
PROJECT NO:	4608		

PROJECT:	OUTER BANKS VENTURES	NORTH CAROLINA
BY:	POPLAR BRANCH TOWNSHIP	CURRITUCK COUNTY
	COROLLA LIGHT, PHASE 11	

OPEN SPACE AND PROPOSED AMENITIES PLAN
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PROFESSIONAL GROUP

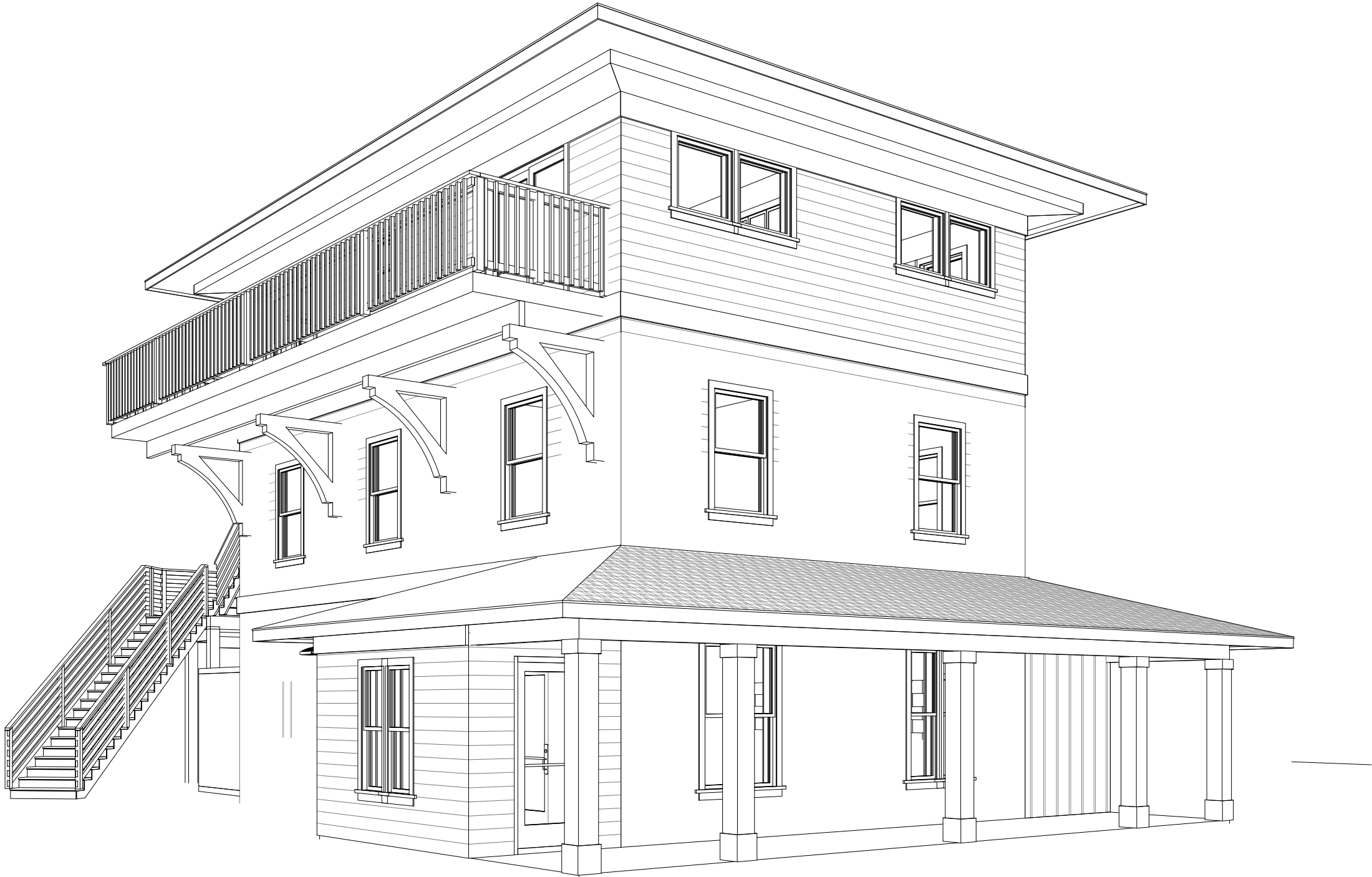
Engineers, Planners, Surveyors
and Environmental Specialists

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Professional Engineer
P.O. Box 108
1000 South Corolla
27949
Tel: (252) 281-1760
Fax: (252) 281-1760

Phase 11

ABBREVIATIONS

1R1S	(1) ROD + (1) SHELF	NCSBC	NORTH CAROLINA STATE BUILDING CODE
ACI	AMERICAN CONCRETE INSTITUTE	N.I.C.	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NO.	NUMBER
AFF	ABOVE FINISH FLOOR	NOM.	NOMINAL
AFG	ABOVE FINISH GRADE	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	O.D.	OVERFLOW DRAIN/OUTSIDE DIAMETER
ALUM.	ALUMINUM	O.H.	OPPOSITE HAND
AM	ANTE MERIDEN	OPNG.	OPENING
ARCH.	ARCHITECTURAL	O/S	OUTSIDE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OTB	OPEN TO BELOW
BFE	BASE FLOOD ELEVATION	PC	PLUMBING CONTRACTOR
B.O.	BOTTOM OF	PH	PHASE
CJ	CONTROL JOINT	PJ	PANEL JOINT
CAB	CABINET	PL	POINT LOAD
CLG	CEILING	P-LAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PME	PLUMBING, MECHANICAL, & ELECTRICAL
CO	CLEANOUT	PP	PUSH PAD
CONC.	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CPEI	COMMON PATH OF EXIT TRAVEL	PSL	PARALLEL STRAND LUMBER
CW	COLD WATER	P.T.	PRESSURE TREATED
DBL	DOUBLE	PNTD	PAINTED
DR.	DOOR	P.W. / PWD	PLYWOOD
DWG.	DRAWING	RC	REINFORCED CONCRETE
DWV	DRAIN/ WASTE/ VENT	RCP	REFLECTED CEILING PLAN
DS	DOWNSPOUT	RD	ROOF DRAIN
DTL	DETAIL	REINF	REINFORCED OR REINFORCING
EC	ELECTRICAL CONTRACTOR	REQD	REQUIRED
EJ	EXPANSION JOINT	RL	ROOF LEADER
ELECT.	ELECTRICAL	RUB	RUBBER
ELEV.	ELEVATION	SAN	SANITARY
ETC.	ETCETERA	SF	SQUARE FOOT OR SQUARE FEET
E.T.R.	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SP	SOUTHERN PINE
EXIST.	EXISTING	SPF	SPRUCE/ PINE/ FIR
EXT.	EXTERIOR	SS	STAINLESS STEEL
FBGLS.	FIBERGLASS	STOR	STOREFRONT
FCP	FIBER CEMENT PANEL	STL.	STEEL
FD	FLOOR DRAIN	TD	TRAVEL DISTANCE
FF	FINISH FLOOR	TME	TO MATCH EXISTING
FEC	FIRE EXTINGUISHER CABINET	T.O	TOP OF
FJ	FALSE JOINT	T.O.P.	TOP OF PLATE
FLR.	FLOOR	TRD.	TREAD
GC	GENERAL CONTRACTOR	TYP.	TYPICAL
GA	GALVE	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	V	VOLT/VOLTAGE
GEN	GENERAL	VCT	VINYL COMPOSITE TILE
GS	GANG STUD	VERT.	VERTICAL
GWB	GYPSPUM WALL BOARD	VIF	VERIFY IN FIELD
H/C	HANDICAPPED	W/	WITH
HDWR	HARDWARE	WGL	WIRE GLASS
HM	HOLLOW METAL	WD	WOOD
HORIZ.	HORIZONTAL		
HP	HEAT PUMP		
IM	ICE MAKER		
INSUL.	INSULATION		
INT.	INTERIOR		
KW	KILOWATT		
LOCS.	LOCATIONS		
LSL	LAMINATED STRAND LUMBER		
MAX.	MAXIMUM		
MBT	MARBLE THRESHOLD		
MC	MECHANICAL CONTRACTOR		
MCJ	MASONRY CONTROL JOINT		
MEJ	MASONRY EXPANSION JOINT		
MECH.	MECHANICAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MT	METAL THRESHOLD		
MTL.	METAL		



1 Perspective

GENERAL CONSTRUCTION NOTES

- THESE DRAWINGS CONTAIN THE MINIMUM INFORMATION NECESSARY FOR ANY REPUTABLE CONTRACTOR TO UNDERTAKE CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT. HE SHALL COMPLETE THE WORK IN THE BEST AND MOST WORKMANLIKE MANNER, AND DO EVERYTHING PROPERLY INCIDENTAL THERETO, AS SHOWN ON THE PLANS, REQUIRED BY ALL APPLICABLE CODES, AS RECOMMENDED BY PRODUCT MANUFACTURERS, AND IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE BEGINNING WORK. DIMENSIONS FOR NEW CONSTRUCTION SHOULD BE HELD TO THE MAXIMUM EXTENT POSSIBLE.
- PREMISES OF THE ENTIRE JOB SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF OSHA.
- PRIOR TO THE FINAL PAYMENT THE CONTRACTOR SHALL GIVE TO THE OWNER A LABELED BINDER CONTAINING A LIST OF ALL SUPPLIERS AND SUBCONTRACTORS WITH ADDRESSES AND PHONE NUMBERS, GUARANTEES, AND OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT. THE CONTRACTOR SHALL WARRANT THE WORK FOR A PERIOD OF ONE YEAR.
- IF A PORTION OF THE WORK HAS BEEN COVERED WHICH THE ARCHITECT HAS NOT SPECIFICALLY REQUESTED TO OBSERVE PRIOR TO ITS BEING COVERED, THE ARCHITECT MAY REQUEST TO SEE SUCH WORK AND IT SHALL BE UNCOVERED BY THE CONTRACTOR, IF SUCH WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. COSTS OF UNCOVERING AND REPLACEMENT SHALL, BY APPROPRIATE CHANGE ORDER, BE CHARGED TO THE ARCHITECT. IF SUCH WORK IS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PAY SUCH COSTS UNLESS THE CONDITION WAS CAUSED BY THE OWNER OR A SEPARATE CONTRACTOR IN WHICH EVENT THE OWNER SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH COSTS. THE CONTRACTOR SHALL PROMPTLY CORRECT THE WORK REJECTED BY THE ARCHITECT OR FAILING TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ALL CONCRETE SHALL BE 3000 PSI MINIMUM, AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE ACI AND ASTM.
- LIGHT GAUGE STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE LIGHT-GAUGE STEEL FRAMING CONSTRUCTION MANUAL AND AS PER ASTM A448, A570, OR A611.
- REINFORCING BARS FOR CONCRETE WORK SHALL BE GRADE 60, DEFORMED AS PER ASTM A615.
- WELDED WIRE FABRIC SHALL BE AS PER ASTM A185 OF SIZES AND TYPE AS SHOWN ON DRAWINGS.
- METAL TIE DOWN STRAPS, ANCHORS AND CLIPS SHALL BE AS PER "SIMPSON STRONGTIE" OR EQUAL.
- WOOD FRAMING AND BLOCKING SHALL BE #2 SPF OF THE SIZES INDICATED AND SHALL HAVE A MIN. Fb VALUE OF 1200 PSI.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOFING IN ACCORDANCE WITH NRCA REQUIREMENTS AND THE ROOFING PRODUCT MANUFACTURER'S RECOMMENDATIONS INCLUDING WATERPROOFING OF ALL PENETRATIONS AND SUPPORTS FOR MECHANICAL EQUIPMENT, AND AS SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL DETERMINE BEFORE BEGINNING WORK WHETHER AN ELEVATION CERTIFICATE WILL BE REQUIRED AND SHALL OBTAIN THE CERTIFICATE AT THE EARLIEST OPPORTUNITY. ONE COPY MUST BE PROVIDED FOR THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SHEATHING AND GWB OF WALL CAVITY. FLOOR AND CEILING INSULATION SHALL BE IN FULL CONTACT WITH GWB. INSULATION SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS, WITH NO SUBSTANTIAL GAPS, VOIDS, COMPRESSION OR WIND INTRUSION.
- SOIL SHALL BE FREE OF ORGANIC MATERIAL AND CONSOLIDATED TO BE CAPABLE OF 1,500 PSF AND LIMIT LONG TERM SETTLEMENT.
- CAULK ALL GAPS IN FRAMING AND SHEATHING AT FRAMING ROUGH-IN. CAULK GAPS IN GWB NOT SEALED BY TAPE AND JOINT COMPOUND. AIR TIGHTNESS SHALL BE LESS THAN OR EQUAL TO .30 CFM50 PER SQUARE FOOT OF CONDITIONED ENVELOPE AREA.

DEMOLITION NOTES

- THESE DRAWINGS ARE BASED ON FIELD OBSERVATIONS AND MEASUREMENTS OF THE EXISTING STRUCTURE. DIMENSIONS FOLLOWED BY A +/- MAY BE ADJUSTED TO MEET ACTUAL DISCREPANCIES IN THE DRAWINGS SHOULD BE ANTICIPATED. THE GENERAL CONTRACTOR SHALL RESOLVE SUCH DISCREPANCIES WITH REGARD TO THE BUILDING'S STRUCTURAL INTEGRITY.
- ELECTRICAL SERVICE SHALL BE TERMINATED AS APPROPRIATE PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- TERMINATION OF GAS SERVICE SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- THE GENERAL CONTRACTOR SHALL SEQUENCE THE WORK SO AS TO PROTECT THE EXISTING STRUCTURE FROM EXCESSIVE WATER DAMAGE, UNAUTHORIZED ACCESS, ETC.
- THE GENERAL CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- IT SHALL BE THE OWNER'S OPTION TO SALVAGE ANY REMOVED STRUCTURES, ARCHITECTURAL COMPONENTS, WINDOWS, FIXTURES, EQUIPMENT OR HARDWARE FOR SALE OR RE-USE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER'S REPRESENTATIVE ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
- EXISTING STRUCTURAL COLUMNS, BEAMS AND WALLS SHALL REMAIN U.N.O.
- TEMPORARY SUPPORT OF RAFTERS SHALL BE PROVIDED WHERE ROOF STRUCTURE OR WALLS SUPPORTING ROOF STRUCTURE ARE TO BE REMOVED.
- TEMPORARY SUPPORT OF JOISTS SHALL BE PROVIDED WHERE BEARING WALLS ARE TO BE REMOVED.
- TEMPORARY SUPPORT OF THE FLOOR STRUCTURE SHALL BE PROVIDED WHERE FLOOR AREAS ARE PARTIALLY REMOVED.
- SOME PLUMBING FIXTURES AND PIPING SHALL BE REMOVED. PLUG ALL ABANDONED PIPING AND FLOOR DRAINS EVEN WITH THE FLOOR OR WALL SURFACE.
- ALL GAS EQUIPMENT AND PIPING SHALL BE REMOVED. GAS-TORCH CUTTING OF GAS PIPING SHALL NOT BE PERMITTED.
- DISCONNECT EXISTING ELECTRICAL SERVICE AT SERVICE ENTRY AND PROPERLY CAP ALL EXPOSED WIRING AS PER CODE.
- ALL UTILITIES MUST BE OUT, CAPPED, TERMINATED, AND PROPERLY ISOLATED SO THAT NO DAMAGE OCCURS TO PARTS OF ANY SYSTEM THAT ARE TO REMAIN OR SERVE OTHER BUILDINGS THAT ARE NOT PART OF THE DEMOLITION. CONDITIONS, DUE TO THE NATURE OF THE CONSTRUCTION AND SPACE DIVISION SOME
- INFILL AT DOOR OPENINGS SHALL MATCH SURROUNDING CONSTRUCTION AS NEARLY AS POSSIBLE.
- INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING THE OWNER AGREES THAT, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS AGREEMENT. WHERE NEW CONSTRUCTION IS SHOWN IN ALIGNMENT WITH EXISTING COLUMNS OR THE EDGE OF AN EXISTING MASONRY OPENING THE ALIGNMENT SHOULD BE MAINTAINED. ANY EXISTING CONDITIONS WHICH PROHIBIT NEW CONSTRUCTION IN CONFORMANCE WITH THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DRAWING NUMBER

1

View Name

1/8" = 1'-0"

DRAWING NUMBER

1

SHEET NUMBER

1

DRAWING NUMBER

A101

SHEET NUMBER

1

Name

Elevation

1

A

A

Room name

101

5'-0"

SIM

1

A101

SIM

1

A101

SIM

1

A101

Drawing Symbols

1/4" = 1'-0"

DRAWING TITLE

EXTERIOR ELEVATION KEY

INTERIOR ELEVATION KEY

LEVEL CALLOUT

DOOR TAG

WINDOW TAG

WALL TAG

ROOM TAG

DIMENSION
(FACE OF STUD U.N.O.)

SECTION KEY

DETAIL KEY

ENLARGED PLAN OR
DETAIL KEY

Drawing Index	
Sheet Number	Sheet Name
A001	Cover Sheet
A002	Appendix B
A003	Life Safety Plans
A101	First Floor Plan & Toilet Elevations
A102	Second Floor Plan & Schedules
A103	Roof Plan
A201	Elevations
A301	Building Sections
A501	Details

cahoon+kasten

ARCHITECTS

118 West Woodhill Drive
Nags Head, North Carolina 27959
P. 252.441.0271 F. 252.441.8724
E. office@obxarchitects.com

Project: Phase 11

Project No: 20042

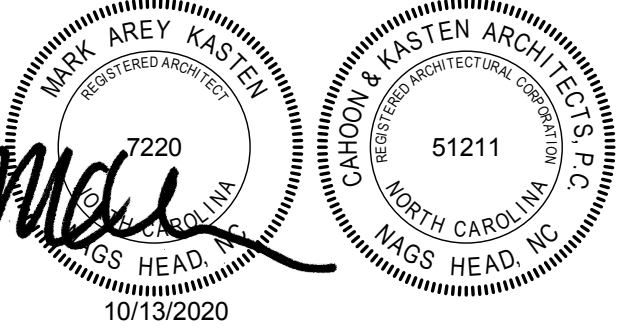
Location: 1099 Ocean Trail
Corolla, NC 27927

Title: Cover Sheet

Date: October 13, 2020

Scale: 1/4" = 1'-0"

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

A001

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
 (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
 (Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Phase 11
 Address: 1099 Ocean Trail
Corolla, NC 27927
 Owner/Authorized Agent: Owner
 Phone #: _____ E-Mail: _____
 Owned By: ☐ City/County ☐ Private ☐ State
 Code Enforcement Jurisdiction: ☐ City ☐ County ☐ State

CONTACT: <u>Mark Kasten, AIA</u>					
DESIGNER	FIRM	NAME	LIC #	TELEPHONE #	E-MAIL
Architectural	Cahoon + Kasten Architects	Mark Kasten	7220	252.441.0271	mark@cobarchitects.com
Civil					
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5'h					
Other					

2018 NC BUILDING CODE: ☐ New Building ☐ Addition ☐ 1st Time Interior Completion
☐ Shell / Core* ☐ Phased Construction*

*Contact the local inspection jurisdiction for possible additional procedures and requirements.

2018 NC EXISTING BUILDING CODE: ☒ Prescriptive ☐ Alteration Level I ☐ Historic Property
☐ Repair ☐ Alteration Level II ☐ Change of Use
☐ Chapter 14 ☐ Alteration Level III

CONSTRUCTED: (date) _____ **CURRENT OCCUPANCY(S)** (Ch. 3): _____
RENOVATED: (date) _____ **PROPOSED OCCUPANCY(S)** (Ch. 3): _____

RISK CATEGORY (Table 1604.5): **Current:** _____ **Proposed:** _____

BASIC BUILDING DATA
Construction Type (check all that apply) ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
☐ I-B ☐ II-B ☐ III-B ☒ V-B
Sprinklers: ☐ No ☐ Partial ☒ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☒ No ☐ Class I ☐ II ☐ III ☐ Wet ☐ Dry
Primary Fire District: ☒ No ☐ Yes **Flood Hazard Area:** ☒ No ☐ Yes
Special Inspections Required: ☒ No ☐ Yes If special inspections are required, contact the local inspection jurisdiction for additional procedures and requirements.

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor		864 SF	864 SF
2nd Floor	864 SF		864 SF
Mezzanine			
1st Floor	864 SF	108 SF	972 SF
Basement			
Total	1728 SF	972 SF	2700 SF

ALLOWABLE AREA
Primary Occupancy Classification(s):
 Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
 Business ☒
 Educational ☐
 Factory ☐ F-1 Moderate ☐ F-2 Low
 Hazardous ☐ H-1 Detonate ☐ H-2 Defflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
 Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-1-2 Condition ☐ I-1 ☐ I-2 ☐ I-3 Condition ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-1-2 Condition ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-1-2 Condition ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-1-2 Condition
 Mercantile ☐
 Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
 Storage ☐ S-1 Moderate ☒ S-2 Low ☐ Hile Pile ☐ Enclosed ☐ Repair Garage
 Utility and Miscellaneous ☐

Accessory Occupancy Classification(s): _____
Incidental Uses (Table 509): _____
Special Uses (Chapter 4 - List Code Sections): _____
Special Provisions (Chapter 5 - List Code Sections): _____
Mixed Occupancy: ☐ No ☐ Yes Separation: _____ Hr. Exception: _____
☐ Non-Separated Use (508.3)
☒ Separated Use (508.4) See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} = \leq 1$$

$$\frac{972 \text{ SF}}{40500 \text{ SF}} + \frac{1728 \text{ SF}}{27000 \text{ SF}} + \dots = 0.088 \leq 1$$

STORY #	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) ALLOWABLE AREA PER FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
1	S-2	972 SF	40500 SF		18,000 SF
2	B	864 SF	27000 SF		27000 SF
3	B	864 SF	27000 SF		27000 SF
Building Area		2700 SF SF	Maximum Allowable Building Area	N/A	

- ¹ Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase If = 100 [F/P - 0.25] x W/30 = _____ (%)

² Unlimited area applicable under conditions of Section 507.

³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories)(506.2).

⁴ The maximum area of open parking garages must comply with Table 406.5.4.

⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²	60'	35'	
Building Height in Stories (Table 504.4) ³	4 (4)	3(3)	S-2 (B)

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
 2. The maximum height of air traffic control towers must comply with Table 412.3.1.
 3. Then maximum height of open parking garages must comply with Table 406.5.4.

PERCENTAGE OF WALL OPENING CALCULATIONS				
WALL	FIRE SEPARATION DISTANCE FROM PROPERTY LINES (FEET)	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
NORTH	>30 FT	UP, S	UL %	
EAST	>30 FT	UP, S	UL %	
SOUTH	>30 FT	UP, S	UL %	
WEST	>30 FT	UP, S	UL %	

FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQD	PROVIDED (W/_____* REDUCTION)	DETAIL# AND SHEET#	DESIGN# FOR RATED ASSEMBLY	SHEET# FOR RATED PENETRATION	SHEET# FOR RATED JOINTS
Structural frame, including columns, girders, & trusses		0					
Bearing walls							
Exterior							
North		0					
East		0					
West		0					
South		0					
Interior		0					
Nonbearing walls and partitions							
Exterior walls		0					
North		0					
East		0					
West		0					
South		0					
Interior walls and partitions		0					
Floor construction		0					
Including supporting beams and joists		0					
Floor Ceiling Assembly		0					
Columns Supporting Floors		0					
Roof Construction, including supporting beams and joists		0					
Roof Ceiling Assembly		0					
Columns Supporting Roof		0					
Shafts Enclosures - Exit							
Shafts Enclosures - Other							
Corridor Separation							
Occupancy/ Fire Barrier Separation	1	1					
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/ Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

LIFE SAFETY SYSTEM REQUIREMENTS
 Emergency Lighting: ☐ No ☒ Yes
 Exit Signs: ☐ No ☒ Yes
 Fire Alarm: ☒ No ☐ Yes ☐ Partial _____
 Smoke Detection Systems: ☐ No ☒ Yes
 Carbon Monoxide Detection: ☐ No ☒ Yes

LIFE SAFETY PLAN REQUIREMENTS
 Life Safety Plan Sheet #: A003
☐ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☒ Occupancy Use for each area as it relates to occupant load calculations (Table 1004.1.2)
☒ Occupant loads for each area
☒ Exit access travel distances (1017)
☒ Common path of travel distances (1006.2.1 & 1006.3.2(1))
☒ Dead end lengths (1020.4)
☒ Clear exit widths for each exit door
☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☒ Actual occupant load for each exit door
☒ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification 1-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)							
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	TOTAL # ACCESSIBLE PROVIDED	
TOTAL							

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) (A-2 ONLY)									
USE	WATERCLOSETS	URINALS	LAVATORIES	SHOWERS	DRINKING FOUNTAINS				
SPACE	MALE/FEMALE	UNISEX	MALE/FEMALE	UNISEX	/TUBS	REGULAR	ACCESSIBLE		
EXISTG									
NEW		1				1			
REQD		1				1			

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHA, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☐ (If checked the remainder of this section is not applicable.)

Exempt Building: ☐ Provide code or statutory reference: _____

Climate Zone: ☒ 3A ☐ 4A ☐ 5A

Method of Compliance:
 Energy Code ☐ Performance ☒ Prescriptive
 ASHRAE 90.1 ☐ Performance ☐ Prescriptive
 Other ☐ Performance (specify source) _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
 Description of assembly: ASPHALT SHINGLES, 30# ASPHALTIC FELT, 5/8" P.W. SHEATHING, WD TRUSSES, FBGLS. BATT INSUL., 1/2" G.W.B.
 U-Value of total assembly:
 R-Value of insulation: R-38
 Skylights in each assembly:
 U-Value of skylights:
 total s.f. of skylights in each assembly:
Exterior Walls (each assembly)
 Description of assembly: SIDING, 15# ASPHALTIC FELT, 1/2" P.W. SHEATHING, 2x6 WD. STUDS, FBGLS. BATT. INSUL., 1/2" G.W.B.
 U-Value of total assembly:
 R-Value of insulation: R-20
 Openings (windows or doors with glazing)
 U-Value of assembly:
 Solar heat gain coefficient:
 Projection factor:
 Door R-Values:

Walls below grade (each assembly)

Description of assembly:
 U-Value of total assembly:
 R-Value of insulation:
 R-Value of insulation:

Floors over unconditioned space (each assembly)

Description of assembly:
 U-Value of total assembly:
 R-Value of insulation:

Floors slab on grade 4" REINF. CONC.

Description of assembly:
 U-Value of total assembly:
 R-Value of insulation: NR
 Horizontal/vertical requirement:
 Slab heated: NO

STRUCTURAL DESIGN

DESIGN LOADS
Importance Factors: Wind (I_w) 1.0
 Snow (I_s) 1.0
 Seismic (I_e) 1.0
Live Loads: Roof 20 psf
 Mezzanine psf
 Floor 40 psf
Ground Snow Load: 10 psf
Wind Load: Basic Wind Speed 135 mph (ASCE-7)
 Exposure Category c

SEISMIC DESIGN CATEGORY:
 Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) ☐ A ☒ B ☐ C ☐ D
Spectral Response Acceleration S_s ☐ I ☒ II ☐ III ☐ IV
Site Classification (ASCE-7) ☐ A ☐ B ☐ C ☒ D ☐ E ☐ F
 Data Source: ☐ Field Test ☒ Presumptive ☐ Historical Data
Basic structural system (check one)
☒ Bearing wall ☐ Dual w/Special Moment Frame
☐ Building Frame ☐ Dual w/Intermediate R/C or Special Steel
☐ Moment Frame ☐ Inverted Pendulum
Analysis Procedure: ☐ Simplified ☒ Equivalent Lateral Force ☐ Dynamic
Architectural, Mechanical, Components anchored? ☒ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☐ Wind ☒

SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report) _____ psf
 Presumptive Bearing capacity 1,500 psf
 Pile size, type, and capacity 8x8 4 tons

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
 winter dry bulb: _____
 summer dry bulb: _____

Interior design conditions
 winter dry bulb: _____
 summer dry bulb: _____
 relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Spacing Conditioning System

Unitary
 description of unit: _____
 heating efficiency: _____
 cooling efficiency: _____
 size category of unit: _____
 Boiler
 Size category. If oversized, state reason.: _____
 Chiller
 Size category. If oversized, state reason.: _____

List equipment efficiencies: _____

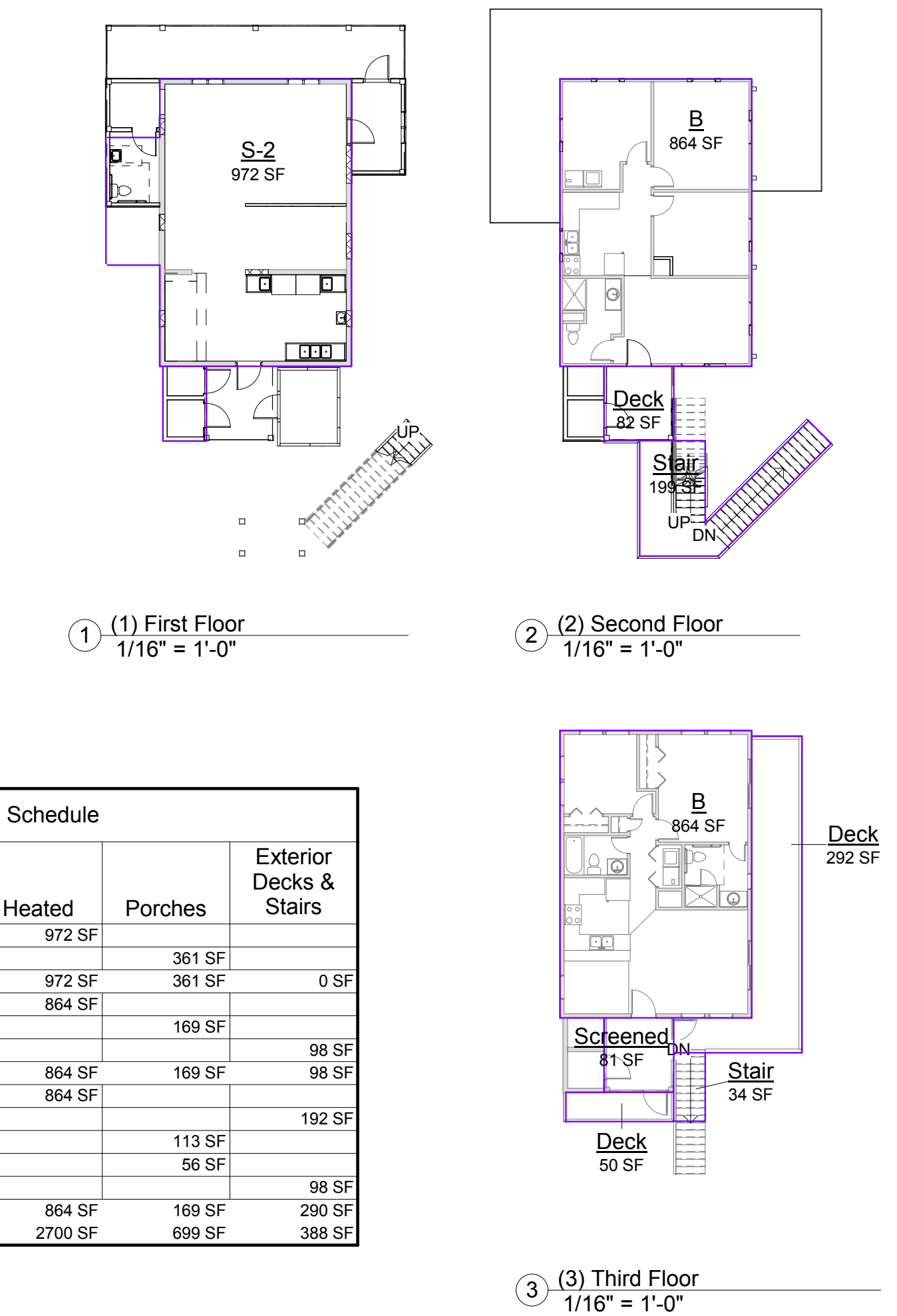
ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
 Energy Code: ☐ Prescriptive ☐ Performance
 ASHRAE 90.1: ☐ Prescriptive ☐ Performance

Lighting Schedule (each fixture type)
 lamp type required in fixture
 number of lamps in fixture
 ballast type used in the fixture
 number of ballasts in fixture
 total wattage per fixture
 total interior wattage specified vs. allowed (whole building or space by space)
 total exterior wattage specified vs. allowed

Additional Efficiency Package Options
 (When using the 2018 NCECC; not required for ASHRAE 90.1)
☐ C406.2 More Efficient HVAC Equipment Performance
☐ C406.3 Reduced Lighting Power Density
☐ C406.4 Enhanced Digital Lighting Controls
☐ C406.5 On-Site Renewable Energy
☐ C406.6 Dedicated Outdoor Air System
☐ C406.7 Reduced Energy Use in Service Water Heating



Area Schedule				
Name	Area Style	Heated	Porches	Exterior Decks & Stairs
S-2	Heated SF	972 SF		
Porch	Porch		361 SF	
		972 SF	361 SF	0 SF
B	Heated SF	864 SF		
Deck	Porch		169 SF	
Stair	Stair			98 SF
		864 SF	169 SF	98 SF
B	Heated SF	864 SF		
Deck	Decks			192 SF
Screened	Porch		113 SF	
Deck	Porch		56 SF	
Stair	Stair			98 SF
		864 SF	169 SF	290 SF
		2700 SF	699 SF	388 SF

cahoon+kasten
 ARCHITECTS

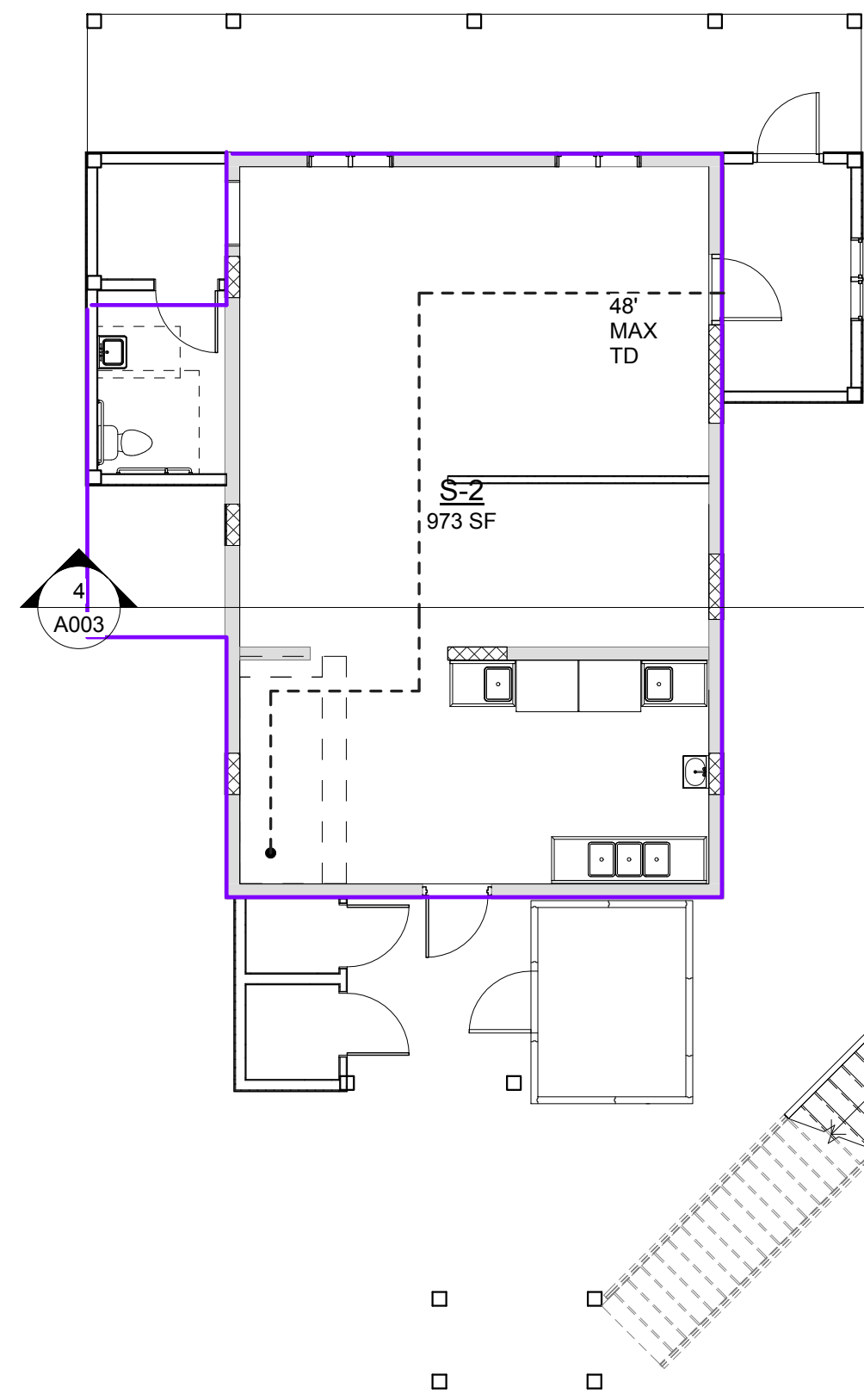
118 West Woodhill Drive
 Nags Head, North Carolina 27959
 P. 252.441.0271 F. 252.441.8724
 E. office@obxarchitects.com

Project: **Phase 11**

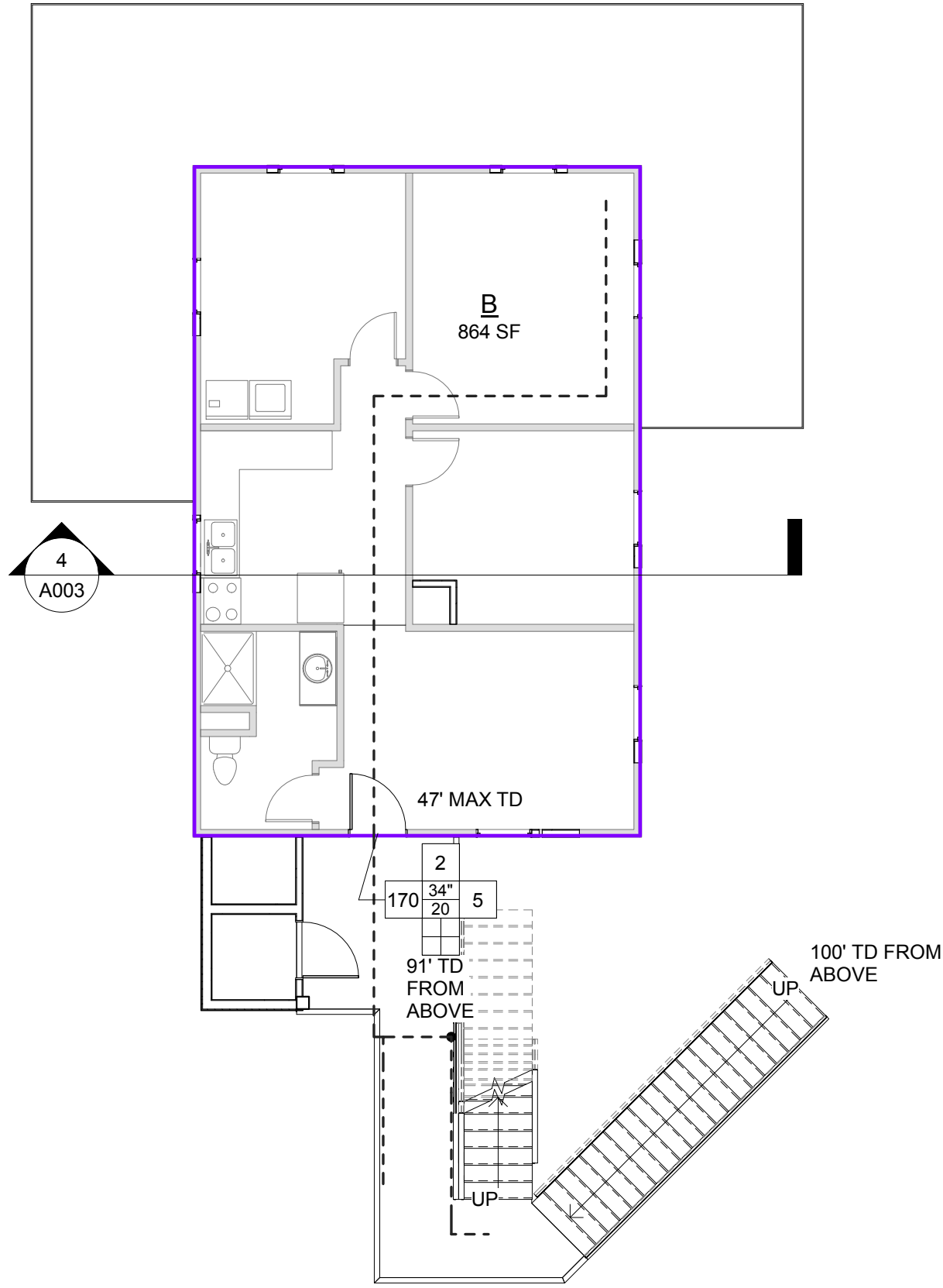
Project No: **20042**

Location: **1099 Ocean Trail**
Corolla, NC 27927

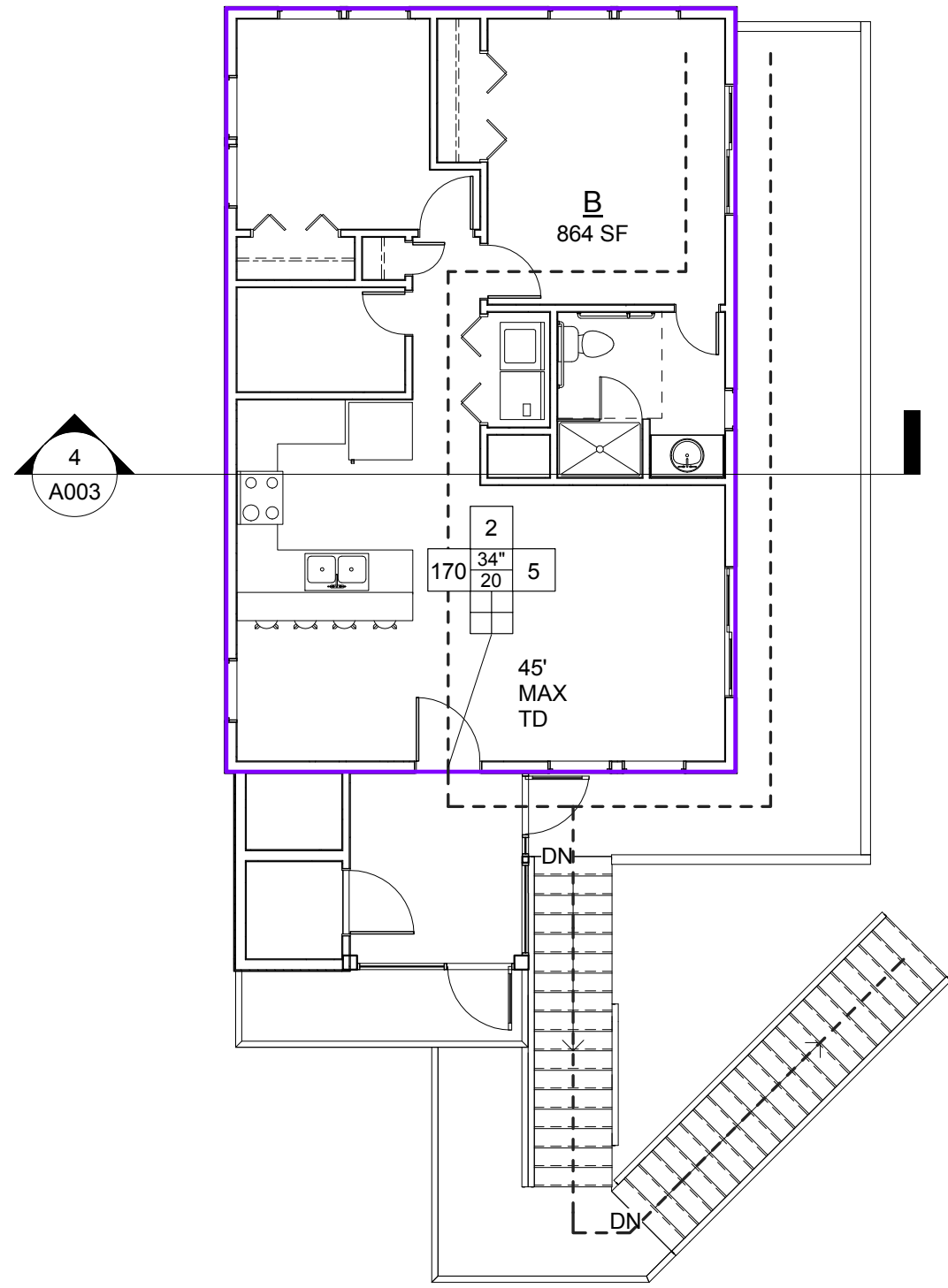
Title: **Appendix B**



1 (1) First Floor
1/8" = 1'-0"

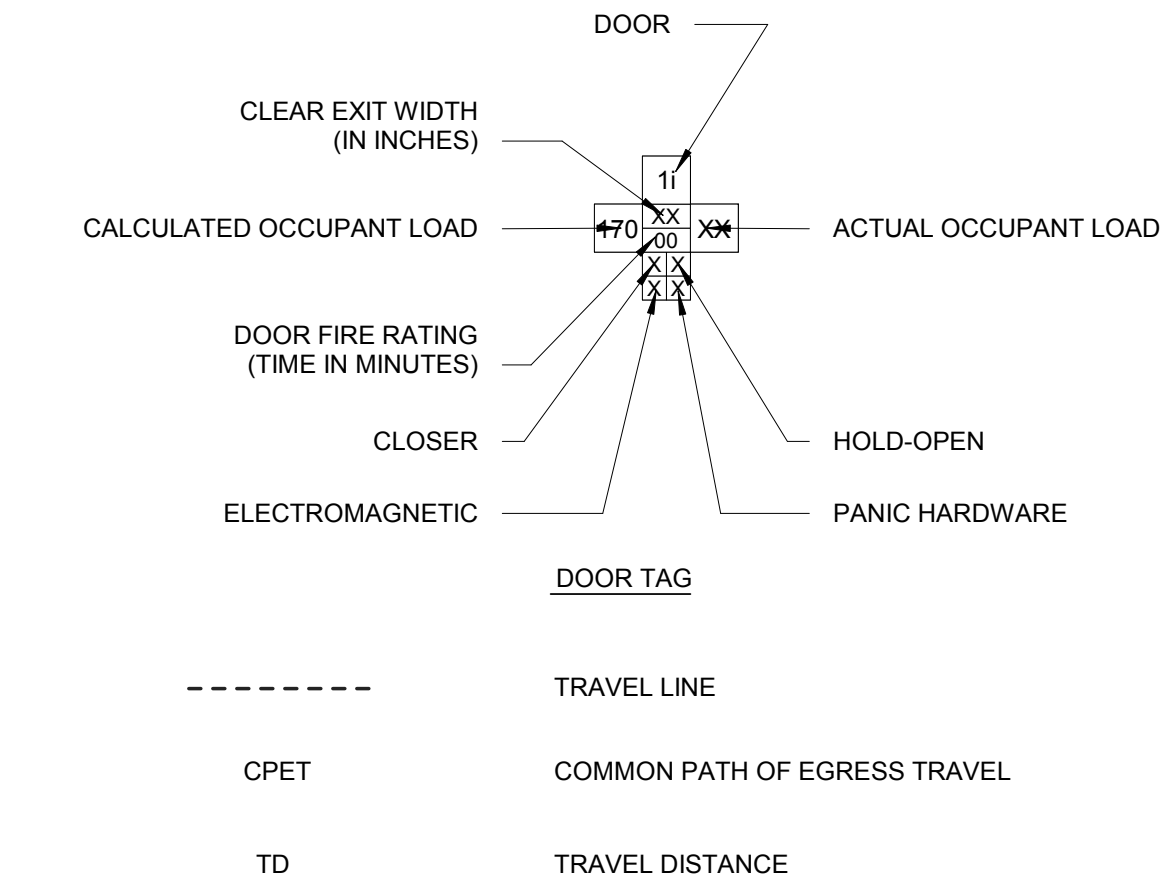


2 (2) Second Floor
1/8" = 1'-0"

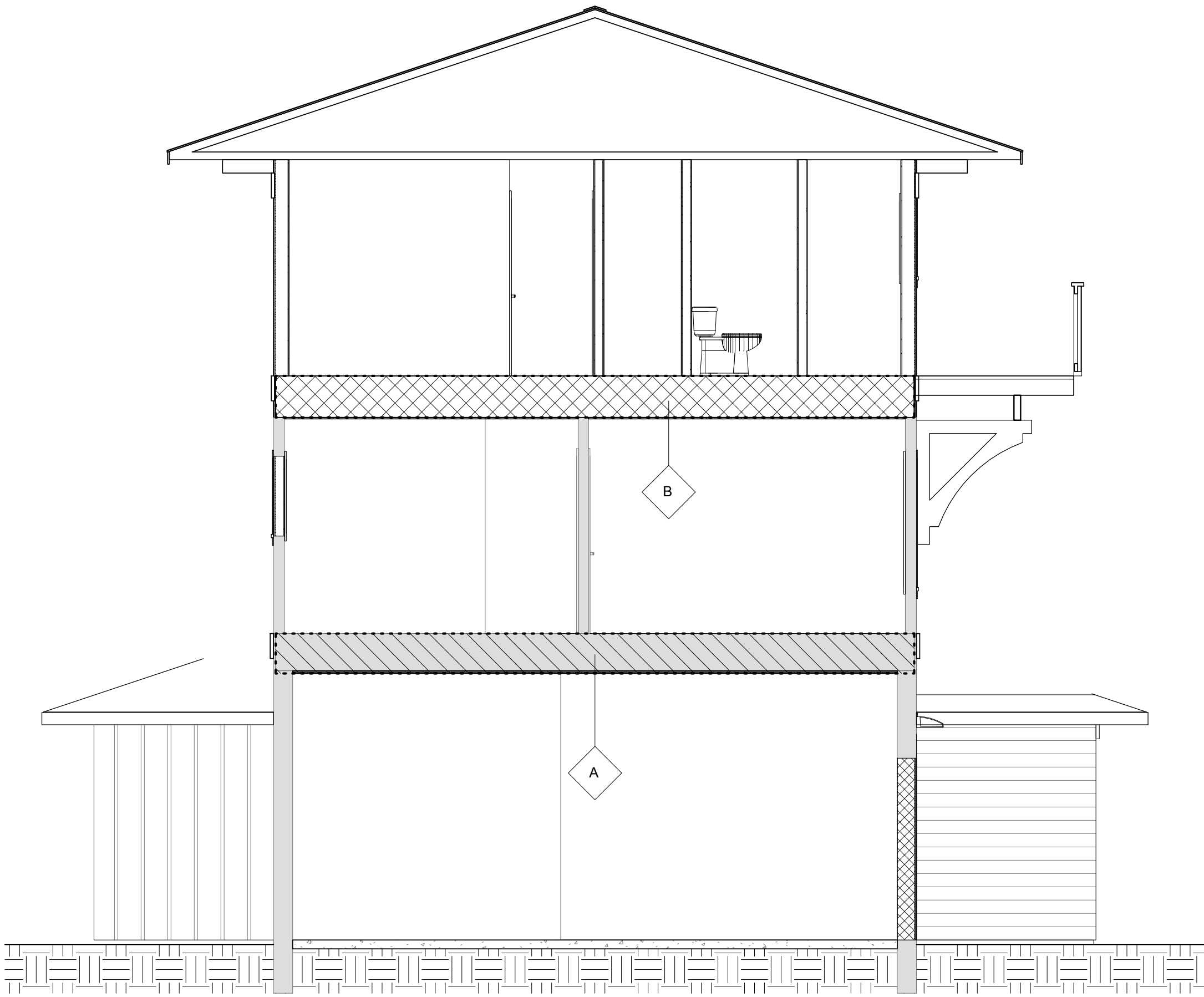


3 (3) Third Floor
1/8" = 1'-0"

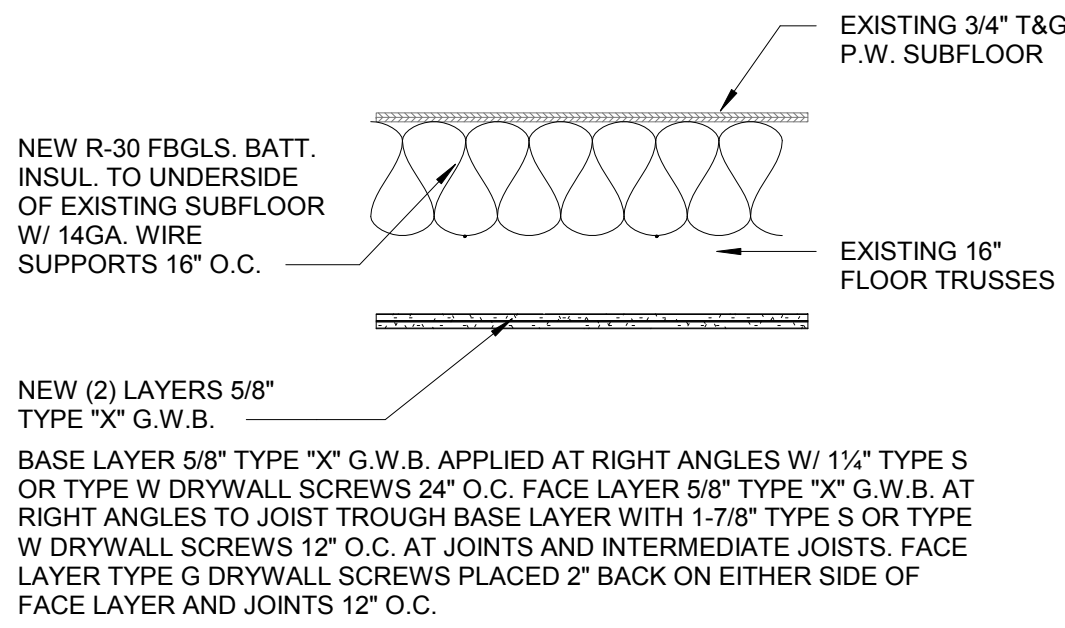
Occupant Schedule						
Number	Name	Area	Occupancy	Occupancy S.F. Type	Area Per Occupant	Occupants
1	S-2	973 SF	Warehouses	Gross	500 SF	2
3	B	864 SF	Business Areas	Gross	100 SF	9
4	B	864 SF	Business Areas	Gross	100 SF	9
Grand total: 3						



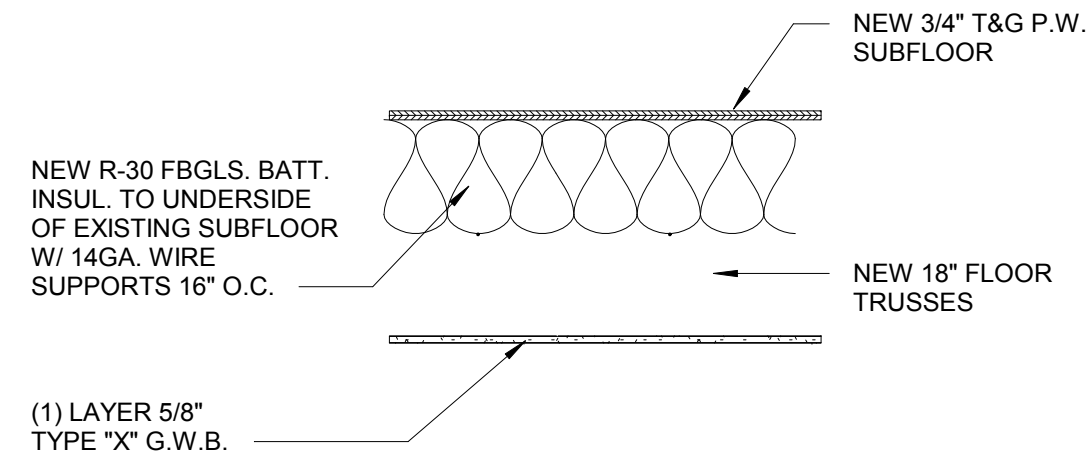
Life Safety Legend
1/4" = 1'-0"



4 Life Safety Section
1/4" = 1'-0"



SECOND FLOOR SEPARATION BETWEEN S-2 AND B
FLOOR TYPE "A"
1 HR REF. NCBC 721.1 - 21-1.1



THIRD FLOOR SEPARATION
FLOOR TYPE "B"
40 MIN. PERSCRIPTIVE REF. NCBC 722.6

5 Floor Types
3/4" = 1'-0"

Project: Phase 11

Project No: 20042

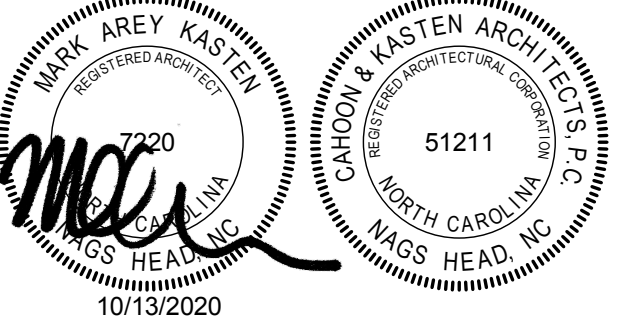
Location: 1099 Ocean Trail
Corolla, NC 27927

Title: Life Safety Plans

Date: October 13, 2020

Scale: As indicated

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

A003

Project: Phase 11

Project No: 20042

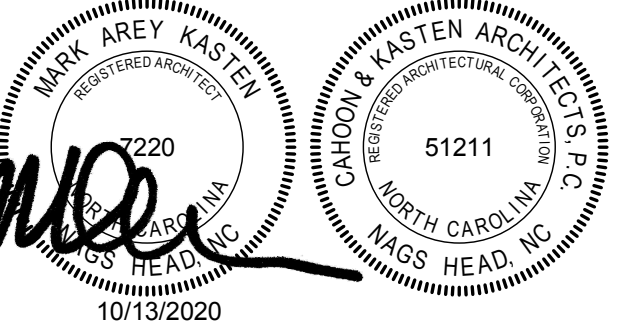
Location: 1099 Ocean Trail
Corolla, NC 27927

Title: First Floor Plan & Toilet
Elevations

Date: October 13, 2020

Scale: As indicated

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

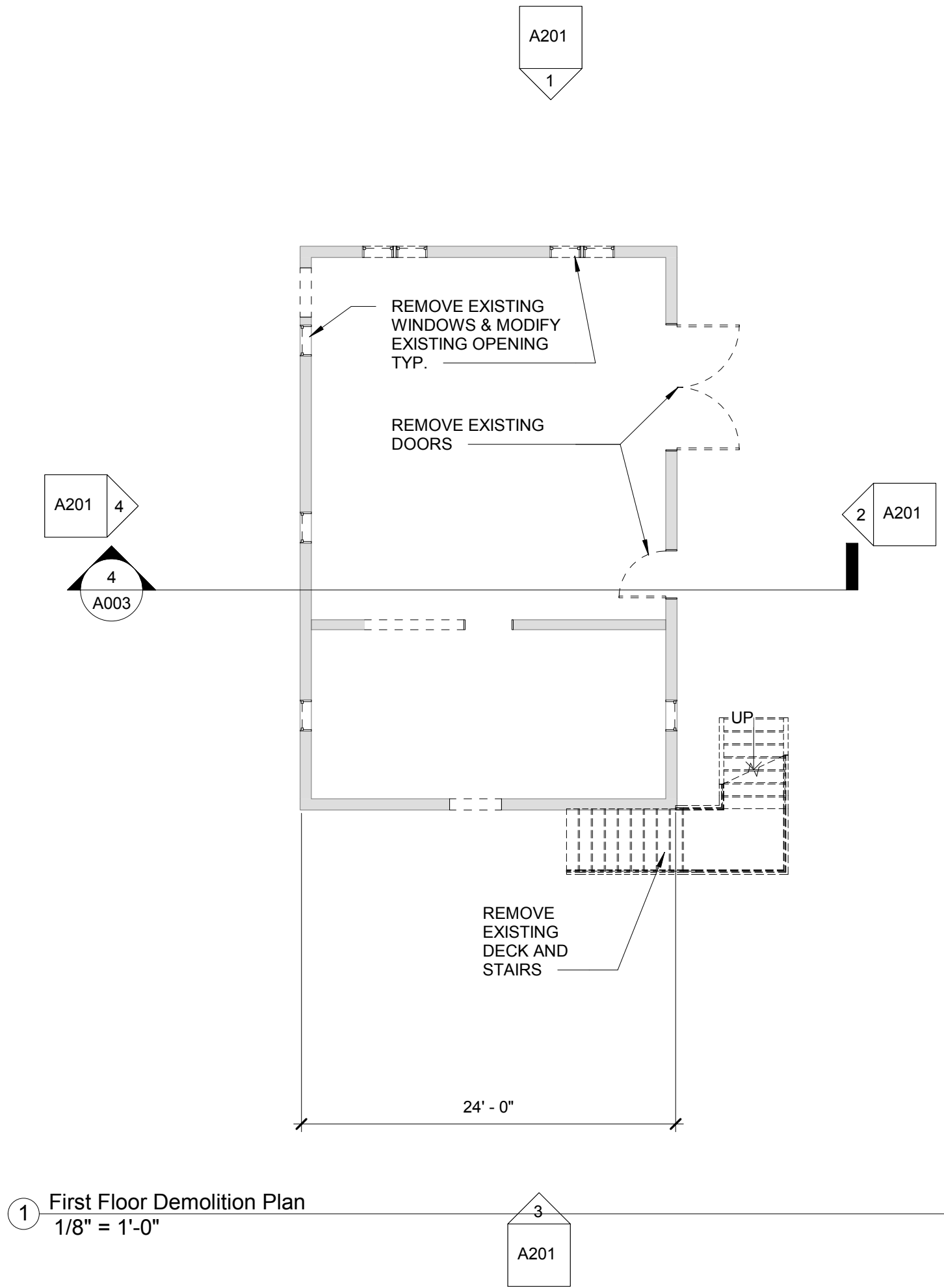


Revisions:

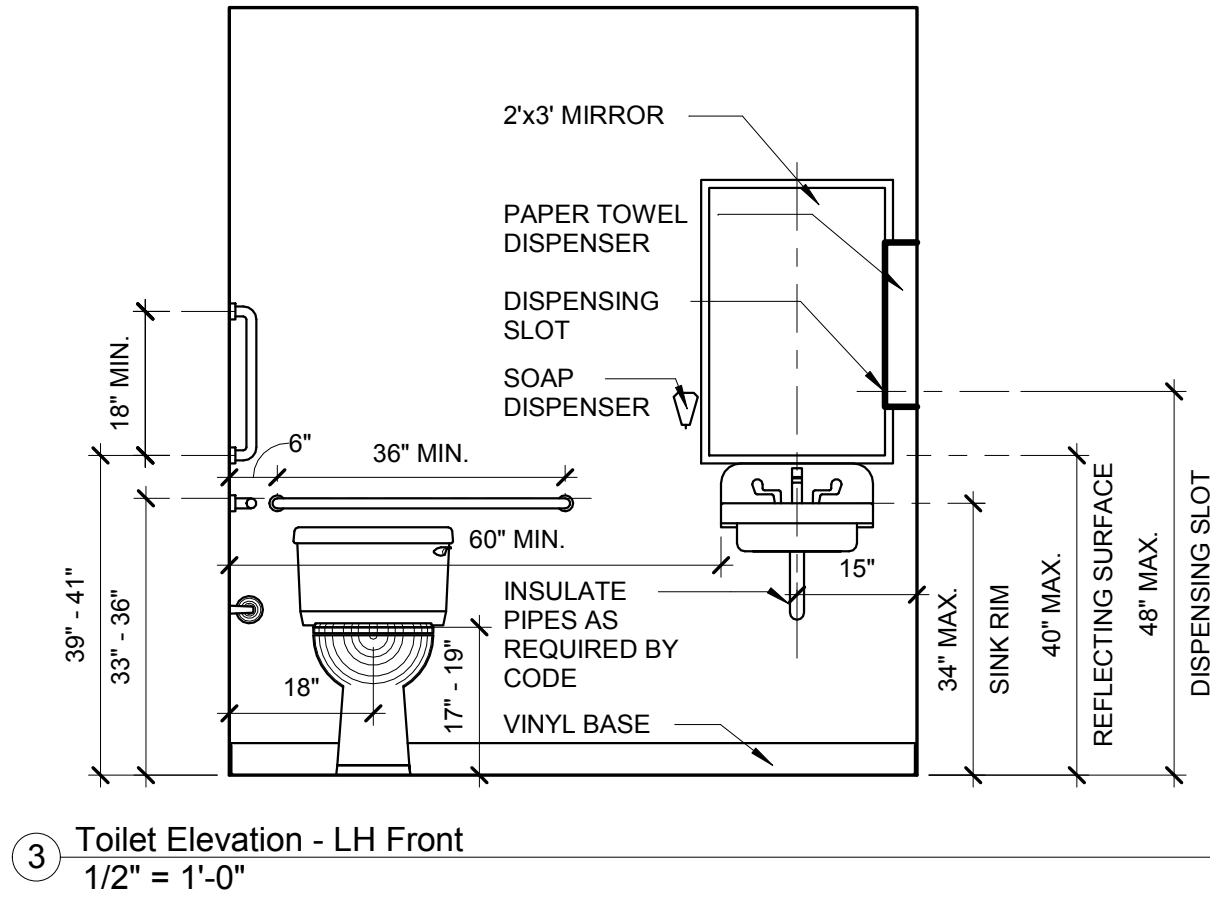
No.	Description	Date

Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

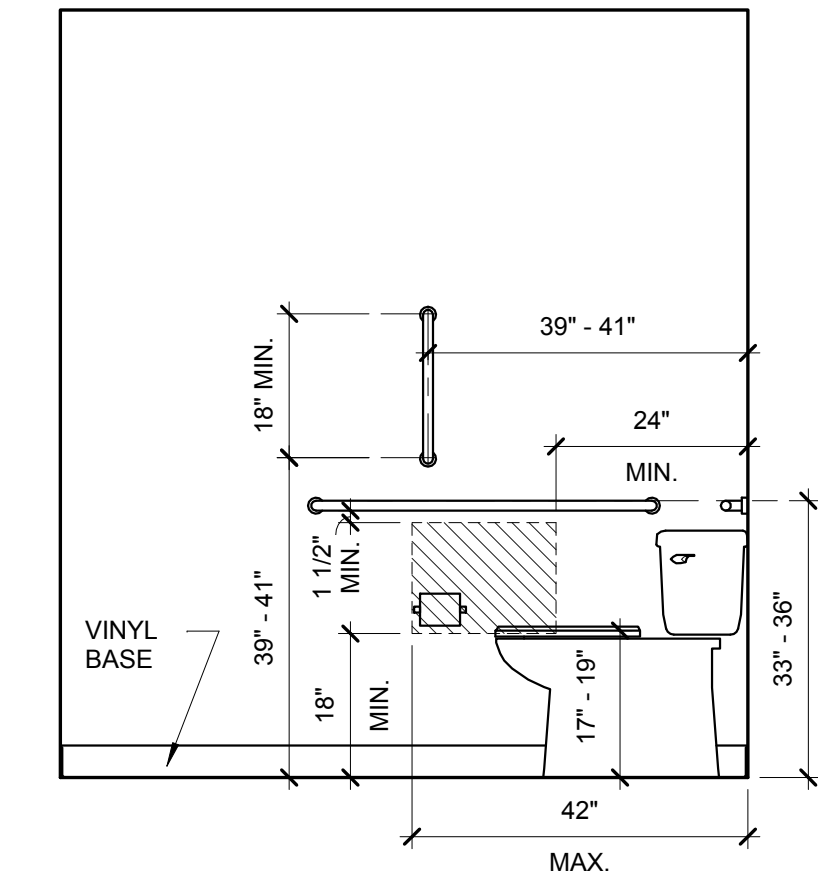
A101



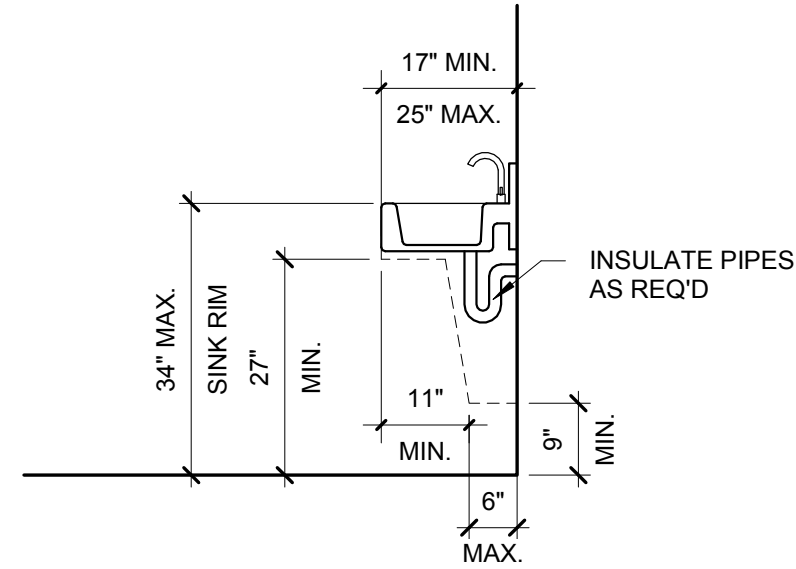
1 First Floor Demolition Plan
1/8" = 1'-0"



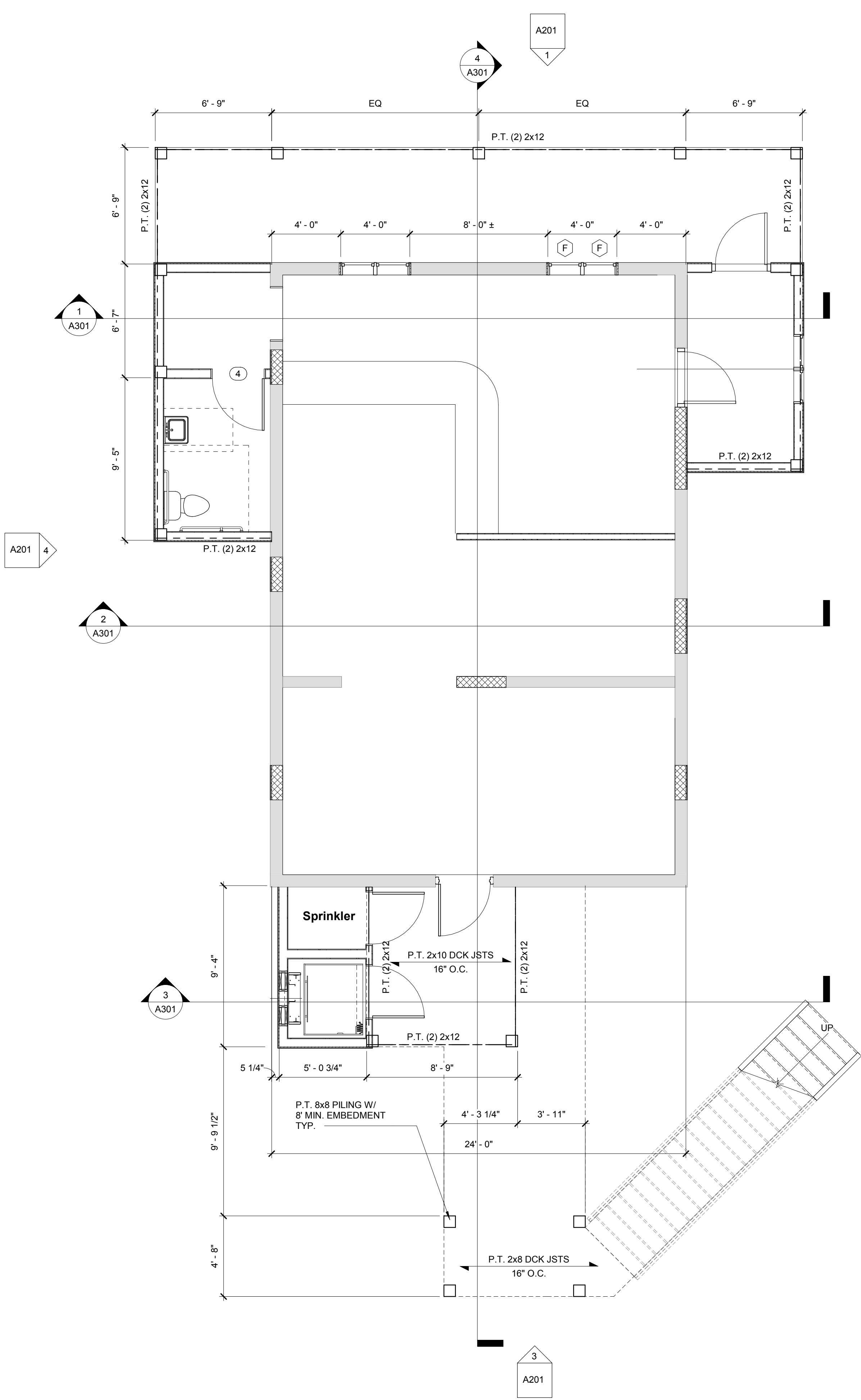
3 Toilet Elevation - LH Front
1/2" = 1'-0"



4 Toilet Elevation - LH Side
1/2" = 1'-0"



5 Sink Detail - Wall Hung
1/2" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"

Project: Phase 11

Project No: 20042

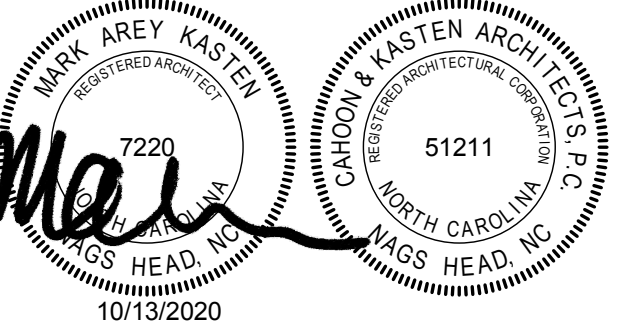
Location: 1099 Ocean Trail
Corolla, NC 27927

Title: Second Floor Plan &
Schedules

Date: October 13, 2020

Scale: As indicated

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

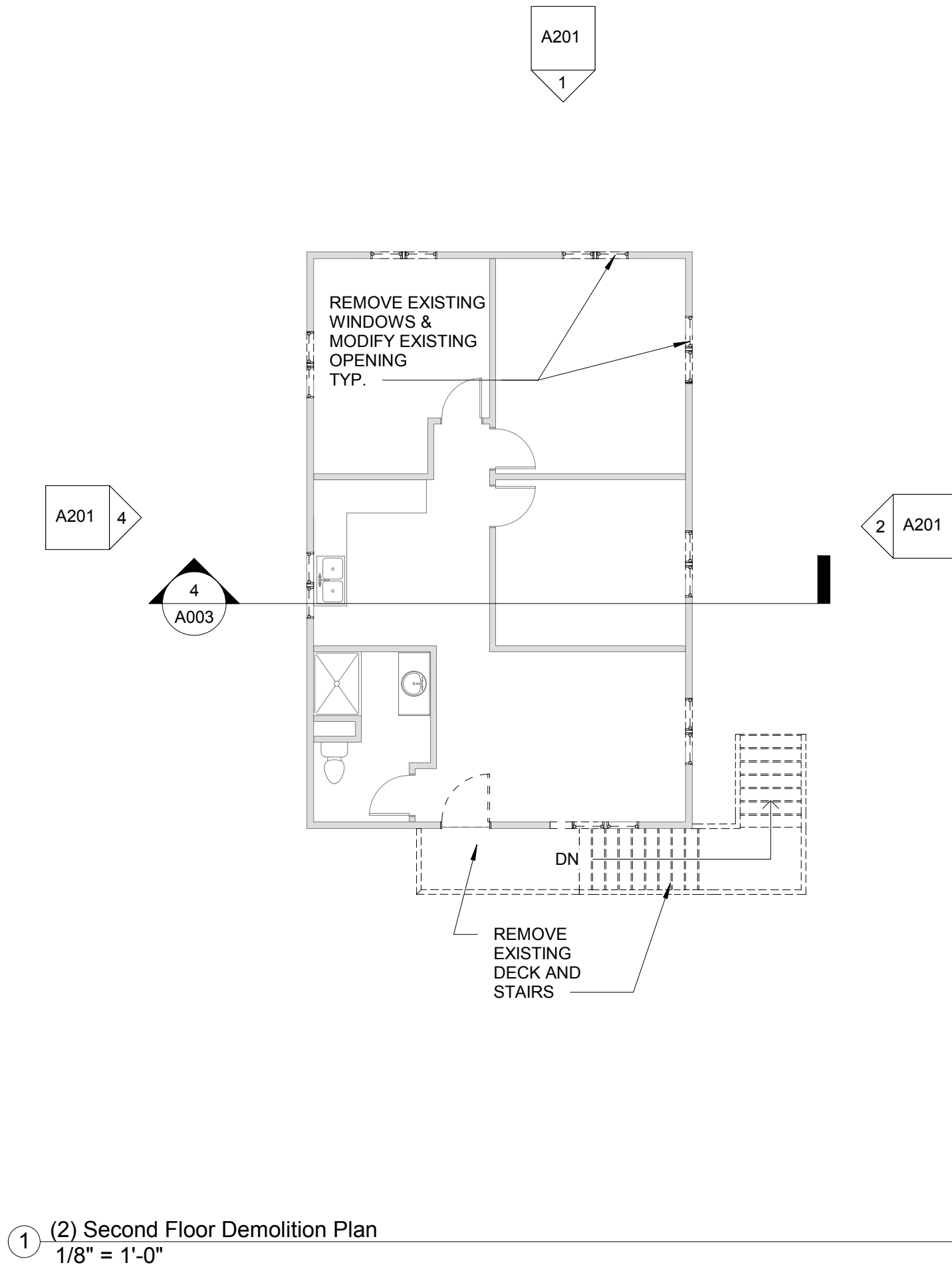


Revisions:

No.	Description	Date

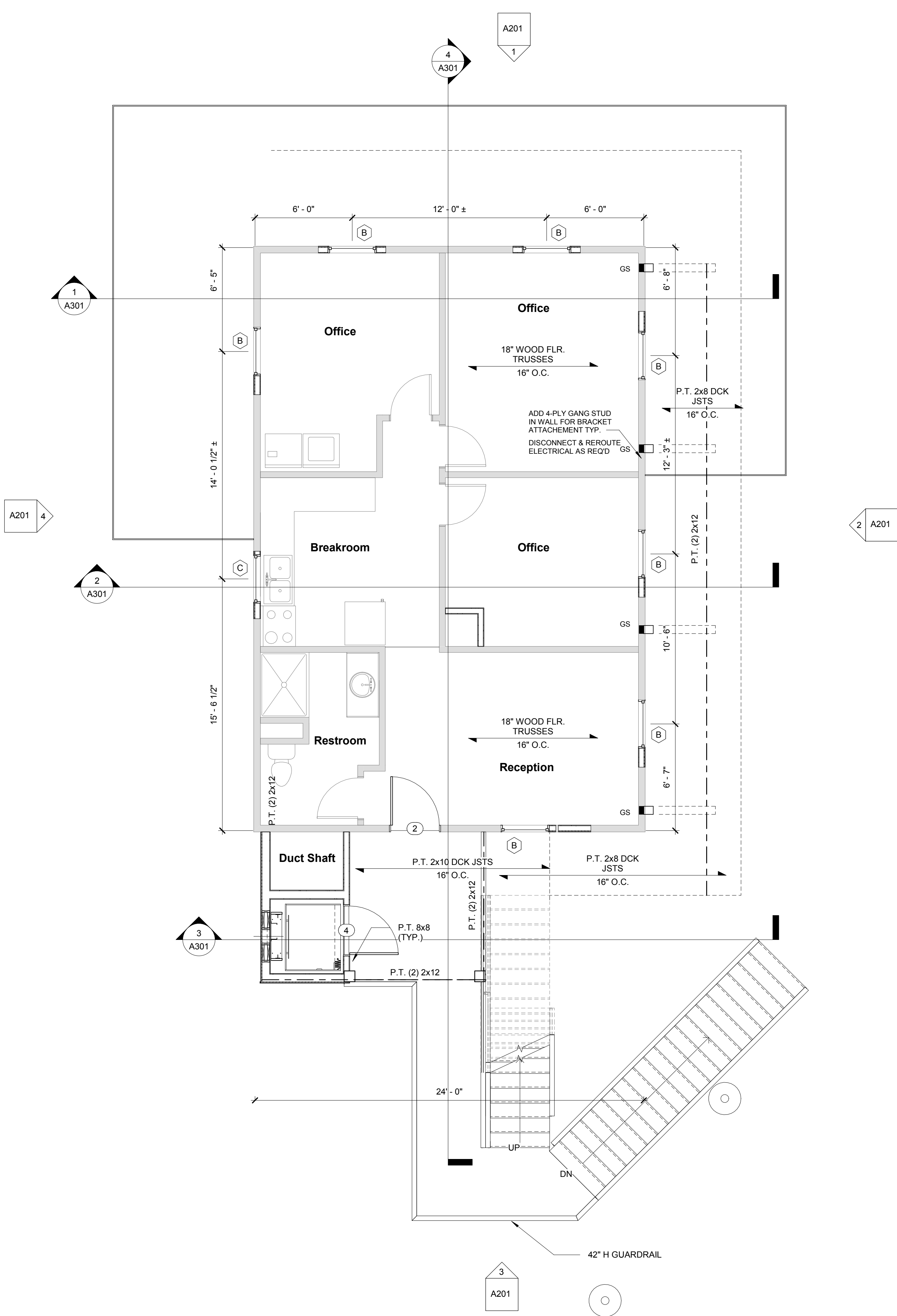
Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

A102



Door Schedule Res				
Mark	Door Style	Door		Comments
		Width	Height	
2	Single, Entry	3' - 0"	6' - 8"	20 min
3	Exterior Sliding	6' - 0"	6' - 8"	
4		3' - 0"	6' - 8"	
5	Single	2' - 6"	6' - 8"	
6	Single	2' - 0"	6' - 8"	
7	Single	1' - 6"	6' - 8"	
8	Double	5' - 0"	6' - 8"	
9	Double	4' - 0"	6' - 8"	

Window Schedule							
Type Mark	Model	Type	Manufacturer	R.O.	R.O.	Head	Comments
				Width	Height	Height	
67	Double Hung	24" x 60"	TBD	2' - 1"	5' - 1"	7' - 0"	
B	Double Hung	36" x 60"	TBD	3' - 1"	5' - 1"	6' - 8"	
C	Double Hung	36" x 36"	TBD	3' - 1"	3' - 1"	6' - 8"	
D	Double Hung	24" x 36"	TBD	2' - 1"	3' - 1"	6' - 8"	
E	Fixed	36" x 36"	TBD	3' - 1"	3' - 1"	6' - 8"	
F	Double Hung	24" x 72"	TBD	2' - 1"	6' - 1"	8' - 0"	



2 Second Floor Plan
1/4" = 1'-0"

Project: **Phase 11**

Project No: **20042**

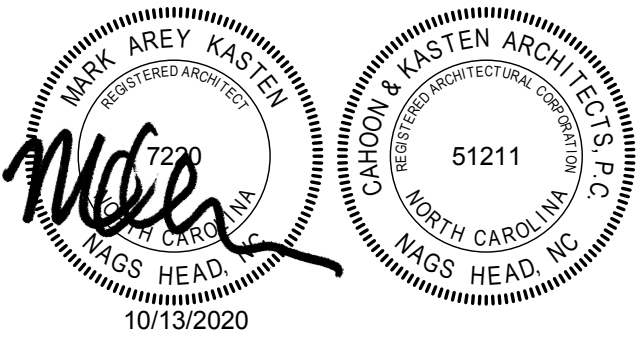
Location: **1099 Ocean Trail
Corolla, NC 27927**

Title: **Roof Plan**

Date: **October 13, 2020**

Scale: **1/4" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract document ("Error") prepared by the designer or its consultants which in any way impacts the schedule of the project results in a lack of coordination among the contract documents, delays the completion of the project or causes in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered, and (ii) designer is given a reasonable opportunity to correct the error, free of such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall constitute an acknowledgment of the error, unless otherwise due designer for services provided on the project.

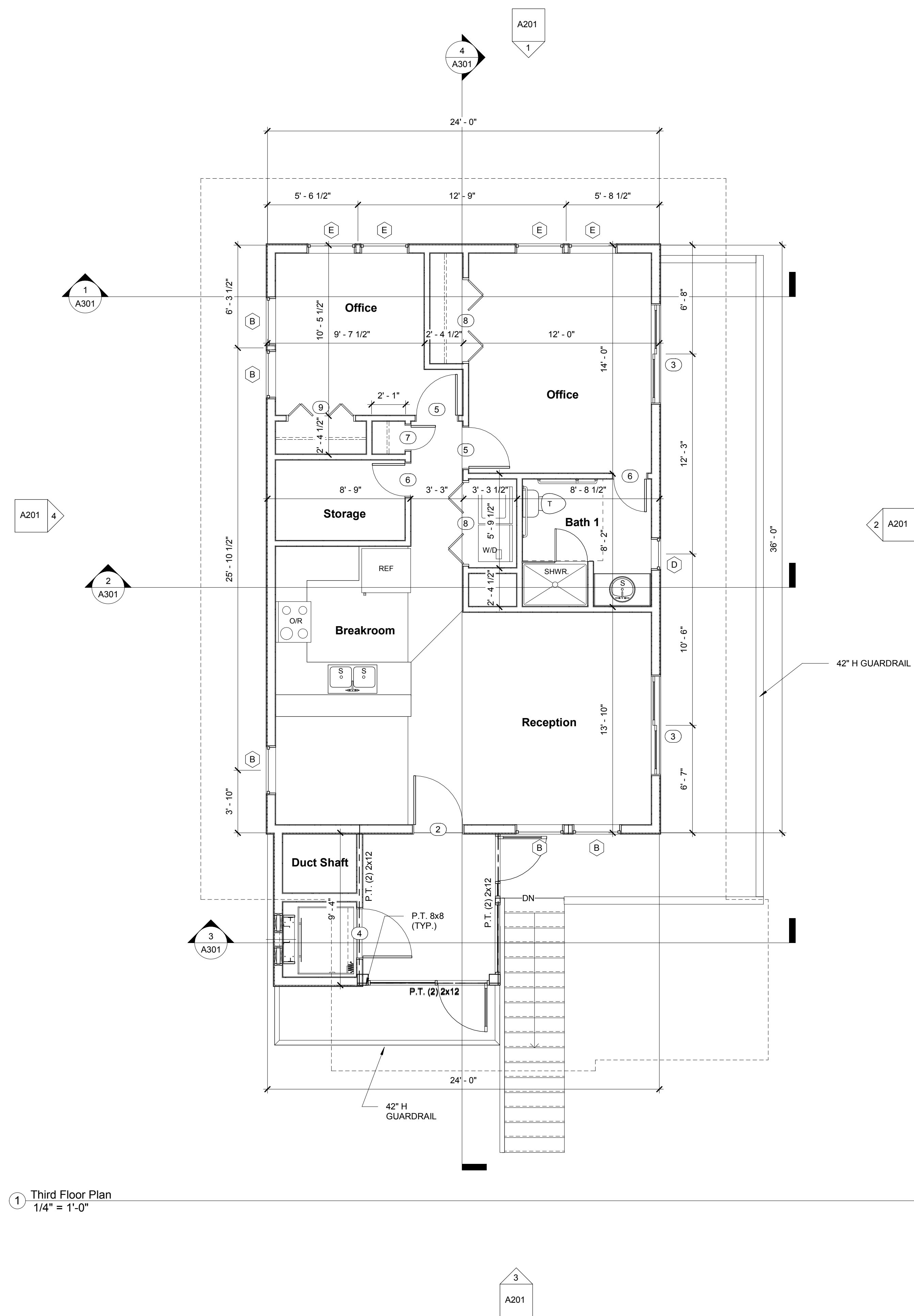


Revisions:

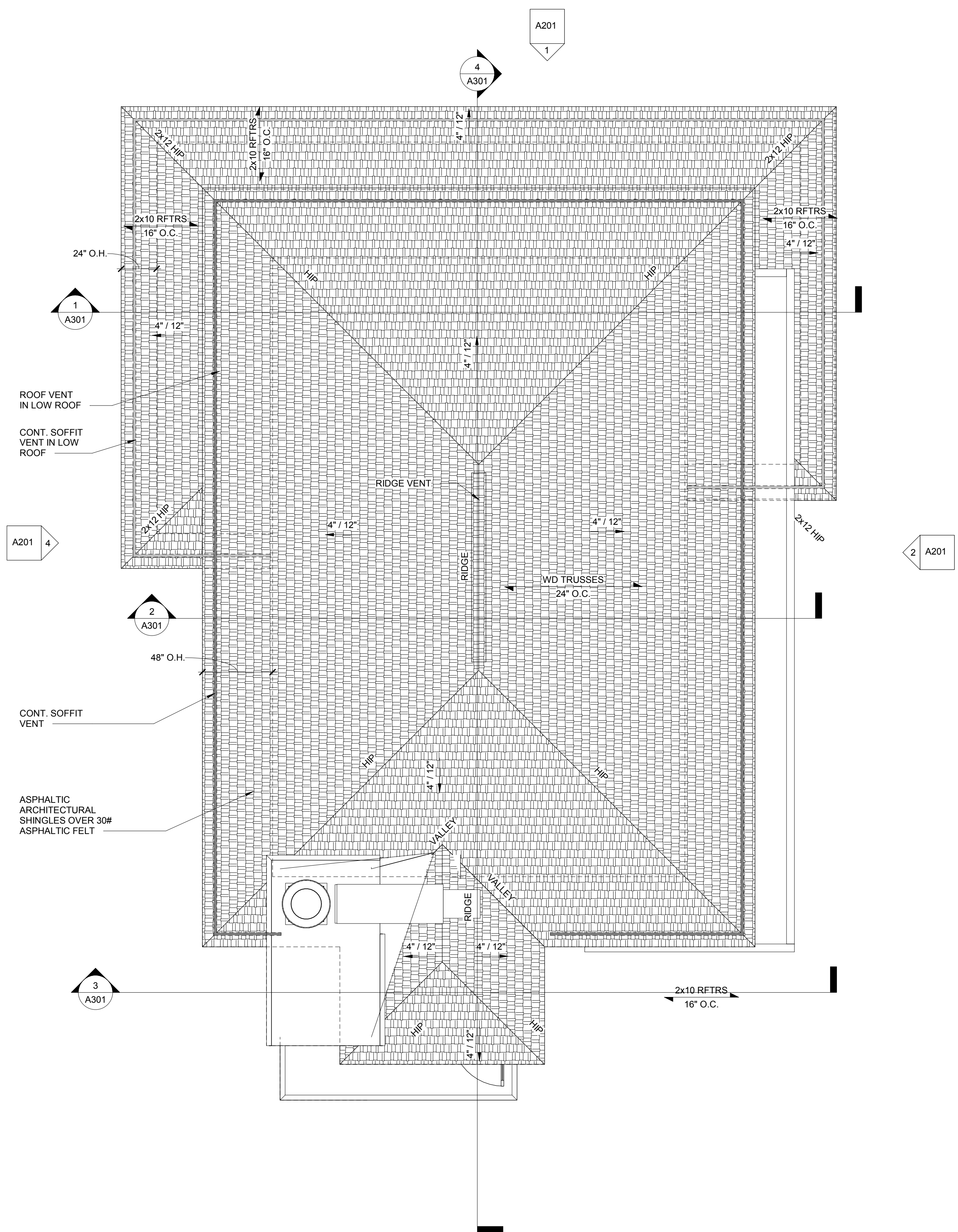
[illegible]

Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

A103



1 Third Floor Plan
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"

ROOF VENTING CALCS.

UPPER ROOF

864 SF ROOF AREA OVER HEATED
@ 1/300 =

415 SQ. IN. VENTING REQUIRED

860 SQ. IN. VENTING PROVIDED

EAVE
(208 SQ. IN. REQ'D (50%))
5 SQ. IN. PER LINEAR FOOT
x 128 LINEAR FT. OF EAVE
640 SQ. IN. PROVIDED

UPPER THIRD OF ROOF (RIDGE)
(208 SQ. IN. REQ'D (50%))
20 SQ. IN. PER LINEAR FOOT
x 11 LINEAR FT.
220 SQ. IN. PROVIDED

LOWER ROOF

108 SF ROOF AREA OVER HEATED
@ 1/300 =

53 SQ. IN. VENTING REQUIRED

177.5 SQ. IN. VENTING PROVIDED

EAVE
(208 SQ. IN. REQ'D (50%))
5 SQ. IN. PER LINEAR FOOT
x 25.5 LINEAR FT. OF EAVE
127.5 SQ. IN. PROVIDED

UPPER THIRD OF ROOF (RIDGE)
(208 SQ. IN. REQ'D (50%))
50 SQ. IN. PER VENT
x 1 VENT
50 SQ. IN. PROVIDED



1 North Elevation
1/4" = 1'-0"

2 East Elevation
1/4" = 1'-0"

Building Height
35' - 0"

T.O.P. (3)
29' - 4"

(3) Third Floor
21' - 2 1/2"
T.O.P. (2)
19' - 7 3/4"

(2) Second Floor
11' - 6 1/4"
T.O.P. (1)
10' - 1 1/2"
T.O.P. Porch
8' - 6"

(1) First Floor
0' - 0"



3 South Elevation
1/4" = 1'-0"

4 West Elevation
1/4" = 1'-0"

Building Height
35' - 0"

T.O.P. (3)
29' - 4"

(3) Third Floor
21' - 2 1/2"
T.O.P. (2)
19' - 7 3/4"

(2) Second Floor
11' - 6 1/4"
T.O.P. (1)
10' - 1 1/2"
T.O.P. Porch
8' - 6"

(1) First Floor
0' - 0"

cahoon+kasten
ARCHITECTS

118 West Woodhill Drive
Nags Head, North Carolina 27959
P. 252.441.0271 F. 252.441.8724
E. office@obxarchitects.com

Project: Phase 11

Project No: 20042

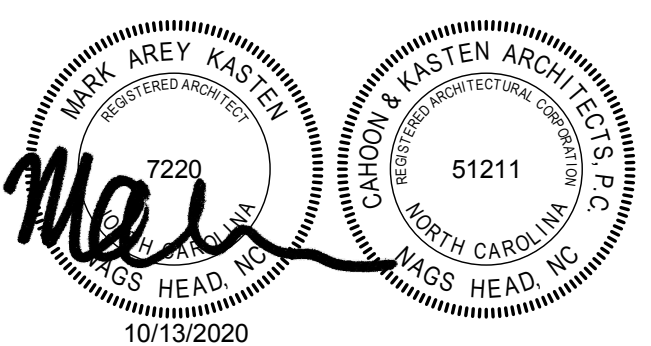
Location: 1099 Ocean Trail
Corolla, NC 27927

Title: Elevations

Date: October 13, 2020

Scale: 1/4" = 1'-0"

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

A201

Project: Phase 11

Project No: 20042

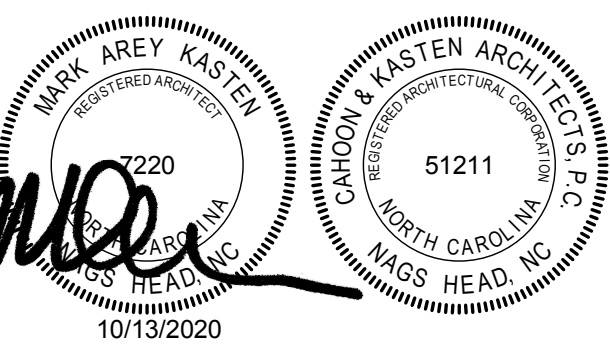
Location: 1099 Ocean Trail
Corolla, NC 27927

Title: Building Sections

Date: October 13, 2020

Scale: 1/4" = 1'-0"

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

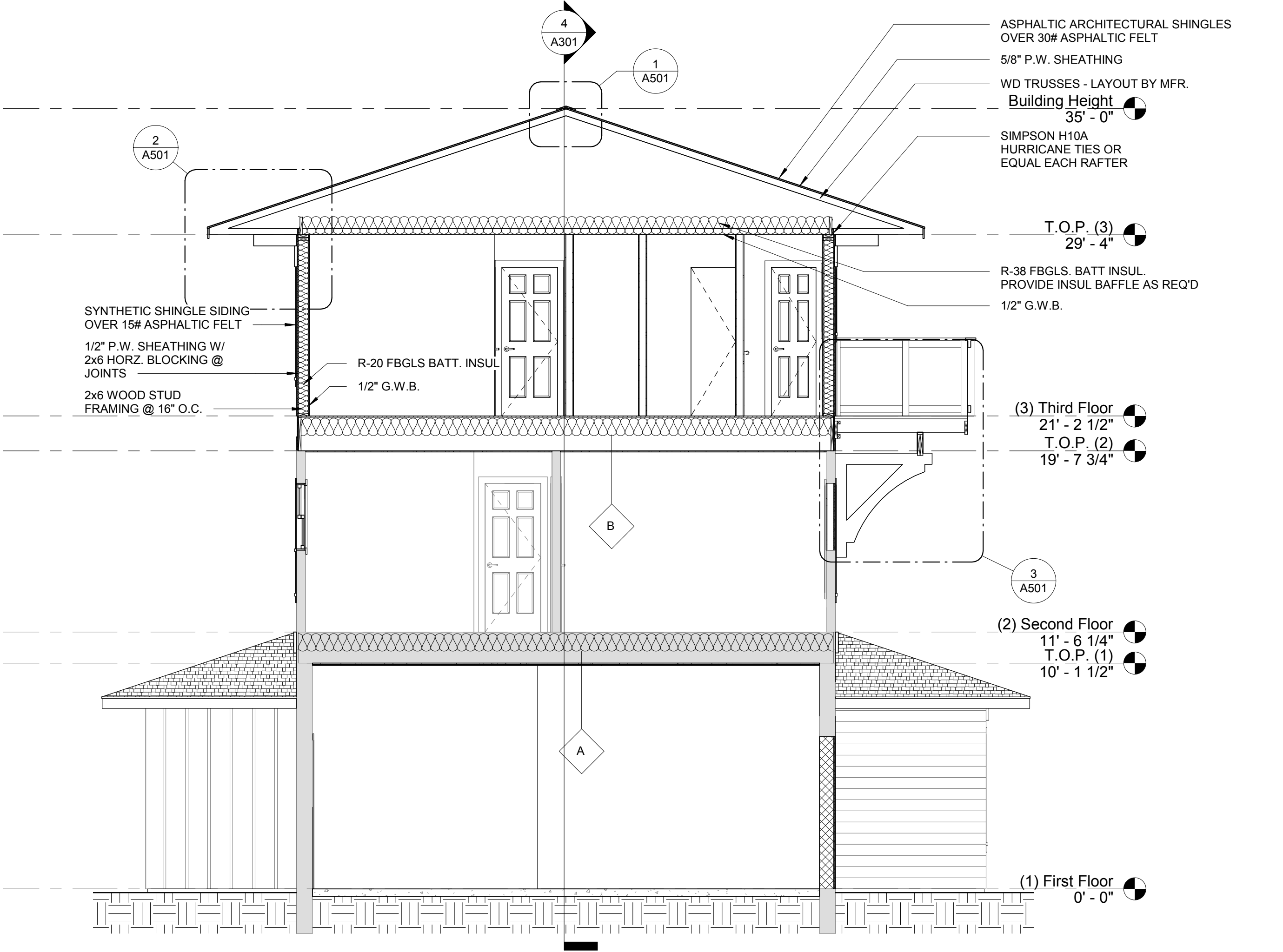


Revisions:

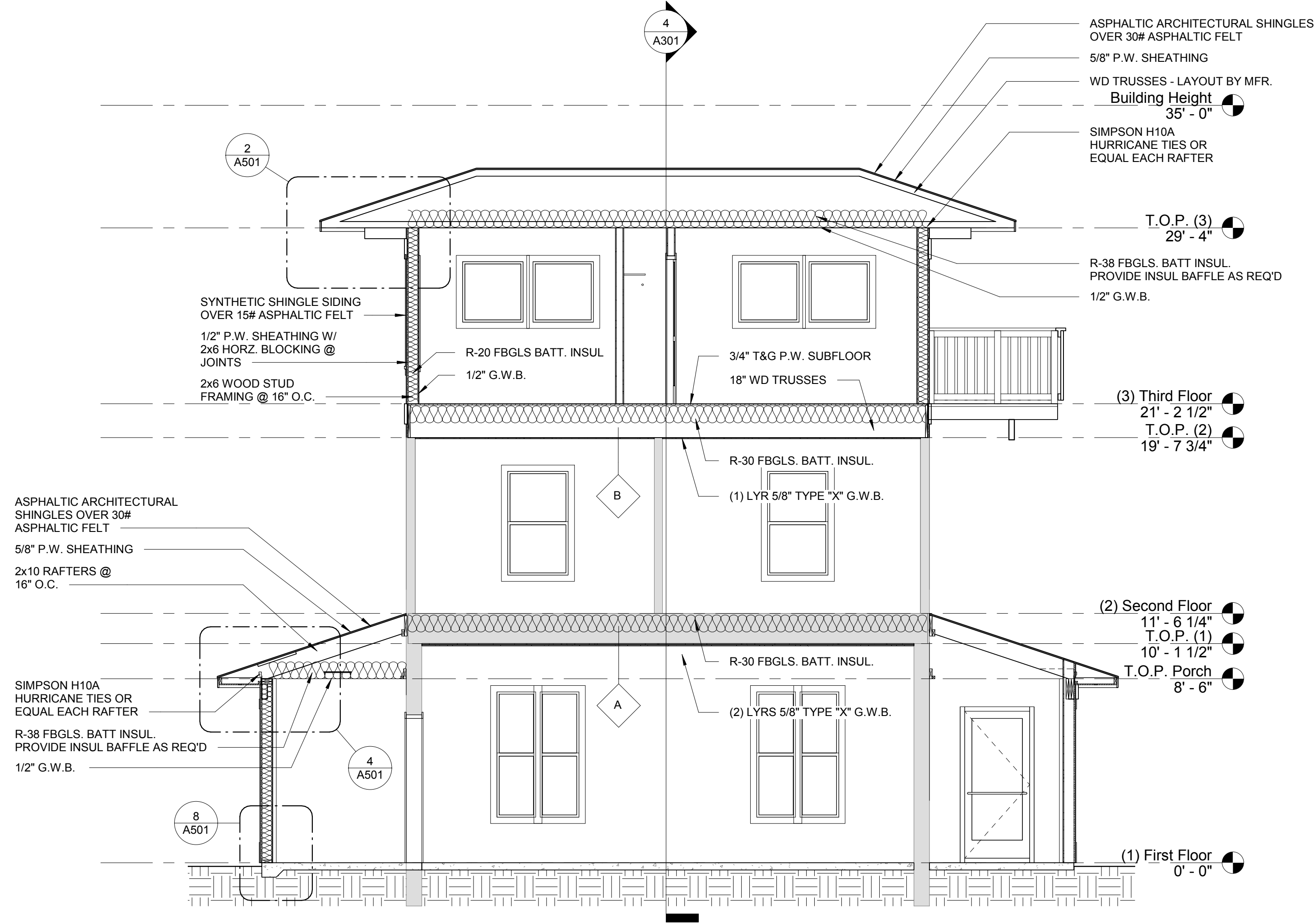
No.	Description	Date

Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

A301



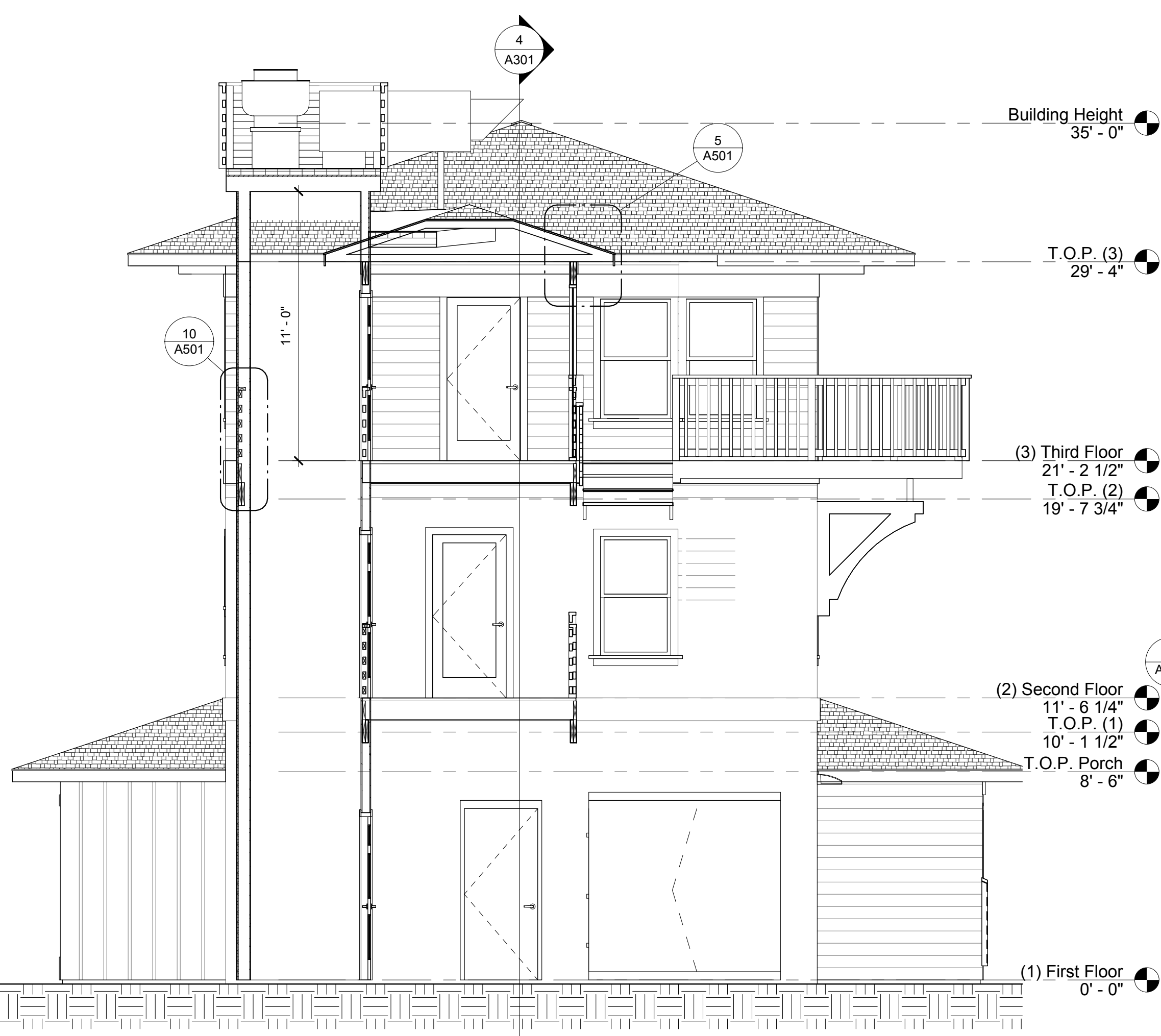
② Typical Building Section
1/4" = 1'-0"



① Building Section @ Porch
1/4" = 1'-0"



④ Longitudinal Building Section
1/4" = 1'-0"



③ Section @ South Porch
1/4" = 1'-0"

Project: Phase 11

Project No: 20042

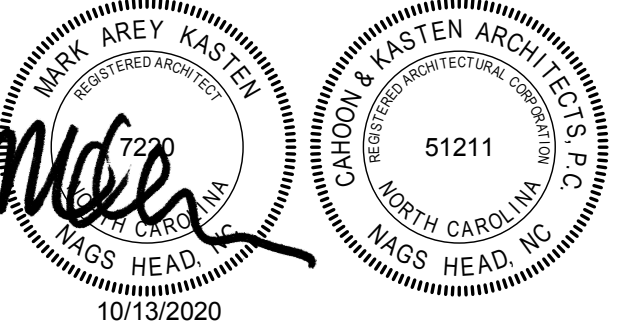
Location: 1099 Ocean Trail
Corolla, NC 27927

Title: Details

Date: October 13, 2020

Scale: As indicated

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

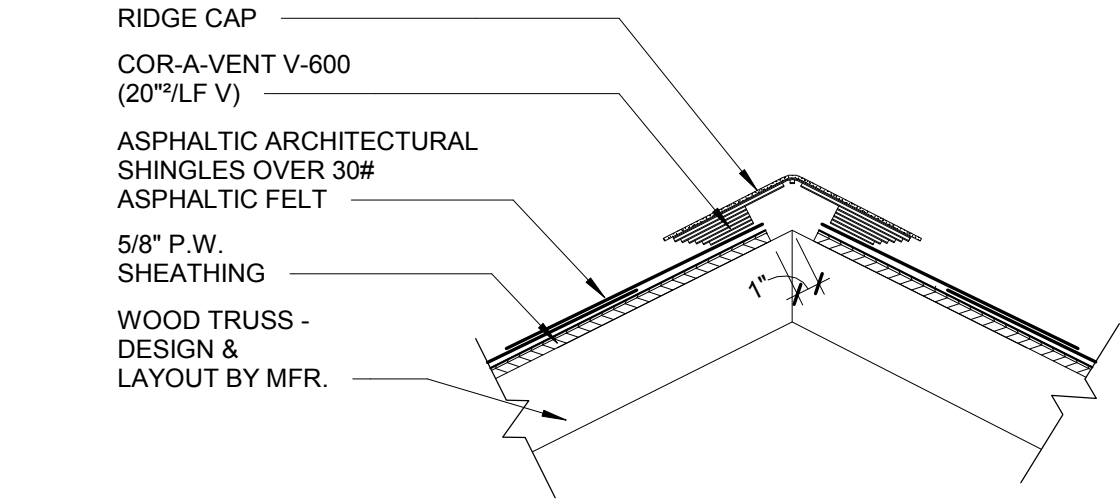


Revisions:

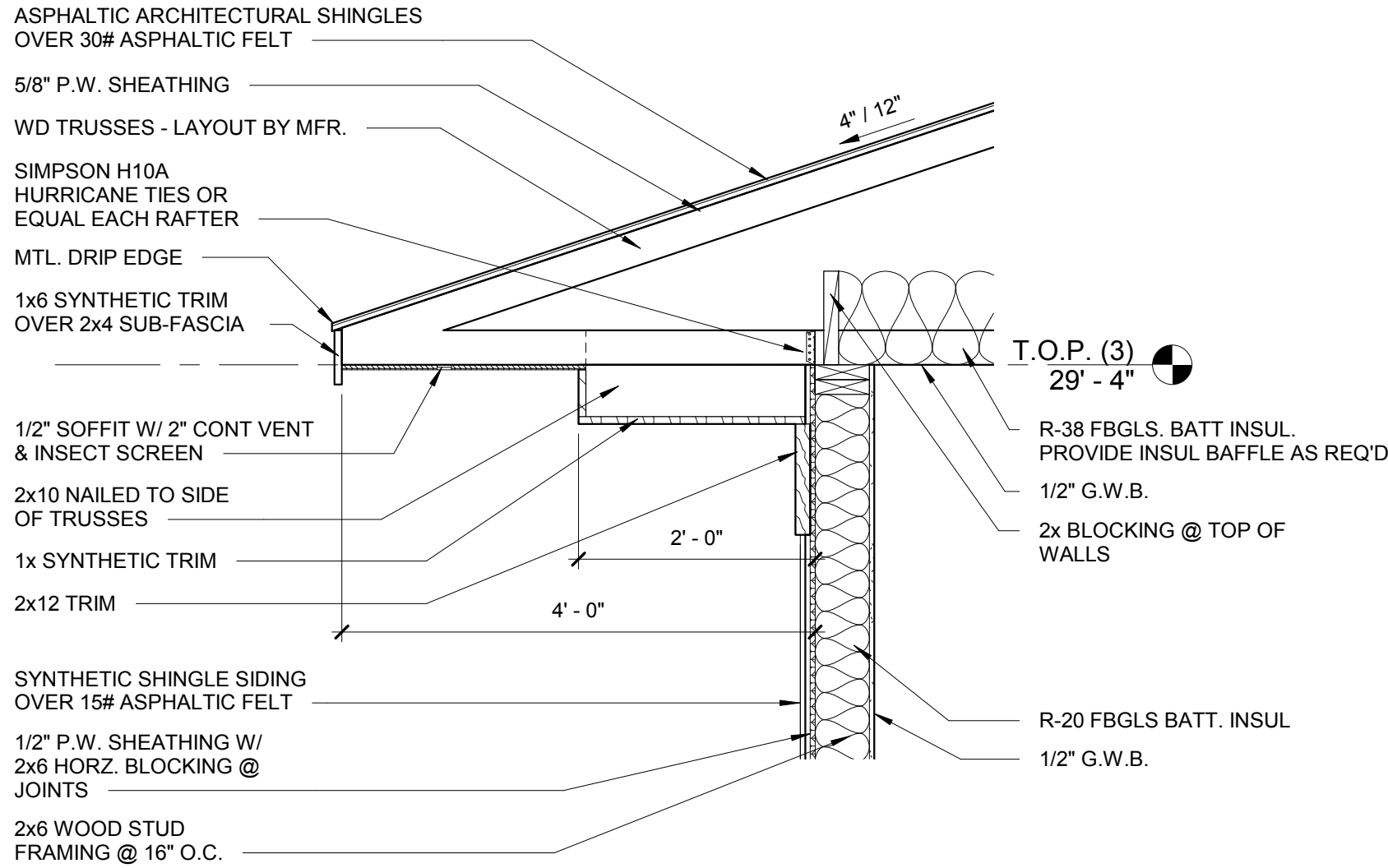
No.	Description	Date

Designed: MAK
Drawn: MAK, JPB
Reviewed:
Cad File:

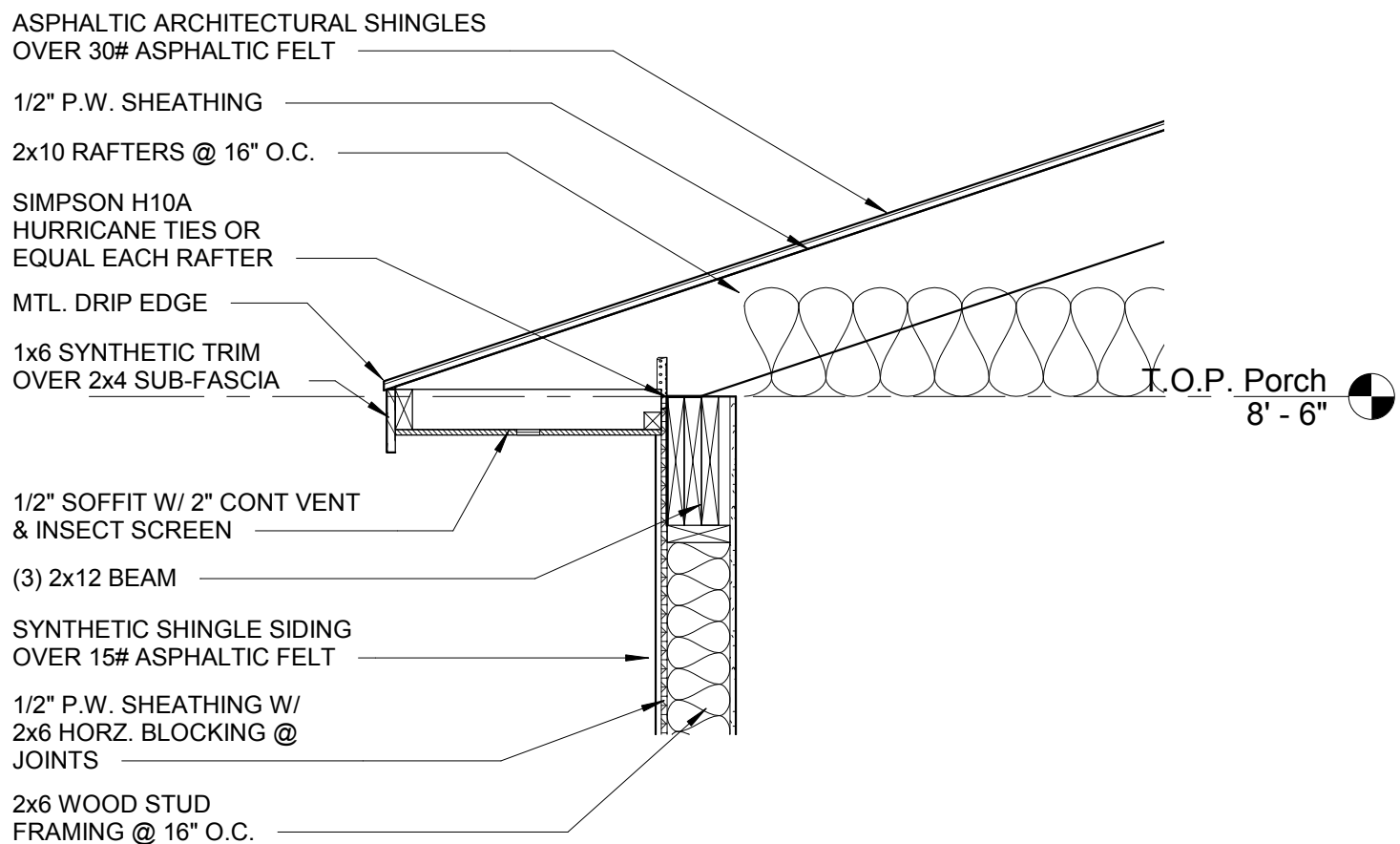
A501



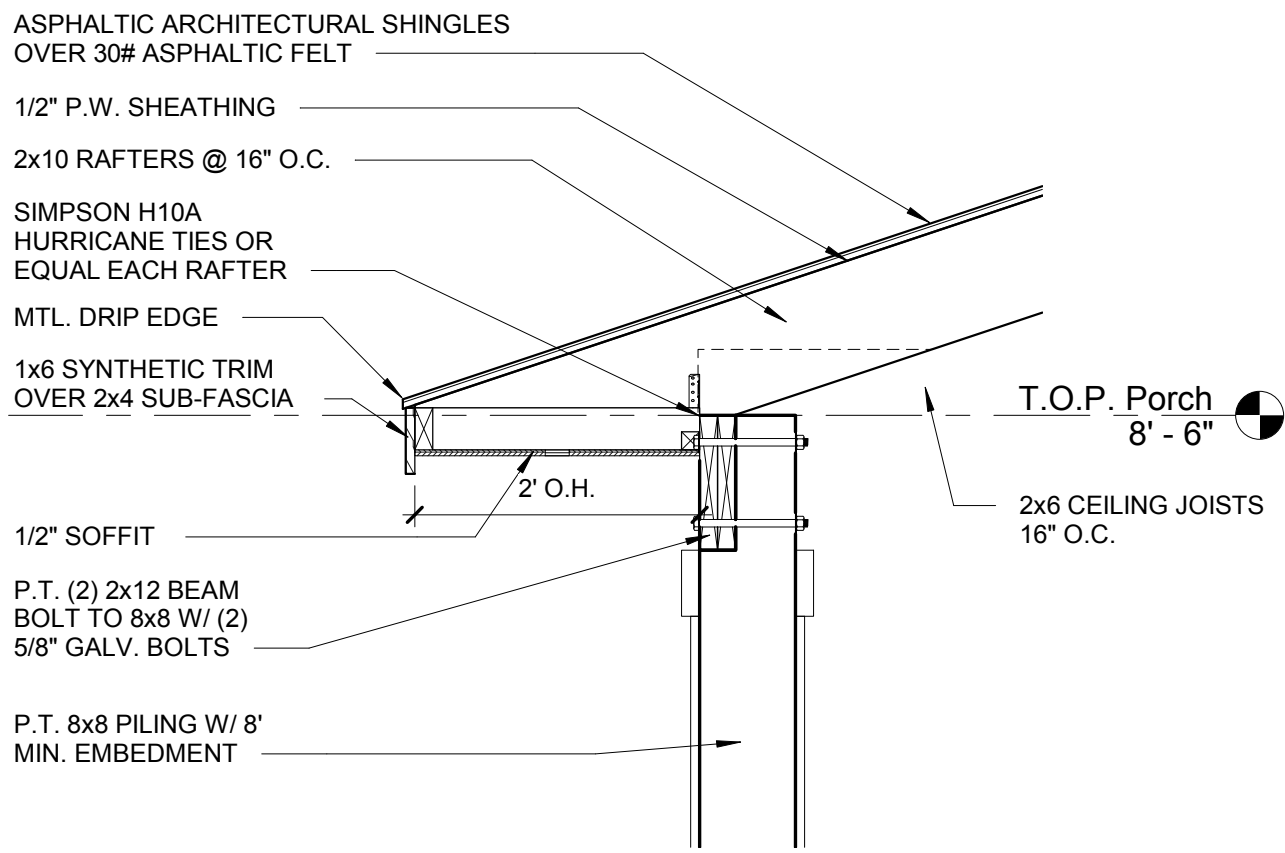
1 Ridge Detail
1 1/2" = 1'-0"



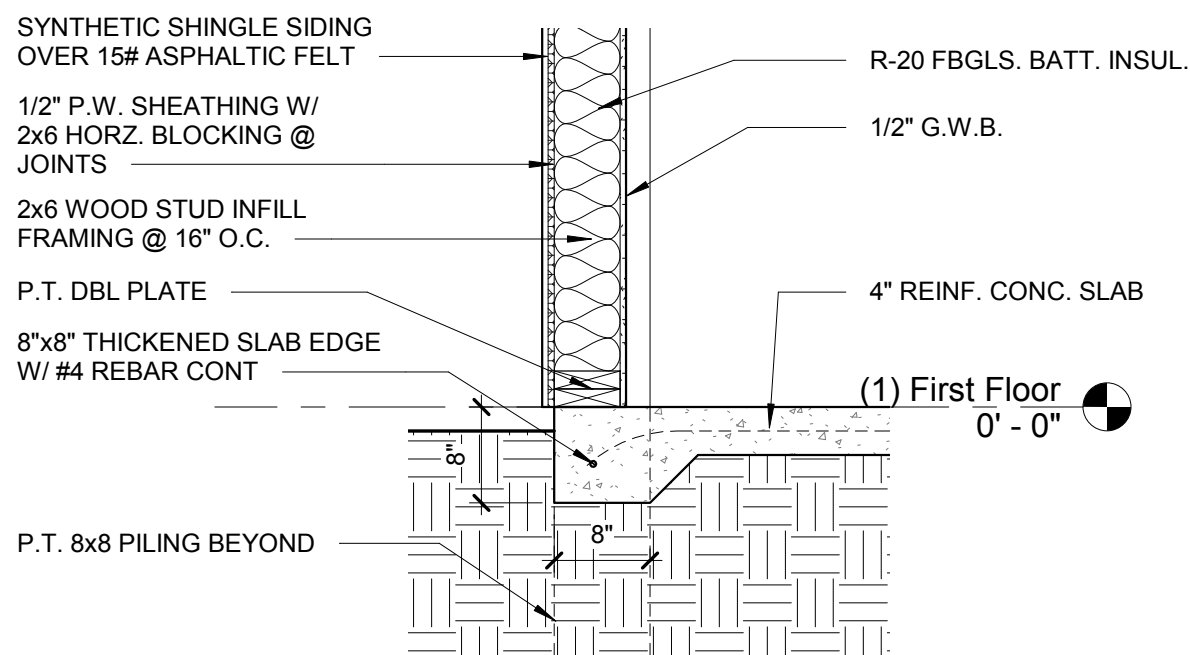
2 Typical Eave Detail
3/4" = 1'-0"



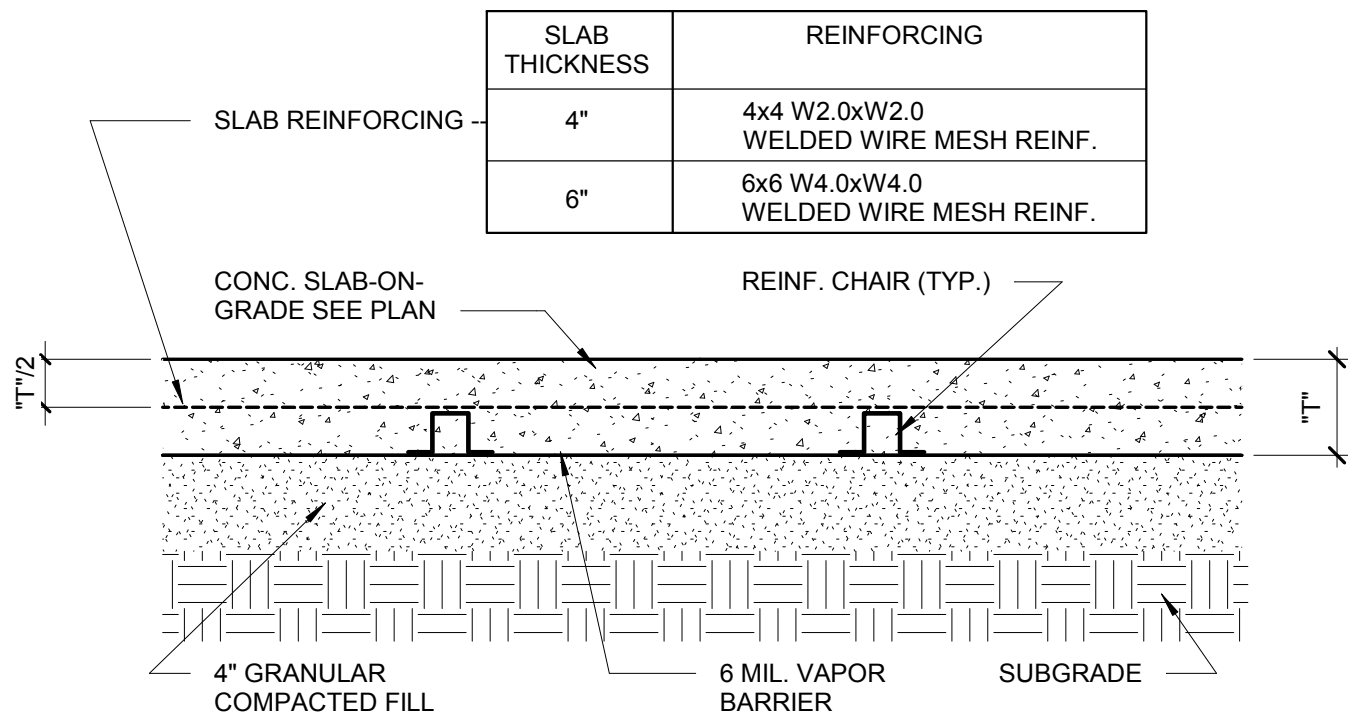
4 Eave Detail
3/4" = 1'-0"



5 Low Porch Eave
3/4" = 1'-0"

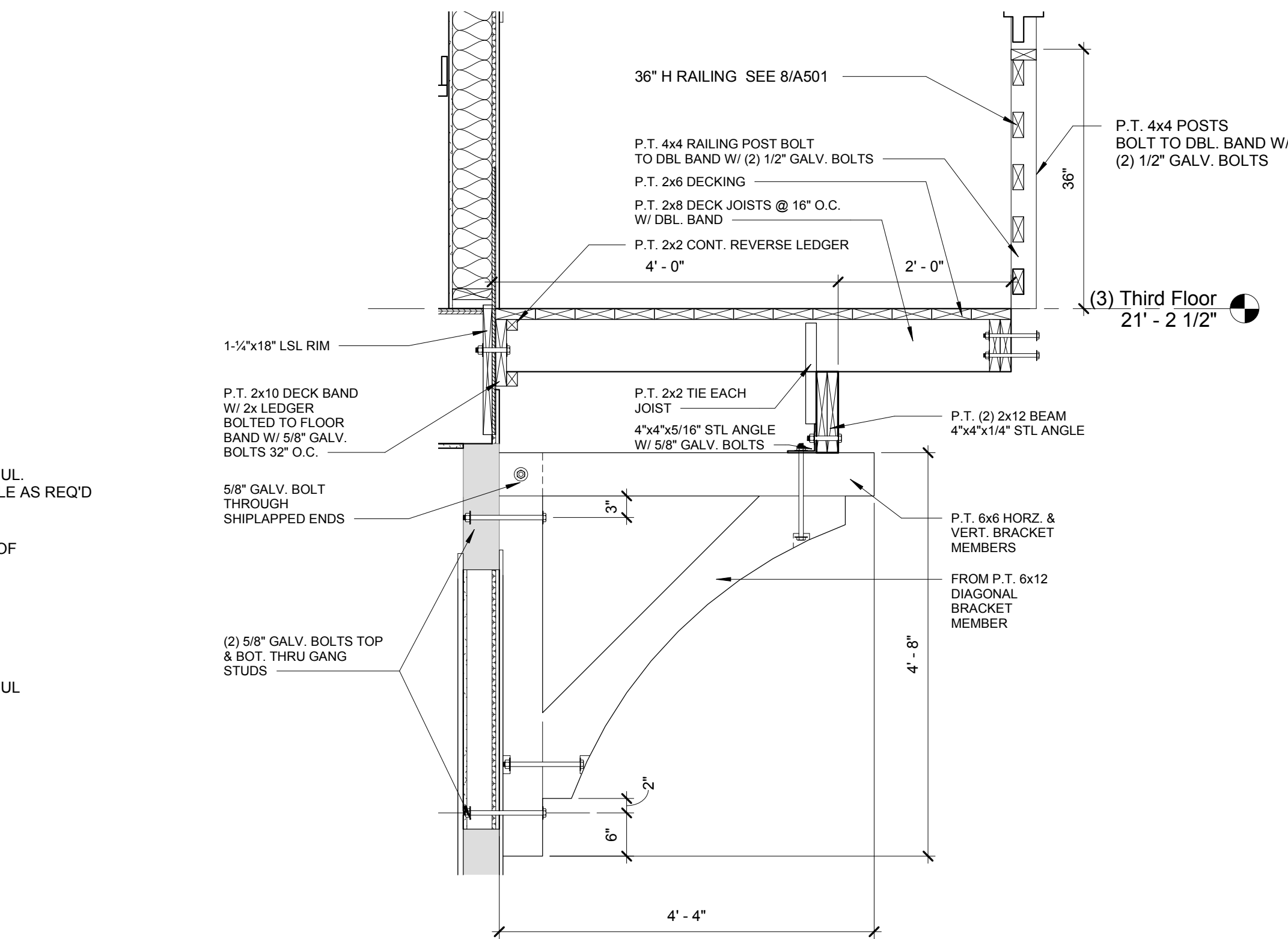


8 Thickened Slab Edge
3/4" = 1'-0"

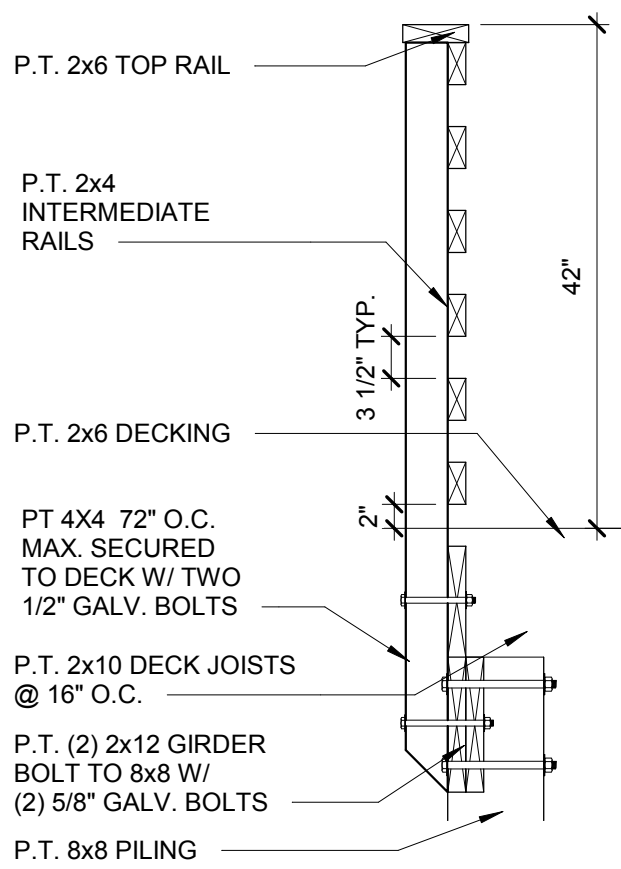


9 Slab-On-Grade Section
1 1/2" = 1'-0"

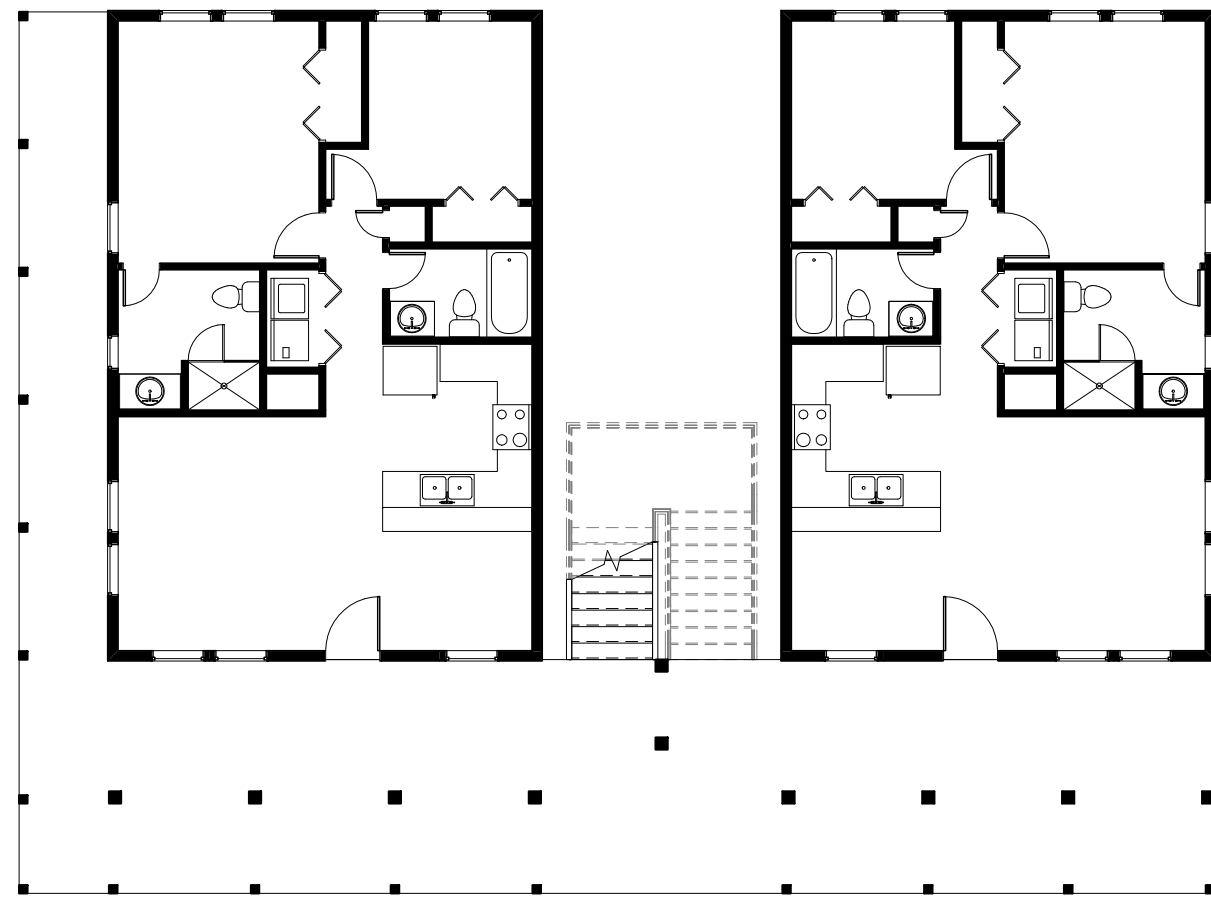
SLAB THICKNESS	REINFORCING
4"	4x4 W2.0xW2.0 WELDED WIRE MESH REINF.
6"	6x6 W4.0xW4.0 WELDED WIRE MESH REINF.



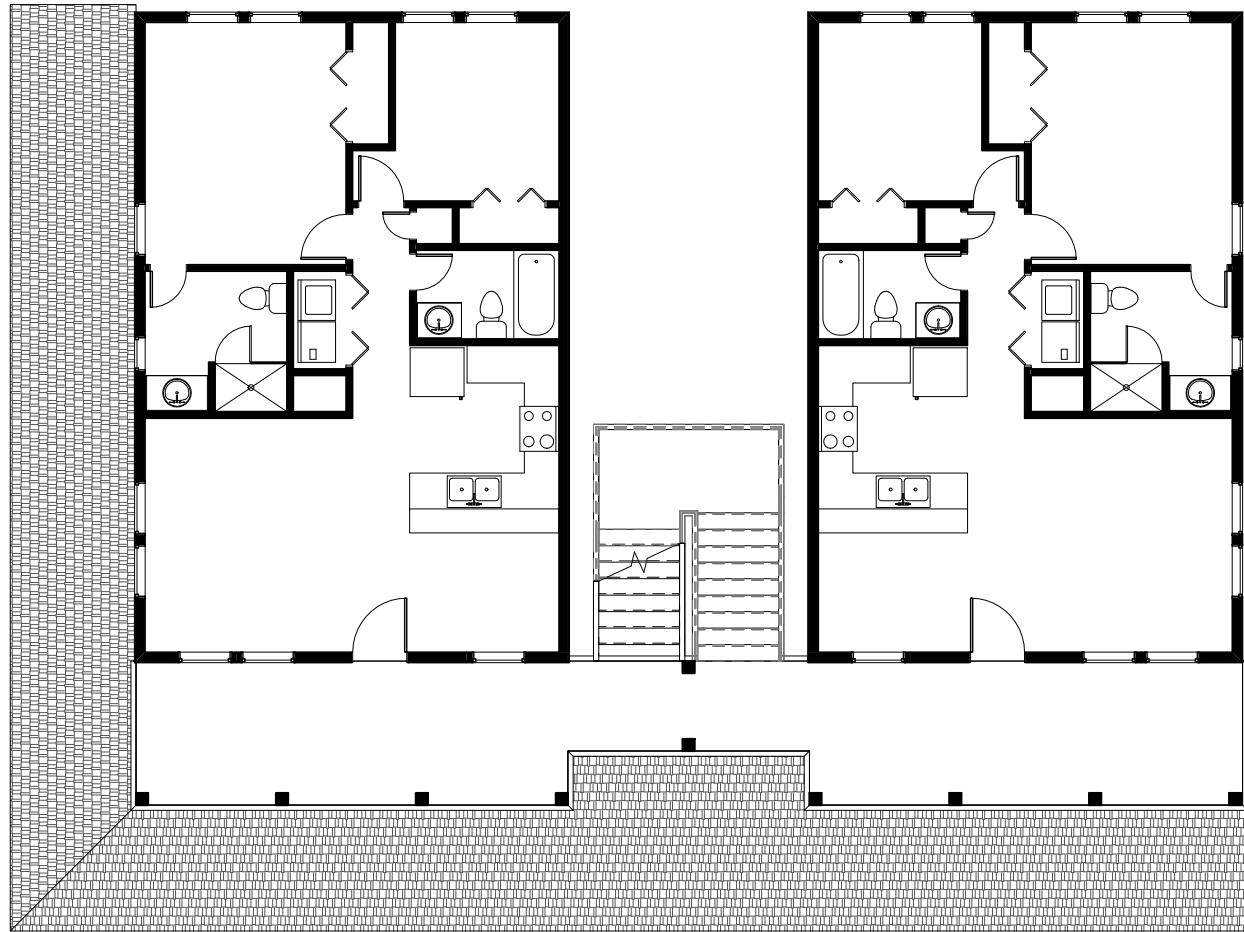
3 Bracket Detail
3/4" = 1'-0"



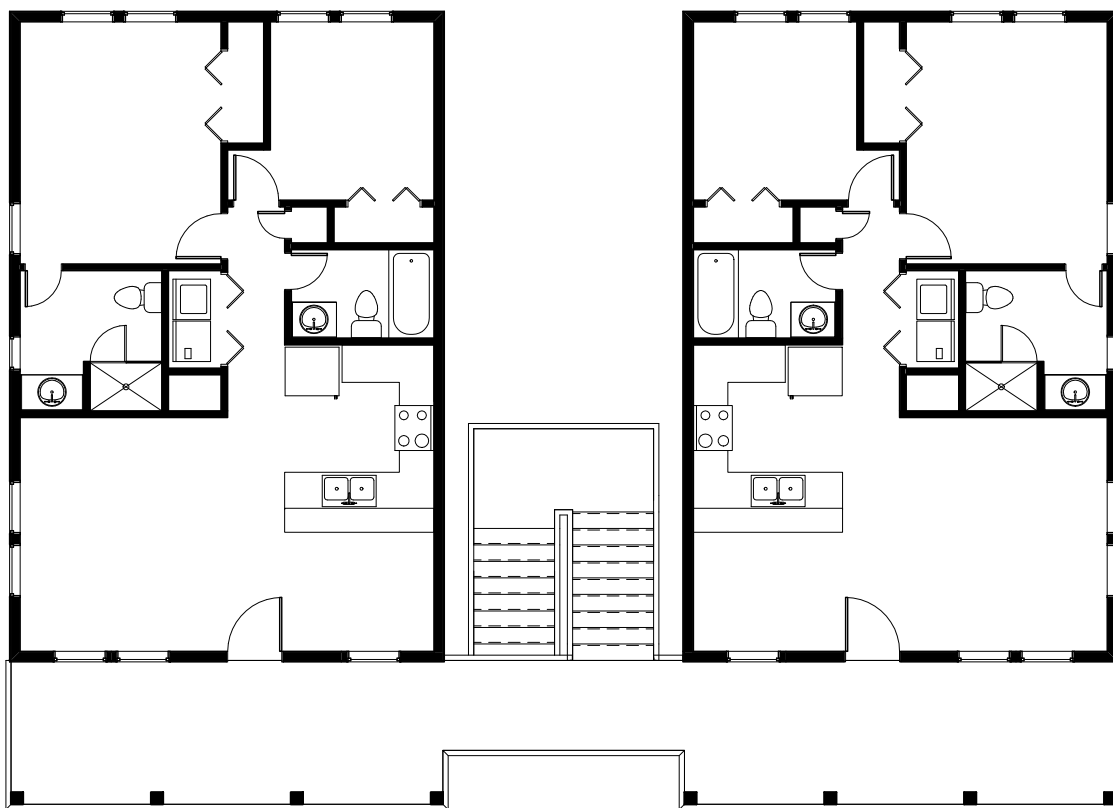
10 Railing Detail
3/4" = 1'-0"



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

Phase 11 Apartments

November 23, 2020

cahoon+kasten
ARCHITECTS

118 West Woodhill Drive, Nags Head, NC
p.252.441.0271 f.252.441.8724



Currituck County

Department of Planning and Community Development

153 Courthouse Road, Suite 110

Currituck, North Carolina 27929

252-232-3055

FAX 252-232-3026

3

MEMORANDUM

To: Rick Willis, Outer Banks Ventures, Inc.

From: Jennie Turner, Planner II

Date: December 10, 2020

Re: PB 84-11 Corolla Light – Phase 11 – Amended Sketch Plan/Use Permit

The following comments were received at the December 9, 2020 TRC meeting. To be scheduled for the January 19, 2021 Board of Commissioners meeting, please address all comments and resubmit a corrected plan by 3:00 p.m. on December 21, 2020. TRC comments are valid for six months from the date of the TRC meeting.

Planning (Jennie Turner, 252-232-6031)

Reviewed

1. For this submittal, the date for staff's determination of completeness is December 11, 2020. The application is incomplete. Please provide the following:
 - i. Please submit a revised application that is dated correctly. The application appears to be dated November 13, 2000.
 - ii. Complete the application by providing the number of proposed units and the phase.
2. Please provide the wastewater allocation letter referenced in the transmittal letter.
3. Please provide an update on the existing occupancy issue referenced in my email to Mark Bissell, Rick Willis, David Klebitz, Marcie Respass and Laurie LoCicero on October 30, 2020.
4. Please provide a detailed narrative of the proposed request as well as the proposed phases of development including a sequence for constructing the dwelling units and demolition of any structures on the property. If the amended sketch plan is approved, this will be a mixed-use development.
5. The units proposed above the proposed restaurant are labeled as "upper story dwellings", please change the reference on the amended sketch plan to "upper story dwelling units". Since this request is part of a Planned Unit Development and density is established in the master plan, multiple upper story dwelling units may be permitted.
6. Describe all utility uses, leases and easements on the property.
7. Per the UDO, this proposed redevelopment of Phase 11 is required to provide its pro rata share of open space. 35% open space set-asides are required. Show open space and provide percentage on conceptual site plan.
8. Provide active recreation features that occupy at least 35% of the open space set-aside. Show active recreation features and provide percentage on the conceptual site plan.
9. Staff has concerns with compatibility of existing and proposed uses onsite.
10. Provide lot area and proposed lot coverage on the conceptual site plan.
11. Non-residential design standards apply.

12. Community compatibility standards apply.
13. Is there an existing shed on the property not shown on the site plan?
14. Staff is currently reviewing an amended sketch plan application for Corolla Light Phase 10, a copy will be provided to you so that you may incorporate the most recently approved Amended Sketch Plan into your resubmittal documents.
15. The Amended Sketch Plan should note that the units proposed on Phase 11 are future units.
16. There are heritage trees in the area where the multi-family dwellings are proposed. Heritage trees must be mitigated in accordance with UDO Section 7.2. Provide a plan for heritage tree replacement.
17. A Type B perimeter landscape buffer is required along Shad Street, please show plantings on conceptual development plan.
18. Proposed improvement(s) and proposed building(s) appear to be in existing easements. Please provide authorization from the easement holder(s).
19. A Major Site Plan review will be required prior to any proposed construction associated with this request.

Currituck County Building and Fire Inspections (Jim Berge/Rick Godsey, 252-232-6023)

Reviewed

Currituck County Engineer (Eric Weatherly, 252-232-6035)

No comments received

Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed

Building/Unit addresses will be assigned by GIS at site plan approval phase. Building floor plans and elevations may be required at that time.

Currituck County Economic Development (Larry Lombardi, 252-232-6015)

Reviewed

No comment

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

No Comment

Currituck Soil and Stormwater (Dylan Lloyd, 252-232-3360)

Approved

Currituck County Public Utilities, Water (Will Rumsey, 252-232-6065 and Dave Spence 252-232-4152)

Reviewed

We will need to have some sort of access road for trucks to the water tower for tank maintenance and repairs. Also a water service agreement still needs to be put in owner's name at the mainland water plant office.

NC Division of Coastal Management (Charlan Owens, 252-264-3901)

No comment

Albemarle Regional Health Services (Joe Hobbs, 252-232-6603)

Reviewed

*NOTE: WILL NEED SEWER APPROVAL LETTER FROM UTILITIES INC AND THE NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481). ALSO, DEVELOPER WILL NEED TO CONSULT WITH ARHS

The following items are necessary for resubmittal:

- 3 - full size copies of revised plans
- 1 – 8.5 x 11” reduced copy
- 1- PDF digital copy of all revised or new documents and plans.

**Currituck County***Department of Planning and Community Development*

153 Courthouse Road, Suite 110

Currituck, North Carolina 27929

252-232-3055

FAX 252-232-3026

MEMORANDUM**To:** Rick Willis, Outer Banks Ventures, Inc.**From:** Jennie Turner, Planner II**Date:** December 10, 2020
Response 12-21-20**Re:** PB 84-11 Corolla Light – Phase 11 – Amended Sketch Plan/Use Permit

The following comments were received at the December 9, 2020 TRC meeting. To be scheduled for the January 19, 2021 Board of Commissioners meeting, please address all comments and resubmit a corrected plan by 3:00 p.m. on December 21, 2020. TRC comments are valid for six months from the date of the TRC meeting.

Planning (Jennie Turner, 252-232-6031)**Reviewed**

1. For this submittal, the date for staff's determination of completeness is December 11, 2020. The application is incomplete. Please provide the following:
 - i. Please submit a revised application that is dated correctly. The application appears to be dated November 13, 2000. **Application with revised date is attached.**
 - ii. Complete the application by providing the number of proposed units and the phase. **Revised Application is attached.**
2. Please provide the wastewater allocation letter referenced in the transmittal letter. **Allocation letter is attached.**
3. Please provide an update on the existing occupancy issue referenced in my email to Mark Bissell, Rick Willis, David Klebitz, Marcie Respass and Laurie LoCicero on October 30, 2020. **Unchanged as of this date.**
4. Please provide a detailed narrative of the proposed request as well as the proposed phases of development including a sequence for constructing the dwelling units and demolition of any structures on the property. If the amended sketch plan is approved, this will be a mixed-use development.
 - i. **The initial phase will involve the raising and replacement of the roof along with addition of the 3rd story and occupancy of the second and third stories as upper story dwelling units.**
 - ii. **The second phase (not part of this application) is proposed for a food service use on the first floor of the existing building, along with a temporary loading and trash area adjacent to the existing parking lot.**
 - iii. **The third phase will be the construction of a 3-unit MF dwelling in the southeast corner of the site, along with associated parking.**
 - iv. **The final phase will be the demolition of the cable TV building, which will become a loading zone and trash area for the development, and construction of a second 3-unit multifamily dwelling where the temporary loading zone was. The concept plan shows the site at buildout.**

5. The units proposed above the proposed restaurant are labeled as "upper story dwellings", please change the reference on the amended sketch plan to "upper story dwelling units". Since this request is part of a Planned Unit Development and density is established in the master plan, multiple upper story dwelling units may be permitted. ("units" added to labeling.
6. Describe all utility uses, leases and easements on the property. Notes regarding the 4 existing easements have been added to the plan (sheet 1).
7. Per the UDO, this proposed redevelopment of Phase 11 is required to provide its pro rata share of open space. 35% open space set-asides are required. Show open space and provide percentage on conceptual site plan. Added to sheet 2 of the plan.
8. Provide active recreation features that occupy at least 35% of the open space set-aside. Show active recreation features and provide percentage on the conceptual site plan. Added to sheet 2 of the plan.
9. Staff has concerns with compatibility of existing and proposed uses onsite. The applicant believes the uses are compatible.
10. Provide lot area and proposed lot coverage on the conceptual site plan. Added to the plan.
11. Non-residential design standards apply. Acknowledged.
12. Community compatibility standards apply. Acknowledged.
13. Is there an existing shed on the property not shown on the site plan? No.
14. Staff is currently reviewing an amended sketch plan application for Corolla Light Phase 10, a copy will be provided to you so that you may incorporate the most recently approved Amended Sketch Plan into your resubmittal documents. Table has been updated to match.
15. The Amended Sketch Plan should note that the units proposed on Phase 11 are future units. Updated accordingly.
16. There are heritage trees in the area where the multi-family dwellings are proposed. Heritage trees must be mitigated in accordance with UDO Section 7.2. Provide a plan for heritage tree replacement. This is shown on the landscaping plan, sheet 2.
17. A Type B perimeter landscape buffer is required along Shad Street, please show plantings on conceptual development plan. This is also shown on the landscaping plan, sheet 2.
18. Proposed improvement(s) and proposed building(s) appear to be in existing easements. Please provide authorization from the easement holder(s). Easements are non-exclusive and access is still provided; if additional authorization is needed, it can be provided at the major site plan review stage.
19. A Major Site Plan review will be required prior to any proposed construction associated with this request. Acknowledged.

Currituck County Building and Fire Inspections (Jim Berge/Rick Godsey, 252-232-6023)

Reviewed

Currituck County Engineer (Eric Weatherly, 252-232-6035)

No comments received

Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed

Building/Unit addresses will be assigned by GIS at site plan approval phase. Building floor plans and elevations may be required at that time. Acknowledged.

Currituck County Economic Development (Larry Lombardi, 252-232-6015)

Reviewed

No comment

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

No Comment

Currituck Soil and Stormwater (Dylan Lloyd, 252-232-3360)

Approved

Currituck County Public Utilities, Water (Will Rumsey, 252-232-6065 and Dave Spence 252-232-4152)

Reviewed

We will need to have some sort of access road for trucks to the water tower for tank maintenance and repairs. Utilities Staff has agreed that access will be sufficient. Also a water service agreement still needs to be put in owner's name at the mainland water plant office. Application will be made prior to construction.

NC Division of Coastal Management (Charlan Owens, 252-264-3901)

No comment

Albemarle Regional Health Services (Joe Hobbs, 252-232-6603)

Reviewed

*NOTE: WILL NEED SEWER APPROVAL LETTER FROM UTILITIES INC AND THE NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481). ALSO, DEVELOPER WILL NEED TO CONSULT WITH ARHS Allocation letter has been provided.

The following items are necessary for resubmittal:

- 3 - full size copies of revised plans
- 1 – 8.5 x 11" reduced copy
- 1- PDF digital copy of all revised or new documents and plans.



Carolina Water Service of North Carolina™

November 25, 2020

Mr. Rick Willis
Outer Banks Ventures
PO Box 549
Corolla NC 27927

Re: 1099 Ocean Trail, Proposed Modifications to Phase 11 for 40 Seat Restaurant
Corolla, Currituck County NC
Sanitary Sewer Utility-Willingness to Serve- Capacity Commitment Letter

To Whom It May Concern:

Carolina Water Service, Inc. of North Carolina (CWSNC) provides sanitary sewer utility service to the Corolla Light and adjacent developments including the above referenced property and project.

CWSNC is willing and able to provide the sanitary sewer utility needs for the above referenced property and project, including the existing apartment, for a combined maximum capacity of three thousand five hundred-twenty (3520) gallons per day.

This allocation includes and supersedes all previous allocation commitments.

Should you have questions, please contact me at 252-269-2540 or
dana.hill@carolinawaterservicenc.com.

Respectfully,

Dana Hill
Director of Operations

4944 Parkway Plaza Boulevard, Suite 375 • Charlotte, North Carolina 28217
(800) 525-7990 • cwsnc@carolinawaterservicenc.com • www.carolinawaterservicenc.com

Attachment: 11 Wastewater (PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3015)

Agenda Item Title: PB 18-23: Fost Development, PRD (Phases 1-5)-

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Action

Brief Description of Agenda Item:

Moyock Development, LLC, submitted an amended preliminary plat/use permit application for the purpose of connecting the development to an off-site wastewater treatment facility (major utility), modify the clubhouse area and enlarge the pond, and adjust the phasing lines. Fost Development is a Planned Residential Development and Phases 1-5 include 301 residential units and associated infrastructure.

Is this item regulated by plan, regulation or statute? No

Manager Recommendation:



**STAFF REPORT
PB 18-23 FOST TRACT
AMENDED PRELIMINARY PLAT/USE
PERMIT,
PHASES 1-5
BOARD OF COMMISSIONERS
JANUARY 19, 2021**

Attachment: 1 Fost A PPUP P1-5 Staff Report 1-19-21 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

APPLICATION SUMMARY

Property Owner: Moyock Development LLC 417-D Caratoke Hwy Moyock NC 27958	Applicant: Moyock Development LLC 417-D Caratoke Hwy Moyock NC 27958
Case Number: PB 18-23	Application Type: Amended Preliminary Plat/Use Permit
Parcel Identification Number: 0015-000-0086-0000	Existing Use: Planned Development under construction
Land Use Plan Classification: Full Service	Parcel Size (Acres): 137.18 (Phases 1-5) 228.28 (Total)
Moyock Small Area Plan Classification: Limited Service	Zoning: PD-R
Number of Units: 301	Overall Project Density (units/acre): 2.19
Required Open Space (Acres): 41.15	Provided Open Space (Acres): 44.95

SURROUNDING PARCELS

	Land Use	Zoning
North	Single-family dwellings, retail	AG, GB, SFM
South	Single-family dwellings, cultivated farmland	AG, SFM
East	Single-family dwellings, cultivated farmland	GB, SFM
West	Single-family dwellings, cultivated farmland	AG

STAFF ANALYSIS

On January 21, 2020, the Board of Commissioners approved the Preliminary Plat/Use Permit for Phases 1-5 of Fost Planned Development (see attached). The developer is requesting an amended approval to:

- Remove on-site WWTP and allow connection to the newly approved private Currituck Water and Sewer Inc private facility at Eagle Creek
- Remove the RV parking from Phase 1 and provide a temporary RV parking area for Phase 1
- Shift location of clubhouse slightly north and enlarge pond beside it
- Modify phasing lines
- Modify boundary lines to match actual field survey
- Resultant modifications to open space boundaries

The Board of Commissioners approved the below phasing plan as part of the project approval. The proposed amended phasing plan changes are noted.

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	55 51	October 2021
4	73 77	April 2022
5	37	October 2022

Providing adequate public facilities for this development remains a concern since the elementary schools and high schools are near or over 100% committed capacity. (See Adequate Public Facilities – Schools Table below). However, it should be noted that the students generated from Fost, Phases 1-5, are vested since the Board of Commissioners approved the Preliminary Plat/Use Permit previously.

ADEQUATE PUBLIC FACILITIES – SCHOOLS ¹				
School	2019-2020 2020-2021 Actual Capacity ²	2021-2022 Actual Capacity ³	Committed Capacity ³	Proposed Capacity Changes
				Number of Students
Moyock Elementary	109%	115%	126%	
Shawboro Elementary	94%	97%		
Central Elementary	80%	89%		
Griggs Elementary	56%	59%	101%	
Jarvisburg Elementary	82%	88%		
Knotts Island Elementary	35%	36%	36%	
Moyock Middle	95%	79%	93%	
Currituck Middle	61%			
Currituck High	84%	86%	106%	
JP Knapp Early College	93%			

¹Does not include minor subdivisions, exempt subdivisions, and subdivisions approved prior to the adoption of the adequate public facilities ordinance (October 1994)

²Capacity percentages are based on 2019-2020 and 2020-2021 school year classroom standards and August 2020 ADM

³Capacity percentages are based on the 2021-2022 school year classroom standards and August 2020 ADM

The developer held a community meeting on September 23, 2020 at the Eagle Creek Pavilion. Three residents attending the meeting. All were from Ranchland and asked questions about how the sewer would work, entrance locations, drainage ditch improvements to help Ranchland, and berm location.

INFRASTRUCTURE	
Water	Public
Sewer	Private Centralized System (on-site at Eagle Creek)
Transportation	<p>Pedestrian: A series of sidewalks and pedestrian trails; The developer must install an 8' multi-use path along the Caratoke Highway property line as required by the Connect Currituck Plan.</p> <p>Connectivity Score: Minimum = 1.6 Proposed = 1.67</p> <ul style="list-style-type: none"> • One Connection to Caratoke Highway • One Connection to Moyock Farms • Four connections to Flora Farm
Stormwater/Drainage	See attached map for required stormwater/drainage improvements (PB 18-23 Fost PD-R Rezoning Stormwater Conditions dated 7/2019 prepared by engineering staff)
Design Standards	Multi-family design standards apply to the townhomes.
Lighting	Street lights are proposed and must be full cut-off fixtures
Landscaping	Farmland buffers, WWTP/utility buffers, street trees, major arterial screening, and site landscaping are required
Compatibility	The BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods at its May 6, 2019 meeting.
Recreation and Park Area Dedication	The applicant will be paying approximately \$27,021 as a fee-in-lieu of recreation and park area dedication for these phases.
Riparian Buffers	There are no wetlands in these phases.

RECOMMENDATIONS

TECHNICAL REVIEW COMMITTEE

TRC recommends approval of this request provided:

1. The application complies with all applicable review standards, so long as the following items are adequately addressed:
 - July 2019 required stormwater improvements remain unchanged (attached).
 - The amended phasing schedule must be adhered to.
2. The applicant has demonstrated that the proposed use will meet the use permit review standards of the UDO.
3. The conditions of approval necessary to ensure compliance with the review standards of the UDO and to prevent or minimize adverse effects of the development application on surrounding lands include all items in Number 1 above.

USE PERMIT REVIEW STANDARDS

A use permit shall be approved on a finding that the applicant demonstrates the proposed use will meet the below requirements. On January 21, 2020 the Board of Commissioners adopted the following Findings of Fact that remain relevant with the amended plan request.

The use will not endanger the public health or safety.

Preliminary Applicant Findings:

Transportation, portable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

1. Transportation: The main subdivision entrance will be connected directly to NC 168 (Croatan Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and will be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast (Auction Site) and to the west. Roadways will be laid out generally as shown on the Master Plan and will be in accordance with the approved right-of-way and pavement width characteristics, using the NCDOT complete streets planning manual as a guide.
Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.
2. Potable Water: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards and the applicable ISO standards. The water system will be modeled to demonstrate adequate flow and pressure for fighting fires while meeting the maximum day domestic demand.
3. Wastewater: Centralized wastewater treatment and disposal facility will be provided in accordance with North Carolina Standards and approved by NCDEQ and/or NCDHHS. A wastewater collection system will be constructed by the developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.
4. Stormwater Management: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laying back the slopes and stabilizing the portion of Rowland Creek that runs from Eagle Creek Subdivision to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along Ranchland and the Auction property, and to excavate a new ditch that would be available to Ranchland along the common property line from the Auction site (PIN 002300000070000) to south of the power easement. Subject to obtaining right of entry to other properties, the Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance.
On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets.
In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2- year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions.
Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Preliminary Applicant Findings:

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Caratoke Highway is commercial, land to the east is farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

1. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
2. To the north (Caratoke Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least

200 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.

3. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.
4. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
5. Limited commercial development proposed to be located interior to the development and will front along the landscaped entrance boulevard.
6. Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to increase the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275 lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

The use will be in conformity with the Land Use Plan or other officially adopted plans.

Preliminary Staff Findings:

1. At its May 6, 2019 meeting, the BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods because:
 - a. The proposed conditions for the property will improve drainage problems on the property and with nearby Ranchland subdivisions if improvements can be made to drainage system on off-site properties, and;
 - b. The PDR is compatible with existing Moyock Township subdivisions.

The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to: schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

Preliminary Staff Findings:

1. On December 11, 2019 the Board of Education revised its statement about the school district and determined that this development is entirely within the Shawboro school

district. The Superintendent also advised that Shawboro Elementary School has capacity for the 119 elementary students this development is projected to generate, with Phases 1-5 expected to generate 75 of those students, based on the July 9, 2004 Tischler Study Student Generation Rates.

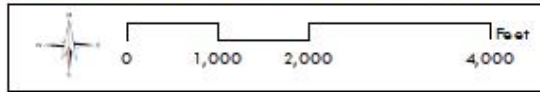
2. The county can provide adequate facilities, including but not limited to fire, emergency services, and law enforcement to serve the development.
3. The following amended phasing schedule shall be adhered to:

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	51	October 2021
4	77	April 2022
5	37	October 2022

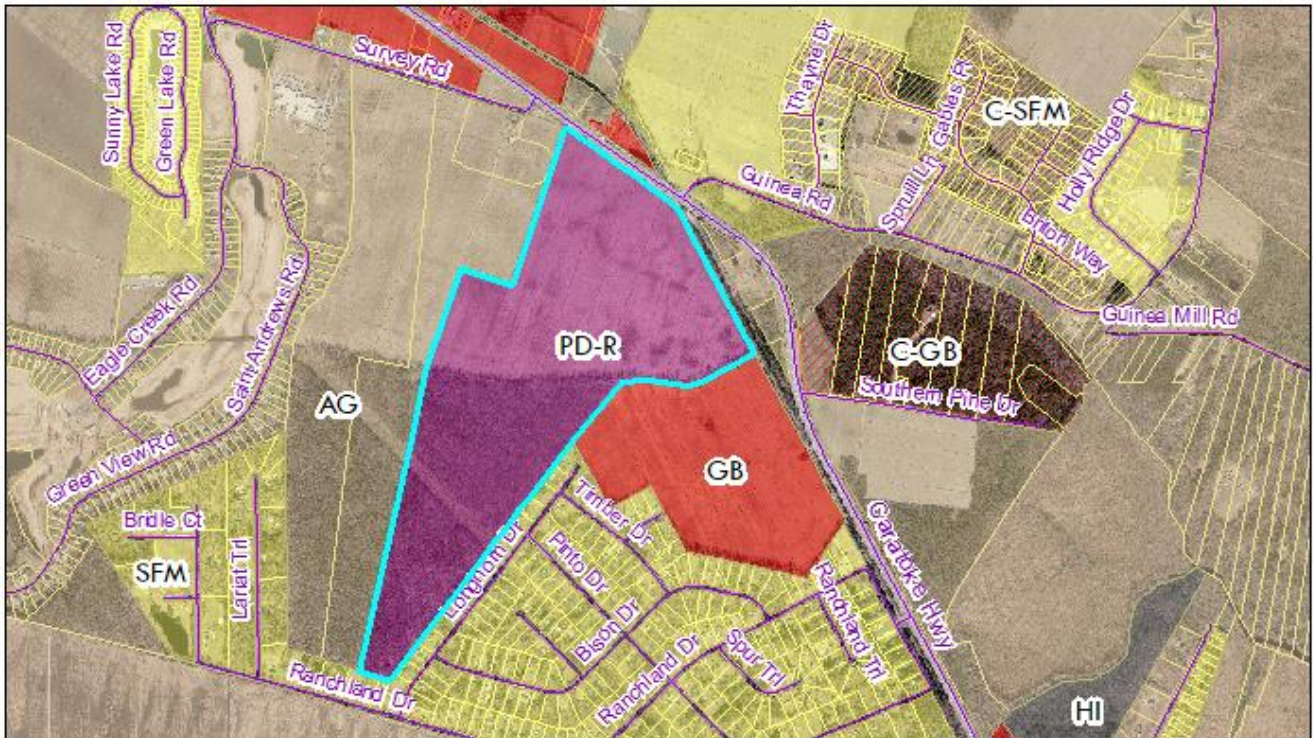
THE APPLICATION AND RELATED MATERIALS ARE AVAILABLE ON THE COUNTY'S WEBSITE
Board of Commissioners: www.co.currituck.nc.us/board-of-commissioners-minutes-current.cfm



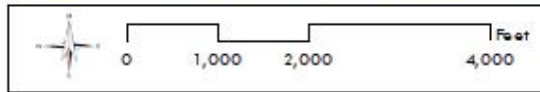
PB 18-23 Fost, Phases 1-5
Preliminary Plat/Use Permit
2016 Aerial Photography



Currituck County
Planning and
Community Development

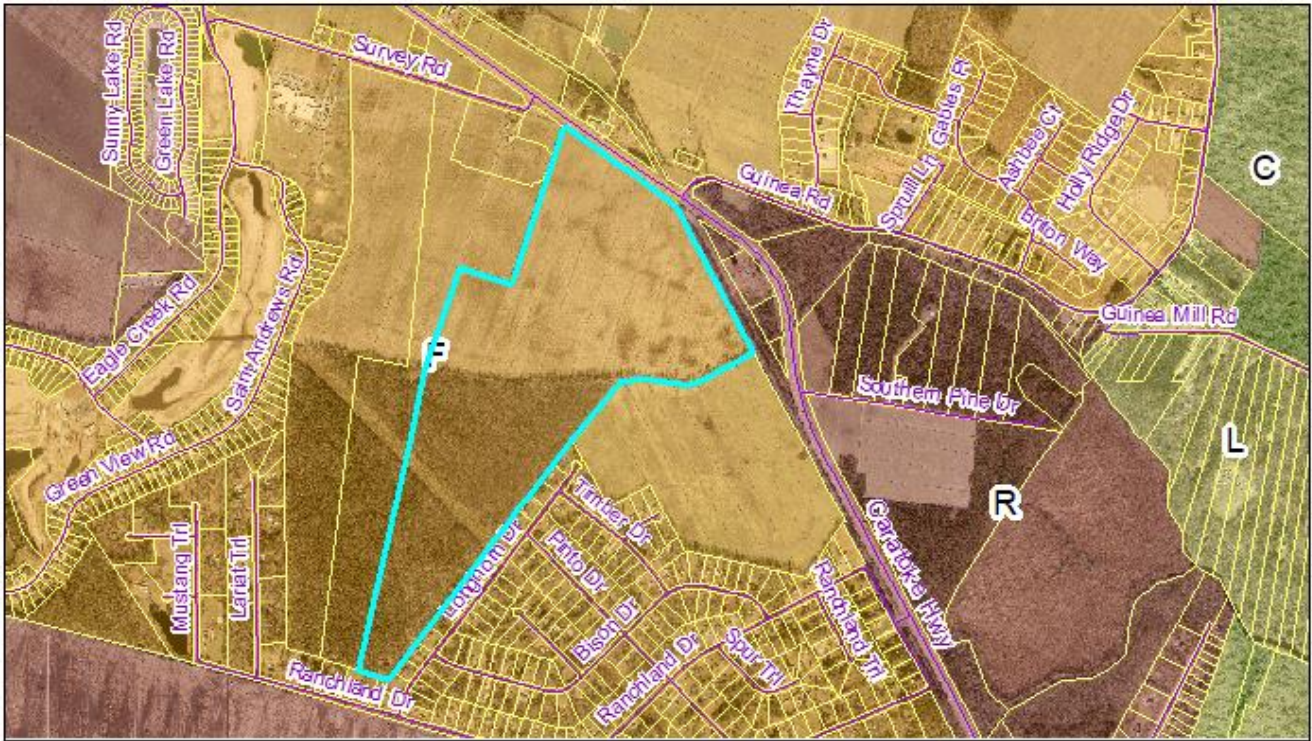


PB 18-23 Fost, Phases 1-5
Preliminary Plat/Use Permit
Zoning

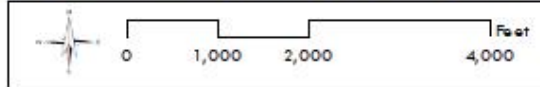


Currituck County
Planning and
Community Development

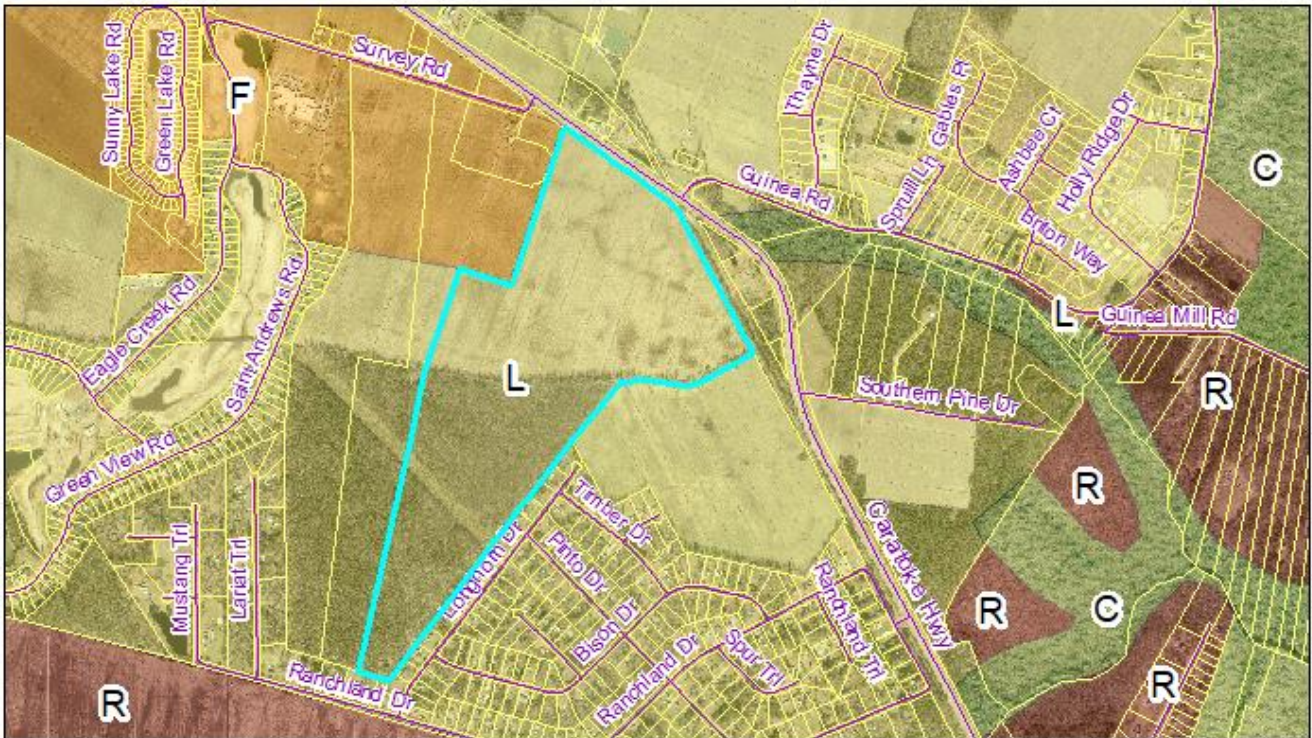
PB 18-23 Fost Tract, Phases 1-5
Amended Preliminary Plat/Use Permit
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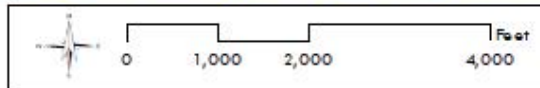
PB 18-23 Fost, Phases 1-5
Preliminary Plat/Use Permit
LUP Classification



Currituck County
Planning and
Community Development



PB 18-23 Fost, Phases 1-5
Preliminary Plat/Use Permit
Moyock SAP Classification

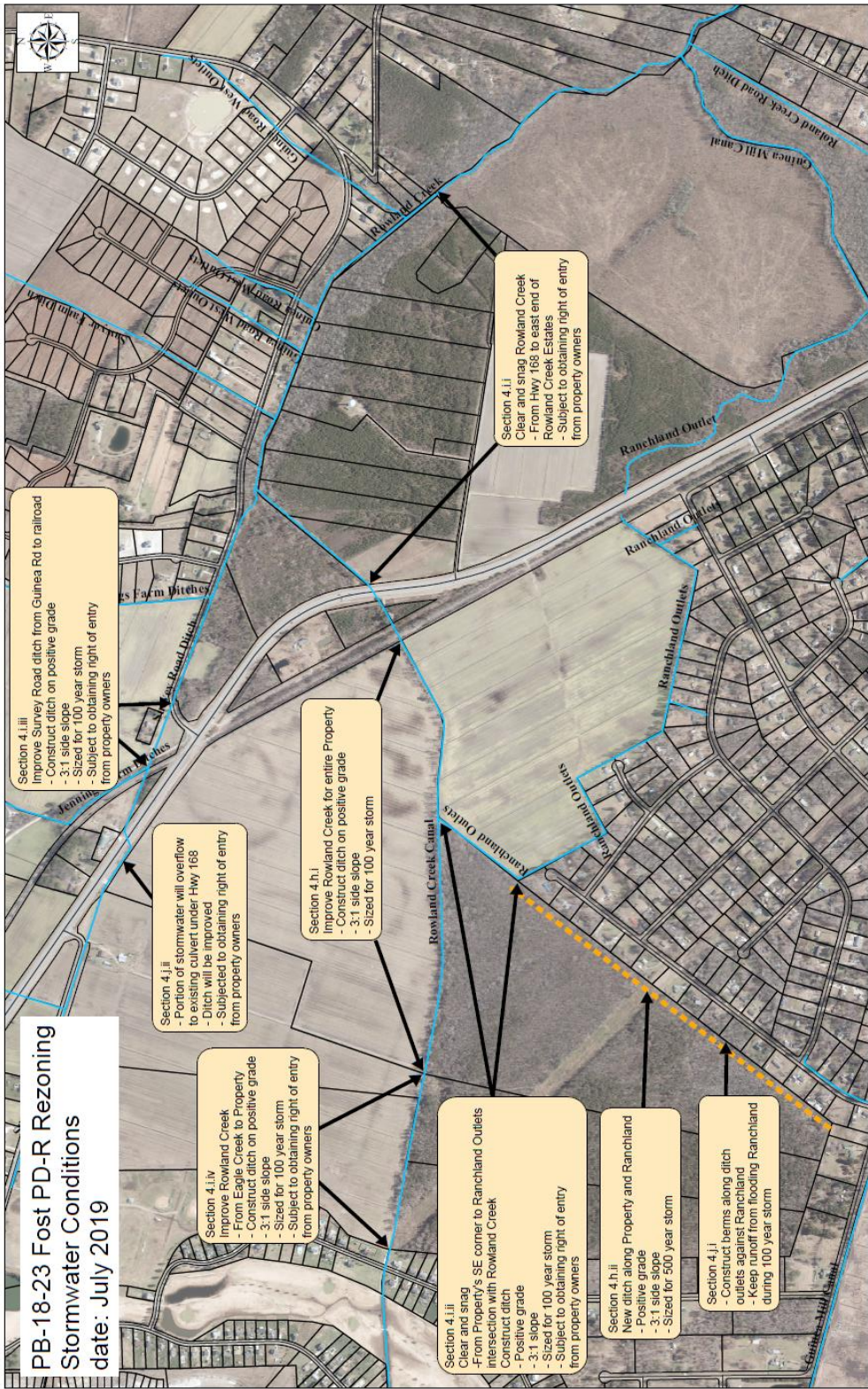


Currituck County
Planning and
Community Development

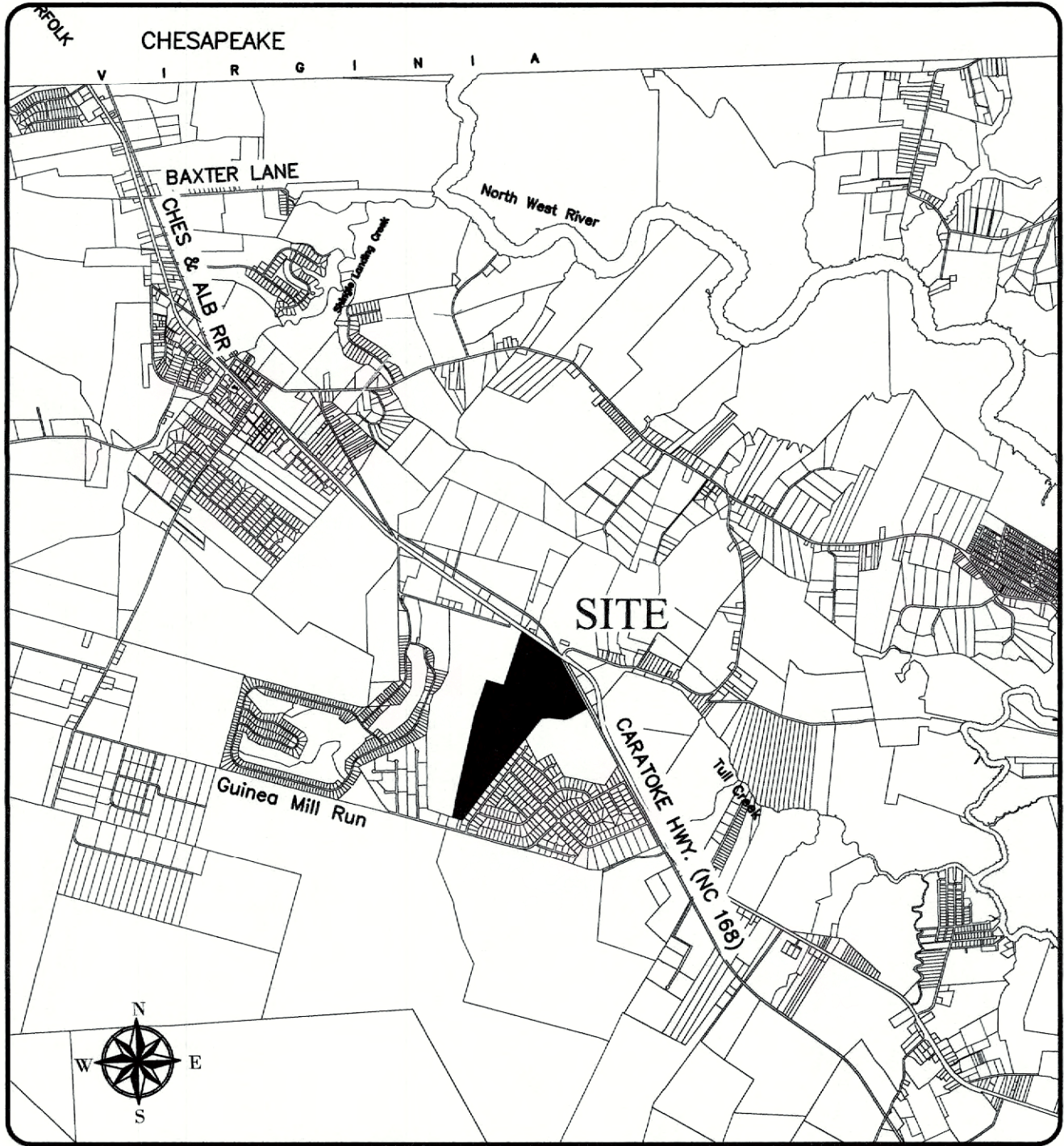
PB 18-23 Fost Tract, Phases 1-5
Amended Preliminary Plat/Use Permit
Page 8 of 10

Approved Development Standards and Setbacks

SCHEDULE A			
DEVELOPMENT STANDARDS & SETBACKS			
STYLE:	TND T.H.	TND SFLOT	CONV. SFLOT
Min Lot Size:	1,800 SF	6,900 SF	9,500 SF
Typ. Lot Size:	1,800 – 3,000 SF	7,000 – 9,000 SF	10,000 – 15,000 SF
Min. Lot Width:	20'	35'	35'
Typ. Lot Width:	20' – 25'	50' – 60'	62'
Front Setback:	15'	20'	20'
Side Setback:	0	10'	10'
Rear Setback:	20'	20'	25'
Corner Side Setback:	15'	15'	15'
Maximum Setback:	25'	75'	140'
Maximum Height:	35'	35'	35'
Maximum Bldg. Size:	16,000 SF	N/A	N/A
Maximum Lot Coverage:	100%	60%	45%



Prepared by Currituck County Engineering Staff



VICINITY MAP SCALE: 1" = 5,000'

OWNERSHIP AND DEDICATION CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE OWNER

I, _____, A NOTARY PUBLIC
OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

PERSONALLY
APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

PRIVATE STREETS OWNER CERTIFICATE

I HEREBY CERTIFY THAT THE PRIVATE STREETS SHOWN ON THIS PLAT ARE INTENDED FOR PRIVATE USE AND WILL REMAIN UNDER THE CONTROL, MAINTENANCE, AND RESPONSIBILITY OF THE DEVELOPER AND/OR A HOMEOWNER'S ASSOCIATION AND ACKNOWLEDGE THAT SOME PUBLIC SERVICES MAY NOT BE PROVIDED DUE TO THE PRIVATE NATURE OF THE ROAD(S).

DATE OWNER

SURVEYOR'S CERTIFICATION

I, MICHAEL D. BARR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN BOOKS REFERENCED); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOKS REFERENCED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 21

DAY OF DECEMBER A.D. 2020

SIGNATURE L-1756

GENERAL NOTES:

- PROJECT NAME: THE FOST TRACT
- APPLICANT: MOYOCK DEVELOPMENT, LLC
OWNERS: MOYOCK DEVELOPMENT, LLC
417-D CARATOKE HWY.
MOYOCK, NC 27958
- PROPERTY DATA:
ADDRESS: CARATOKE HIGHWAY, MOYOCK, NC 27958
PIN: 0015-000-0086-0000
RECORD DOCUMENT(S): D.B.13, PG:E/12
ACREAGE: 228.83 ACRES
PROPERTY ZONING: PD-R (PLANNED DEVELOPMENT - RESIDENTIAL)
- F.I.R.M. DATA:
ZONE: X PER F.I.R.M. MAP NOS. 3721803100 K, 3721803000 K, & 3721804000 K ALL HAVING AN EFFECTIVE DATE DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- THIS PROPERTY CONTAINS ACOE "404" JURISDICTIONAL WETLANDS AS SHOWN AND CONFIRMED BY USACE ACTION ID# SAW 2018-00838, DATED APRIL 30, 2018, AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.
- A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 15' EASEMENT FOR UTILITIES AND DRAINAGE ALONG FRONT PROPERTY LINE IS HEREBY ESTABLISHED. PEDESTRIAN ACCESS AND STREET TREE EASEMENTS ARE HEREBY PROVIDED PER TYPICAL LOT DETAIL ON SHEET 20.
A 25' DRAINAGE EASEMENT SHALL BE ESTABLISHED ALONG ALL MAJOR DRAINAGE WAYS SERVING MORE THAN 5 ACRES. A BLANKET DRAINAGE, UTILITY, AND PEDESTRIAN ACCESS EASEMENT IS HEREBY ESTABLISHED ACROSS ALL OPEN SPACE AREAS. A 50' DRAINAGE EASEMENT IS HEREBY ESTABLISHED ALONG ROWLAND CREEK CANAL (SEE SHEET 7 FOR DETAIL).
- EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING:
 - 2012 AERIAL IMAGERY OBTAINED FROM NCONEMAP.COM
 - FIELD TOPOGRAPHIC SURVEY DATA BY BISSELL PROFESSIONAL GROUP.
 - ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.
- SECTION 7.6.5 OF THE CURRITUCK U.D.O. SUBSTANTIALLY RESTRICTS DEVELOPMENT WITHIN A 30' RIPARIAN BUFFER.
- ALL UTILITIES ARE TO BE UNDERGROUND.
- NEAREST HYDRANT (MCH15) FLOW TESTED AT 1,146 GPM. DESIGN FIRE FLOW IS 1,000 GPM FOR SINGLE FAMILY RESIDENCES BASED ON STRUCTURES HAVING LESS THAN 4,800 SQ. FT. AND NOT OVER 2-STORIES HIGH. NFF FOR MULTI-FAMILY STRUCTURES IS BASED ON ISO STANDARDS.
- THERE IS A 50' FARM BUFFER IN ALL AREAS ADJOINING ACTIVE FARM LANDS.
- THIS SUBDIVISION CONTAINS RIGHTS-OF-WAY THAT ARE PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHTS-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

ZONING CONDITIONS:

SEE SHEET 19

LOT DEVELOPMENT CONFIGURATION:

LOT AREAS: VARY FROM 1,800 TO 20,660 SQUARE FEET.

RECREATIONAL AND PARK LAND FEE-IN-LIEU CALCULATION:

REQUIRED UPLAND RECREATION/PARKLAND DEDICATION ACREAGE = 7.676 AC. (301 LOTS * 0.0255AC./LOT)
CURRENT PROPERTY ACCESSED VALUE (LAND ONLY) = \$793,300 OR \$3,520.30/AC. (\$793,300/225.35 AC.)
FEE-IN-LIEU IS \$27,021.82 (7.676 AC. * \$3,520.30/AC.)

SEE SHEET 5 FOR PROPOSED RECREATION AND PARK LAND DEDICATION.

STREET CONNECTIVITY INDEX = 62 LINKS/36 NODES = 1.72

DEVELOPMENT NOTES:

TRACT SUMMARY:

TOTAL AREA OF TRACT: 228.28 AC.
AREA NOT BEING DEVELOPED AT THIS TIME: 91.10 AC.
TOTAL SUBDIVISION DEVELOPMENT AREA: 137.18 AC.

DEVELOPMENT AREA SUMMARY:

EFFLUENT DISPOSAL & RV PARK AREA: 8.01 AC.
PROPOSED LOT AREA: 58.89 AC.
PUBLIC PROPOSED R/W AREA: 21.73 AC.
PRIVATE PROPOSED R/W AREA: 3.60 AC.
REQUIRED OPEN SPACE TOTAL=30% (0.3*137.18): 41.15 AC.
OPEN SPACE PROVIDED: 44.95 AC. (32.8%)

OF PROPOSED LOTS: 301 (2.19 LOTS/ACRE)

PROPOSED RIGHT-OF-WAY WIDTHS (FT.): SEE SHEETS 21 & 22
PROPOSED PAVED ROADWAY WIDTH: SEE SHEETS 21 & 22
LINEAR FEET OF ONSITE ROADWAY: 20,464 L.F.±

SUMMARY OF CHANGES TO AMENDED PRELIMINARY PLAN

- MODIFIED PHASE LINES TO MATCH AMENDED PD-R.
- REMOVED WWTP SITE AND RV PARKING FROM PHASE 1, WITH RESULTANT MODIFICATIONS TO PHASE AND OPEN SPACE AREAS.
- PROVIDED TEMPORARY RV PARKING FOR PHASE 1.
- MODIFIED ACTUAL BOUNDARY AREA PER ACTUAL FIELD SURVEY.

THE FOST TRACT

MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA AMENDED PRELIMINARY PLAT FOR PHASES 1-5

SHEET INDEX

Sheet Number	Sheet Title
1	COVER SHEET, DEVELOPMENT NOTES AND SITE LOCATION
2	EXISTING CONDITIONS AND SITE FEATURES PLAN
3	OVERALL PHASING PLAN
4	OVERALL DRAINAGE AND UTILITY PLAN
5	OVERALL HARDSCAPING PLAN
6	LANDSCAPING, LIGHTING, BUFFERING AND SIGNAGE PLAN
7	OVERALL PRELIMINARY PLAT
8-17	DETAILED PRELIMINARY PLAT SHEETS
18	LINE AND CURVE TABLES
19	ZONING TERMS & CONDITIONS
20-22	DETAILS

SURVEY LEGEND

---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE OF ROADWAY
●	SET IRON ROD
○	EXISTING IRON ROD
○	EXISTING IRON PIPE
□	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
P.C.	PLAT CABINET
SL	SLIDE
D.B.	DEED BOOK
M.B.	MAP BOOK
PG.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
P/O	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
O.S.	OPEN SPACE
R/W	RIGHT-OF-WAY

LEGEND

---	EXISTING DITCH CENTERLINE
---	EXISTING DITCH TOP OF BANK
---	PROPOSED SWALE W/ FLOW ARROW
---	PROPOSED SWALE HIGH POINT
---	FEMA BOUNDARY LINE
---	EXISTING 404 BOUNDARY
---	EXISTING GRADE CONTOUR
---	30' UNDISTURBED BUFFER (COUNTY)
---	50' WETLANDS BUFFER (COUNTY)
---	EXISTING CULVERT
---	EXISTING UTILITY POLE
OHE	EXISTING OVERHEAD TRANSMISSION LINES
EWL	EXISTING WATER LINE
---	PROPOSED WATER LINE (SIZE AS NOTED)
---	PROPOSED FIRE HYDRANT ASSEMBLY
---	PROPOSED WATER SERVICE
---	PROPOSED BLOW-OFF ASSEMBLY
---	PROPOSED VALVE
---	PROPOSED REDUCER
---	PROPOSED SIDEWALK
---	PROPOSED FORCE MAIN SANITARY SEWER (SIZE AS NOTED)
---	PROPOSED GRAVITY SANITARY SEWER (SIZE AS NOTED)
---	PROPOSED SANITARY SEWER MANHOLE
---	BACK OF CURB
---	EDGE OF PAVEMENT
---	PROPOSED CATCH BASIN
---	PROPOSED STREET LIGHT
---	PROPOSED STORM SEWER PIPE
---	PROPOSED EDGE OF WATER

SUMMARY OF CHANGES:

- AMENDMENT FOR CONNECTION TO OFFSITE WASTEWATER FACILITY
- AMENDMENT TO CLUBHOUSE AREA AND POND ENLARGEMENT.
- ADJUSTMENTS TO PHASE LINES.

STORMWATER STATEMENT

NO MORE THAN 30% OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER _____ ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.

REVIEW OFFICER CERTIFICATE

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____, REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE REVIEW OFFICER

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE

I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE DISTRICT ENGINEER

APPROVAL CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE ADMINISTRATOR

REVIEW OFFICER CERTIFICATE

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____, REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE REVIEW OFFICER

REQUIRED IMPROVEMENTS CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

12-21-2020
DATE REGISTERED LAND SURVEYOR/ENGINEER

L-1756
REGISTRATION NUMBER

BisSELL Professional Group
Firm License # C-956
10000 Highway 100
P.O. Box 1008
Kitty Hawk, North Carolina 27949
FAX (252) 281-1780

BISSELL
PROFESSIONAL GROUP

Engineers, Planners, Surveyors
and Environmental Specialists

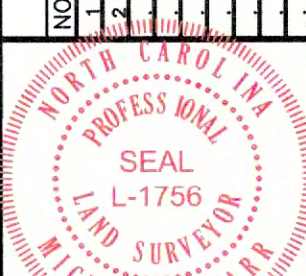
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PRELIMINARY PLANS & PLAT

THE FOST TRACT PD-R
CURRITUCK COUNTY
NORTH CAROLINA

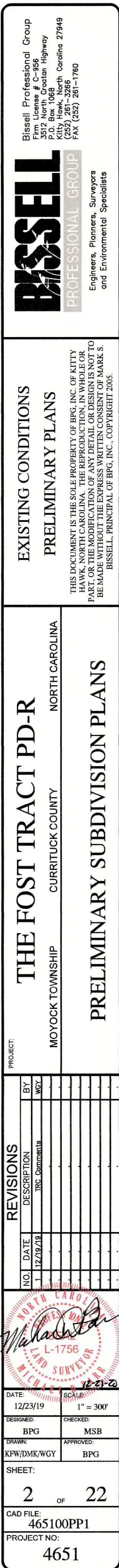
PROJECT: MOYOCK TOWNSHIP

REVISIONS

NO.	DATE	DESCRIPTION	BY	APP.
1	11/23/20	MOE REVISIONS	KTB	
2	12/21/20	THE COMMENTS	KTB	

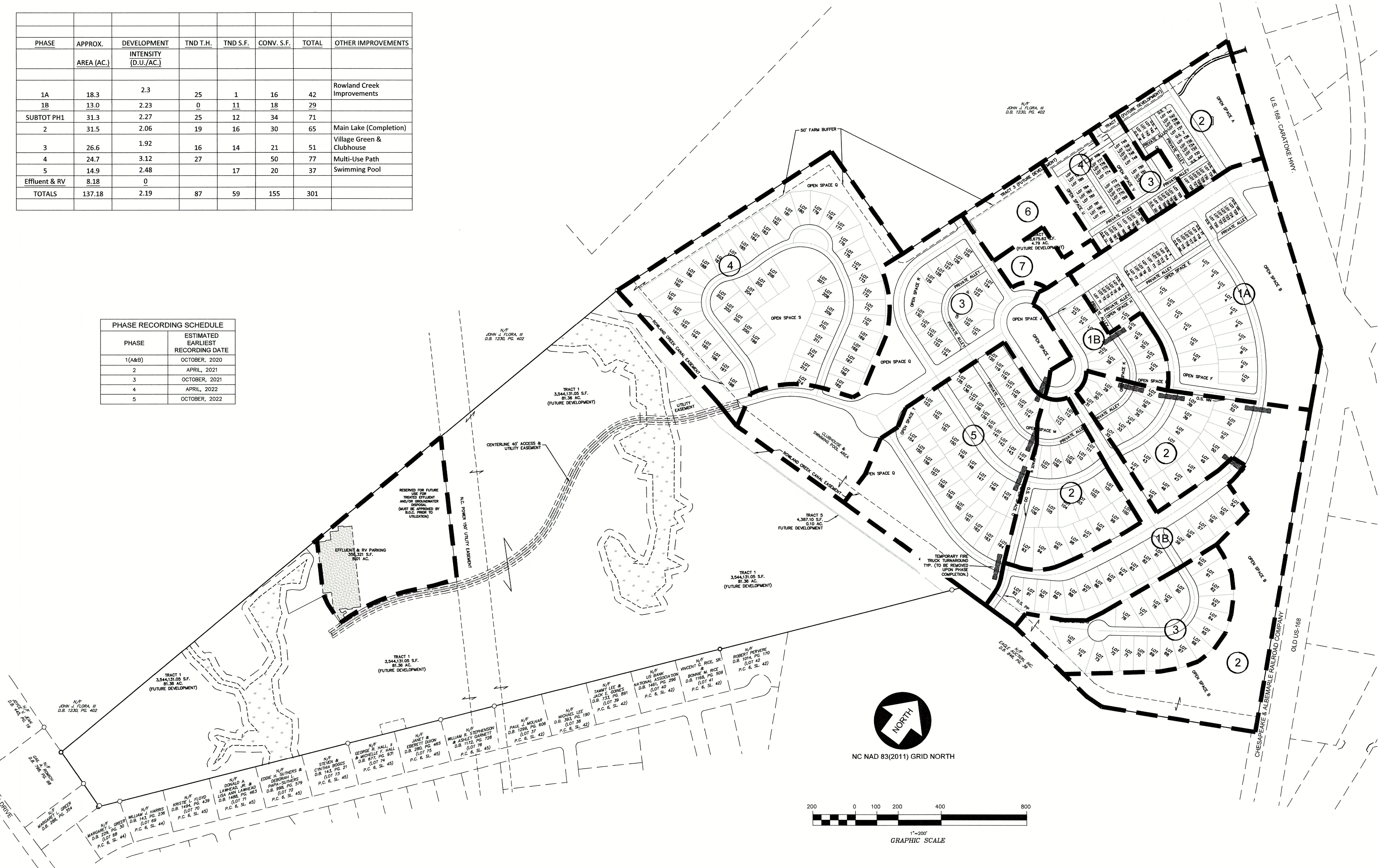


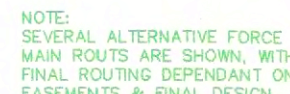
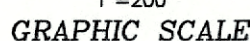
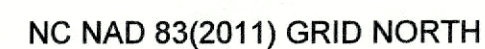
DATE: 11/23/20 SCALE: AS NOTED
DESIGNED: BPG CHECKED: MSB
DRAWN: KTB/DML/WGT APPROVED: BPG
SHEET: 1 OF 22
CAD FILE: 465100PPI
PROJECT NO: 4651



PHASE	APPROX.	DEVELOPMENT	TND T.H.	TND S.F.	CONV. S.F.	TOTAL	OTHER IMPROVEMENTS
	AREA (AC.)	INTENSITY (D.U./AC.)					
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
1B	13.0	2.23	0	11	18	29	
SUBTOT PH1	31.3	2.27	25	12	34	71	
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
Effluent & RV	8.18	0					
TOTALS	137.18	2.19	87	59	155	301	

PHASE RECORDING SCHEDULE	
PHASE	ESTIMATED EARLIEST RECORDING DATE
1(A&B)	OCTOBER, 2020
2	APRIL, 2021
3	OCTOBER, 2021
4	APRIL, 2022
5	OCTOBER, 2022

[illegible]



BOAT AND RV STORAGE AREA
(48 TOTAL 20'X40' SPACES)
CONSTRUCTION MAY PHASE WITH
PLATTING OF LOTS AS REQUIRED
TO BE LANDSCAPED PER
CURRITUCK COUNTY UDO 5.2.5.

RESERVED FOR FUTURE
USE FOR
TREATED EFFLUENT
AND/OR GROUNDWATER
DISPOSAL
(MUST BE APPROVED BY
B.O.C. PRIOR TO
UTILIZATION)

N.C. POWER 150' UTILITY EASEMENT

DRAINAGE EASEMENT TO
ALLOW FOR THE CONNECTION OF
THE DRAINAGE DITCH COMING FROM
RANCHLAND SUBDIVISION

ALONG THIS ENTIRE PROPERTY LINE, EITHER THE EXISTING DITCH
TO BE IMPROVED OR A NEW DITCH IS TO BE INSTALLED

NOTE:
ALL WATER MAINS ARE 8"
UNLESS OTHERWISE SPECIFIED

VALVE &
FOR FUTURE C

CONNECTION TO EX.
COUNTY WATER MAIN

10" DIRECTION DRILL
UNDER NC HWY 168

DRAINAGE & UTILITY OVERVIEW

PRELIMINARY PLANS

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THE FOST TRACT PD-R
TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

ELIMINARY SUBDIVISION PLANS

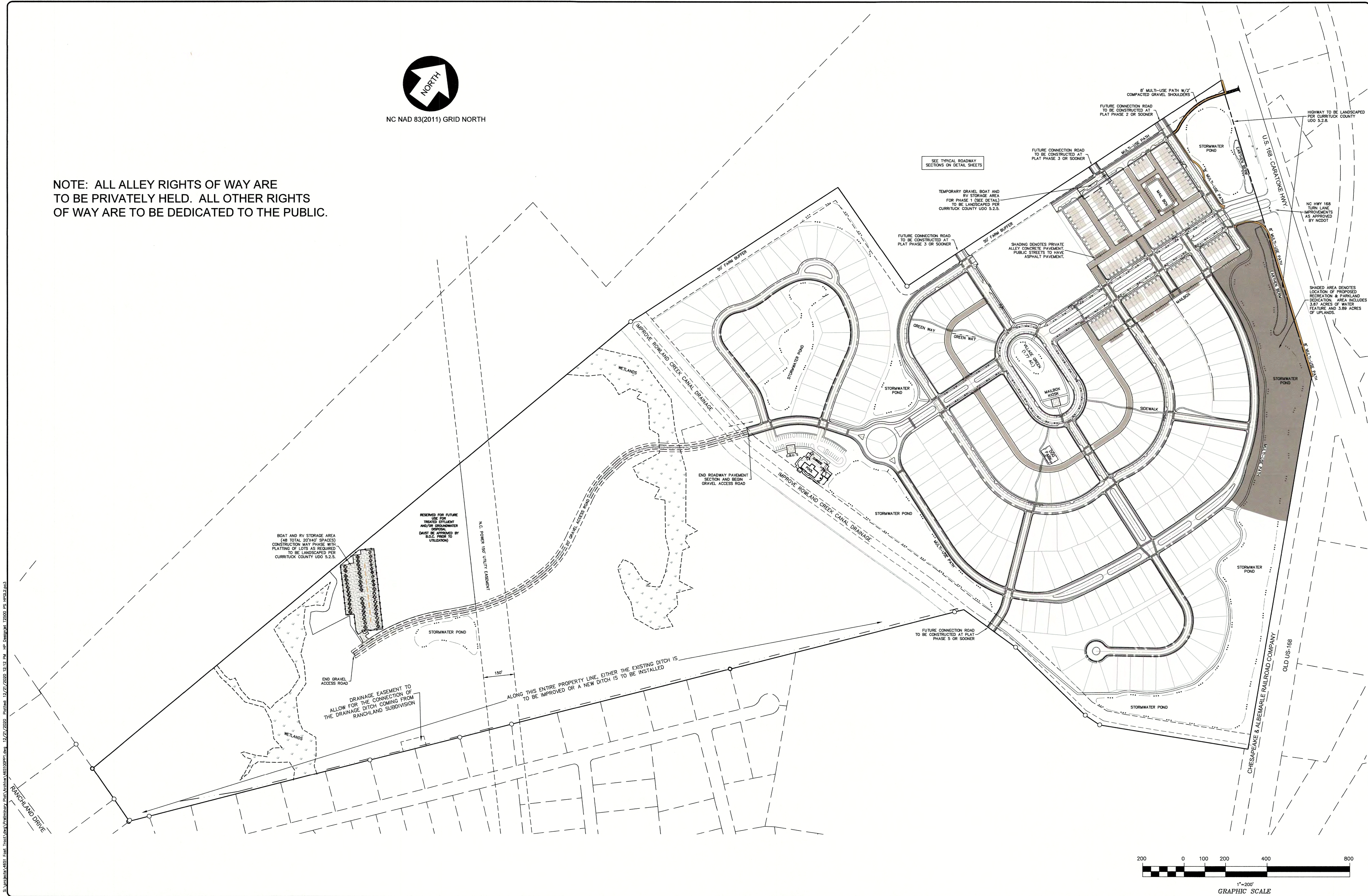
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DATE: 12/23/19	SCALE: 1" = 200'
DESIGNED: BPG	CHECKED: MSB
DRAWN: KFW/DMK/WGY	APPROVED: BPG

SHEET:	4	OF	22
CAD FILE:	465100PP1		
PROJECT NO:	4651		

NC NAD 83(2011) GRID NORTH

NOTE: ALL ALLEY RIGHTS OF WAY ARE
TO BE PRIVATELY HELD. ALL OTHER RIGHTS
OF WAY ARE TO BE DEDICATED TO THE PUBLIC.



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FAX (252) 261-1760

HARDSCAPING OVERVIEW PRELIMINARY PLANS

THE FOST TRACT PD-R
PRELIMINARY SUBDIVISION PLANS

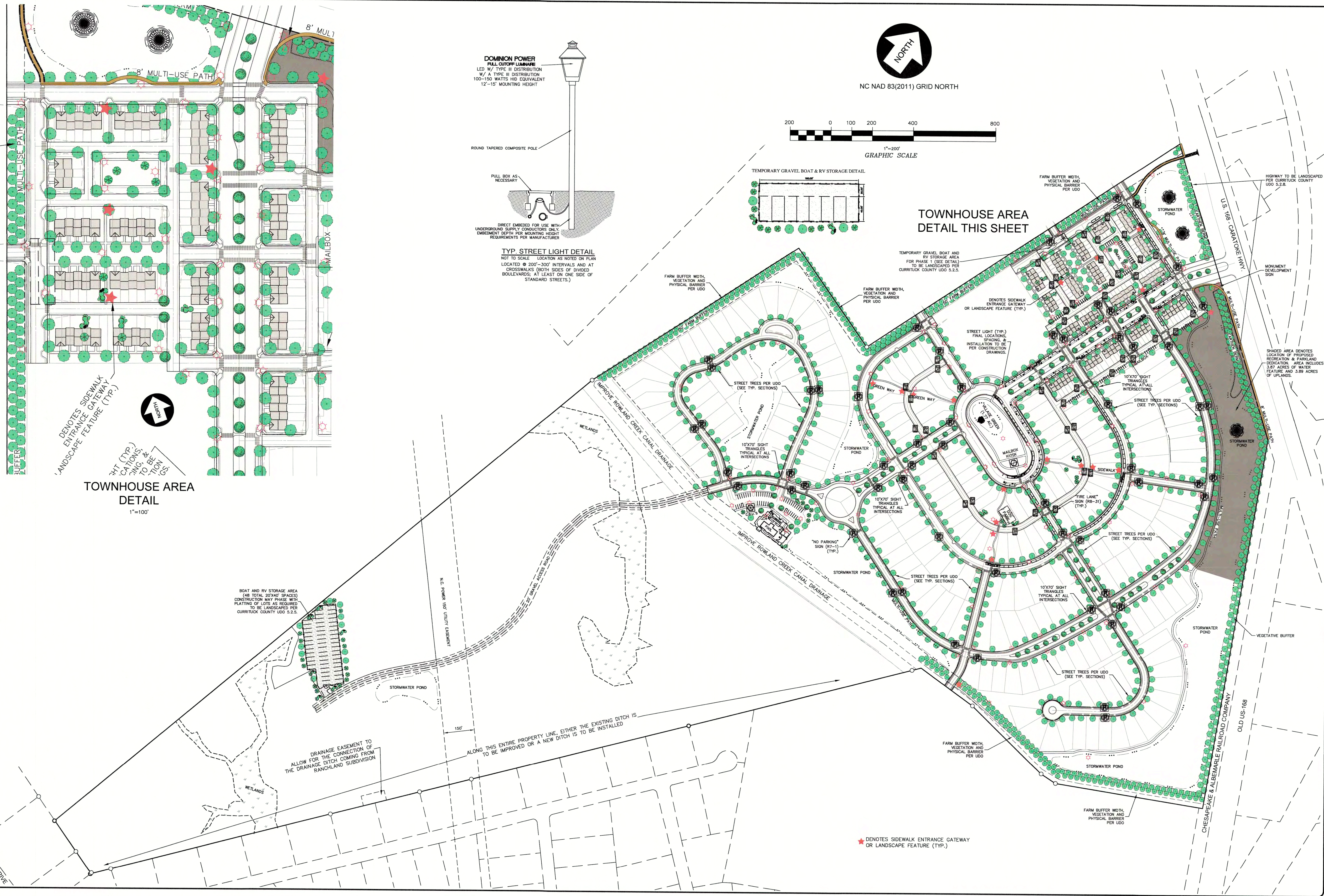
WICK TOWNSHIP **CUPERTUCK COUNTY** **NORTH CAROLINA**

[illegible]

DATE: 12/23/19	SCALE: 1" = 200'
DESIGNED: BPG	CHECKED: MSB
DRAWN: KFW/DMK/WGY	APPROVED: BPG

SHEET:
5 OF 22
CAD FILE:
465100PP1
PROJECT NO:
4651

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REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK.
1	12/23/19	DESIGN	BPG	MSB
2	11/24/20	BOAT & RV STORAGE	BPG	MSB
3	12/16/20	THIS COMMENTS	BPG	MSB

DATE: 12/23/19
SCALE: 1"=200'
DESIGNED: BPG
CHECKED: MSB
DRAWN: KPW/DMK/WGY
APPROVED: BPG

SHEET: 6 OF 22
CAD FILE: 465100PP1
PROJECT NO: 4651

THE FOST TRACT PD-R
MOYOCK TOWNSHIP
CURRITUCK COUNTY
NORTH CAROLINA

PRELIMINARY SUBDIVISION PLANS

PROJECT: 1001_Fost

LANDSCAPING, LIGHTING, BUFFERING AND SIGNAGE PLAN

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Bissell Professional Group
3512 North Carolina Highway
P.O. Box 1068
Cape Fear, North Carolina 27949
(252) 261-2985
FAX (252) 261-1760

		WWTP TRACT LINE & CURVE TABLES			
		LINE	LENGTH	BEARING	
		L36	35.99	S17° 50'	45°W
		L37	105.01	S71° 49'	03°E
		L38	46.00	S44° 25'	47°E
		L39	199.18	N24° 42'	48°E
		L40	57.23	S53° 20'	44°E
		L41	53.56	S31° 45'	03°E
		L42	24.99	S41° 10'	13°W
		L43	33.85	S56° 58'	32°W
		L44	70.90	S23° 57'	03°E
		L45	44.13	S17° 37'	59°E
		L46	42.83	S77° 47'	32°E
CURVE	LENGTH	RADIUS	CURVE	BEARING	DELTA
C672	62.65	808.00	62.64	S39° 20'	11°W
C674	357.57	864.00	355.02	S29° 42'	06°W
C676	42.37	30.00	38.94	N16° 30'	44°E
C677	31.30	30.00	30.07	N47° 42'	45°E

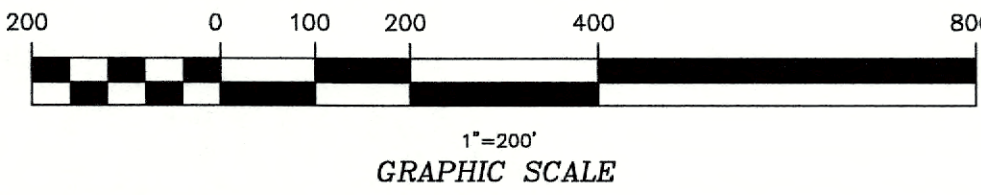
ROWLAND CREEK CANAL EASEMENT LINE TABLE			
LINE	LENGTH	BEARING	
LE1	40.75	N37° 39'	31"E
LE2	160.91	N89° 57'	30"E
LE3	78.186	N87° 34'	45"E
LE4	356.29	N89° 25'	10"E
LE5	198.29	S79° 49'	24"E
LE6	600.01	S79° 04'	38"E
LE7	585.79	S79° 04'	38"E
LE8	215.65	S79° 49'	24"E
LE9	308.72	N89° 25'	10"E
LE10	781.80	N87° 34'	45"E
LE11	233.27	N89° 57'	30"E
LE12	70.27	N87° 29'	31"E
LE13	66.78	N86° 13'	06"E
LE14	158.78	N89° 38'	35"E
LE15	229.73	S84° 22'	20"E
LE16	223.94	S83° 23'	20"E
LE17	83.53	N82° 26'	11"E
LE18	95.62	N62° 53'	58"E
LE19	605.72	N60° 56'	56"E
LE20	61.23	N12° 12'	28"E
LE21	85.62	N18° 54'	44"E
LE22	72.25	N28° 18'	39"W

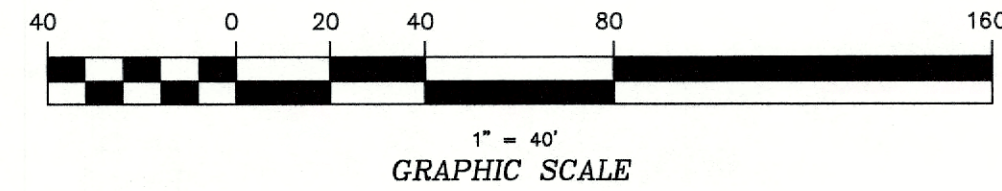
		CENTERLINE OF ACCESS & UTILITY EASEMENT LINE & CURVE TABLES			
		LINE	LENGTH	BEARING	
		LE29	187.30	S35° 26' 34"W	
		LE30	74.34	S8° 33' 05"W	
		LE31	213.69	S12° 58' 36"E	
		LE32	126.11	S41° 33' 27"W	
		LE33	103.18	S17° 50' 45"W	
		LE34	37.81	S22° 02' 38"W	
		LE35	103.29	N77° 43' 03"W	
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
CE682	230.27	600.00	228.86	N46° 26' 15"E	21°59'22"
CE683	238.88	280.00	231.70	S32° 59' 30"W	48°52'51"
CE684	150.29	400.00	149.51	S2° 12' 45"E	21°31'41"
CE685	218.29	500.00	216.56	N0° 28' 11"W	25°00'50"
CE686	426.61	828.00	421.91	N26° 47' 51"E	29°31'13"
CE687	349.29	844.00	346.80	S29° 49' 05"E	23°42'43"
CE688	222.91	640.00	221.78	N27° 48' 26"W	19°57'20"
CE689	554.90	966.50	547.31	S21° 21' 13"W	32°53'44"
CE690	119.41	400.00	118.21	N13° 27' 29"E	17°06'17"
CE691	175.13	125.00	161.15	N62° 08' 47"E	80°16'19"

		UTILITY EASEMENT LINE & CURVE TABLES			
		LINE	LENGTH	BEARING	
		LE23	160.59	S35° 26'	34"W
		LE25	65.59	N53° 16'	57"W
		LE26	106.92	N34° 41'	17"E
		LE27	26.72	S35° 26'	34"W
		LE28	87.73	S79° 49'	24"E
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
CE680	119.96	580.00	119.74	N41° 22'	04"E
CE681	102.64	580.00	102.51	S52° 21'	45"W
					10°08'22"



AN EASEMENT IS HEREBY ESTABLISHED FOR THE
BENEFIT OF ABUTTING PROPERTY TO ALLOW FOR
FUTURE CONNECTION TO ROADWAY, SIDEWALK, AND UTILITIES.
SAID EASEMENT SHALL BE BOUND TO THE LIMITS OF
THE RIGHT OF WAY AND SHALL EXTEND TO THE
TERMINUS OF ANY AS-CONSTRUCTED IMPROVEMENT
TO THE EXTERIOR BOUNDARY OF THE SUBDIVISION

Packet Pg. 62

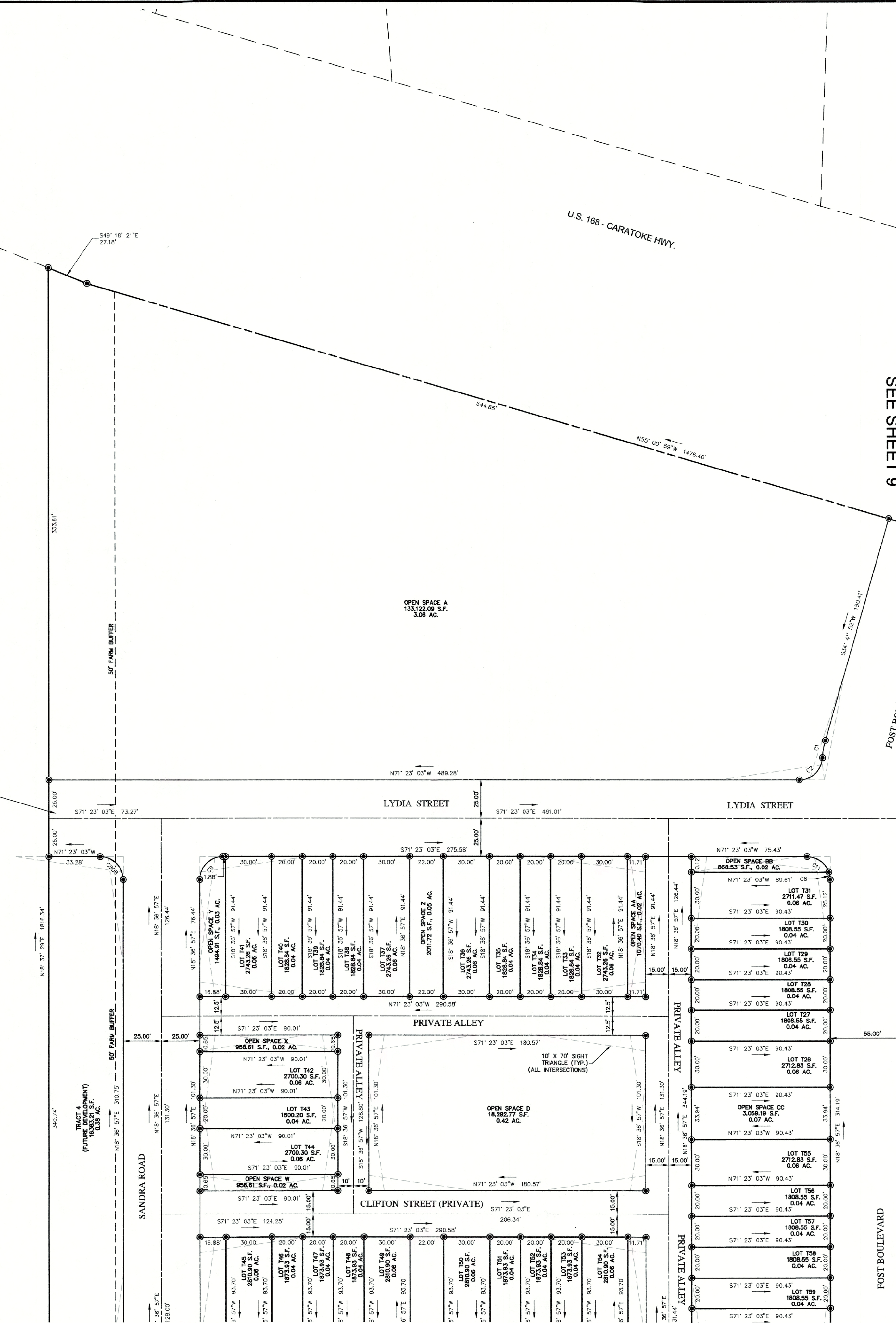


NC NAD 83(2011) GRID NORTH

N/F
JOHN J. FLORA, IN
D.B. 1230, PG. 402

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BENEFIT OF ABUTTING PROPERTY TO ALLOW FOR
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THE RIGHT OF WAY AND SHALL EXTEND TO THE
TERMINUS OF ANY AS-CONSTRUCTED IMPROVEMENT
TO THE EXTERIOR BOUNDARY OF THE SUBDIVISION

SEE SHEET 10



SEE SHEET 9

FOST BOULEVARD

[illegible]

THE FOST TRACT PD-R

NORTH CAROLINA

MOYOCK TOWNSHIP CURRITUCK COUNTY

PRELIMINARY SUBDIVISION PLANS

PLAT SHEET 8
PRELIMINARY PLAT

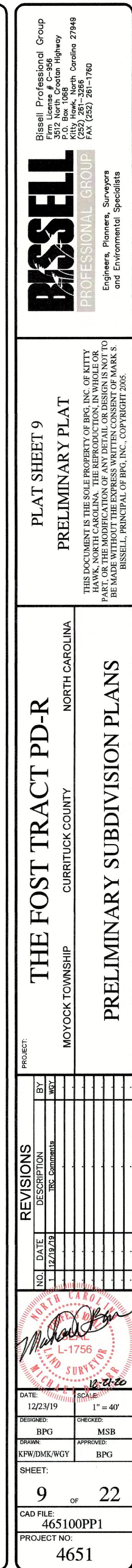
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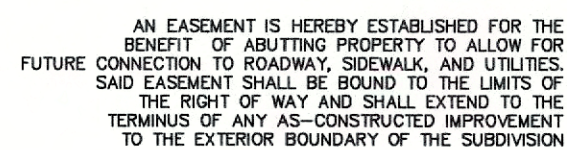
PROFESSIONAL GROUP

Engineers, Planners, Surveyors
and Environmental Specialists

Bissell Professional Group
Firm License # C-958
3512 North Croatan Highway
P.O. Box 1038
Durham, NC 27702
(919) 251-2585
(919) 251-1780
FAX (919) 251-1780



SEE SHEET 13



TRACT 2
208,675.62 S.F.
4.79 AC.
(FUTURE DEVELOPMENT)
{TRACT 2 HAVING A BLANKET UTILITY EASEMENT(S)
FOR ANY UTILITY PLACED HEREIN.
SAID EASEMENT(S) IS TO BE LIMITED TO 10' ON
BOTH SIDES OF THE AS-BUILT
CENTERLINE OF SAID UTILITY}

REVISIONS

DATE: 12/23/19	SCALE: 1" = 40'
DESIGNED: BPG	CHECKED: MSB
DRAWN: KFW/DMX/WGY	APPROVED: BPG
SHEET: 10 OF 22	
CAD FILE: 465100PP1	
PROJECT NO:	

10	OF	22
CAD FILE: 465100PP1		
PROJECT NO: 4651		

THE FOST TRACT PD-R

MOYOCK TOWNSHIP
CURRITUCK COUNTY

NORTH CAROLINA

PRELIMINARY SUBDIVISION PLANS

PLAT SHEET 10
PRELIMINARY PLAT

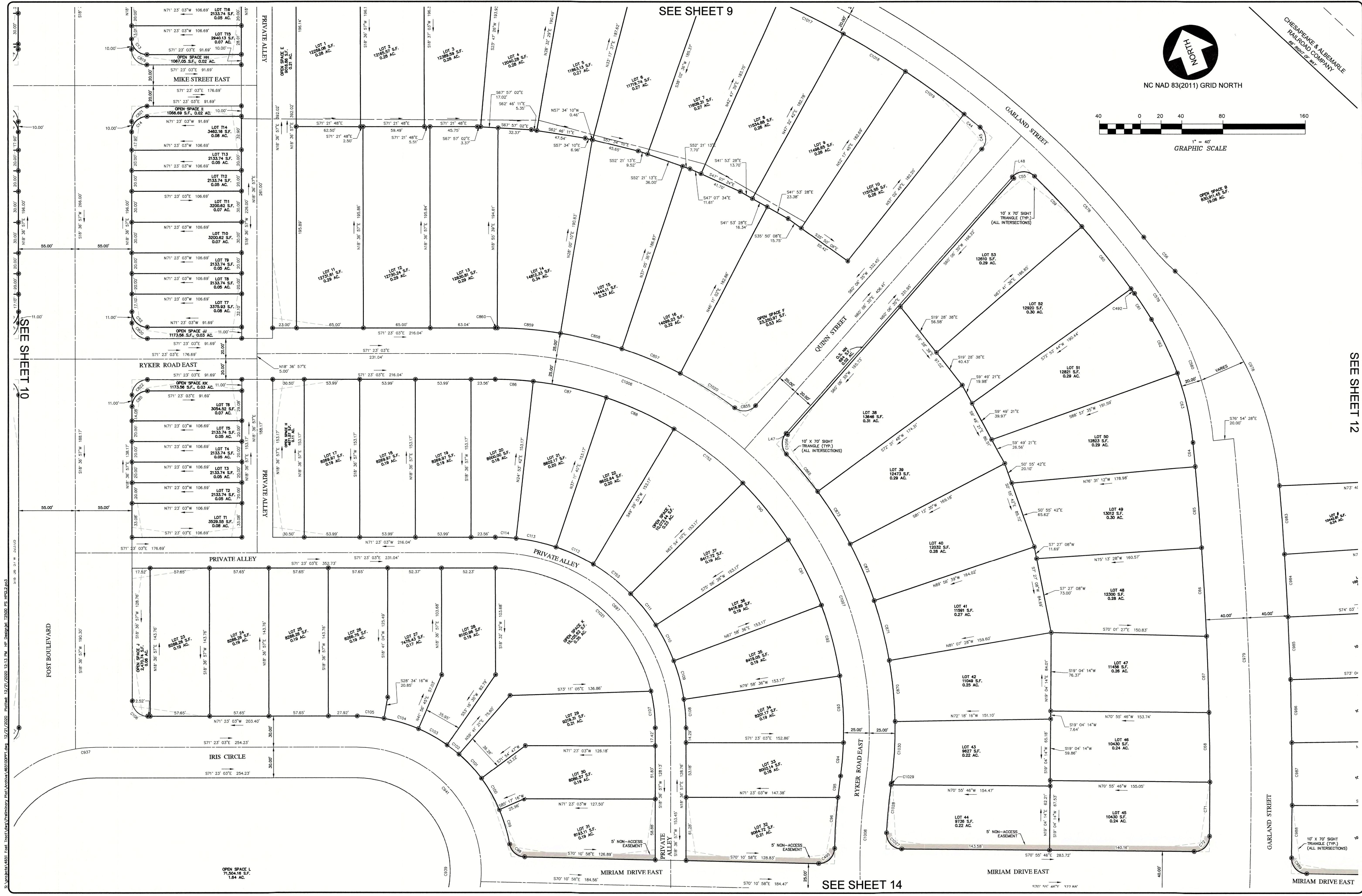
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FAX (252) 261-1760



THE FOST TRACT PD-R

PRELIMINARY SUBDIVISION PLANS

PROJECT: MOYOCK TOWNSHIP, CURRITUCK COUNTY, NORTH CAROLINA

PLAT SHEET 11
PRELIMINARY PLAT

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REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	12/23/19	ISSUE FOR PERMIT	MSB	
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DATE: 12/23/19
DESIGNED: BPG
DRAWN: KFW/DMK/WGY
SHEET: 11 OF 22
CAD FILE: 465100PP1
PROJECT NO: 4651

BRG, INC.
Professional Group
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Kitty Hawk, North Carolina 27949
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Fax: (252) 285-1760
Engineers, Planners, Surveyors
and Environmental Specialists

Packet Pg. 66



PROJECT: **THE FOST TRACT PD-R**

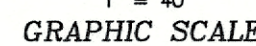
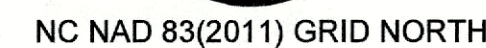
MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PRELIMINARY SUBDIVISION PLANS

PLAT SHEET 12

PRELIMINARY PLAT

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SAID EASEMENT SHALL BE BOUND TO THE LIMITS OF
THE RIGHT OF WAY AND SHALL EXTEND TO THE
TERMINUS OF ANY AS-CONSTRUCTED IMPROVEMENT
TO THE EXTERIOR BOUNDARY OF THE SUBDIVISION

N/F
JOHN J. FLORA, III
D.B. 1230, PG. 402

N/F
JOHN J. FLORA, III
D.B. 1230 PG 402

SEE SHEET 16

SEE SHEET 14


PLAT SHEET 13
PRELIMINARY PLAT

THE FOST TRACT PD-R

MOYOCK TOWNSHIP
CURRITUCK COUNTY
NORTH CAROLINA

PRELIMINARY SUBDIVISION PLANS

REVISIONS		BY	DATE
NO.	DESCRIPTION		
1	2023/03/08	MSB	
2	2023/03/08	MSB	
3	2023/03/08	MSB	
4	2023/03/08	MSB	
5	2023/03/08	MSB	
6	2023/03/08	MSB	
7	2023/03/08	MSB	
8	2023/03/08	MSB	
9	2023/03/08	MSB	
10	2023/03/08	MSB	



L-1756

DATE: 2023/19 SCALE: 1" = 200'

DESIGNED: BPG CHECKED: MSB

ORIGIN: KPW/DIM/NGY APPROVED: BPG

SHEET: **13** OF **22**

CAD FILE: 465100PP1

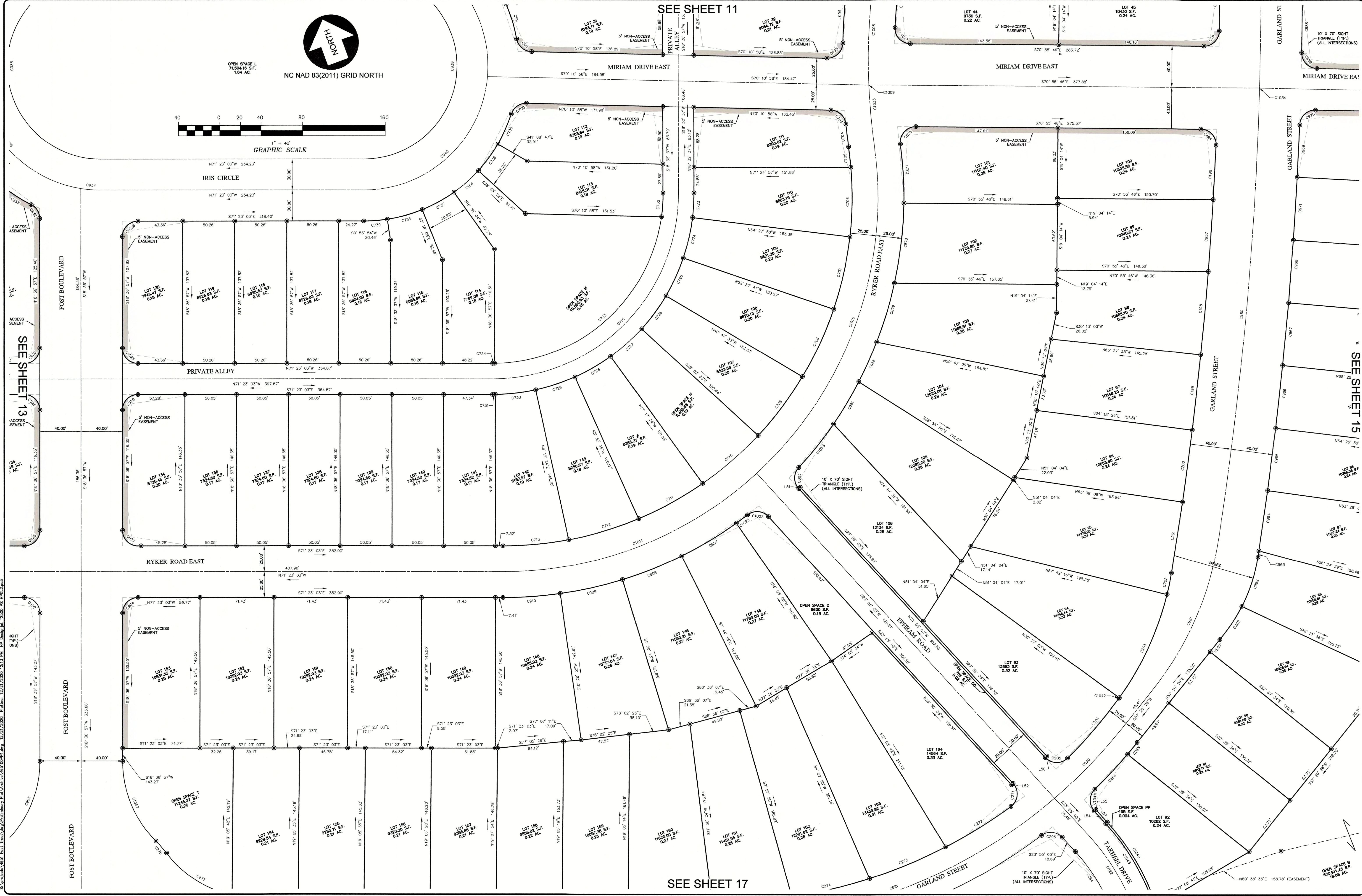
PROJECT NO: 4651

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PROFESSIONAL GROUP

Bissell Professional Group
Firm License # C-958
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Kitty Hawk, North Carolina 27949
(252) 261-3266
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NORTH CAROLINA
THE MODIFICATION
WITHOUT THE



THE FOST TRACT PD-R

MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PRELIMINARY SUBDIVISION PLANS

PROJECT: 465100PP1

DATE: 12/23/19

SCALE: 1" = 40'

DESIGNED: BPG

CHECKED: MSB

DRAWN: KPW/DMK/WGY

APPROVED: BPG

SHEET: 14 OF 22

CAD FILE: 465100PP1

PROJECT NO: 4651

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK.
1	12/23/19	ISS. COMMENTS		

PLAT SHEET 17

PRELIMINARY PLAT

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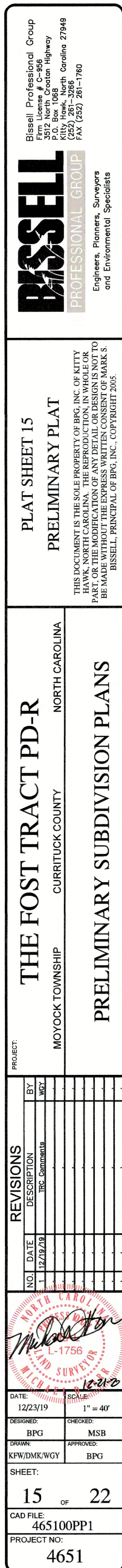
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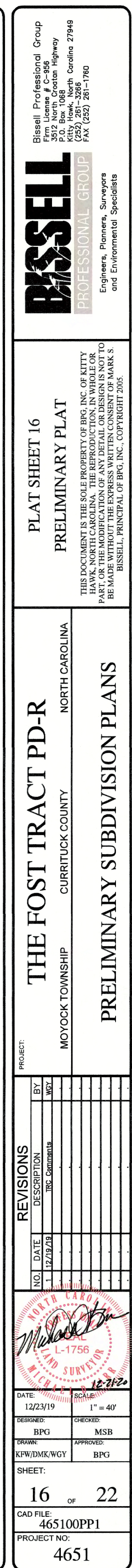
BISSELL

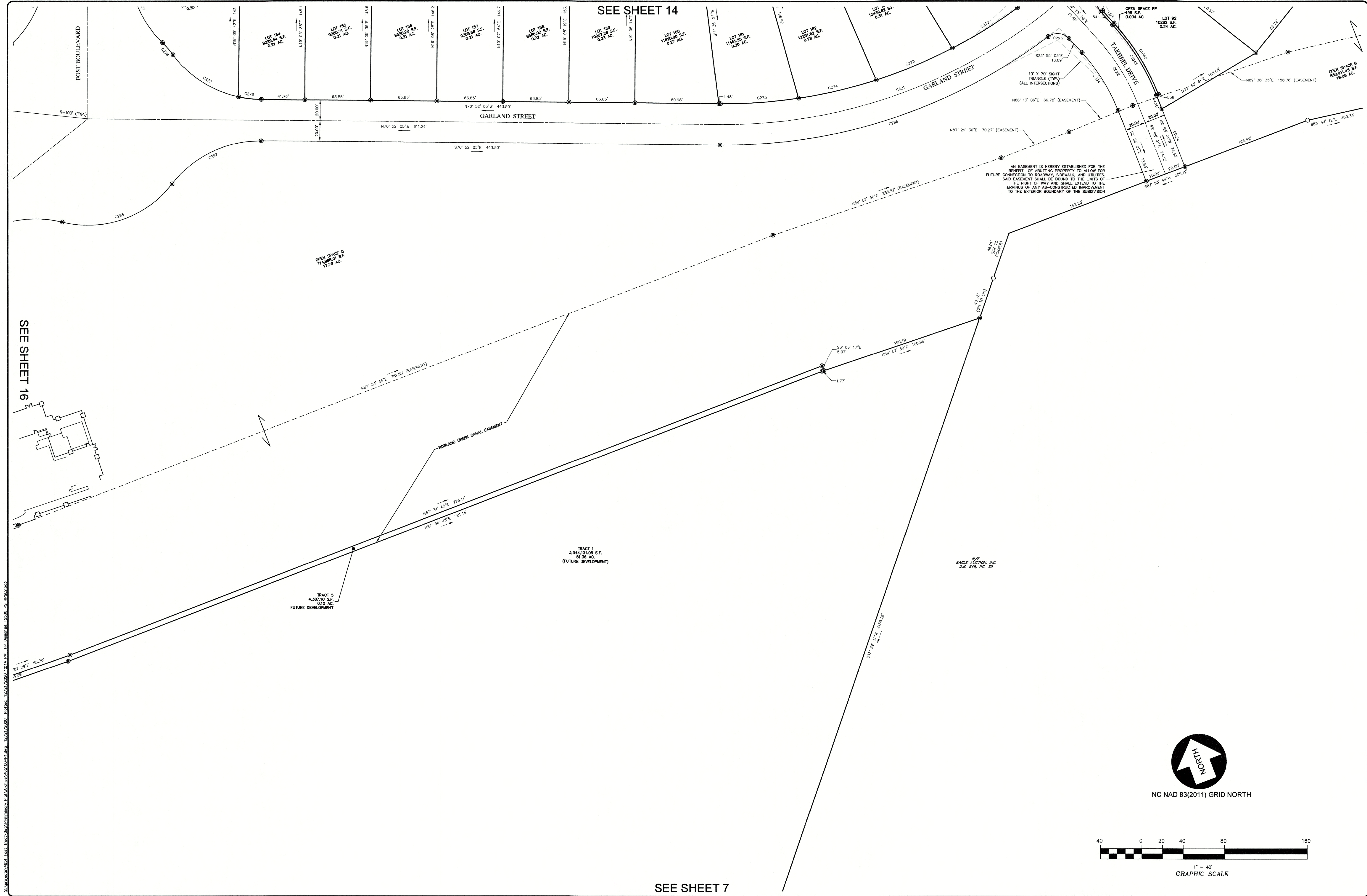
PROFESSIONAL GROUP

Engineers, Planners, Surveyors
and Environmental Specialists

Bisstell Professional Group
5312 North Carolina Highway
P.O. Box 1068 North Carolina 27849
(252) 281-3266
Fax: (252) 281-1790







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ZONING CONDITIONS:

- a. THE PHASING PLAN ATTACHED TO THIS ORDINANCE AND INCORPORATED HEREIN BY REFERENCE AS SCHEDULE B (ATTACHED) SHALL BE ADHERED TO EXCEPT THAT THE DEVELOPER MAY DETERMINE THE SEQUENCE IN WHICH PHASES ARE DEVELOPED. THE DEVELOPER SHALL PROVIDE AN ANNUAL REPORT UPDATING THE PHASING PLAN FOR THE DEVELOPMENT. NOTWITHSTANDING THE FORGOING, THE FIRST PHASE OF DEVELOPMENT SHALL NOT EXCEED SEVENTY-ONE (71) RESIDENTIAL UNITS.
- b. DEVELOPMENT ON THE PROPERTY SHALL BE CONNECTED TO A NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY ("NCDEQ") OR DEPARTMENT OF HEALTH & HUMAN SERVICES (NCDHHS) PERMITTED AND APPROVED CENTRAL WASTEWATER TREATMENT AND DISPOSAL SYSTEM, AND TO THE CURRITUCK COUNTY WATER SYSTEM. FIRE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE UDO STANDARDS AND THE N.C. FIRE CODE.
- c. THE DENSITY/INTENSITY STANDARDS, DIMENSIONAL STANDARDS AND DEVELOPMENT STANDARDS FOR DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE MASTER PLAN AND SCHEDULE A (ATTACHED), SUBJECT TO THE DEGREE OF FLEXIBILITY PROVIDED IN THESE CONDITIONS. COMMUNITY FORM AND DESIGN FOR DEVELOPMENT OF THE PROPERTY SHALL CONFORM TO THE STREETScape PERSPECTIVES, EXAMPLE MODEL HOME DRAWINGS, MIXED USE, AND CLUBHOUSE PERSPECTIVE DRAWINGS ILLUSTRATED ON THE MASTER PLAN AND AS PROVIDED AND ILLUSTRATED IN APPENDIX TO THE MASTER PLAN SUPPLEMENTAL DOCUMENT. VARIATIONS MAY BE PROVIDED AND SHALL BE PERMITTED IN COLORS, MATERIALS, AND ARCHITECTURAL DETAILING THAT ARE COMPATIBLE WITH THE DESIGN CONCEPT.
- e. TRANSPORTATION: THE MAIN SUBDIVISION ENTRANCE WILL BE CONNECTED DIRECTLY TO N.C. HIGHWAY168. DECELERATION AND ACCELERATION LANES SHALL BE PROVIDED ALONG THE PROPERTY FRONTAGE IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, ("NCDOT"), STANDARDS AND SHALL BE APPROVED BY NCDOT PRIOR TO CONSTRUCTION. CONNECTIVITY WILL BE PROVIDED TO THE EXISTING FARMLAND TO THE SOUTHEAST. IDENTIFIED WITH PARCEL IDENTIFICATION NUMBER ("PIN") 002300000070000. ROADWAYS SHALL BE LAID OUT GENERALLY AS SHOWN ON THE MASTER PLAN AND SCHEDULE C.
- f. POTABLE WATER: WATER SHALL BE SUPPLIED BY CURRITUCK COUNTY VIA AN EXISTING 12" MAIN LOCATED ON N.C. HIGHWAY 168 WHICH WILL BE TAPPED AND LOOPED THROUGH THE SITE. FIRE PROTECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH UDO STANDARD AND THE APPLICABLE INSURANCE SERVICE OFFICE STANDARDS. INDIVIDUAL LOTS AND DWELLINGS SHALL BE METERED. THE DEVELOPER SHALL MODEL THE COUNTY'S WATER SYSTEM TO DEMONSTRATE ADEQUATE WATER FLOW AND PRESSURE FOR FIGHTING FIRES WHILE MEETING THE MAXIMUM DAY DOMESTIC DEMAND.
- g. WASTEWATER: DEVELOPER INTENDS TO CONNECT TO A MAJOR UTILITY, OFF-SITE, OWNED BY CURRITUCK WATER & SEWER, LLC FOR WASTEWATER TREATMENT AND DISPOSAL. A WASTEWATER COLLECTION SYSTEM WILL BE CONSTRUCTED BY THE DEVELOPER AND MANAGED BY A WASTEWATER UTILITY. THE UTILITY WILL BE REGULATED BY THE NORTH CAROLINA UTILITIES COMMISSION.

DEVELOPMENT STANDARDS & SETBACKS			
STYLE			
	TND T.H.	TND S.F. LOT	CONV. S.F. LOT
MIN. LOT SIZE	1,800 SF	6,900 SF	9,500 SF
TYPICAL LOT SIZE	1,800 – 3,000 SF	7,000 – 9,000 SF	10,000 – 15,000 SF
MIN. LOT WIDTH	20'	35'	35'
TYPICAL LOT WIDTH	20'-25'	50'-60'	62'
FRONT SETBACK	15'	20'	20'
SIDE SETBACK	0	10'	10'
REAR SETBACK	20'	20'	25'
CORNER SIDE SETBACK	15'	15'	15'
MAXIMUM SETBACK	25'	75'	140'
MAXIMUM HEIGHT	35'	35'	35'
MAXIMUM BUILDING SIZE	16,000 SF	N/A	N/A
MAXIMUM LOT COVERAGE	100%	60%	45%

SCHEDULE C ROADWAY STANDARDS		
TYPE	R/W WIDTH	PAV' T . WIDTH (B -B)
Boulevard w/on-street parking & bike lane	100' – 130'	35' each way
Local Road w/parking both sides	60'	43'
Local Road w/parking one side	50' – 55'	35
Local Road w/no parking	40'	27'
Alley	20' – 30'	20'
Boulevard w/out bike lane	80'	16' each way

ZONING CONDITIONS CONTINUED:

- h. ON-SITE STORMWATER: THE FOLLOWING IMPROVEMENTS TO STORMWATER DRAINAGE ("IMPROVEMENTS") ON THE PROPERTY SHALL BE COMPLETED BY THE DEVELOPER PRIOR TO RECORDING THE FINAL PLAT FOR THE FIRST PHASE OF DEVELOPMENT ON THE PROPERTY:
- i. IMPROVE ROWLAND CREEK FOR THE ENTIRE LENGTH ON THE PROPERTY BY CONSTRUCTION OF A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY IS LOCATED.
- ii. INSTALL A NEW DITCH ALONG THE ENTIRE LENGTH OF THE PROPERTY'S EASTERN COMMON BOUNDARY LINE WITH RANCHLAND SUBDIVISION ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 500 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY AND A PORTION OF RANCHLAND SUBDIVISION ARE LOCATED.
- iii. THE IMPROVEMENTS SET FORTH IN THIS SECTION SHALL BE MAINTAINED BY THE DEVELOPER, OR A MANAGEMENT ASSOCIATION CREATED BY THE DEVELOPER.
- i. OFF-SITE STORMWATER: SUBJECT TO OBTAINING RIGHT OF ENTRY FROM OFF-SITE PROPERTY OWNERS, I.E. IF CONSENT OF THOSE PROPERTY OWNERS IS OBTAINED, THE FOLLOWING IMPROVEMENTS TO STORM WATER DRAINAGE SYSTEMS OUTSIDE THE BOUNDARIES OF THE PROPERTY SHALL BE COMPLETED BY THE DEVELOPER PRIOR TO RECORDING THE FINAL PLAT FOR THE FIRST PHASE OF THE DEVELOPMENT.
- i. CLEAR AND SNAG ROWLAND CREEK FROM N. C. HIGHWAY 168 TO THE EAST END OF ROWLAND CREEK ESTATES SUBDIVISION (ADJACENT TO PIN 0022000088M0000)
- ii. CLEAR AND SNAG THE RANCHLAND OUTLETS DITCH FROM THE PROPERTY'S SOUTHEAST CORNER ADJACENT TO RANCHLAND SUBDIVISION (ADJACENT TO PIN 023B000004201F2) TO THE RANCHLAND OUTLETS' INTERSECTION WITH ROWLAND CREEK, AND CONSTRUCT A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY AND RANCHLAND SUBDIVISION ARE LOCATED.
- iii. IMPROVE THE SURVEY ROAD DITCH FROM GUINEA ROAD TO THE RAILROAD (ON PIN 0022000063Y0000) AND CONSTRUCT THE DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY IS LOCATED.
- iv. IMPROVE ROWLAND CREEK FROM THE EASTERN BOUNDARY OF EAGLE CREEK (ADJACENT TO PIN 015A00000980000) TO THE WESTERN BOUNDARY OF THE PROPERTY BY CONSTRUCTING A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES SIZED FOR A 100 YEAR STORM EVENT
- v. DEVELOPER OR A MANAGEMENT ASSOCIATION SHALL CONTRIBUTE \$5,000 ANNUALLY TO THE COST OF MAINTENANCE FOR THE OFF-SITE IMPROVEMENTS SET FORTH IN THIS SECTION. SUCH FUNDS SHALL BE DEPOSITED WITHIN AN ASSOCIATION CREATED FOR THE PURPOSE OF MAINTAINING OFF-SITE IMPROVEMENTS. THE FIRST CONTRIBUTION SHALL BE MADE WITHIN 1 YEAR OF THE RECORDING OF THE FIRST PHASE OF DEVELOPMENT, AND SUBSEQUENT CONTRIBUTIONS MADE ANNUALLY FOR THE NEXT 10 YEARS.
- vi. SHOULD DEVELOPER BE UNABLE TO OBTAIN RIGHT OF ENTRY FROM ANY LANDOWNER PRIOR TO THE RECORDING OF PHASE 2, THEN DEVELOPER'S ONLY OBLIGATION UNDER THIS SECTION (I), OFF-SITE STORMWATER, SHALL BE TO PROVIDE FEE IN LIEU IN THE AMOUNT OF 115% OF THE COST OF THE OFF-SITE IMPROVEMENTS, SUCH THAT THE COUNTY MAY COMPLETE THESE IMPROVEMENTS IF AND WHEN RIGHT OF ENTRY IS OBTAINED.
- j. OVERALL STORMWATER CONDITIONS:
- i. THE DEVELOPER SHALL CONSTRUCT BERMS ALONG DITCH OUTLETS AGAINST RANCHLAND TO KEEP PROPOSED DEVELOPMENT'S RUNOFF FROM FLOODING RANCHLAND DURING A 100 YEAR STORM.
- ii. ON-SITE STORMWATER WILL BE MANAGED BY CONSTRUCTION A SERIES OF STORMWATER MANAGEMENT PONDS THAT WILL BE INTERCONNECTED AND WILL RETAIN AND SLOW-RELEASE STORMWATER PRIMARILY TO ROWLAND CREEK BOTH DIRECTLY AND INDIRECTLY. A PORTION OF THE STORMWATER WILL ALSO OVERFLOW TO AN EXISTING CULVERT THAT RUNS DIRECTLY UNDER N.C. HIGHWAY 168 NEAR THE NORTHWEST CORNER OF THE PROPERTY. THE DITCH THAT DRAINS THAT OUTLET WILL ALSO BE IMPROVED AS NECESSARY SUBJECT TO OBTAINING RIGHT OF ACCESS REFERENCED ABOVE. IN ADDITION TO MODELING AND RETAINING STORMWATER TO THE UDO AND STORMWATER MANUAL STANDARD FOR THE DIFFERENCE BETWEEN RUNOFF FROM THE 10-YEAR DEVELOPED CONDITION AND RUNOFF FROM A 2-YEAR WOODED CONDITION SITE, STORMWATER SHALL BE MODELED FOR THE 100-YEAR STORM EVENT AND PROPERTY LINE BERMS CONSTRUCTED AS NECESSARY TO MANAGE THE 100-YEAR STORM WITHOUT ADVERSELY IMPACTING NEIGHBORING PROPERTIES. STORMWATER SHALL BE CONVEYED TO ON-SITE RETENTION PONDS THROUGH A COMBINATION OF CURBS WITH INLETS, STORMWATER PIPES AND OPEN, VEGETATED SWALES.

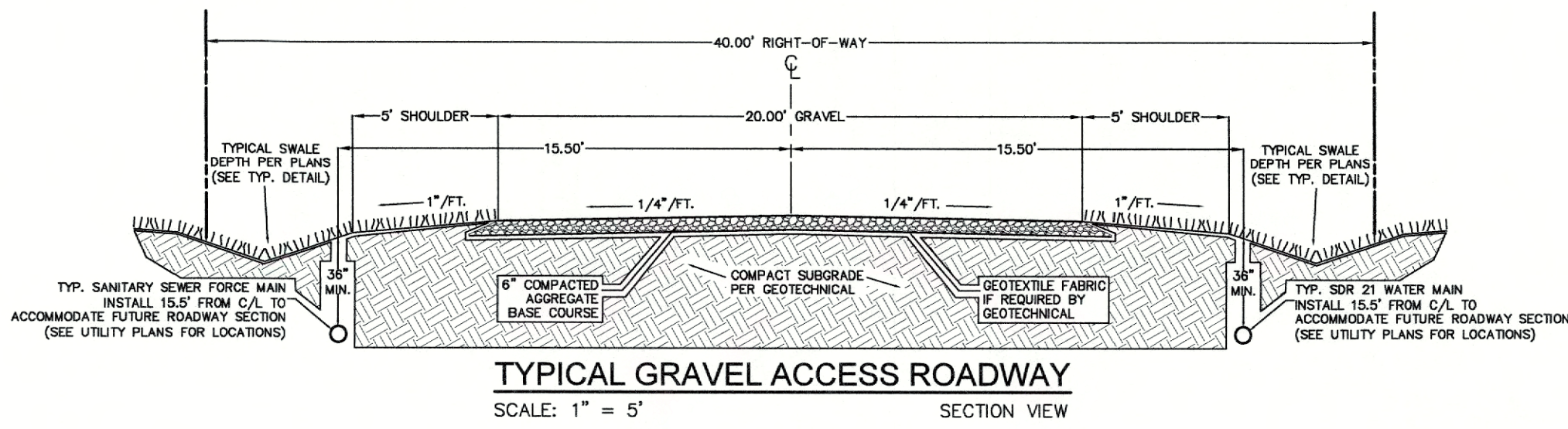
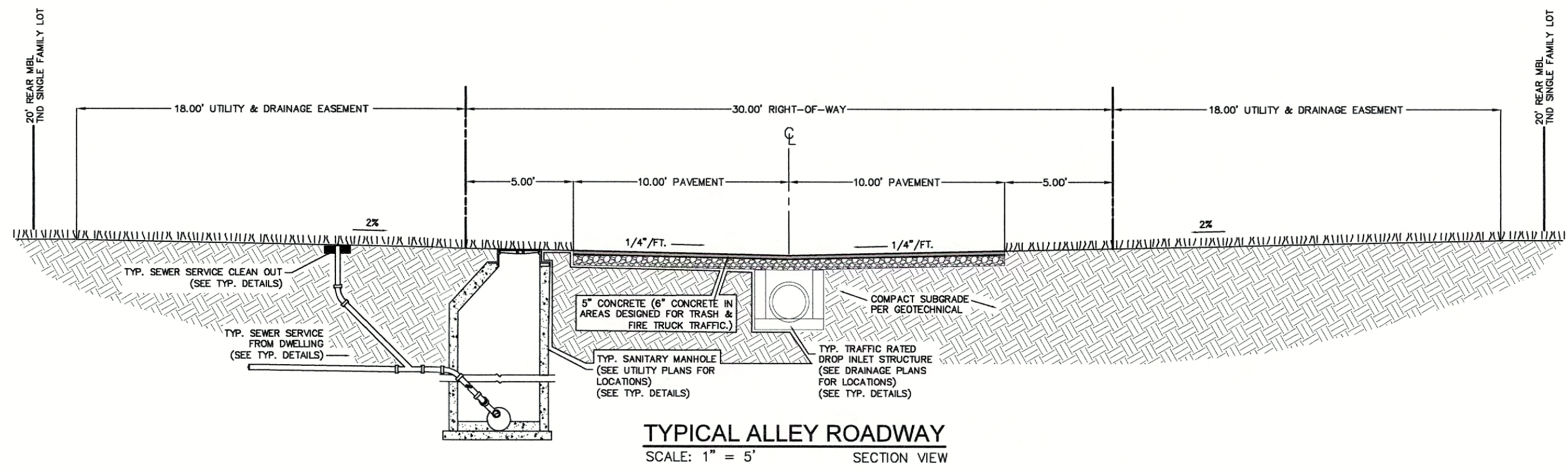
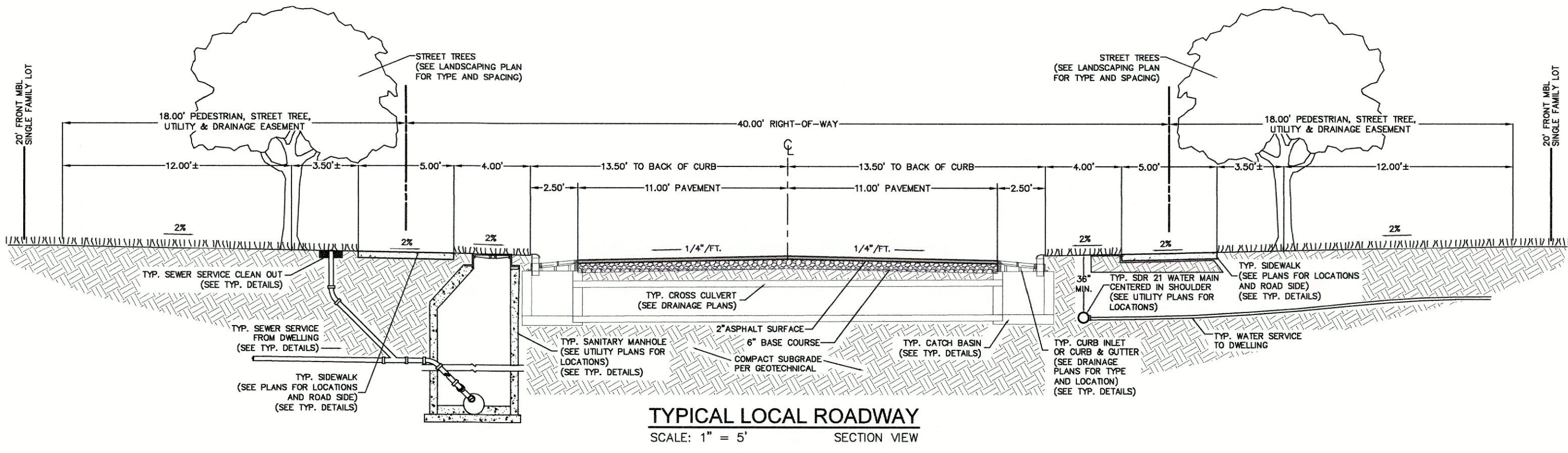
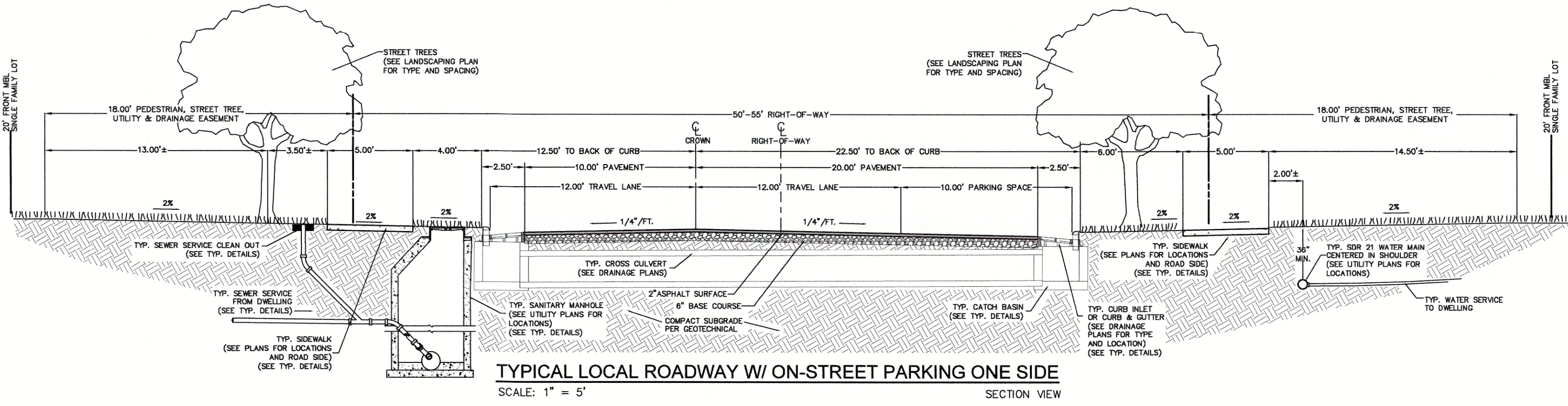
ZONING CONDITIONS CONTINUED:

- k. PERIMETER COMPATIBILITY SHALL BE ADDRESSED AS FOLLOWS:
- i. TO THE WEST: AS LONG AS THIS PROPERTY REMAINS ZONED AS IS, A 50 FOOT FARM BUFFER SHALL BE PROVIDED, FOLLOWED BY A 60 FOOT ROADWAY CORRIDOR, SO THE NEAREST EXISTING DWELLING UNIT WILL BE AT LEAST 565 FEET FROM THE EXISTING RESIDENCE ON THAT FARM. A VEGETATIVE BUFFER SHALL BE PROVIDED ALONG THAT PROPERTY LINE. IF THIS PROPERTY IS REZONED, THE BUFFER REQUIREMENTS IN THIS CONDITION SHALL NOT APPLY.
- ii. TO THE NORTH (CARATOKE HIGHWAY): A BERM SHALL BE PROVIDED ALONG THE HIGHWAY ALONG WITH LAKES FLANKING THE MAIN ENTRANCE ROAD. THE NEAREST DWELLING UNIT WILL BE SET BACK AT LEAST 200 FEET FROM THE HIGHWAY RIGHT-OF-WAY AT THE CLOSEST POINT. THE VISUAL IMPACT OF THE DEVELOPMENT SHALL BE MINIMIZED BY SETBACKS, BERMS AND LANDSCAPING.
- iii. TO THE EAST: A 50 FOOT VEGETATIVE FARM BUFFER SHALL BE PROVIDED ALONG THE EXISTING FARMLAND; TRADITIONAL SINGLE FAMILY DWELLING LOTS ARE BEING PROPOSED IN THE AREAS THAT BACK UP TO EXISTING DWELLING UNITS IN THE ADJACENT RANCHLAND SUBDIVISION. A MINIMUM 50 FOOT BUFFER SHALL BE PROVIDED BETWEEN THE DEVELOPMENTS.
- iv. TO THE SOUTH: COMPATIBLE RESIDENTIAL DEVELOPMENT IS BEING PROPOSED AND A MINIMUM 90 FOOT OPEN SPACE BUFFER IS SHOWN TO THE PROPERTY LINE. THE SOUTHERN BUFFER MAY INCLUDE A POND.
- v. LIMITED COMMERCIAL DEVELOPMENT IS LOCATED INTERIOR TO THE DEVELOPMENT AND SHALL FRONT ALONG THE LANDSCAPED ENTRANCE BOULEVARD.
- i. ENVIRONMENTAL PROTECTION AND MONITORING: WETLANDS SUBJECT TO THE JURISDICTION OF THE US ARMY CORPS OF ENGINEERS HAVE BEEN DELINEATED AND CONFIRMED BY THE CORPS OF ENGINEERS. WETLAND BUFFERS HAVE BEEN SHOWN ON THE MASTER PLAN AND THE DEVELOPMENT PLAN HONORS THOSE BUFFERS. THE ASSOCIATION DOCUMENTS (DECLARATION) WILL INCLUDE PROVISIONS THAT PROHIBIT THE FILLING OF WETLANDS AND PROHIBIT THE CLEARING OF THE BUFFER AREAS OTHER THAN INCIDENTAL TREE CUTTING AND VEGETATION REMOVAL, EXCEPT FOR MINOR IMPACTS ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES. THE ASSOCIATION, EITHER ITSELF OR VIA A MANAGEMENT ENTITY, WILL ASSUME RESPONSIBILITY FOR ONGOING OPERATION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE CURRITUCK COUNTY UDO REQUIREMENTS AND ALL NCDEQ PERMIT REQUIREMENTS. THE ASSOCIATION DUES WILL BE STRUCTURED IN A WAY THAT FUNDS ARE PROVIDED FOR THE UPKEEP OF THESE FACILITIES, AS WELL AS PERIODIC IMPROVEMENTS TO ROWLAND CREEK BOTH THROUGH THE DEVELOPMENT, AS WELL AS A CONTRIBUTION TO OFF-SITE MAINTENANCE. WIND TIDES WILL BE CONSIDERED IN THE DESIGN OF SITE GRADING, WITH STRUCTURES LOCATED ABOVE THE ELEVATION OF THE HISTORIC WIND TIDAL INFLUENCE FROM ROWLAND CREEK.

PHASE	APPROX.	DEVELOPMENT	TND T.H.	TND S.F.	CONV. S.F.	TOTAL	OTHER IMPROVEMENTS
	AREA (AC.)	INTENSITY (D.U./AC.)					
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
1B	13.0	2.23	0	11	18	29	
SUBTOT PH1	31.3	2.27	25	12	34	71	
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
6	35.0	2.26	21		58	79	
7	23.8	2.56	18		43	61	Up to 22,000 SF Neighborhood Commercial
8	18.6	1.02			19	19	
9	13.7	1.39			19	19	
Effluent & RV	8.18	0					
TOTALS	228.28	2.10	126	59	294	479	

NO.		DATE		DESCRIPTION		BY		DATE		DESCRIPTION		BY		DATE	
1		12/28/23		REV. COMMENTS		JH		12/28/23		REV. COMMENTS		JH		12/28/23	
2		11/24/20		REV. COMMENTS		JH		11/24/20		REV. COMMENTS		JH		11/24/20	
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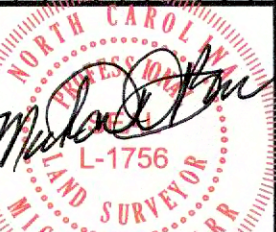
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Professional Engineer
357 North Garden Highway
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Tel: (252) 281-1790 Fax: (252) 281-1790

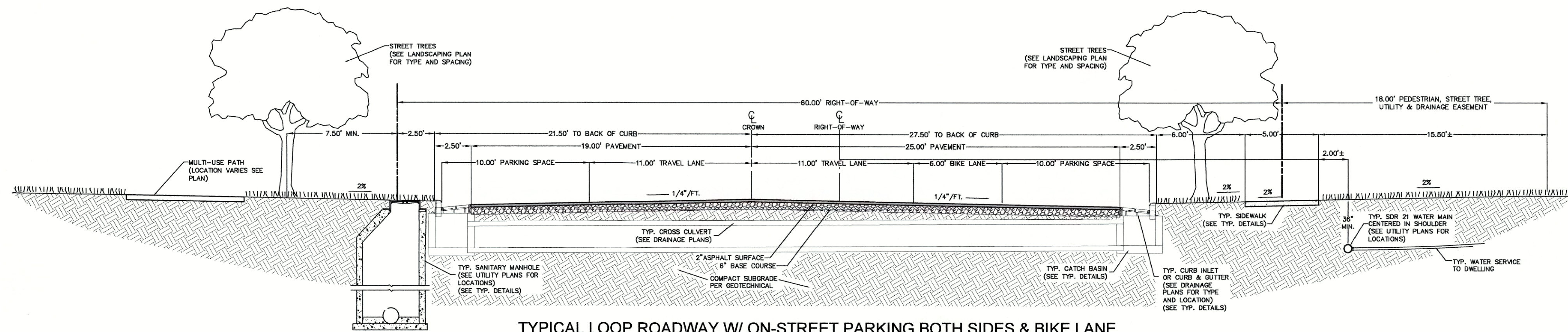
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NORTH CAROLINA
CURRITUCK COUNTY
MOYOCK TOWNSHIP
PRELIMINARY SUBDIVISION PLANS

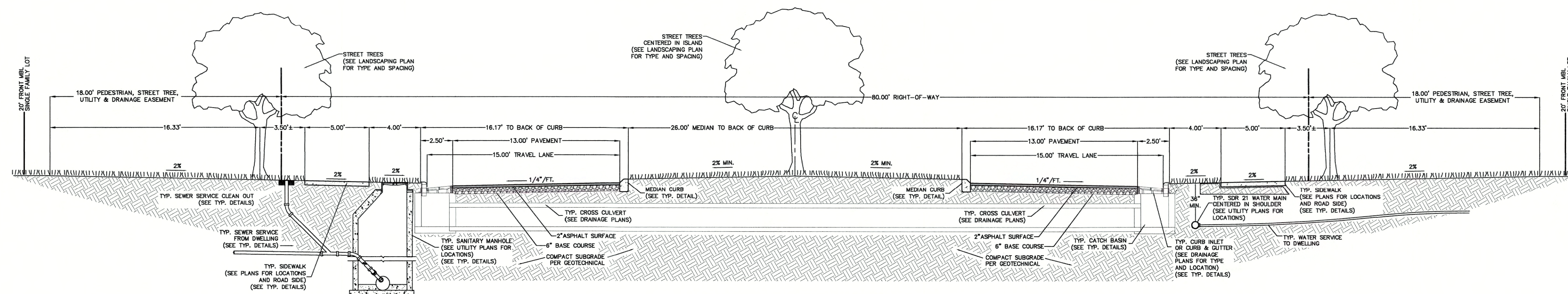
REVISIONS	
NO.	DATE
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6	12/23/19
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8	12/23/19
9	12/23/19
10	12/23/19

DATE: 12/23/19
DESIGNED: BPG
CHECKED: MSB
APPROVED: BPG
SHEET: 21 OF 22
CAD FILE: 465100PP1
PROJECT NO: 4651

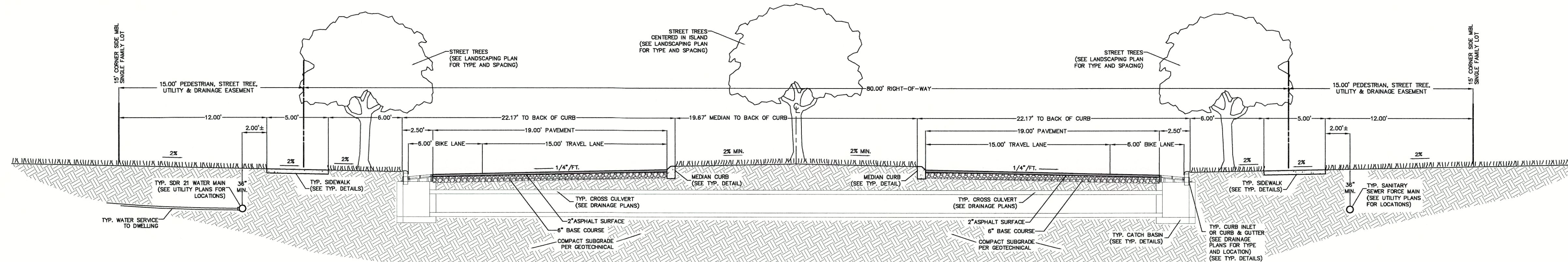




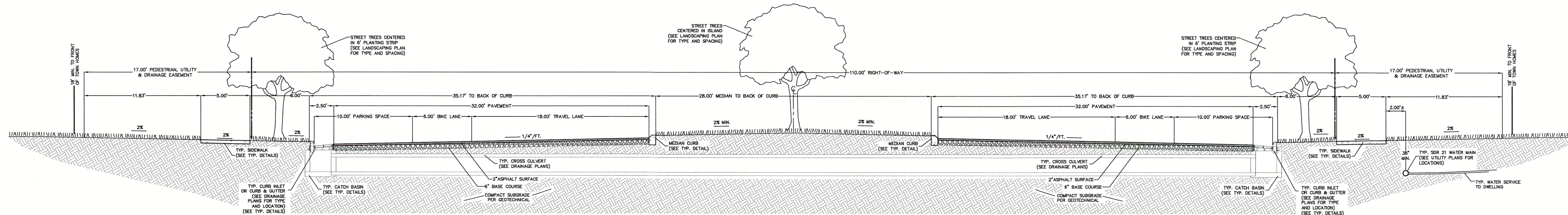
TYPICAL LOOP ROADWAY W/ ON-STREET PARKING BOTH SIDES & BIKE LANE
SCALE: 1" = 5'



TYPICAL DIVIDED BOULEVARD
SCALE: 1" = 5'



TYPICAL DIVIDED BOULEVARD W/ BIKE LANE BOTH SIDES
SCALE: 1" = 5'



TYPICAL DIVIDED BOULEVARD W/ ON-STREET PARKING & BIKE LANE BOTH SIDES
SCALE: 1" = 5'

BISELL
PROFESSIONAL GROUP
Bisell Professional Group
1700 S. 10th St., Suite 200
P.O. Box 1088
Durham, NC 27604
(919) 281-3288
FAX (919) 281-1790

DETAILS
PRELIMINARY PLANS

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THE FOST TRACT PD-R
NORTH CAROLINA
MOYOCK TOWNSHIP
CURRITUCK COUNTY

PRELIMINARY SUBDIVISION PLANS

PROJECT:

REVISIONS

NO. DATE DESCRIPTION

1 12/23/19

2 12/23/19

3 12/23/19

4 12/23/19

5 12/23/19

DATE: 12/23/19

DESIGNED: BPG

DRAWN: KFW/DMK/WOY

CHECKED: MSB

APPROVED: BPG

SHEET: 22 OF 22

CAD FILE: 465100PP1

PROJECT NO: 4651



Currituck County

Department of Planning and Community Development
 153 Courthouse Road, Suite 110
 Currituck, North Carolina 27929
 252-232-3055
 FAX 252-232-3026

MEMORANDUM

To: Mark Bissell, Bissell Professional Group
 Justin Old, Moyock Development LLC

From: Tammy D. Glave, CZO, Senior Planner

Date: December 10, 2020

Re: PB 18-23 Fost Tract – Amendment #1 - Preliminary Plat/Use Permit - Phases 1-5

The following comments have been received for Fost Tract, amendment #1 Preliminary Plat/Use Permit, Phases 1-5. To be placed on the January 18, 2021 Board of Commissioners' agenda, all outstanding **TRC comments must be addressed before 3:00 pm on December 21, 2020**. TRC comments are valid for six months.

Planning (Tammy Glave, 252-232-6025)

Reviewed with comment/Resubmit:

1. Please make sure all changes are called out in the note. For example, relocation of temporary RV/boat storage for Phase 1, increase in development area acreage, reduction in area not being developed at this time, and reduction in open space.

Currituck County Chief Building Inspector and Fire Inspections (Bill Newns, 252-232-6023)

Reviewed with comments:

1. Streets marked with no street parking signage where parking not provided.
2. Private alleys marked with Fire Lane no parking signage (discuss at TRC).
3. Mail Kiosk accessible parking spot at kiosk by clubhouse/pool area.
4. See attached TRC comments from past reviews that need to be in place as phases are being installed.

County Engineer (Eric Weatherly, 252-232-6035).

Comments not yet received.

Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed with comment:

1. Lot addresses will be assigned during Final Plat review phase.

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

Reviewed without comment.

Currituck County Soil and Stormwater (Dylan Lloyd, 252-232-3360)

Reviewed with comment:

1. Ensure all slopes and banks are stabilized during and after land disturbing activity; including but not limited to Roland Creek and stormwater ponds.
2. Ensure elevation of Keyway outfall at southern end of pond allows positive grade during 10 yr storm event.
3. Vegetative buffers are allowed to overlap drainage easement to Roland Creek, keep spacing at intervals to allow equipment access for future maintenance.

Currituck County Utilities Director (Will Rumsey, 252-232-2769)

Reviewed with comment:

1. Waterline location concerns have been addressed.

Albemarle Regional Health Services (Joe Hobbs, 252-232-6603)

Reviewed with comment:

1. NEED SEWER APPROVAL LETTER FROM NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481) AND A SEWER LAYOUT FINAL PLAN FROM CONSULTING ENGINEER.

NC Department of Transportation (David Otts, 252-453-2721)

No additional comments.

NC Division of Coastal Management (Charlan Owens, 252-264-3901)

Reviewed with comment:

1. Concerning stormwater management on Rowland Creek, areas downstream, north and east of the railroad track, are within the Public Trust Area of Environmental Concern (AEC) and have a 30 foot shoreline AEC. Please contact Robert Corbett, DCM Field Representative, before beginning work in and along the creek. He can be reached at 252-264-3901.

US Post Office (Local)

Please contact the post office regarding method of mail delivery.

Mediacom (252-482-5583)

See attached letter.

The following items are necessary for resubmittal:

- 3 - full size copies of revised plans
- 1 – 8.5 x 11" reduced copy
- 1- PDF digital copy of all revised or new documents and plans.

A use permit hearing is an evidentiary hearing where the Board of Commissioners must make a Quasi-Judicial Decision.

- An evidentiary hearing will be held for the Board of Commissioners to gather competent, material and substantial evidence to establish the facts of the case.
- All testimony is made under oath.
- The applicant or opposing parties shall establish written findings of fact and conclusions of law.
- Parties with standing may participate fully in the evidentiary hearing, including presenting evidence, cross-examining witnesses, objecting to evidence, and making legal arguments.
- Non-parties may present competent, material, and substantial evidence that is not repetitive.

Typical Use Permit (Quasi-Judicial) Hearing at BOC

- Swearing in of witnesses/speakers
- Presentation by County Staff on Application
- Required Presentation by Applicant or Authorized Agent (20-25 minutes)
 - Applicant to Present Findings of Fact
- Public Comment Period (typically 3 minutes each)
- Applicant Rebuttal (typically 5 minutes)
- BOC Deliberation & Decision



TRC Comments

- Needed Fire Flow for construction is determined by the ISO method.
- No new construction can occur that creates a Needed Fire Flow greater than the available fire flow on site.
- A fire hydrant must be within 400' of all exterior portions of the structure, 600' if the structure has NFPA 13 sprinkler system installed.
- Fences/barriers must not impede the fire hydrant access to site.
- Gates/entrances to sites must be 20' clear width.
- The fire apparatus must be able to come within 150' of all exterior portions of the structures, 200' if the structure has NFPA 13 sprinkler system installed.
- Fire apparatus must not have to back up on an access road greater than 150' without a turnaround. The backing of 150' should be measured in a straight line.
- Fire apparatus access must be at least 20' wide 13' 6" in height. Maximum slope shall not exceed 10%. Trees and other overhead items cannot interfere with clear access path for emergency response.
- All portions of the fire apparatus access must be capable of 75,000lbs under all weather conditions.
- By general statute parking is not allowed within 15' of a fire hydrant. (FDC)
- FDC connection must be a minimum of 25' away from structure and within 100' of fire hydrant.
- FDC's must have signage in 4" letters (red sign with white letters)
- FDC's 5" minimum Stortz connection or 2-2.5" nst.
- Knox Box provided on buildings (Coordinate location with the local VFD)
- Mark fire hydrants locations in the center of road/street with blue reflectors.
- No street parking signage at street entrances, cul de sacs, private alleys (where alley is part of fire access) No parking signage at fire hydrants.

Subdivisions

- Fire hydrants must be within 500' of all road frontages.
- Cul de sacs must be 96' in width curb to curb at the center of the cul de sac.
- No Parking signs placed throughout at within 50' of road intersections and at cul de sacs.
- Mark fire hydrants locations in the center of road/street with blue reflectors, install no parking signage at hydrant locations.
- Dwellings greater than 4800 sq. ft. and/or greater than 2 stories will be calculated using the ISO commercial method.
- Dwellings 4800 sq. ft. and no greater than 2 stories may use setbacks as indicated in the ISO method to determine Needed Fire Flow.
- 10-acre subdivisions are required to meet the NC Fire Code for water supply and fire apparatus access.

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0-150	20	None required
151-500	20	120-foot Hammerhead, 60-foot "Y" or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
501-750	26	120-foot Hammerhead, 60-foot "Y" or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
Over 750		Special approval required

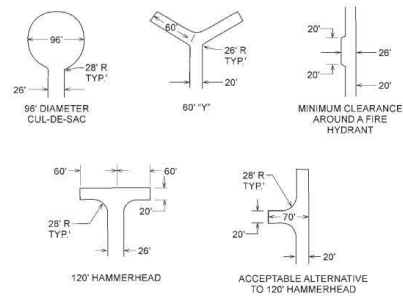


FIGURE D103.1
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

CHAPTER 7

Other Considerations for Determining Needed Fire Flow (NFF)

- When the subject building or exposure buildings have a wood-shingle roof covering and ISO determines that the roof can contribute to spreading fires, ISO adds 500 gpm to the NFF.
- The maximum NFF is 12,000 gpm. The minimum NFF is 500 gpm.
- ISO rounds the final calculation of NFF to the nearest 250 gpm if less than 2,500 gpm and to the nearest 500 gpm if greater than 2,500 gpm.
- For 1- and 2-family dwellings not exceeding 2 stories in height, ISO uses the following needed fire flows for a duration of 1 hour:

DISTANCE BETWEEN BUILDINGS / More	NEEDED FIRE FLOW
than 30 feet	500 gpm
21 – 30 feet	750 gpm
11 – 20 feet	1,000 gpm
0 – 10 feet	1,500 gpm

Inspection Comments

- Cluster mailbox units must be accessible (accessible route, reach ranges)
- Accessible routes must be provided to all amenities such as pools, boardwalks, piers, docks, and other amenities within the development. Plans must be designed to the 2018 NC Building Code design loads and structures must meet ADA requirements.
- Curb cuts at vehicular traffic areas and pedestrian crossings must be ADA compliant and have detectable warning devices installed.
- Soil engineering reports for footings will be required for lots that have fill placed on them where the footings do not rest at a minimum of 12" below grade on undisturbed natural soil. Site preparation, the area within the foundation walls shall have all vegetation, topsoil and foreign material removed.
- Compaction testing will be required for slabs and thickened footing areas that exceed 24" of fill. Fill material shall be free of vegetation and foreign material. The fill shall be compacted to ensure uniform support of the slab, and except where *approved*, the fill depths shall not exceed 24 inches for clean sand or gravel and 8 inches (203 mm) for earth.

Street signage examples



**Kim Mason, NC Area Director**
kmason@mediacomcc.com

216 B Shannonhouse Road

Edenton NC, 27932

Edenton: 252-482-5583

Plymouth: 252-793-2491

Mobile: 252-497-0328

RE: New Build & Development

Dear Development manager;

As you know the key need for all homes in this 21st Century is a solid internet connection, be it for business, education or entertainment, the public demand is here.

With this in mind, as you plan for your development and build out, we would like to encourage you to reach out to us, as you do for other essential utilities. It is most economical and reasonable for you to work with us and have this valuable infrastructure in advance of selling and building the homes. Any build out costs can easily be recouped as the lots are developed and make your neighborhoods more appealing to families and professionals.

We invite you to partner with us and contact us locally. We will process a ROI for your location to determine partnership feasibility and estimated cost to ensure your development has access to the best internet services available.

Our key contacts are, Kim Mason, Director for North Carolina – information above and our construction coordinator Nathaniel Harris at 252- 793-5256 or 252-339-9375.

Mediacom launched 1-Gig broadband speeds in the following areas of North Carolina and operates customer service offices in Edenton and Plymouth.

Bertie County	Martin County	Chowan County	Perquimans County
Colerain	Jamesville	Arrowhead / Chowan Beach	Hertford
Kelford	Northampton County	Edenton	Winfall
Lewiston	Conway	Currituck County	Tyrrell County
Powellsville	Galatia	Barco	Columbia
Roxobel	Jackson	Currituck	Washington County
Windsor	Rich Square	Grandy	Creswell
Camden County	Seaboard	Moyock	Plymouth
Camden	Severn	Point Harbor	Roper
Shiloh	Woodland	Poplar Branch	
South Mills		Tulls Bay	

About Mediacom Communications

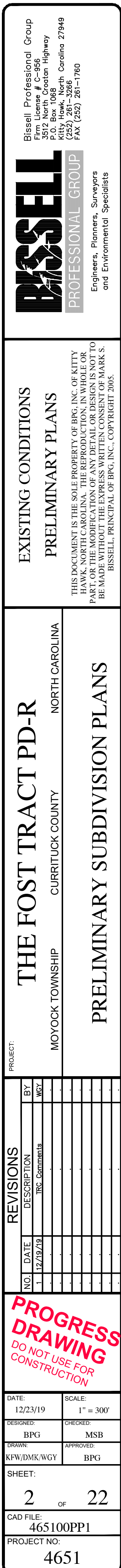
Mediacom Communications Corporation is the 5th largest cable operator in the U.S. serving over 1.3 million customers in smaller markets primarily in the Midwest and Southeast. Mediacom offers a wide array of information, communications and entertainment services to households and businesses, including video, high-speed data, phone, and home security and automation. Through Mediacom Business, the company provides innovative broadband solutions to commercial and public sector customers of all sizes and sells advertising and production services under the OnMedia brand. More information about Mediacom is available at www.mediacomcable.com.

We look forward to partnering with you to ensure your projects are successful and your development has the best services available for your buyers.

Best regards,

Kim Mason

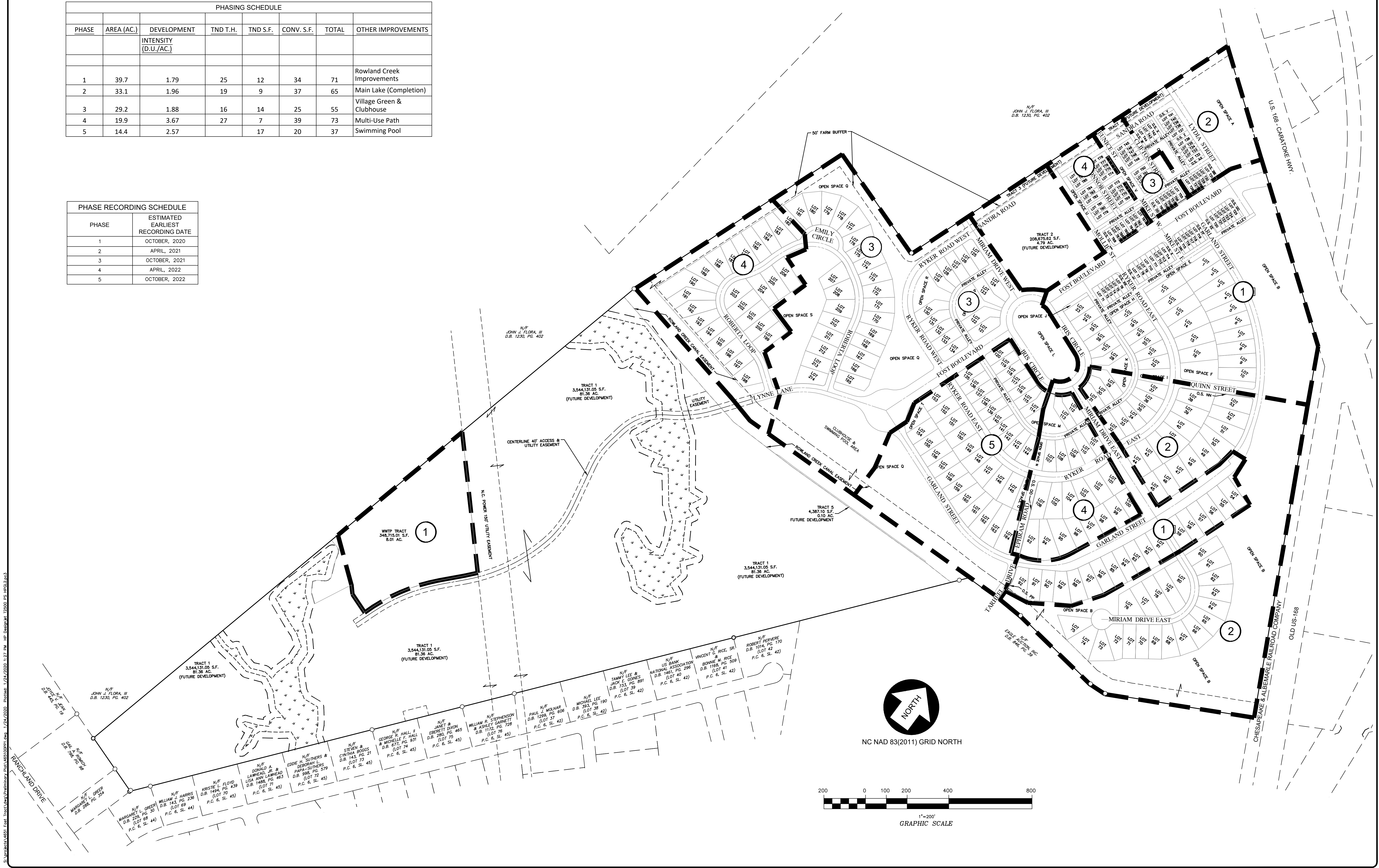
Operations Director, North Carolina



PHASING SCHEDULE							
PHASE	AREA (AC.)	DEVELOPMENT INTENSITY (D.U./AC.)	TND T.H.	TND S.F.	CONV. S.F.	TOTAL	OTHER IMPROVEMENTS
1	39.7	1.79	25	12	34	71	Rowland Creek Improvements
2	33.1	1.96	19	9	37	65	Main Lake (Completion)
3	29.2	1.88	16	14	25	55	Village Green & Clubhouse
4	19.9	3.67	27	7	39	73	Multi-Use Path
5	14.4	2.57		17	20	37	Swimming Pool

PHASE RECORDING SCHEDULE	
PHASE	ESTIMATED EARLIEST RECORDING DATE
1	OCTOBER, 2020
2	APRIL, 2021
3	OCTOBER, 2021
4	APRIL, 2022
5	OCTOBER, 2022

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REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK.
1	12/23/19	Initial Comments		
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10				

DATE: 12/23/19

DESIGNED: BPG

DRAWN: KFW/DMK/WGY

SHEET: 3

SCALE: 1" = 200'

CHECKED: MSB

APPROVED: BPG

CAD FILE: 465100PP1

PROJECT NO: 4651

PROJECT: THE FOST TRACT PD-R

MOYOCK TOWNSHIP

CURRITUCK COUNTY

NORTH CAROLINA

PHASING OVERVIEW

PRELIMINARY PLANS

PROGRESS DRAWING

DO NOT USE FOR CONSTRUCTION

4651

22

Bissell Professional Group

Firm License # C-565

P.O. Box 1058

10000 Highway 2749

Charlotte, North Carolina 27249

TEL (704) 261-1760

FAX (704) 261-1760

BISSELL

PROFESSIONAL GROUP

Engineers, Planners, Surveyors

and Environmental Specialists

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BISSELL PROFESSIONAL GROUP, INC.

10000 HIGHWAY 2749, SUITE 100

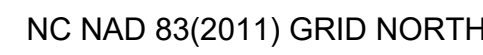
CHARLOTTE, NC 27249

TEL (704) 261-1760

FAX (704) 261-1760

Attachment: 4 APPROVED Fost Prelim Plat P 1-S (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

Packet Pg. 87



BOAT AND RV STORAGE AREA
(48 TOTAL 20'X40' SPACES)
CONSTRUCTION MAY PHASE WITH
PLATTING OF LOTS AS REQUIRED
TO BE LANDSCAPED PER
CURRITUCK COUNTY UDO 5.2.5.

WASTEWATER TREATMENT
& DISPOSAL AREA
(FINAL DESIGN WITH
CONSTRUCTION DRAWINGS)

N.C. POWER 150' UTILITY EASEMENT

ACCESS ROAD -
DRAINAGE EASEMENT TO
ALLOW FOR THE CONNECTION OF
THE DRAINAGE DITCH COMING FROM
RANCHLAND SUBDIVISION

ALONG THIS ENTIRE PROPERTY LINE, EITHER THE EXISTING DITCH IS
TO BE IMPROVED OR A NEW DITCH IS TO BE INSTALLED

SEE TYPICAL ROADWAY
SECTIONS ON DETAIL SHEETS

FUTURE CONNECTION ROAD
TO BE CONSTRUCTED AT
PLAT PHASE 3 OR SOONER

FUTURE CONNECTION ROAD
TO BE CONSTRUCTED AT
PLAT PHASE 2 OR SOONER

U.S. 168 - CARATOKE HWY.

NC HWY 168
TURN LANE
IMPROVEMENTS
AS APPROVED
BY NCDOT

SHADED AREA DENOTES
LOCATION OF PROPOSED
RECREATION & PARKLAND
DEDICATION. AREA INCLUDES
3.87 ACRES OF WATER
FEATURE AND 3.89 ACRES
OF UPLANDS.

BISSELL

PROFESSIONAL GROUP

Bissell Professional Group
Firm License # 0-956
10000 Moravian Highway
P.O. Box 1069
Kitty Hawk, North Carolina 27949
(252) 261-3266
FAX (252) 261-1760

HARDSCAPING OVERVIEW

PRELIMINARY PLANS

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THE FOST TRACT PD-R

PRELIMINARY SUBDIVISION PLANS

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**PROGRESS
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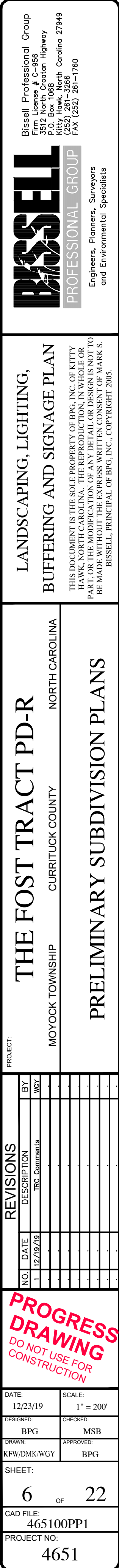
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DRAWN: KFW/DMK/WGY	APPROVED: BPG

SHEET:
5 OF 22

CAD FILE:
465100PP1

PROJECT NO:
4651

Attachment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

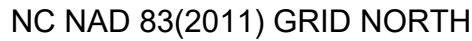


WWTP TRACT LINE & CURVE TABLES		
LINE	LENGTH	BEARING
L36	35.99	S17° 50' 45"W
L37	105.01	S71° 49' 03"E
L38	46.00	S44° 25' 47"E
L39	199.18	N24° 42' 48"E
L40	57.23	S53° 20' 44"E
L41	53.56	S31° 45' 03"E
L42	24.99	S41° 10' 13"W
L43	33.85	S56° 58' 32"W
L44	70.90	S23° 57' 03"E
L45	44.13	S17° 37' 59"E
L46	42.83	S77° 47' 32"E

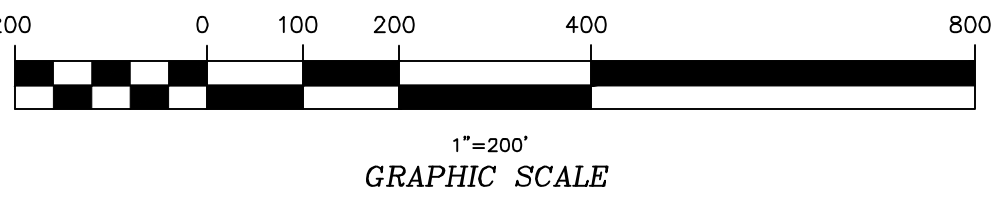
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
CE682	230.2	800.0	228.86	N46° 26' 15"E	21°59'22"
CE683	238.88	280.0	231.70	S32° 59' 30"W	48°52'51"
CE684	150.29	400.0	149.41	S12° 18' 45"E	21°31'34"
CE685	218.29	500.0	216.56	N0° 28' 11"E	25°00'50"
CE686	426.61	828.0	421.91	N26° 47' 51"E	29°31'13"
CE687	348.29	844.0	346.80	S29° 42' 06"W	32°42'43"
CE688	222.91	640.0	221.78	N27° 49' 25"E	19°57'20"
CE689	554.90	966.50	547.31	S21° 21' 13"W	32°53'44"
CE690	119.41	400.0	118.97	N31° 27' 29"E	17°06'17"
CE691	175.13	125.0	161.15	N62° 08' 47"E	8°01'19"

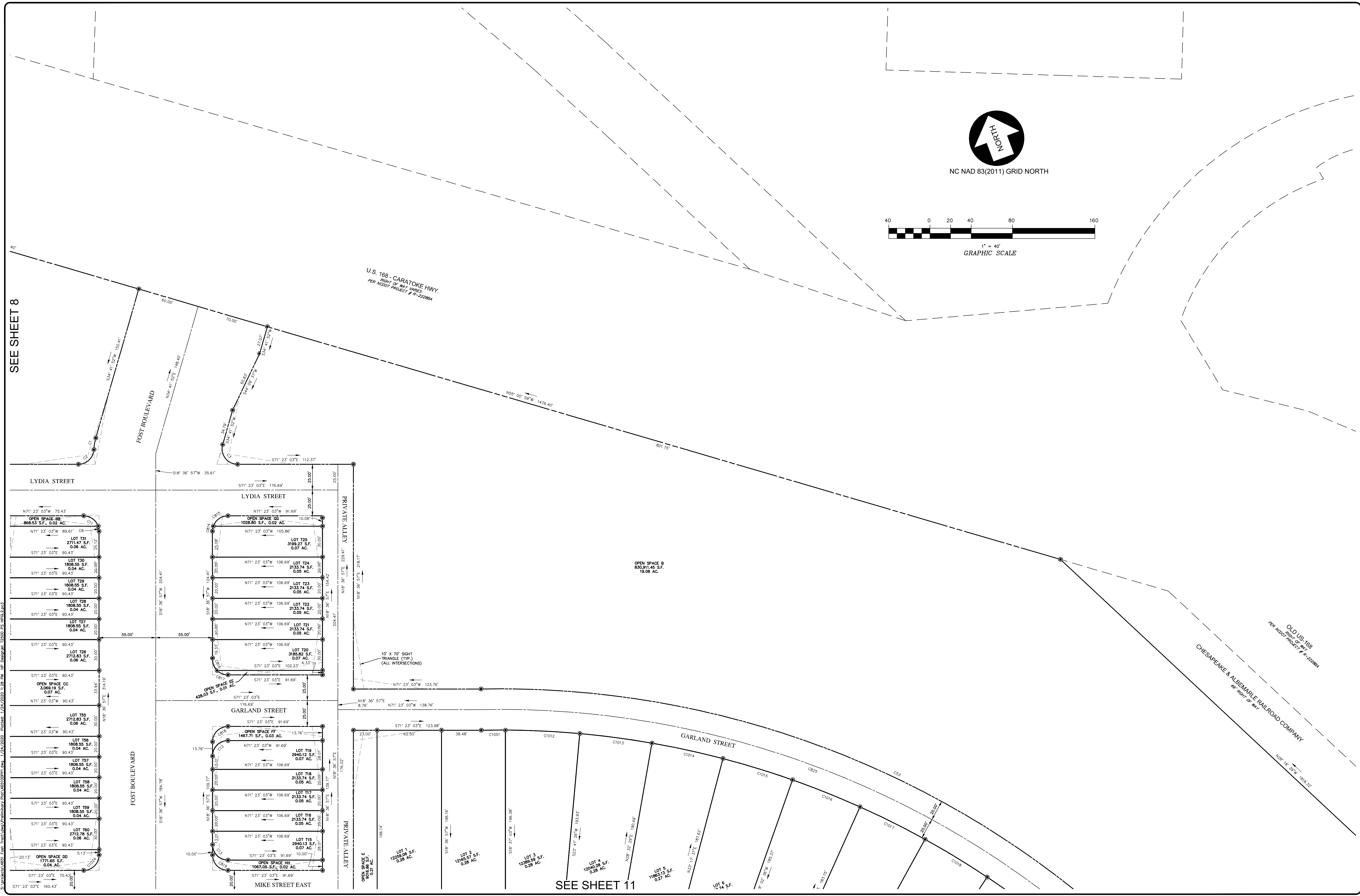
CENTERLINE OF ACCESS & UTILITY EASEMENT LINE & CURVE TABLES		
LINE	LENGTH	BEARING
LE29	187.30	S35° 26' 34"W
LE30	74.34	S8° 33' 05"W
LE31	213.69	S12° 58' 36"E
LE32	126.11	S41° 33' 27"W
LE33	103.18	S17° 50' 45"W
LE34	37.81	S22° 00' 38"W
LE35	103.29	N77° 43' 03"W

		UTILITY EASEMENT LINE & CURVE TABLES			
		LINE	LENGTH	BEARING	
		LE23	160.59	S35° 26'	34"W
		LE25	65.59	N53° 16'	57"W
		LE26	106.92	N34° 41'	17"E
		LE27	26.92	S35° 26'	34"W
		LE28	87.73	S79° 49'	24"E
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
CE680	119.96	580.00	119.74	N41° 22'	04"E
CE681	102.64	580.00	102.51	S52° 21'	45"W

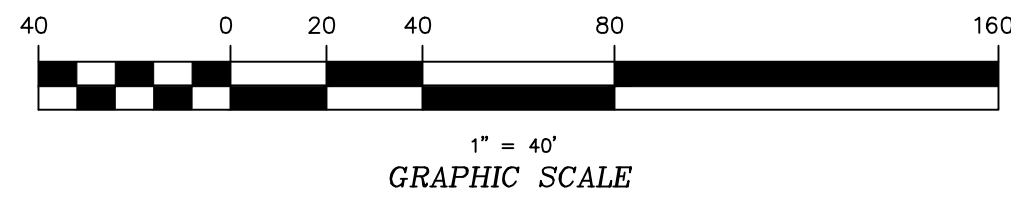


AN EASEMENT IS HEREBY ESTABLISHED FOR THE
BENEFIT OF ABUTTING PROPERTY TO ALLOW FOR
FUTURE CONNECTION TO ROADWAY, SIDEWALK, AND UTILITIES.
SAID EASEMENT SHALL BE BOUND TO THE LIMITS OF
THE RIGHT OF WAY AND SHALL EXTEND TO THE
TERMINUS OF ANY AS-CONSTRUCTED IMPROVEMENT
TO THE EXTERIOR BOUNDARY OF THE SUBDIVISION

Attachment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

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NC NAD 83(2011) GRID NORTH

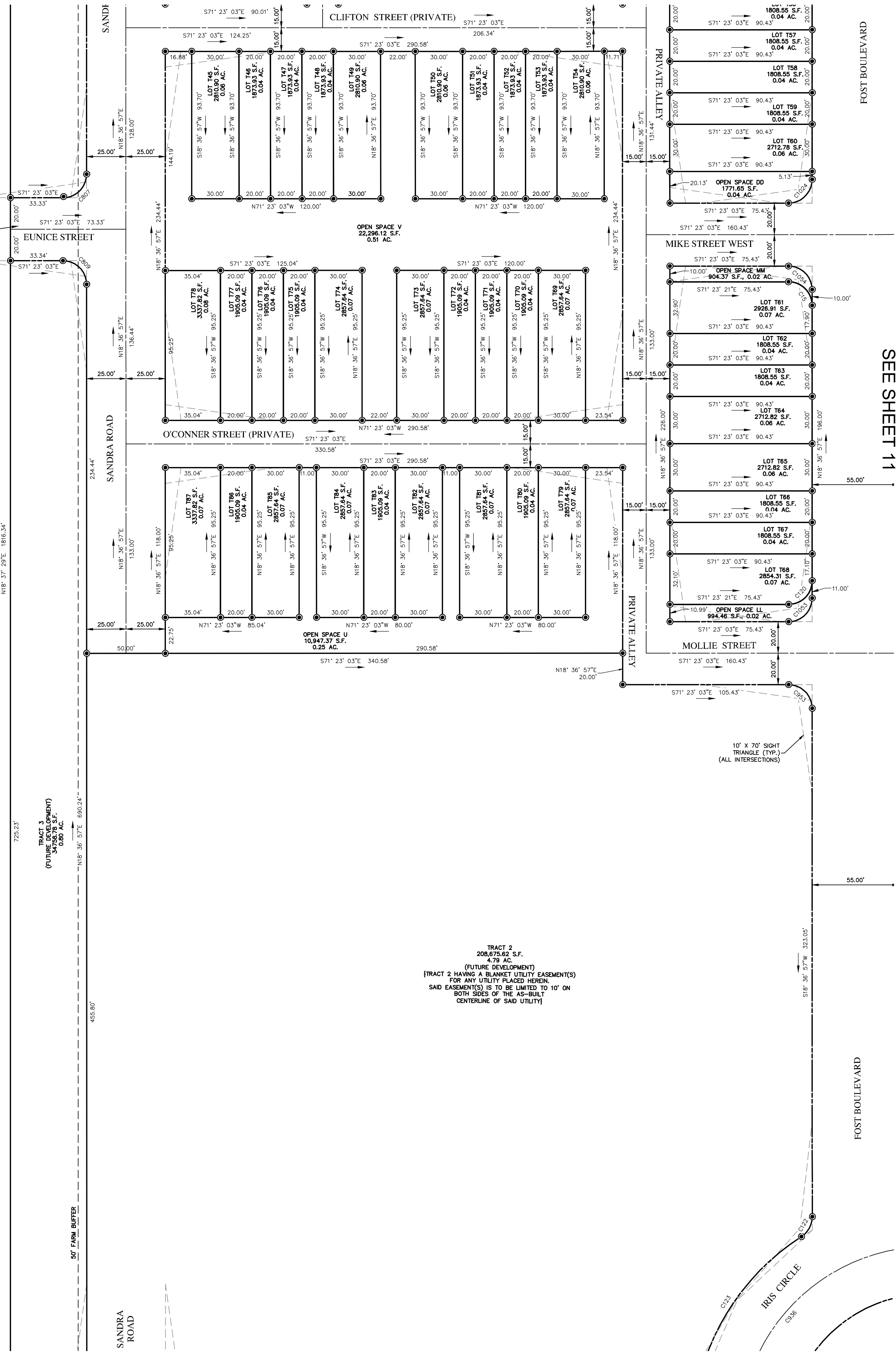
1" = 40'
GRAPHIC SCALE

AN EASEMENT IS HEREBY ESTABLISHED FOR THE BENEFIT OF ADJUTING PROPERTY TO ALLOW FOR FUTURE CONNECTION TO ROADWAY, SIDEWALK, AND UTILITIES. SAID EASEMENT SHALL BE BOUND TO THE LIMITS OF THE RIGHT OF WAY AND SHALL EXTEND TO THE TERMINUS OF ANY AS-CONSTRUCTED IMPROVEMENT TO THE EXTERIOR BOUNDARY OF THE SUBDIVISION

N/E
JOHN J. FLORA, III
D.B. 1236, PG. 402

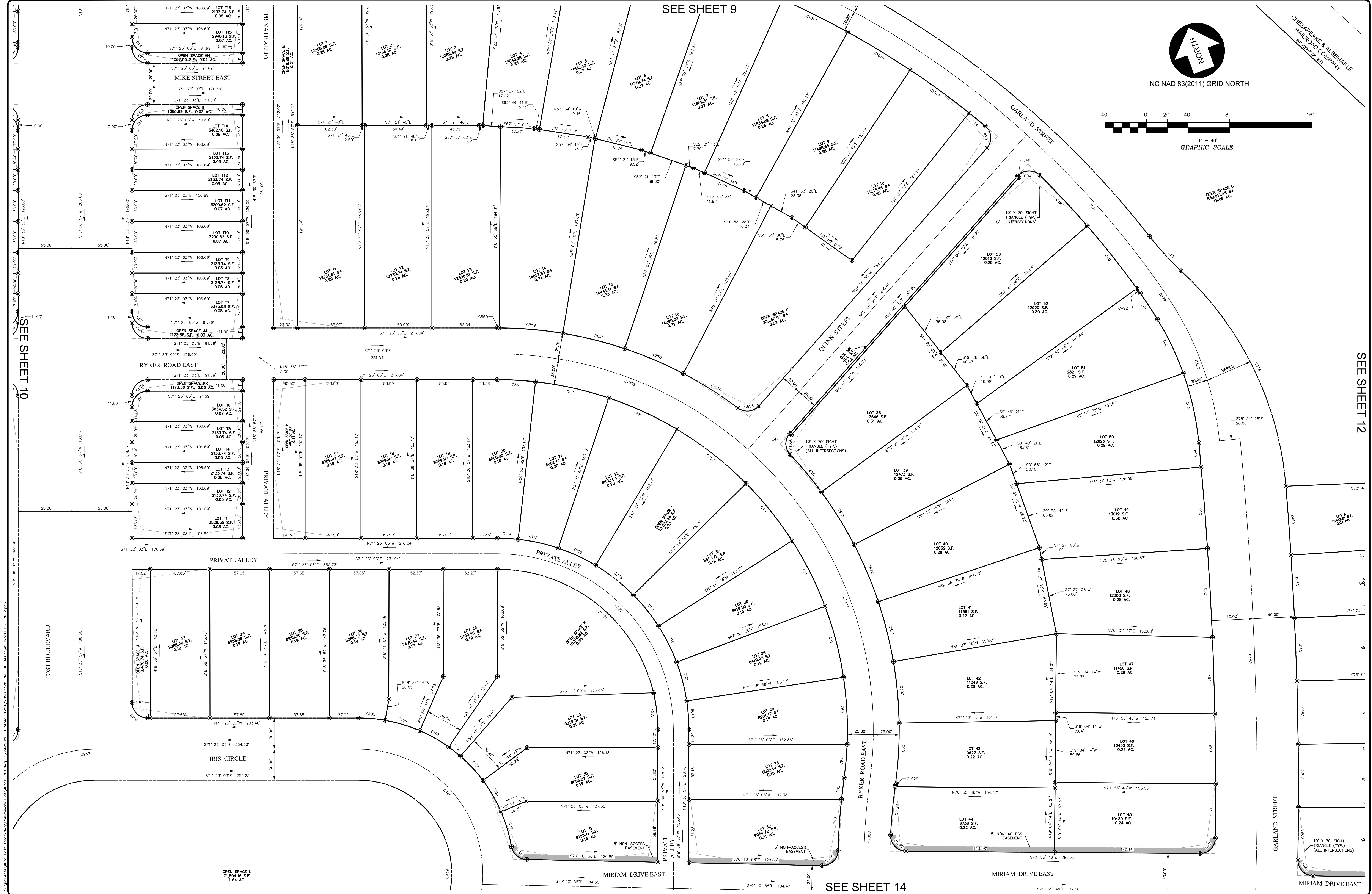
SEE SHEET 8

SEE SHEET 13



SEE SHEET 11

THE FOST TRACT PD-R			NORTH CAROLINA		
PROJECT:			CURRITUCK COUNTY		
BY:			MOYOCK TOWNSHIP		
DATE:			12/23/19		
DESCRIPTION:			PRELIMINARY PLAT		
BY:			BPG		
DATE:			12/23/19		
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Bissell Professional Group
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Fax: (919) 236-1760

PLAT SHEET 11
PRELIMINARY PLAT

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THE FOST TRACT PD-R
NORTH CAROLINA
CURRITUCK COUNTY
MOYOCK TOWNSHIP

PRELIMINARY SUBDIVISION PLANS

REVISIONS	
NO.	DATE
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PROGRESS DRAWING
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DATE: 12/23/19
DESIGNED: BPG
CHECKED: MSB
DRAWN: KPM/DWK/WGY
APPROVED: BPG

SHEET: 11 OF 22
CAD FILE: 465100PP1
PROJECT NO: 4651

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**PROGRESS
DRAWING**
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CONSTRUCTION

CAD FILE:	465100PP1
PROJECT NO:	4651

PLAT SHEET 12

PRELIMINARY PLAT

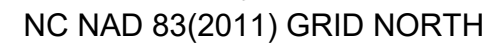
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SUBJECT: **THE FOST TRACT PD-R**
 MOYOCK TOWNSHIP CURRENLUCK COUNTY NORTH CAROLINA
PRELIMINARY SUBDIVISION PLANS

BISSELL
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and Environmental Specialists

Bissell Professional Group
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2501 North Carolina Highway
P.O. Box 1066
Kitty Hawk, North Carolina 27949
Tel. (252) 261-1760
Fax. (252) 261-1760



AN EASEMENT IS HEREBY ESTABLISHED FOR THE
BENEFIT OF ABUTTING PROPERTY TO ALLOW FOR
FUTURE CONNECTION TO ROADWAY, SIDEWALK, AND UTILITIES.
SAID EASEMENT SHALL BE BOUND TO THE LIMITS OF
THE RIGHT OF WAY AND SHALL EXTEND TO THE
TERMINUS OF ANY AS-CONSTRUCTED IMPROVEMENT
TO THE EXTERIOR BOUNDARY OF THE SUBDIVISION



SEE SHEET 174

THE FOST TRACT PD-R

ROCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PRELIMINARY SUBDIVISION PLANS

PLAT SHEET 13
PRELIMINARY PLAT

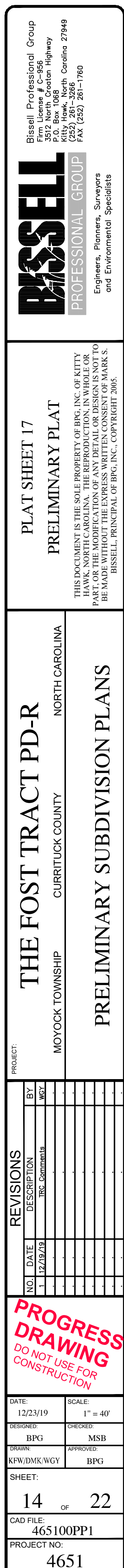
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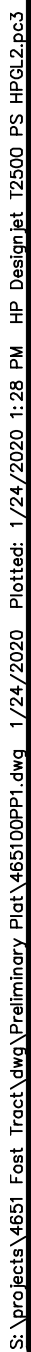
PRELIMINARY SUBDIVISION PLANS

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FAX (252) 261-1760

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DESIGNED: BPG	CHECKED: MSB
DRAWN: KFW/DMK/WGY	APPROVED: BPG
SHEET: 15 OF 22	
CAD FILE: 465100PP1	
PROJECT NO: 4651	

PLAT SHEET 15

PRELIMINARY PLAT

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THE FOST TRACT PD-R
PRELIMINARY SUBDIVISION PLANS

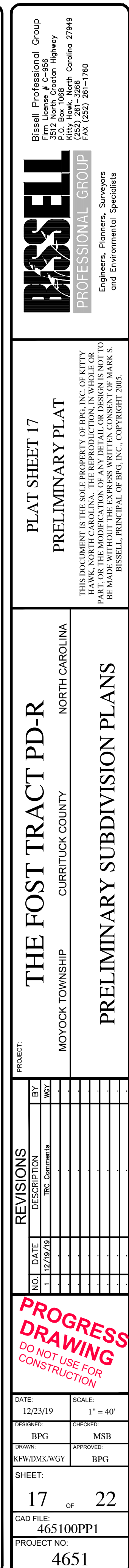
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Kitty Hawk, North Carolina 27949
Phone (252) 281-1780
Fax (252) 281-1780

Attachment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

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CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	11.52	50.00	11.50	S28° 05' 45"W	13°12'15"
C2	22.81	15.00	20.67	N65° 03' 17"E	87°07'19"
C3	27.77	15.00	23.97	S18° 20' 36"E	106°04'56"
C8	4.97	15.00	4.94	N9° 07' 53"E	18°58'07"
C9	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C11	18.60	15.00	17.43	N35° 52' 07"W	71°01'53"
C12	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C13	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"
C14	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C15	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"
C44	42.71	851.01	42.70	N33° 02' 30"W	2°52'31"
C45	24.01	15.00	21.53	N14° 15' 10"E	91°42'49"
C52	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"
C53	829.54	891.01	799.90	N45° 56' 28"W	53°20'35"
C55	24.37	15.00	21.78	N73° 20' 51"W	93°05'08"
C56	45.14	280.00	45.09	S23° 53' 14"E	91°4'09"
C59	66.81	851.01	66.79	N24° 33' 21"W	4°29'53"
C60	77.27	851.01	77.24	N19° 42' 20"W	5°12'08"
C61	30.10	451.25	30.09	N14° 48' 54"W	3°49'17"
C62	57.98	280.00	57.88	N6° 58' 20"W	11°51'51"
C63	69.06	280.00	68.89	N6° 01' 34"E	14°07'57"
C64	23.59	3485.99	23.59	N13° 17' 10"E	0°23'16"
C65	78.82	3485.99	78.82	N14° 07' 40"E	11°7'44"
C66	86.08	3485.99	86.08	N15° 28' 59"E	1°24'54"
C67	74.05	3485.99	74.04	N16° 47' 56"E	11°3'01"
C68	67.52	3485.99	67.52	N17° 57' 44"E	11°06'35"
C71	52.61	3486.00	52.61	N18° 56' 58"E	0°51'53"
C72	23.48	15.00	21.16	N64° 13' 39"E	89°41'10"
C85	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C86	37.06	338.17	37.04	S68° 14' 41"E	6°16'46"
C87	72.60	338.17	72.46	N58° 57' 16"W	12°18'04"
C88	72.61	338.17	72.47	N46° 39' 10"W	12°18'09"
C90	71.05	338.17	70.92	N20° 04' 42"W	12°02'16"
C91	71.04	338.17	70.91	N8° 02' 29"W	12°02'11"
C92	71.07	338.17	70.94	N3° 59' 51"E	12°02'28"
C93	65.04	338.17	64.94	N15° 31' 42"E	11°01'13"
C94	32.57	338.17	32.56	N23° 47' 52"E	5°31'07"
C95	20.91	620.00	20.91	N25° 35' 27"E	1°55'58"
C96	49.48	620.00	49.47	N22° 20' 17"E	4°34'21"
C98	20.64	15.00	19.05	S30° 45' 36"E	78°50'43"
C99	35.08	150.28	35.00	S1° 58' 31"W	13°22'29"
C100	35.08	150.28	35.00	S11° 23' 58"E	13°22'29"
C101	32.06	150.28	32.00	S24° 11' 56"E	12°13'26"
C102	14.48	150.28	14.47	N33° 04' 14"W	5°31'10"
C103	32.06	150.28	32.00	S41° 56' 32"E	12°13'26"
C104	35.08	150.28	35.00	S54° 44' 29"E	13°22'29"
C105	26.11	150.28	26.08	S66° 24' 24"E	9°57'20"
C106	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"
C107	35.86	155.00	35.78	N11° 59' 14"E	13°15'26"
C108	27.77	185.00	27.75	S14° 18' 53"W	8°36'07"
C109	38.86	185.00	38.79	S3° 59' 43"W	12°02'12"
C110	38.86	185.00	38.79	S8° 02' 28"E	12°02'12"
C111	38.87	185.00	38.80	S20° 04' 42"E	12°02'16"
C112	39.72	185.00	39.64	S46° 39' 06"E	12°18'05"
C113	39.72	185.00	39.65	S58° 57' 13"E	12°18'09"
C114	20.28	185.00	20.26	N68° 14' 41"W	6°16'46"
C120	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"
C122	15.01	15.00	14.39	N47° 17' 23"E	57°20'53"
C123	112.36	150.28	109.76	S54° 32' 41"W	42°50'17"
C128	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C129	20.03	15.00	18.57	N33° 08' 08"W	76°29'51"
C130	22.99	150.28	22.96	N0° 44' 00"E	8°45'49"
C131	33.05	150.28	32.99	S9° 56' 58"E	12°36'06"
C132	15.10	150.28	15.10	S19° 07' 47"E	5°45'32"
C133	32.06	150.28	32.00	N28° 07' 16"W	12°13'26"
C137	16.20	220.00	16.20	S69° 16' 29"E	47°13'08"
C138	55.25	220.00	55.10	N59° 58' 17"W	14°23'17"
C139	229.96	220.00	219.63	S22° 49' 56"E	58°53'23"
C140	52.30	230.66	52.19	S13° 45' 32"W	12°59'33"
C152	27.17	140.00	27.13	N65° 49' 25"W	11°07'17"
C153	40.71	140.00	40.56	N51° 56' 00"W	16°39'33"
C154	36.32	140.00	36.22	S36° 10' 18"E	14°51'50"
C155	33.75	140.00	33.66	N4° 53' 37"W	13°48'38"
C156	34.36	140.00	34.27	N9° 02' 32"E	14°03'41"
C157	6.21	140.00	6.21	N17° 20' 40"E	2°32'34"
C164	31.66	150.28	31.60	N67° 06' 47"E	12°04'18"
C175	71.21	338.00	71.08	N67° 44' 04"E	12°04'18"
C196	52.72	3486.00	52.72	N21° 37' 53"E	0°52'00"
C198	80.86	3485.99	80.86	N23° 52' 30"E	11°19'44"
C199	73.26	3485.99	73.26	N25° 08' 29"E	11°21'15"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C200	70.26	3485.99	70.26	N26° 19' 15"E	1°09'17"
C201	69.43	3485.99	69.42	N27° 28' 08"E	1°08'28"
C202	21.12	285.00	21.12	N30° 09' 45"E	41°4'48"
C203	110.76	285.00	110.07	N43° 25' 10"E	22°16'02"
C204	76.20	480.00	76.12	N59° 14' 59"E	9°05'44"
C205	24.16	15.00	21.63	S70° 03' 36"E	92°17'07"
C225	6.30	220.00	6.30	S75° 26' 27"W	1°38'28"
C226	96.02	250.00	95.43	N27° 28' 19"W	22°00'21"
C228	37.75	175.00	37.68	S64° 00' 11"E	12°21'34"
C229	49.48	175.00	49.31	N49° 43' 27"W	16°11'54"
C230	48.05	175.00	47.90	S33° 45' 30"E	15°43'59"
C231	48.05	175.00	47.90	N18° 01' 31"W	15°43'59"
C232	48.05	175.00	47.90	S2° 17' 32"E	15°43'59"
C233	48.05	175.00	47.90	N13° 26' 27"E	15°43'59"
C234	48.05	175.00	47.90	S29° 10' 26"W	15°43'59"
C235	48.05	175.00	47.90	N44° 54' 25"E	15°43'59"
C236	0.81	175.00	0.81	S52° 54' 23"W	0°15'56"
C237	23.18	25.00	22.36	S26° 28' 27"W	53°07'48"
C238	30.18	50.00	29.73	S17° 12' 12"W	34°35'19"
C239	30.74	50.00	30.26	S52° 06' 42"W	35°13'42"
C243	23.18	25.00	22.36	N79° 36' 15"E	53°07'48"
C248	67.72	135.00	67.01	N38° 40' 09"E	28°44'25"
C249	66.83	135.00	66.15	N10° 07' 05"E	28°21'42"
C250	155.79	135.00	147.29	N37° 07' 22"W	66°07'12"
C262	32.95	160.00	32.89	S51° 26' 30"W	11°47'53"
C263	14.75	520.00	14.75	S58° 09' 11"W	1°37'30"
C264	46.57	520.00	46.55	S61° 31' 52"W	5°07'52"
C271	25.23	15.00	22.36	N24° 15' 34"E	96°21'13"
C272	74.26	480.00	74.19	N76° 52' 07"E	8°51'53"
C273	79.72	480.00	79.63	N86° 03' 33"E	9°30'59"
C274	77.33	480.00	77.24	S84° 34' 03"E	91°3'49"
C275	76.10	480.00	76.02	S75° 24' 37"E	9°05'03"
C276	22.25	108.00	22.21	S64° 57' 59"E	11°48'12"
C277	99.25	108.00	95.79	S44° 32' 29"E	52°39'12"
C278	15.51	103.00	15.50	N22° 1' 44"W	8°37'42"
C294	65.97	180.00	65.61	N13° 25' 02"W	21°00'02"
C295	22.12	15.00	20.17	N66° 09' 27"W	84°28'50"
C296	340.61	520.00	334.55	S89° 37' 59"E	37°31'47"
C297	31.58	108.00	95.79	S82° 48' 19"W	52°39'12"
C298	118.72	103.00	112.26	N89° 29' 55"E	66°02'24"
C299	99.25	108.00	95.79	N83° 48' 30"W	52°39'12"
C302	84.24	103.00	81.92	S40° 38' 35"W	46°51'46"
C303	99.25	108.00	95.79	N43° 32' 18"E	52°39'12"
C304	228.30	380.00	224.88	S52° 39' 14"W	34°25'21"
C305	54.04	180.00	53.84	N63° 09' 30"W	17°12'08"
C308	23.56	15.00	21.21	S65° 08' 06"E	90°00'00"
C309	65.86	600.00	65.83	S16° 59' 24"E	61°7'23"
C310	15.69	290.00	15.68	N15° 23' 42"W	3°05'57"
C311	55.20	290.00	55.11	S22° 23' 49"E	10°54'19"
C312	59.56	290.00	59.46	N33° 44' 02"W	11°46'05"
C313	58.23	290.00	58.13	S45° 22' 12"E	11°30'16"
C314	54.41	290.00	54.33	S56° 29' 51"E	10°45'02"
C315	11.47	220.00	11.47	N63° 22' 02"W	2°59'18"
C316	62.55	220.00	62.34	S45° 24' 12"E	16°17'21"
C317	8.42	220.00	8.42	S82° 14' 49"E	2°11'35"
C318	19.37	20.00	18.62	S55° 36' 03"E	55°29'07"
C319	49.00	80.00	48.23	S45° 24' 12"E	35°05'25"
C320	18.30	80.00	18.26	S69° 30' 10"E	13°06'30"
C321	21.91	120.00	21.88	S81° 17' 12"E	10°27'34"
C322	41.59	120.00	41.38	N83° 33' 21"E	19°51'21"
C323	41.59	120.00	41.38	S63° 41' 59"W	19°51'21"
C324	40.20	120.00	40.02	N44° 10' 26"E	19°11'45"
C325	0.67	80.00	0.67	N34° 20' 13"E	0°28'41"
C326	35.08	80.00	34.80	S21° 32' 05"W	25°07'36"
C328	42.91	80.00	42.40	N6° 23' 46"W	30°44'06"
C329	19.90	20.00	19.09	N6° 44' 04"E	56°59'45"
C330	4.31	220.00	4.31	N34° 40' 17"E	1°07'20"
C331	27.00	220.00	26.98	N30° 35' 40"E	7°01'52"
C332	58.42	615.00	58.40	N24° 21' 28"E	5°26'33"
C333	58.09	624.99	58.07	S18° 55' 50"W	5°19'30"
C334	34.93	615.00	34.92	N14° 35' 52"E	3°15'15"
C335	34.28	300.00	34.26	N16° 14' 40"E	6°32'51"
C336	69.44	300.00	69.29	S26° 08' 58"W	13°15'45"
C337	40.55	300.00	40.52	N36° 39' 09"E	7°44'39"
C338	31.58	140.00	31.51	N34° 03' 46"E	12°55'26"
C339	46.45	140.00	46.24	S18° 05' 42"W	19°00'42"
C340	46.45	140.00	46.24	N0° 55' 00"W	19°00'42"
C341	10.08	140.00	10.08	N74° 11' 56"W	4°07'29"
C342	43.82	140.00	43.64	N63° 10' 10"W	17°56'05"
C343	38.98	140.00	38.86	S46° 13' 31"E	15°57'12"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORDS	BEARING	DELTA
C344	32.32	140.00	32.25	S31° 38' 05"E	13°13'41"
C345	35.67	140.00	35.57	N17° 43' 18"W	14°35'52"
C346	14.14	180.00	14.14	S74° 00' 37"E	4°30'07"
C348	68.06	620.00	68.03	S16° 59' 24"E	61°7'23"
C349	226.32	270.00	219.76	N37° 51' 33"W	48°01'39"
C350	99.36	200.00	98.34	N76° 06' 17"W	28°27'49"
C351	164.67	200.00	160.06	S66° 04' 13"W	17°07'32"
C352	53.79	200.00	53.63	S34° 47' 01"W	15°24'33"
C353	71.28	60.00	67.16	N42° 01' 30"W	68°03'51"
C354	121.07	100.00	113.81	N69° 15' 34"W	69°22'01"
C355	80.59	60.00	74.67	S3° 54' 13"E	76°25'32"
C356	146.51	595.00	146.14	S20° 01' 30"W	14°06'29"
C357	153.89	320.00	152.41	N26° 44' 52"E	27°23'14"
C358	244.60	120.00	204.40	S17° 52' 06"E	116°47'09"
C359	75.76	200.00	75.31	N65° 24' 34"W	21°42'14"
C360	4.80	400.00	4.80	S89° 31' 16"W	0°41'16"
C361	235.51	400.00	232.12	S52° 18' 36"E	33°44'05"
C362	131.97	420.00	131.43	N55° 36' 49"E	18°00'12"
C363	22.25	14.82	20.22	N22° 14' 25"E	86°02'37"
C371	102.09	250.00	101.39	N50° 10' 26"E	32°25'53"
C373	11.45	250.00	11.45	N15° 09' 26"W	2°37'25"
C376	40.06	640.00	40.05	N15° 38' 18"W	3°35'10"
C377	30.00	640.00	30.20	N18° 46' 59"W	2°42'13"
C378	42.06	180.00	41.96	N68° 34' 00"W	13°23'16"
C379	81.87	420.00	81.75	S41° 01' 38"W	11°10'09"
C380	23.56	15.00	21.21	N80° 26' 34"E	90°00'00"
C386	77.04	220.00	76.64	N64° 35' 20"W	20°03'47"
C390	18.37	100.00	18.34	S70° 59' 59"E	10°31'23"
C391	185.46	100.00	163.00	S12° 36' 24"E	16°16'45"
C392	24.17	340.00	24.16	S38° 29' 18"W	4°04'21"
C393	73.30	340.00	73.16	S30° 16' 32"W	12°21'11"
C398	66.04	340.00	65.93	S18° 32' 06"W	11°07'42"
C431	2.83	575.00	2.83	S13° 06' 43"W	0°16'56"
C432	70.40	575.00	70.36	S16° 45' 38"W	7°00'54"
C433	68.35	575.00	68.31	S23° 40' 24"W	6°48'40"
C434	243.98	180.00	225.73	S65° 54' 33"E	77°39'37"
C435	23.56	15.00	21.21	N9° 33' 26"W	90°00'00"
C436	120.92	50.00	93.53	S36° 53' 20"W	38°33'38"
C437	31.58	50.00	31.50	N50° 29' 07"W	36°11'18"
C477	36.39	50.00	35.59	S89° 25' 37"E	41°41'41"
C492	5.63	851.01	5.63	N16° 54' 55"W	0°22'44"
C494	24.12	15.00	21.60	N24° 52' 04"E	92°07'23"
C495	23.52	15.00	21.21	N65° 02' 36"E	89°47'22"
C578	190.13	871.01	189.75	S28° 58' 45"W	12°30'24"
C579	31.43	47.25	31.43	N14° 48' 54"W	3°49'17"
C580	136.12	300.00	134.95	N0° 05' 38"E	25°59'48"
C582	333.35	155.00	272.62	N8° 34' 18"W	12°31'18"
C620	92.75	500.00	92.72	N62° 39' 17"E	10°37'42"
C621	359.21	500.00	351.54	N88° 33' 02"E	41°09'46"
C622	73.21	200.00	72.90	N13° 25' 02"E	21°00'02"
C632	62.65	808.00	62.64	S39° 20' 11"W	4°26'34"
C674	357.57	864.00	355.02	S29° 42' 06"W	23°42'43"
C676	42.37	30.00	38.94	N16° 30' 44"E	8°05'35"
C677	31.50	30.00	30.97	N47° 42' 45"W	6°09'33"
C697	267.04	170.00	240.42	N26° 23' 03"W	90°00'00"
C700	19.14	15.00	17.87	S73° 15' 49"W	73°06'26"
C703	21.74	15.00	19.88	N28° 39' 59"W	83°01'57"
C704	23.79	620.00	23.79	N11° 45' 02"E	2°11'55"
C705	18.43	338.00	18.42	N12° 12' 47"E	3°07'24"
C706	67.28	338.00	67.17	N19° 28' 04"E	11°24'20"
C707	72.02	338.00	71.88	N31° 17' 04"E	12°21'30"
C708	72.01	338.00	71.88	N43° 29' 32"E	12°12'27"
C709	71.40	338.00	71.15	N65° 38' 50"E	12°06'09"
C710	282.97	180.00	254.72	N63° 34' 47"E	90°04'20"
C711	70.95	338.00	70.82	N79° 47' 01"E	12°01'37"
C712	70.62	338.00	70.49	S88° 13' 03"E	11°58'15"
C713	63.99	338.00	63.90	S76° 48' 29"E	10°50'52"
C723	23.82	195.00	23.80	S22° 02' 32"W	6°59'51"
C724	40.31	195.00	40.24	S31° 27' 47"E	11°50'38"
C725	40.31	195.00	40.24	S43° 18' 23"W	11°50'36"
C726	40.01	195.00	39.94	S55° 06' 23"W	11°45'23"
C727	40.01	195.00	39.94	N66° 51' 44"E	11°45'19"
C728	40.00	195.00	39.93	S78° 37' 00"W	11°45'14"
C729	40.00	195.00	39.93	N89° 37' 49"W	11°45'09"
C730	39.39	195.00	39.33	N77° 57' 59"W	11°34'30"
C731	2.70	195.00	2.70	N71° 46' 54"E	0°47'41"
C732	23.05	165.00	23.03	N22° 32' 43"E	8°00'14"
C733	234.30	165.00	215.11	N67° 13' 39"E	81°21'38"
C734	2.04	165.00	2.04	S71° 44' 18"E	0°42'28"
C735	31.85	150.28	31.79	S42° 46' 54"E	12°08'37"

DEVELOPMENT STANDARDS & SETBACKS			
STYLE			
	TND T.H.	TND S.F. LOT	CONV. S.F. LOT
MIN. LOT SIZE	1,800 SF	6,900 SF	9,500 SF
TYPICAL LOT SIZE	1,800 – 3,000 SF	7,000 – 9,000 SF	10,000 – 15,000 SF
MIN. LOT WIDTH	20'	35'	35'
TYPICAL LOT WIDTH	20'–25'	50'–60'	62'
FRONT SETBACK	15'	20'	20'
SIDE SETBACK	0	10'	10'
REAR SETBACK	20'	20'	25'
CORNER SIDE SETBACK	15'	15'	15'
MAXIMUM SETBACK	25'	75'	140'
MAXIMUM HEIGHT	35'	35'	35'
MAXIMUM BUILDING SIZE	16,000 SF	N/A	N/A
MAXIMUM LOT COVERAGE	100%	60%	45%

THE PHASING PLAN ATTACHED TO THIS ORDINANCE AND INCORPORATED HEREIN BY REFERENCE AS SCHEDULE B (ATTACHED) SHALL BE ADHERED TO EXCEPT THAT THE DEVELOPER MAY DETERMINE THE SEQUENCE IN WHICH PHASES ARE DEVELOPED. THE DEVELOPER SHALL PROVIDE AN ANNUAL REPORT UPDATING THE PHASING PLAN FOR THE DEVELOPMENT. NOTWITHSTANDING THE FOREGOING, THE FIRST PHASE OF DEVELOPMENT SHALL NOT EXCEED SEVENTY-ONE (71) RESIDENTIAL UNITS.

b. DEVELOPMENT ON THE PROPERTY SHALL BE CONNECTED TO A NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY ("NCEQ") PERMITTED AND APPROVED CENTRAL WASTEWATER TREATMENT AND DISPOSAL SYSTEM AND TO THE CURRUCUIT COUNTY WATER SYSTEM. FIRE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE UDO STANDARDS AND THE N.C. FIRE CODE.

c. THE DENSITY/INTENSITY STANDARDS, DIMENSIONAL STANDARDS AND DEVELOPMENT STANDARDS FOR DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE MASTER PLAN AND SCHEDULE A (ATTACHED), SUBJECT TO THE DIRECT DISCRETION OF THE BOARD OF THESE CONDITIONS.

d. COMMUNITY FORM AND DESIGN OF DEVELOPMENT OF THE PROPERTY SHALL CONFORM TO THE STREETSCAPE PERSPECTIVES, EXAMPLE MODEL HOME DRAWINGS, MIXED USE, AND CLUBHOUSE PERSPECTIVE DRAWINGS ILLUSTRATED ON THE MASTER PLAN AND AS PROVIDED AND ILLUSTRATED IN APPENDIX TO THE MASTER PLAN SUPPLEMENTAL DOCUMENT. VARIATIONS MAY BE PROVIDED AND SHALL BE PERMITTED IN COLORS, MATERIALS, AND ARCHITECTURAL DETAILING THAT ARE COMPATIBLE WITH THE DESIGN CONTEXT.

e. TRANSPORTATION: THE MAIN SUBDIVISION ENTRANCE WILL BE CONNECTED DIRECTLY TO N.C. HIGHWAY 168. DECELERATION AND ACCELERATION LANES SHALL BE PROVIDED ALONG THE PROPERTY FRONTAGE IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, ("NCDOT"). STANDARDS AND SHALL BE APPROVED BY NCDOT PRIOR TO CONSTRUCTION. CONNECTIVITY WILL BE PROVIDED TO THE EXISTING FARMLAND TO THE SOUTHEAST, IDENTIFIED WITH PARCEL IDENTIFICATION NUMBER ("PIN") 002300000070000. ROADWAYS SHALL BE LAID OUT GENERALLY AS SHOWN ON THE MASTER PLAN AND SCHEDULE C.

f. POTABLE WATER: WATER SHALL BE SUPPLIED BY CURRUCUIT COUNTY VIA AN EXISTING WATER MAIN LOADING TO N.C. HIGHWAY 168 WHICH WILL BE TAPPED AND LOOPED THROUGH THE SITE. FIRE PROTECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH UDO STANDARD AND THE APPLICABLE INSURANCE SERVICE OFFICE STANDARDS. INDIVIDUAL LOTS AND DWELLINGS SHALL BE METERED. THE DEVELOPER SHALL MODEL THE COUNTY'S WATER SYSTEM TO DEMONSTRATE ADEQUATE WATER FLOW AND PRESSURE FOR FIGHTING FIRES WHILE MEETING THE MAXIMUM DAY DOMESTIC DEMAND.

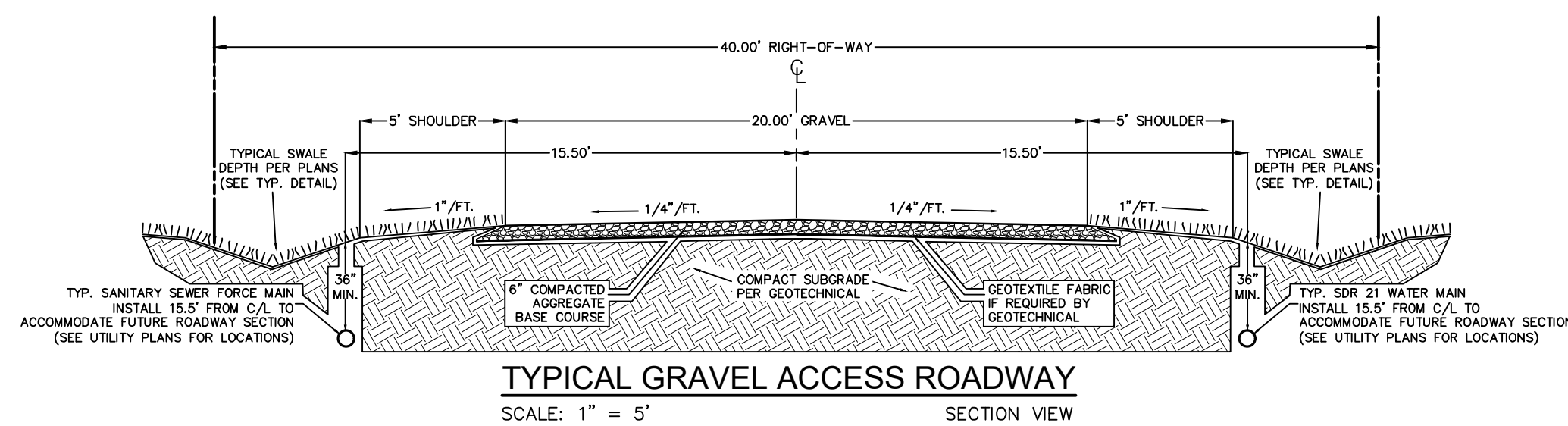
g. WASTEWATER: LAND HAS BEEN SET ASIDE FOR THE CONSTRUCTION OF A CENTRALIZED WASTEWATER TREATMENT AND DISPOSAL FACILITY THAT WILL BE CONSTRUCTED BY THE BOARD OF CURRUCUIT COUNTY AND APPROVED BY NCEQ. A WASTEWATER COLLECTION SYSTEM WILL BE CONSTRUCTED BY THE DEVELOPER AND MANAGED BY A WASTEWATER UTILITY. THE UTILITY WILL BE REGULATED BY THE NORTH CAROLINA UTILITIES COMMISSION AND WILL APPLY FOR A CERTIFICATE OF PUBLIC NECESSITY AND CONVENIENCE.

- ZONING CONDITIONS CONTINUED:

- | PHASE | AREA (AC.) | DEVELOPMENT | TND T.H. | TND S.F. | CONV. S.F. | TOTAL | OTHER IMPROVEMENTS | | |
|--------|------------|-------------------------|----------|----------|------------|-------|---|--|--|
| | | INTENSITY
(D.U./AC.) | | | | | | | |
| 1 | 39.7 | 1.79 | 25 | 12 | 34 | 71 | Rowland Creek Improvements | | |
| 2 | 33.1 | 1.96 | 19 | 9 | 37 | 65 | Main Lake (Completion) | | |
| 3 | 29.2 | 1.88 | 16 | 14 | 25 | 55 | Village Green & Clubhouse | | |
| 4 | 19.9 | 3.67 | 27 | 7 | 39 | 73 | Multi-Use Path | | |
| 5 | 14.4 | 2.57 | | 17 | 20 | 37 | Swimming Pool | | |
| 6 | 39.7 | 1.99 | 21 | | 58 | 79 | Up to 22,000 SF Neighborhood Commercial | | |
| 7 | 23.8 | 2.56 | 18 | | 43 | 61 | | | |
| 8 | 17 | 1.12 | | | 19 | 19 | | | |
| 9 | 12 | 1.58 | | | 19 | 19 | | | |
| | | | | | | | | | |
| TOTALS | 228.8 | 2.09 | 126 | 59 | 294 | 479 | | | |

Attachment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)







DATE: 12/23/19	SCALE: N.T.S.
DESIGNED: BPG	CHECKED: MSB
DRAWN: KFV/DMK/WGY	APPROVED: BPG
SHEET: 22 OF 22	
CAD FILE: 465100PP1	
PROJECT NO: 4651	

THE FOST TRACT PD-R
DOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
PRELIMINARY SUBDIVISION PLANS



COUNTY OF CURRITUCK

Planning and Community Development Department
Planning and Zoning Division
 153 Courthouse Road, Suite 110
 Currituck, North Carolina 27929
 Telephone (252) 232-3055 / Fax (252) 232-3026

USE PERMIT GRANTED

On the date(s) listed below, the Board of Commissioners for the County of Currituck met and held a public hearing to consider the following application:

Property Owner: Sandra Davis Fost and Iris Ann O'Connor
 121 Soundshore Drive
 Currituck, NC 27929

Applicant: Allied Properties LLC
 417 Caratoke Highway, Unit D
 Moyock, NC 27958

Property Location: West side of Caratoke Highway, north of Ranchland Subdivision
 Tax Map 15, Parcel 86, Moyock Township

Project: PB 18-23 The Fost Tract Planned Development – Residential (PD-R)

Proposed Use: 301 Residential Lots

Meeting Dates: January 21, 2020 – Board of Commissioners' Public Hearing/Action

Having heard all the evidence and argument presented at the hearing, the Board of Commissioners finds that the application is complete, that the application complies with all of the applicable requirements of the Currituck County Unified Development Ordinance for the development proposed, and that therefore the application to make use of the above described property for the purpose indicated is hereby approved subject to all applicable provisions of the Unified Development Ordinance and the following conditions:

- (A) The applicant shall complete the development strictly in accordance with the plans submitted to and approved by this Board, a copy of which is filed in the office of the Planning and Community Development Department.
- (B) If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this permit shall be void and of no effect.
- (C) This permit is valid for three years and will expire on January 21, 2023, if a final plat is not submitted within three years after the date of approval of the preliminary plat authorized by this use permit.

Use Permit Approval Standards

1. The use will not endanger the public health or safety: (Applicant Findings)

Transportation, portable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

1. Transportation: The main subdivision entrance will be connected directly to NC 168 (Croatan Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and will be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast (Auction Site) and to the west. Roadways will be laid out generally as shown on the Master Plan and will be in accordance with the approved right-of-way and pavement width characteristics, using the NCDOT complete streets planning manual as a guide.
Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.
2. Potable Water: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards and the applicable ISO standards. The water system will be modeled to demonstrate adequate flow and pressure for fighting fires while meeting the maximum day domestic demand.
3. Wastewater: Land has been set aside for the construction of a centralized wastewater treatment and disposal facility that will be constructed in accordance with NCDEQ Standards and approved by NCDEQ. A wastewater collection system will be constructed by the Developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission and will apply for a Certificate of Public Necessity and Convenience
4. Stormwater Management: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laying back the slopes and stabilizing the portion of Rowland Creek that runs from Eagle Creek Subdivision to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along Ranchland and the Auction property, and to excavate a new ditch that would be available to Ranchland along the common property line from the Auction site (PIN 002300000070000) to south of the power easement. Subject to obtaining right of entry to other properties, the Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance.
On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets.
In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2- year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions.
Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

2. The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located: (Applicant Findings)

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Caratoke Highway is commercial, land to the east is

farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

1. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
2. To the north (Caratoke Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least 200 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.
3. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.
4. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
5. Limited commercial development proposed to be located interior to the development and will front along the landscaped entrance boulevard.
6. Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to increase the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275 lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

3. The use will be in conformity with the Land Use Plan or other officially adopted plans:
At its May 6, 2019 meeting, the BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods because:
 1. The proposed conditions for the property will improve drainage problems on the property and with nearby Ranchland subdivisions if improvements can be made to drainage system on off-site properties, and;
 2. The PDR is compatible with existing Moyock Township subdivisions.
4. The use will not exceed the county's ability to provide adequate public facilities:

1. On December 11, 2019 the Board of Education revised its statement about the school district and determined that this development is entirely within the Shawboro school district. The Superintendent also advised that Shawboro Elementary School has capacity for the 119 elementary students this development is projected to generate, with Phases 1-5 expected to generate 75 of those students, based on the July 9, 2004 Tischler Study Student Generation Rates.
2. The county can provide adequate facilities, including but not limited to fire, emergency services, and law enforcement to serve the development.

5. The following phasing schedule shall be adhered to:

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	55	October 2021
4	73	April 2022
5	37	October 2022

IN WITNESS WHEREOF, the County has caused this permit to be issued in its name, and the property owners/applicants of the property above described, do hereby accept this Use Permit together with all its conditions, as binding on them and their successors in interest.

ATTEST:


Clerk to the Board

2.18.2020
Date

(NOT VALID UNTIL FULLY EXECUTED)


Chairman
Board of Commissioners

(Seal)





Currituck County

Department of Planning and Community Development
 153 Courthouse Road, Suite 110
 Currituck, North Carolina 27929
 252-232-3055
 FAX 252-232-3026

MEMORANDUM

To: Mark Bissell, Bissell Professional Group
 Justin Old, Moyock Development LLC

From: Tammy D. Glave, CZO, Senior Planner

Date: December 10, 2020

12-21-20 Response

Re: PB 18-23 Fost Tract – Amendment #1 - Preliminary Plat/Use Permit - Phases 1-5

The following comments have been received for Fost Tract, amendment #1 Preliminary Plat/Use Permit, Phases 1-5. To be placed on the January 18, 2021 Board of Commissioners' agenda, all outstanding **TRC comments must be addressed before 3:00 pm on December 21, 2020**. TRC comments are valid for six months.

Planning (Tammy Glave, 252-232-6025)

Reviewed with comment/Resubmit:

1. Please make sure all changes are called out in the note. For example, relocation of temporary RV/boat storage for Phase 1, increase in development area acreage, reduction in area not being developed at this time, and reduction in open space.
 Updated on cover sheet.

Currituck County Chief Building Inspector and Fire Inspections (Bill Newns, 252-232-6023)

Reviewed with comments: Shown on updated plat.

1. Streets marked with no street parking signage where parking not provided.
2. Private alleys marked with Fire Lane no parking signage (discuss at TRC).
3. Mail Kiosk accessible parking spot at kiosk by clubhouse/pool area.
4. See attached TRC comments from past reviews that need to be in place as phases are being installed.

County Engineer (Eric Weatherly, 252-232-6035).

Comments not yet received.

Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed with comment:

1. Lot addresses will be assigned during Final Plat review phase. Acknowledged.

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

Reviewed without comment.

Attachment: 6 TRC Response fast-resubmittal-20dec21 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

Currituck County Soil and Stormwater (Dylan Lloyd, 252-232-3360)

Reviewed with comment:

1. Ensure all slopes and banks are stabilized during and after land disturbing activity; including but not limited to Roland Creek and stormwater ponds.
2. Ensure elevation of Keyway outfall at southern end of pond allows positive grade during 10 yr storm event.
3. Vegetative buffers are allowed to overlap drainage easement to Roland Creek, keep spacing at intervals to allow equipment access for future maintenance.

All will be addressed at the construction drawing stage.**Currituck County Utilities Director (Will Rumsey, 252-232-2769)**

Reviewed with comment:

1. Waterline location concerns have been addressed. Acknowledged.

Albemarle Regional Health Services (Joe Hobbs, 252-232-6603)

Reviewed with comment:

1. NEED SEWER APPROVAL LETTER FROM NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481) AND A SEWER LAYOUT FINAL PLAN FROM CONSULTING ENGINEER. Acknowledged.

NC Department of Transportation (David Otts, 252-453-2721)

No additional comments.

NC Division of Coastal Management (Charlan Owens, 252-264-3901)

Reviewed with comment:

1. Concerning stormwater management on Rowland Creek, areas downstream, north and east of the railroad track, are within the Public Trust Area of Environmental Concern (AEC) and have a 30 foot shoreline AEC. Please contact Robert Corbett, DCM Field Representative, before beginning work in and along the creek. He can be reached at 252-264-3901.

Acknowledged.**US Post Office (Local)**Please contact the post office regarding method of mail delivery. Acnknowledged.**Mediacom (252-482-5583)**

See attached letter.

The following items are necessary for resubmittal:

- 3 - full size copies of revised plans
- 1 – 8.5 x 11" reduced copy
- 1- PDF digital copy of all revised or new documents and plans.

A use permit hearing is an evidentiary hearing where the Board of Commissioners must make a Quasi-Judicial Decision.

- An evidentiary hearing will be held for the Board of Commissioners to gather competent, material and substantial evidence to establish the facts of the case.
- All testimony is made under oath.
- The applicant or opposing parties shall establish written findings of fact and conclusions of law.
- Parties with standing may participate fully in the evidentiary hearing, including presenting evidence, cross-examining witnesses, objecting to evidence, and making legal arguments.
- Non-parties may present competent, material, and substantial evidence that is not repetitive.

Typical Use Permit (Quasi-Judicial) Hearing at BOC

- Swearing in of witnesses/speakers
- Presentation by County Staff on Application
- Required Presentation by Applicant or Authorized Agent (20-25 minutes)
 - Applicant to Present Findings of Fact
- Public Comment Period (typically 3 minutes each)
- Applicant Rebuttal (typically 5 minutes)
- BOC Deliberation & Decision



Major Subdivision Application

OFFICIAL USE ONLY:

Case Number: _____
 Date Filed: _____
 Gate Keeper: _____
 Amount Paid: _____

Contact Information
APPLICANT:

Name: Moyock Development, LLC
 Address: 417-D Caratoke Hwy.
Moyock, NC 27958
 Telephone: 252-435-2718
 E-Mail Address: jold@qhoc.com

PROPERTY OWNER:

Name: Same
 Address: _____
 Telephone: _____
 E-Mail Address: _____

LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER: Same

Request

Physical Street Address: Caratoke Hwy.
0015-000-0086-0000
 Parcel Identification Number(s):
 Subdivision Name: Post Development

Number of Lots or Units: 301

Phase: _____

TYPE OF SUBMITTAL

- ☐ Conservation and Development Plan
☐ Amended Sketch Plan/Use Permit
☒ Preliminary Plat (or amended)
 ☐ Type I OR ☐ Type II
☐ Construction Drawings (or amended)
☐ Final Plat (or amended)

TYPE OF SUBDIVISION

- ☐ Traditional Development
☐ Conservation Subdivision
☐ Planned Unit Development
☒ Planned Development

I hereby authorize county officials to enter my property for purposes of determining compliance with all applicable standards. All information submitted and required as part of this process shall become public record.

Property Owner(s)/Applicant: _____

11/24/2020
 Date

*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Community Meeting, if applicable

Date Meeting Held: _____ Meeting Location: _____

Use Permit Review Standards, If applicable*PUD Amended Sketch Plan/Use Permit, Type II Preliminary Plat***Purpose of Use Permit and Project Narrative (please provide on additional paper if needed):**

See Attachment 1

The applicant shall provide a response to the each one of the following issues. The Board of Commissioners must provide specific findings of fact based on the evidence submitted. All findings shall be made in the affirmative for the Board of Commissioners to issue the use permit.

- A. The use will not endanger the public health or safety.

See attachment A

- B. The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

See attachment B

- C. The use will be in conformity with the Land Use Plan or other officially adopted plan.

See attachment C

- D. The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

See attachment D

I, the undersigned, do certify that all of the information presented in this application is accurate to the best of my knowledge, information, and belief. Further, I hereby authorize county officials to enter my property for purposes of determining zoning compliance. All information submitted and required as part of this application process shall become public record.

Property Owner(s)/Applicant*

Date

*NO form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Major Subdivision Application

Page 8 of 12

Revised 7/1/2019

Attachment: 7 fost-app-20dec9 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

ATTACHMENT 1

Purpose of the Use Permit and Project Narrative

The goal is to build a community that has a creative design, providing a mix of different residential uses in close proximity to one another, while at the same time providing an efficient use of open space that promotes an active lifestyle and strong sense of community. Limited, small scale commercial uses may also be constructed primarily to serve the needs of the residents in this development.

The ways in which these goals and objectives will be achieved is shown graphically on the approved Master Plan, and is further described in the following paragraphs:

- Several different housing types are proposed, including traditional rear load traditional neighborhood development style townhomes, TND style homes with rear loaded driveways and garages, and more conventional frontloaded single family development lots.
- The Community will be pedestrian friendly, with open spaces and greenways strategically located throughout the community, and with a combination of sidewalks, multi-use paths/cart paths, a village green and a clubhouse with large outdoor recreation areas.
- The mixing of housing styles will also provide a mix of lot sizes, densities and streetscapes.
- The development is sensitive to existing wetlands, which have been delineated and confirmed by the Corps of Engineers; buffers have been shown and are being honored, existing drainage ways are being maintained and improved. Lower areas that are more flood prone are being set aside as open space, some of which will be used for the construction of lakes and ponds for the management of stormwater.

ATTACHMENT "A"

The use will not endanger the public health or safety.

Transportation, portable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

1. Transportation: The main subdivision entrance will be connected directly to NC 168 (Croatan Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and have been approved by NCDOT. Connectivity will be provided to the existing farmland to the southeast (Moyock Farms) and to the west.

Roadways have been laid out generally as shown on the Master Plan and will be in accordance with the approved right-of-way and pavement width characteristics, using the NCDOT complete streets planning manual as a guide.

Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.

2. Potable Water: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards and the applicable ISO standards. The water system will be modeled to demonstrate adequate flow and pressure for fighting fires while meeting the maximum day domestic demand.
3. Wastewater: Centralized wastewater treatment and disposal facility will be provided in accordance with North Carolina Standards and approved by NCDEQ and/or NCDHHS. A wastewater collection system will be constructed by the Developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.
4. Stormwater Management: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laying back the slopes and stabilizing the portion of Rowland Creek that runs from Eagle Creek to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along Ranchland and the Auction property, and to excavate a new ditch that would be available to Ranchland along the common property line from the Auction site to south of the power easement. The Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance.

On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets. In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2-year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions.

Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

ATTACHMENT "B"

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Croatan Highway is commercial, land to the east is farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

- a. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
- b. To the north (Croatan Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least 175 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.
- c. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas tat back up to existing dwelling units in the adjacent Ranchland subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.
- d. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
- e. Limited commercial development is proposed to be located interior to the development and will front along the landscaped entrance boulevard.

Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to **increase** the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275

lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

ATTACHMENT "C"

The use is consistent with the goals, objectives, and policies of the Land Use Plan or other applicable county-adopted plans:

A. The use is consistent with the following policies of the Currituck County Land Use Plan ("LUP"): The project is consistent with the Land Use Plan policies addressing density, recreational and open space, transportation infrastructure, and utilities:

i. Density: The project is located within the Full Service Area of the Land Use Plan, and proposes a density of 2.1 units per acre. The proposed use will include residential development in village like-clusters and will include open spaces surrounding the clusters, helping to prevent traditional suburban sprawl. The applicant is proposing centralized sewer, and the Full Service Area designation recognizes higher density (above 2 units per acre) is appropriate here. The proposed use will not interfere with nearby resource production activities. This is consistent with the County's density designations because development is occurring along Caratoke Highway, a major transportation corridor, and is an infill site between two existing residential subdivisions but with its own access to Hwy 168. This is consistent with the following Land Use Plan policies:

POLICY AG6: *For areas experiencing intense development pressure, new residential development may be allowed to locate in COMPACT, VILLAGE-LIKE CLUSTERS, PREFERABLY NEAR EXISTING, NON-AGRICULTURAL ACTIVITIES AND SERVICES, or in other locations that will not interfere with resource production activities. Overall density shall remain very low, with permanent open space, dedicated during the development review process, surrounding such clusters of homes. LUP, p. 9-7.*

POLICY HN1: *Currituck County shall encourage development to occur at densities appropriate for the location. LOCATION AND DENSITY FACTORS shall include whether the development is within an environmentally suitable area, the type and capacity of sewage treatment available to the site, the adequacy of transportation facilities providing access to the site, and the proximity of the site to existing and planned urban services. For example, projects falling within the Full Services areas of the Future Land Use Map would be permitted a higher density because of the availability of infrastructure as well as similarity to the existing development pattern. Such projects could be developed at a density of two (2) or more dwelling units per acre.... LUP, p. 9-7.*

POLICY HN3: *Currituck County shall especially encourage two forms of residential development, each with the objective of avoiding traditional suburban sprawl...COMPACT, MIXED USE DEVELOPMENTS or DEVELOPMENTS NEAR A MIXTURE OF USES that promote a return to balanced, self-supporting community centers generally served by centralized water and sewer. The types of development are contemplated for the Full Service Areas identified on the Future Land Use Map. LUP, p. 9-7.*

ii. Utilities:

Stormwater: The applicant is aware of stormwater drainage issues in the surrounding properties and has conducted a stormwater study to investigate causes in Rowland Creek, upstream and

downstream from the property. That study has shown significant restrictions to flow on both on- and off-site properties, which the applicant is willing to remove and restore with the off-site landowners' consent. The applicant is also placing significant drainage facilities on site to collect and control its own water. Where adjacent landowners are unwilling to allow the applicant to remove off-site obstructions, the applicant is willing to provide a additional stormwater storage on site to minimize flooding. The applicant plans to model the 100-year storm event and to manage stormwater runoff from that event. These commitments will provide a public benefit to the County by improving existing drainage problems with private funds, and providing a responsible mechanism for the site and surrounding areas to drain.

Wastewater: The applicant is proposing to connect to an off-site wastewater treatment and disposal facility. This will give the existing system new funds for upgrades, repair, and maintenance. Thus, the development will have a positive impact on sewer facilities and will not strain the County's infrastructure, consistent with the Full Service Area designation which anticipates additional density on this site. The applicant is also setting aside land to receive effluent and/or groundwater from the off-site facility.

This is consistent with the following Land Use Plan policies:

POLICY WS7: *Currituck County allows for the appropriate use of PACKAGE SEWAGE TREATMENT PLANTS as a means of achieving more efficient land use, while properly disposing of waste. Such systems shall have a permanent organizational ownership to guarantee their proper management, including operation, maintenance and replacement needs. Depending on their location in the county, such systems may be required to have a design that allows for assimilation into a centralized system at a future date.* LUP, p. 9-13.

POLICY WQ3: *Currituck County supports policies, plans and actions that help protect the water quality of the county's estuarine system by preventing SOIL EROSION AND SEDIMENTATION, and by controlling the quantity and quality of STORMWATER RUNOFF entering the estuary.* LUP, p. 9-17.

POLICY WQ4: *RUNOFF AND DRAINAGE from development, forestry and agricultural activities shall be of a quality and quantity as near to natural conditions as possible. Post-development runoff shall not exceed pre-development volumes.* LUP, p. 9-17.

iii. Recreational and Open Space: The project will provide for sidewalks, greenways, and walking trails to encourage mobility by pedestrians and bicyclists. It also preserves a significant amount of open space and natural features throughout to promote recreation and preserve natural areas. This is consistent with the following Land Use Plan policies:

POLICY TR9: *BIKEWAY FACILITIES shall be encouraged as energy-efficient, healthful, and environmentally sound alternatives to the automobile. The inclusion of bikeways, sidewalks, trails, and other alternatives to the automobile shall be encouraged in both public and private developments.* LUP, p. 9-11.

POLICY PR4: *The County shall seek to identify, plan for and develop a system of OPEN SPACE GREENWAYS, HIKING and BIKING TRAILS as opportunities may allow. The use of (1) natural corridors such*

as streams and floodplains, and (2) man-made corridors such as utility and transportation rights-of-way and easements, shall be emphasized. LUP, p. 9-14.

POLICY PR6: All new residential development shall provide for ADEQUATE OPEN SPACE AND RECREATION IMPROVEMENTS including, as may be appropriate, funding in proportion to the demand created by the development. The amount of open space and improvements may be determined according to the number of dwelling units in the development and/or by a percentage of the total acreage in the development. Fees in lieu of land dedication shall be based on the inflation adjusted assessed value of the development or subdivision for property tax purposes. LUP, p. 9-14.

iv. Transportation infrastructure: As set forth in the master plan, the project will provide for paved public roadways and drainage infrastructure, and will include convenient circulation within the proposed neighborhood. The project will seek to preserve existing buffering along NC 168 where feasible. The project will have direct access to and frontage on NC 168, and will not include access to higher intensity development through an area of lower intensity development. This is consistent with the following Land Use Plan policies:

POLICY TR12: New residential developments shall provide for the installation of PAVED PUBLIC ROADWAY AND DRAINAGE INFRASTRUCTURE at the time of development. This policy is intended to prevent the creation of substandard developments that must later correct for infrastructure problems that could have been avoided, had they been installed properly from the beginning.... LUP, p. 9-11.

POLICY CA1: The important economic, tourism, and community image benefits of attractive, functional MAJOR HIGHWAY CORRIDORS through Currituck County shall be recognized. Such highway corridors, beginning with US 158 and NC 168, shall receive priority attention for improved appearance and development standards, including driveway access, landscaping, buffering, signage, lighting and tree preservation. LUP, p. 9-19.

POLICY TR11: ACCESS TO HIGHER INTENSITY DEVELOPMENT shall generally not be permitted through an area of lower intensity development. For example, access to a multi-family development, a major park facility or other large traffic generator shall not be permitted through a local street serving a single-family residential neighborhood. LUP, p. 9-11.

POLICY TR8: Local streets shall be designed and built to allow for convenient CIRCULATION WITHIN AND BETWEEN NEIGHBORHOODS and to encourage mobility by pedestrians and bicyclists. Care shall be taken to encourage local street "connectivity" without creating opportunities for cut-through traffic from outside the connected areas. LUP, p. 9-11.

B. The proposed use is consistent with the following provisions of the Moyock Area Policy Emphasis of the Land Use Plan:

Moyock Area Policy Emphasis: The policy emphasis of this plan is on properly managing the increased urban level of growth that this area is sure to experience over the next decade and beyond. Residential development densities should be medium to high depending upon available services. In areas where on-site wastewater is proposed and other County services are limited, development density should

be limited to 1-2 units per acre. However in areas where central sewer is proposed or existing, additional services are available and the character of the surrounding areas supports it, higher density ranging from 3-4 units per acre could be considered through the use of overlay zones.

Clustered housing developments, with open space required by ordinance, will need to be encouraged. If sewage treatment collection systems are built, whether publicly or privately, all such systems should be designed so as to allow them to be tied together into a single system at some point in the future. LUP, p. 11-4.

The proposed use will include clustered housing accompanied by open spaces. The applicant is proposing onsite privately developed sewer to avoid strain on County infrastructure. The site is eligible for County sewer and central sewer is existing in the area. Because the wastewater system will be a central sewer system, and the 2.1 units/acre is below the 3-4 units per acre allowed where central sewer is available, the proposed use is consistent with the Moyock Area Policy Emphasis.

C. The proposed use is consistent with the Future Land Use Map.

The Currituck County Future Land Use Map designates the site as a Full Service area. In Full Service areas, residential density can be increased to 3-4 units per acre depending on the available services. A greater diversity in housing types is also appropriate in Full Service Areas. The proposed use will have 2.1 units per acre, which is within the contemplated development densities from Section 3.7.3 of the UDO for PD-R districts (up to three units per acre). The proposed use will also include a diversity in housing types, including townhomes, cottage style single-family lots and traditional single family lots.

D. The proposed use is consistent with the following policies and action items of the Moyock Area Small Area Plan ("SAP"):

The proposed use will include open spaces, sidewalks, greenways, and walking trails to for recreational purposes, and a clubhouse for community gathering. The plan will provide for connections to Ranchland, as appropriate. The applicant is studying the existing stormwater drainage issues and will ensure that the project improves these issues.

POLICY TR 2: *Ensure that development is designed with an interconnected, multi-modal transportation network between neighborhoods, activity centers, and other destinations to improve mobility and emergency access. Development of an interconnected road network east and west of Highway 16 that allows north-south movement for local residential traffic is strongly encouraged. SAP, p. 16.*

POLICY IS 1: *The costs of infrastructure, facilities, and services related to new growth and development should be borne primarily by those creating the demand. SAP, p. 17.*

POLICY IS 4: *Ensure that stormwater runoff, soil erosion, and sedimentation is properly managed to reduce nuisance flooding and pollution of sensitive environmental areas. SAP, p. 17.*

POLICY IS 5: *Encourage retrofitting of NCDOT drainage infrastructure to manage nuisance flooding. SAP, p. 18.*

ACTION IS 5A: *Coordinate with NCDOT to develop a plan of action for addressing ... Ranchland subdivision street flooding.... SAP, p. 18.*

POLICY R-1: *Expand and develop recreational opportunities for all ages and users including access to the water and natural environment, walking trails, multi-purpose fields, multi-purpose community building, and other non-traditional types of recreational opportunities that are consistent with the Currituck County Parks and Recreation Master Plan. SUP, p. 21.*

ATTACHMENT "D"

The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities.

The site has adequate access to NC 168 and will be adequately served by schools (it is our understanding that the site is in the Shawboro school district, that school capacity is currently available and that capacity in the school system has already been allocated to this development), police, fire, and emergency services. The applicant has completed a stormwater study and improvements plan to ensure that stormwater management will be enhanced not only for the development but also for the surrounding community. Sewer service will be provided off-site and will not burden the county's wastewater system.

Fost PD-R Amendment No. 2 and Preliminary Plat Amendment

September 23, 2020

Scheduled Time/Place: 4:00pm and 6:00pm, Eagle Creek Pavilion

The first meeting began at 4:00pm/Meeting Ended: at approximately 4:40pm

The second meeting began at 5:50pm/Meeting ended at approximately 6:15pm

Attendees: (See attached sign-in sheets)

Also: Jennie Turner, Currituck County

Justin Old, Developer

Mark Bissell, Engineer

Comments from the Community	How Addressed
How will the sewer work?	It is proposed that wastewater be pumped to Eagle Creek for treatment and disposal. A site is being set aside for future disposal of treated effluent or groundwater from the Eagle Creek site.
Where will the entrance be located and when will it be constructed?	About halfway between the railroad tract and Survey road. The work is supposed to begin on the entrance road next week and you should see the connection within two weeks.
How will the new drainage ditch work and can Ranchland properties connect?	The ditch will be constructed along the property line with all of the widening taking place on the Fost side. The Ranchlands side of the ditch actually extends onto many of the Ranchland lots who will have direct access to it. The ditch will be connected to the Rowland Creek canal which is also being improved.
Where will the berm be located?	On the Fost side of the Ranchland ditch.

Summary:

Between the two meetings, only three residents showed up, all from Ranchland. Their questions were addressed and they seemed satisfied. There being no further questions or comments the meetings were adjourned.

4.B.h

Attachment: 8 Comm Mtg. (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

Section 4: The zoning map amendment for the Property is approved with the following conditions:

- a. The Phasing Plan attached to this ordinance and incorporated herein by reference as Schedule B (attached) shall be adhered to except that the Developer may determine the sequence in which phases are developed. The Developer shall provide an annual report updating the

Phasing Plan for the development. Notwithstanding the forgoing, the first phase of development shall not exceed seventy-one (71) residential units.

- b. Development on the Property shall be connected to a North Carolina Department of Environmental Quality ("NCDEQ") or Department of Health & Human Services ("NCDHHS") permitted and approved central wastewater treatment and disposal system, and to the Currituck County water system. Fire protection shall be provided in accordance with the UDO Standards and the N.C. Fire Code.
- c. The density/intensity standards, dimensional standards and development standards for development of the Property shall be in accordance with the Master Plan and Schedule A (attached), subject to the degree of flexibility provided in these conditions.
- d. Community form and design for development of the Property shall conform to the streetscape perspectives, example model home drawings, mixed use, and clubhouse perspective drawings illustrated on the Master Plan and as provided and illustrated in Appendix to the Master Plan Supplemental document. Variations may be provided and shall be permitted in colors, materials, and architectural detailing that are compatible with the design concept.
- e. Transportation: The main subdivision entrance will be connected directly to N.C. Highway 168. Deceleration and acceleration lanes shall be provided along the Property frontage in accordance with North Carolina Department of Transportation, ("NCDOT"), standards and shall be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast, identified with Parcel Identification Number ("PIN") 002300000070000. Roadways shall be laid out generally as shown on the Master Plan and Schedule C.
- f. Potable Water: Water shall be supplied by Currituck County via an existing 12" main located on N.C. Highway 168 which will be tapped and looped through the site. Fire Protections shall be provided in accordance with UDO standard and the applicable Insurance Service Office standards. Individual lots and dwellings shall be metered. The Developer shall model the county's water system to demonstrate adequate water flow and pressure for fighting fires while meeting the maximum day domestic demand.
- g. Wastewater: Developer intends to connect to a major utility, off-site, owned by Currituck Water & Sewer, LLC, for wastewater treatment and disposal. A wastewater collection system will be constructed by the

Developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.

- h. **On-Site Stormwater:** The following improvements to stormwater drainage ("Improvements") on the Property shall be completed by the Developer prior to recording the final plat for the first phase of development on the Property:
 - i. Improve Rowland Creek for the entire length on the Property by construction of a ditch on a positive grade with 3:1 side slopes and sized for a 100 year storm event from the drainage basin in which the Property is located.
 - ii. Install a new ditch along the entire length of the Property's eastern common boundary line with Ranchland Subdivision on a positive grade with 3:1 side slopes and sized for a 500 year storm event from the drainage basin in which the Property and a portion of Ranchland Subdivision are located.
 - iii. The Improvements set forth in this section shall be maintained by the Developer, or a management association created by the Developer.
- i. **Off-Site Stormwater:** Subject to obtaining right of entry from off-site property owners, i.e. if consent of those property owners is obtained, the following improvements to storm water drainage systems outside the boundaries of the Property shall be completed by the Developer prior to recording the final plat for the first phase of the development:
 - i. Clear and snag Rowland Creek from N. C. Highway 168 to the east end of Rowland Creek Estates Subdivision (adjacent to PIN 0022000088MOOOO)
 - ii. Clear and snag the Ranchland Outlets ditch from the Property's southeast corner adjacent to Ranchland Subdivision (adjacent to PIN 0238000004201 F2) to the Ranchland Outlets' intersection with Rowland Creek, and construct a ditch on a positive grade with 3:1 side slopes and sized for a 100 storm event from the drainage basin in which the Property and Ranchland Subdivision are located.
 - iii. Improve the Survey Road ditch from Guinea Road to the railroad (on PIN 0022000063YOOOO) and construct the ditch on a positive grade with 3:1 side slopes and sized for a 100 year storm event from the drainage basin in which the Property is located.
 - iv. Improve Rowland Creek from the eastern boundary of Eagle Creek (adjacent to PIN 015A00000980000) to the western boundary of the Property by constructing a ditch on a positive grade with 3:1 side slopes sized for a 100 year storm event
 - v. Developer or a management association shall contribute \$5,000 annually to the cost of maintenance for the off-site improvements set forth in this section. Such funds shall be deposited within an association created for the purpose of maintaining off-site improvements. The first contribution shall be made within 1 year of the recording of the first phase of development, and subsequent contributions made annually for the next 10 years.
 - vi. Should Developer be unable to obtain right of entry from any landowner prior to recording Phase 2, then Developer's only

obligation under this Section (i), Off-Site Stormwater, shall be to provide fee in lieu in the amount of 115% of the cost of the Off-Site Improvements, such that the County may complete these Improvements if and when right of entry is obtained.

j. Overall stormwater conditions:

- i. The Developer shall construct berms along ditch outlets against Ranchland to keep proposed development's runoff from flooding Ranchland during a 100 year storm.
- ii. On-site stormwater will be managed by construction a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater primarily to Rowland Creek both directly and indirectly. A portion of the stormwater will also overflow to an existing culvert that runs directly under N.C. Highway 168 near the northwest corner of the property, The ditch that drains that outlet will also be improved as necessary subject to obtaining right of access referenced above.

In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard for the difference between runoff from the 10-year developed condition and runoff from a 2-year wooded condition site, stormwater shall be modeled for the 100-year storm event and property line berms constructed as necessary to manage the 100-year storm without adversely impacting neighboring properties.

Stormwater shall be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes and open, vegetated swales.

k. Perimeter compatibility shall be addressed as follows:

- i. To the west: As long as this property remains zoned as is, a 50 foot farm buffer shall be provided, followed by a 60 foot roadway corridor, so the nearest existing dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer shall be provided along that property line. If this property is rezoned, the buffer requirements in this condition shall not apply.
- ii. To the north (Caratoke Highway): A berm shall be provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least 200 feet from the highway right-of-way at the closest point. The visual impact of the development shall be minimized by setbacks, berms and landscaping.
- iii. To the east: A 50 foot vegetative farm buffer shall be provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland subdivision. A minimum 50 foot buffer shall be provided between the developments.
- iv. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line. The southern buffer may include a pond.
- v. Limited commercial development is located interior to the Development and shall front along the landscaped entrance boulevard.

- I. Environmental Protection and Monitoring: Wetlands subject to the jurisdiction of the US Army Corps of Engineers have been delineated and confirmed by the Corps of Engineers. Wetland buffers have been shown on the Master Plan and the Development plan honors those buffers. The Association documents (Declaration) will include provisions that prohibit the filling of wetlands and prohibit the clearing of the buffer areas other than incidental tree cutting and vegetation removal, except for minor impacts associated with stormwater management facilities.

The Association, either itself or via a management entity, will assume responsibility for ongoing operation and maintenance of all stormwater management facilities in accordance with the Currituck County UDO requirements and all NCDEQ permit requirements. The Association dues will be structured in a way that funds are provided for the upkeep of these facilities, as well as periodic improvements to Rowland Creek both through the development, as well as a contribution to off-site maintenance.

Wind tides will be considered in the design of site grading, with structures located above the elevation of the historic wind tidal influence from Rowland Creek.

SCHEDULE A

DEVELOPMENT STANDARDS & SETBACKS

<u>STYLE:</u>	<u>TND I.H.</u>	<u>TND SFLOT</u>	<u>CONV. SFLOT</u>
Min Lot Size:	1,800 SF	6,900 SF	9,500 SF
Typ. Lot Size:	1,800 – 3,000 SF	7,000 – 9,000 SF	10,000 – 15,000 SF
Min. Lot Width:	20'	35'	35'
Typ. Lot Width:	20' – 25'	50' – 60'	62'
Front Setback:	15'	20'	20'
Side Setback:	0	10'	10'
Rear Setback:	20'	20'	25'
Corner Side Setback:	15'	15'	15'
Maximum Setback:	25'	75'	140'
Maximum Height:	35'	35'	35'
Maximum Bldg. Size:	16,000 SF	N/A	N/A
Maximum Lot Coverage:	100%	60%	45%

PHASING SCHEDULE

<u>PHASE</u>	<u>AREA (AC.)(+/-)</u>	<u>DEVELOPMENT INTENSITY (D.U./AC.)</u>	<u>TND T.H.</u>	<u>TND S.F.</u>	<u>CONV. S.F.</u>	<u>TOTAL</u>	<u>OTHER IMPROVEMENTS</u>
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
1B	13	2.23	0	11	18	29	
PH. 1 SUBTOTAL	31.3	2.27	25	12	34	71	
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
6	35	2.26	21		58	79	
7	23.8	2.56	18		43	61	Up to 22,000 SF Neighborhood Commercial
8	18.6	1.02			19	19	
9	13.7	1.39			19	19	
Effluent & RV	8.18	0					
TOTALS	228.28	2.10	126	59	294	479	

SCHEDULE C
ROADWAY
STANDARDS

<u>TYPE</u>	<u>R/W WIDTH</u>	<u>PAV'T. WIDTH</u> <u>(B-B)</u>
Boulevard w/on-street parking & bike lane	100' – 130'	35' each way
Local Road w/parking both sides	60'	43'
Local Road w/parking one side	50' – 55'	35
Local Road w/no parking	40'	27'
Alley	20' – 30'	20'
Boulevard w/out bike lane	80'	16' each way

LEGEND

- ROADWAY CENTERLINE
- RIGHT-OF-WAY
- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING WETLANDS
- EXISTING 404 BOUNDARY
- 30' UNDISTURBED BUFFER (COUNTY)

[illegible]

SCHEDULE B

4.B.k

PHASING SCHEDULE

<u>PHASE</u>	<u>AREA (AC.)(+/-)</u>	<u>DEVELOPMENT INTENSITY (D.U./AC.)</u>	<u>TND T.H.</u>	<u>TND S.F.</u>	<u>CONV. S.F.</u>	<u>TOTAL</u>	<u>OTHER IMPROVEMENTS</u>
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
1B	13	2.23	0	11	18	29	
PH. 1 SUBTOTAL	31.3	2.27	25	12	34	71	
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
6	35	2.26	21		58	79	
7	23.8	2.56	18		43	61	Up to 22,000 SF Neighborhood Commercial
8	18.6	1.02			19	19	
9	13.7	1.39			19	19	
Effluent & RV	8.18	0					
TOTALS	228.28	2.10	126	59	294	479	



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3022)

Agenda Item Title: Consideration of Resolution Assigning County Property Located at 117 North Point Boulevard, Moyock, North Carolina for Economic Development Purposes

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Action

Brief Description of Agenda Item:

Required resolution to enter into a long-term lease agreement for land adjacent to the Moyock Welcome Center along North Point Boulevard.

Potential Budget Affect: TBD

Is this item regulated by plan, regulation or statute? No

Planning Board Recommendation:

<IF NOT A PLANNING BOARD ITEM PLEASE ERASE COMPLETELY AND LEAVE BLANK>

Manager Recommendation:

**RESOLUTION OF THE BOARD OF COMMISSIONERS FOR
CURRITUCK COUNTY, NORTH CAROLINA ASSIGNING CERTAIN
COUNTY PROPERTY FOR ECONOMIC DEVELOPMENT PURPOSES**

WHEREAS, in 2008 Currituck County acquired property at 117 North Point Boulevard, Moyock, North Carolina and thereafter utilized the property for travel and tourism purposes in conjunction with adjacent county property located at 106 Caratoke Highway, Moyock, North Carolina; and

WHEREAS, it is no longer necessary to use all the property located at 117 North Point Boulevard, Moyock, North Carolina for travel and tourism purposes and because the property is in a General Business Zoning District it is appropriate to utilize a portion of the property for economic development purposes; and

WHEREAS, Currituck County desires to hold a portion of the property located at 117 North Point Boulevard, Moyock, North Carolina for lease to a private company for its use and enhancement of economic development in the county.

NOW, THEREFORE, BE IT RESOLVED by the Currituck County Board of Commissioners that:

Section 1. A portion of the county's property located at 117 North Point Boulevard, Moyock, North Carolina previously held for travel and tourism purposes, more particularly described below, is now held by the county for economic development purposes pursuant to N.C. Gen. Stat. §158-7.1:

Beginning at an existing iron rebar situated in the southwest corner of Currituck County property more particularly shown at Plat Cabinet K, Slide 106 of the Currituck County Registry, the northeast corner of Lot 55, Phase 2, North Point Subdivision, more particularly shown at Plat Cabinet D, Slide 76 of the Currituck County Registry and northwest corner of Frank C. Bernard, Jr. and wife, Phyllis A. Bernard property more particularly described at Deed Book 283, Page 179 of the Currituck County Registry; thence from the point of beginning along the western boundary line of Currituck County property more particularly shown at Plat Cabinet K. Slide 106 of the Currituck County Registry North 32 degrees 59 minutes 55 seconds West 167.00 feet to a point, cornering;

thence North 57 degrees 00 minutes 05 seconds East 274.85 feet to a set rebar in the southeastern boundary line of Currituck County property more particularly shown at Plat Cabinet K, Slide 106 of the Currituck County Registry, cornering; thence South 32 degrees 59 minutes 55 seconds East 167.00 feet to a set rebar; thence South 57 degrees 00 minutes 05 seconds West 274.85 feet to the point and place of beginning.

Section 2. This resolution is effective upon its adoption and supersedes any prior or conflicting resolution.

ADOPTED the 19th day of January 2021.

Michael H. Payment, Chair
Board of Commissioners

ATTEST:

Leeann Walton,
Clerk to the Board of Commissioners

(COUNTY SEAL)



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3014)

Agenda Item Title: Budget Amendments

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Action

Brief Description of Agenda Item:

Budget Amendments/funds transfers.

Potential Budget Affect: Please see individual items/description for net changes.

Is this item regulated by plan, regulation or statute? No

Manager Recommendation:

Number 20210070

BUDGET AMENDMENT

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit	Credit
		<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
10511-502000	Salaries - Reg	\$ 16,300	
10511-502100	Overtime	\$ 1,000	
10511-505000	FICA	1,325	
10511-506000	Health Insurance	3,280	
10511-507000	Retirement Expense	2,750	
10511-536000	Uniform	4,500	
10511-532000	Supplies	900	
10511-590000	Capital Outlay	10,430	
10320-411000	Article 39 Sales Tax		40,485
		<hr/>	<hr/>
		<u>\$ 40,485</u>	<u>\$ 40,485</u>

Explanation: Detention Facility (10511) - Increase appropriations for an additional detention officer to provide security at the courtroom. Uniforms, supplies and capital will equip one new detention officer and one existing part-time officer with uniform, weapon and mobile radio.

Net Budget Effect: Operating Fund (10) - Increased by \$40,485.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_General Meeting (Budget Amendments)

Number

20210071

BUDGET AMENDMENT

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit	Credit
		<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
10430-503000	Salaries - Election Part-time	\$ 50	
10430-503430	Salaries - Poll Workers	1,667	
10430-505000	FICA	132	
10510-503000	Salaries - Sheriff Part-time	90	
10510-503500	Salaries - Sheriff Temporary	103	
10510-505000	FICA	15	
10511-503000	Salaries - Detention Part-time	95	
10511-505000	FICA	8	
10512-503000	Salaries - Animal Services Part-time	190	
10512-503500	Salaries - Animal Services Temp	25	
10512-505000	FICA	17	
10530-503500	Salaries - EMS Temporary	686	
10530-505000	FICA	53	
10550-503000	Salaries - Airport Part-time	171	
10550-505000	FICA	13	
10790-503000	Salaries - Library Part-time	141	
10790-505000	FICA	11	
10795-503500	Salaries - Recreation Temporary	909	
10795-505000	FICA	70	
10320-411000	Article 39 Sales Tax		\$ 4,446
		<u>\$ 4,446</u>	<u>\$ 4,446</u>

Explanation: Various Departments - Increase appropriations to provide bonus pay for all employees with less than 750 hours. Employees must have worked between November 1, 2019 and October 31, 2020 and been an active employee on December 1, 2020. This prorates the \$250 amount approved for full time employees by actual hours worked. The minimum bonus amount will be \$25 per employee. This will be paid on the regular check run that will be paid on February 10, 2021.

Net Budget Effect: Operating Fund (10) - Increased by \$4,446.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_General Meeting (Budget Amendments)

Number 20210072

BUDGET AMENDMENT

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit	Credit
		<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
10430-511000	Telephone & Postage	\$ 1,000	
10430-532000	Supplies	\$ 2,000	
10430-532100	Ballot Programs & Imprint		3,000
		<hr/>	<hr/>
		<u>\$ 3,000</u>	<u>\$ 3,000</u>

Explanation: Elections (10430) - Transfer budgeted funds for increased costs of the November 2020 election.

Net Budget Effect: Operating Fund (10) - No change.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_General Meeting (Budget Amendments)

Number 20210073

BUDGET AMENDMENT

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit	Credit
		<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
10480-508000	Supplemental Pension	\$ 3,200	
10480-532000	Supplies	1,000	
10480-557300	Excise Tax on Deeds	900,000	
10480-557400	Children's Trust Funds	1,000	
10480-558100	Domestic Violence Center	6,000	
10320-407000	Marriage License		7,000
10320-410000	Deed Stamp Excise Tax		904,200
		<hr/>	<hr/>
		<u>\$ 911,200</u>	<u>\$ 911,200</u>

Explanation: Register of Deeds (10480) - Increase appropriations due to increases in the real estate market over the past several months. These increased expenses are specifically related to increased off-setting revenues.

Net Budget Effect: Operating Fund (10) - Increased by \$911,200.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_General Meeting (Budget Amendments)

Number 20210074

BUDGET AMENDMENT

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit	Credit
		<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
10441-511010	Data Transmission	\$ 2,500	
10320-411000	Article 39 Sales Tax		2,500
		<hr/>	<hr/>
		<u>\$ 2,500</u>	<u>\$ 2,500</u>

Explanation: Information Technology (10441) - Increased data transmission costs due to added costs for remote working.

Net Budget Effect: Operating Fund (10) - Increased by \$2,500.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_General Meeting (Budget Amendments)

Number 20210075

BUDGET AMENDMENT

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit	Credit
		<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
10510-590000	Capital Outlay	\$ 54,000	
10320-411000	Article 39 Sales Tax		54,000
		<hr/>	<hr/>
		<u>\$ 54,000</u>	<u>\$ 54,000</u>

Explanation: Sheriff (10510) - Increase appropriations for vehicle taxes and increases in vehicle costs since the eleven vehicles requested were not approved prior to current contract expirations.

Net Budget Effect: Operating Fund (10) - Increased by \$54,000.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_General Meeting (Budget Amendments)



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3021)

Agenda Item Title: Nextel Communications of the Mid-Atlantic, Inc. ("Sprint") Cell Tower Upgrades, Corolla

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Action

Brief Description of Agenda Item:

Nextel Communications of the Mid-Atlantic, Inc. ("Sprint") Upgraded Equipment on Cell Tower located at 734 Ocean Trail. Third-party review completed and Building Permit issued.

Potential Budget Affect: N/A

Is this item regulated by plan, regulation or statute? No

Manager Recommendation:

12/14/2020

County of Currituck
 Attn: County Manager's Office
 153 Courthouse Road., Ste 204
 Currituck, NC 27929



Towers, Inc.



2528 Horse Pasture Rd.
 Suite 100
 Virginia Beach, VA 23453

TEL: 757.490.2535
 FAX: 757.490.4990
 Email: management@fcitowers.com

RE: Site License Agreement between County of Currituck ("Landlord") and Nextel Communications of the Mid-Atlantic, Inc. ("Sprint"), dated January 17, 2007 and as amended June 5, 2019 ("Site Agreement"), with respect to the real property located at 734 Ocean Trail, Corolla NC, Cascade No. NO80XC013 ("Site")

Dear Sir or Madam:

This letter is to advise you that it will be necessary within the near future for Sprint to make certain physical modifications to equipment within Sprint's premises at the Site. These improvements are being undertaken in order to ensure the continued technical and economic feasibility of Sprint's facility and are needed for Sprint to make optimal use of the Site for the purposes intended by the Site Agreement. As described below, these modifications should have no significant impact on Landlord's property or operations. However, in accordance with the Site Agreement, Sprint requests that Landlord acknowledge notice of, and consent to, the following modifications which are specifically described below and in the Construction Drawings dated 12-1-2020 annexed hereto:

Addition or replacement of antennas and other equipment to the Facilities, as more particularly described within the attached documents.

Please indicate the Landlord's acknowledgement, consent and approval for Sprint to proceed with the modifications outlined above by signing below and returning one copy of this letter to me via fax to the attention of Matt Winstead at (757) 490-4990 or scan and email the Consent Letter to MWinstead@FCITowers.com. Alternatively, the letter can be returned by regular mail to Matt Winstead at 2528 Horse Pasture Road, Suite 100, Virginia Beach, VA 23453.

Thank you in advance for your prompt attention to this matter.

Regards,

By: Matt Winstead
 FCI Towers, an authorized representative of Sprint

ACKNOWLEDGED AND AGREED TO:

County of Currituck

Printed Name: Ben Stikeleather

Title: County Manager

Date: October ____, 2020

Landlord Contact Email address: _____

Landlord Contact Name and Number for Access and/or work scheduling:

Access Contact Name: _____

Access Contact Number/Email: _____

C:/Users/malla/Dropbox (BC)/Server/BC Files/Drawings - 2020/FCI Towers/VA70795A - NB08XC013/CD's - Rev D/T1.dwg 10-30-20 MALLA 16:05:22



NSD TEMPLATE - NEW BUILD - SPRINT KEEP

North Carolina 811

www.nc811.org

CALL NORTH CAROLINA ONE CALL 811
(800) 632-4949
CALL 3 WORKING DAYS BEFORE YOU DIG

T-MOBILE Site #
VA70795A / NO80XC013

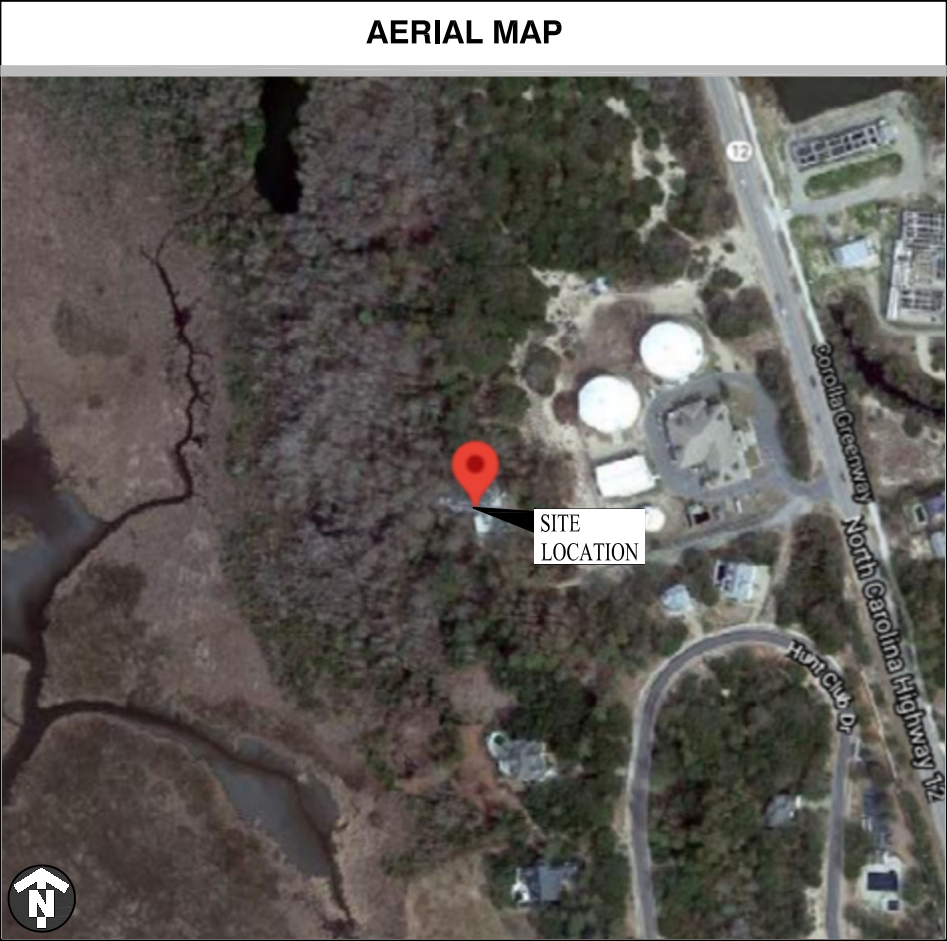
T-MOBILE Site Name
CO OF CURRITUCK OCEAN TRAIL

Site Address
**734 OCEAN TRAIL
COROLLA, NC 27927**

Configuration
**3 SECTORS
67D5A997DB(RAN) / 67D597DB_B25 (A&L)**

SCOPE OF WORK
TOWER
1. REMOVAL OF (3) EXISTING SPRINT SECTOR MOUNTS
2. REMOVAL OF (6) EXISTING SPRINT ANTENNAS
3. REMOVAL OF (6) EXISTING SPRINT RADIOS
4. EXISTING (3) SPRINT 1900MHz RRH TO BE RELOCATED TO NEW MOUNTS
5. INSTALLATION OF (3) NEW PERFECT VISION PV-SFA12-3-12-278X126 SECTOR MOUNTS WITH STIFF ARMS
6. INSTALLATION OF (3) NEW ERICSSON - AIR 32 DB ANTENNAS @ POS 1
7. INSTALLATION OF (3) NEW RFS OCTO PORT ANTENNAS @ POS 2
8. INSTALLATION OF (3) NEW AIR 6449 ANTENNAS @ POS 3
9. INSTALLATION OF (3) NEW ERICSSON 4449 RADIOS
10. INSTALLATION OF (4) NEW ERICSSON 6X12 HYBRID CABLES
11. INSTALLATION OF (6) NEW RRUS DUAL MOUNT
12. PLACE HOLDER FOR FUTURE (1) M/W DISH, (1) ODU & (1) CAT6 CABLE GROUND
13. REMOVAL OF (1) EXISTING SPRINT BATTERY CABINET
14. EXISTING (1) SPRINT BTS CABINET, (1) FIBER DISTRIBUTION BOX AND CABLES TO REMAIN
15. INSTALLATION OF (1) NEW ERICSSON 6230 POWER CABINET ON TOP OF (1) NEW ERICSSON 6230 RF EQUIPMENT & BATTERY RACK
16. INSTALLATION OF (1) NEW IxRe ROUTER IN NEW RACK
17. INSTALLATION OF (1) NEW PSU 4813 IN NEW RACK
18. INSTALLATION OF (3) NEW BB 6630, (1) NEW DUG20 & (1) NEW BB 6648 IN NEW RACK
19. INSTALLATION OF (1) NEW GENERAC 50KW DIESEL GENERATOR & (1) NEW ATS
20. INSTALLATION OF NEW 200A AC SERVICE
21. G.C. TO INSTALL REQUIRED RECTIFIERS, DC BREAKERS & BATTERIES INSIDE NEW 6230 CABINET/RACK

DRIVING DIRECTIONS
DRIVING DIRECTIONS FROM T-MOBILE OFFICE AT: 324 MADISON MEWS, NORFOLK, VIRGINIA 23510
TURN RIGHT ONTO W. FREEMASON ST. TURN RIGHT ONTO ST PAULS BLVD. TURN LEFT ONTO I264 W. KEEP RIGHT AT FORK AND CONTINUE TO I464 S. CONTINUE ONTO VA168 S. KEEP LEFT TO STAY ONTO VA168 S. CONTINUE ONTO NC 168 S. CONTINUE ONTO US 158 E. TURN LEFT ONTO NC 12 N. PROCEED FOR 16.9 MILES AND ARRIVE AT SITE ON LEFT.



General Notes:
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS AT THE PROJECT SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

FOR SITES WHERE A CRANE IS NECESSARY, THE CONTRACTOR SHALL CONFIRM AN UNOBSTRUCTED ROUTE FOR THE CRANE FROM PUBLIC ROAD TO TOWER SITE PRIOR TO CONSTRUCTION. NO AERIAL OBSTRUCTIONS UNDER FIFTEEN FEET ABOVE GRADE, INCLUDING AERIAL UTILITY LINES, ARE ALLOWED ALONG SAID CRANE ROUTE.

GC SHALL CONTACT THE A&E FIRM PRIOR TO BIDWALK AND CONSTRUCTION START TO CONFIRM THAT DRAWINGS ARE THE MOST RECENT SET.

SHEET INDEX	
SHEET	SHEET DESCRIPTION
T-1	TITLE SHEET
AP-1	APPENDIX B
AP-2	APPENDIX B
A-1	SITE PLAN
A-2	COMPOUND PLAN
A-2A	EXISTING & PROPOSED EQUIPMENT PLAN
A-3	ELEVATIONS
A-3A	MOUNTING DETAILS
A-4	EXISTING & PROPOSED ANTENNA PLAN
A-4A	ANTENNA & CABLE SCHEDULE
A-4B	RFDS DIAGRAM
A-5	DETAILS
A-5A	DETAILS
A-5B	DETAILS
E-1	ELECTRICAL LAYOUT
E-2	ONE LINE DIAGRAM
E-3	AC PANEL SCHEDULES
G-1	GROUNDING LAYOUT
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
N-1	GENERAL NOTES
N-2	GENERAL NOTES
N-3	GENERAL NOTES

PROFESSIONAL LICENSURE

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE GOVERNING LOCAL BUILDING CODE.

North Carolina Professional Engineer Seal

0024902
12.01.20
CHRISTOPHER D. MORIN

LICENSED PROFESSIONAL

EXPIRES: 12/31/2021

PROJECT INFORMATION			
Site Information:		Project Team:	
LATITUDE:	N 36.32147250 (NAD 83)	APPLICANT:	T-MOBILE NORTHEAST LLC 324 MADISON MEWS NORFOLK, VIRGINIA 23510 PHONE: 804-364-7803 FAX: 757-490-4990
LONGITUDE:	W 75.81802805 (NAD 83)		
FCC #:	1007667		
GROUND ELEVATION:	± 5' (AMSL IN FEET)	PROJECT MANAGEMENT:	F.C.I. TOWERS, INC 2528 HORSE PASTURE RD. VIRGINIA BEACH, VA 23453 CONTACT: ANDREW WALLACE OFFICE: (757) 490-2535 FAX: (757) 490-4990
ZONING:	N/A		
JURISDICTION:	CURRITUCK COUNTY		
PARCEL ID:	011600000060000		
PROPERTY OWNER:	CURRITUCK COUNTY 734 OCEAN TRAIL COROLLA, NC 27927	ENGINEER:	BC ARCHITECTS ENGINEERS, PLC 5661 COLUMBIA PIKE, SUITE 200 FALLS CHURCH, VA 22041 CONTACT: BRIAN M. QUINN, AIA OFFICE: (703) 671-6000
STRUCTURE TYPE:	250'-0" SELF SUPPORT TOWER		
POWER PROVIDER:	DOMINION POWER		
TELCO PROVIDER:	CENTURY LINK		

APPROVAL BLOCK

		APPROVED	APPROVED AS NOTED	DISAPPROVED/ REVISE
PROPERTY OWNER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONSTRUCTION MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ZONING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

APPLICANT

T-Mobile

324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT

F.C.I. Towers

Leaders in Communication Development and Construction Services

ENGINEER

BC architects engineers

5661 COLUMBIA PIKE, SUITE 200
FALLS CHURCH, VA 22041-2868

DRAWN BY: MP	CHECKED BY: SS
APPROVED BY: BMQ	

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0	FINALS	12/01/20	SS

North Carolina Professional Engineer Seal

0024902
12.01.20
CHRISTOPHER D. MORIN

SITE INFORMATION

VA70795A / NO80XC013
CO OF CURRITUCK OCEAN TRAIL
734 OCEAN TRAIL
COROLLA, NC 27927

TITLE SHEET

T-1

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**

(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: VA70795A/NO80XC013 - NSD TEMPLATE - NEW BUILD - SPRINT KEEP
 Address: 734 OCEAN TRAIL, COROLLA, NC Zip Code: 27927
 Owner/Authorized Agent: M. Winstead Phone # (757) 490 - 2535 E-Mail: mwinstead@fcitowers.com
 Owned By: Private
 Code Enforcement Jurisdiction: County

CONTACT:

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	BC Architects Engineers	Brian Quinn	8590	(703) 671-6000	bquinn@bcpl.com
Civil	BC Architects Engineers	Chris Morin	24902	(703) 671-6000	cmorin@bcpl.com
Electrical	BC Architects Engineers	Manasa Enugala		(703) 671-6000	menugala@bcpl.com
Fire Alarm	N/A			()	
Plumbing	N/A			()	
Mechanical	N/A			()	
Sprinkler-Standpipe	N/A			()	
Structural	N/A			()	
Retaining Walls > 5' High	N/A			()	
Other	N/A			()	

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: Addition

2018 NC EXISTING BUILDING CODE: N/A N/A N/A

CONSTRUCTED: (date) _____ **CURRENT OCCUPANCY(S)** (Ch. 3): _____
RENOVATED: (date) _____ **PROPOSED OCCUPANCY(S)** (Ch. 3): _____

RISK CATEGORY (Table 1604.5): **Current:** N/A **Proposed:** N/A

BASIC BUILDING DATA

Construction Type: II-B

Sprinklers: N/A N/A

Standpipes: N/A

Primary Fire District: Yes

Flood Hazard Area: No

Special Inspections Required: No

Gross Building Area Table

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 rd Floor			
2 nd Floor			
Mezzanine			
1 st Floor			
Basement			
TOTAL	0	0	

2018 NC Administrative Code and Policies

2018 NC Administrative Code and Policies

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	RATING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	N/A						
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction, including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy/Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

ALLOWABLE AREA					
Primary Occupancy Classification(s): <u>Utility and Miscellaneous</u> <u>N/A</u> <u>N/A</u> <u>N/A</u> <u>N/A</u>					
Accessory Occupancy Classification(s): _____					
Incidental Uses (Table 509): _____					
Special Uses (Chapter 4 – List Code Sections): _____					
Special Provisions: (Chapter 5 – List Code Sections): _____					
Mixed Occupancy: <u>No</u> Separation: <u>Select one</u> Exception: _____					
<u>Select one</u>					
<u>Actual Area of Occupancy A</u> + <u>Actual Area of Occupancy B</u>					
<u>Allowable Area of Occupancy A</u> <u>Allowable Area of Occupancy B</u> ≤ 1					
_____ + _____ + ... = _____ ≤ 1.00					

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ⁴ AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
N/A					

¹ Frontage area increases from Section 506.3 are computed thus:

- a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase $I_f = 100[(F/P - 0.25) \times W/30] = \text{_____} (\%)$

² Unlimited area applicable under conditions of Section 507.

³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).

⁴ The maximum area of open parking garages must comply with Table 506.5.4.

⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²	N/A		
Building Height in Stories (Table 504.4) ²			

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

² The maximum height of air traffic control towers must comply with Table 412.3.1.

³ The maximum height of open parking garages must comply with Table 406.5.4.

**ACCESSIBLE DWELLING UNITS
(SECTION 1107)**

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A							

**ACCESSIBLE PARKING
(SECTION 1106)**

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL	N/A					

**PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)**

USE		WATERCLOSETS			URINALS			LAVATORIES			SHOWERS /TUBS	DRINKING FOUNTAINS	
SPACE	EXIST'G	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	
	NEW												
	REQ'D												

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

N/A

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
N/A			

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No
 Exit Signs: No
 Fire Alarm: No
 Smoke Detection Systems: No
 Carbon Monoxide Detection: No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: N/A

- ☐ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☐ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☐ Occupant loads for each area
☐ Exit access travel distances (1017)
☐ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
☐ Clear exit widths for each exit door
☐ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☐ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

2018 NC Administrative Code and Policies

2018 NC Administrative Code and Policies

APPLICANT

T-Mobile

324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT



ENGINEER

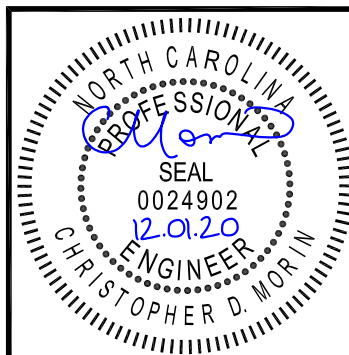
BC
architects
engineers

5661 COLUMBIA PIKE, SUITE 200
FALLS CHURCH, VA 22041-2868

DRAWN BY: MP CHECKED BY: SS

APPROVED BY: BMQ

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SITE INFORMATION
VA70795A/NO80XC013
CO OF CURRITUCK
OCEAN TRAIL
 734 OCEAN TRAIL
 COROLLA, NC 27927

APPENDIX B

AP-1

ENERGY SUMMARY

ENERGY REQUIREMENTS: **N/A**
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Select one

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: Select one

Method of Compliance: Select one

(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only) **N/A**

Roof/ceiling Assembly (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing) _____
U-Value of assembly: _____
Solar heat gain coefficient: _____
projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone

winter dry bulb: **N/A** _____
summer dry bulb: _____

Interior design conditions

winter dry bulb: **N/A** _____
summer dry bulb: _____
relative humidity: _____

Building heating load: **N/A** _____

Building cooling load: **N/A** _____

Mechanical Spacing Conditioning System

Unitary
description of unit: **N/A** _____
heating efficiency: **N/A** _____
cooling efficiency: **N/A** _____
size category of unit: **N/A** _____

Boiler

Size category. If oversized, state reason.: **N/A** _____

Chiller

Size category. If oversized, state reason.: **N/A** _____

List equipment efficiencies: **N/A** _____

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (Is) Select one
Seismic (Ie) Select one

Live Loads: Roof **N/A** _____ psf
Mezzanine **N/A** _____ psf
Floor **N/A** _____ psf

Ground Snow Load: **125** _____ psf

Wind Load: Ultimate Wind Speed **125** _____ mph (ASCE-7)
Exposure Category **N/A**

SEISMIC DESIGN CATEGORY: **N/A**

Provide the following Seismic Design Parameters:

Risk Category (Table 1604.5) Select one

Spectral Response Acceleration S_s **35** _____ %g S₁ **35** _____ %g

Site Classification (ASCE 7) Select one
Data Source: Select one

Basic structural system Select one

Analysis Procedure: Select one

Architectural, Mechanical, Components anchored? Select one

LATERAL DESIGN CONTROL: Wind

SOIL BEARING CAPACITIES:

N/A _____ psf
Pile size, type, and capacity _____

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: ASHRAE 90.1 - Prescriptive

Lighting schedule (each fixture type)

lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options
(When using the 2018 NCEEC; not required for ASHRAE 90.1)

- ☐ C406.2 More Efficient HVAC Equipment Performance
☐ C406.3 Reduced Lighting Power Density
☐ C406.4 Enhanced Digital Lighting Controls
☐ C406.5 On-Site Renewable Energy
☐ C406.6 Dedicated Outdoor Air System
☐ C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies

APPLICANT

T-Mobile

324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT

F.C.I.
T o w e r s

Leaders in Communication Development
and Construction Services

ENGINEER

BC
a r c h i t e c t s
e n g i n e e r s

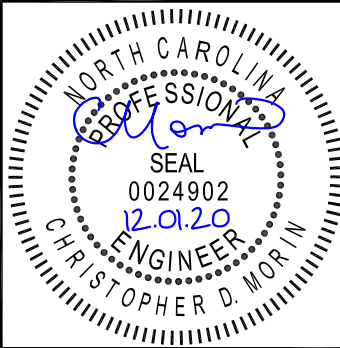
5661 COLUMBIA PIKE, SUITE 200
FALLS CHURCH, VA 22041-2868

DRAWN BY: MP

CHECKED BY: SS

APPROVED BY: BMQ

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SITE INFORMATION

VA70795A/NO80XC013
CO OF CURRITUCK
OCEAN TRAIL

734 OCEAN TRAIL
COROLLA, NC 27927

APPENDIX B

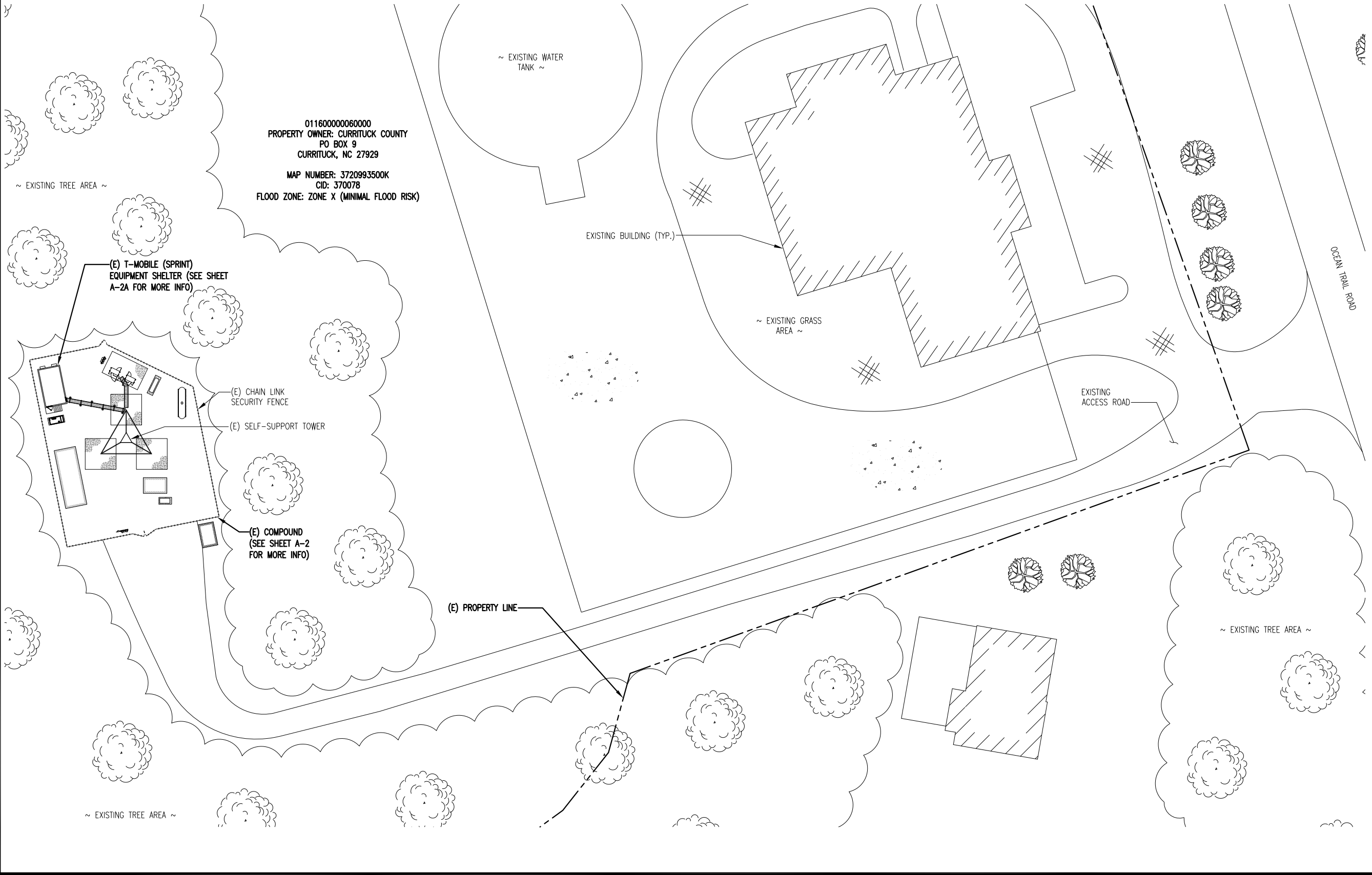
AP-2

OUR SITE PLAN WAS PREPARED WITHOUT THE BENEFIT OF A RECENT SURVEY. NO PROPERTY LINES, OR EXISTING EASEMENT INFORMATION WAS MADE AVAILABLE TO BC ARCHITECTS ENGINEERS, P.L.C. AT THE TIME OF PREPARATION OF THESE PLANS. DUE DILIGENCE SHALL BE DONE BY OTHERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS DUE TO PROPERTY LINES OR NEW EXPANSION ON AN EXISTING EASEMENTS OR DUE TO LANDLORD PREFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT BC ARCHITECTS ENGINEERS, P.L.C. FOR A REDESIGN BEFORE SITE IS BUILT.

NOTE:
NEW BURIED OR OVERHEAD UTILITIES MUST BE CONTAINED WITHIN A DEDICATED UTILITY EASEMENT. ALL EXISTING AND NEW UTILITY EASEMENTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. NO DIGGING OR TRENCHING SHALL BE ALLOWED WITHOUT PRIOR VERIFICATION OF EXISTING BURIED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE CAUSED BY CONTRACTOR'S ACTIVITIES.

SITE LAYOUT IS BASED ON SITE VISITED BY FCI TOWERS, DATED 09/24/2020

FLOOD INSURANCE RATE MAP
NORTH CAROLINA
(TOWN PANEL NAGS HEAD)
MAP NUMBER 3720993500K
EFFECTIVE: 12/21/2018
FLOOD ZONE: X MINIMAL FLOOD RISK



011600000060000
PROPERTY OWNER: CURRITUCK COUNTY
PO BOX 9
CURRITUCK, NC 27929
MAP NUMBER: 3720993500K
CID: 370078
FLOOD ZONE: ZONE X (MINIMAL FLOOD RISK)

EXISTING BUILDING (TYP.)

~ EXISTING GRASS AREA ~

EXISTING ACCESS ROAD

(E) CHAIN LINK SECURITY FENCE

(E) SELF-SUPPORT TOWER

(E) COMPOUND (SEE SHEET A-2 FOR MORE INFO)

(E) PROPERTY LINE

OCEAN TRAIL ROAD

1 SITE PLAN
SCALE: 1"=50' (1"=25' IF 24X36 SHEET SIZE)



APPLICANT

T-Mobile

324 MADISON MEWS
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PROJECT MANAGEMENT

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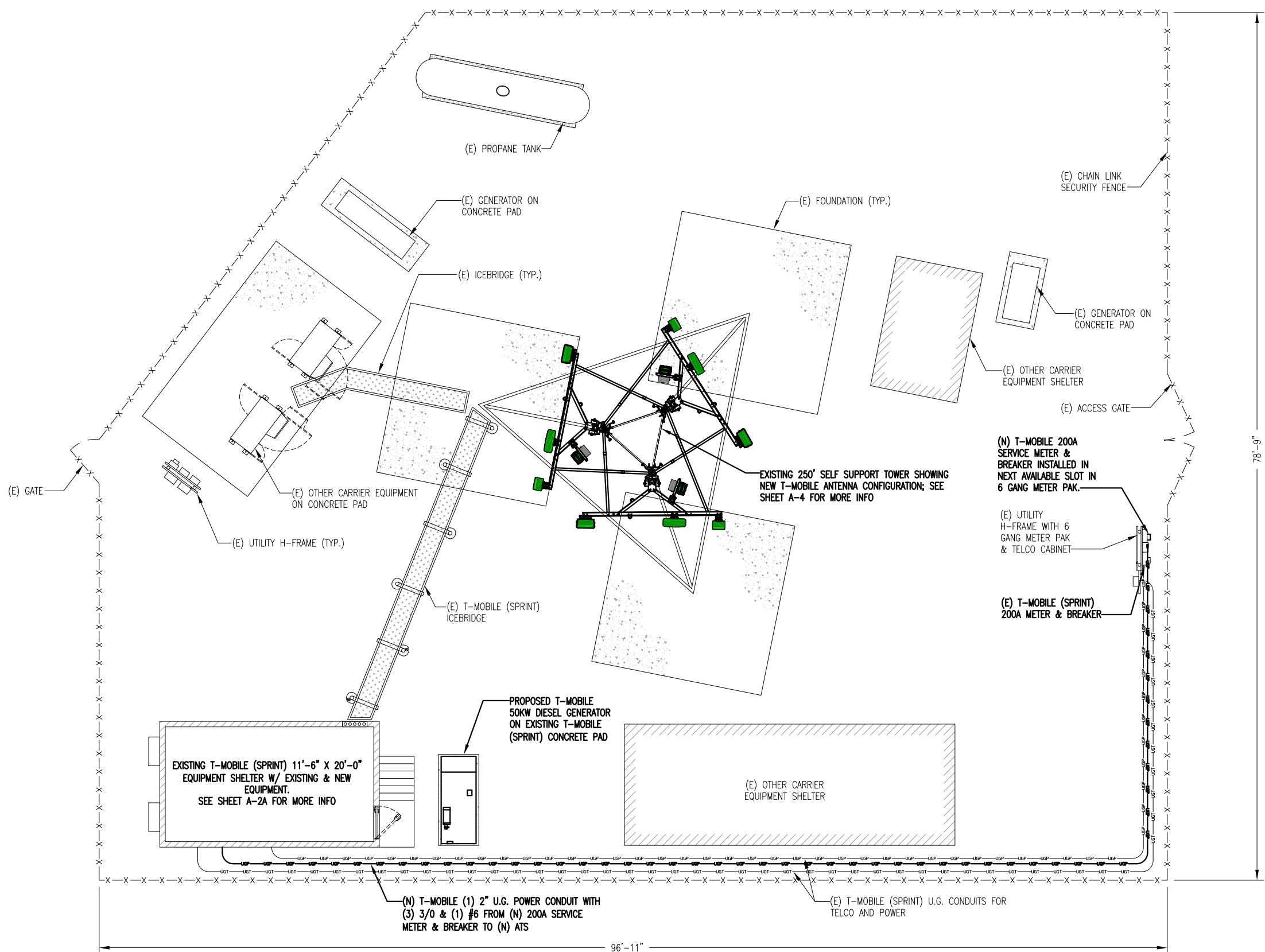
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NORTH CAROLINA PROFESSIONAL SEAL
0024902
12.01.20
ENGINEER
CHRISTOPHER D. MORIN

SITE INFORMATION
VA70795A/NO80XC013
CO OF CURRITUCK
OCEAN TRAIL
734 OCEAN TRAIL
COROLLA, NC 27927

SITE PLAN

A-1



1 COMPOUND PLAN
SCALE: 1"=10' (1"=5' IF 24X36 SHEET SIZE)

APPLICANT

T-Mobile

324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT

F.C.I.
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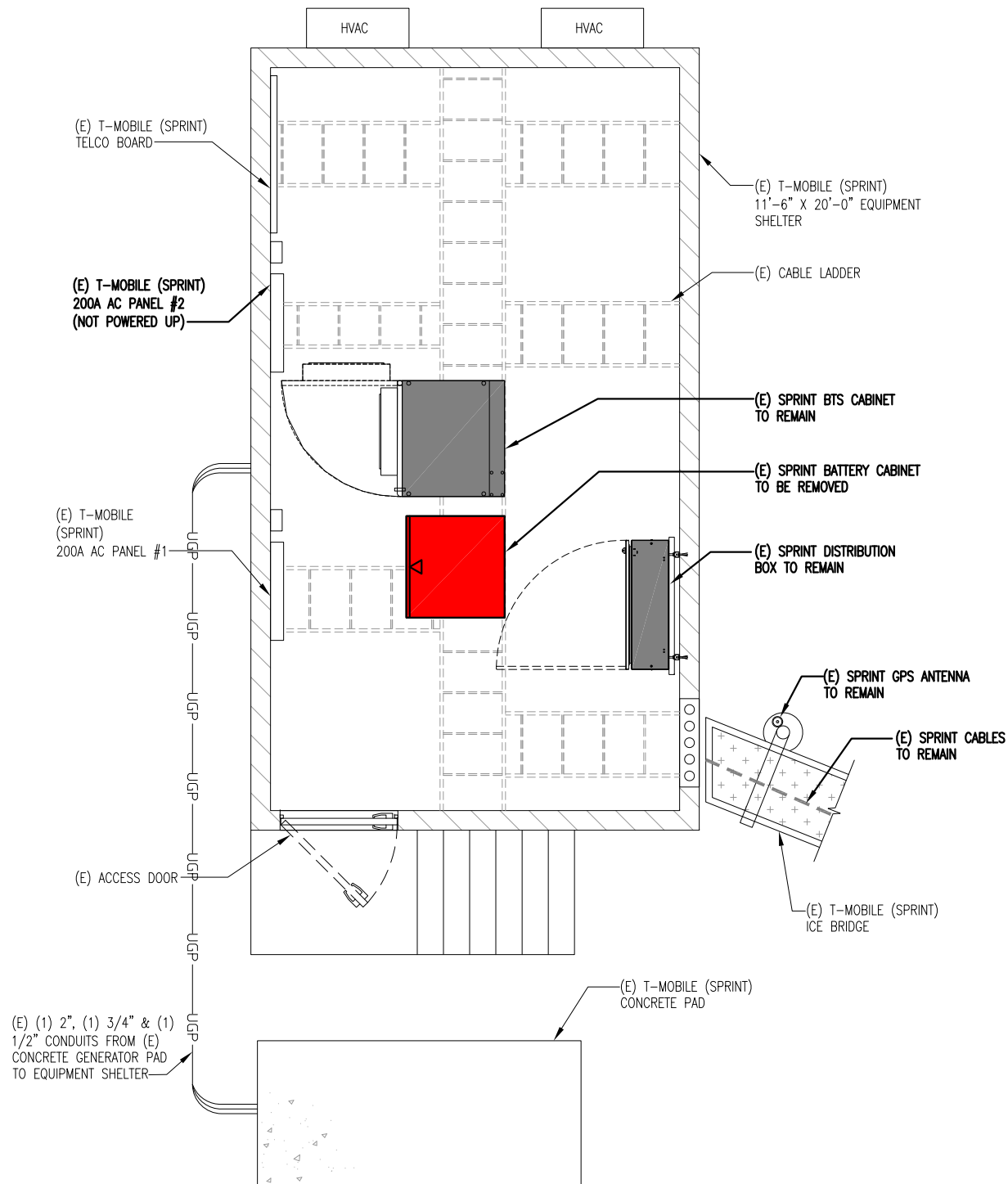
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COMPOUND PLAN





A-2

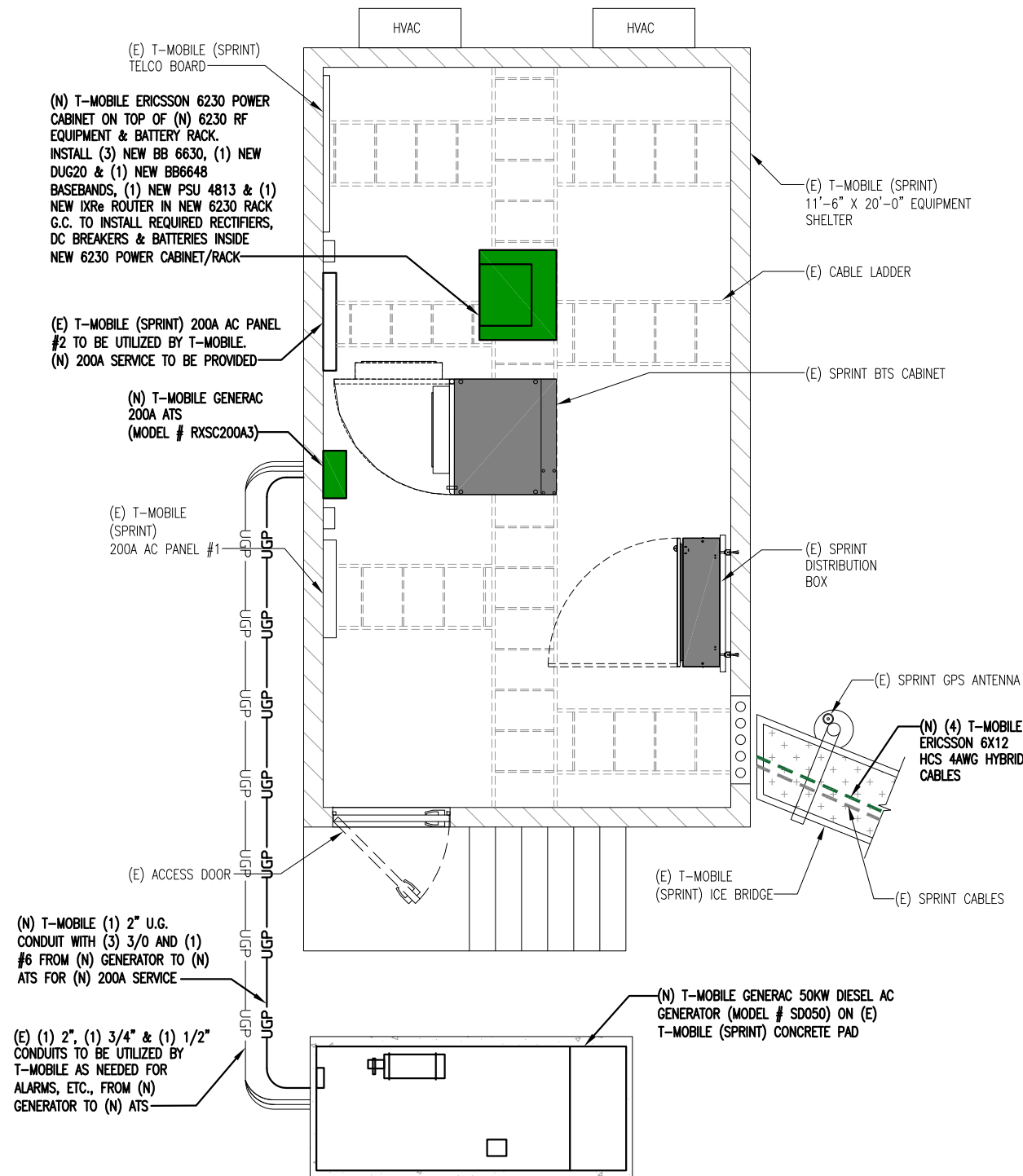
Attachment: Tower Upgrades-A and E_CDs_NSD Template-NewBuild-Sprint (Nextel Communications-Cell Tower Upgrades, Corolla)

LEGEND	
	EXISTING EQUIPMENT TO BE REMOVED
	EXISTING EQUIPMENT TO REMAIN
	EXISTING CABLE TO REMAIN



1 EXISTING EQUIPMENT LAYOUT
SCALE: 1/4"=1'-0" (1/2"=1'-0" IF 24X36 SHEET SIZE)

LEGEND	
	NEW EQUIPMENT TO BE INSTALLED
	EXISTING EQUIPMENT TO REMAIN
	NEW CABLE TO BE INSTALLED
	EXISTING CABLE TO REMAIN



2 PROPOSED EQUIPMENT LAYOUT
SCALE: 1/4"=1'-0" (1/2"=1'-0" IF 24X36 SHEET SIZE)

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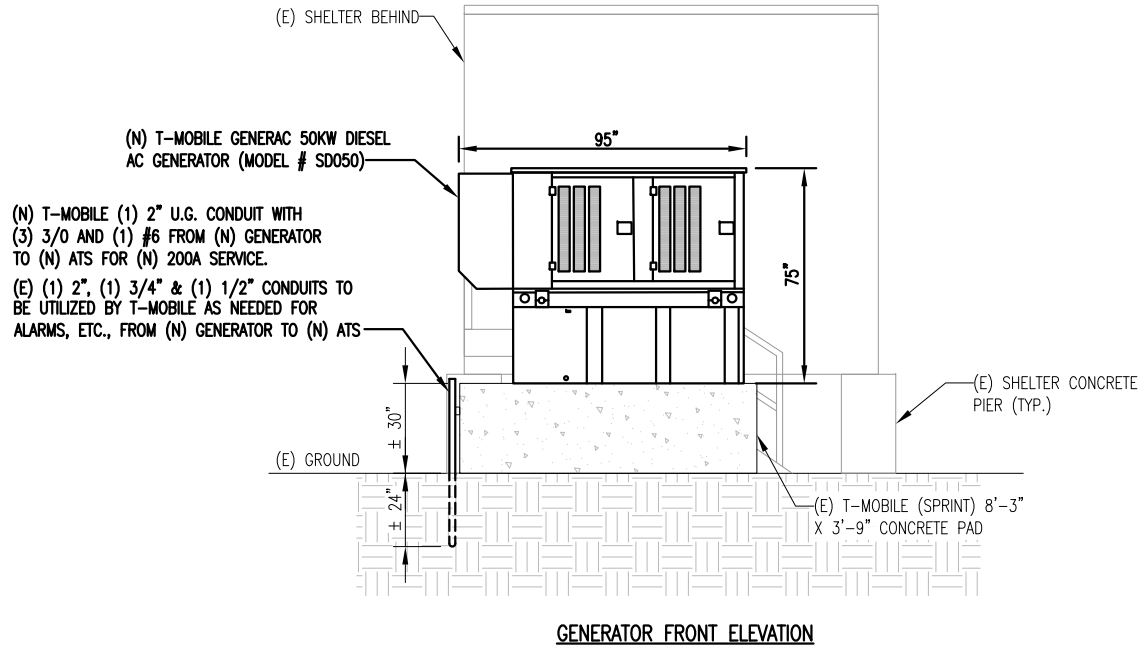
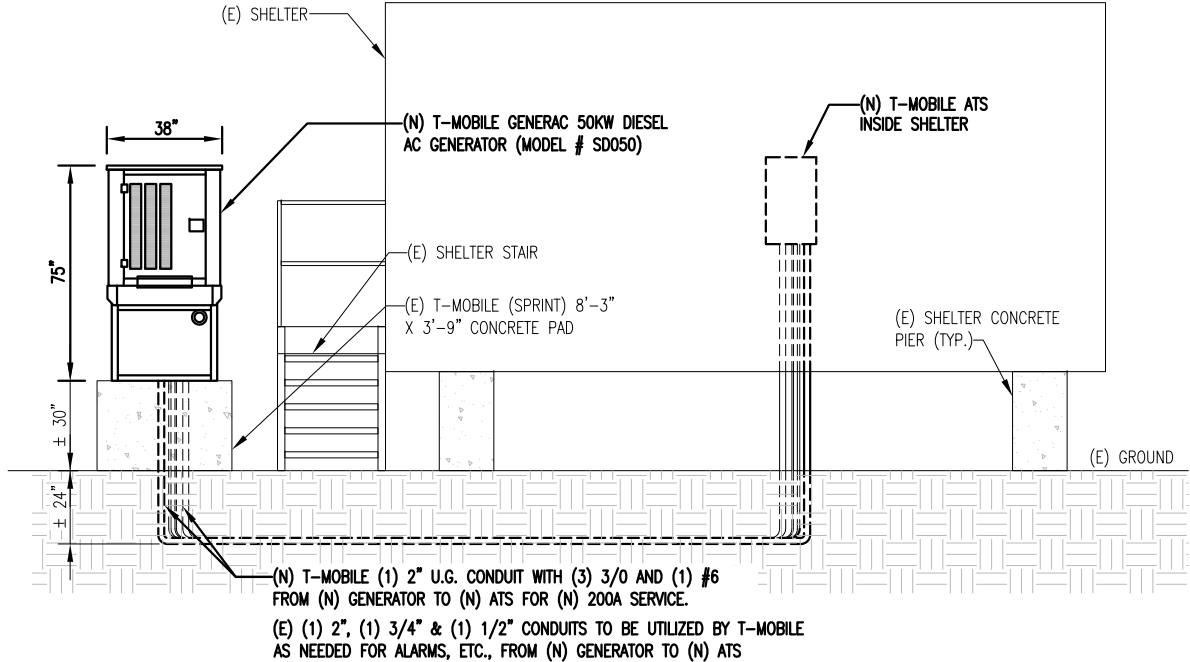
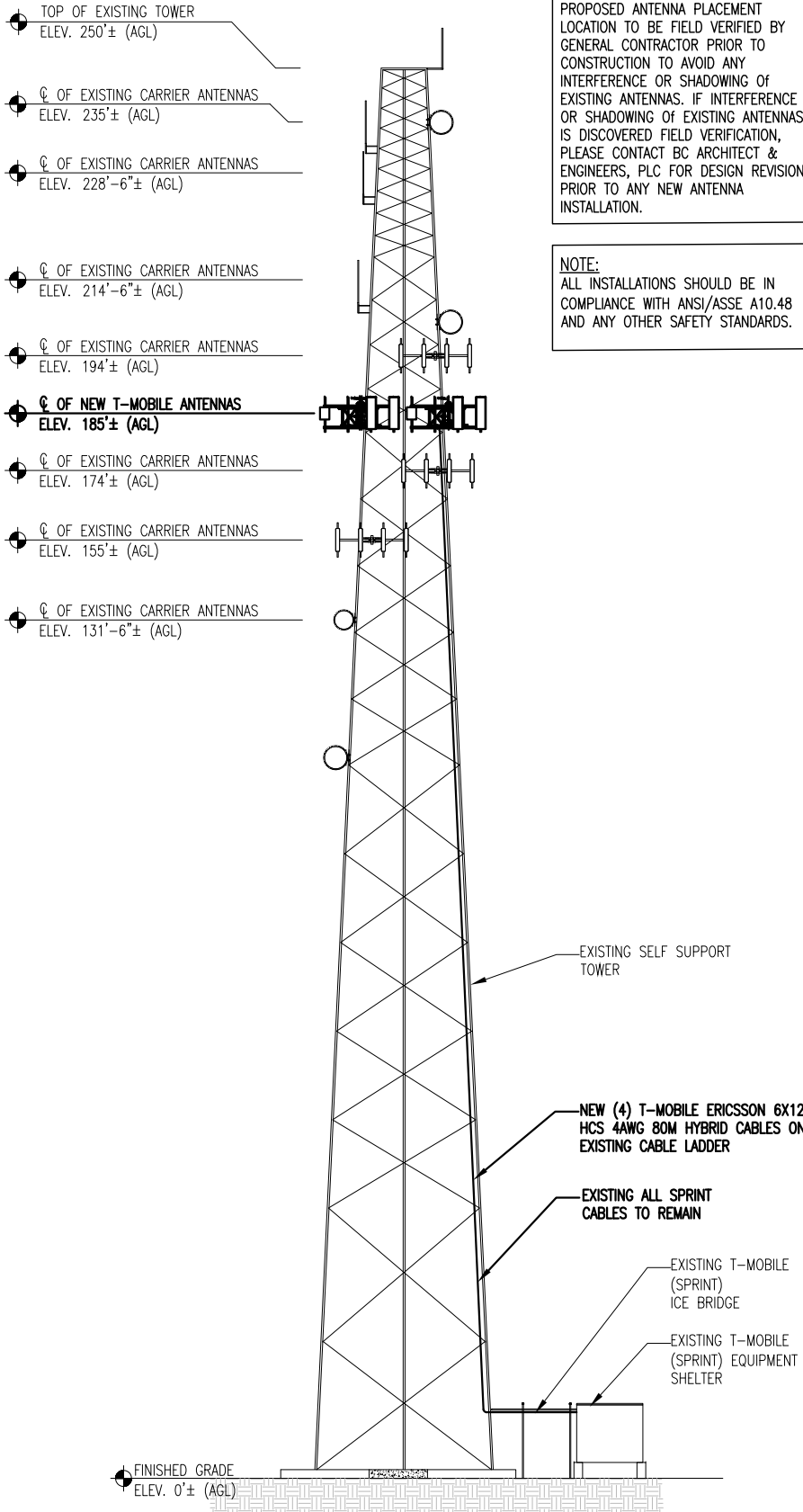
734 OCEAN TRAIL
COROLLA, NC 27927

EXISTING & PROPOSED
EQUIPMENT PLAN

A-2A

GENERAL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS, AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES COMPANY OR OTHER PUBLIC AUTHORITIES.
2. THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
8. TRANSMITTER EQUIPMENT AND ANTENNAS ARE DESIGNED TO MEET ANSI/EIA/TIA 222-G REQUIREMENTS.
9. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
10. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
11. IF ANY UNDERGROUND UTILITIES OR STRUCTURES EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE IT AND CONTACT THE APPLICANT & THE OWNERS REPRESENTATIVE.
12. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION BY TECHNICIANS APPROXIMATELY 2 TIMES PER MONTH.
13. PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT OR MODIFICATION OF THE EXISTING STRUCTURE, A STRUCTURAL ANALYSIS SHALL BE PERFORMED BY THE OWNER'S AGENT TO CERTIFY THAT THE EXISTING / PROPOSED COMMUNICATION STRUCTURE AND COMPONENTS ARE STRUCTURALLY ADEQUATE TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, COAXIAL CABLES AND OTHER APPURTENANCES.
14. PROPERTY LINE INFORMATION WAS PREPARED USING DEEDS, TAX MAPS, AND PLANS OF RECORD AND SHOULD NOT BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY.
15. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
16. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORM WATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
17. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
18. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED)
19. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
20. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.



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ENGINEER

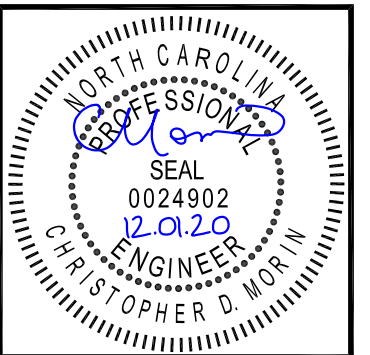
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engineers

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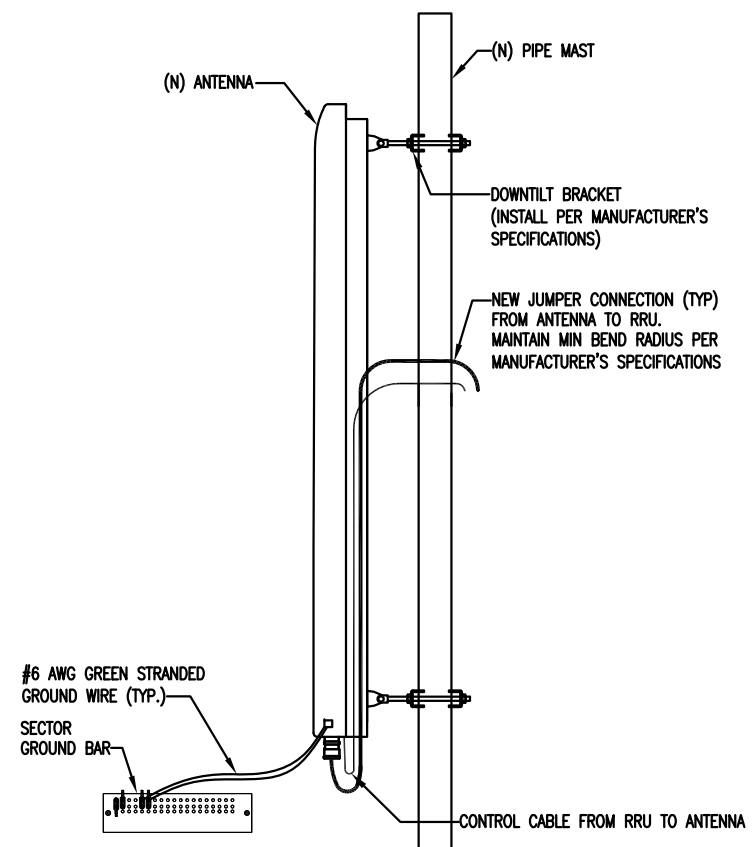
SITE INFORMATION

VA70795A/NO80XC013
CO OF CURRITUCK
OCEAN TRAIL

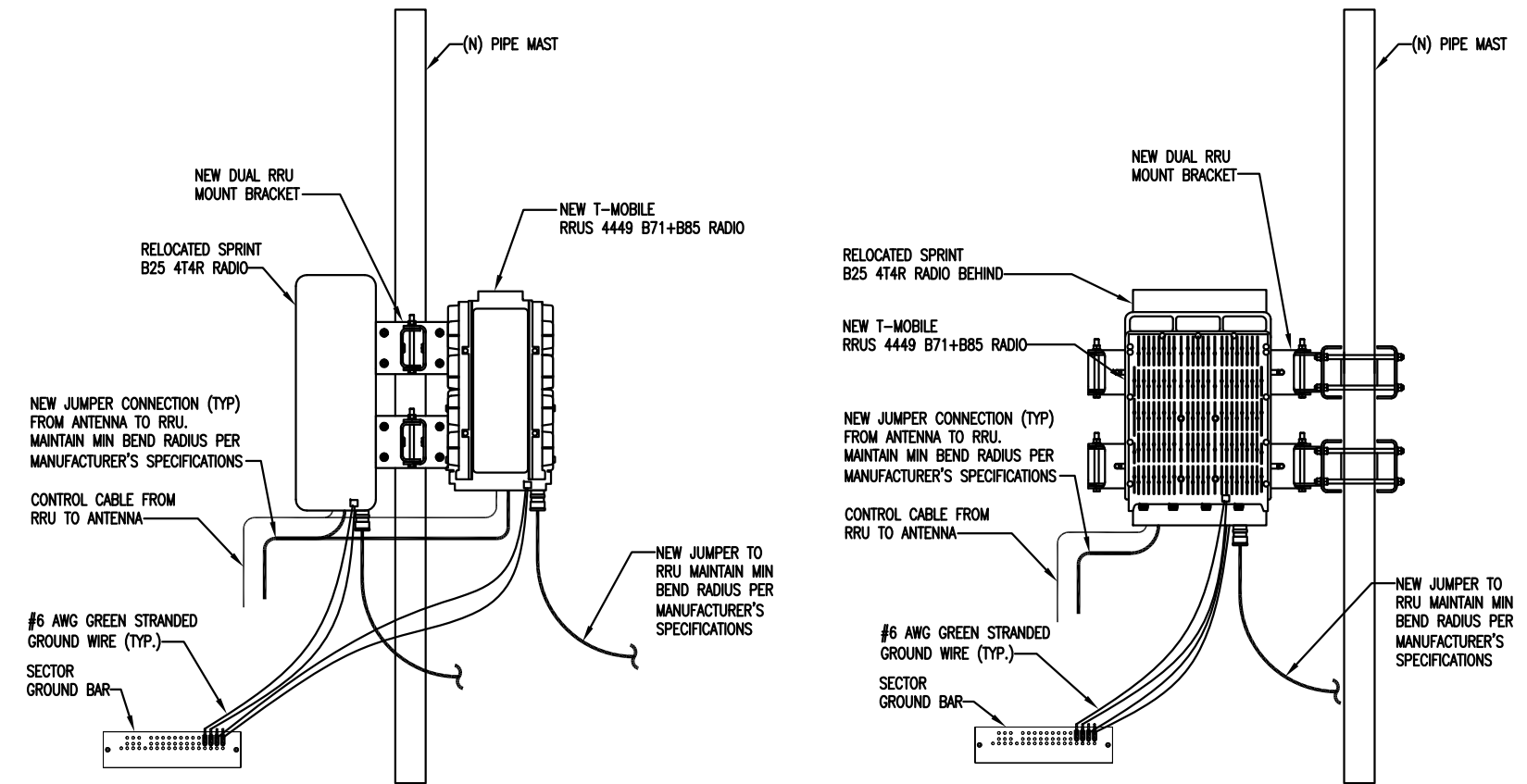
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COROLLA, NC 27927

ELEVATIONS

A-3



1 TYPICAL ANTENNA MOUNTING DETAIL
N.T.S.

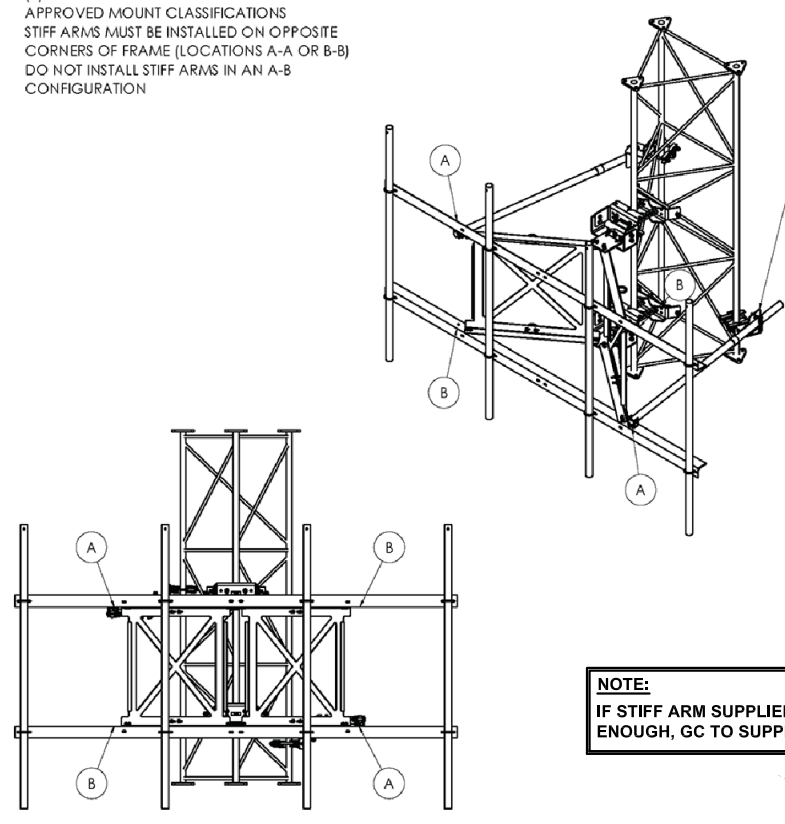


2 RRU MOUNTING DETAIL
N.T.S.

STIFF ARM INSTALLATION:

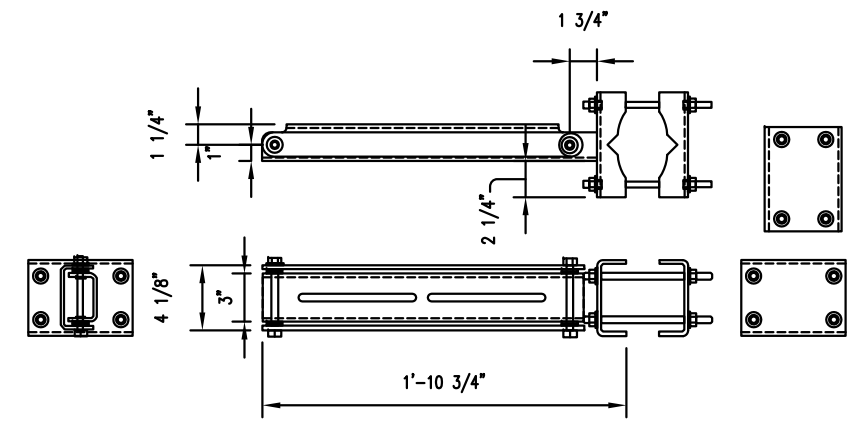
- (2) STIFF ARMS ARE REQUIRED TO MEET APPROVED MOUNT CLASSIFICATIONS
- STIFF ARMS MUST BE INSTALLED ON OPPOSITE CORNERS OF FRAME (LOCATIONS A-A OR B-B)
- DO NOT INSTALL STIFF ARMS IN AN A-B CONFIGURATION

NOTE: SHOWN AS SINGLE SETUP WITH PV-SAM-U (SEE SHEET 6 FOR DETAILS)



3 STIFF ARM DETAIL
N.T.S.

ITEM	DESCRIPTION	QTY
1	MOUNTING ARM	2
2	CLAMP PLATE	2
3	SWIVEL MOUNT	2
4	3/8"-16 UNC x 8" HDG THREADED ROD	8
5	3/8" HDG LOCK WASHER	20
6	3/8"UNC HDG HEX NUT	28
7	3/8"x5 GALV BOLT	4
8	3/8" SS FLAT WASHER	8
9	3/8" SS LOCK WASHER	8
10	3/8" ID NYLON SHOULDER WASHER	32



4 DUAL RRU MOUNT BRACKET
N.T.S.

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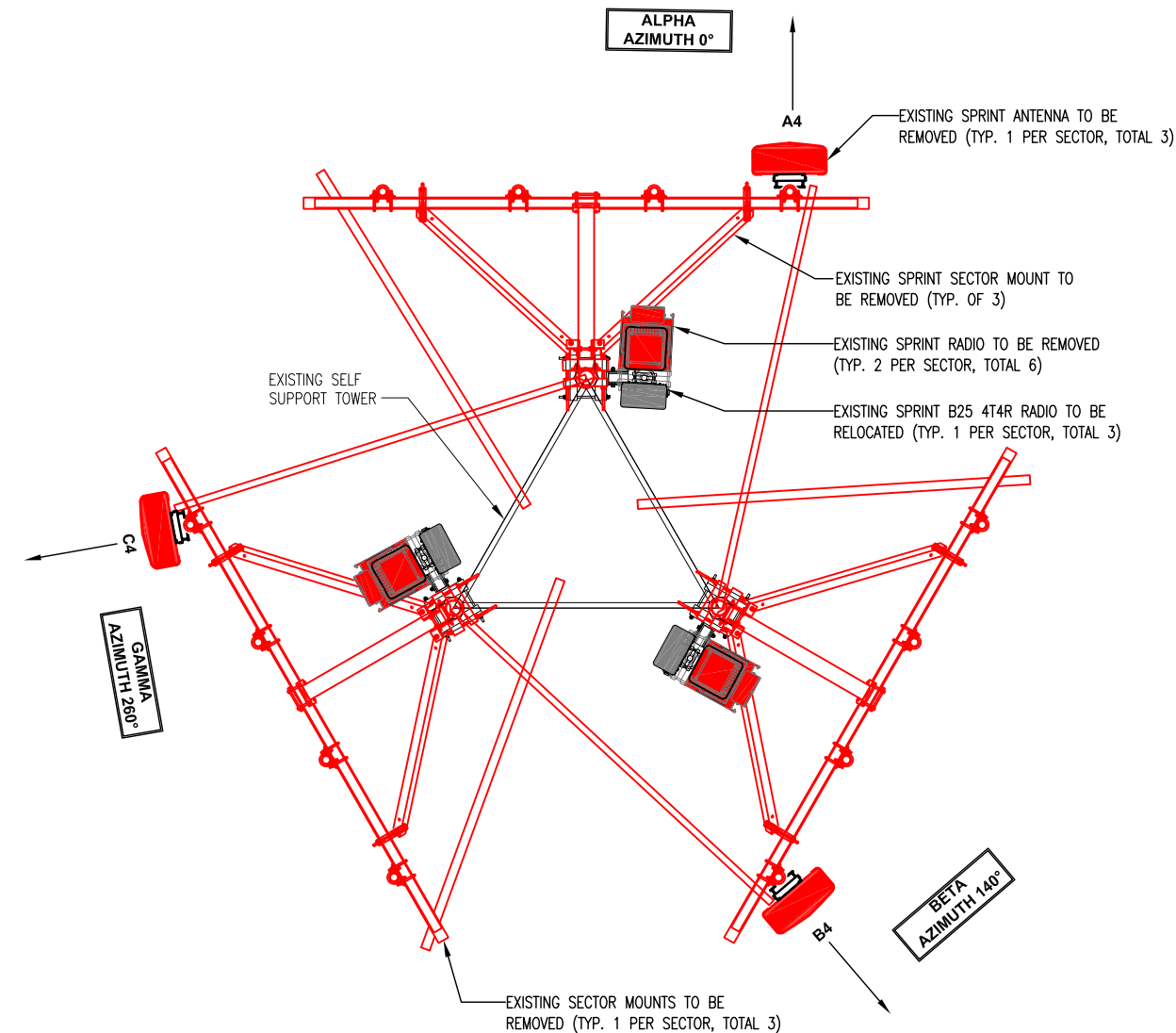
MOUNTING DETAILS

A-3A

LEGEND

EXISTING EQUIPMENT TO BE REMOVED

EXISTING EQUIPMENT TO REMAIN/RELOCATED

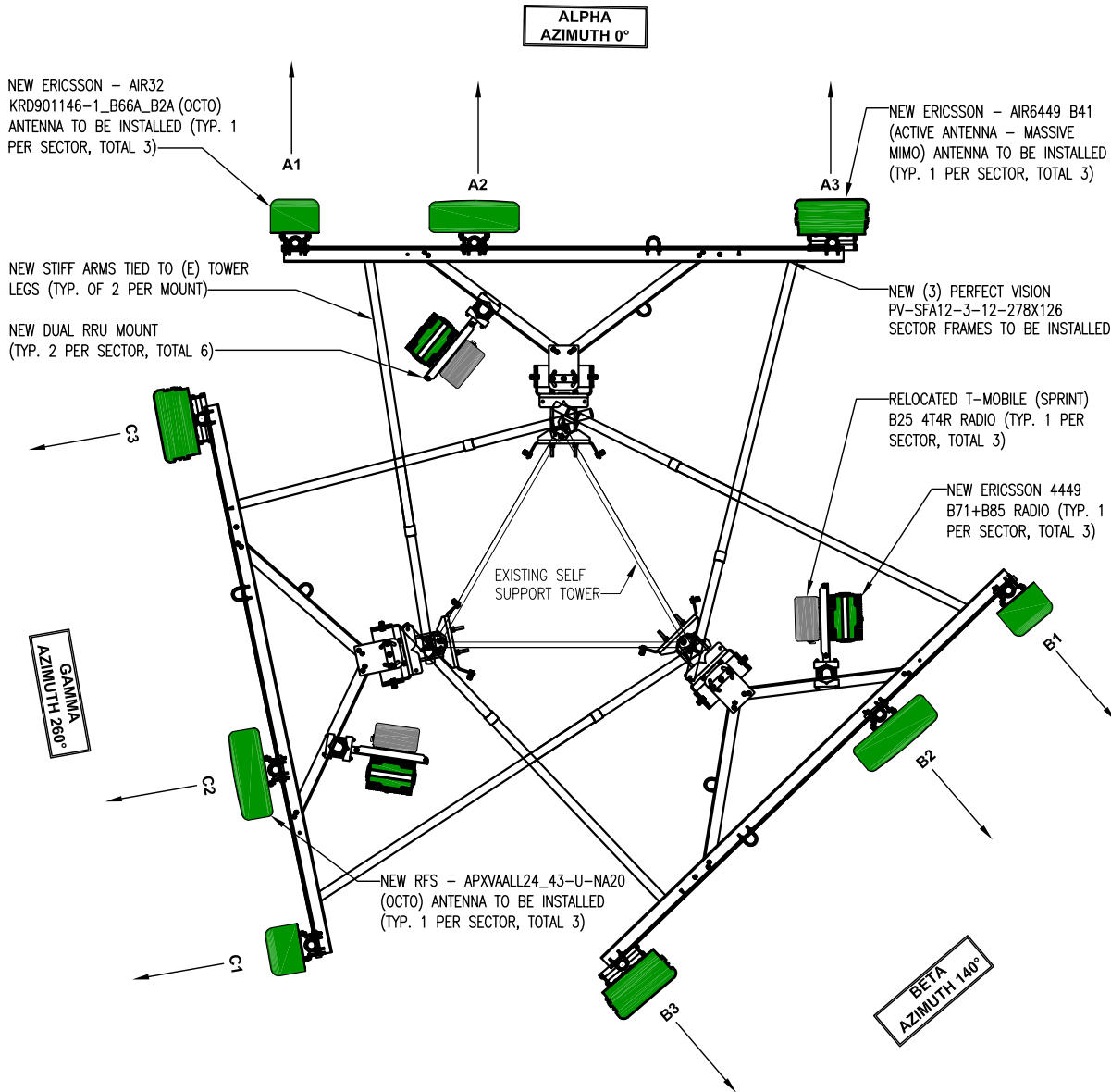


1 EXISTING T-MOBILE ANTENNA CONFIGURATION
SCALE: 1/4"=1'-0" (1/4"=1'-0" IF 24X36 SHEET SIZE)

LEGEND

NEW EQUIPMENT TO BE INSTALLED

EXISTING EQUIPMENT TO REMAIN/RELOCATED



NOTE:
IF STIFF ARM SUPPLIED WITH MOUNTS ARE NOT LONG ENOUGH, GC TO SUPPLY NEW ONES.

2 NEW T-MOBILE ANTENNA CONFIGURATION
SCALE: 1/4"=1'-0" (1/4"=1'-0" IF 24X36 SHEET SIZE)

SPECIAL NOTES:
STRUCTURAL ANALYSIS PERFORMED BY BC ARCHITECTS ENGINEERS, P.L.C. DATED
CONTRACTOR TO THOROUGHLY REVIEW THE TOWER & MOUNT STRUCTURAL ANALYSIS FOR INFORMATION PERTAINING TO MOUNT UPGRADES, MOUNTING TYPES, ANTENNA HEIGHTS, AND CABLE ROUTING, ANY OTHER DISCREPANCIES BETWEEN THE DRAWINGS, STRUCTURAL ANALYSIS, AND TOWER PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO BIDDING AND INSTALLATION.

NOTE FOR GC:
GC TO INSTALL (3) NEW PERFECT VISION PV-SFA12-3-12-278X126 SECTOR FRAMES

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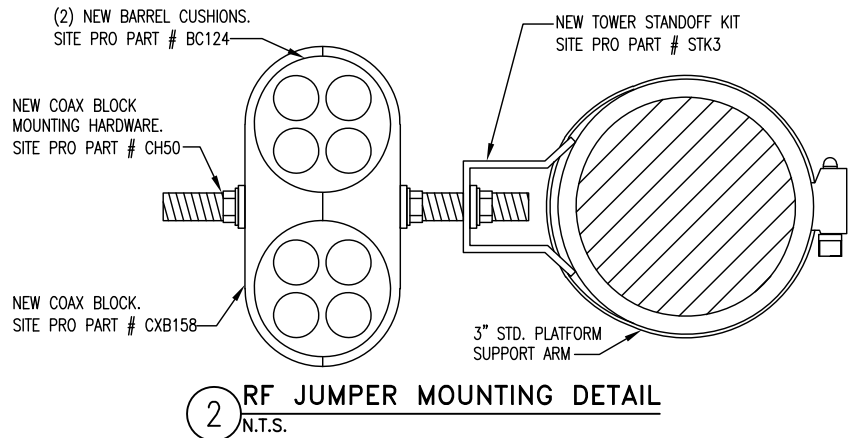
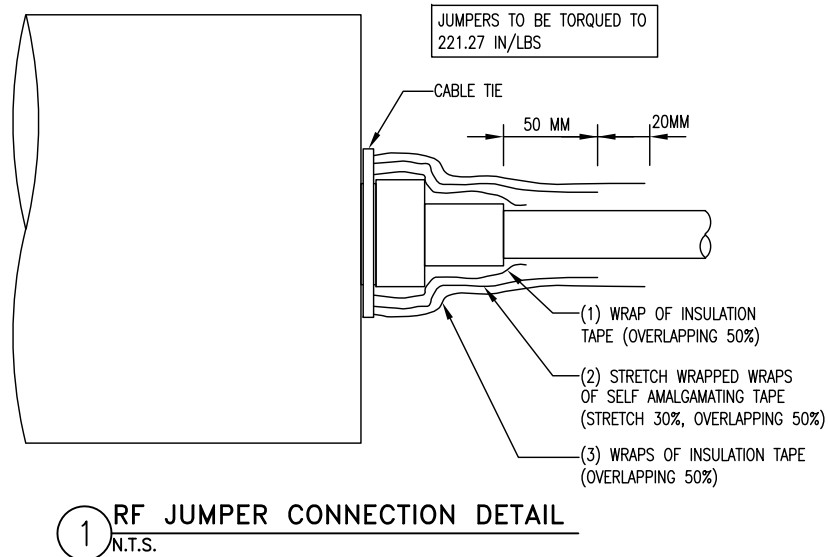
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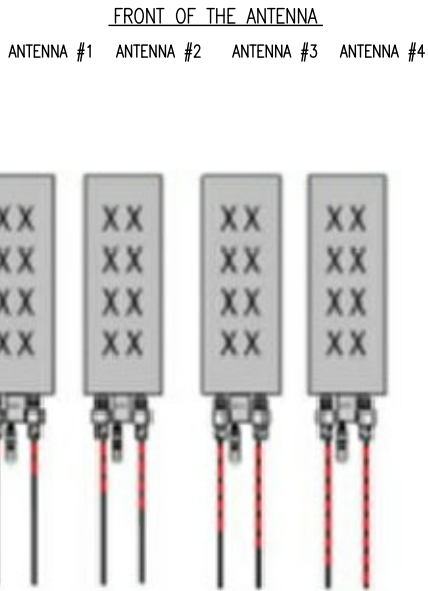
EXISTING & PROPOSED
ANTENNA PLAN

A-4

NEW AND EXISTING ANTENNA AND CABLE SCHEDULE													
SECTOR	POS.	AZIMUTH	RAD CENTER	TECHNOLOGY	ANTENNA	M-tilt	E-tilt	RRU TYPE	TMA/ DIPLEXER	CABLE STATUS	CABLE SIZE	CABLE LENGTH	JUMPER LENGTH
ALPHA	A1	0°	185'	L2100/G1900/L1900	(1) NEW ERICSSON - AIR32 KRD901146-1_B66A_B2A (OCTO)	0°	4°	-	-	(4) NEW ERICSSON 6X12 HCS HYBRID CABLES. ALL EXISTING SPRINT CABLES TO REMAIN (*)	1.99" (4 AWG)	± 270' ± 80M	≤ 15'-0"
	A2	0°	185'	L700/L600/N600/ L1900/C1900	(1) NEW RFS - APXVAALL24_43-U-NA20 (OCTO)	0°	4° & 6°	(1) NEW ERICSSON 4449 B71+B85 RRU	-				≤ 15'-0"
								(1) EXISTING (SPRINT) B25 4T4R RRU					
A3	0°	185'	L2500/N2500	(1) NEW ERICSSON - AIR6449 B41 (ACTIVE ANTENNA - MASSIVE MIMO)	0°	4°	-	-	≤ 15'-0"				
BETA	B1	140°	185'	L2100/G1900/L1900	(1) NEW ERICSSON - AIR32 KRD901146-1_B66A_B2A (OCTO)	0°	4°	-	-				≤ 15'-0"
	B2	140°	185'	L700/L600/N600/ L1900/C1900	(1) NEW RFS - APXVAALL24_43-U-NA20 (OCTO)	0°	4° & 6°	(1) NEW ERICSSON 4449 B71+B85 RRU	-				≤ 15'-0"
								(1) EXISTING (SPRINT) B25 4T4R RRU					
B3	140°	185'	L2500/N2500	(1) NEW ERICSSON - AIR6449 B41 (ACTIVE ANTENNA - MASSIVE MIMO)	0°	4°	-	-	≤ 15'-0"				
GAMMA	C1	260°	185'	L2100/G1900/L1900	(1) NEW ERICSSON - AIR32 KRD901146-1_B66A_B2A (OCTO)	0°	4°	-	-				≤ 15'-0"
	C2	260°	185'	L700/L600/N600/ L1900/C1900	(1) NEW RFS - APXVAALL24_43-U-NA20 (OCTO)	0°	4° & 6°	(1) NEW ERICSSON 4449 B71+B85 RRU	-				≤ 15'-0"
								(1) EXISTING (SPRINT) B25 4T4R RRU					
C3	260°	185'	L2500/N2500	(1) NEW ERICSSON - AIR6449 B41 (ACTIVE ANTENNA - MASSIVE MIMO)	0°	4°	-	-	≤ 15'-0"				
(*) SHARED WITH ALL SECTORS													
IMPORTANT NOTE: PLEASE REFER TO LATEST RFDS SHEET FOR NSN CONFIGURATION. GC TO CAP ALL UNUSED PORTS.													



COAX COLOR CODING	
• ANTENNAS WILL BE LABELED (BACK OF ANTENNA VIEW) RIGHT TO LEFT 1-X PORTS	
• COAX/JUMPER LINES WILL BE IDENTIFIED BY SECTOR COLOR AND BY NUMBER OF BANDS AROUND THE COAX/JUMPER	
SECTOR A	RED
SECTOR B	GREEN
SECTOR C	BLUE
SECTOR D	YELLOW
SECTOR E	WHITE
SECTOR F	PURPLE
LMU	BROWN+SECTOR COLOR BANDS (1 & 2)
FIBER ID	GRAY
UNUSED COAX	PINK
MICROWAVE	ORANGE
DWE T-1'S + GPS DOWNLINK CABLE	ID W/LABEL MAKER



- 3 TAGGING COLOR AND NOTES**
N.T.S.
- ALL ANTENNAS SHALL BE FURNISHED WITH DOWNTILT BRACKETS. CONTRACTOR SHALL COORDINATE REQUIRED MECHANICAL DOWNTILT FOR EACH ANTENNA WITH RF ENGINEER. ANTENNA DOWNTILT SHALL BE SET AND VERIFIED BY A SMART LEVEL.
 - CONTRACTOR SHALL INSTALL COLOR CODE RINGS ON EACH OF THE HYBRID CABLES AND JUMPER CABLES WITH UV RESISTANT TAPE. ALL CABLE SHALL BE MARKED AT TOP AND BOTTOM WITH 2" COLOR TAPE OR STENCIL TAG. COLOR TAPE MAY BE OBTAINED FROM GRAYBAR ELECTRONICS.

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12.01.20

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CO OF CURRITUCK OCEAN TRAIL

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ANTENNA & CABLE SCHEDULE

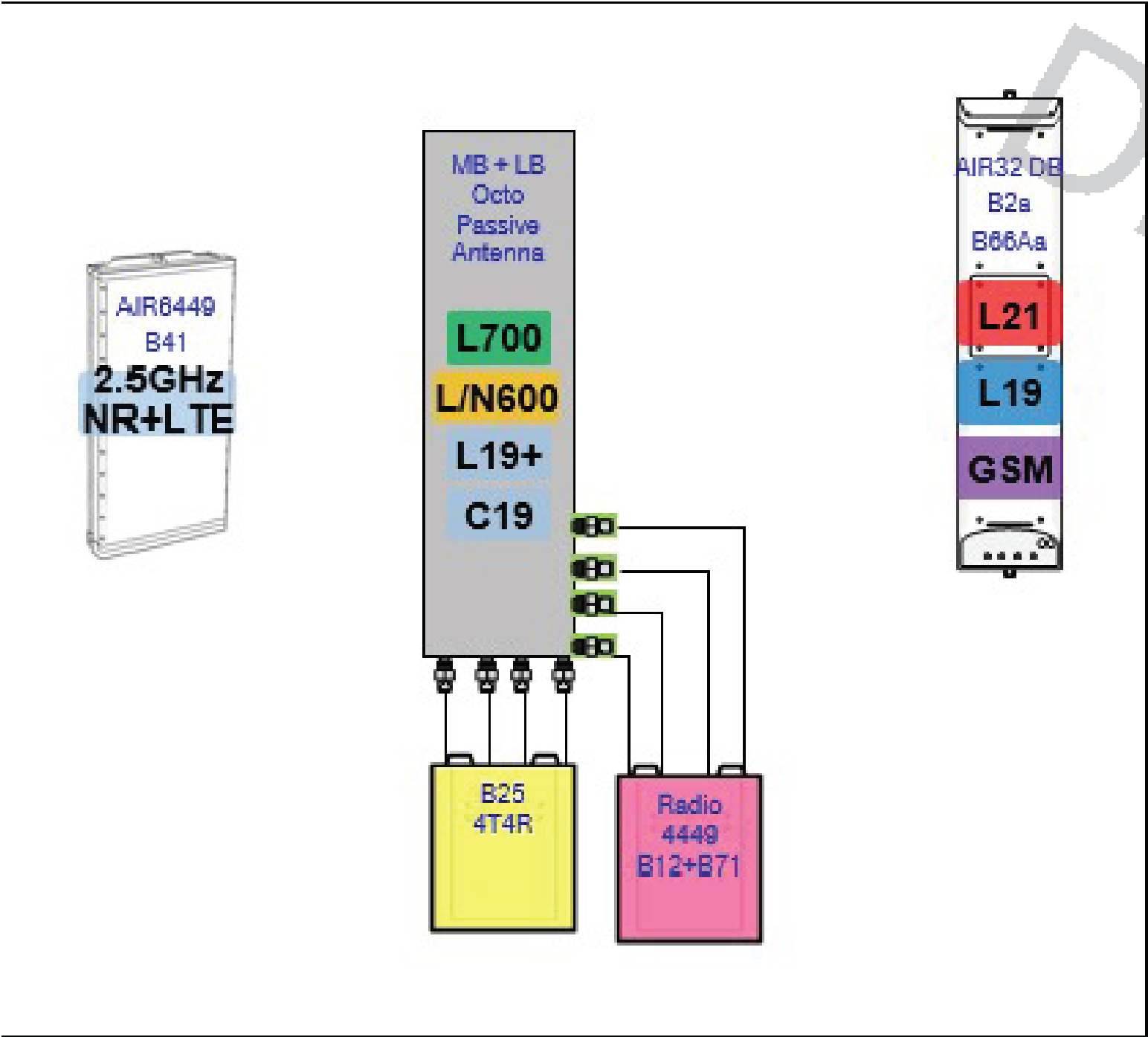
A-4A

9/14/2020

VA70795A_Sprint Retain_1_draft_2020-09-15

Section 3 - Proposed Template Images

67D5997DB_B25_2xAIR+1xOP.jpg



Notes:

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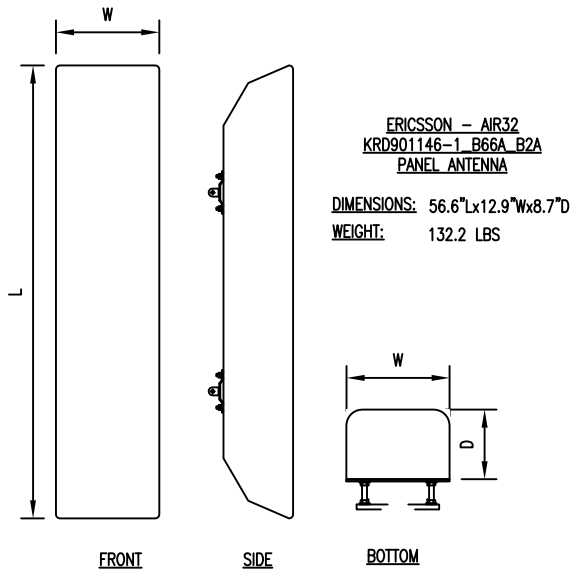
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CO OF CURRITUCK
OCEAN TRAIL

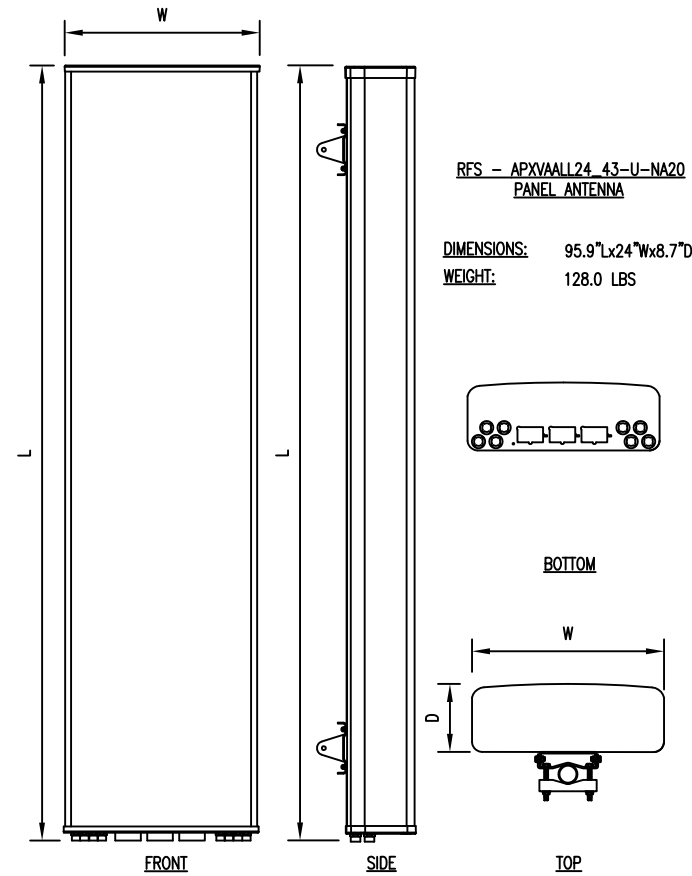
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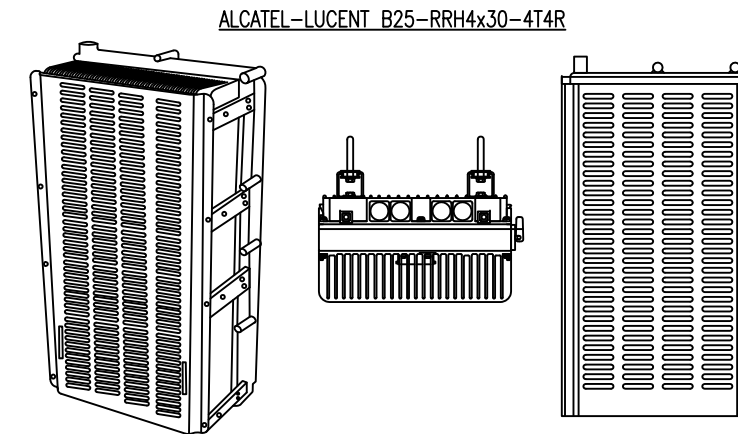
A-4B



1 ERICSSON – AIR32
KRD901146-1_B66A_B2A
ANTENNA DETAIL
N.T.S.

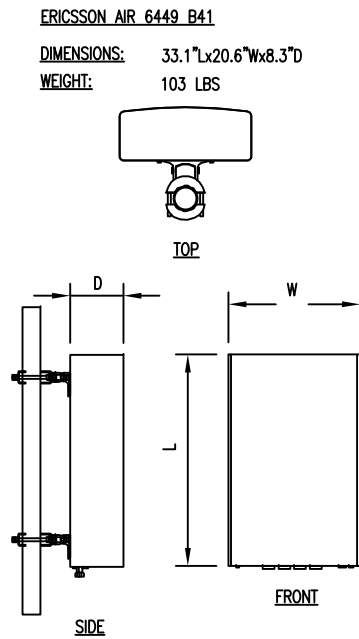


2 RFS – APXVAALL24_43-U-NA20
PANEL ANTENNA DETAIL
N.T.S.

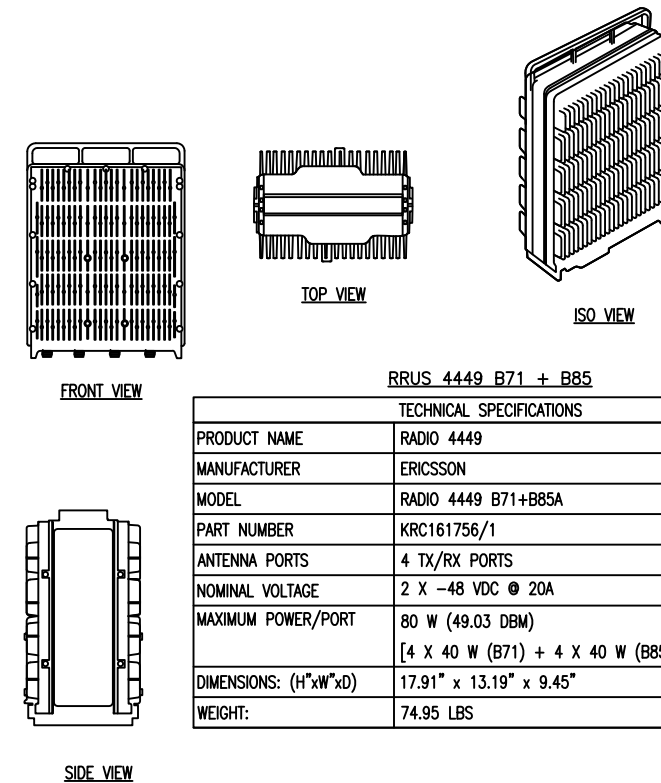


TECHNICAL SPECIFICATIONS	
FEATURES	SUPPORTING LTE IN 1.9 GHz BAND (PCS, 3GPP BAND 2 & 25)
NUMBER OF TX/RX PATHS	4 DUPLEXER (EITHER 4T4R OR 2T4R BY SW)
FREQUENCY BAND	3GPP BAND 2 & 25 (PCD-G) DL: 1930-1995 MHz UL: 1850-1915 MHz
DIMENSIONS (W/SOLAR SHIELD)	21.2"x12.0"x7.2"
WEIGHT	30 LBS
VOLTAGE	-40.5 TO -57V DC
POWER CONSUMPTION	580W (TYPICAL 100% RF LOAD)
RF OUTPUT	2x60W OR 4x30W (BY SW)
INSTANTANEOUS BANDWIDTH - # CARRIERS	UP TO 4 LTE CARRIERS (IN 40MHz OCCUPIED BANDWIDTH)
ANTENNA PORT	4 PORT 7/16 FEMALE (50 OHMS)
CPRI PORTS	2 CPRI PORTS (HW READY FOR RATE 7/9.8 GBPS)
AISG INTERFACE	1 AISG 2.0 OUTPUT (RS485), +24X/2A DC POWER
ENVIRONMENTAL CONDITIONS	-40°C (-40°F) / +55°C (+131°F)

3 B25-4T4R RADIO DETAIL
SCALE: N.T.S.



4 ERICSSON – AIR6449
B41 ANTENNA DETAIL
N.T.S.



RRUS 4449 B71 + B85 TECHNICAL SPECIFICATIONS	
PRODUCT NAME	RADIO 4449
MANUFACTURER	ERICSSON
MODEL	RADIO 4449 B71+B85A
PART NUMBER	KRC161756/1
ANTENNA PORTS	4 TX/RX PORTS
NOMINAL VOLTAGE	2 X -48 VDC @ 20A
MAXIMUM POWER/PORT	80 W (49.03 DBM) [4 X 40 W (B71) + 4 X 40 W (B85A)]
DIMENSIONS: (H"xW"xD)	17.91" x 13.19" x 9.45"
WEIGHT:	74.95 LBS

5 ERICSSON – RADIO 4449 B71+B85 DETAIL
N.T.S.

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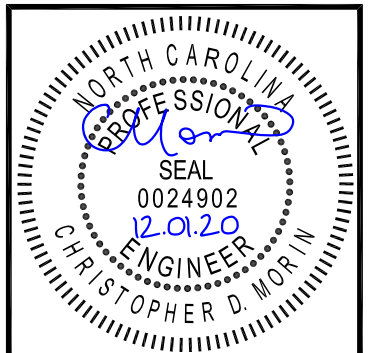
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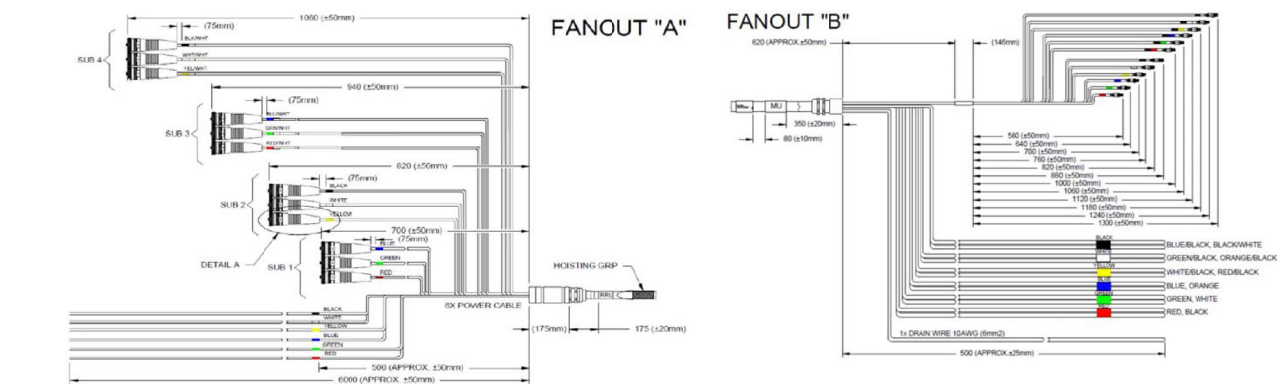
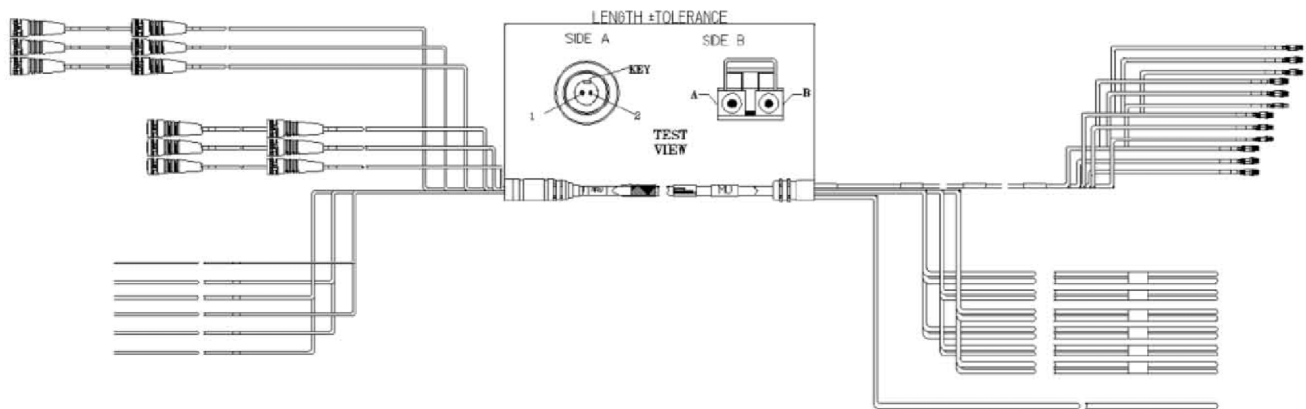
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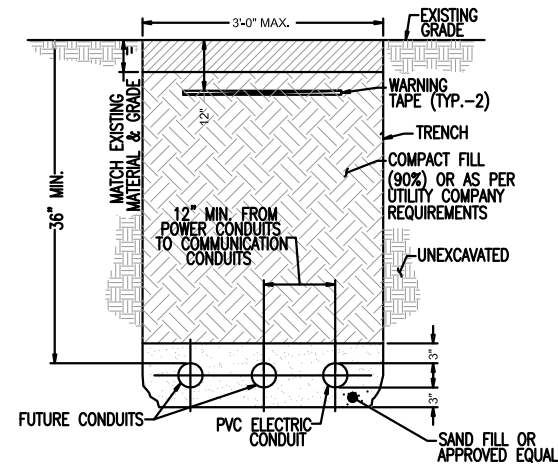
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DETAILS

A-5

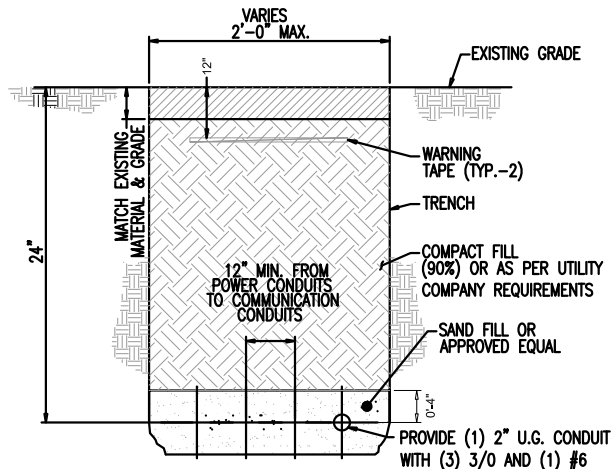


1 ERICSSON 6X12 HCS 4AWG HYBRID CABLE, (6) DC PAIRS + (12) OPTICAL PAIRS
N.T.S.



- NOTES:
1. IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
 2. SAND BACKFILL SHALL BE CLEAN, WASHED AND FREE OF DEBRIS, ROCKS LARGER THAN 1/8", PEASTONE, OR MASONRY SAND.
 3. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
 4. IF CURRENT AS-BUILT DRAWNGIS ARE NOT AVAILABLE SUBCONTRACTOR SHALL HAND DIG U/G TRENCHING.
 5. INSTALLATION PER THE NEC.
 6. DETECTION WIRE SHALL BE BURIED DIRECTLY ABOVE NON-METALLIC PIPING AS INDICATED IN THE CONSTRUCTION DOCUMENTS AND AS DIRECTED BY THE CONSTRUCTION MANAGER.

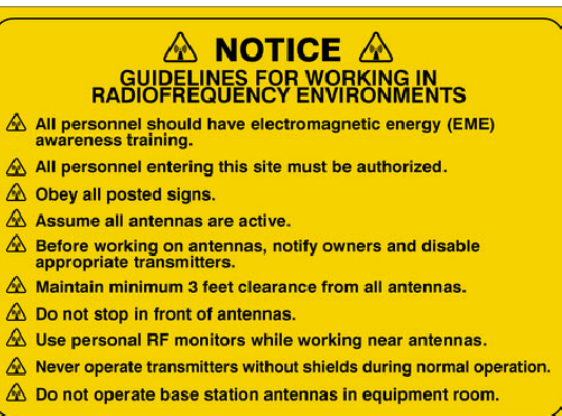
2 SERVICE TRENCH DETAIL
N.T.S.



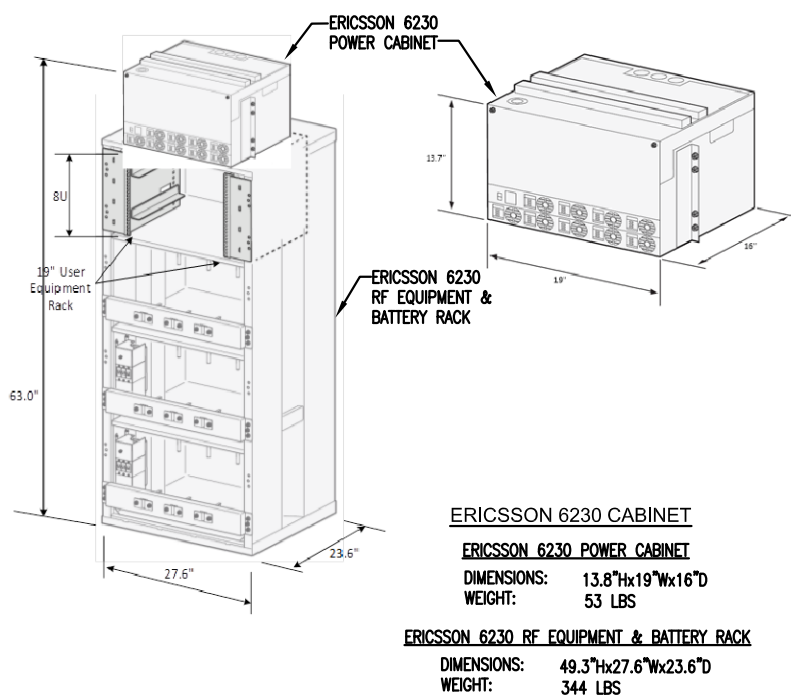
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3 GENERATOR CONDUIT TRENCH DETAIL
N.T.S.

NOTE:
ALL SIGNS TO BE PROVIDED BY GENERAL CONTRACTORS.



4 RF SIGN DETAIL
N.T.S.



5 ERICSSON - 6230 CABINET/RACK
N.T.S.



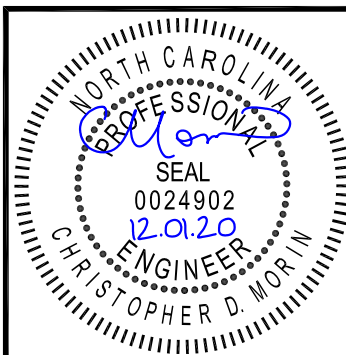
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DETAILS

A-5A

GENERAC | SD050 | 3.4L | 50 kW

INDUSTRIAL DIESEL GENERATOR SET

EPA Certified Stationary Emergency

ENGINE SPECIFICATIONS

General

Make	Generac
EPA Emissions Compliance	Stationary Emergency
EPA Emissions Reference	See Emissions Data Sheet
Cylinder #	4
Type	In-Line
Displacement – L (cu In)	3.4 (207.48)
Bore – mm (in)	98 (3.86)
Stroke – mm (in)	113 (4.45)
Compression Ratio	18.5:1
Intake Air Method	Turbocharged/Aftercooled
Cylinder Head Type	Cast Iron OHV
Piston Type	Aluminium
Crankshaft Type	Forged Steel

Engine Governing

Governor	Electronic Isochronous
Frequency Regulation (Steady State)	+/- 0.25%

Lubrication System

Oil Pump Type	Gear
Oil Filter Type	Full Flow Cartridge
Crankcase Capacity – L (qts)	7 (7.4)

Cooling System

Cooling System Type	Closed Recovery
Water Pump	Pre-Lubed, Self Sealing
Fan Type	Pusher
Fan Speed (rpm)	NA
Fan Diameter mm (in)	560 (22)
Coolant Heater Wattage	1500
Coolant Heater Standard Voltage	120 V /240 V

Fuel System

Fuel Type	Ultra Low Sulfur Diesel Fuel
Fuel Specifications	ASTM
Fuel Filtering (microns)	10
Fuel Injection	Bosch (VE)
Fuel Pump Type	Engine Driven Gear
Injector Type	Pintel – 2100 PSI
Fuel Supply Line mm (in)	7.92 (0.312)
Fuel Return Line mm (in)	7.92 (0.312)

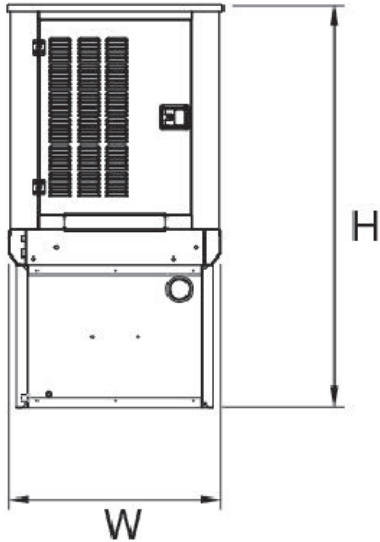
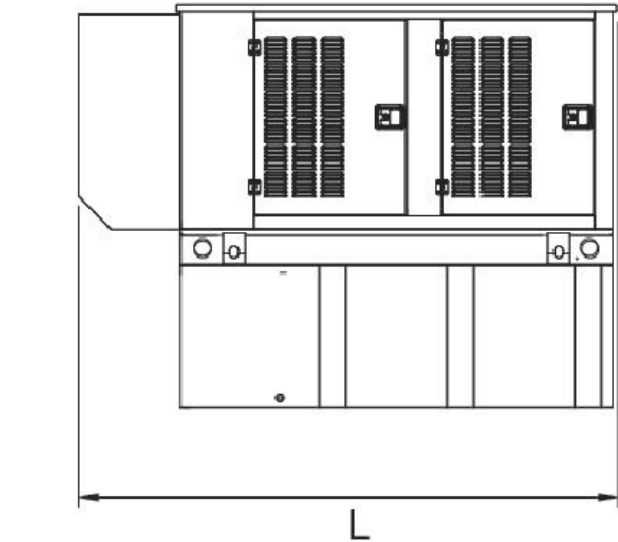
Engine Electrical System

System Voltage	12 VDC
Battery Charging Alternator	20 A
Battery Size	See Battery Index 0161970SBY
Battery Voltage	12 VDC
	Negative

ALTERNATOR SPECIFICATIONS

Standard Model	390
Poles	4
Field Type	Revolving
Insulation Class – Rotor	H
Insulation Class – Stator	H
Total Harmonic Distortion	<3%
Telephone Interference Factor (TIF)	<50

Standard Excitation	Synchronous
Bearings	Single Sealed Cartridge
Coupling	Direct, Flexible Disc
Load Capacity – Standby	100%
Prototype Short Circuit Test	Yes
Voltage Regulator Type	Digital
Number of Sensed Phases	All
Regulation Accuracy (Steady State)	±0.25%



OPERATING DATA

POWER RATINGS

		Standby
Single-Phase 120/240 VAC @1.0pf	50 kW	Amps: 208
Three-Phase 120/208 VAC @0.8pf	50 kW	Amps: 173
Three-Phase 120/240 VAC @0.8pf	50 kW	Amps: 150
Three-Phase 277/480 VAC @0.8pf	50 kW	Amps: 75
Three-Phase 346/600 VAC @0.8pf	50 kW	Amps: 60

STARTING CAPABILITIES (sKVA)

			sKVA vs. Voltage Dip										
Alternator	kW	10%	15%	20%	25%	30%	35%	10%	15%	20%	25%	30%	35%
Standard	50	34	52	69	86	103	120	26	39	52	65	77	90
Upsize 1	60	42	63	83	104	125	146	32	47	62	78	94	110

FUEL CONSUMPTION RATES*

		Diesel – gph (lph)	
	Fuel Pump Lift – ft (m)	Percent Load	gph (lph)
	3 (1)	25%	1.3 (4.92)
		50%	2.3 (8.71)
		75%	3.3 (12.50)
		100%	4.3 (16.36)
* Fuel supply installation must accommodate fuel consumption rates at 100% load.			

COOLING

		Standby
Coolant Flow per Minute	gpm (lpm)	12.2 (46)
Coolant System Capacity	gal (L)	2.5 (9.5)
Heat Rejection to Coolant	BTU/hr	135,900
Inlet Air	cfm (m3/hr)	7500 (212)
Max. Operating Radiator Air Temp	F° (C°)	122 (50)
Max. Ambient Temperature (before derate)	F° (C°)	104 (40)
Maximum Radiator Backpressure	in H2O	0.5

COMBUSTION AIR REQUIREMENTS

	Standby
Flow at Rated Power cfm (m3/min)	166 (4.7)

ENGINE

	Standby		Standby
Rated Engine Speed	rpm	1800	
Horsepower at Rated kW**	hp	86	
Piston Speed	ft/min (m/min)	1335	
BMEP	psi	169	
** Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.			

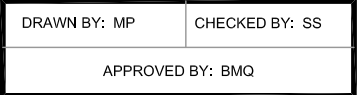
Deration – Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions. Please consult a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO3046, BS5514, ISO8528 and DIN6271 standards.

EXHAUST

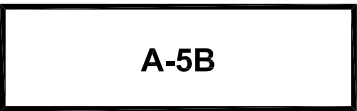
	Standby		Standby
Exhaust Flow (Rated Output)	cfm (m3/min)	448 (12.7)	
Max. Backpressure (Post Silencer)	inHg (Kpa)	1.5 (5.1)	
Exhaust Temp (Rated Output)	*F (*C)	1044 (562)	
Exhaust Outlet Size (Open Set)	mm (in)	63.5 (2.5)	

STANDARD ENCLOSURE

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) – Enclosure Only	
			Steel	Aluminum
NO TANK	–	95 (2413) x 38 (965.2) x 50 (1270)		
13	54 (204.4)	95 (2413) x 38 (965.2) x 63 (1600.2)		
31	132 (499.7)	95 (2413) x 38 (965.2) x 75 (1905)	334 (152)	115 (52)
49	211 (798.7)	95 (2413) x 38 (965.2) x 87 (2209.8)		
70	300 (1135.6)	95 (2413) x 38 (965.2) x 91 (2311.4)		

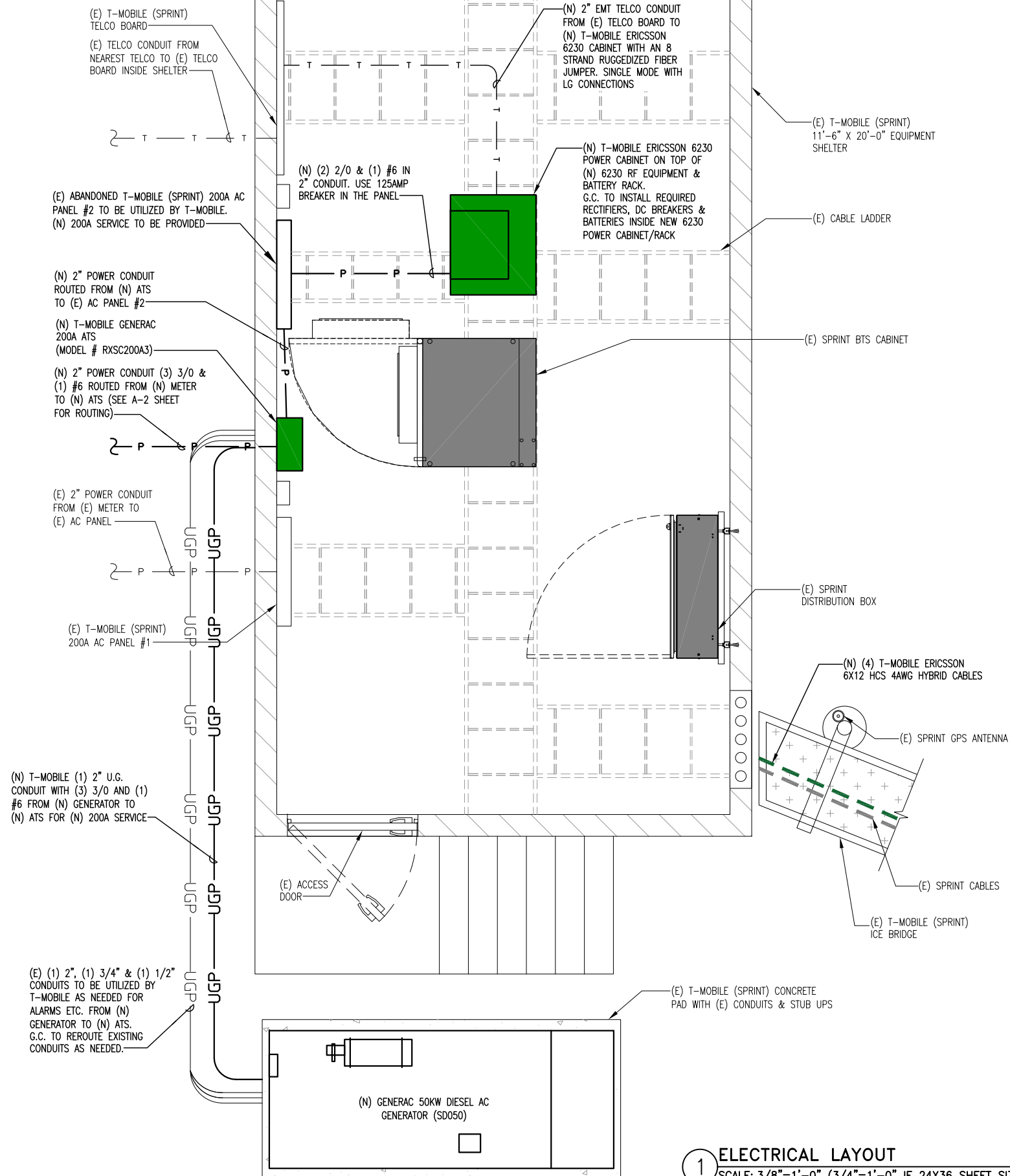


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0	FINALS	12/01/20	SS



NOTE:

1. (2) 60A 2POLE HVAC BREAKERS ARE TRANSFERRED FROM AC PANEL #1 TO AC PANEL #2.
2. MAXIMUM NUMBER OF RECTIFIERS THAT CAN BE USED IN 6230 CABINET WITH 125A BREAKER IS 6



1 ELECTRICAL LAYOUT
SCALE: 3/8"=1'-0" (3/4"=1'-0" IF 24X36 SHEET SIZE)

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL APPLICABLE STATE AND LOCAL CODES.
2. ALL ELECTRICAL ITEMS SHALL BE U/L APPROVED OR LISTED AND PROCEDURE PER SPECIFICATION REQUIREMENTS.
3. THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATIONS INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRIC SYSTEM.
4. GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
5. ELECTRICAL AND TELCO WIRING AT EXPOSED INDOOR LOCATIONS SHALL BE IN ELECTRICAL TUBING OR RIGID NON-METALLIC TUBING (RIGID SCHEDULE 40 PVC OR RIGID SCHEDULE 80 PVC FOR LOCATIONS SUBJECTED TO PHYSICAL DAMAGE) (AS PERMITTED BY CODE).
6. ELECTRICAL AND TELCO WIRING AT CONCEALED INDOOR LOCATIONS SHALL BE IN ELECTRICAL METALLIC TUBING OR RIGID MONOMETALLIC TUBING (RIGID SCHEDULE 40 PVC (AS PERMITTED BY CODE).
7. ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING, ABOVE GRADE AND EXPOSED TO WEATHER SHALL BE IN WATERTIGHT GALVANIZED RIGID STEEL CONDUITS (RGS) AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR NON-METALLIC CONDUITS.
8. BURRIED CONDUCT SHALL BE RIGID NON-METALLIC CONDUCT (RIGID SCHEDULE 40 PVC) DIRECT BURIED IN AREAS OF OCCASIONAL LIGHT TRAFFIC, ENCASED IN REINFORCED CONCRETE IN AREA OF HEAVY TRAFFIC.
9. LIGHT-LIQUID FLEXILE METALLIC CONDUIT SHALL BE USED INDOORS AND OUTDOOR IN AREAS WHERE VIBRATION OCCURS AND FLEXIBILITY IS NEEDED.
10. ELECTRICAL WIRING SHALL BE COOPER WITH TYOE THHN, THWN-2 OR THIN INSULATION.
11. RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY DEMARCATION POINT AND PROJECT OWNER CELL SITE PPC AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
12. RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT (AT UTILITY POLE) AND CELL SITE TELCO CABINET AND BTS CABINET AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE INSTALLED TELCO CONDUIT. PROVIDE GREENLEE CONDUIT MEASURING TAPE AT EACH END,
13. ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
14. PPC SUPPLIED BY PROJECT OWNER.
15. GROUNDING SHALL COMPLY WITH NEC ART 250. ADDITIONALLY, GROUNDING, BONDING AND LIGHTING PROJECTION SHALL BE DONE IN ACCORDANCE WITH METRO MOD CELL SITE GROUNDING STANDARDS.
16. GROUNDING CABLE SHIELD MINIMUM AT BOTH ENDS USING MANUFACTURES CABLE GROUNDING KITS SUPPLIED BY T-MOBILE.
17. USE #6 COOPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COOPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
18. ALL POWER AND GROUND CONNECTIONS TO BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY HARGER (OR APPROVED EQUAL) RATED FOR OPERATION AT NO LESS THAN 75°C OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COOPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
19. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 6 FEET OF PROJECT OWNER EQUIPMENT OR CABINET TO MASTER GROUND BAR OR GROUNDING RING.
20. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYOE COPPER LUGS. APPLY OXIDE INHABITING COMPOUND TO ALL LOCATIONS.
21. APPLY OXIDE INHABITING COMPOUND TO ALL MECHANICAL GROUND CONNECTIONS.
22. CONTRACTOR SHALL TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION. 5 OHMS MINIMUM RESISTANCE REQUIRED.
23. CONTRACTOR SHALL CONDUCT ANTENNA, CABLE, AND LNA RETURN-LOSS AND DISTANCE-TO-FAULT MEASUREMENTS (SWEEP TEST) AND RECORD RESULTS FOR PROJECT CLOSE-OUT.
24. THE T-MOBILE ELECTRICAL EQUIPMENT INCLUDING PANEL, SWITCH GEAR AND DISCONNECT ARE TO BE LABELED WITH ENGRAVED BAKELITE LABELS.

2 ELECTRICAL NOTES

APPLICANT

T-Mobile®324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT



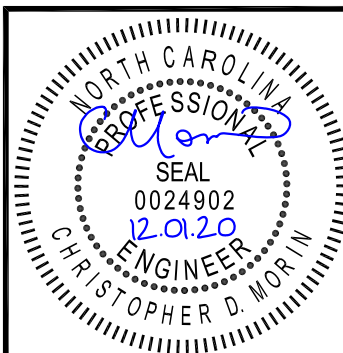
ENGINEER

BC
architects
engineers5661 COLUMBIA PIKE, SUITE 200
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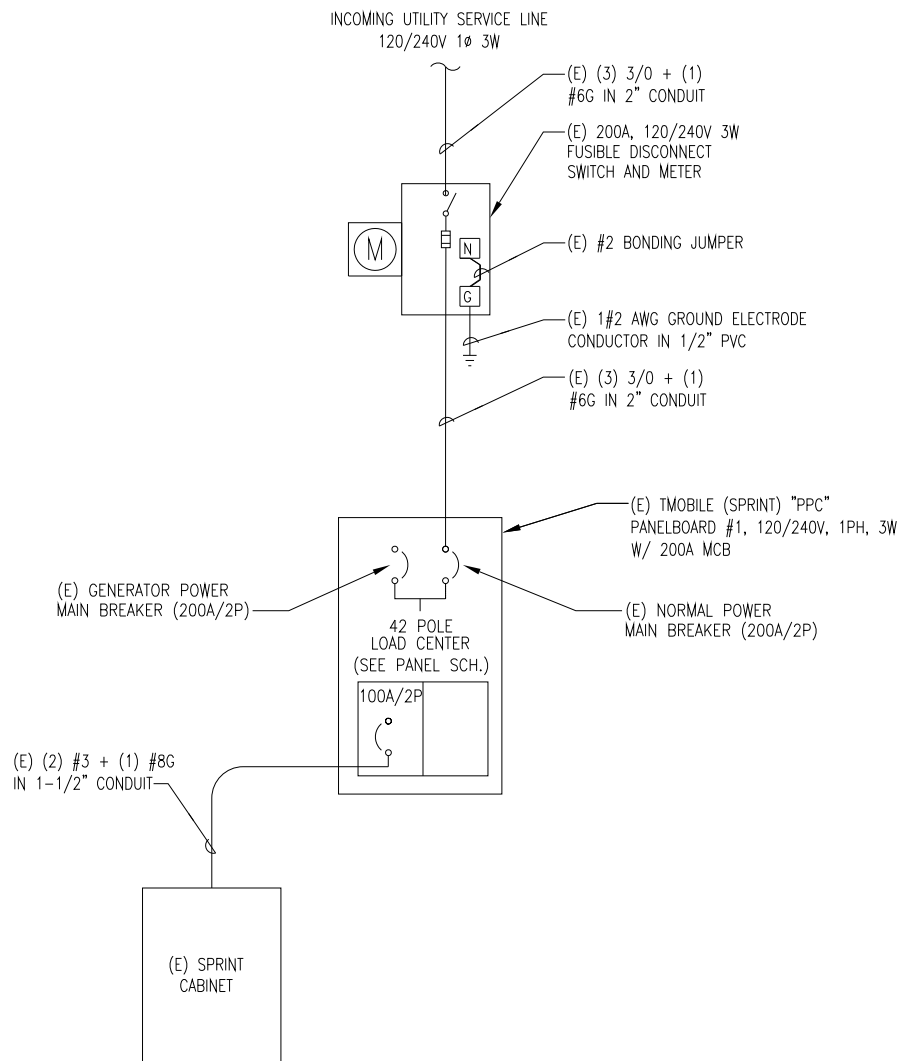
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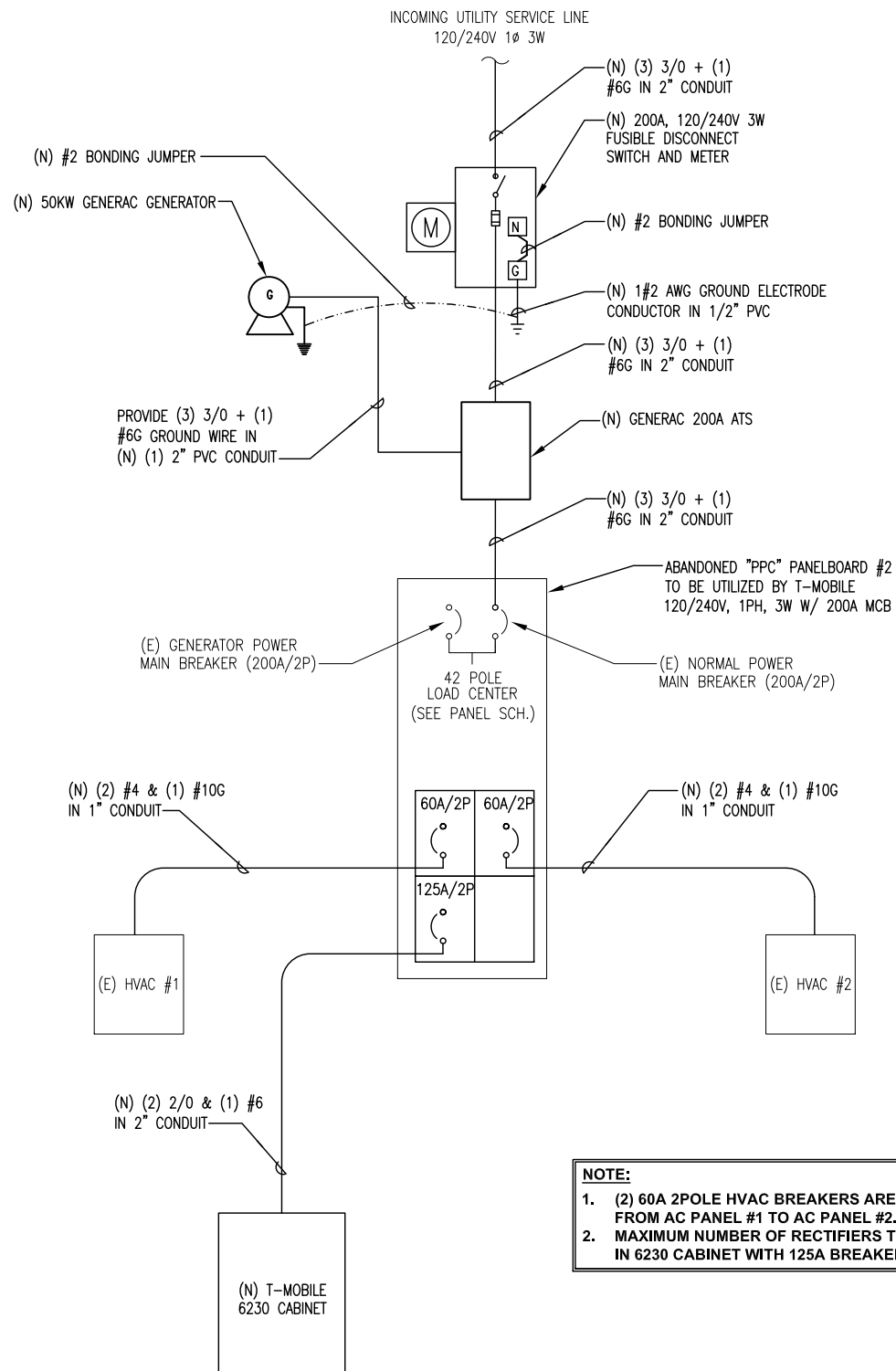


SITE INFORMATION

VA70795A/NO80XC013
CO OF CURRITUCK
OCEAN TRAIL734 OCEAN TRAIL
COROLLA, NC 27927**ELECTRICAL LAYOUT****E-1**



1 ONE LINE DIAGRAM (AC PANEL #1)
SCALE: N.T.S.



2 ONE LINE DIAGRAM (AC PANEL #2)
SCALE: N.T.S.

APPLICANT

T-Mobile

324 MADISON MEWS
NORFOLK, VIRGINIA 23510

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ENGINEER
CHRISTOPHER D. MORIN

SITE INFORMATION
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CO OF CURRITUCK OCEAN TRAIL
734 OCEAN TRAIL
COROLLA, NC 27927

ONE LINE DIAGRAM

E-2

200 A MCB					Voltage: 240								
AC PANEL SCHEDULE					1 ϕ 3 W								
Breaker Pos #	Description	State (On/Off)	Use *	Amp	Load	Phase A	Phase B	Load	Amp	State (On/Off)	Use *	Description	Breaker Pos #
1						0							2
3							0						4
5						0							6
7							0						8
9						0							10
11							0						12
13						0							14
15							0						16
17						180		180	20	ON	1P	RECEPT	18
19							180	180	20	ON	1P	RECEPT	20
21	SPACE					1		1	60	ON	2P	SURGE SUPPRESSION	22
23	SPACE						1	1					24
25	SPARE	OFF	1P	40		180		180	20	ON	1P	RECEPT	26
27	MMBTS	ON	2P	100	9600		9600						28
29					9600	9600					30		
31	LIGHT	ON	1P	20	512		512						32
33	SPACE					0							34
35	SPACE						0						36
37	GFI	ON	1P	20	180	180							38
39	GFI	ON	1P	20	180		180						40
41	SMOKE DETECT	ON	1P	20	500	500							42
						9961	10293						

NO NEW AC LOADS ADDED

HVAC LOADS TO BE TRANSFERRED TO AC PANEL #2

CONNECTED LOAD (KVA):	20.25
DEMAND CALCULATIONS:	
CONTINUOUS LOAD @ 125%	25.27
NON CONTINUOUS LOAD @ 100%	0.90
MECHANICAL LOADS @ 125%	0.00
EXISTING LOADS @ 125%	0.00
NEW LOADS @ 125%	0.00
TOTAL PANEL CAPACITY (KVA)	48.00
TOTAL LOADING ON PANEL (KVA)	26.17
TOTAL SPARE CAPACITY (KVA)	21.83
TOTAL PANEL CAPACITY (A)	200.00
TOTAL LOADING ON PANEL (A)	109.03
TOTAL SPARE CAPACITY (A)	90.97

NOTE: PANEL BOARD IS NOT OVERLOADED.

1 EXISTING AC PANEL #1 SCHEDULE
SCALE: N.T.S.

200 A MCB					Voltage: 240								
AC PANEL SCHEDULE					1 ϕ 3 W								
Breaker Pos #	Description	State (On/Off)	Use *	Amp	Load	Phase A	Phase B	Load	Amp	State (On/Off)	Use *	Description	Breaker Pos #
1	HVAC #1	ON	2P	60	3360	6720		3360	60	ON	2P	HVAC #2	2
3					3360		6720	3360					4
5	6230 CABINET	ON	2P	125	12000	12000							6
7					12000		12000				8		
9						0							10
11							0						12
13						0							14
15							0						16
17						0							18
19							0						20
21	SPARE	OFF	1P	30		0			30	OFF	1P	SPARE	22
23							0		60	OFF	2P	SPARE	24
25						0							26
27	SPARE	OFF	2P	40			0		60	OFF	2P	SPARE	28
29							0					30	
31	SPARE	OFF	2P	41			0		20	OFF	1P	SPARE	32
33							0		20	OFF	1P	SPARE	34
35							0		20	OFF	1P	SPARE	36
37						0			20	OFF	1P	SPARE	38
39							0						40
41						0							42
						18720	18720						

NEW LOADS ADDED

CONNECTED LOAD (KVA):	37.44
DEMAND CALCULATIONS:	
CONTINUOUS LOAD @ 125%	0.00
NON CONTINUOUS LOAD @ 100%	0.00
MECHANICAL LOADS @ 125%	0.00
EXISTING LOADS @ 125%	0.00
NEW LOADS @ 125%	46.80
TOTAL PANEL CAPACITY (KVA)	48.00
TOTAL LOADING ON PANEL (KVA)	46.80
TOTAL SPARE CAPACITY (KVA)	1.20
TOTAL PANEL CAPACITY (A)	200.00
TOTAL LOADING ON PANEL (A)	195.00
TOTAL SPARE CAPACITY (A)	5.00

NOTE: PANEL BOARD IS NOT OVERLOADED.

2 EXISTING AC PANEL #2 SCHEDULE
SCALE: N.T.S.

- NOTE:
- (2) 60A 2POLE HVAC BREAKERS ARE TRANSFERRED FROM AC PANEL #1 TO AC PANEL #2.
 - MAXIMUM NUMBER OF RECTIFIERS THAT CAN BE USED IN 6230 CABINET WITH 125A BREAKER IS 6
 - G.C. TO TURN OFF/REMOVE ALL UNUSED BREAKERS

APPLICANT




324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT



Leaders in Communication Development
and Construction Services

ENGINEER



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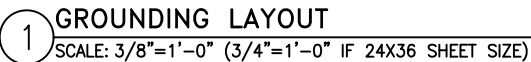
CO OF CURRITUCK

OCEAN TRAIL

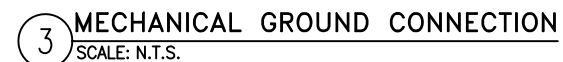
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AC PANEL SCHEDULES

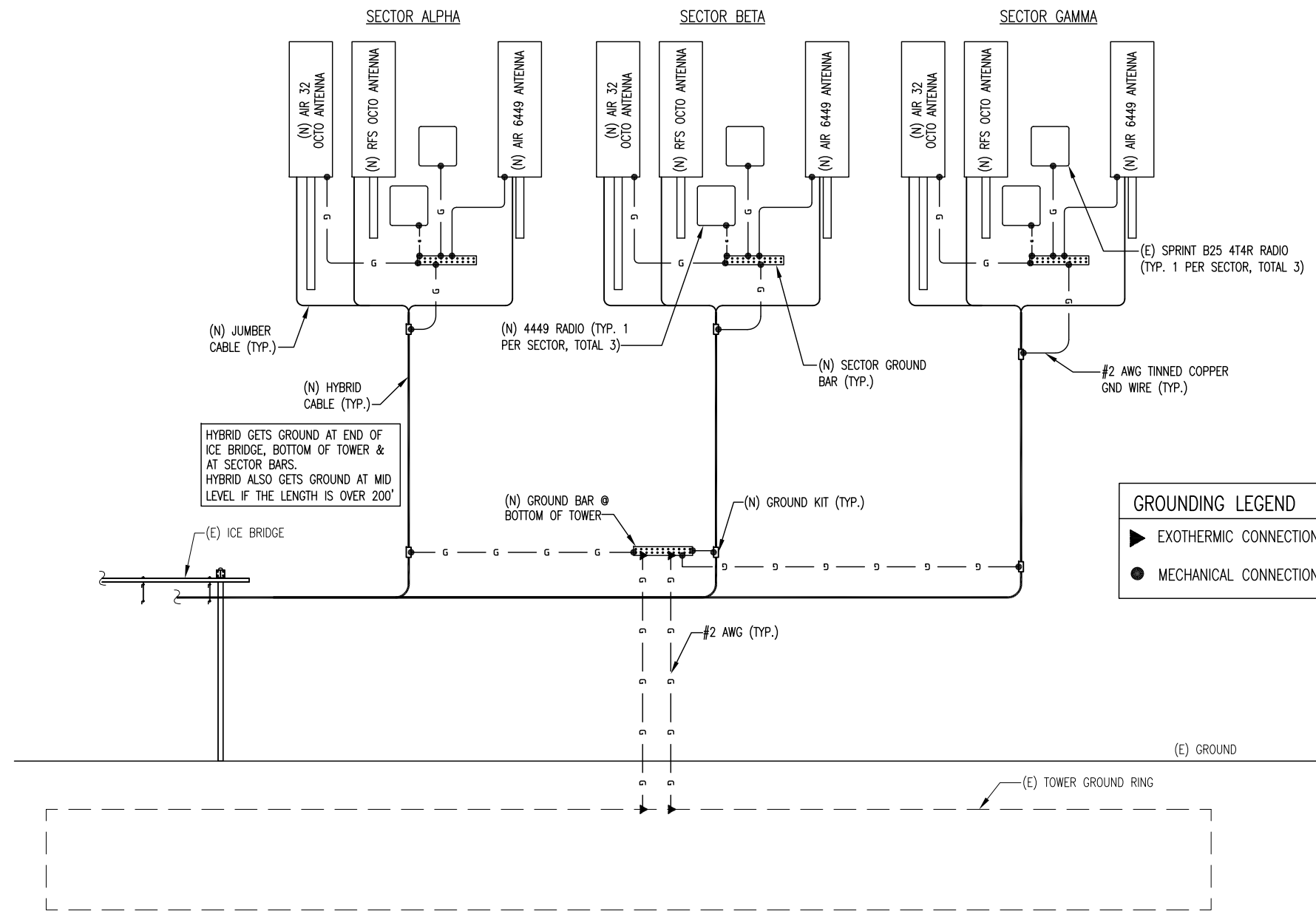
E-3



- ## 2 GROUNDING NOTES



Packet Pg. 168

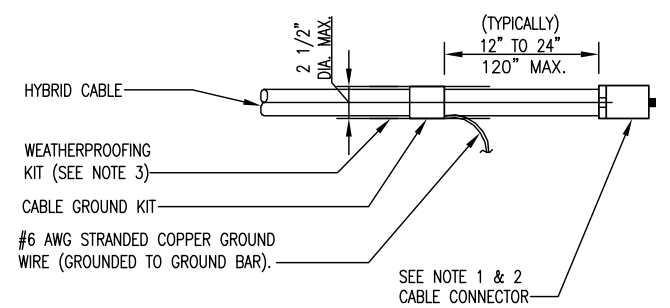


GROUNDING LEGEND

▶ EXOTHERMIC CONNECTION

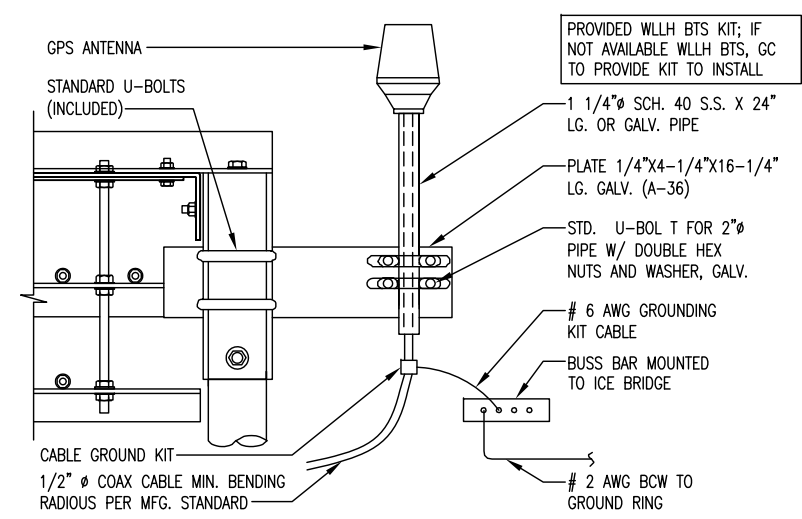
● MECHANICAL CONNECTION

1 TOWER EQUIPMENT GROUNDING RISER DIAGRAM
SCALE: N.T.S.

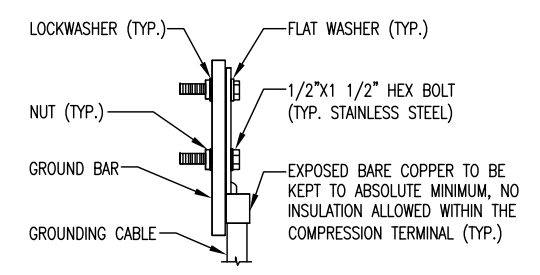
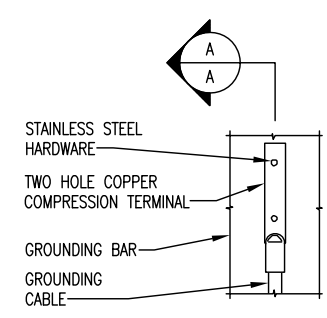


- NOTES:
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 - GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 - WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

2 HYBRID CABLE GROUNDING KIT DETAILS
SCALE: N.T.S.



3 GPS GROUNDING DETAIL
SCALE: N.T.S.



4 TYPICAL GROUND BAR CONN DETAIL
SCALE: N.T.S.

APPLICANT

T-Mobile

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NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT

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FALLS CHURCH, VA 22041-2868

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ENGINEER

CHRISTOPHER D. MORIN

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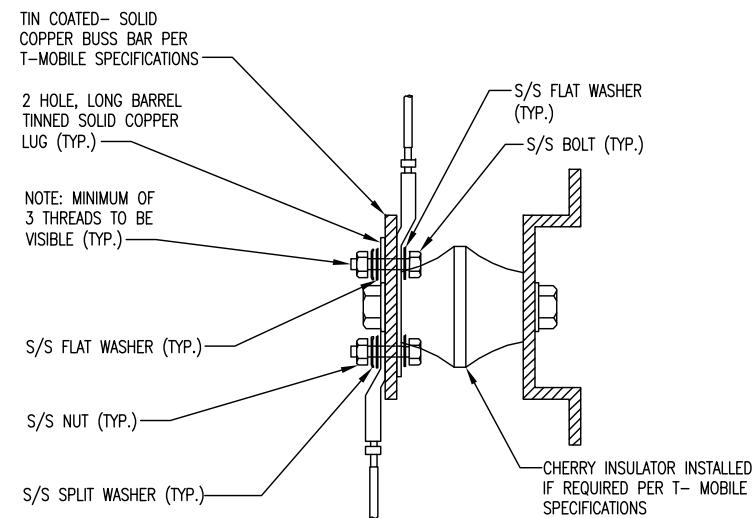
CO OF CURRITUCK OCEAN TRAIL

734 OCEAN TRAIL
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GROUNDING DETAILS

G-2

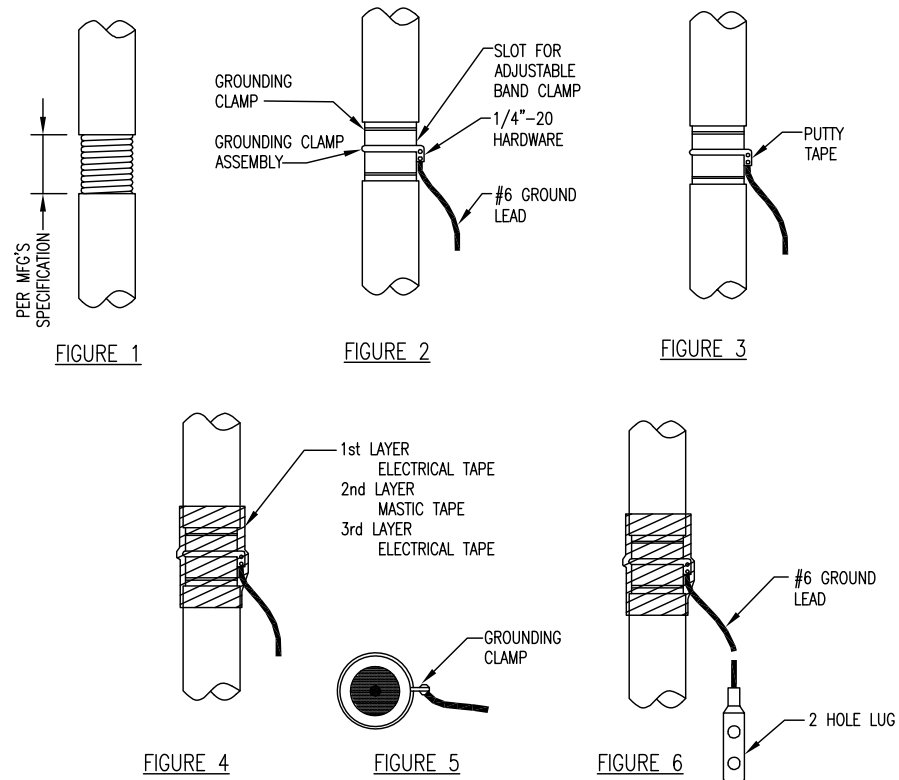
THE DETAILS ON THIS SHEET APPLY ONLY AS CALLED OUT ON SITE PLANS OR SITE SPECIFIC DRAWINGS.



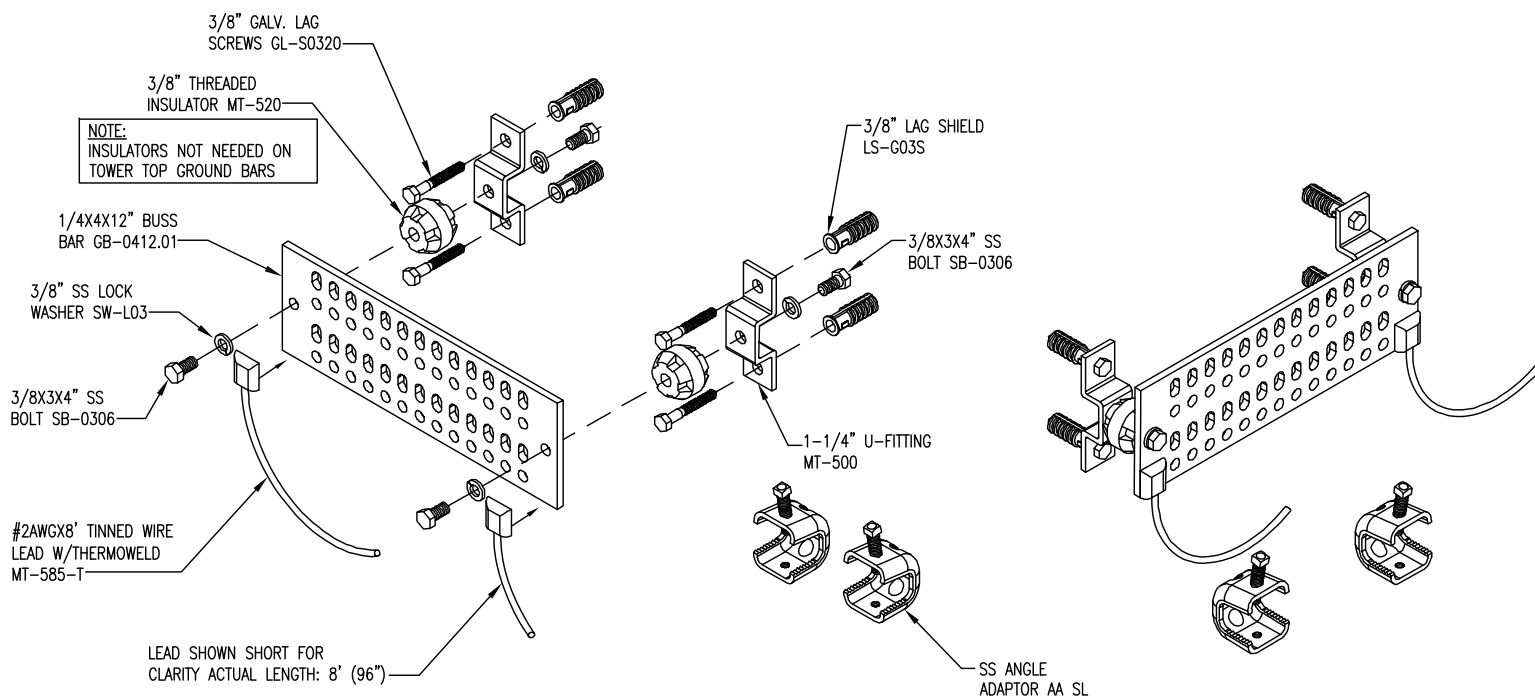
- NOTES:
1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING SPLIT WASHERS.
 2. COAT WIRE WITH ANTI-OXIDATION COMPOUND PRIOR TO INSERTION INTO LUG BARREL AND CRIMPING.
 3. INSERTION INTO LUG BARREL AND CRIMPING.
 4. APPLY ANTI-OXIDATION COMPOUND BETWEEN ALL LUGS AND BUSS BARS PRIOR TO MATING AND BOLTING

(FRONT AND BACK ATTACHMENT)

1 GROUNDING – GENERAL LUG DETAIL
SCALE: N.T.S.



3 TYPICAL GROUND BAR CONN DETAIL
SCALE: N.T.S.



3 GROUND BAR
SCALE: N.T.S.

APPLICANT

T-Mobile

324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT

F.C.I.
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DRAWN BY: MP CHECKED BY: SS

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NORTH CAROLINA
PROFESSIONAL
SEAL
0024902
12.01.20
ENGINEER
CHRISTOPHER D. MORIN

SITE INFORMATION
VA70795A/NO80XC013
CO OF CURRITUCK
OCEAN TRAIL
734 OCEAN TRAIL
COROLLA, NC 27927

GROUNDING DETAILS

G-3

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1.0 CONSTRUCTION TO CONFORM TO T-MOBILE INTEGRATED CONSTRUCTION STANDARDS

1.1 PURPOSE AND INTENT

- A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. SHOULD THERE BE ANY DISCREPANCIES BETWEEN REQUIREMENTS SHOWN IN BOTH, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- B. THE INTENTION OR THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.
- C. THE PURPOSE OF THE T-MOBILE WIRELESS CONSTRUCTION SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

1.2 CONFLICTS

- A. VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS. SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO T-MOBILE WIRELESS FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- B. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST OR OF DIFFICULTIES OF CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR T O FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS GOVERNING THE WORK.

1.3 CLEANING

KEEP THE SITE FREE FROM ACCUMULATION OF WASTE AND RUBBISH CAUSED BY EMPLOYEES AT THE COMPLETION OF THE WORK. REMOVE ALL WASTE AND NON-CONSTRUCTION MATERIAL INCLUDING ALL CONTRACTOR TOOLS, SCAFFOLDING AND SURPLUS MATERIAL AND LEAVE SITE CLEAN AND READY FOR USE.

1.4 CODES

CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS AND RULES PROMULGATED BY FEDERAL STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE SITE. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.

1.5 LICENSING

HAVE AND MAINTAIN A VALID CONTRACTORS LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTORS PERFORMING THOSE TRADES SHALL BE LICENSED. RESEARCH AND COMPLY WITH LICENSING LAWS, PAY LICENSE FEES, AND SELECT AND INFORM SUBCONTRACTORS REGARDING THESE LAWS.

1.6 OSHA

FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS, AND STATE LAWS BASED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT. THESE REGULATIONS INCLUDE BUT ARE NOT LIMITED TO. REGULATIONS DEALING WITH TOWER CONSTRUCTION AND SAFETY, EXCAVATIONS AND TRENCHING, AND WORK IN CONFINED SPACES. ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES DURING CONSTRUCTION.

1.7 PHOTOS

PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL FOUNDATION INSTALLATION, GROUNDING AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.

1.8 BUILDING PERMITS

T-MOBILE WIRELESS WILL SUBMIT CONSTRUCTION DOCUMENTS TO THE JURISDICTIONAL AUTHORITY FOR PLAN CHECK AND REVIEW. CONTRACTOR WILL SUBMIT LICENSING AND WORKMAN'S COMPENSATION INFORMATION TO THE JURISDICTION AS REQUIRED TO OBTAIN THE BUILDING PERMIT. CONTRACTOR SHALL COORDINATE AND SCHEDULE REQUIRED INSPECTIONS AND POST REQUIRED PERMITS AT THE JOB SITE. COMPLY WITH SPECIFIC PROJECT-RELATED REQUESTS AND SUGGESTIONS MADE BY BUILDING INSPECTOR AND INFORM CONSTRUCTION MANAGER OF ANY SUCH WORK THAT MAY BE BEYOND THE SCOPE OF THE CONTRACT OR DEVIATE FROM THE CONSTRUCTION DOCUMENTS. T-MOBILE WIRELESS WILL REIMBURSE THE CONTRACTOR FOR FEES FOR PLAN REVIEW, BUILDING PERMIT, CONNECTIONS AND INSPECTION.

1.9 ZONING REGULATIONS AND CONDITIONAL USE PERMITS

T-MOBILE WIRELESS WILL SUBMIT FOR AND OBTAIN ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS FOR THE SITE RELATED TO CONSTRUCTION SUCH AS NOISE REGULATIONS, HOURS OF WORK, ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN CONSTRUCTION DOCUMENTS.

1.10 FM PERMIT AND TOWER LIGHTING

REFER TO CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGER FOR FAA AND STATE LIGHTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEMPORARY FM APPROVED LIGHTING UNTIL PERMANENT LIGHTING IS OPERATIONAL

1.11 TOWER SECURITY

TOWER MUST BE FENCED, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN OR UNATTENDED AT ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE.

1.12 SITE CONTROL

- A. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION AT THE SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO T-MOBILE WIRELESS.
- B. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
- C. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.

2.0 SITE PREPARATION

2.1 SCOPE OF WORK INCLUDES:

- A. PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.
- B. TRIMMING OF EXISTING TREES AND VEGETATION AS REQUIRED FOR PROTECTION DURING CONSTRUCTION ACTIVITIES.
- C. CLEARING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES, AND SITE IMPROVEMENTS.
- D. TOPSOIL STRIPPING AND STOCKPILING.
- E. TEMPORARY EROSION CONTROL SILTATION CONTROL AND DUST CONTROL CONFORMING TO LOCAL REQUIREMENTS AS APPLICABLE.
- F. TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS AND MONUMENTS.
- G. PROTECTION AND TEMPORARY RELOCATION, STORAGE AND RE-INSTALLATION OF DUSTING FENCING AND OTHER SITE IMPROVEMENTS SCHEDULED FOR REUSE.
- H. REMOVAL AND LEGAL DISPOSAL OF CLEARED MATERIALS.

2.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED ILL CONSTRUCTION DOCUMENTS.)

- A. MATERIALS USED FOR TREE PROTECTION, EROSION CONTROL, SILTATION CONTROL AND DUST CONTROL AS SUITABLE FOR SPECIFIC SITE CONDITIONS.

3.0 EARTH WORK

3.1 SCOPE OF WORK INCLUDES:

- A. EXCAVATION, TRENCHING, FILLING, COMPACTION, AND GRADING FOR STRUCTURES, SITE IMPROVEMENTS AND UTILITIES.
- B. MATERIALS FOR SUB-BASE DRAINAGE FILL, BACKFILL AND GRAVEL FOR SLABS, PAVEMENTS AND IMPROVEMENTS.
- C. ROCK EXCAVATION WITHOUT BLASTING.
- D. SUPPLY OF ADDITIONAL MATERIALS FROM OFFSITE AS REQUIRED.
- E. REMOVAL AND LEGAL DISPOSAL OF EXCAVATED MATERIALS AS REQUIRED

3.2 QUALITY ASSURANCE

A. COMPACTION:

- a. UNDER STRUCTURES, BUILDING SLABS, PAVEMENTS AND WALKWAYS WILL OBTAIN A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE.
- b. GRADING TOLERANCES OUTSIDE BUILDING CODES:
- c. LAWNS, UNPAVED AREAS AND WALKS PLUS OR MINUS 1 INCH.
- d. UNDER PAVEMENTS PLUS OR MINUS 1/2 INCH.
- e. GRADING TOLERANCE FOR FILL UNDER ALL CONCRETE APPLICATIONS: PLUS OR MINUS 1/2 INCH MEASURED WITH 10 FOOT STRAIGHTEDGE.

3.3 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS.)

- A. SUBBASE MATERIAL GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL CRUSHED STONE OR SLAG. AND NATURAL SAND.
- B. WASHED MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE.
- C. GRADING MATERIAL WILL CONSIST OF: SATISFACTORY NATIVE OR IMPORTED SOILMA TERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS AND OTHER UNSUITABLE MATERIALS WILL NOT BE ALLOWED FOR USE. IMPORTED MATERIALS SHALL HA VE A CLAY CONTENT NO MORE THAN 5 PERCENT.
- D. BACKFILL MATERIALS WILL CONSIST OF: SATISFACTORY NON-COHESIVE NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 4 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, AND OTHER UNSUITABLE MATERIALS. IMPORTED MATERIAL SHALL HAVE A CLAY CONTENT OF NO MORE THAN 5 PERCENT.
- E. GRAVEL MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE.
- F. GEOTEXTILE FABRIC: AS PER CONSTRUCTION DOCUMENTS.

3.4 CLEARING AND GRUBBING REMOVE ALL VEGETATION AND MATERIALS AS REQUIRED. REMOVE STUMPS COMPLETELY UNDER FOUNDATIONS AND ROADWAY. DISPOSE OF CLEARING AND GRUBBING OFF-SITE. OR IN AN ON-SITE LOCATION APPROVED BY CONSTRUCTION MANAGER.

3.5 STRIPPING

STRIP NOT LESS THAN 3 INCHES OF SOD AND TOPSOIL FROM AREAS THAT WILL UNDERLAY GRAVEL PAVEMENT, NEW STRUCTURES OR NEW EMBANKMENTS. STOCKPILE STRIPPING ON-SITE FOR RE-USE IN FINAL LANDSCAPING.

3.6 COMMON EXCAVATION

- a. EXCAVATE TO DEPTH, LINES AND GRADES SHOWN ON THE PLANS OR AS OTHERWISE SPECIFIED.
- b. TEMPORARILY STOCKPILE ON-SITE EXCAVATION AT AN APPROVED LOCATION WITHIN THE WORK AREA UNTIL SITE GRADING IS COMPLETE STOCKPILE SHALL NOT EXCEED 15 FEET IN HEIGHT.
- c. LEGALLY DISPOSE OF EXCESS COMMON EXCAVATION OFF-SITE.

3.7 EMBANKMENT

- A. CONSTRUCT EMBANKMENT TO THE LINES AND GRADE SHOWN ON THE DRAWINGS.
- B. CONSTRUCT EMBANKMENT FROM ON-SITE EXCAVATION MATERIALS WHEN SUITABLE USE IMPORTED BACKFILL ONLY AFTER AVAILABLE ON-SITE EXCAVATION MATERIALS HAVE BEEN USED.
- C. CONSTRUCT IN LIFTS OF NOT MORE THAN 12 INCHES IN LOOSE DEPTH. THE FULL WIDTH OF THE CROSS SECTION SHALL BE BROUGHT UP UNIFORMLY.
- D. MATERIAL SHALL NOT BE PLACED IN LAYERS AND SHALL BE NEAR OPTIMUM MOISTURE CONTENT BEFORE ROLLING TO OBTAIN THE PRESCRIBED COMPACTION. WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE A UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER MAY BE REQUIRED. SUCH OPERATIONS SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM. SHOULD THE MATERIAL BE TOO WET TO PERMIT PROPER COMPACTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO UTILIZE MATERIAL WITH AN ACCEPTABLE MOISTURE CONTENT.
- E. DO NOT PLACE FROZEN MATERIAL IN THE EMBANKMENT AND DO NOT PLACE EMBANKMENT MATERIAL UPON FROZEN MATERIAL.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND THE REPLACEMENT OF ANY PORTION WHICH HAS BECOME DISPLACED DUE TO THE CONTRACTORS OPERATIONS.
- G. START LAYERS IN THE DEEPEST PORTION OF THE FILL AND AS PLACEMENT PROGRESSES, CONSTRUCT LAYERS APPROXIMATELY PARALLEL TO THE FINISHED GRADE LINE.
- H. ROUTE EQUIPMENT, BOTH LOADED AND EMPTY, OVER THE FULL WIDTH OF EMBANKMENT TO ENSURE UNIFORMITY OF MATERIAL PLACEMENT.
- I. COMPACT EMBANKMENT UNDERLYING NEW GRAVEL PAVING FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT NON-STRUCTURAL AREA EMBANKMENTS TO A MINIMUM OF 90 % OF ASTM 0-1557.

3.8 SITE GRADING

- A. USING ON-SITE EXCAVATION MATERIALS SHAPE, TRIM, FINISH AND COMPACT SURFACE AREAS TO CONFORM TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE DRAWINGS OR AS DESIGNATED BY THE CONSTRUCTION MANAGER.
- B. GRADE SURFACES TO DRAIN AND ELIMINATE ANY PONDING OR EROSION.
- C. ELIMINATE WHEEL RUTS BY REGRADING.
- D. COMPACT AREAS UNDERLYING NEW GRAVEL PAVING, FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1551 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- E. CONSTRUCT FINISHED SURFACE OF SITE GRADING AREAS WITHIN ONE INCH FROM SPECIFIED GRADE

3.9 SUBGRADE PREPARATION

- A. SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.
- B. MAINTAIN TOP OF SUBGRADE TO A FREE-DRAINING CONDITION.
- C. DO NOT STOCKPILE MATERIALS ON TOP OF SUBGRADE UNLESS AUTHORIZED BY CONSTRUCTION MANAGER
- D. COMPACT THE TOP 12 INCHES OF SUBGRADE TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- E. CONSTRUCT TOP OF SUBGRADE WITHIN ONE INCH OF ESTABLISHED GRADE AND CROSS-SECTION.

3.10 GEOTEXTILE FABRIC

LAY GEOTEXTILE FABRIC OVER COMPACTED SUBGRADE AS PER CONSTRUCTION DOCUMENTS IN THE COMPOUND AREA AND UNDER LENGTH OF ROAD (WHEN REQUIRED). LAP ALL JOINTS TO A MINIMUM OF 36 INCHES.

3.11 GRAVEL SURFACING

- A. CONSTRUCT GRAVEL SURFACING AREAS USING CRUSHED AGGREGATE BASE AND FINISH COURSES AS SPECIFIED BY CONSTRUCTION MANAGER OR CONSTRUCTION DOCUMENTS.
- B. SPREAD GRAVEL AND RAKE TO OBTAIN A UNIFORM SURFACE AREA.

4.0 TRENCHING

CALL LOCAL UNDERGROUND UTILITY LOCATING SERVICE BEFORE ANY EXCAVATION OR TRENCHING.

4.1 MATERIALS

FILL MATERIAL SHALL BE OBTAINED, WHEN POSSIBLE FROM MATERIALS EXCAVATED FROM TRENCHES. ON-SITE STRUCTURAL FILL SAND OR SLURRY SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL GOVERNING JURISDICTIONS AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL OR ROCKS, NOR SHALL CONTAIN OBJECTIONABLE MATERIALS AND /OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE FILL MATERIAL SHALL CONTAIN FINES SUFFICIENT TO FILL ALL VOIDS IN THE MATERIAL COMPACTION OF BACKFILL OR BORROW SOIL SHALL BE PLACED IN 12 INCH LOOSE LIFTS WHEN UTILIZING HEAVY COMPACTION EQUIPMENT OR 6 INCH LOOSE LIFTS WHEN UTILIZING HAND OPERATED TAMPERS.

4.2 PIPE DETECTION AND IDENTIFICATION

UTILIZING WARNING TAPE: ALL ELECTRIC SERVICE TRENCHES SHALL BE MARKED WITH WARNING TAPE.

APPLICANT

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GENERAL NOTES

N-1

- 4.3 TRENCH EXCAVATION
 - A. DIG TRENCH TO LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY CONSTRUCTION MANAGER.
 - B. TRENCH LENGTH SHALL BE SUFFICIENT TO ALLOW FOR SATISFACTORY CONSTRUCTION AND INSPECTION OF THE PROJECT WITHOUT ENDANGERING OTHER CONSTRUCTION WORK OR ADJACENT FACILITIES.
 - C. DISPOSE OF EXCESS AND UNSUITABLE EXCAVATION MATERIAL PROPERLY, AS DIRECTED BY CONSTRUCTION MANAGER.
 - D. USE HAND METHODS FOR EXCAVATION THAT CANNOT BE ACCOMPLISHED WITHOUT ENDANGERING EXISTING OR NEW STRUCTURES OR OTHER FACILITIES.
- 4.4 TRENCH PROTECTION
 - A. PROVIDE MATERIALS, LABOR AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES.
 - B. SHEETING AND BRACING: MEET OR EXCEED OSHA REQUIREMENTS.
- 4.5 BACKFILLING
 - A. NOTIFY THE CONSTRUCTION MANAGER AT LEAST 24 HOURS IN ADVANCE OF BACKFILLING.
 - B. BACKFILL TRENCH WITH LIFTS UP TO 12 INCHES, LOOSE MEASURE.
 - C. PROTECT CONDUIT FROM LATERAL MOVEMENT, DAMAGE FROM IMPACT OR UNBALANCED LOADING TO AVOID DISPLACEMENT OF CONDUIT AND /OR STRUCTURES. DO NOT FREE FALL BACKFILL INTO TRENCH UNTIL AT LEAST 12 INCHES OF COVER IS OVER THE CONDUIT.
- 4.6 COMPACTION
 - A. COMPACT BACKFILL TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0–1557 OR V.,THIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
 - B. IF REQUIRED COMPACTION DENSITY HAS NOT BEEN OBTAINED, REMOVE THE BACKFILL FROM THE TRENCH OR STRUCTURE, REPLACE WITH APPROVED BACKFILL AND RECOMPACT AS SPECIFIED.
 - C. ANY SUBSEQUENT SETTLEMENT OF TRENCH OR STRUCTURE BACKFILL DURING MAINTENANCE PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY CORRECTED.
- 5.0 CHAIN LINK FENCES AND GATES
 - 5.1 GENERAL
 - A. PROVIDE CHAIN LINK FENCES AND GATES AS COMPLETE UNITS BY A SINGLE SUPPLY SOURCE INCLUDING NECESSARY ERECTION ACCESSORIES, FITTINGS AND FASTENERS.
 - 5.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS WITHIN CONSTRUCTION DOCUMENTS)
 - A. COMPOUND FABRIC 84 INCHES HIGH AND OVER WITH 2–INCH MESH SHALL BE KNUCKLED AT ONE SELVAGE AND TWISTED AT THE OTHER.
 - B. STEEL FABRIC:
COMPLY WITH CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL FURNISH ONE PIECE OF FABRIC WIDTHS. WIRE SIZE INCLUDES ZINC OR ALUMINUM COATING.
 - a. SIZE: 2–INCH MESH 9 GAUGE (D.148–INCH DIAMETER) WIRE.
 - b. GALVANIZED STEEL FINISH: ASTM A 392. CLASS 2. WITH A MINIMUM 2.0 OZ. ZINC PER SQ. FT. OF UNCOATED WIRE SURFACE.
 - C. FRAMEWORK AND ACCESSORIES:
 - a. GENERAL REQUIREMENTS: EXCEPT AS INDICATED OTHERWISE CONFORM TO THE CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL INDUSTRIAL STEEL GUIDE FOR FENCE RAILS, POSTS, GATES AND ACCESSORIES INCLUDING TABLE II.
 - b. STRENGTH REQUIREMENTS FOR POSTS AND RAILS CONFORMING TO ASTM F 669.
 - c. TYPE 1 PIPE HOT–DIPPED GALVANIZED STEEL PIPE CONFORMING TO ASTM F 1083. PLANE ENDS, STANDARD WEIGHT {SCHEDULE 40} WITH NOT LESS THAN 18 OZ. ZINC PER SQ. FT. OF SURFACE AREA COATED.
 - d. FILLINGS: COMPLY V.,TH ASTM F 526 MILL FINISHED ALUMINUM OR GALVANIZED IRON STEEL TO SUIT MANUFACTURER’S STANDARDS.
 - e. TOP RAIL MANUFACTURERS LONGEST LENGTHS, WITH EXPANSION TYPE COUPLINGS, APPROXIMATELY 6 INCHES LONG, FOR EACH JOINT. PROVIDE MEANS FOR ATTACHING TOP RAIL SECURELY TO EACH GATE CORNER, PULL AND END POST.
 - A. GALVANIZED STEEL 11/4 INCH NPS (1.66 INCH OD) TYPE I OR II STEEL PIPE OR 1.625 INCH X 1.25 INCH ROLL –FORMED C SECTIONS WEIGHING 1.35 LBS. PER FT.
 - D. SWING GATES:
COMPLY WITH ASTM F 9000. PROVIDE HARDWARE AND ACCESSORIES FOR EACH GATE. GALVANIZED PER ASTM A 153, AND IN ACCORDANCE WITH THE FOLLOWING:
 - a. HINGES: NON LIFT– OFF TYPE. OFFSET TO PERMIT ISO DEG. GATE OPENING.
 - b. LATCH: MTS MULTI–LOCKING DEVICE MT–C6477 OR APPROVED EQUAL
 - c. KEEPER: PROVIDE KEEPER FOR VEHICLE GATES, WHICH AUTOMATICALLY ENGAGES GATE LEAF AND HOLDS IT IN OPEN POSITION UNTIL MANUALLY RELEASED.
 - E. CONCRETE:
PROVIDE CONCRETE CONSISTING OF PORTLAND CEMENT, ASTM C 150, AGGREGATES ASTM C 33, AND CLEAN WATER. MIX MATERIALS TO OBTAIN CONCRETE WITH A MINIMUM OF 28–DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 6.0 LANDSCAPING
 - FURNISH, INSTALL AND MAINTAIN LANDSCAPE WORK AS SHOWN AND OR REQUIRED WITHIN THE CONSTRUCTION DOCUMENTS OR AS SPECIFIED IN THE T–MOBILE CONSTRUCTION SPECIFICATIONS.

- 7.0 CONCRETE FORMWORK
 - A. FORMS: SMOOTH AND FREE OF SURFACE IRREGULARITIES. UTILIZE FORM RELEASE AGENTS.
 - B. CHAMFER: EXPOSED EDGES OF ALL TOWER FOUNDATIONS SHALL RECEIVE A 3/4” BY 3/4” 45 DEGREE CHAMFER. OTHER EXPOSED EDGES SHALL RECEIVE A TOOLED RADIUS FINISH.
 - C. UPON COMPLETION, REMOVE ALL FORMS, INCLUDING THOSE CONCEALED OR BURIED.
 - D. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 8.0 CONCRETE REINFORCEMENT
 - REFER TO STRUCTURAL DRAWINGS FOR ALL REQUIREMENTS.
 - A. RF EQUIPMENT AND SHELTER PADS, FOOTINGS, PAVEMENT, DRIVES, CURBS, SIDEWALKS AND GUTTER: A558–1–2 OR WA610–1–4.
 - B. PRECAST CURB INLETS/MANHOLES: ASTM C478.
 - C. CAST IN PLACE CURB INLET: A564–3/4–4
 - D. PREPARE DESIGN MIXES FOR EACH TYPE & STRENGTH OF NORMAL–WEIGHT CONCRETE BY EITHER LABORATORY TRIAL BATCH OR FIELD EXPERIENCE METHODS AS SPECIFIED IN ACI 301. FOR THE TRIAL BOTH BATCH METHOD, USE A QUALIFIED INDEPENDENT TESTING AGENCY FOR PREPARING AND REPORTING PROPOSED MIX DESIGNS.
 - a. LIMIT USE OF FLY ASH TO 25%
 - b. PROPORTION MIXES ACCORDING TO ACI 211.1 AND ACI 211.1 AND 301 TO PROVIDE NORMAL–WEIGHT CONCRETE WITH THE FOLLOWING PROPERTIES
 - c. COMPRESSIVE STRENGTH, 28–DA Y, 3000 PSI EXCEPT AS OTHERWISE INDICATED HEREIN OR ON THE TOWER FOUNDATION DESIGN.
 - d. MAXIMUM WATER–CEMENT RATIO AT POINT OF PLACEMENT: 0.45.
 - e. SLUMP LIMIT AT POINT OF PLACEMENT: 4” +/-
 - f. SLUMP LIMIT FOR CONCRETE CONTAINING HIGH–RANGE WATER–REDUCING ADMIXTURE SUPER PLASTICIZER: NOT MORE THAN 8 INCHES AFTER ADDING ADMIXTURE.
 - g. ADD AIR–ENTRAINING ADMIXTURE AT MANUFACTURER’S PRESCRIBED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING AIR CONTENT AS FOLLOWS WITH A TOLERANCE OF PLUS OR MINUS 1–1/2%:
 - h. AIR CONTENT: 6.0% FOR 1” MAX. AGGREGATE.
 - i. ADJUSTMENT TO CONCRETE MIXES: MIX DESIGN ADJUSTMENTS MAY BE REQUESTED BY CONTRACTOR WHEN CHARACTERISTICS OF MATERIALS, PROJECT CONDITIONS, WEATHER, TEST RESULTS, OR OTHER CIRCUMSTANCES WARRANT. HOWEVER, IN NO CASE SHALL CONCRETE MIX BE PLACED WITH A SLUMP THAT EXCEEDS THE ABOVE.
- 9.0 CAST IN PLACE CONCRETE
 - FOR STRUCTURAL CONCRETE (FOOTINGS, FOUNDATIONS. ETC.), REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS. FOR ANY MISCELLANEOUS CONCRETE, REFER TO SPECIFICATION BOOK OR OBTAIN REQUIREMENTS FROM CONSTRUCTION MANAGER.
 - A. ALL CONCRETE SHALL COMPLY WITH ASTM C94 UNLESS NOTED OTHERWISE.
 - B. MINIMUM COMPRESSIVE STRENGTH (F’C) AT 28 DAYS: 4000 PSI FOR TOWER FOUNDATION AND 3500 PSI FOR ALL OTHER CONCRETE UNLESS SPECIFIED IN CONSTRUCTION DOCUMENTS.
 - C. AIR ENTRAINMENT: PROVIDE 4 TO 8% AIR ENTRAINMENT FOR ALL CONCRETE SUBJECT TO FREEZE–THAW CYCLE.
 - D. CONCRETE TESTING: ALL FOUNDATION CONCRETE SHALL BE TESTED BY AN INDEPENDENT TESTING AGENCY APPROVED BY THE CONSTRUCTION MANAGER. ALL STRUCTURAL TOWER FOUNDATION CONCRETE MUST BE TESTED. EQUIPMENT OR BUILDING PADS ARE NOT REQUIRED TO BE TESTED, UNLESS OTHERWISE NOTED BY CONSTRUCTION MANAGER. PROVIDE A MINIMUM OF 5 CYLINDERS (2–7–DAY, 2–28–DAY, 1–SPARE) FOR EACH OATS POUR, OR FOR EVERY 50 YARDS PLACED, WHICHEVER 15 GREATER. ADDITIONAL TESTS OR CYLINDERS MAY BE REQUIRED BY CONSTRUCTION MANAGER. A SLUMP, AIR, AND TEMPERATURE TEST SHALL BE PERFORMED FOR EACH SET OF CYLINDERS CAST. PREFERABLY, TESTS SHALL BE PERFORMED AT THE LOCATION OF ANCHOR BOLTS (PIERS – FOR MAT & PIERS, CAISSONS – TOP 1 /3 OF CAISSON). TESTS SHALL ALSO BE REQUIRED FOR CONCRETE CONSIDERED BEING LESS THAN DESIRABLE BY CONCRETE SPECIFICATION STANDARDS. THE TESTING AGENCY HAS THE AUTHORITY TO NOT ACCEPT CONCRETE MEETING THESE SPECIFICATIONS FOR T–MOBILE. THE CONTRACTOR IS RESPONSIBLE FOR ANY CONCRETE NOT MEETING THESE STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE TESTING AGENCY A MINIMUM OF 24 HOURS IN ADVANCE OF EACH FOUNDATION POUR. TEST REPORTS SHALL BE FORWARDED TO T–MOBILE CONSTRUCTION MANAGER WITHIN 24 HOURS OF LAB TEST.
 - E. VIBRATE ALL CONCRETE USING SUFFICIENT HIGH FREQUENCY LOW AMPLITUDE MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE AROUND AND BETWEEN REINFORCEMENT BARS AND INTO CORNERS AND IRREGULARITIES. VIBRATE THOROUGHLY THROUGH EACH LIFT TO THE PREVIOUS LIFE REVERBERATION AS LATE AS THE RUNNING VIBRATOR WILL SINK THROUGH UPPER LAKERS OF ITS WEIGHT IS RECOMMENDED. DISCONTINUE VIBRATION WHEN RISING ENTRAPPED AIR BUBBLES STOP BREAKING THE LEVELING SURFACE. DO NOT OVER VIBRATE AS THIS MAY CAUSE SEGREGATION.
 - F. FINISHING EXPOSED CONCRETE SURFACES:
 - a. THESE PROVISIONS APPLY TO ALL EXPOSED AND ALL FORMED CONCRETE, EXTERIOR OR INTERIOR. UNLESS SPECIFICALLY DETAILED OTHERWISE, PERFORM PROCEDURES PRIOR TO APPLICATION OF ANY CURING COMPOUNDS.
 - b. ALL SURFACES: THOROUGHLY CLEAN OFF ALL STAINS, SPATTER AND LOOSE MATERIAL
 - c. FINs, RIDGES AND HIGH SPOTS: HONE SMOOTH WITH ABRASIVE POWER GRINDERS WHILE CONCRETE IS GREEN, IMMEDIATELY AFTER FORM REMOVAL

- d. FORM TIE HOLES AND DEEP DEPRESSIONS: FLUSH THOROUGHLY WITH CLEAN WATER AND TAMP TO OVERFULL WITH DRY PACK. CURE 10 DAYS AND HONE FLUSH AND SMOOTH.
- e. ROCK POCKETS, HONEYCOMB, SAND STREAKS, DEBRIS AND VOIDS: CUT OUT AT LEAST 1 INCH DEEP WITH SIDES PERPENDICULAR TO SURFACE. FLUSH THOROUGHLY WITH CLEAN WATER. COAT SURFACE WITH NEAT CEMENT PASTE AND TAMP TO OVERFULL WITH DRY PACK IN AT LEAST TWO LAYERS. CURE FOR 10 DAYS AND HONE FLUSHED AND SMOOTH.
- G. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL ELECTRICAL OPENINGS AND EQUIPMENT/BUILDING PADS WITH THE ELECTRICAL DRAWINGS AND SHOP DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION FOR ALL UTILITIES.
- CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON STRUCTURAL DRAWINGS.
- PRIOR TO POURING CONCRETE THE INDEPENDENT TESTING AGENCY SHALL INSPECT ALL FOUNDATION STEEL AND FOUNDATION SUBGRADE.

- 10.0 STRUCTURAL STEEL
 - MEET OR EXCEED MANUFACTURER’S RECOMMENDATIONS.
 - A. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315).
 - B. 8. ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL, CONFORMING TO ASTM A–615, GRADE 60, DEFORMED.
 - C. HEATING AND WELDING OF BARS IS PROHIBITED WITH THE EXCEPTION OF WRITTEN APPROVAL BY THE STRUCTURAL ENGINEER.
 - D. ALL REINFORCEMENT BARS TO BE FREE FROM LOOSE RUST AND SCALE.
 - E. UNLESS OTHERWISE NOTED, ALL REINFORCEMENT SHALL HAVE A MINIMUM CONCRETE COVERAGE OF 3 INCHES. THIS MAY REQUIRE SPACERS AND CHAIRS AS REQUIRED BY TESTING AGENCY OR CONSTRUCTION MANAGER.
 - F. SPLICES IN REINFORCEMENT STEEL ARE PROHIBITED, UNLESS APPROVED BY CONSTRUCTION MANAGER. ALL SPLICES MUST THEN MEET ALL APPLICABLE ASTM STANDARDS FOR SPLICING.
- 11.0 GROUNDING
 - MEET ALL APPLICABLE CODES, REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS AND T–MOBILE CONSTRUCTION SPECIFICATIONS.

- GENERATOR SPECIFICATIONS
 - A. SWITCHES AND STANDARD FEATURES
 - a. CYCLIC CRANKING
 - b. ALARM HORN WITH SILENCING SWITCH
 - c. VOLTAGE ADJUSTING RHEOSTAT
 - d. OVER VOLTAGE PROTECTION
 - e. REMOTE TWO–WIRE AUTO START SYSTEM
 - f. LAMP TEST SV.,TCH
 - g. RUN–OFF–RESET/AUTO SWITCH (ENGINE START)
 - h. ENGINE COOL DOWN TIMER (5 MINUTES)
 - B. ERROR–PROOF WIRING HARNESS FOR ELECTRICAL CONNECTIONS
 - C. PANEL LAMPS
 - D. DC CIRCUIT PROTECTION

- UNIT ACCESSORIES
 - A. WEATHER HOUSING–STANDARD WITH ROOF MOUNTED SILENCER
 - B. MOUNTED CRITICAL GRADE EXHAUST SILENCER
 - C. TAIL PIPE AND RAIN CAP

- COOLING SYSTEM ACCESSORIES
 - A. UNIT MOUNTED RADIATOR
 - B. ENGINE BLOCK HEATER

- FUEL SYSTEM ACCESSORIES
 - A. FLEXIBLE FUEL LINES
 - B. ENGINE BLOCK HEATER
 - C. SUBBASE FUEL TANK–172 GALLONS
 - D. DOUBLE WALL CONSTRUCTION WITH LEAK DETECTION MONITOR
 - E. U.I. 142 LISTED
 - F. FUEL LEVEL GAUGE
 - G. LOW FUEL LEVEL ALARM
 - H. FILL PIPE EXTENDED 10% INTO TANK
 - I. HIGH–FUEL LEVEL ALARM–SET AT 95%
 - J. 7.5 GALLON LOCKABLE FILL WITH SPILL CONTAINMENT

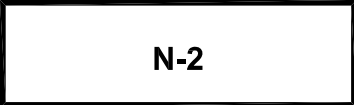
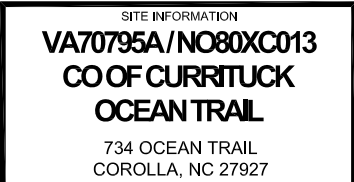
- GENERATOR ACCESSORIES
 - A. MAIN LINE CIRCUIT BREAKER–100 AMPS, INSTALLED ON GENERA TOR
 - B. VOLTAGE REGULATOR ±2%
 - C. SAFEGUARD BREAKER

- ENGINE ELECTRICAL ACCESSORIES
 - A. ELECTRONIC/ISOCHRONOUS GOVERNOR
 - B. BATTERY RACK, CABLES AND STARTING BATTERY SYSTEM–LEAD ACID TYPE
 - C. BATTERY CHARGER–AUTOMATIC 6 AMP OUTPUT



DRAWN BY: MP	CHECKED BY: SS
APPROVED BY: BMQ	

No.	Revision/Issue	Date	Initial
A	90% PRELIMINARY	09/24/20	MP
B	90% PRELIMINARY	10/02/20	SS
C	90% PRELIMINARY	10/08/20	SS
D	90% PRELIMINARY	10/19/20	SS
0	FINALS	12/01/20	SS



GENERAL NOTES:

- THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, 115, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL ORDINANCES TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- SITE GROUNDING SHALL COMPLY WITH T-MOBILE GROUNDING STANDARDS, LATEST EDITION AND COMPLY WITH T-MOBILE GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT, THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF A NEW TOWER.
- ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS. EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING ARE REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
- ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHOULD BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
- FOR NEW TOWERS. T-MOBILE WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
- THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS/ANALYSIS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF THE TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
- CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE KEPT TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASED PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
- ALL SUITABLE BORROW MATERIAL FOR BACKFILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFFSITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
- SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
- PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC. AND PROVIDE E911 ADDRESS TO T-MOBILE WIRELESS.
- RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS, ETC., BETWEEN THE WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.

EXCAVATION AND GRADING NOTES:

- ALL CUT AND FILL SLOPES SHALL BE 3:1 MAXIMUM.
- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH. THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE. IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS AND SO FORTH.
- ALL BACK FILLING SHALL (1) USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAYS, SAND AND GRAVEL OR SOFT SHALE, (2) BE FREE FROM CLODS OR STONES OVER 2 1/2" MAXIMUM DIMENSIONS. MD (3) BE PLACED IN LAYERS AND COMPACTED.
- SITE FILL MATERIAL AND FOUNDATION BACKFILL SHALL BE PLACED IN LAYERS MAXIMUM 6' DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY. AT THE OPTIMUM MOISTURE CONTENT OF ±2% AS DETERMINED BY ASTM DESIGNATION D-698B, UNLESS OTHERWISE APPROVED. SUCH BACKFILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
- THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AREA (UP TO ONE FOOT OUTSIDE THE FENCE OR GROUND SYSTEM PERIMETER) AND SHALL BE COVERED WITH A GEOTEXTILE FABRIC MIRAFI 500X OR APPROVED EQUAL TO PREVENT REOCCURRENCE OF VEGETATIVE GROWTH, AN THEN SHALL BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
- THE CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENT FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS FROM LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
- FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS AND DELETERIOUS MATERIAL FROM GROUND SURFACE PRIOR TO PLACING FILLS, PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL BREAK UP GROUND SURFACE TO REQUIRED DEPTH, PULVERIZE, MOISTURE CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES AND GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADE TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
- PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE, USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR ANY DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS.
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE AND UNIFORM IN QUALITY AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL ALKALI OR OTHER DELETERIOUS SUBSTANCE.

UTILITY POLES

- ALL UTILITY POLES SHALL BE 35 FT., CLASS 4 OR AS DIRECTED BY THE UTILITY PROVIDER. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY PRIOR TO EXCAVATING OR INSTALLING ANY UTILITY POLES.

APPLICANT




324 MADISON MEWS
NORFOLK, VIRGINIA 23510

PROJECT MANAGEMENT



Leaders in Communication Development
and Construction Services

ENGINEER



5661 COLUMBIA PIKE, SUITE 200
FALLS CHURCH, VA 22041-2868

DRAWN BY: MP	CHECKED BY: SS
APPROVED BY: BMQ	

No.	Revision/Issue	Date	Initial
A	90% PRELIMINARY	09/24/20	MP
B	90% PRELIMINARY	10/02/20	SS
C	90% PRELIMINARY	10/08/20	SS
D	90% PRELIMINARY	10/19/20	SS
0	FINALS	12/01/20	SS



SITE INFORMATION

VA70795A/NO80XC013
CO OF CURRITUCK
OCEAN TRAIL
734 OCEAN TRAIL
COROLLA, NC 27927

GENERAL NOTES

N-3



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3019)

Agenda Item Title: Memorandum of Understanding-State of NC and Currituck County
Department of Social Services

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Action

Brief Description of Agenda Item:

Memorandum of Understanding between the State of NC and Department of Social Services, in which county agrees to comply with statutory regulations pursuant to NC G.S. §108A-74 and meet established performance requirements. Term of MOU-January 1, 2021, through June 30, 2022. As a multi-year agreement, Board approval is required.

Potential Budget Affect: NKA

Is this item regulated by plan, regulation or statute? Yes

Manager Recommendation:

MEMORANDUM OF UNDERSTANDING

(FISCAL YEAR 2020-21 and 2021-22)

BETWEEN

THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES
AND
CURRITUCK COUNTY

A Written Agreement Pursuant to N.C. Gen. Stat. § 108A-74,
an Act of the North Carolina General Assembly

This Memorandum of Understanding (“MOU”) is made by and between the North Carolina Department of Health and Human Services, (hereinafter referred to as the “Department”) and Currituck County a political subdivision of the State of North Carolina (hereinafter referred to as the “County”) to comply with the requirements of law, N.C. Gen. Stat. § 108A-74. The Department and the County may be referred to herein individually as a “Party” and collectively as the “Parties.”

TERMS OF UNDERSTANDING

In consideration of the mutual promises and agreements contained herein, as well as other good and valuable consideration, the sufficiency of which is hereby acknowledged by the Parties, the Parties agree to this MOU, effective January 1, 2021, in compliance with the mandates of law enacted by the North Carolina General Assembly and in recognition of possible amendments by the General Assembly, the Parties further agree to conform to changes made to the law, notwithstanding a contractual term previously agreed upon.

1.0 Parties to the MOU

The only Parties to this MOU are the North Carolina Department of Health and Human Services and Currituck County, a political subdivision of the State of North Carolina.

1.1 Relationships of the Parties

Nothing contained herein shall in any way alter or change the relationship of the parties Parties as defined under the laws of North Carolina. It is expressly understood and agreed that the enforcement of the terms and conditions of this MOU, and all rights of action relating to such enforcement, shall be strictly reserved to the Department and the County. Nothing contained in this document shall give or allow any claim or right of action whatsoever by any other third person. It is the express intention of the Department and County that any such person or entity, other than the Department or the County, receiving services or benefits under this MOU shall be deemed an incidental beneficiary only.

Subcontracting: The County shall be responsible for the performance of all of its subcontractors. The County shall disclose the names of its subcontractors to the Department within thirty (30) days of the execution thereof. The County shall also provide additional information concerning its subcontractors as may be requested by the Department within thirty (30) days of the request. The

County additionally agrees not to enter into any confidentiality agreement or provision with a subcontractor or other agent to provide services related to this MOU that would prevent or frustrate the disclosure of information to the Department. Subcontractors shall be defined under this MOU to mean any party the County enters into a contractual relationship with for the complete administration of one or more social services programs covered by this MOU. Temporary employees hired by the County shall not be considered subcontractors under this MOU.

Assignment: No assignment of the County's obligations or the County's right to receive any funding made in any way concerning the matters covered by this MOU hereunder shall be permitted.

2.0 Terms of the MOU

The term of this MOU shall be for a period of one year beginning January 1, 2021 and ending June 30, 2022.

2.1 Default and Modification

Default: In the event the County fails to satisfy the mandated performance requirements as set forth in **Attachment I** or fails to otherwise comply with the terms of this MOU, the Department may withhold State and/or federal funding. Any such withholding shall be in compliance with, and as allowed by, state and/or federal law.

Performance Improvement: Prior to the Department exercising its authority to withhold State and/or federal funding for a failure to satisfy the mandated performance requirements set forth in **Attachment I** or failure to meet the terms of this MOU, the process for performance improvement set forth in N.C. Gen. Stat. § 108A-74 will govern. Nothing contained in this MOU shall supersede or limit the Secretary's authority to take any action otherwise set forth in N.C. Gen. Stat. § 108A-74.

Waiver of Default: Waiver by the Department of any default or breach in compliance with the terms of this MOU by the County shall not be deemed a waiver of any subsequent default or breach and shall not be construed to be modification of the terms of this MOU unless stated to be such in writing, signed by an authorized representative of the Department and the County and attached to the MOU.

Force Majeure: Neither Party shall be deemed to be in default of its obligations hereunder if and so long as it is prevented from performing such obligations by any act of war, hostile foreign action, nuclear explosion, riot, strikes, civil insurrection, earthquake, hurricane, tornado, public health emergency or other catastrophic natural event or act of God.

Modification: The terms and conditions of this MOU may only be modified by written agreement of the Parties, signed by an authorized representative of the Parties.

3.0 MOU Documents

The Recitals and the following attachments are incorporated herein by reference and are part of this MOU:

- (1) The portions hereof preceding the Terms of Understanding, including but not limited to the introductory paragraph and the Recitals, which are contractual as well as explanatory
- (2) The Terms of Understanding
- (3) Attachment I – Mandated Performance Requirements:
 - a. I-A: Energy Programs
 - b. I-B: Work First
 - c. I-C: Food and Nutrition Services
 - d. I-D: Child Welfare – Foster Care
 - e. I-E: Adult Protective Services
 - f. I-F: Special Assistance
 - g. I-G: Child Support Services
- (4) Attachment II - Child Welfare - CFSR

4.0 Entire MOU

This MOU and any documents incorporated specifically by reference represent the entire agreement between the Parties and supersede all prior oral or written statements or agreements between the Parties.

5.0 Definitions

While “County” is used as an abbreviation above, the following definitions, some of which are contained in N.C. Gen. Stat. § 108A-74(a), also apply to this MOU:

- (1) "County department of social services" also means the consolidated human services agency, whichever applies.
- (2) "County director of social services" also means the human services director, whichever applies.
- (3) "County board of social services" also means the consolidated human services board, whichever applies.
- (4) "Child welfare services or program" means protective, foster care, and adoption services related to juveniles alleged to be abused, neglected, or dependent as required by Chapter 7B of the General Statutes.
- (5) "Social services programs" or "Social services programs other than medical assistance" means social services and public assistance programs established in Chapter 108A other than the medical assistance program (Part 6 of Article 2 of Chapter 108A). This includes, but is not limited to, child welfare programs, adult protective services, guardianship services for adults, and programs of public assistance established in Chapter 108A. It also includes the child support enforcement program, as established in Article 9 of Chapter 110 of the General Statutes, and the North Carolina Subsidized Child Care Program.

To the extent that any term used herein is defined by a statute or rule applicable to the subject matter of this MOU, the statutory or rule definition shall control. For all remaining terms, which are not defined by statute or rule, those terms shall have their ordinary meaning. Should any further

definition be needed, the Parties agree that the meanings shall be those contained in the current version (as of the time the dispute or question arises) of Black's Law Dictionary, and if not defined therein, then of a published unabridged modern American English Language Dictionary published since the year 2000.

6.0 Audit Requirements

The County shall furnish to the State Auditor, upon his/her request, all books, records, and other information that the State Auditor needs to fully account for the use and expenditure of state funds in accordance with N.C.G.S. § 147-64.7. Additionally, as the State funding authority, the Department of Health and Human Services shall have access to persons and records as a result of all contracts or grants entered into by State agencies or political subdivisions.

7.0 Record Retention

The County shall retain records at its own expense in accordance with applicable State and Federal laws, rules, and regulations. The County shall facilitate and monitor the compliance of its subcontractors with all applicable requirements of record retention and disposition.

In order to protect documents and public records that may be the subject of Department litigation, the Department shall notify the County of the need to place a litigation hold on those documents. The Department will also notify the County of the release of the litigation hold. If there is no litigation hold in place, the documents may be destroyed, disposed of, or otherwise purged through the biannual Records Retention and Disposition Memorandum from the Department's Controller's Office.

8.0 Liabilities and Legal Obligations

Each party hereto agrees to be responsible for its own liabilities and that of its officers, employees, agents or representatives arising out of this MOU. Nothing contained herein is intended to alter or change the relationship of the Parties as defined under the laws of the State of North Carolina.

9.0 Confidentiality

Any medical records, personnel information or other items exempt from the NC Public Records Act or otherwise protected by law from disclosure given to the Department or to the County under this MOU shall be kept confidential and not divulged or made available to any individual or organization except as otherwise provided by law. The Parties shall comply with all applicable confidentiality laws and regulations, including but not limited to the Health Insurance Portability and Accountability Act of 1996 (HIPAA), the administrative simplification rules codified at 45 Parts 160, 162, and 164, alcohol and drug abuse patient records laws codified at 42 U.S.C. §290dd-2 and 42 CFR Part 2, and the Health Information Technology for Economics and Clinical Health Act (HITECH Act) adopted as part of the American Recovery and Reinvestment Act of 2009 (Public Law 111-5).

10.0 Secretary's Authority Undiminished

Certain functions delegated to the County pursuant to this MOU are the duty and responsibility of the Department as the grantee of federal grant funds. The Parties understand and agree that nothing in this MOU shall be construed to diminish, lessen, limit, share, or divide the authority of the Secretary of the Department to perform any of the duties assigned to the Department or its Secretary by the North Carolina General Statutes, the terms and conditions of the federal funds and their applicable laws and regulations or other federal laws and regulations regarding any federal funding which is used by the Department to reimburse the County for any of its duties under this MOU.

11.0 MOU does not Diminish Other Legal Obligations

Notwithstanding anything to the contrary contained herein and to facilitate the mandated performance requirements of N.C. Gen. Stat. § 108A-74, the Parties acknowledge and agree that this MOU is not intended to supersede or limit, and shall not supersede or limit, the County's obligations to comply with all applicable: 1) federal and state laws; 2) federal and state rules; and 3) policies, standards, and directions of the Department, as all such currently exist and may be amended, enacted, or established hereafter.

12.0 Notice

The persons named below shall be the persons to whom notices provided for in this MOU shall be given. Either Party may change the person to whom notice shall be given upon written notice to the other Party. Any notice required under this MOU will only be effective if actually delivered to the Parties named below. Delivery by hand, by first class mail, or by email are authorized methods to send notices.

For the Department of Health and Human Services, Division of Social Services

IF DELIVERED BY US POSTAL SERVICE	IF DELIVERED BY ANY OTHER MEANS
Susan Osborne, Assistant Secretary NCDHHS 2417 Mail Services Center Raleigh, NC 27699-2001	Susan Osborne NCDHHS Doretha Dix Campus, McBryde Building Phone: 919-527-6338 E-mail: Susan.Osborne@dhhs.nc.gov

For Currituck County:

IF DELIVERED BY US POSTAL SERVICE	IF DELIVERED BY ANY OTHER MEANS

13.0 Responsibilities of the Department

The Department hereby agrees that its responsibilities under this MOU are as follows:

- (1) The Department shall develop performance requirements for each social services program based upon standardized metrics utilizing reliable data. The performance requirements are identified in Attachments I and II.
- (2) The Department shall provide supervision, program monitoring and technical assistance to the counties in the administration of social services programs.
- (3) The Department shall provide leadership and coordination for developing strategies that address system-level barriers to the effective delivery of social services programs, including but not limited to: the Administrative Office of Courts, the LME/MCO, Department of Public Instruction, and the Department of Public Safety.
- (4) The Department shall have the following administrative responsibilities:
 - a. Staff Training and Workforce Development:
 - i. Develop training requirements for county personnel and provide guidance for adequate staffing patterns related to the provision of social services programs. The Department will publish annually, a list of required and recommended trainings for county personnel directly involved in the administration of social services programs covered under this MOU.
 - ii. Develop training curricula and provide, timely, adequate access to statewide training opportunities for county personnel related to the provision of social services programs. Training opportunities may include in-person, self-guided, web-based and remotely facilitated programs.
 - iii. The Department will publish a training calendar, at least quarterly, notifying the counties of training opportunities.
 - iv. Provide timely written guidance related to new federal or state statutes or regulations. The Department will provide information in advance of the effective date of new policy to the extent possible, including interpretations and clarifications of existing policy.
 - v. Provide technical assistance and training in areas where quality control, monitoring or data indicates a lack of correct application of law, rule or policy.
 - b. Performance Monitoring:
 - i. Monitor and evaluate county compliance with applicable federal and state laws, rules and policies.
 - ii. Provide feedback to counties with recommended changes when necessary.

- iii. Monitor that all financial resources related to the provision of social services programs covered by this MOU are utilized by the county in compliance with applicable federal and state laws.
- c. Data Submission:
 - i. Maintain and review data submitted by counties pursuant to the mandatory performance requirements.
 - ii. Provide counties with reliable data related to their performance requirements as well as accuracy and timeliness of programs in accordance with state and federal program guidelines. This includes but is not limited to processing applications and recertification, quality control standards, program statistics and fiscal information.
 - iii. The Department shall be responsible for the maintenance and functionality of its information systems utilized in the statewide administration of social services programs covered by this MOU.
- d. Communication:
 - i. Provide counties with clarification or explanation of law, rule or policy governing social services programs when necessary or as requested.
 - ii. Disseminate policy on social services programs and provide counties with timely information on any updates to policy.
 - iii. Provide timely information to counties on any changes to federal law or policy made known to the Department.
 - iv. Provide counties with a timely response to requests for technical assistance or guidance.
 - v. Maintain all policies covering social services programs in a central, accessible location. Policies will be updated, to the extent possible, in advance of the effective date of any new policies or policy changes.
 - vi. Provide counties with an opportunity to submit questions, concerns and feedback related to the administration of social services programs to the Department and provide County a timely response to such communication.
 - vii. Communicate proactively with the County Director of Social Services on matters that effect social services programs covered under this MOU.
 - viii. Communicate directly with the County Manager, Governing Boards, and the County Director of Social Services on matters including but not limited to, corrective action, and significant changes to law, rule and policy that impact the administration of social services programs covered by this MOU.
- e. Inter-agency Coordination:
 - i. Provide guidance to counties in the event they are unable to reach a resolution on a conflict of interest that arises related to the provision of social services programs covered by this MOU.
 - ii. Provide guidance for county DSS personnel on federal and state Emergency Management, mass shelter, Business Continuity Plan (BCP) and Continuity of Operations Plan (COOP) requirements.
 - iii. Coordinate with and communicate to county DSS agencies regarding available and required training opportunities associated with DSS Mass Shelter, BCP and COOP responsibilities.

- iv. Assist and support counties as needed in implementation of operational functions of mass shelter operations and as needed during other emergencies as they arise.
- (5) The Department shall timely meet all of its responsibilities contained in this MOU. "Timely" shall be defined consistent with timeliness requirements set forth in relevant statute, regulation, and policy. Where timeliness is not otherwise defined, "timely" shall mean within a reasonable time under the circumstances.

14.0 Responsibilities of the County

The County hereby agrees that its responsibilities under this MOU are as follows:

- (1) The County shall adhere to the mandated performance requirements for each social services program as identified in Attachment I. The County will ultimately work toward achievement of the Standard Measure for all performance requirements set forth in Attachments I and II.
- (2) The County shall comply with the following administrative responsibilities
 - a. Staff Requirements and Workforce Development:
 - i. The personnel, including new hires and existing staff, involved in the County's provision of social services programs covered by this MOU shall complete all required and necessary training, which is documented as required by federal and state law and policy.
 - b. Compliance:
 - i. Perform activities related to its social services programs in compliance with all applicable federal and State laws, rules, regulations and policies. Nothing contained herein is intended to, nor has the effect of superseding or replacing state law, rules or policy related to social services programs.
 - ii. Develop and implement internal controls over financial resources related to the County's social services programs to ensure that all financial resources are used in compliance with applicable federal and state laws.
 - iii. Provide and adhere to corrective action plans as required based on monitoring findings and the Single Audit.
 - c. Data Submission:
 - i. Maintain accurate, thorough records of all social services programs covered by this MOU, in particular, records related to the mandated performance requirements that can be accessed for the purpose of data collection, service provision, monitoring or consultation
 - ii. Ensure reliable data entry into state systems utilized for the administration of social services programs covered under this MOU.
 - iii. Provide, upon request, data to the state for the purpose of, but not limited to, conducting monitoring, case file reviews, error analysis and quality control.
 - iv. Utilize data to understand the performance of their county and to conduct analysis and implement changes where needed if performance measures are not being met.
 - d. Communication:
 - i. Respond and provide related action in a timely manner to all communications received from the Department.

- ii. Provide timely information on all matters that have a potential negative impact on the social services programs they administer, including but not limited to, litigation risks (not including child welfare cases governed by Chapter 7B or adult services cases governed by Chapter 35A or 108A), network and computer issues, or data breaches.
 - iii. Provide timely information regarding temporary or permanent changes to the Social Services Governing Board. or the County Social Services Director, including retirements, separations, or any leaves of absence greater than two calendar weeks.
- e. Inter-agency Cooperation:
 - i. Ensure that county social services personnel complete required training and are prepared to engage in Disaster Management, mass shelter, BCP and COOP operations.
 - ii. Ensure that all plans and systems are in place to meet potential disaster (natural, technical, otherwise) response requirements.
 - iii. Engage with DHHS, state Emergency Management and local leadership in associated efforts.
 - iv. Assist or operate mass shelter operations or other required disaster management responsibilities.
- (3) The County shall timely meet all its responsibilities contained in this MOU. "Timely" shall be defined consistent with timeliness requirements set forth in relevant statute, regulation, policy or as otherwise required by the Department. If timeliness is not otherwise defined, "timely" shall mean within a reasonable time under the circumstances.

15.0 Data Security and Reporting

Data Security: The County shall adopt and apply data privacy and security requirements to comply with all applicable federal, state, department and local laws, regulations, and rules. To the extent that the Department and the County have already entered into one or more data privacy agreements covering all or any portion of the work to be performed under this MOU, the Parties hereby adopt and incorporate such agreements by reference into this MOU as if fully set forth herein.

Duty to Report: The County shall report all privacy and security incidents related to the provision of social services programs covered by the MOU to the Department and the Privacy and Security Office within twenty-four (24) hours after the privacy and security incident is first discovered, provided that the County shall report a breach involving Social Security Administration data or Internal Revenue Service data within one (1) hour after the incident is first discovered. During the performance of this MOU, the County is to notify the Department of any contact by the federal Office for Civil Rights (OCR) received by the County related to the provision of social services programs covered by the MOU. In case of a privacy and security incident, the County, including any subcontractors or agents it retains, shall fully cooperate with the Department.

16.0 Miscellaneous

Choice of Law: The validity of this MOU and any of its terms or provisions, as well as the rights and duties of the Parties to this MOU, are governed by the laws of North Carolina. The Parties, by signing this MOU, agree and submit, solely for matters concerning this MOU, to the exclusive

jurisdiction of the courts of North Carolina and agrees, solely for such purpose, that the exclusive venue for any legal proceedings shall be Wake County, North Carolina. The place of this MOU and all transactions and agreements relating to it, and their situs and forum, shall be Wake County, North Carolina, where all matters, whether sounding in contract or tort, relating to the validity, construction, interpretation, and enforcement shall be determined.

Amendment: This MOU may not be amended orally or by performance. Any amendment must be made in written form and executed by duly authorized representatives of the Department and the County. The Parties agree to obtain any necessary approvals, if any, for any amendment prior to such amendment becoming effective. Also, the Parties agree that legislative changes to state law shall amend this MOU by operation of law to the extent affected thereby.

Effective Date: This MOU shall become effective January 1, 2021 and shall continue in effect until June 30, 2022.

Signature Warranty: Each individual signing below warrants that he or she is duly authorized by the party to sign this MOU and to bind the party to the terms and conditions of this MOU.

Currituck County

BY: 
Name

BY: _____
Name

TITLE: _____

TITLE: _____

DATE: _____

DATE: _____

North Carolina Department of Health and Human Services

BY: _____
Secretary, Department of Health and Human Services

DATE: _____



**CURRITUCK COUNTY
NORTH CAROLINA**

January 4, 2021

Minutes – Regular Meeting of the Board of Commissioners

5:00 PM SPECIAL MEETING

A Special Meeting was held by the Currituck County Board of Commissioners at 5:00 PM in the Board Meeting Room of the Historic Courthouse, 153 Courthouse Road, Currituck, North Carolina, for the purpose of holding a Closed Session.

- 1. Closed session pursuant to G.S. 143-318.11(a)(5) to establish or instruct county staff concerning the position to be taken by or on behalf of the county in negotiating the material terms of a contract for the acquisition of real property by purchase or exchange owned by Susan Coleman Kay, Parcel ID 002200000210000, Tulls Creek Road, Moyock, to be used for any public purpose.**

Chairman Payment called the meeting to order and moved to enter Closed Session pursuant to G.S. 143-318.11(a)(5) to establish or instruct county staff concerning the position to be taken by or on behalf of the county in negotiating the material terms of a contract for the acquisition of real property by purchase or exchange owned by Susan Coleman Kay, Parcel ID 002200000210000, Tulls Creek Road, Moyock, to be used for any public purpose.

Commissioner White seconded the motion. The motion carried, 7-0, and the Board entered Closed Session.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Michael H. Payment, Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

2. Motion to Adjourn

The Board returned from Closed Session and had no further business. Commissioner McCord moved to adjourn the Special Meeting. Commissioner Jarvis seconded the motion. The motion carried, 7-0, and the meeting adjourned at 5:38 PM.

Communication: Minutes for January 4, 2021 (Approval Of Minutes-January 4, 2021)

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Bob White, Commissioner
SECONDER: Selina S. Jarvis, Commissioner
AYES: Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

6:00 PM CALL TO ORDER

The Board of Commissioners held a Regular Meeting at 6:00 PM in the Board Meeting Room of the Historic Courthouse, 153 Courthouse Road, Currituck, North Carolina.

Attendee Name	Title	Status	Arrived
Mike H. Payment	Chairman	Present	
Paul M. Beaumont	Vice-Chairman	Present	
J. Owen Etheridge	Commissioner	Present	
Mary "Kitty" Etheridge	Commissioner	Present	
Selina S. Jarvis	Commissioner	Present	
Kevin E. McCord	Commissioner	Present	
Bob White	Commissioner	Present	

Chairman Payment called the meeting to order.

A) Invocation & Pledge of Allegiance

Commissioner Beaumont offered the Invocation and led the Pledge of Allegiance.

B) Approval of Agenda

Commissioner White amended the agenda. A Commissioner appointment to the Alternate on the Albemarle Regional Planning Organization was added as Item 2 under Board Appointments. A surplus Resolution for Emergency Management equipment was added to Consent Agenda as Item 6.

Commissioner McCord moved to approve and Commissioner Jarvis seconded the motion. The agenda was unanimously approved.

Approved agenda:

5:00 PM Special Meeting

Closed session pursuant to G.S. 143-318.11(a)(5) to establish or instruct county staff concerning the position to be taken by or on behalf of the county in negotiating the material terms of a contract for the acquisition of real property by purchase or exchange owned by Susan Coleman Kay, Parcel ID

002200000210000, Tulls Creek Road, Moyock, to be used for any public purpose.

6:00 PM Call to Order

- A) Invocation & Pledge of Allegiance
- B) Approval of Agenda

Public Comment

Please limit comments to matters other than those appearing on this agenda as a Public Hearing. Public comments are limited to 3 minutes.

Commissioner's

Report

County Manager's

Report

Administrative

Reports

- A) **Presentation to Commissioner Bob White in Recognition of Service as Board Chair, December 2018-December 2020**

- B) **Resolution Honoring Senator Marc**

Basnight

Public Hearings

- A) **PB 20-21 Nigel & Sarah Culpepper Rezoning:** Request to rezone 7.5 acres of property located at 6804 Caratoke Highway from LI (Light Industrial) to GB (General Business). The property is Tax Map 108, Parcel 52D, Poplar Branch Township.
- B) **PB 20-22 Pinnacle Storage - Conditional Rezoning:** Robert High Development, LLC is requesting conditional rezoning of a 10.48 acre parcel from Conditional-Heavy Industrial (formally zoned for 84 Lumber) to Conditional-Heavy Industrial for Self-Service Storage. The property is owned by Pierce Hardy, LTD Partnership, and is located at 1462 Caratoke Highway, Tax Map 23, Parcel 68J, Moyock Township.
- C) **PB 20-17 Currituck County:** Requests an amendment to the Unified Development Ordinance, Chapter 4, Use Standards, to correct Agricultural Support and Services, Wind Energy Facility, Large, and Outdoor Tour Operators, Aviation in Table 4.1.1.B. Summary Use Table for the Planned Development Zoning Districts, as previously adopted by the Board of Commissioners.

- D) Public Hearing and Consideration of Resolution Authorizing Exchange of County Property for Property Owned by Penelope L. Lockhart and Conveyance of Access Easement Across County Property**

New Business

- A) Consideration of Approval of Budget Amendments to increase capital requests back to the initially recommended budget**

- B) Consideration of Approval of a Budget Amendment to use Elections CARES funding to provide a bonus for full-time elections staff.**

C) Board Appointments

1. Commissioner Appointment to Serve on the ABC Board
2. Amended Item-Commissioner Appointment to Albemarle Regional Planning Organization-Alternate
3. Board of Adjustment
4. Library Board of Trustees
5. Recreation Advisory
6. Tourism Advisory
7. Veterans Advisory Board

D) Consent Agenda

1. Budget Amendments
2. NCACC Legislative Goals Conference Voting Delegate Designation
3. Request for Disposal of Records-Permits and Inspections
4. Approval of Memorandum of Agreement with the State of North Carolina for Location of Groundwater Monitoring Station at Shingle Landing Park
5. Approval of Building Access Agreement for CenturyLink Data Line Upgrade Installation at the Office of the Clerk of Court, Judicial Center
6. Amended Item-Surplus Resolution-Message Boards, Emergency Management
7. Approval Of Minutes-Dec. 7, 2020

Adjourn

Special Meeting-Tourism Development Authority

TDA-Request to Revise Timeline Criteria and Allow a Fiscal Year Carryover for Event Grants

TDA-Budget Amendments

Adjourn TDA

Special Meeting-Ocean Sands Water and Sewer District Board

OSWSD-Budget Amendment

Adjourn OSWSD Board

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Kevin E. McCord, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

PUBLIC COMMENT

Please limit comments to matters other than those appearing on this agenda as a Public Hearing. Public comments are limited to 3 minutes.

Chairman Payment opened the Public Comment period. No one was signed up nor wished to speak and the Public Comment period was closed.

COMMISSIONER'S REPORT

Chairman Payment wished everyone a Happy New Year, and he looks forward to working with the Board in 2021. He presented information on the Covid vaccine distribution through Albemarle Regional Health Services and the Currituck County Health Department. Chairman Payment announced solid waste decals are now required to access the County's convenience centers.

Commissioner McCord looks forward to 2021 and noted a good 2020 on the beach. He spoke of the successes of the Operation Santa Clause program through the Department of Social Services and the Shop for a Kid program through the Sheriff's office. He thanked everyone who donated and participated.

Commissioner White announced the upcoming Board retreat to be held at the Historic Courthouse, February 4-6, 2021, and encouraged the public to attend.

Commissioner Mary Etheridge announced 253 children were served through the Department of Social Services Operation Santa Clause program, and thanked the community for the outpouring of support. She encouraged citizens to make their voices heard and to hold leaders accountable by becoming involved in local, state and federal government.

Commissioner Jarvis spoke of the changes people made in 2020 due to the Coronavirus, and encouraged focusing on the positive aspects of those changes. She looks forward to moving on to a better 2021.

COUNTY MANAGER'S REPORT

Chairman Payment recognized the absence of Ben Stikeleather, County Manager. County Attorney, Ike McRee, had nothing to report on his behalf.

ADMINISTRATIVE REPORTS

A. Presentation to Commissioner Bob White in Recognition of Service as Board Chair, December 2018-December 2020

Commissioners gathered at the front of the meeting room and joined Chairman Payment as he presented a plaque to Commissioner Bob White to recognize and thank him for his service as Chairman of the Board of Commissioners from December 2018 through December 2020.

B. Resolution Honoring Senator Marc Basnight

Commissioner J. Owen Etheridge presented a Resolution in honor of former North Carolina Senator Pro-Tempore, Marc Basnight. The Resolution recognized the Senator's service and contributions to Currituck County and the District and offered condolences to the family upon the Senator's passing on December 28, 2020. Commissioner J. Owen Etheridge moved to adopt the Resolution. Commissioner Mary Etheridge seconded the motion. The motion carried, 7-0.

WHEREAS, Marc Basnight served the citizens of Currituck County as the North Carolina State Senator from 1984 until 2011; and

WHEREAS, Senator Basnight served as Senate Pro Tempore from 1997 until 2010; and

WHEREAS, during his time as a Senator and Senate Pro Tempore, Marc Basnight unified the power of the North Carolina General Assembly to move North Carolina forward in the areas of transportation, environmental protection, education; and

WHEREAS, the programs and policies developed during Senator Basnight's time in office will continue to have positive effects across North Carolina; his impacts can be best seen in the district that elected him to the office for 27 years; and

WHEREAS, the improvements to roads, bridges, education, environmental protection, and tourism can be seen in his entire district; Currituck County was the recipient of Senator Basnight's programs and policies directly in many instances; and

WHEREAS, the direct benefit to Currituck County can be seen in areas such as the widening of Hwy 158, County ownership of the airport and prison facility, construction of the Wildlife Center at Historic Corolla Park, natural coastlines, and improved recognition and

tourism for the Outer Banks; and

WHEREAS, Senator Basnight's legacy will continue to reverberate throughout Currituck County and be a benefit to the citizens here for decades to come; and

WHEREAS, Senator Basnight passed away on December 28, 2020.

NOW, THEREFORE BE IT RESOLVED, that Currituck County would like to send its heartfelt thanks and condolences to the family of Senator Marc Basnight in their time of grief. Marc Basnight was a champion for Currituck County during his time in the General Assembly, and his contribution to our community and legacy will always be remembered.

ADOPTED this 4th day of January, 2021.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	J. Owen Etheridge, Commissioner
SECONDER:	Mary "Kitty" Etheridge, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

PUBLIC HEARINGS

A. PB 20-21 Nigel & Sarah Culpepper Rezoning:

APPLICATION SUMMARY	
Property Owner: Nigel & Sarah Culpepper 101 Kyle Court Kill Devil Hills, NC 27948	Applicant: Same
Case Number: PB 20-21	Application Type: Zoning Map Amendment
Parcel Identification Number: 0108-000-052D-0000	Existing Use: Vacant
Land Use Plan Classification: Rural & Conservation	Parcel Size (Acres): 7.5 (entire parcel)
Land Use Plan Subarea: Grandy	Zoning History: A-40 (1975), rezoned a to B(GB) on 7/20/1987, GB (1989), rezoned GB to LM (2000), LI (2013)
Current Zoning: LI	Proposed Zoning: GB
Request: Request for a zoning map amendment to rezone Light Industrial (LI) zoned property to General Business (GB).	

Narrative

The applicant is requesting a conventional rezoning of approximately 7.5 acres from Light Industrial (LI) to General Business (GB); the request is a downzoning. The subject parcel was part of 78.9 acres that were rezoned from GB to Light Manufacturing (LM) in 2000. The 2000 rezoning request was presented to the board with plans for Eco-Brewing and Eco-

farming operations. The vision for the property at the time was a fully integrated production and retail facility for craft products, beer, and agricultural products. The appearance was intended to be a high-end tourist attraction with on-site production, retail and restaurant uses.

The subject property is currently vacant as are approximately 64 acres of the 78.9 acres rezoned to LM in 2000. The property has existing hedgerows along the north and south property lines which help to buffer the property from the existing LI use (brewery) to the south. The property is adjacent to LI zoning on the rear (west) and side (south) property lines. Most of the LI zoned acreage is accessed by Grange Road. The subject property does not have access to Grange Road. Rezoning the subject property will consolidate accesses to LI zoned property through the existing Grange Road access.

On its face, the rezoning request appears to be consistent with the Land Use Plan and the UDO. The Land Use Plan contains policies to protect the appearance of the NC 168/ US 158 corridor. Highway oriented industrial uses are not preferred or desired. Rezoning the parcel to GB will require future commercial projects to comply with non-residential design standards of the ordinance to establish higher quality development. These design standards are in place to enhance the appearance of development along major arterial streets. If the property remains LI, the non-residential design features will not be required for future development; only façade appearance standards would be applicable to the LI property. The rezoning request allows for future compatible commercial development of the property.

If this rezoning request is approved, the applicants have indicated that they will submit a building permit application to construct a single-family dwelling toward the rear of the property. Staff does have concerns with compatibility of a residential dwelling adjacent to LI zoned property; however, GB zoning adjacent to LI zoning is more compatible than residential zoning adjacent to LI zoning. A rezoning request to Single Family Mainland (SFM) is not a good option for this property because it would create a situation of a SFM parcel surrounded by GB and LI properties.

The UDO allows residential uses in the GB zoning district which is a major difference between GB and LI zoning. Single-Family Dwellings, Upper Story Dwellings, Live/Work, Class A & B manufactured homes, Dormitories, Family Care Homes and Rooming or Boarding Houses are residential uses that are permitted in the GB zoning district. Although residential uses are permitted in the GB zoning district, the GB district is not considered a residential zoning district and does not offer the same protections for residents as residential zoning. Residential zoning districts provide the most protection for residential uses; non-residential uses adjacent to residential zoning require increased buffering and community compatibility standards. The GB zoning district is intended to accommodate small to medium-sized commercial, office, personal service, and institutional uses that provide goods and services to county residents and visitors.

A dwelling in the GB zoning district does not get the same protection from potentially incompatible uses as a dwelling in a residential district. The community compatibility standards of the UDO are intended to provide a proper transition and ensure compatibility between single-family detached development and other more intense development. Community compatibility standards do not apply to non-residential uses adjacent to a dwelling located on property zoned GB.

The existence of a dwelling on property adjacent to LI zoning may require additional setbacks for certain LI uses; for example, the UDO requires a tattoo parlor to be setback at least 500' from a residential use and landfills must be setback at least 300' from a residential use

Many commercial uses are permitted in both GB and LI zoning districts; however, certain uses are permitted in GB and not permitted in LI and vice versa. Uses that are permitted in LI but not in GB tend to have more compatibility issues and other off-site impacts (including traffic, noise and odor) especially on adjacent residential uses. A use comparison is included at the end of this report.

Community Meeting

A community meeting was held on October 20, 2020. The applicants, their family, and planning staff were in attendance. There were no other members of the community present; however, the applicants did share correspondence that was received from neighboring property owners (included in the agenda packet).

The UDO does not require a community meeting for zoning map amendments that establish a less intense base zoning district; the community meeting was not required for this request.

UDO

In North Carolina, it is illegal to impose conditions on rezonings to conventional zoning districts; therefore, this conventional zoning map amendment is a legislative decision of the Board of Commissioners and is not controlled by any one factor.

SURROUNDING PARCELS		
	LAND USE	ZONING
NORTH	VACANT/WOODED AREA	GB
SOUTH	WEeping RADISH BREWERY, BUTCHERY & CHARCUTERIE (RESTAURANT & BREWERY)	LI
EAST	CONVENIENCE CENTER, FARMLAND & WOODED AREA (ACROSS CARATOKE HIGHWAY)	GB & AG
WEST	VACANT/AGRICULTURAL	LI

LAND USE PLAN	
THE 2006 LAND USE PLAN (LUP) CLASSIFIES THIS SITE AS FULL SERVICE WITHIN THE GRANDY SUBAREA. THE POLICY EMPHASIS OF THE PLAN IS TO ALLOW GRANDY TO EVOLVE AS A COMMUNITY CENTER. IT IS ESSENTIAL THAT NON-RESIDENTIAL USES IN FULL-SERVICE AREAS PRESERVE EXISTING COMMUNITY CHARACTER. THE PROPOSED ZONING MAP AMENDMENT REQUEST IS CONSISTENT WITH THE POLICIES OF THE PLAN, INCLUDING:	
POLICY CD4	HIGHWAY ORIENTED COMMERCIAL USES should be clustered along segments of highways and contain land uses which are mutually compatible and reinforcing in use and design; they should be designed in such a way as to minimize signage, access points, and to prevent unsightly, dysfunctional STRIP DEVELOPMENT. (See esp., Policy CD9 below concerning connected parking areas.)

POLICY ML 4	Currituck County recognizes that the appearance and traffic moving function of the NC 168/ US 158 CORRIDOR is of exceptional importance to both the near-term quality of life and long-term economic prospects for residents and property owners in the Mainland Area. The Transportation and Community Appearance policy sections of this plan shall be implemented to give priority to this issue.
POLICY HN9	Proposed residential development that would expose residents to the harmful effects of INCOMPATIBLE LAND USES or to ENVIRONMENTAL HAZARDS shall be prohibited. This would include, for example, residential development in locations adversely impacted by proximity to the airport or to activities involving excessive noise, light, odors, dust, fertilizers, and insecticides (e.g. certain farm operations, mining activities, etc.).
POLICY TR6	HIGHWAY 158/168 shall receive special attention concerning the proper development of land and properties adjoining and/or accessing this critical arterial.

A ZONING MAP AMENDMENT IS A LEGISLATIVE DECISION OF THE BOARD OF COMMISSIONERS. IN DETERMINING WHETHER TO APPROVE OR DENY A ZONING MAP AMENDMENT THE BOARD OF COMMISSIONERS SHALL ADOPT A WRITTEN STATEMENT OF CONSISTENCY AND REASONABLENESS.

This zoning map amendment request is consistent with the Land Use Plan classifications and policies stated above and it is reasonable and in the public interest because:

- IT IS CONSISTENT WITH THE GOALS, OBJECTIVES, AND POLICIES OF THE LAND USE PLAN, OTHER APPLICABLE COUNTY-ADOPTED PLANS, AND THE PURPOSES OF THIS ORDINANCE;
 - THE REQUEST WILL RESULT IN FUTURE NON-RESIDENTIAL USES THAT MEET HIGHER QUALITY DESIGN STANDARDS ALONG CARATOKE HIGHWAY, THE COUNTY'S MOST IMPORTANT MAJOR ARTERIAL STREET.
 - THE REQUEST WILL REDUCE THE POTENTIAL FOR NON-COMPATIBLE, HIGHWAY-ORIENTED INDUSTRIAL USES.
- IT IS COMPATIBLE WITH EXISTING AND PROPOSED USES SURROUNDING THE LAND SUBJECT TO THE APPLICATION, AND IS THE APPROPRIATE ZONING DISTRICT AND USES FOR THE LAND;
 - THE REQUEST, A DOWNZONING FROM LI TO GB, IS COMPATIBLE WITH EXISTING AND PROPOSED USES. EXISTING USES ADJACENT TO THE PROPERTY INCLUDE A RESTAURANT, BREWERY ZONED LI AND VACANT PROPERTY ZONED GB AND LI.

RECOMMENDATION

PLANNING STAFF

Staff supports the proposed zoning map amendment of approximately 7.5 acres from LI to GB.

RECOMMENDATION

PLANNING BOARD

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THE PLANNING BOARD, ON DECEMBER 8, 2020, RECOMMENDED APPROVAL OF THE PROPOSED ZONING MAP AMENDMENT FROM LI TO GB.

MR. BASS MOVED TO APPROVE PB 20-21 BECAUSE THE REQUEST IS CONSISTENT WITH LAND USE PLAN POLICIES INCLUDING:

POLICY CD4
POLICY ML4
POLICY TR6

AND THE REQUEST IS REASONABLE AND IN THE PUBLIC INTEREST BECAUSE:

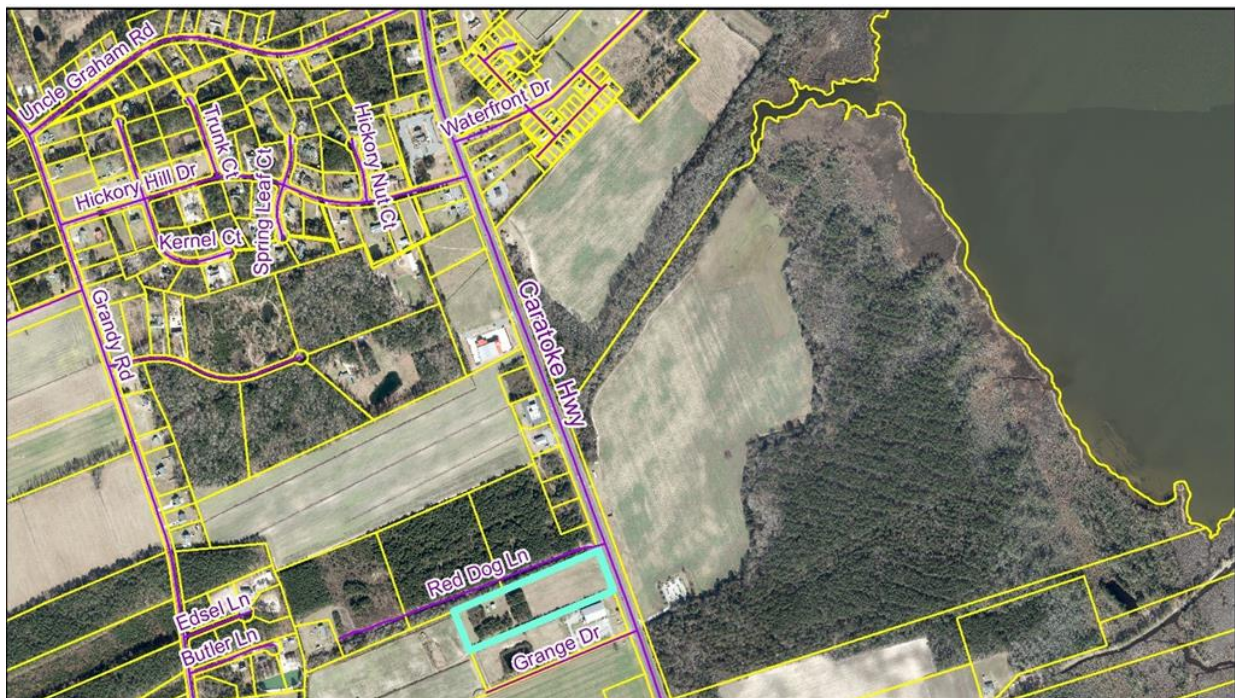
- THE REQUEST WILL RESULT IN FUTURE NON-RESIDENTIAL USES THAT MEET HIGHER QUALITY DESIGN STANDARDS ALONG CARATOKE HIGHWAY, THE COUNTY'S MOST IMPORTANT MAJOR ARTERIAL STREET.
- THE REQUEST WILL REDUCE THE POTENTIAL FOR NON-COMPATIBLE, HIGHWAY-ORIENTED INDUSTRIAL USES.

VICE CHAIRMAN OWENS SECONDED THE MOTION AND THE MOTION CARRIED UNANIMOUSLY 5-0.

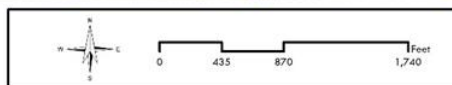
USE COMPARISON		
Non-Residential Uses allowed in both GB and LI districts	Non-Residential Uses allowed in GB not LI	Non-Residential Uses allowed in LI not GB
Agriculture/Horticulture Equestrian Facility Farmer's Market Nursery, production Agricultural Research Facility Distribution hub for agricultural and agronomic products Farm machinery sales, rental, and service Silviculture Vocational or trade school Government facilities and offices Blood/tissue collection facility Drug or alcohol treatment facility Hospital Club or Lodge Halfway house Religious institution Park, public or private Airport Helicopter Landing Facility Telecommunications Tower Utilities, major or minor Animal grooming Kennel Veterinary clinic Restaurant Specialty Eating	Agribusiness Roadside market Medical Treatment Facility Assisted Living Facility Auditorium, Conference, and convention center Nursing Home Arboretum or botanical garden Community Garden Passenger Terminal, surface transportation Animal Shelter Dinner Theater Offices, Professional Services Theater Arena, Amphitheater or Stadium Athletic Facility Golf Driving Range Outdoor Tour Operator Outdoor Tour Operator, Aviation Outdoor Recreation Bar, nightclub or cocktail lounge Drug Store or Pharmacy Entertainment Establishment	Animal Husbandry Agricultural Processing Psychiatric Treatment Facility Cemetery, columbaria, mausoleum Correctional Facility Police, fire or EMS facility Auction House Large Brewery Distillery Flea Market Tattoo parlor/body piercing establishment Winery Aircraft parts, sales, maintenance Automotive Wrecker Service Extractive Industry Fuel oil/bottled gas distributor General industrial service and repair Heavy equipment sales, rental and service Laundry, dry cleaning, and carpet cleaning plants Manufactured home and pre-fab building sales Cold Storage Plant Outdoor Storage as principal

USE COMPARISON

Establishment Offices, Businesses & Sales Parking lot Fitness center Indoor recreation Marinas Artisan Food and Beverage Producer Convenience store Laundromat Pawn shop Personal services establishment Repair establishment Boat & Marine rental, sales and service Automotive parts and installation Automobile repair and service (including painting/bodywork) Automobile sales or rentals Car wash or auto detailing Contractor Service Crabshedding Research and development Public convenience center/transfer station	Financial Institution Funeral Home Grocery Store Retail Sales Establishments Shopping Center Taxicab Service Bed & Breakfast Inn Hotel or Motel Hunting Lodge	use Self-service storage Truck or Freight Terminal Warehouse (distribution & storage) Landfill Recycling center, transfer Waste composting Wholesale sales
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PB20-21 Culpepper Rezoning
6804 Caratoke Highway
Aerial - North View

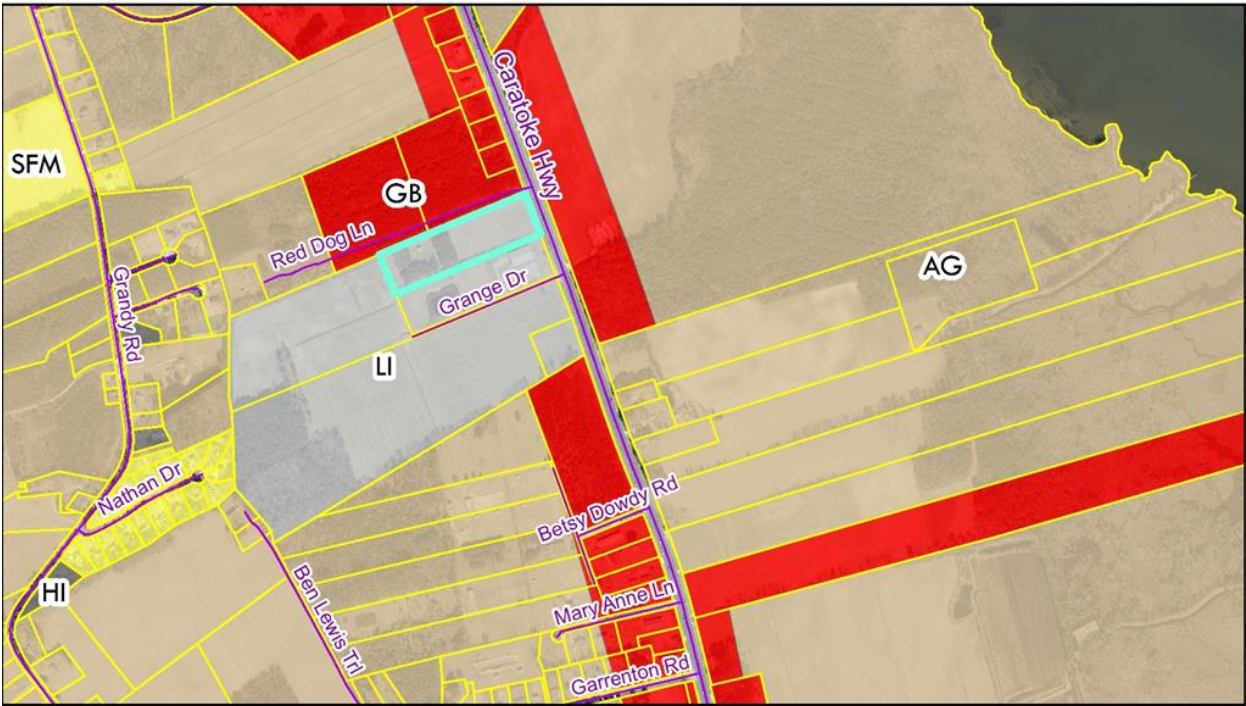
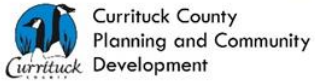
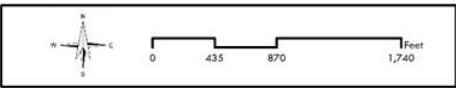


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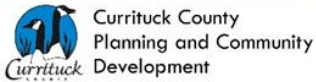
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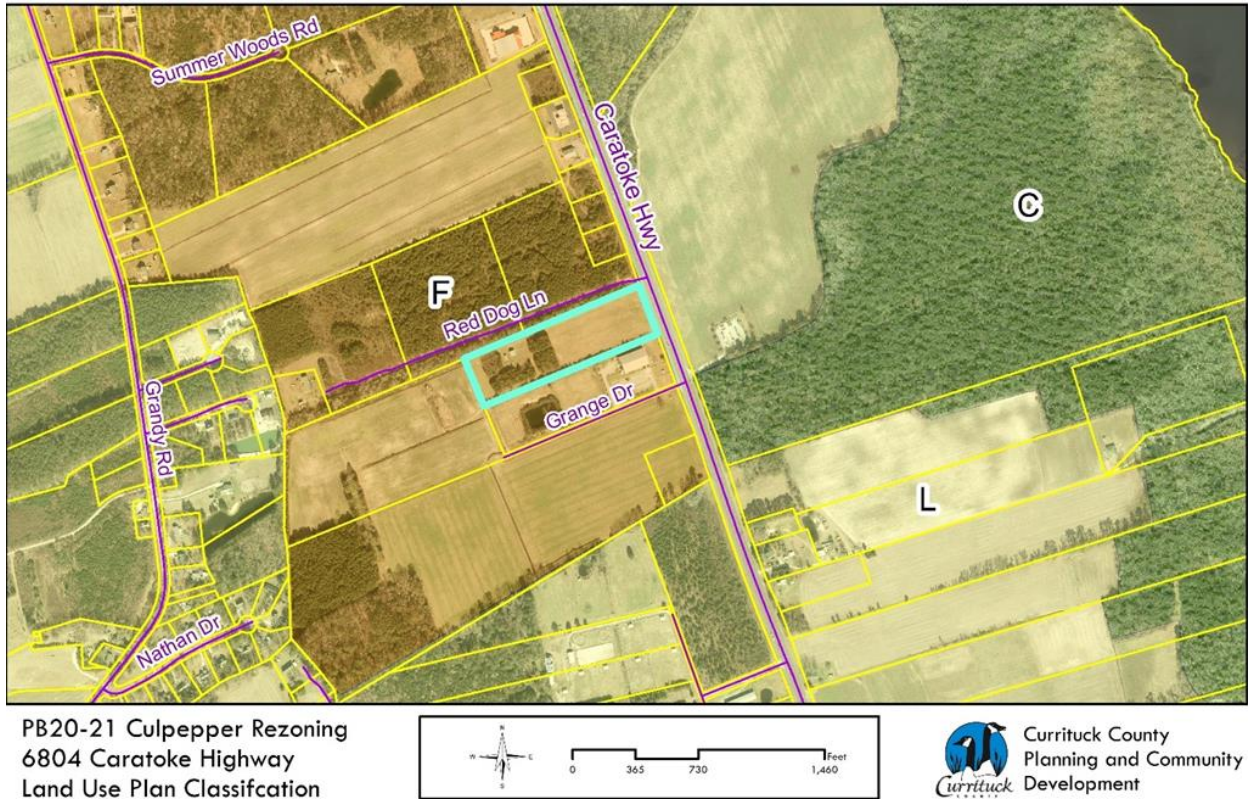
PB20-21 Culpepper Rezoning
6804 Caratoke Highway
Aerial - South View



PB20-21 Culpepper Rezoning
6804 Caratoke Highway
Official Zoning Map



Communication: Minutes for January 4, 2021 (Approval Of Minutes-January 4, 2021)



Planner, Jennie Turner, reviewed the rezoning request with the Board of Commissioners. An overhead was used to show a map of the parcel location with surrounding zoning and land uses. Ms. Turner reviewed correspondence received from neighboring property owners relative to the request and presented policies in support of staff and Planning Board recommendations for approval of the request. Staff did express concerns with building a residential dwelling surrounded by an industrial zoned area.

Applicants, Nigel and Sarah Culpepper, addressed the Board. The Culpeppers said they were married on the property, have maintained it for fifteen years, and wish to build a house on the property. They said they were aware of possible impacts of the surrounding land uses, including the restaurant that operates next door.

Chairman Payment opened the Public Hearing. No one wished to speak and the Public Hearing was closed.

Commissioner Jarvis moved to approve PB 20-21: Nigel and Sarah Culpepper, because the request is consistent with Land Use Plan policies, including Policy CD4, Policy ML4, and Policy TR6. The request is reasonable and in the public interest because the request will result in future non-residential uses that meet higher quality design standards along Caratoke Highway, the county's most important major arterial street; the request will reduce the potential for non-compatible, highway-oriented industrial uses.

Chairman Payment seconded the motion. The motion carried, 7-0.

RESULT: MOTION PASSED-ITEM APPROVED [UNANIMOUS]
MOVER: Selina S. Jarvis, Commissioner
SECONDER: Michael H. Payment, Chairman
AYES: Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

B. PB 20-22 Pinnacle Storage - Conditional Rezoning:

Property Owner: Pierce Hardy Ltd. Partnership c/o 84 Lumber Co. 1019 Rte. 519, Bldg Eighty-Four, PA 15330	Applicant: Robert High Development, LLC 324 Greenville Ave. Wilmington, NC 28403
Case Number: PB 20-22	Application Type: Conditional Rezoning
Parcel Identification Number: 023000068J0000	Existing Use: Vacant
Land Use Plan Classification: Rural	Parcel Size (Acres): 10.48
Moyock Small Area Plan Classification: Limited Service Area Industrial Activity Center	Zoning History: (1970-Light Industrial). (1974-Manufacturing), (1989-Heavy Industrial) (2015 C-HI)
Current Zoning: Conditional Heavy Industrial (C-HI) 84 Lumber	Proposed Zoning: Conditional Heavy Industrial (C-HI) Self Service Storage
Request: Robert High Development, LLC is requesting conditional rezoning of a 10.48 acre parcel from C-HI (84 Lumber) to C-HI (Pinnacle) Self Service Storage	

NARRATIVE

Robert High Development, LLC is requesting conditional rezoning of a 10.48 acre parcel from C-HI (84 Lumber) to C-HI (Pinnacle Storage) Self-Service Storage. In 2015, the subject parcel was granted conditional rezoning to allow 84 Lumber to conduct a lumber warehousing use with a retail component. The 84 Lumber project never materialized and the property has remained vacant.

According to historical zoning maps, the subject property has been zoned for industrial use since at least 1970. It is located in front of Wind Chaser Industrial area. There are currently several nearby industrial uses including a concrete plant, a precast concrete facility, and a recycling business. The properties to the north and south are split zoned with General Business near Caratoke Highway and Heavy Industrial in the rear. The property to the north is proposing a self-service storage use on the Heavy Industrial portion while the front will remain General Business.

The site is appropriate for the proposed use because it is surrounded by industrial uses and industrially zoned properties. The applicant is addressing concerns about the proximity to Caratoke Highway by proposing the conditions of approval listed below.

The applicant is proposing to phase the project with the front buildings being constructed first, and the buildings in the rear being constructed according to demand.

COMMUNITY MEETING

Mark Bissell presented a summary of the land, setting and the approval process, along with a presentation of the development plan. The development plan included the, site plan, preliminary architectural plan, stormwater, and landscaping general plan. Community comments were received and were addressed as shown below. There were also informal discussions around the renderings that had been provided for review, and then the meeting was adjourned.

1. **Concerns about drainage** – Ponds will be designed to store and slow release stormwater.
2. **Concerns about landscaping** – Committing to provide 140% of streetscaping required by UDO.
3. **How will it be phased-** The front 3 buildings will be constructed first. The schedule for the remaining buildings will be based on market conditions.

CONDITIONS OF APPROVAL

1. 20% WINDOWS ON HIGHWAY FRONTAGE SIDE OF BUILDING(S)
2. FINISHED FRONT FAÇADE (BRICK, STUCCO, OR SIMILAR FINISH)
3. 140% OF REQUIRED STREETSCAPING, ALLOWED TO BE CLUSTERED TO PROVIDE VISIBILITY FROM 168.

SURROUNDING PARCELS		
	LAND USE	ZONING
NORTH	VACANT	AGRICULTURAL (ACROSS HIGHWAY)
SOUTH	CONCRETE PLANT	HEAVY INDUSTRIAL
EAST	VACANT	HEAVY INDUSTRIAL/GB
WEST	VACANT	HEAVY INDUSTRIAL/GB

LAND USE PLAN	
THE 2006 LAND USE PLAN CLASSIFIES THIS SITE AS LIMITED SERVICE WITHIN THE MOYOCK SUBAREA. THE POLICY EMPHASIS FOR THE MOYOCK SUBAREA IS PROPERLY MANAGED. THE PROPOSED PLAN IS CONSISTENT WITH THE POLICIES OF THE PLAN, SOME OF WHICH ARE:	
POLICY ID 5	WAREHOUSING, STORAGE AND DISTRIBUTION FACILITIES SHALL HAVE ACCESS TO THOROUGHFARES OF ADEQUATE TRAFFIC CARRYING CAPACITY, AND SHALL BE APPROPRIATELY DESIGNED AND/OR VISUALLY BUFFERED ACCORDING TO THE VISIBILITY OF THEIR LOCATION.
POLICY ID 2	INDUSTRIAL USES SHOULD NOT BE LOCATED IN AREAS THAT WOULD DIMINISH THE DESIRABILITY OF EXISTING AND PLANNED NON-INDUSTRIAL DEVELOPMENTS, NOR SHALL INCOMPATIBLE NONINDUSTRIAL USES BE ALLOWED TO ENCROACH UPON EXISTING OR PLANNED INDUSTRIAL SITES.
POLICY CA 3	LANDSCAPE IMPROVEMENTS AT EXISTING AND NEW COMMERCIAL DEVELOPMENTS, PARTICULARLY AS RELATED TO BREAKING UP AND SOFTENING THE APPEARANCE OF EXPANSIVE PARKING AREAS, AND ABSORBING STORM WATER RUNOFF, SHALL BE REQUIRED.
POLICY ID1	TO DIVERSIFY THE LOCAL ECONOMY AND BROADEN THE LOCAL TAX BASE, THE COUNTY SHALL ENCOURAGE A PUBLIC SERVICE AND REGULATORY ENVIRONMENT CONDUCIVE TO COMPATIBLE INDUSTRIAL DEVELOPMENT. "COMPATIBLE" SHALL BE DEFINED AS, AMONG OTHER THINGS, INDUSTRIES THAT DO NOT ADVERSELY IMPACT THE ENVIRONMENTAL QUALITY OF THE AREA, OR OVERBURDEN THE LOCAL INFRASTRUCTURE.

POLICY ED1	NEW AND EXPANDING INDUSTRIES AND BUSINESSES SHOULD BE ESPECIALLY ENCOURAGED THAT: 1) DIVERSIFY THE LOCAL ECONOMY, 2) TRAIN AND UTILIZE A MORE HIGHLY SKILLED LABOR FORCE, AND (3) ARE COMPATIBLE WITH THE ENVIRONMENTAL QUALITY AND NATURAL AMENITY BASED ECONOMY OF CURRITUCK COUNTY.
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MOYOCK SMALL AREA PLAN

THE MOYOCK SMALL AREA PLAN CLASSIFIES THIS SITE AS A LIMITED SERVICE INDUSTRIAL ACTIVITY CENTER. . THE PROPOSED PLAN IS CONSISTENT WITH THE POLICIES OF THE PLAN, SOME OF WHICH ARE:

POLICY BI 3	ACTIVELY MARKET MOYOCK AS AN EMERGING GROWTH AREA (VIRTUAL MICROPOLITAN) TO ENCOURAGE TARGETED RETAIL AND SERVICE DEVELOPMENT.
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TECHNICAL REVIEW COMMITTEE

THE TECHNICAL REVIEW COMMITTEE RECOMMENDS APPROVAL OF THE CONDITIONAL REZONING SUBJECT TO THE FOLLOWING CONDITIONS:

1. 20% WINDOWS ON HIGHWAY FRONTAGE SIDE OF BUILDING(S)
2. FINISHED FRONT FAÇADE (BRICK, STUCCO, OR SIMILAR FINISH)
3. 140% OF REQUIRED STREETSCAPING, ALLOWED TO BE CLUSTERED TO PROVIDE VISIBILITY FROM 168.
4. A MAJOR SITE PLAN APPLICATION SHALL BE SUBMITTED TO ENSURE FULL COMPLIANCE WITH THE UDO AND THE CONDITIONS OF APPROVAL.

PLANNING BOARD

The Planning Board, on December 8, 2020, recommended approval for the conditional rezoning with the agreed upon conditions.

Vice Chairman Owens moved to approve PB 20-22, with agreed upon conditions, because the request is consistent with Land Use Plan policies:

- ID1
- ID2
- ID5
- CA3
- ED1

And the request is reasonable and in the public interest because:

It provides a needed service for the growing residential development in Moyock.

Mr. Doll seconded the motion and the motion carried unanimously 5-0.

A CONDITIONAL ZONING IS A LEGISLATIVE DECISION OF THE BOARD OF COMMISSIONERS. IN DETERMINING WHETHER TO APPROVE OR DENY A CONDITIONAL REZONING THE BOARD OF COMMISSIONERS SHALL ADOPT A WRITTEN STATEMENT OF CONSISTENCY AND REASONABLENESS.

This conditional zoning request is consistent with the goals, objectives, and policies of the Land Use Plan, other applicable county-adopted plans, and the purposes of this Ordinance; Is compatible with existing and proposed uses surrounding the land

subject to the application, and is the appropriate zoning district and uses for the land; and addresses a demonstrated community need.

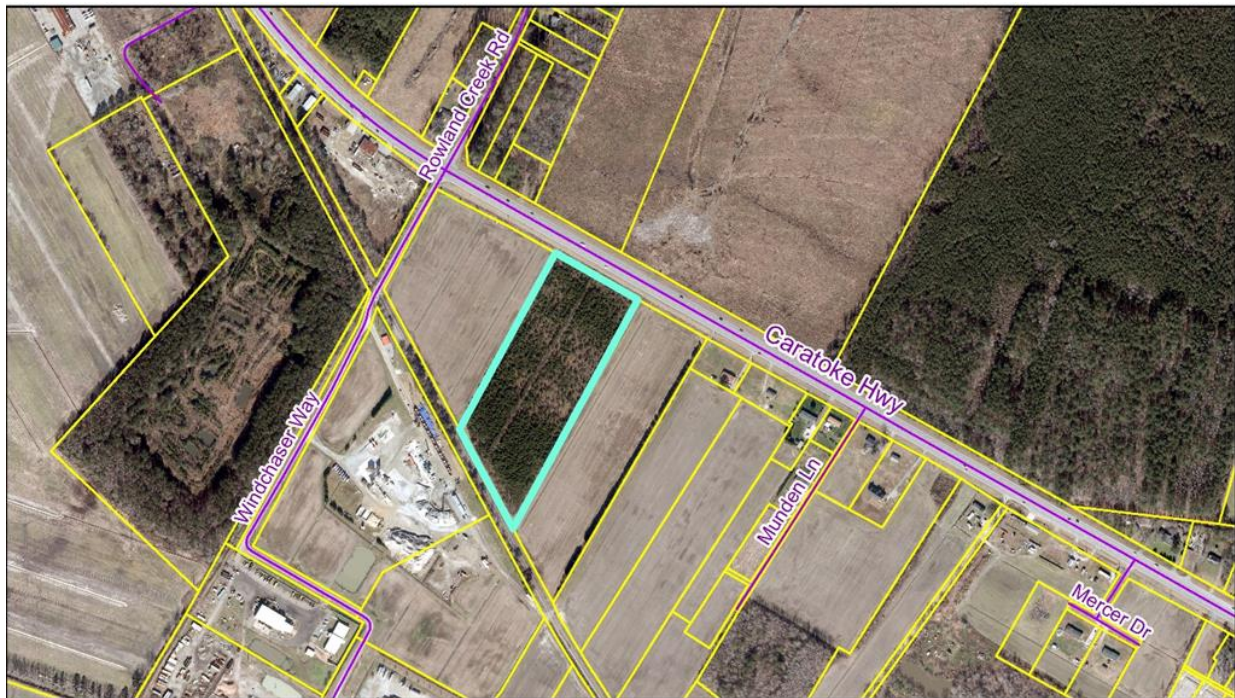
It is reasonable and in the public interest because provides a needed service for the growing residential development in Moyock.

CONDITIONS OF APPROVAL

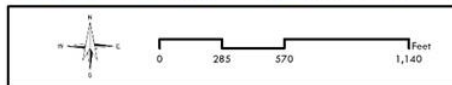
ONLY CONDITIONS MUTUALLY AGREED TO BY THE OWNER(S) MAY BE APPROVED AS PART OF A CONDITIONAL ZONING DISTRICT. CONDITIONS SHALL BE LIMITED TO THOSE THAT ADDRESS CONFORMANCE OF DEVELOPMENT AND USE OF THE SITE WITH COUNTY REGULATIONS AND ADOPTED PLANS AND THAT ADDRESS THE IMPACTS REASONABLY EXPECTED TO BE GENERATED BY THE DEVELOPMENT OR USE. NO CONDITION SHALL BE LESS RESTRICTIVE THAN THE STANDARDS OF THE PARALLEL GENERAL USE ZONING DISTRICT.

Agreed upon conditions of approval:

1. 20% WINDOWS ON HIGHWAY FRONTAGE SIDE OF BUILDING(S)
2. FINISHED FRONT FAÇADE (BRICK, STUCCO, OR SIMILAR FINISH)
3. 140% OF REQUIRED STREETSCAPING, ALLOWED TO BE CLUSTERED TO PROVIDE VISIBILITY FROM 168.
4. A MAJOR SITE PLAN APPLICATION SHALL BE SUBMITTED TO ENSURE FULL COMPLIANCE WITH THE UDO AND THE CONDITIONS OF APPROVAL.



PB 20-22 Pinnacle Storage
Conditional Rezoning
Aerial




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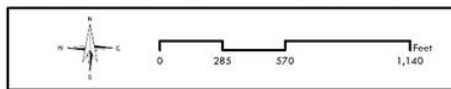
PB 20-22 Pinnacle Storage
Conditional Rezoning
Official Zoning Map




 Currituck County
Planning and Community
Development

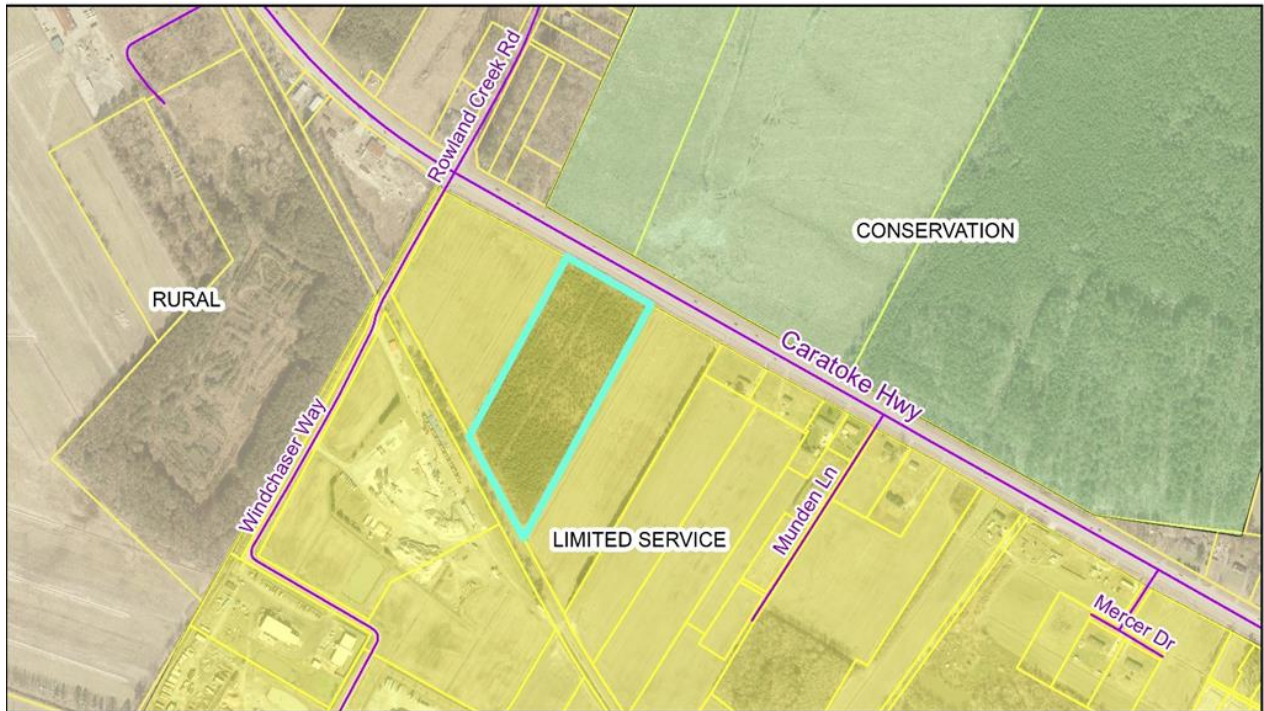


PB 20-22 Pinnacle Storage
Conditional Rezoning
2006 LUP Classification



 Currituck County
Planning and Community
Development

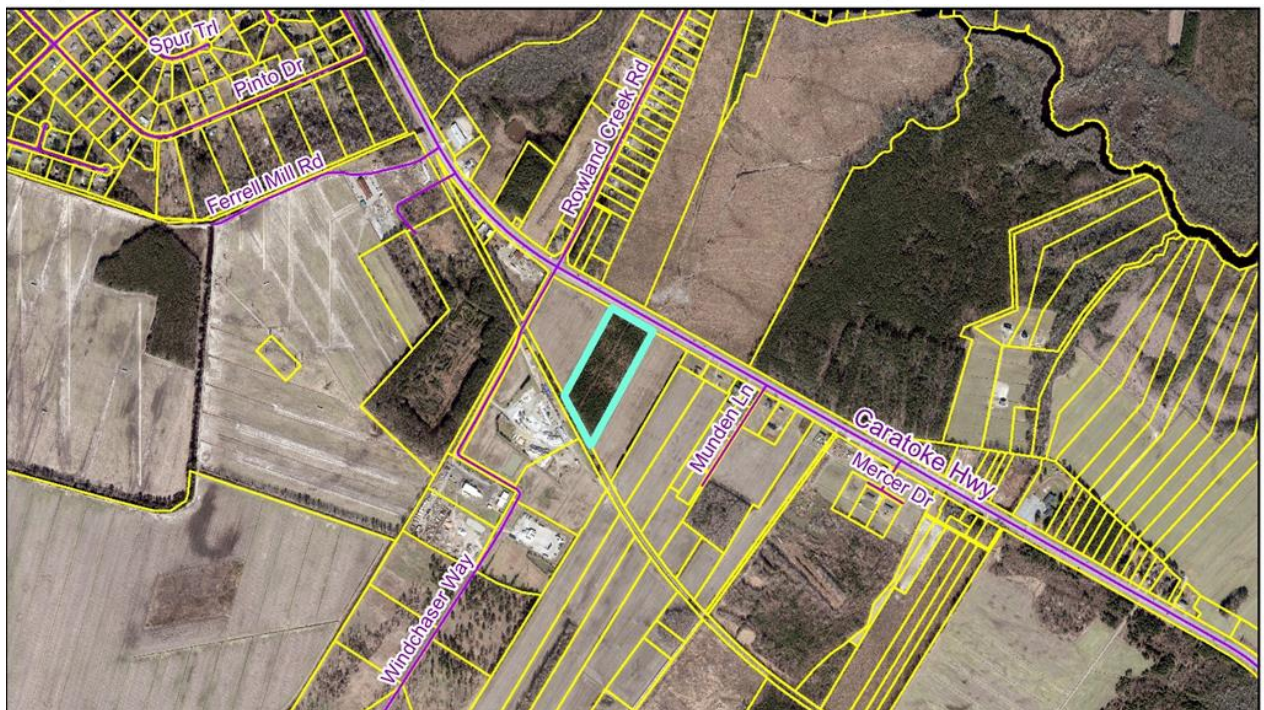
Communication: Minutes for January 4, 2021 (Approval Of Minutes-January 4, 2021)



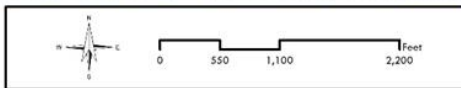
PB 20-22 Pinnacle Storage
Conditional Rezoning
Moyock Small Area Plan



Currituck County
Planning and Community
Development



PB 20-22 Pinnacle Storage
Rezoning
Aerial



Currituck County
Planning and Community
Development

Planner, Jason Litteral, reviewed the rezoning application with the Board of Commissioners. Overhead displays showed current zoning at the location and surrounding zoning that

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include industrial uses compatible with the request. The site plan was reviewed, and Mr. Litteral reported the applicant has agreed to increase the screening above what the County Unified Development Ordinance requires. Building design and the phasing plan were presented. Land Use Plan policies supporting both staff and Planning Board recommendations for approval were presented, as were staff recommended conditions.

Mr. Litteral responded to questions during and after presentation and clarified several items included in the site plan related to building elevations and stormwater. Concerns with vehicle access to the facility were discussed.

David Klebitz, Engineer for the applicant, provided further clarification in response to questions posed by Commissioners, and said the submittal is a conceptual development plan, and final design will include transportation and stormwater plans. Stormwater pond areas were reviewed. Setbacks, landscape plan, and building elevations and facade were discussed. He said the applicant is willing to accept a 140% screening, which was required for approval when the site was previously rezoned for 84 Lumber.

Commissioners voiced concern with traffic flow from the highway and asked if it would be possible to set the site back 250 feet and allow the General Business zoning at the front to remain. Mr. Klebitz said it may be possible but would need to be looked at.

Applicant, Robert High, addressed Commissioners. He said this type of facility handles approximately 35-40 trips per day, a light traffic flow, and not a lot of turnover. He reviewed several aspects of the site plan to respond to Board concerns and said the design and stormwater plan were similar to those submitted by 84 Lumber. Following discussion, Mr. High said he believes he could push the site back 50 feet and agreed to do so, resulting in the development beginning at a 200 foot setback off of the highway.

Chairman Payment opened the Public Hearing.

Luke Gallop, neighboring property owner south of the location, expressed concern with flooding that could result with changes to the existing drainage on the site.

No others were signed up nor wished to speak and the Public Hearing was closed.

Commissioner J. Owen Etheridge moved to approve PB 20-22: Pinnacle Storage Conditional Rezoning, with agreed upon conditions, to include a 140% street-scape screening requirement, moving the front building back 50 feet for a total of 200 feet instead of the 150 feet as proposed, and staff recommendations as listed. And, because the request is consistent with Land Use Plan policies ID1, ID2, ID5, CA3 and ED1; And the request is reasonable and in the public interest because it provides a needed service for the growing residential development in Moyock.

Commissioner McCord seconded. The motion carried, 7-0.

RESULT:	MOTION PASSED-ITEM APPROVED [UNANIMOUS]
MOVER:	J. Owen Etheridge, Commissioner
SECONDER:	Kevin E. McCord, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

C. PB 20-17 Currituck County:

To: Board of Commissioners

From: Planning Staff

Date: December 1, 2020

Subject: PB 20-17 Currituck County – 2020 Housekeeping Corrections

Request

The proposed text amendment submitted by Currituck County is to correct the Unified Development Ordinance (UDO), Chapter 4, Table 4.1.1.B. Summary Use Table - Planned Development Zoning Districts for the following uses:

- Agriculture Support and Services (Not Directly Related) – Distribution Hub for Agricultural Products
- Utilities – Large Wind Energy Facilities
- Recreation/Entertainment, Outdoor – Aviation Outdoor Tour Operator

Background

The Summary Use Table (Table 4.1.1.B.) for Planned Developments was added to the UDO with the adoption of PB 19-25 Currituck County – Currituck Station June 15, 2020. The new Table 4.1.1.B. did not include three text amendments that were adopted by the Board of Commissioners during the time PB 19-25 was drafted, considered, and adopted. This text amendment incorporates the following adopted text amendments that included changes to use types in the Planned Development Zoning Districts:

- PB 19-26 Nutrien Ag Solutions adopted December 2, 2019
 - Amendment added agronomic uses as a permitted use to the distribution hub for agricultural products use type in the Summary Use Table
- PB 17-14 Currituck County adopted January 22, 2019
 - Amendment removed large wind energy facilities as a permitted use type from the Summary Use Table
- PB 19-09 Bruce Weaver, Kitty Hawk Kites adopted June 3, 2019
 - Amendment added aviation outdoor tour operator as a permitted use type in the Summary Use Table

Text Amendment Review Standards

The advisability of amending the text of the UDO is a matter committed to the legislative discretion of the Board of Commissioners and is not controlled by any one factor. In determining whether to adopt or deny the proposed text amendment, the Board of

Commissioners may weigh the relevance of and consider whether and the extent to which the proposed text amendment:

1. Is consistent with the goals, objectives, and policies of the Land Use Plan and other applicable county-adopted plans;
2. Is not in conflict with any provision of this Ordinance or the County Code of Ordinances;
3. Is required by changed conditions;
4. Addresses a demonstrated community need;
5. Is consistent with the purpose and intent of the zoning districts in this Ordinance, or would improve compatibility among uses and ensure efficient development within the county;
6. Would result in a logical and orderly development pattern; and
7. Would not result in significantly adverse impacts on the natural environment, including but not limited to water, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment.

Staff Recommendation

The proposed text amendment will amend language in the UDO that was previously adopted by the Board of Commissioners. The text amendment PB 19-25 Currituck County – Currituck Station adopted June 15, 2020 did not include the three previously approved amendments. Each of the three text amendments (PB 19-26, PB 17-14, and PB 19-09) included the adoption of a written statement of consistency and reasonableness that was specific to the amendment. The 2006 Land Use Plan does not directly address text amendments that are corrections to the ordinance.

Staff recommends approval of the request to amend the Summary Use Table (Table 4.1.1.B.) for Planned Developments that will incorporate the adopted language from PB 19-26 Nutrien Ag Solutions, PB 17-14 Currituck County, and PB 19-09 Bruce Weaver, Kitty Hawk Kites.

Planning Board Recommendation

The Planning Board recommended approval of the request to amend Table 4.1.1.B. as stated in this staff report at their meeting on November 10, 2020 with a 4-0 vote.

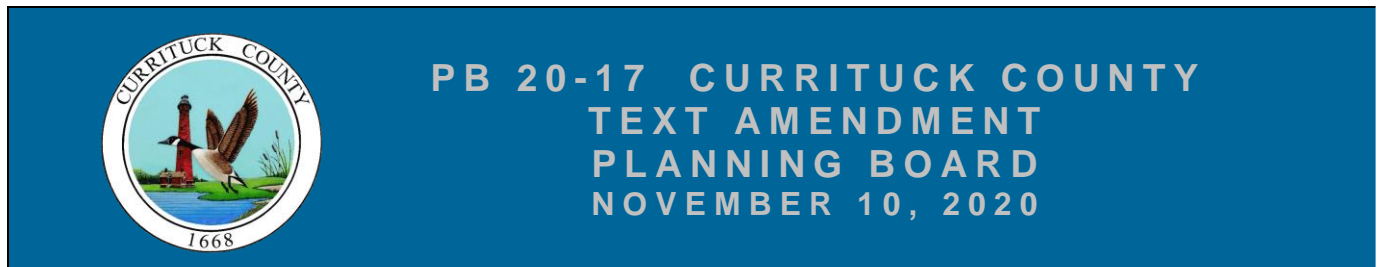
The requested text amendment is consistent with the goals, objectives, and policies of the 2006 Land Use Plan including:

1. POLICY ED1: NEW AND EXPANDING INDUSTRIES AND BUSINESSES should be especially encouraged that: 1) diversify the local economy, 2) train and utilize a more highly skilled labor force, and 3) are compatible with the environmental quality and natural amenity-based economy of Currituck County (PB 19-26 Nutrien Ag Solutions and PB 19-09 Bruce Weaver Kitty Hawk Kites).
2. POLICY ED4: In addition to the recruitment and expansion of major new industries, the considerable value of SMALL BUSINESS START-UPS, EXPANSIONS AND PIN-OFFS shall also be recognized. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
3. POLICY ID5: WAREHOUSING, STORAGE AND DISTRIBUTION facilities shall have access to thoroughfares of adequate traffic carrying capacity and shall be appropriately designed and/or visually buffered according to the visibility of their location. (PB 19-26 Nutrien Ag Solutions)
4. It removes a potential conflict between wind energy facilities and the operation of a nearby naval annex. (PB 17-14 Currituck County)
5. POLICY AG4: County growth management tools, including particularly zoning, should provide PROTECTION TO AGRICULTURE and other RESOUCÉ BASED ACTIVITIES

from incompatible land uses, such as a residential subdivision in the midst of generally uninterrupted farm land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)

The request is reasonable and in the public interest because:

1. The text amendment replaces language previously adopted by the Board of Commissioners that:
 - a. Is an existing and necessary support service for agriculture. (PB 19-26 Nutrien Ag Solutions)
 - b. May help preserve farm culture and promote farm and open space conservation through diversifying low impact uses of agricultural land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
 - c. Provides economic diversification and local economic development. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
 - d. Removes a potential conflict between wind energy facilities and the operation of an existing naval annex. (PB 17-14 Currituck County)



Currituck County requests an amendment to the Unified Development Ordinance, Chapter 4. Use Standards to correct Agricultural Support and Services, Wind Energy Facility, large, and Outdoor Tour Operators, Aviation in the summary use table for Planned Developments as adopted by the Board of Commissioners.

BE IT ORDAINED by the Board of Commissioners of the County of Currituck, North Carolina that the Unified Development Ordinance of the County of Currituck be amended as follows:

Item 1: That Chapter 4 is amended by deleting the following strikethrough language and adding the underlined language in Table 4.1.1.B.:

TABLE 4.1.1.B: SUMMARY USE TABLE													
Z = Zoning Compliance Permit; U = Use Permit; MP = Allowed with Master Plan; CZ= Allowed in a Conditional Zoning District blank cell = Prohibited													
USE CATEGORY	USE TYPE	PLANNED DEVELOPMENT ZONING DISTRICT [OVERLAY OR SUB-DISTRICT REQUIREMENTS MAY FURTHER LIMIT USES]											ADDITIONAL REQ. (4.2.1)
		PD-R	PD-M	PD-O	PD-CS ZONING DISTRICT SUB-DISTRICT DESIGNATIONS								
					CENTER STATION	CHARTER	CROSSROADS	CYPRESS	JUNCTION	MOYOCK RUN	NEWTOWN	OAK TRAIL	
AGRICULTURAL USE CLASSIFICATION													

TABLE 4.1.1.B: SUMMARY USE TABLE

Z = Zoning Compliance Permit; U = Use Permit; MP = Allowed with Master Plan;
CZ= Allowed in a Conditional Zoning District blank cell = Prohibited

USE CATEGORY	USE TYPE	PLANNED DEVELOPMENT ZONING DISTRICT [OVERLAY OR SUB-DISTRICT REQUIREMENTS MAY FURTHER LIMIT USES]												ADDITIONAL REQ. (4.2.1)
		PD-R	PD-M	PD-O	PD-CS ZONING DISTRICT SUB-DISTRICT DESIGNATIONS									
					CENTER STATION	CHARTER	CROSSROADS	CYPRESS	JUNCTION	MOYOCK RUN	NEWTOWN	OAK TRAIL		
Agricultural Support and Services (Not Directly Related)	Distribution hub for agricultural and agronomic products													1.C
INSTITUTIONAL USE CLASSIFICATION														
Utilities	Wind energy facility, large													3.K
COMMERCIAL USE CLASSIFICATION														
Recreation/Entertainment, Outdoor	<u>Outdoor tour operator, Aviation</u>													<u>4.F.7</u>

Item 2: Staff suggested Statement of Consistency and Reasonableness:

The requested zoning text amendment is consistent with the 2006 Land Use Plan including:

1. POLICY ED1: NEW AND EXPANDING INDUSTRIES AND BUSINESSES should be especially encouraged that: 1) diversify the local economy, 2) train and utilize a more highly skilled labor force, and 3) are compatible with the environmental quality and natural amenity-based economy of Currituck County (PB 19-26 Nutrien Ag Solutions and PB 19-09 Bruce Weaver Kitty Hawk Kites).
2. POLICY ED4: In addition to the recruitment and expansion of major new industries, the considerable value of SMALL BUSINESS START-UPS, EXPANSIONS AND PIN-OFFS shall also be recognized. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
3. POLICY ID5: WAREHOUSING, STORAGE AND DISTRIBUTION facilities shall have access to thoroughfares of adequate traffic carrying capacity and shall be appropriately designed and/or visually buffered according to the visibility of their location. (PB 19-26 Nutrien Ag Solutions)
4. It removes a potential conflict between wind energy facilities and the operation of a nearby naval annex. (PB 17-14 Currituck County)
5. POLICY AG4: County growth management tools, including particularly zoning, should provide PROTECTION TO AGRICULTURE and other RESOURCE BASED ACTIVITIES from incompatible land uses, such as a residential subdivision in the midst of generally uninterrupted farm land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)

The request is reasonable and in the public interest because:

1. The text amendment replaces language previously adopted by the Board of Commissioners that:
 - a. Is an existing and necessary support service for agriculture. (PB 19-26 Nutrien Ag Solutions)

- b. May help preserve farm culture and promote farm and open space conservation through diversifying low impact uses of agricultural land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
- c. Provides economic diversification and local economic development. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
- d. Removes a potential conflict between wind energy facilities and the operation of an existing naval annex. (PB 17-14 Currituck County)

Item 3: The provisions of this Ordinance are severable and if any of its provisions or any sentence, clause, or paragraph or the application thereof to any person or circumstance shall be held unconstitutional or violative of the Laws of the State of North Carolina by any court of competent jurisdiction, the decision of such court shall not affect or impair any of the remaining provisions which can be given effect without the invalid provision or application.

Item 4: This ordinance amendment shall be in effect from and after the _____ day of _____, 2021.

Donna Voliva, Assistant Planning Director, reviewed the application for Commissioners. She said the amendment is for housekeeping purposes to correct the use table within Planned Development zoning districts, which arose following adoption of Currituck Station. Consistency statements and Land Use Plan policies to support approval of the request, as recommended by staff and the Planning Board, were presented.

Commissioners had no questions and Chairman Payment opened the Public Hearing. No one was signed up nor wished to speak and the Public Hearing was closed.

Commissioner Beaumont moved for approval of PB 20-17: Currituck County 2020 Housekeeping text amendment. Commissioner Jarvis seconded the motion. The motion carried, 7-0.

RESULT:	MOTION PASSED-ITEM APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Vice-Chairman
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

D. Public Hearing and Consideration of Resolution Authorizing Exchange of County Property for Property Owned by Penelope L. Lockhart and Conveyance of Access Easement Across County Property

County Attorney, Ike McRee, reviewed the Resolution that will provide for an equal exchange of approximately one half acre of property between the County and Penelope Lockhart, as well as grant an access easement. The properties are located in the Swan Beach Tract on the Corolla off-road area. Mr. McRee used the overhead and displayed the

site location and reviewed the survey to note the encroachment onto County property, the property exchange boundaries, and access easement. Mr. McRee reported the United States Fish and Wildlife Service would impose the covenants and restrictions on the property the County receives from Ms. Lockhart, but has agreed to release the portion of the property the County is conveying from covenants and restrictions.

Chairman Payment opened the Public Hearing. No one was signed up nor wished to speak and the Public Hearing was closed.

Commissioner White moved to approve the Resolution Authorizing the Exchange of County Property. The motion was seconded by Commissioner Mary Etheridge. The motion carried, 7-0.

**RESOLUTION OF THE CURRITUCK COUNTY BOARD OF COMMISSIONERS
AUTHORIZING EXCHANGE OF PROPERTY WITH PENELOPE L. LOCKHART
AND CONVEYANCE OF EASEMENT ACROSS COUNTY PROPERTY TO THE
LOCKHART PROPERTY**

WHEREAS, Currituck County owns a tract of land now or formerly known as Tract 10JXL Currituck National Wildlife Refuge, Fruitville Beach with Parcel Identification Number 0100000001B0000; and

WHEREAS, Penelope L. Lockhart is the owner of land located within the county's property at 1780 Ocean Pearl Road with Parcel Identification Number 010000000050000; and

WHEREAS, a recent survey of the Lockhart property revealed that a structure located on the Lockhart property encroaches on the county's property and an accessway to the Lockhart property across the county's property previously permitted by United States Fish and Wildlife Service, the county's predecessor in title, has not been specifically delineated; and

WHEREAS, Currituck County and Penelope L. Lockhart desire to make an exchange of real property to resolve the Lockhart structural encroachment into county property by Currituck County's conveyance of 0.50 acres, more or less, of its property described in this resolution for 0.50 acres of Penelope L. Lockhart's property, more or less, described in this resolution and to delineate the easement across the county's property for access to the Lockhart property; and

WHEREAS, United States Fish and Wildlife Service has agreed to release the restrictive covenants from the property the county will convey to Penelope L. Lockhart upon imposition of the same restrictive covenants on the property the county receives from Penelope L. Lockhart; and

WHEREAS, N.C. Gen. Stat. §160A-271 authorizes Currituck County to make the exchange or property if authorized by its Board of Commissioners by a resolution adopted at a regular meeting of the board upon at least ten days' public notice and N.C.

Gen. Stat. §160A-273 authorizes Currituck County to grant an easement over, through, under or across any county property; and

WHEREAS, Currituck County has given the required public notice and conducted the required public hearing, and the Board of Commissioners has considered this resolution while convened in a regular meeting.

NOW, THEREFORE, BE IT RESOLVED by the Currituck County Board of Commissioners that:

Section 1. The exchange of Currituck County property for that property of Penelope L. Lockhart, and county conveyance of an easement to Penelope L. Lockhart, as shown on that plat entitled in part "Survey for Stanley Zuba & Lynn Zuba, A Parcel of Land in Carova, D.B. 1121, Pg. 762, Fruitville Beach Township, Currituck County, North Carolina" dated July 25, 2020 and prepared by Eastern Geomatics, PLLC is authorized.

Section 2. The appropriate Currituck County officials are directed to execute instruments necessary to carry out the exchange and conveyance of easement authorized by this resolution.

Section 3. This resolution is effective upon its adoption.

ADOPTED the 4th day of January, 2021.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Mary "Kitty" Etheridge, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

NEW BUSINESS

A. Consideration of Approval of Budget Amendments to increase capital requests back to the initially recommended budget

Ike McRee, County Attorney, reviewed the proposed budget amendment which would return funding for a number of capital projects to the County budget. The items had been removed from the budget in early 2020 due to uncertainty with the County's revenue stream during the Covid-19 pandemic.

Commissioner J. Owen Etheridge moved for approval. The motion was seconded by Commissioner White. The motion carried, 7-0.

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10441-590000	Capital Outlay		
10460-590000	Capital Outlay	\$ 80,000	
10461-590000	Capital Outlay	-	
10490-590000	Capital Outlay	-	
10510-545000	Contract Services	-	
10510-590000	Capital Outlay	417,045	
10511-590000	Capital Outlay	77,950	
10512-590000	Capital Outlay	43,000	
10530-590000	Capital Outlay	285,000	
10531-590000	Capital Outlay	-	
10540-590000	Capital Outlay	38,000	
10541-590000	Capital Outlay	20,350	
10550-590000	Capital Outlay	17,500	
10550-592000	Capital Outlay	-	
10640-590000	Capital Outlay	26,000	
10750-590000	Capital Outlay	60,000	
10795-590000	Capital Outlay	40,000	
10795-592000	Recreation Projects	187,500	
10796-590000	Capital Outlay	115,000	
10380-484001	Insurance Recovery		2,671
10390-495015	T F - Occupancy Tax Fund		115,000
10390-495042	T F - Transfer Tax Capital Fund		1,289,674
42450-587010	T T - Operating Fund	1,289,674	
42320-414000	Transfer Tax Revenue		1,289,674
		<u>\$ 2,697,019</u>	<u>\$ 2,697,019</u>
Explanation:	Various Departments - To increase capital outlay purchased that were not included in the original budget appropriations due to uncertainty of revenues during the COVID19 pandemic. Please see attachment for detailed items added to appropriations.		
Net Budget Effect:	Operating Fund (10) - Increased by \$1,271,691.		
	Transfer Tax Capital Fund (42) - Increased by \$1,251,674.		

RESULT: APPROVED [UNANIMOUS]
MOVER: J. Owen Etheridge, Commissioner
SECONDER: Bob White, Commissioner
AYES: Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

B. Consideration of Approval of a Budget Amendment to use Elections CARES funding to provide a bonus for full-time elections staff.

Ike McRee, County Attorney, presented the budget amendment that would provide a one-time bonus for Elections employees. The funds were provided through the CARES Act to local Board of Elections for their utilization. He said the North Carolina State Board of Elections authorized the funds to be used in this manner and in their opinion, requests should be approved by Boards of Commissioners as an administrative act based on the relationship between county leadership and County Boards of Elections.

Commissioner White moved for approval of the budget amendment. Commissioner Jarvis seconded the motion. The motion carried, 7-0.

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
200430-502100	Salaries - Overtime	\$ 4,855	
200430-503430	Poll Workers		\$ 1,011
200430-505000	FICA		247
200430-507000	Retirement Expense	772	
200430-532000	Supplies		4,369
		<u>\$ 5,627</u>	<u>\$ 5,627</u>
Explanation:	Elections CARES Grant (200430) - Transfer budgeted funds to pay 75 hours of overtime for the Elections Director and Deputy as approved by the Board of Elections.		
Net Budget Effect:	CARES Fund (200) - No change.		

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Bob White, Commissioner
SECONDER: Selina S. Jarvis, Commissioner
AYES: Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

C) Board Appointments

1. Commissioner Appointment to Serve on the ABC Board

Chairman Payment announced he will be leaving the ABC Board to dedicate more time to Chairman duties and nominated Commissioner Mary Etheridge to serve as Commissioner on the ABC Board. Commissioner White seconded and Commissioner Mary Etheridge's nomination was approved, 7-0.

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Michael H. Payment, Chairman
SECONDER: Bob White, Commissioner
AYES: Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

2. Amended Item-Commissioner Appointment to Albemarle Regional Planning Organization-Alternate

Chairman Payment nominated Commissioner J. Owen Etheridge to serve as Alternate on the Albemarle Regional Planning Organization, replacing Commissioner Jarvis. Commissioner Jarvis seconded and Commissioner J. Owen Etheridge's nomination was approved, 7-0.

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Michael H. Payment, Chairman
SECONDER: Selina S. Jarvis, Commissioner
AYES: Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

Motion to approve nominees for reappointment to Advisory Boards

Commissioner White thanked all who serve on citizen advisory boards and encouraged others to apply. A list of nominees eligible for reappointment to continue their service on

the Board of Adjustment, Library Board of Trustees, Recreation Advisory, Tourism Advisory and Veterans Advisory were submitted by Commissioner White.

Commissioner Mary Etheridge moved for approval of all nominees submitted for reappointment. Commissioner Jarvis seconded the motion. The nominees were unanimously approved, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Mary "Kitty" Etheridge, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

3. Board of Adjustment

Board of Adjustment members nominated for reappointment and approved:

Cathy Bontemps-1st full term expiring December 31, 2023

Carol Bell-1st full term expiring December 31, 2023

Troy Breathwaite-Second full term expiring December 31, 2023

4. Library Board of Trustees

Mike Fost was nominated for reappointment and approved to serve a full term expiring June 30, 2022.

5. Recreation Advisory

The following members were nominated and approved for reappointment to the Recreation Advisory:

Ryan Hodges-3rd full term expiring January, 2022

Ted Jagucki-1st full term expiring January, 2023

Mike Fost-2nd full term expiring January, 2023

Peter Aitken-3rd full term expiring January, 2022

Charles Pickell-1st full term expiring January, 2022

Mike Lane-2nd full term expiring January, 2023

6. Tourism Advisory

Sharon Price was nominated and approved for reappointment to serve a 2nd full term on the Tourism Advisory Board, expiring November, 2022.

Motion to appoint new member to the Tourism Advisory Board

Commissioner Mary Etheridge nominated Daryl Harlow to fill an unexpired term on the Tourism Advisory Board through November, 2022. Commissioner White seconded and the nominee was approved, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Mary "Kitty" Etheridge, Commissioner
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

7. Veterans Advisory Board

The following members were nominated and approved for reappointment to the Veterans Advisory:

John McColley-1st full term expiring August, 2022
 Arron Sterlin-1st full term expiring August, 2022
 Michael Shea-1st full term expiring August, 2022
 Steve Shawgo-1st full term expiring August, 2022

Motion to appoint new member to the Veterans Advisory Board

Commissioner Mary Etheridge nominated Katherine Worthing to fill an unexpired term ending August, 2021, on the Veterans Advisory Board. Chairman Payment moved for approval of the nominee and Commissioner White seconded the motion. The nominee was approved, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Michael H. Payment, Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

D) Consent Agenda

Commissioner White moved for approval of the Consent Agenda. The motion was seconded by Commissioner McCord. The motion passed, 7-0.

RESULT: APPROVED [UNANIMOUS]
MOVER: Bob White, Commissioner
SECONDER: Kevin E. McCord, Commissioner
AYES: Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

1. Budget Amendments

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
57330-449900	Miscellaneous Grants	\$ 640,000	
57360-471000	Tap & Connection Fees	567,476	
57390-490000	Proceeds from Debt Issuance	2,700,000	
57390-495040	T F - Capital Improvements Fund	555,925	
57390-495043	T F - Land Banking Fund	691,591	
57390-495062	T F - Newtown Road Sewer Fund	91,880	
57878-587067	T T - Moyock Central Sewer Operations		\$ 50,000
57878-590000	Capital Outlay		686,414
57878-594500	Contract Services		3,889,627
57878-596100	Professional Services		539,203
57878-597000	Reimbursable Expenses		81,628
		<u>\$ 5,246,872</u>	<u>\$ 5,246,872</u>
Explanation:	Mainland Sewer Construction Fund (57878) - This budget amendment is to close out phase I of the Mainland (Moyock) Sewer construction to make the general ledger consistent with the financial statement presentation. There is no appropriation associated with this amendment.		
Net Budget Effect:	Mainland Central Sewer Construction Fund (57) - Decreased by \$5,246,872.		
		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
14340-456003	Tour Operator Permit Fees		\$ 13,463
14390-495015	T F - Occupancy Tax Fund		6,781
14460-545000	Contract Services	\$ 20,244	
		<u>\$ 20,244</u>	<u>\$ 20,244</u>
Explanation:	Carova Beach Road Service District (14460) - Increase appropriations to budget for 75% of annual collections for Tour Operator Permits for the 2020 season. The additional 25% will be transferred from Occupancy to make up the 2020 season shortfall to maintain the roads. The annual collection for Tour Operator Permits for		
Net Budget Effect:	Carova Beach Road Service District Fund (14) - Increased by \$20,244.		

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10510-516200	Vehicle Repairs & Maintenance	\$ 5,000	
10510-514500	Training & Education		\$ 5,000
		\$ 5,000	\$ 5,000
Explanation: Sheriff (10510) - Transfer budgeted funds for unanticipated vehicle repairs in the Sheriff's department.			
Net Budget Effect: Operating Fund (10) - No change.			
		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10531-545000	Contract Services	\$ 15,000	
10330-445000	Emergency Management Grant		\$ 15,000
		\$ 15,000	\$ 15,000
Explanation: Emergency Management (10531) - To record NC Tier II competitive grant awarded to complet a Commodity Flow Study for the Outer Banks Local Emergency Planning Committee.			
Net Budget Effect: Operating Fund (10) - Increased by \$15,000.			
		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10531-532000	Supplies	\$ 1,281	
10531-590000	Capital Outlay	19,344	
10330-445000	Emergency Management Grant		\$ 20,625
		\$ 20,625	\$ 20,625
Explanation: Emergency Management (10531) - To record Emergency Management Planning Grant (EMPG) #EMA-2020-EP-00009. Grant funds will be used to complete the Mobile Event Response Trailer and for two 800 mHz mobile radios. Remaining funds will be used for the Emergency Management program.			
Net Budget Effect: Operating Fund (10) - Increased by \$20,625.			

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10531-532000	Supplies		\$ 300
10531-536000	Uniforms	\$ 300	
		\$ 300	\$ 300
Explanation: Emergency Management (10531) - Transfer funds for uniforms for Emergency Management staff.			
Net Budget Effect: Operating Fund (10) - No change.			
		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10640-532004	Family Consumer Science Supplies	\$ 5,090	
10330-449000	Miscellaneous Grants		\$ 5,090
		\$ 5,090	\$ 5,090
Explanation: Cooperative Extension (10640) - To record NC Department of Insurance Seniors' Health Insurance Information Program (SHIIP) grant to provide program.			
Net Budget Effect: Operating Fund (10) - Increased by \$5,090.			
		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10796-532000	Supplies	\$ 4,150	
10796-590000	Capital Outlay		\$ 4,150
		\$ 4,150	\$ 4,150
Explanation: Currituck County Rural Center (10796) - Transfer funds to purchase trailer budget in capital outlay, but actual cost is below the capital outlay threshold of \$5,000.			
Net Budget Effect: Operating Fund (10) - No change.			

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
61818-511010	Data Transmission	\$ 3,200	
61818-590000	Capital Outlay		\$ 3,200
		\$ 3,200	\$ 3,200
Explanation: Mainland Water (61818) - Transfer budget funds to update the Mainland Water network for the water treatment plant with the scade system.			
Net Budget Effect: Mainland Water Fund (61) - No change.			
		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
10531-545000	Contract Services	\$ 11,250	
10330-445000	Emergency Management Grant		\$ 11,250
		\$ 11,250	\$ 11,250
Explanation: Emergency Management (10531) - Increase appropriations for Homeland Security Grant Program (MOA# 1904-2) for Search and Rescue training exercise. Grant will reimburse once project is complete.			
Net Budget Effect: Operating Fund (10) - Increased by \$11,250.			
		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
<u>Account Number</u>	<u>Account Description</u>		
61380-484001	Insurance Recovery		\$ 4,496
61818-516000	Maintenance & Repairs	\$ 4,496	
		\$ 4,496	\$ 4,496
Explanation: Mainland Water (61818) - Increase appropriations for replacement of fire hydrant damaged in accident.			
Net Budget Effect: Mainland Water Fund (61) - Increased by \$4,496.			

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
Account Number	Account Description		
10512-516200	Vehicle Maintenance	\$ 3,000	
10512-514500	Training and Education		\$ 3,000
		\$ 3,000	\$ 3,000

Explanation: Animal Services and Control (10512) - Transfer funds for unanticipated repairs to animal services vehicles

Net Budget Effect: Operating Fund (10) - No change.

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
Account Number	Account Description		
50511-590001	Connect Jail to MCP Sewer	\$ 7,000	
50380-481000	Investment Earnings		\$ 7,000
		\$ 7,000	\$ 7,000

Explanation: County Governmental Construction Fund (50) - Increase appropriations to complete the sewer connection from the Detention Facility to the Maple Commerce Park sewer system.

Net Budget Effect: County Governmental Construction Fund (50) - Increased by \$7,000.

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
Account Number	Account Description		
10750-557700	Crisis Intervention		\$ 1,925
10750-557701	LIEAP - 1571 Part II	\$ 21,671	
10330-431000	DSS Administration		19,746
		\$ 21,671	\$ 21,671

Explanation: Social Services Administration (10750) - Increase appropriations for Low Income Energy Assistance and Crisis Intervention to record changes in State appropriations.

Net Budget Effect: Operating Fund (10) - No change.

Communication: Minutes for January 4, 2021 (Approval Of Minutes-January 4, 2021)

2. NCACC Legislative Goals Conference Voting Delegate Designation
3. Request for Disposal of Records-Permits and Inspections
4. Approval of Memorandum of Agreement with the State of North Carolina for Location of Groundwater Monitoring Station at Shingle Landing Park
5. Approval of Building Access Agreement for CenturyLink Data Line Upgrade Installation at the Office of the Clerk of Court, Judicial Center
6. Amended Item-Surplus Resolution-Message Boards, Emergency Management

RESOLUTION		
<p>WHEREAS, THE Board of Commissioners of the County of Currituck, North Carolina during its regularly scheduled meeting authorized the following, pursuant to G.S. 160A and 270(b) that the property listed below will be sold at auction, negotiated sale or will be disposed of if not sellable.</p>		
County		
Asset Tag	Description	Serial Number
6329	Weather Bug	BBB-65-1921
7653	RUOK	None
9964	Digital Message Board	None
9965	Digital Message Board	None
9966	Digital Message Board	None
<p>NOW, THEREFORE, BE IT RESOLVED, that the Board of Commissioners of the County of Currituck reserves the right to reject any and all bids.</p>		
<p>ADOPTED, this 4th day of January, 2021.</p>		

7) Approval Of Minutes-Dec. 7, 2020

1. Minutes for December 7, 2020

ADJOURN

Motion to Adjourn Meeting

Communication: Minutes for January 4, 2021 (Approval Of Minutes-January 4, 2021)

There was no further business and Commissioner Beaumont made a motion to adjourn. Commissioner White seconded the motion. The motion carried, 7-0, and the regular meeting of the Board concluded at 7:29 PM.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Vice-Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

SPECIAL MEETING-TOURISM DEVELOPMENT AUTHORITY

The Currituck County Board of Commissioners held a Special Meeting sitting as the Tourism Development Authority immediately upon adjournment of the 6:00 PM regular meeting of the Board of Commissioners. The meeting was held in the Historic Courthouse Board Meeting Room, 153 Courthouse Road, Currituck, North Carolina, for the purpose of considering budget amendments and possible revisions to the Currituck Travel and Tourism Events Grant program.

Chairman Payment called the meeting to order at 7:30 PM.

TDA-Request to Revise Timeline Criteria and Allow a Fiscal Year Carryover for Event Grants

Ike McRee, County Attorney, presented the request that would allow funds previously allocated for events that had to be cancelled due to Covid-19 to carry over to the next fiscal year.

Commissioner White moved for approval. The motion was seconded by Commissioner McCord. The motion carried, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Kevin E. McCord, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

TDA-Budget Amendments

No action was taken on budget amendments.

ADJOURN TDA

There was no further business and Commissioner Beaumont moved to adjourn. Commissioner White seconded the motion. The motion carried, 7-0, and the meeting of the Tourism Development Authority concluded at 7:32 PM.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Vice-Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

SPECIAL MEETING-OCEAN SANDS WATER AND SEWER DISTRICT BOARD

The Currituck County Board of Commissioners held a Special Meeting sitting as the Ocean Sands Water and Sewer District Board following adjournment of the 6:00 PM regular meeting of the Board of Commissioners. The meeting was held in the Historic Courthouse Board Meeting Room, 153 Courthouse Road, Currituck, North Carolina, for the purpose of considering budget amendments.

Chairman Payment called the meeting to order at 7:32 PM.

OSWSD-Budget Amendment

Commissioner White moved for approval of the Budget Amendment. Commissioner Mary Etheridge seconded. The motion carried, 7-0.

		Debit	Credit
		Decrease Revenue or Increase Expense	Increase Revenue or Decrease Expense
Account Number	Account Description		
60808-533200	Lab Tests - Water	\$ 2,500	
60808-533201	Lab Tests - Sewer		\$ 2,500
60808-545005	Purchase Water from another	\$ 55,000	
60808-553001	Dues & Subscriptions	\$ 30,430	
60808-533201	Lab Supplies		\$ 11,000
60808-516001	Repairs & Maintenance		\$ 4,000
60808-533601	System Supplies		\$ 15,430
60808-545100	Credit Card Processing Fees	\$ 1,500	
60360-470000	Utilities Charges - Water		\$ 55,000
60360-470001	Utilities Charges - Sewer		\$ 1,500
		<u>\$ 89,430</u>	<u>\$ 89,430</u>
Explanation:	Ocean Sands Water & Sewer Fund (60808) - Increase appropriations to account for increased water usage this fiscal year due to increased occupancy on the Currituck beaches and transfer funds for unanticipated WWTP fines assessed by the State.		
Net Budget Effect:	Ocean Sands Water and Sewer District Fund (60) - Increased by \$56,500.		

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Mary "Kitty" Etheridge, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

ADJOURN OSWSD BOARD

With no further business, Commissioner McCord moved to adjourn. Commissioner White seconded the motion. The motion carried, 7-0. The meeting of the Ocean Sands Water and Sewer District Board adjourned at 7:33 PM.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Kevin E. McCord, Commissioner
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3023)

Agenda Item Title: TDA-Budget Amendments

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Action

Brief Description of Agenda Item:

Budget amendments-Tourism Development Authority

Potential Budget Affect: See individual items for funding line-item changes and budget affect, if noted.

Is this item regulated by plan, regulation or statute? No

Manager Recommendation:

Number

TDA2021007

BUDGET AMENDMENT

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit		Credit	
		<u>Decrease Revenue or Increase Expense</u>		<u>Increase Revenue or Decrease Expense</u>	
15447-587014	T T - Carova Beach Road Dist	\$	6,781		
15320-415000	Occupancy Tax			\$	6,781
		<u>\$ 6,781</u>		<u>\$ 6,781</u>	

Explanation: Occupancy Tax - Tourism Related Expenses (15447) - Transfer funds to the Carova Beach Road District to offset the 25% reduction in collections from Tour Operator Permits for the 2020 summer season.

Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$6,781.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_TDA (TDA-Budget Amendments)

Number

TDA2021008

BUDGET AMENDMENT

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		Debit	Credit
<u>Account Number</u>	<u>Account Description</u>	<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
15442-590000	Capital Outlay	\$ 6,400	
15447-590000	Capital Outlay	\$ 90,000	
15448-590000	Capital Outlay	\$ 40,000	
15447-587010	T T - Operating Fund	\$ 130,000	
15320-415000	Occupancy Tax		\$ 266,400
		<u>\$ 266,400</u>	<u>\$ 266,400</u>

Explanation: Occupancy Tax - Promotion (15442); Tourism Related Expenses (15447 & 15448) - Increase appropriations for capital items for the Tourism Promotion and Tourism related activities that were not in the original appropriations due to COVID19 uncertainty.

Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$266,400.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_TDA (TDA-Budget Amendments)

Number

TDA2021009

BUDGET AMENDMENT

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		Debit	Credit
<u>Account Number</u>	<u>Account Description</u>	<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
15442-503500	Salaries - Promotion Temporary	\$ 589	
15442-505000	FICA	\$ 45	
15448-503500	Salaries - Whalehead Temporary	\$ 600	
15448-505000	FICA	\$ 46	
15320-415000	Occupancy Tax		\$ 1,280
		<u>\$ 1,280</u>	<u>\$ 1,280</u>

Explanation: Occupancy Tax - Promotion (15442); Whalehead (15448) - Increase appropriations to provide bonus pay for all employees with less than 750 hours. Employees must have worked between November 1, 2019 and October 31, 2020 and been an active employee on December 1, 2020. This prorates the \$250 amount approved for full time employees by actual hours worked. The minimum bonus amount will be \$25 per employee. This will be paid on the regular check run that will be paid on February 10, 2021.

Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$1,280.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_TDA (TDA-Budget Amendments)

Number

TDA2021010

BUDGET AMENDMENT

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit	Credit
		<u>Decrease Revenue or Increase Expense</u>	<u>Increase Revenue or Decrease Expense</u>
15447-590000	Capital Outlay	\$ 90,000	
15320-415000	Occupancy Tax		\$ 90,000
		<u>\$ 90,000</u>	<u>\$ 90,000</u>

Explanation: Occupancy Tax - Tourism Related (15447) - Increase appropriations for a work truck and skidsteer for maintaining operations on the Currituck Outer Banks.

Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$90,000.

Minute Book # _____, Page # _____

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Clerk to the Board

Attachment: BudAmends_Jan 19_TDA (TDA-Budget Amendments)

Number

TDA2021011

BUDGET AMENDMENT

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

<u>Account Number</u>	<u>Account Description</u>	Debit		Credit	
		<u>Decrease Revenue or Increase Expense</u>		<u>Increase Revenue or Decrease Expense</u>	
15449-511010	Data Transmission	\$	2,000		
15449-506000	Health Insurance Expense	\$	5,000		
15448-532160	Maintenance Supplies	\$	5,000		
15448-511010	Data Transmission	\$	1,300		
15320-415000	Occupancy Tax			\$	13,300
		<u>\$ 13,300</u>		<u>\$ 13,300</u>	

Explanation: Occupancy Tax - Whalehead (15448); Maritime Museum (15449) - Increased expenses at the Historic Corolla Park due to extended season on the Outer Banks this year. Increased costs for the Maritime museum to update data transmission costs to actual contract and to provide health insurance for the facility personnel.

Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$13,300.

Minute Book # _____, Page # _____

Journal # _____

Clerk to the Board

Attachment: BudAmends_Jan 19_TDA (TDA-Budget Amendments)



Currituck County Agenda Item Summary Sheet

Agenda ID Number – (ID # 3017)

Agenda Item Title: Mobile Classrooms

Submitted By: Leeann Walton – County Manager

Presenter of Item:

Board Action: Discussion

Brief Description of Agenda Item:

Discussion of mobile classroom units.

Potential Budget Affect: N/A

Is this item regulated by plan, regulation or statute? No

Manager Recommendation: