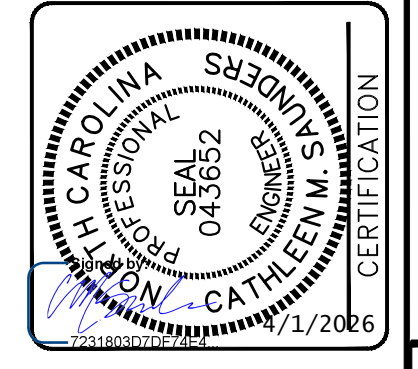
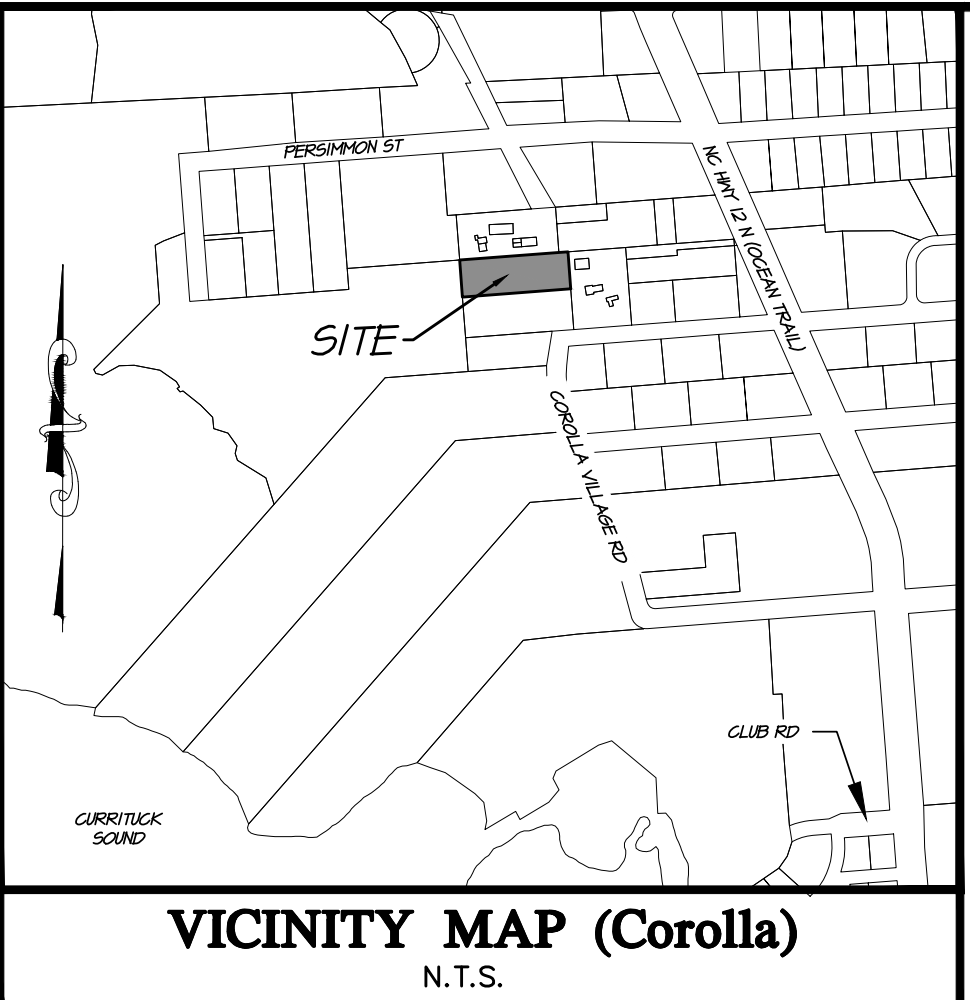


NOTES

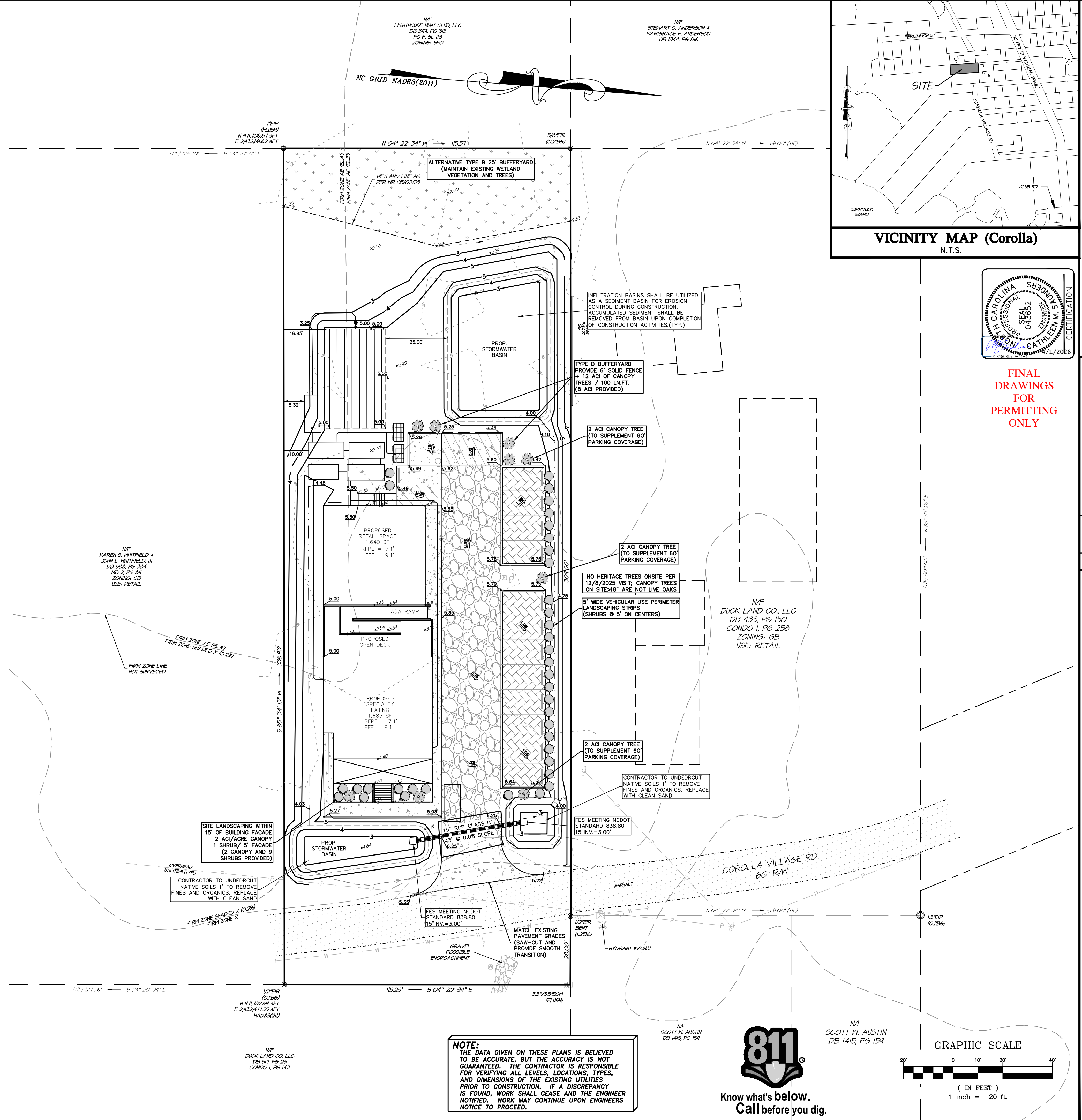
- PROPERTY OWNER/ADDRESS: TFP, LLC
P.O. BOX 369
COROLLA, NC 27929
- ENGINEER: WITHERSRAVENEL
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- SITE ADDRESS: 1126 COROLLA VILLAGE ROAD
COROLLA, NC 27929
PARCEL ID NUMBER: 01140000360000
PIN: 8937-21-2768
- ZONE: GENERAL BUSINESS (GB)
- RECORDED REFERENCE: DB 1474, PG 940
- PROPERTY IS LOCATED IN NFIP FLOOD AE (3' & 4') AND "SHADED X" AS SHOWN, SUBJECT TO CHANGES, BASED ON COMMUNITY CID NO. 370078; PANEL 9937; SUFFIX K. (MAP NUMBER 3720993700K); PANEL EFFECTIVE DATE: 12/21/2018
- TOTAL PROJECT AREA 38,888.95 SQ.FT. / 0.89 ACRES
- SCOPE OF WORK: PERMITTING AND CONSTRUCTION OF A SPECIALTY EATING ESTABLISHMENT, RETAIL BUILDING AND REQUIRED PARKING.
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. FEBRUARY 2019. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- MAXIMUM BUILDING HEIGHT = 35 FT.
- SETBACKS (PER SECTION 3.5.8 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE):
FRONT 20'
SIDE 15'
REAR 25'
*SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
- THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO GRADING AND DRAINAGE, INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, WASTEWATER SYSTEM, AND WATER SYSTEM FOR BUILDING DESIGN AND ASSOCIATED PLUMBING. SEE APPROPRIATE SEPARATE PLANS.
- LANDSCAPE BUFFERS:
REAR 25 FT WIDE TYPE B BUFFER
SIDE N/A
FRONT N/A
- THIS PLAN IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH CHAPTER 5.2 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEOG DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES REGULATIONS.
- THE LOCATION, DIMENSIONS, AND ELEVATIONS OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NUMBER 811, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- ALL REINFORCED CONCRETE PIPES (RCP) TO BE CLASS V, UNLESS OTHERWISE NOTED.
- ALL REINFORCED CONCRETE PIPES (RCP) TO HAVE END TREATMENTS, EITHER FLARED END SECTIONS (FES) OR END WALLS. END WALLS TO BE CONSTRUCTED AS PER NCDOT STANDARD 838.01.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN SPOT ELEVATION GRADES AND MAINTAIN POSITIVE DRAINAGE.
- AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUBGRADE AND BACKFILLED IN 6" LIFTS.

LEGEND

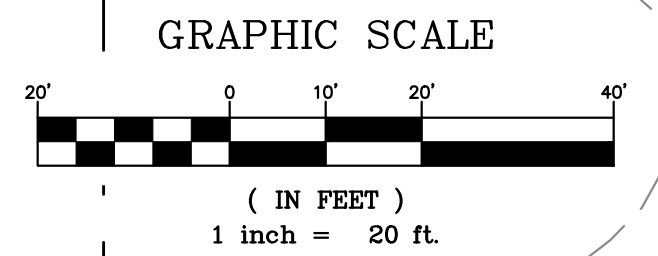
- | | | | |
|--|---------------------------|--|---------------------------------------------------------------------------------|
| | EXISTING ASPHALT PAVEMENT | | PROPOSED ASPHALT PAVEMENT |
| | EX. TELEPHONE PEDESTAL | | PROPOSED CONCRETE PAVEMENT |
| | EX. CABLE TV BOX | | PROPOSED DROP INLET |
| | EX. UTILITY POLE | | PROPOSED STORM PIPE |
| | EX. DRAINAGE PIPE | | PROPOSED DRAINAGE FLOW |
| | EX. UG GAS LINE | | PROPOSED 9.0 CONTOUR |
| | EX. WATER LINE | | PROPOSED SPOT GRADE
(TOP OF ASPHALT & FLOW LINE)
(UNLESS OTHERWISE NOTED) |
| | EX. SANITARY SEWER LINE | | PROPOSED TREES/SHRUBS |
| | EXISTING CONTOUR | | |



FINAL DRAWINGS FOR PERMITTING ONLY



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



NO.	DATE	REVISIONS

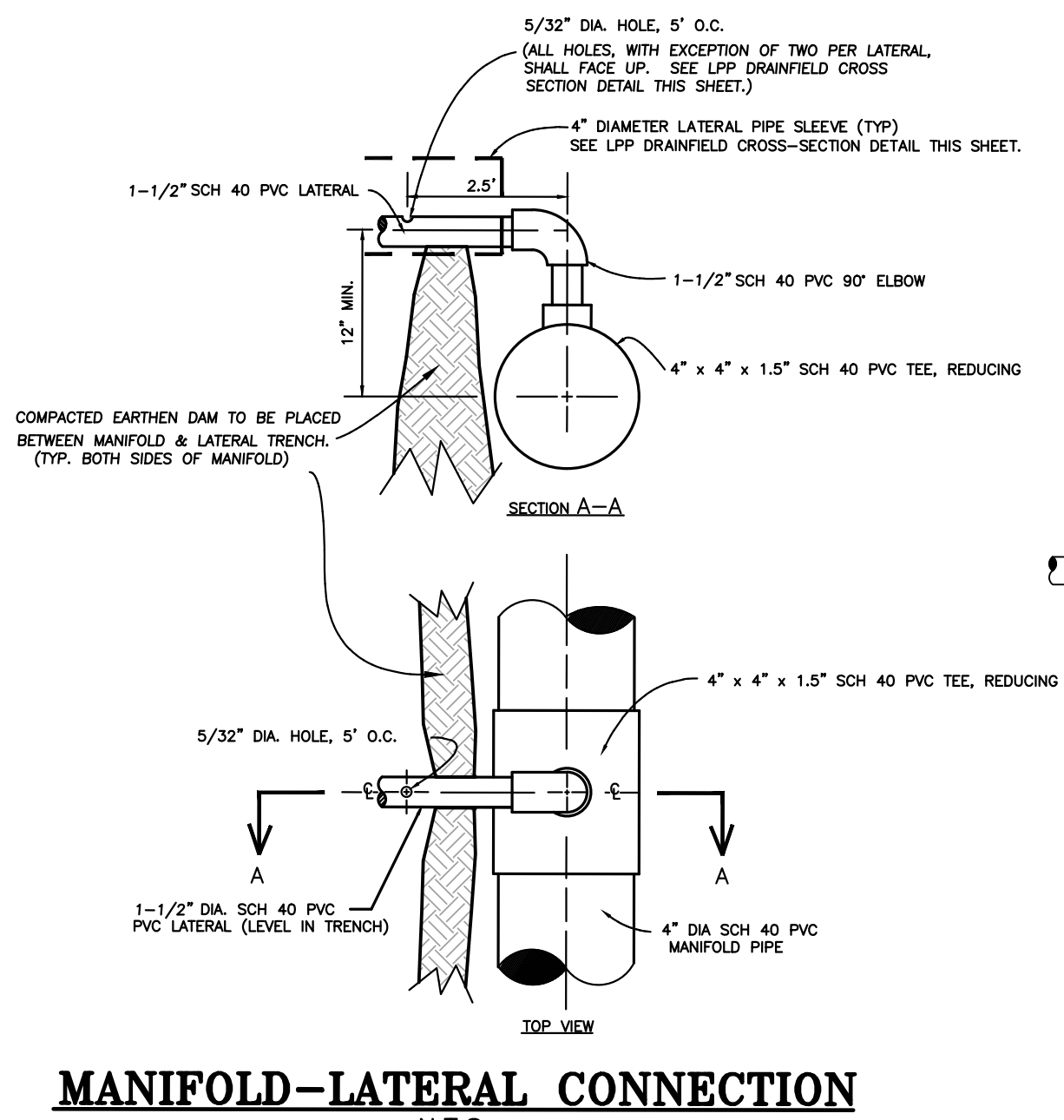
GRADING, DRAINAGE & LANDSCAPING
1126 COROLLA VILLAGE RD
TFP, LLC
COROLLA CURRITUCK COUNTY NORTH CAROLINA

COMMISSION NO. 24-1038
DESIGNED BY CMS
DRAWN BY ND
CHECKED BY CMS
ISSUE DATE 04/01/26
SHEET NO. 3 OF 7 SHEETS

WithersRavenel
8466 Carondek Highway | Building 400 | Powells Point, NC 27966
License #: F-1477 | t: 252.491.0147 | www.withersravenel.com



C:\Users\j1152\OneDrive\Work\811\Corolla_Village\1126-Corolla_Village_Site_Plan\1126-Corolla_Village_Site_Plan.dwg 4/17/2026 4:48 PM D:\Users\j1152

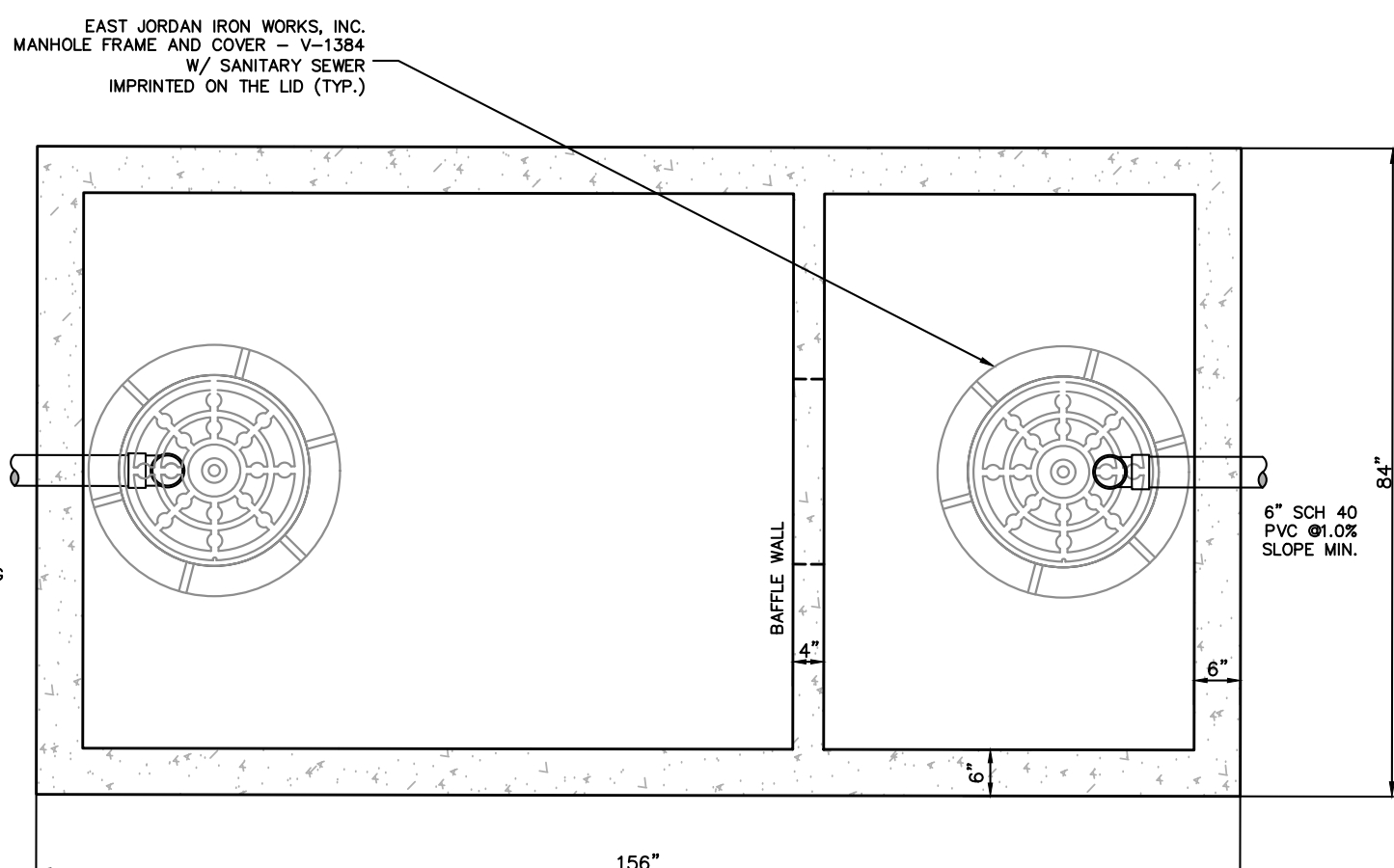


MANIFOLD-LATERAL CONNECTION
N.T.S.

NOTE: 1-1/2" DIA. SCH 40 PVC LATERAL SIZE

NOTE: HOLE SPACING IS 5 FT. ON CENTERS

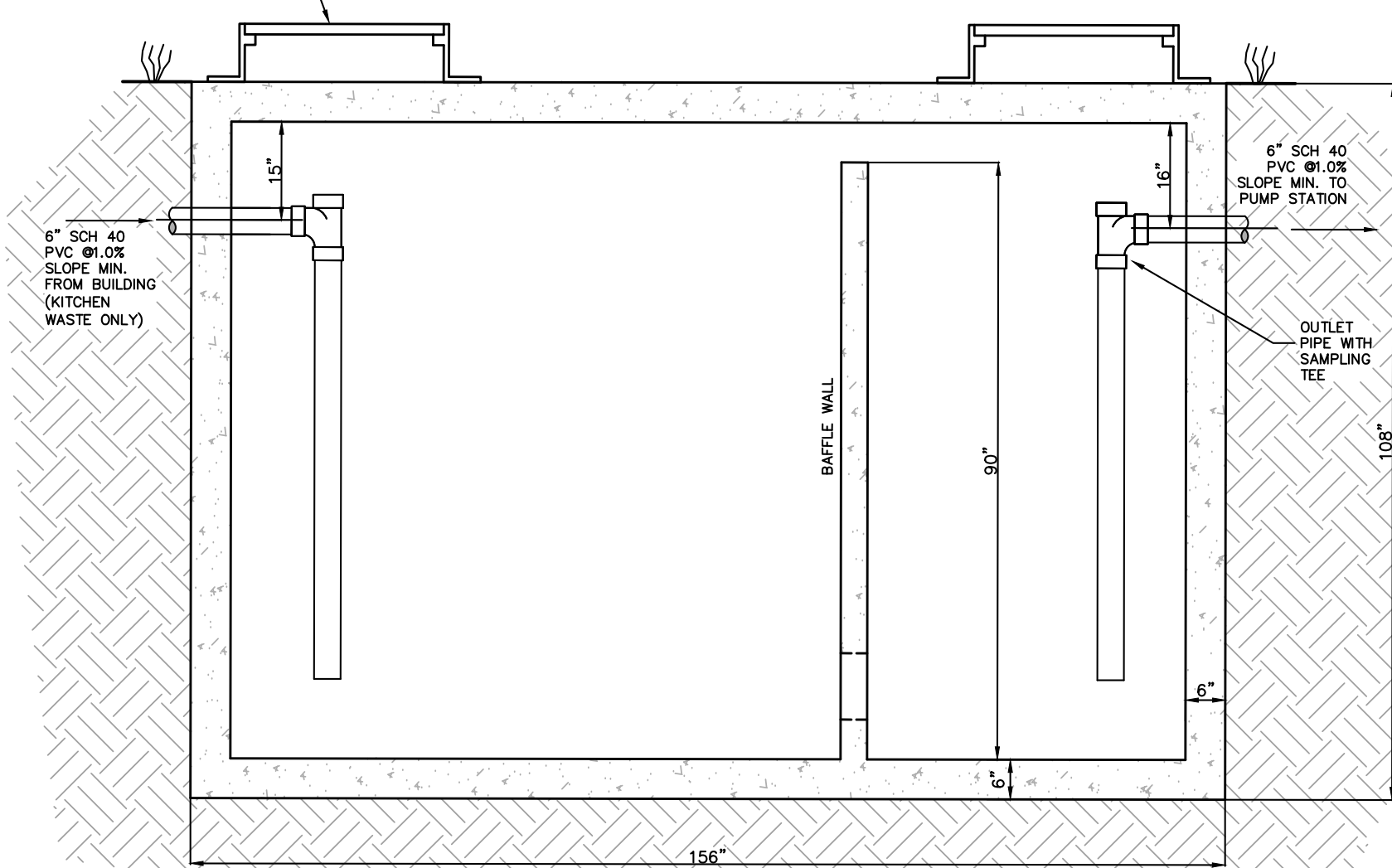
- TESTING AND INSPECTION**
1. LATERAL LINES AND MANIFOLDS TO BE STAKED-OUT AND APPROVED BY ENGINEER PRIOR TO CONSTRUCTION.
 2. INDIVIDUAL LATERALS TO BE INSPECTED BY ENGINEER IMMEDIATELY PRIOR TO PLACEMENT IN RESPECTIVE TRENCH LINES AND CONNECTION TO MANIFOLD. ENGINEER WILL INSPECT LATERAL ORIFICE HOLES SIZES AND LOCATIONS. CONTRACTOR TO DRILL ORIFICES IN A STRAIGHT LINE PERPENDICULAR TO PIPE. ALL BURRS LEFT AROUND THE HOLES INSIDE THE PIPE SHALL BE REMOVED. THIS CAN BE DONE BY USING A SMALLER DIAMETER PIPE OR ROD DOWN THE PIPE TO KNOCK OFF THE BURRS. ENGINEER MUST APPROVE DRAINFIELD TRENCH CONSTRUCTION PRIOR TO BACKFILLING TRENCH.
 3. ENGINEER MUST APPROVE DRAINFIELD TRENCH CONSTRUCTION PRIOR TO BACKFILLING TRENCH.



PLAN VIEW
3,300 GAL. GREASE TRAP
N.T.S.

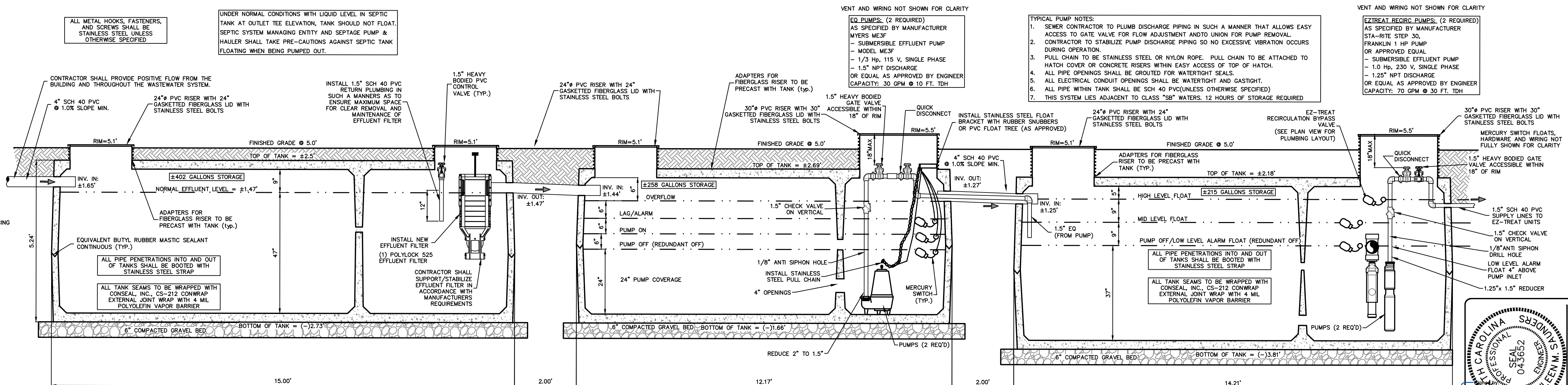
EAST JORDAN IRON WORKS, INC. MANHOLE FRAME AND COVER - V-1384 W/ SANITARY SEWER IMPRINTED ON THE LID (TYP.)

OLD CASTLE PRECAST CHESAPEAKE 3,300 GAL. GREASE TRAP 5115 MASSAPONAX CHURCH RD. FREDERICKSBURG, VA 22407 OR EQUAL AS APPROVED BY ENGINEER CONCRETE: 5000 PSI AT 28 DAYS



SECTION VIEW
3,300 GAL. GREASE TRAP
N.T.S.

OLD CASTLE PRECAST CHESAPEAKE 3,300 GAL. GREASE TRAP 5115 MASSAPONAX CHURCH RD. FREDERICKSBURG, VA 22407 OR EQUAL AS APPROVED BY ENGINEER CONCRETE: 5000 PSI AT 28 DAYS



SECTION
2,507 GAL. SEPTIC TANK STB 500
N.T.S.

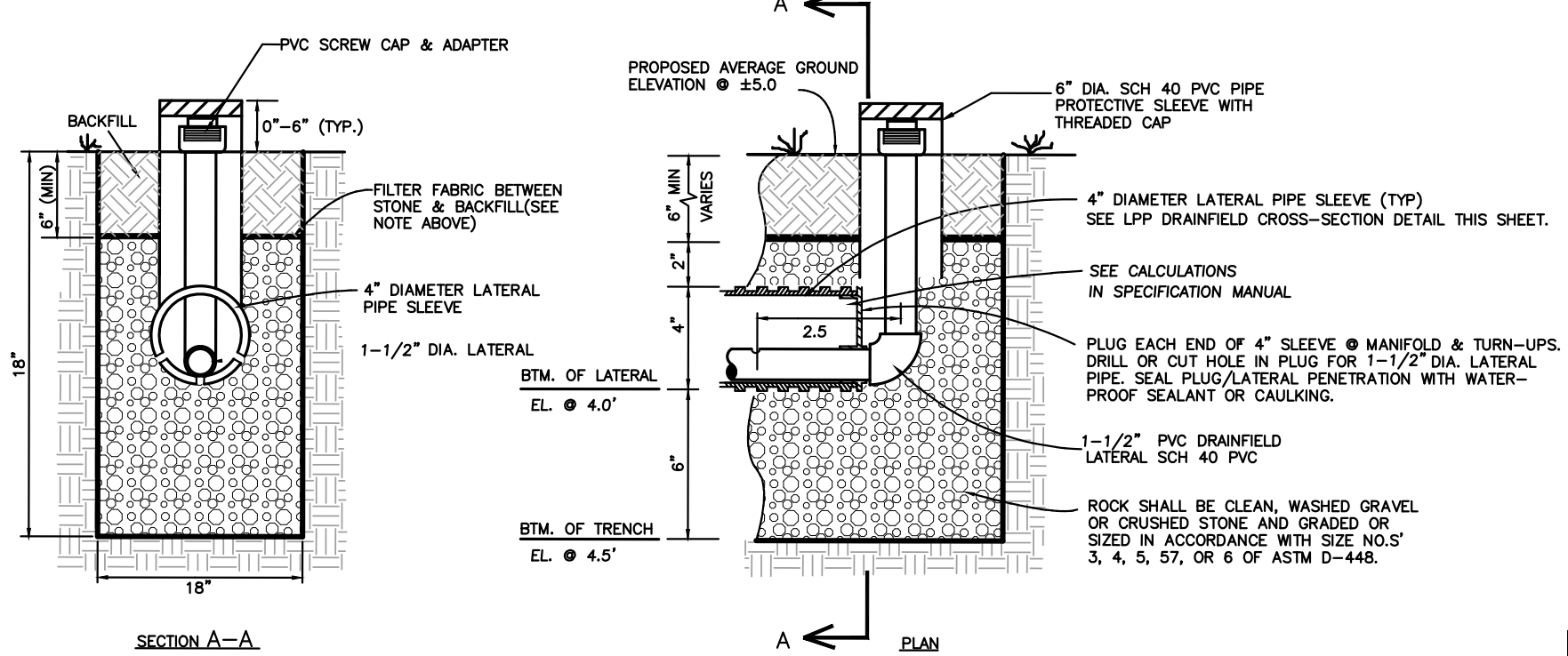
GREEN ACRES LAND DEVELOPMENT STB-500 SEPTIC TANK OR EQUAL AS APPROVED BY ENGINEER CONCRETE: 4,000 PSI AT 28 DAYS 4,447 GALLONS PER INCH

SECTION
2,036 GAL. EQUALIZATION TANK PT 409
N.T.S.

GREEN ACRES LAND DEVELOPMENT TRAFFIC RATED PT-409 SEPTIC TANK OR EQUAL AS APPROVED BY ENGINEER CONCRETE: 4,000 PSI AT 28 DAYS 1420 LOADING 4,032 GALLONS PER INCH

SECTION
2,557 GAL. RECIRCULATION TANK PT 410
N.T.S.

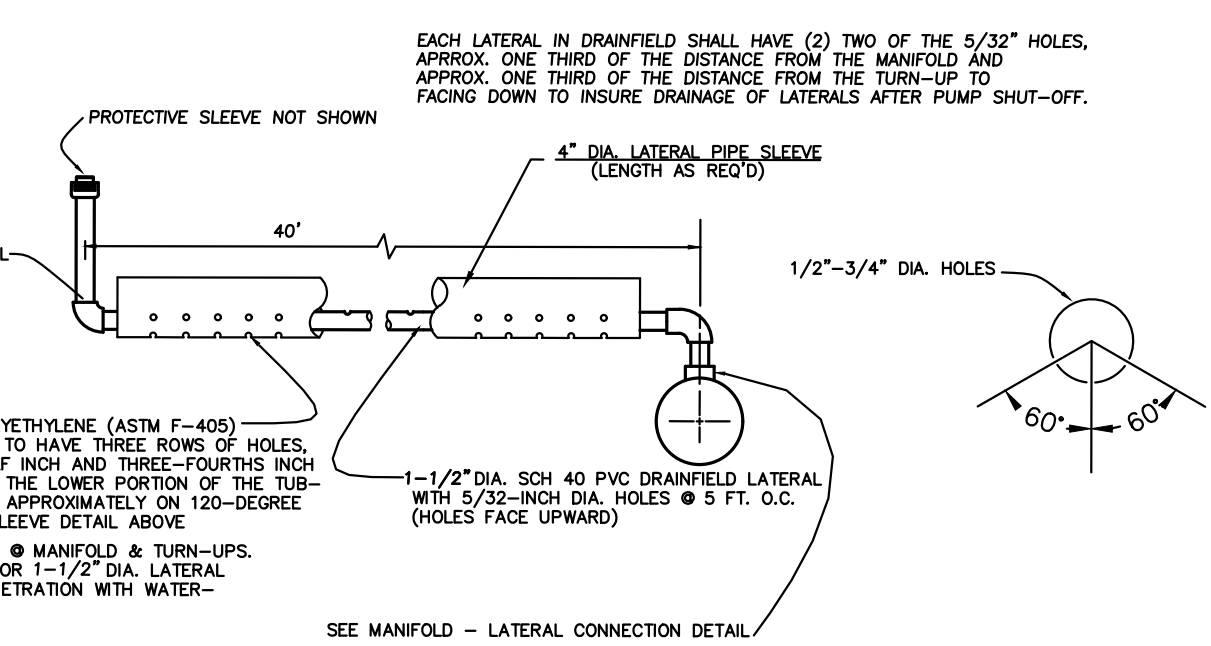
GREEN ACRES LAND DEVELOPMENT PT-410 SEPTIC TANK OR EQUAL AS APPROVED BY ENGINEER CONCRETE: 4,000 PSI AT 28 DAYS 4,532 GALLONS PER INCH



DRAINFIELD
LATERAL TURN-UP & TRENCH X-SECTION
N.T.S.

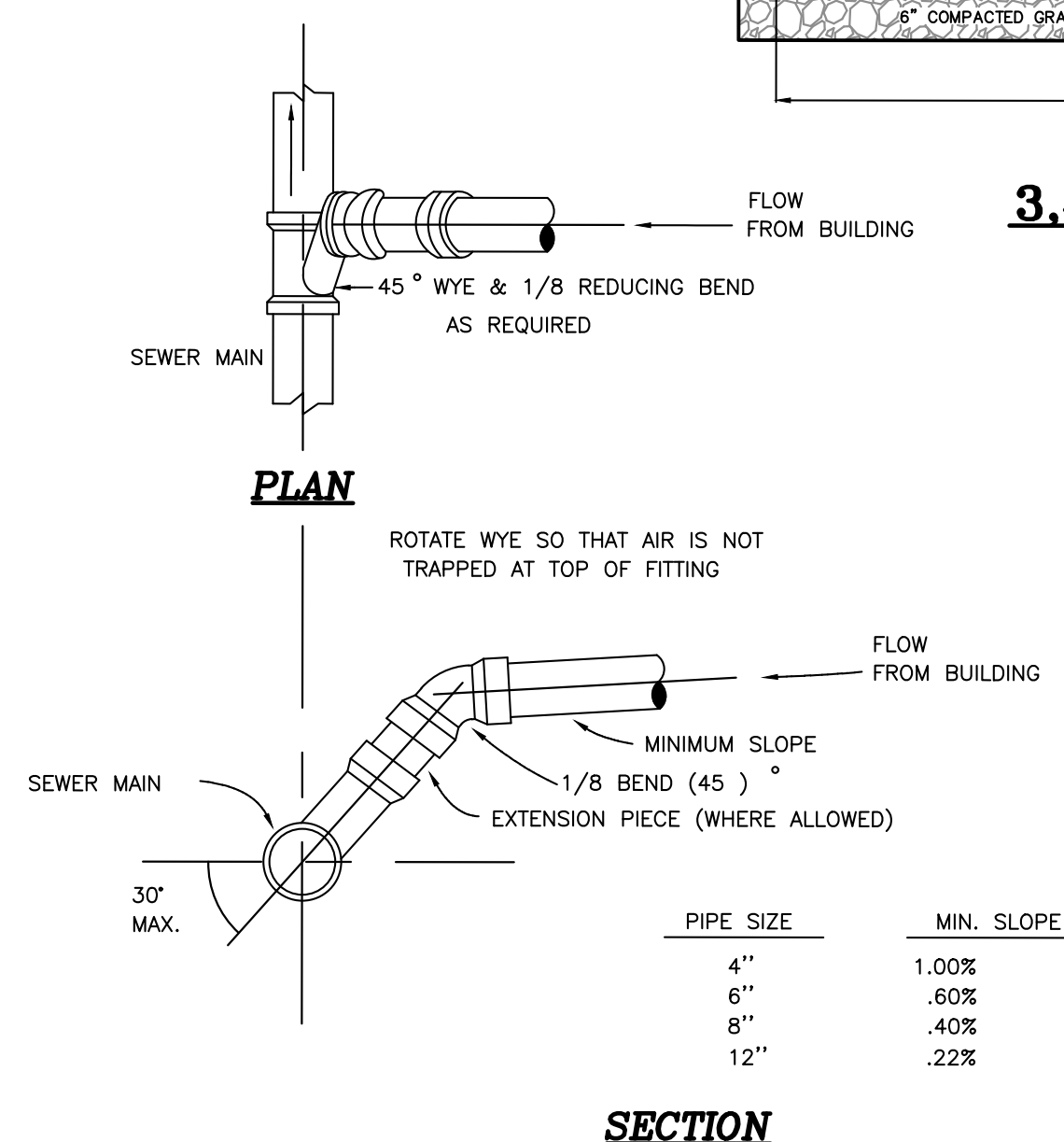
- NOTES:**
1. ACTIVE DRAINFIELD AREA SHALL BE GRADED SO THAT STORMWATER RUNOFF DOES NOT POND ON DRAINFIELD AREA.
 2. VEGETATE DRAINFIELD AND REPAIR AREAS AS PER SEEDING SPECIFICATION SHOWN BELOW.
 3. FILTER FABRIC SHALL BE TREVIRA SPUNBOND TYPE 1112 ENGINEERING FABRIC OR EQUAL AS APPROVED BY ENGINEER.
 4. ALL TRENCHES, LATERALS, AND MANIFOLDS SHALL BE INSTALLED LEVEL.

NOTE: HOLE SPACING IS 5 FT. ON CENTERS

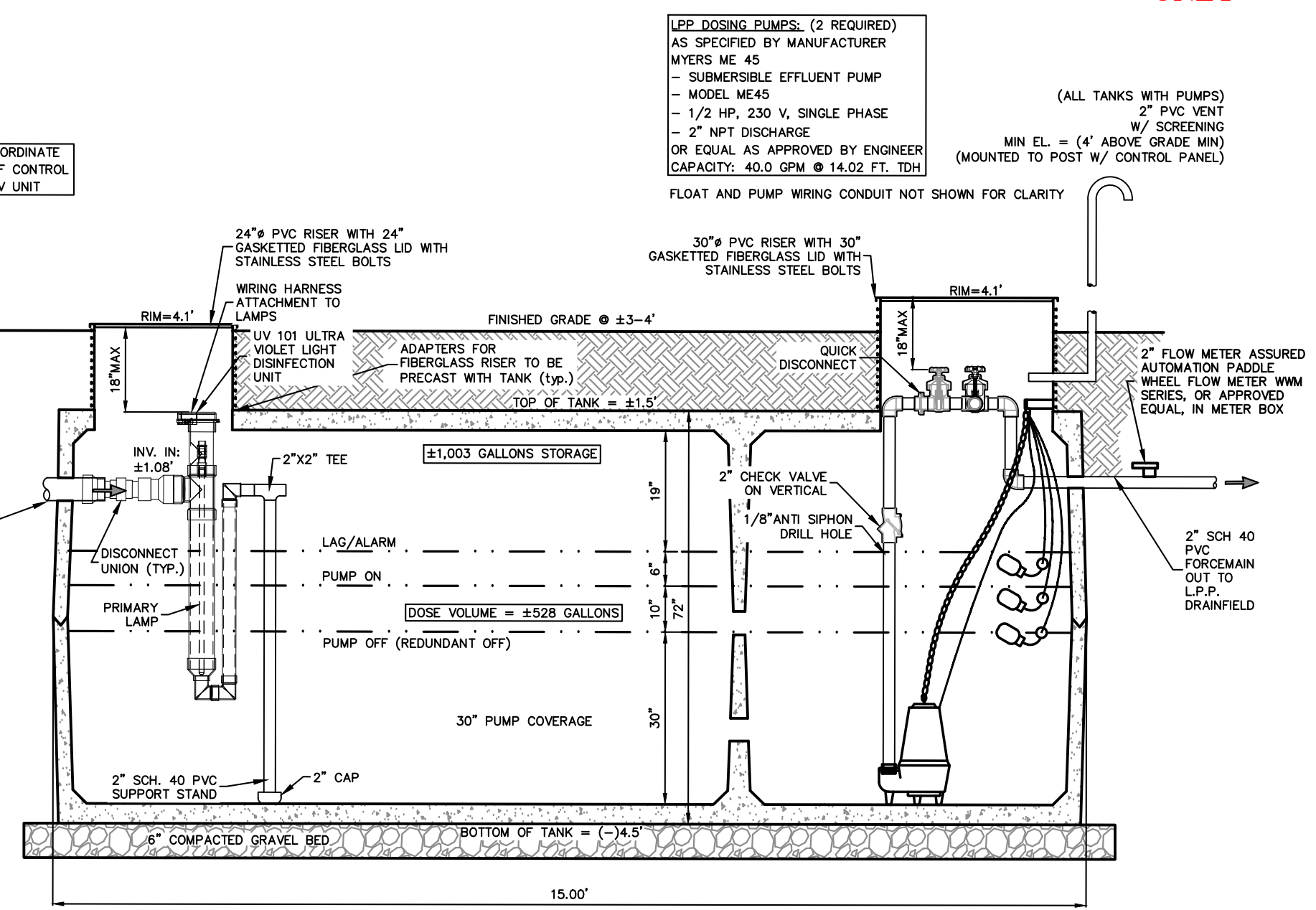


LOW-PRESSURE PIPE DRAINFIELD CROSS SECTION
N.T.S.

NOTE: HOLE SPACING IS 5 FT. ON CENTERS

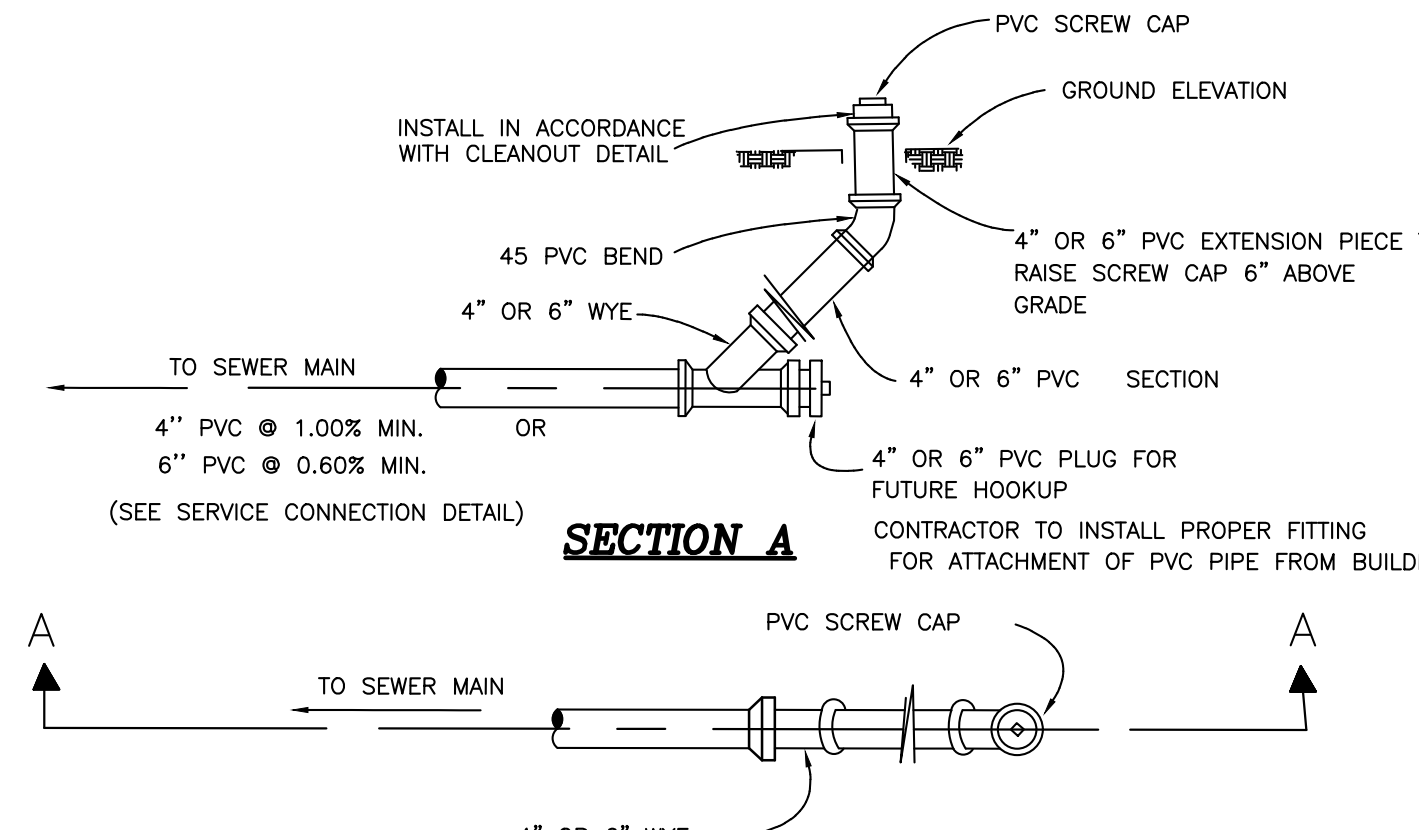


SERVICE CONNECTION
SINGLE SERVICE LATERAL CONNECTION
N.T.S.



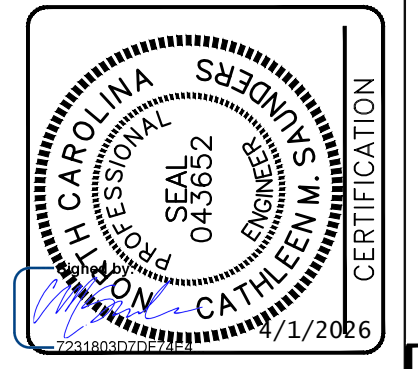
SECTION
3,432 GAL. DOSING TANK PT 337
N.T.S.

GREEN ACRES LAND DEVELOPMENT PT-337 SEPTIC TANK OR EQUAL AS APPROVED BY ENGINEER CONCRETE: 3,500 PSI AT 28 DAYS 3,288 GALLONS PER INCH



PLAN VIEW
3,432 GAL. DOSING TANK PT 337
N.T.S.

FINAL DRAWINGS FOR PERMITTING ONLY



WithersRavenel
8464 Corolla Highway Building 400 | Pottsville, PA, NC 27566
License #: F-14779 | E-252,491,834,7 | www.withersravenel.com

WASTEWATER DETAILS

1126 COROLLA VILLAGE RD
TFP, LLC

CURRITUCK COUNTY
COROLLA
NORTH CAROLINA

COMMISSION NO. 24-1038
DESIGNED BY CMS
DRAWN BY ND
CHECKED BY CMS
ISSUE DATE 04/01/26

SHEET NO. 6 OF 7 SHEETS

REVISIONS:	DATE:
CLIENT REVISIONS	10 / 11 / 24
COUNTY REVIEW	12 / 5 / 24
COUNTY REVIEW	12 / 6 / 24
COUNTY REVIEW	1 / 9 / 25
COUNTY REVIEW	1 / 30 / 25
CLIENT REVIEW	7 / 18 / 25

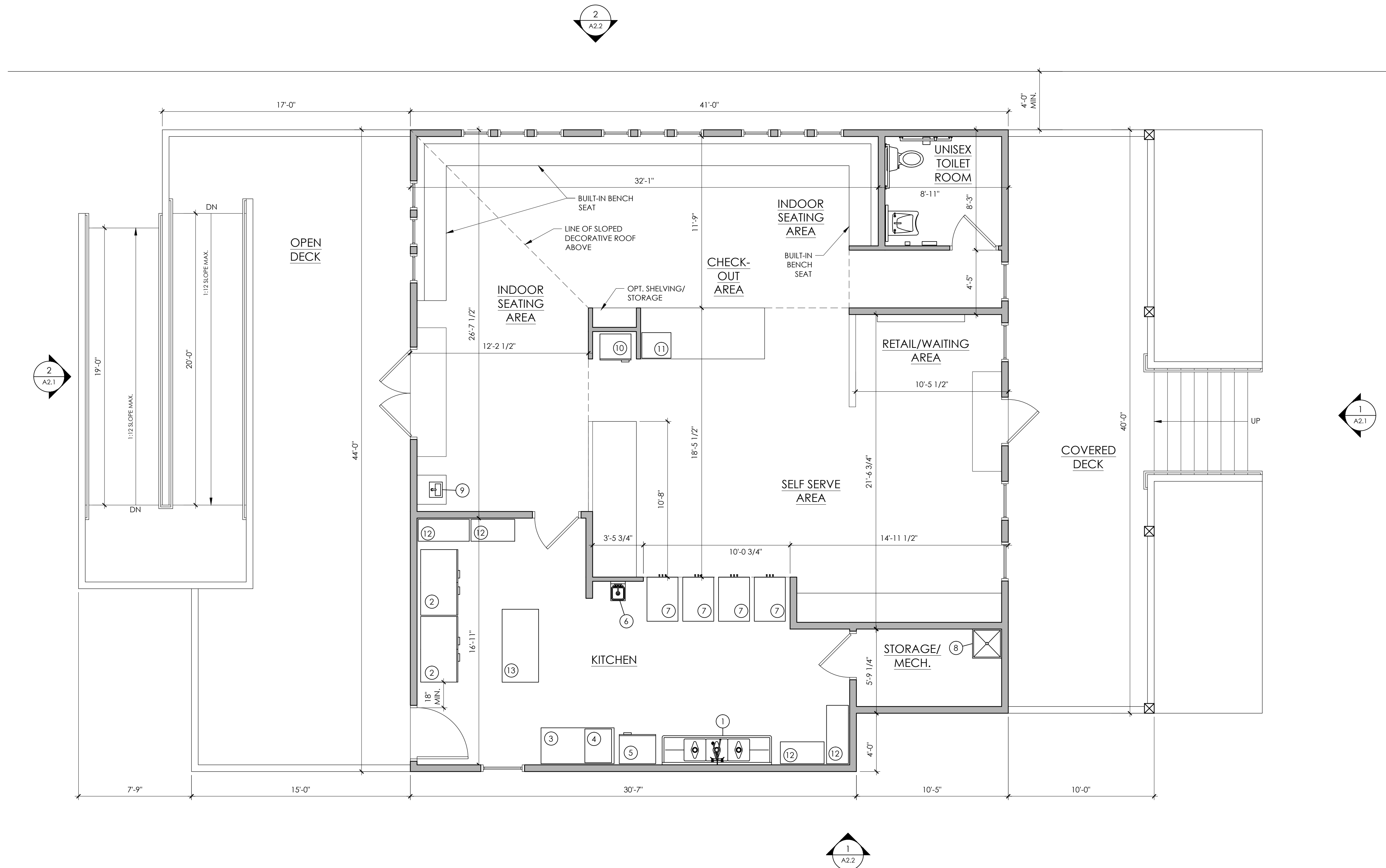
PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:

DRAWN BY: CN

DATE: 7 / 18 / 25

SCALE: -

STAMP:
INCOMPLETE
 FOR INTERIM REVIEW
 ONLY AND NOT
 INTENDED FOR BIDDING,
 PROCUREMENT, PERMIT
 OR CONSTRUCTION
 PURPOSES.



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEER:
MICHAEL D. O'STEEN, P.E., PLLC
 1720 BAY DRIVE, KILL DEVIL HILLS,
 NORTH CAROLINA
 FIRM # P-2112 PH: (252) 423-2300

PROJECT NAME:
**TWIDDY
 ICE CREAM
 BUILDING**
 1120 COROLLA
 VILLAGE ROAD
 COROLLA, NC

REVISIONS:	DATE:
CLIENT REVISIONS	10 / 11 / 24
COUNTY REVIEW	12 / 5 / 24
COUNTY REVIEW	12 / 6 / 24
COUNTY REVIEW	1 / 9 / 25
COUNTY REVIEW	1 / 30 / 25
CLIENT REVIEW	7 / 18 / 25

DRAWING NAME:
**EQUIPMENT
 PLAN**

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:

DRAWN BY: CN

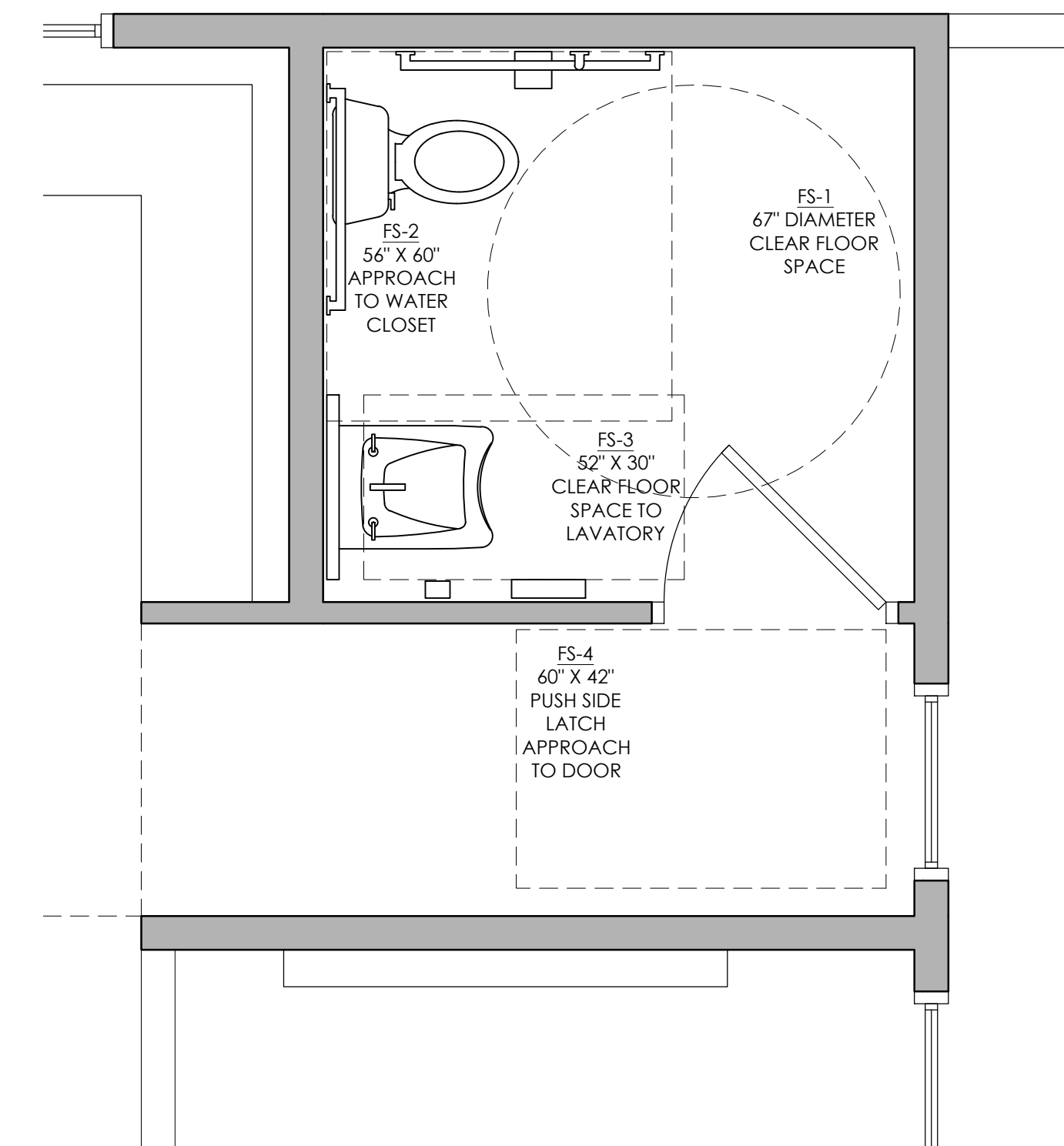
DATE: 7 / 18 / 25

SCALE: -

STAMP:
INCOMPLETE
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 PROCUREMENT, PERMIT
 OR CONSTRUCTION
 PURPOSES.

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 P.L.L.C. - ALL RIGHTS RESERVED

SHEET:
A1.2

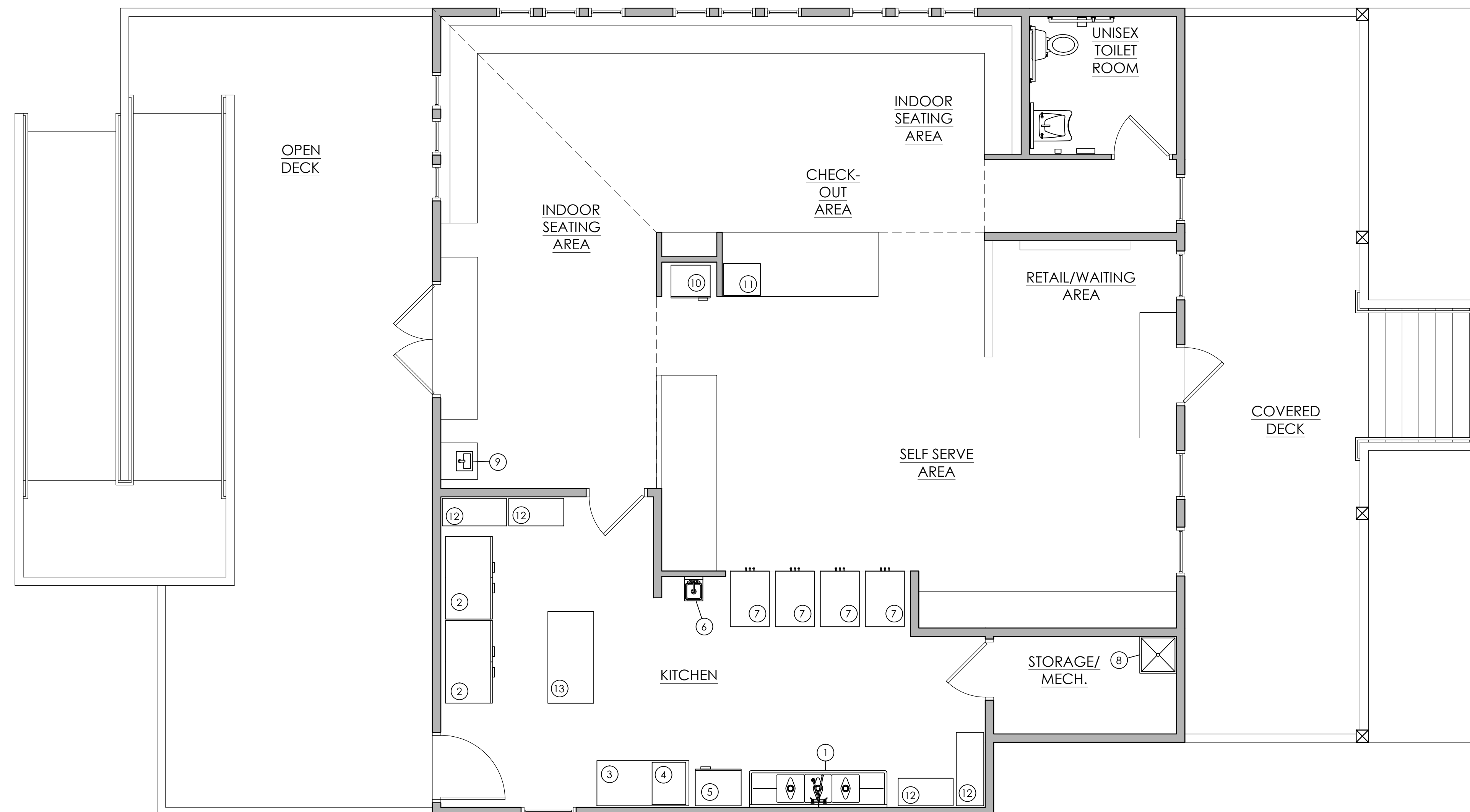


3 ENLARGED TOILET ROOM PLAN
 NOT TO SCALE

- ⚡ REQUIRES POWER
- 💧 REQUIRES WATER SUPPLY
- ⊕ REQUIRES DRAIN

ARCH PLAN NO.	EQUIPMENT/FIXTURE, SIZE	PROV. BY	POWER/WATER/DRAIN
1	THREE COMPARTMENT SINK, 90" X 24" X 43 1/2"		⚡ + ⊕
2	REACH IN FRIDGE, 54" X 32 1/2" X 82 1/2"		⚡
3	WORKTOP PREP COOLER, 60 1/2" X 29 1/2" X 35 1/2"		⚡
4	COUNTERTOP OVEN, 22" X 27 1/2" X 18"		⚡
5	REACH IN FREEZER, 29" X 25 1/2" X 82 1/2"		⚡
6	HAND SINK, 12" X 16"		⚡ + ⊕
7	ICE CREAM MACHINE, 25 1/2" X 36 1/2" X 60"		⚡ + 💧
8	MOP SINK, 24" X 24"		⚡ + ⊕
9	WATER STATION, 12 1/2" X 10 1/2" X 9 1/2"		⚡ + ⊕
10	GLASS DOOR FRIDGE, 25 1/2" X 23" X 79 1/2"		⚡
11	COUNTERTOP FREEZER, 23 1/2" X 21" X 24 1/2"		⚡
12	DRY STORAGE		
13	STAINLESS STEEL WORKTABLE, 30" X 60" X 34"		

2 EQUIPMENT LEGEND
 NOT TO SCALE



1 EQUIPMENT PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS:	DATE:
CLIENT REVISIONS	10 / 11 / 24
COUNTY REVIEW	12 / 5 / 24
COUNTY REVIEW	12 / 6 / 24
COUNTY REVIEW	1 / 9 / 25
COUNTY REVIEW	1 / 30 / 25
CLIENT REVIEW	7 / 18 / 25



1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEER:
MICHAEL D. O'STEEN, P.E., PLLC
 1720 BAY DRIVE, KILL DEVIL HILLS,
 NORTH CAROLINA
 FIRM # P-2112 PH: (252) 423-2300

PROJECT NAME:
**TWIDDY
 ICE CREAM
 BUILDING**
 1120 COROLLA
 VILLAGE ROAD
 COROLLA, NC

REVISIONS:	DATE:
CLIENT REVISIONS	10 / 11 / 24
COUNTY REVIEW	12 / 5 / 24
COUNTY REVIEW	12 / 6 / 24
COUNTY REVIEW	1 / 9 / 25
COUNTY REVIEW	1 / 30 / 25
CLIENT REVIEW	7 / 18 / 25

DRAWING NAME:
**EXTERIOR
 ELEVATIONS**

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:

DRAWN BY: CN

DATE: 7 / 18 / 25

SCALE: -

STAMP:
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SHEET:
A2.2



1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



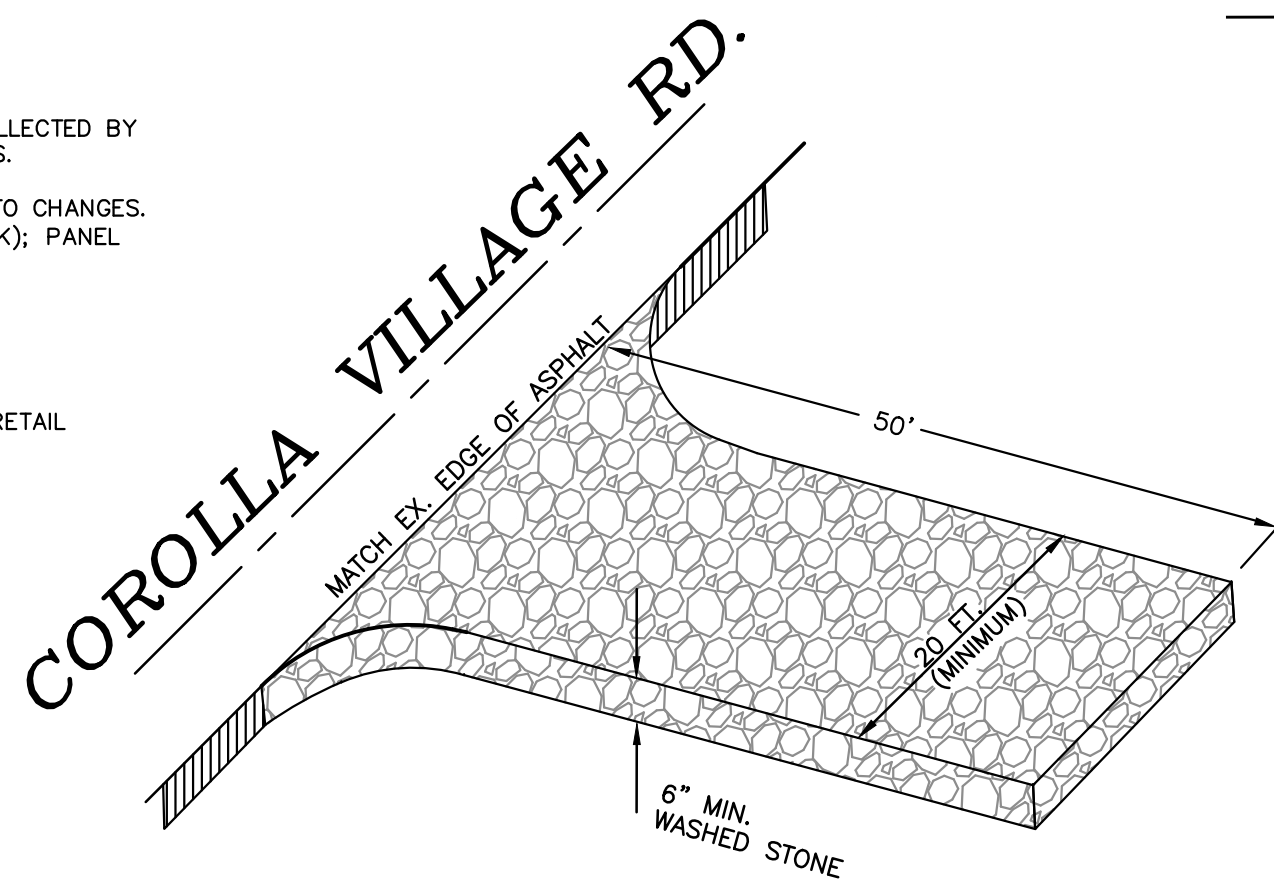
2 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- OWNER: TFP, LLC
P.O. BOX 369
COROLLA, NC 27927
- ENGINEER: WITHERSRAVENEL, INC.
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- PROPERTY INFORMATION: PIN: 9937-21-2768 / PID: 01140000360000
- SUBJECT REFERENCES: DB 1474, PG 940
- ADDRESS: 1126 COROLLA VILLAGE RD., COROLLA, NC 27929
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. FEBRUARY 2019. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- PROPERTY IS LOCATED IN NFIP FLOOD AE (3' & 4') AND "SHADED X" AS SHOWN. SUBJECT TO CHANGES BASED ON COMMUNITY ID NO. 370078; PANEL 9937; SUFFIX K. (MAP NUMBER 3720993700K); PANEL EFFECTIVE DATE: 12/21/2018
- TOTAL LOT AREA: 38,888.95 SQ.FT. / 0.89 ACRES
- ZONING CLASSIFICATION: GB
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF A SPECIALTY EATING ESTABLISHMENT, RETAIL BUILDING AND REQUIRED PARKING.
- MAXIMUM BUILDING HEIGHT: 35 FT.
- SETBACKS:

	REQUIRED	PROVIDED
FRONT	20'	20'
REAR	25'	25'
SIDE	15'	15'

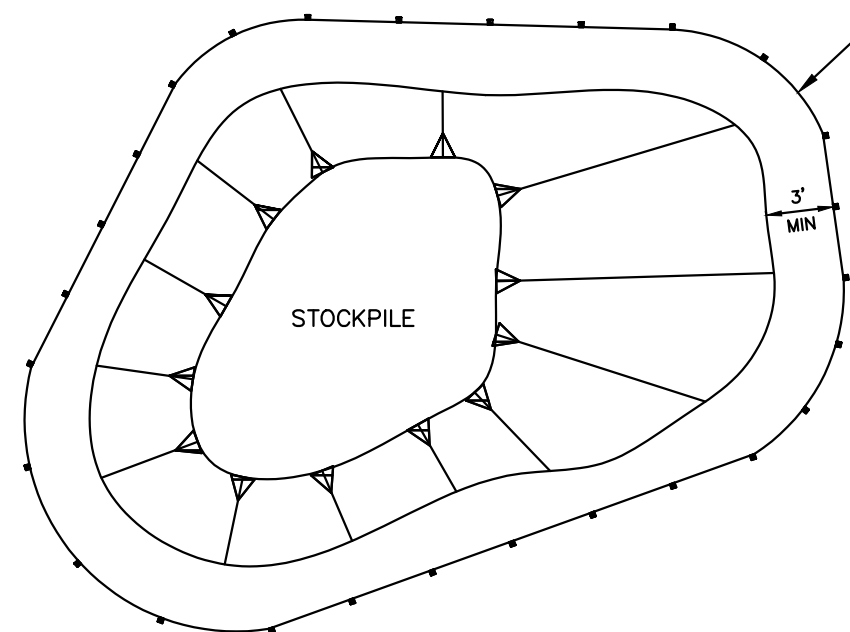
- DEMOLITION NOTES:**
- CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND SERVICES - TO INCLUDE BUT NOT LIMITED TO ELECTRIC, CABLE, TELEPHONE, GAS, SANITARY SEWER AND WATER - AND SHALL COORDINATE PROPER PROTECTION AND/OR RELOCATE WITH APPROPRIATE OWNER/UTILITY COMPANY.
 - CONTRACTOR SHALL WALK THE SITE AND BE FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND BE UNCLASSIFIED EXCAVATION.
 - DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE CURBS AND GUTTERS, BITUMINOUS CONCRETE PAVEMENTS AND ALL MATERIALS OR VEGETATION CLEARED AND STRIPPED TO THE EXTENT NECESSARY FOR THE INSTALLATION OF NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING. COORDINATE WITH APPROPRIATE DRAWINGS.
 - THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO THE PROPERTY DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO THE OWNER.
 - ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM PROJECT AREA.
 - EXISTING PAVEMENT, CURB AND GUTTER, LIGHTS, FENCES, TREE/VEGETATION AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED, AND UNDISTURBED DURING DEMOLITION. CONTRACTOR SHALL COORDINATE THE REMOVAL OF BITUMINOUS CONCRETE PAVEMENTS AND CURB AND GUTTER WITH THE SITE PLAN.
 - SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND CURBS AND GUTTERS TO BE DEMOLISHED SHALL BE PROVIDED.
 - ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AS WELL AS OSHA REGULATIONS.
 - CONTRACTOR'S ACTIVITIES SHALL NOT IMPEDE USAGE OR INGRESS/EGRESS TO ADJACENT PROPERTIES. COORDINATE WITH OWNER MAINTENANCE OF TRAFFIC/PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
 - MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES DURING DEMOLITION.
 - DEMOLITION SHALL NOT BEGUN UNTIL WRITTEN AUTHORIZATION IS RECEIVED FROM THE OWNER AND CONTRACTOR HAS OBTAINED THE REQUIRED PERMITS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION TO AUTHORIZE DEMOLITION WORK.
 - DEMOLITION PLAN DOES NOT PURPORT TO SHOW ALL OBJECTS OR UTILITIES EXISTING ON THE SITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES AND IMPROVEMENTS WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL COORDINATE ALL UTILITY DISCONNECTION, (I.E. SANITARY SEWER, WATER, GAS, TELEPHONE, ELECTRIC, ETC.) TO BUILDINGS, STRUCTURES AND OTHER CONNECTIONS AS NECESSARY FOR DEMOLITION WITH THEIR RESPECTIVE UTILITY PROVIDER. ALL UTILITIES, ABOVE, ON OR BELOW GROUND SHALL BE REMOVED AS DENOTED ON THE PLAN AND SHALL MEET ALL REQUIREMENTS OF UTILITY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING OF WORK. BEFORE ANY DEMOLITION, THE CONTRACTOR SHALL CALL NORTH CAROLINA ONE-CALL 1-800-632-4949 TO HAVE ALL UNDERGROUND UTILITIES LOCATED ON AND NEAR THE VICINITY OF THE SITE.
 - EXISTING WATER METERS, ELECTRICAL TRANSFORMERS, TELECOMMUNICATION TERMINALS, ETC. ARE THE PROPERTY OF THE UTILITY COMPANIES SERVING THE SITE AND CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH UTILITY OWNERS THE REMOVAL, TRANSPORTATION, AND STORAGE OF THE SAME.
 - WHERE BUILDING FOUNDATION WALLS, FOOTINGS, CONCRETE SLABS, STOOPS, PAVEMENTS, SIDEWALKS, CURB, OR CURB AND GUTTER ARE INDICATED TO BE REMOVED CONTRACTOR SHALL INCLUDE THE REMOVAL OF BASE MATERIAL DOWN TO SUB-GRADE.
 - DEMOLITION PLAN DOES NOT GUARANTEE THE ACCURACY OR QUANTITIES OF THE DEMOLITION STRUCTURES AND MATERIALS; IT WAS DEVELOPED TO ASSIST THE CONTRACTOR. IT IS EXPRESSLY STATED HEREON THAT THE OWNER OR ENGINEER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN THEREFROM BY THE CONTRACTOR.
 - ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE DAILY IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, PRIVATE PROPERTY, AND/OR PUBLIC RIGHTS-OF-WAY. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DESIGNATED DEMOLITION DEBRIS FROM THE PROJECT SITE TO A DISPOSAL SITE APPROVED BY ALL AUTHORITIES HAVING JURISDICTION.



GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL

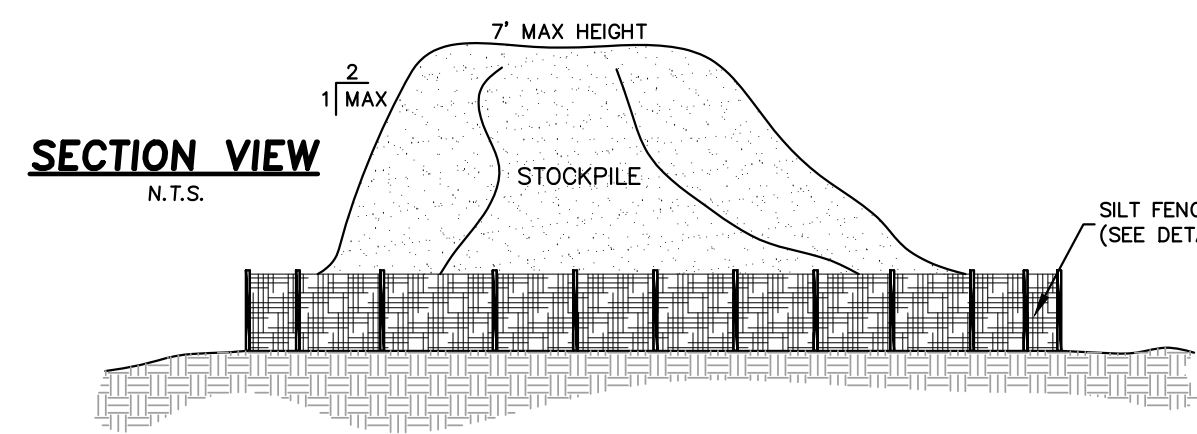
N.T.S.

- NOTES:**
- CONTRACTOR MUST PROTECT TOPSOIL STOCKPILES BY TEMPORARILY SEEDING AS SOON AS POSSIBLE, NO MORE THAN 21 CALENDAR DAYS AFTER THE FORMATION OF THE STOCKPILE.
 - CONTRACTOR MUST STABILIZE STOCKPILES WITH PERMANENT VEGETATION TO CONTROL EROSION AND WEED GROWTH IF THE STOCKPILE WILL LAY DORMANT FOR MORE THAN 90 DAYS.
 - TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF THE CONSTRUCTION SITE MAY NOT REQUIRE STOCKPILE PERIMETER CONTROLS. OTHER DOWN GRADIENT CONTROLS (INCLUDING SITE PERIMETER CONTROL) MUST BE IN PLACE TO REMOVE STOCKPILE PERIMETER CONTROLS.



TOP VIEW

N.T.S.



STOCKPILE DETAIL

N.T.S.

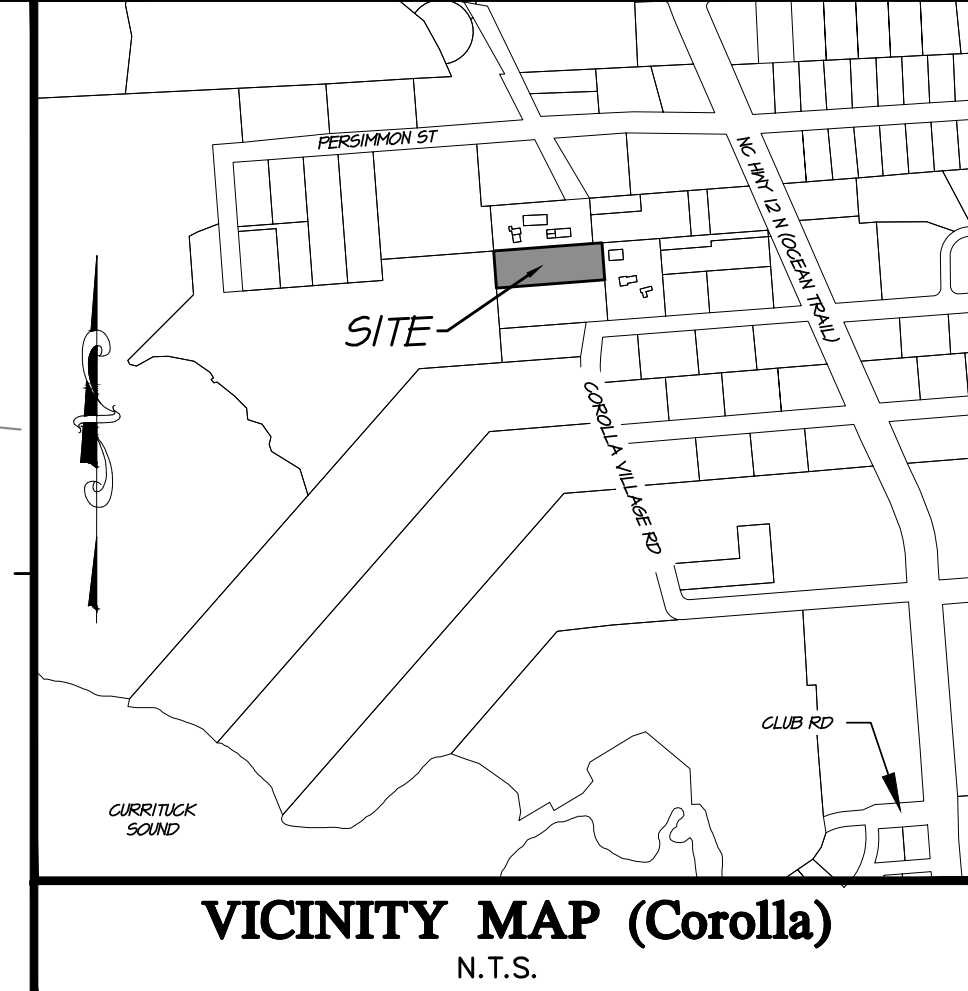
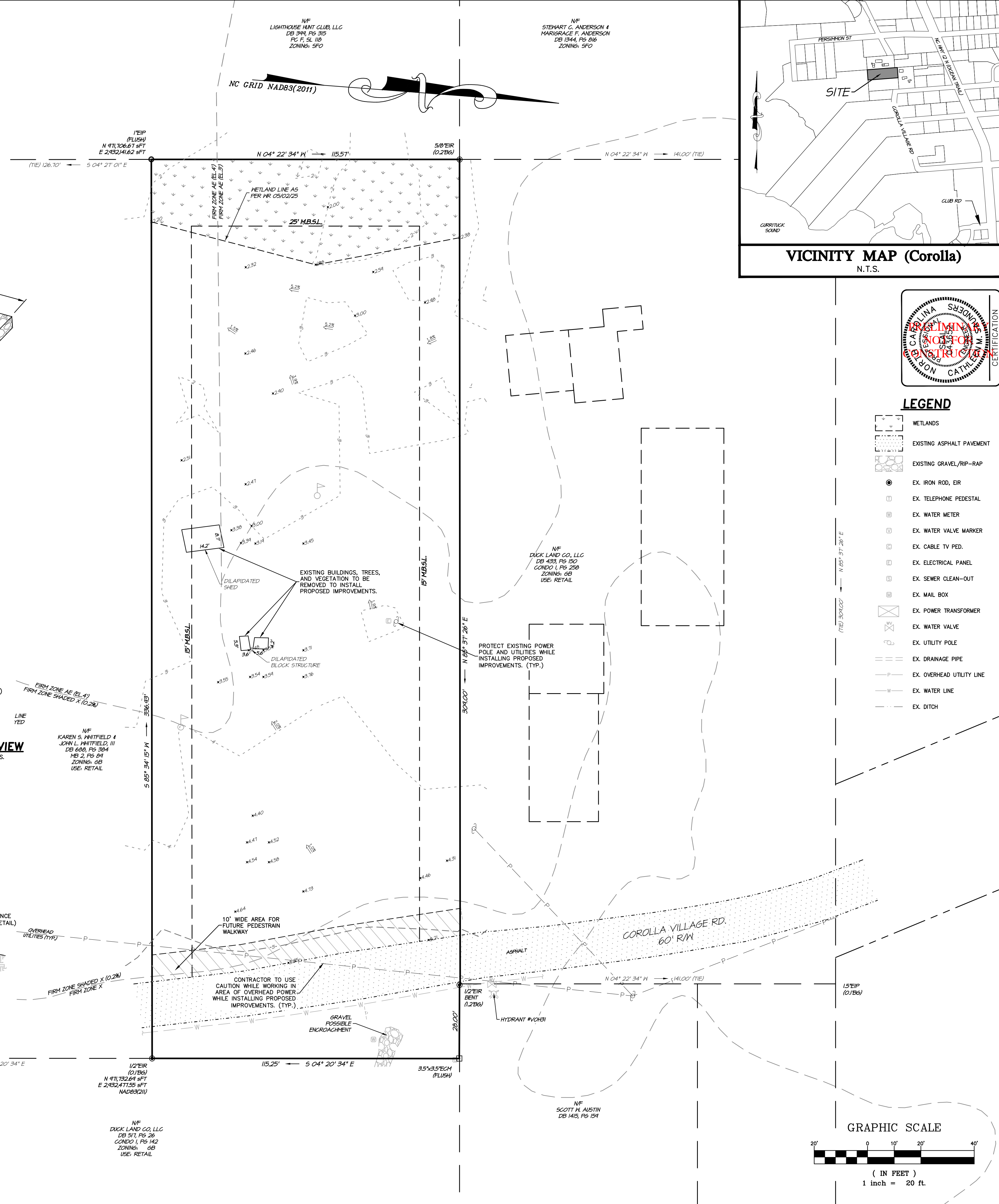
SHEET INDEX

- EXISTING CONDITIONS/DEMO
- SITE & UTILITY PLAN
- GRADING, DRAINAGE, & LANDSCAPING
- SESC PLAN
- SITE DETAILS
- WW DETAILS 1
- WW DETAILS 2

NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



Know what's below.
Call before you dig.

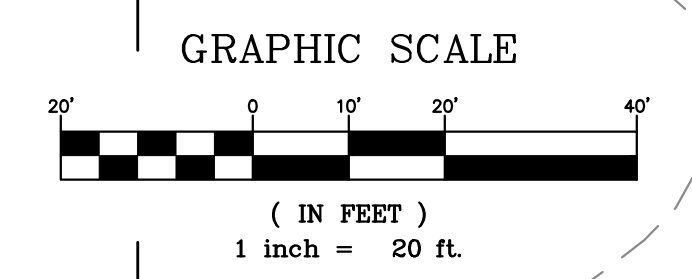


VICINITY MAP (Corolla)
N.T.S.



LEGEND

- METLANDS
- EXISTING ASPHALT PAVEMENT
- EXISTING GRAVEL/RIP-RAP
- EX. IRON ROD, ER
- EX. TELEPHONE PEDESTAL
- EX. WATER METER
- EX. WATER VALVE MARKER
- EX. CABLE TV PED.
- EX. ELECTRICAL PANEL
- EX. SEWER CLEAN-OUT
- EX. MAIL BOX
- EX. POWER TRANSFORMER
- EX. WATER VALVE
- EX. UTILITY POLE
- EX. DRAINAGE PIPE
- EX. OVERHEAD UTILITY LINE
- EX. WATER LINE
- EX. DITCH



WithersRavenel
8466 Carondelet Highway Building 400 | Powells Point, NC 27966
License #: F-14797 | (252) 491-8147 | www.withersravenel.com

EXISTING CONDITIONS/DEMO PLAN
1126 COROLLA VILLAGE RD
TFP, LLC
CURRITUCK COUNTY NORTH CAROLINA

NO.	DATE	REVISIONS

COMMISSION NO. 24-1038
DESIGNED BY: CMS
DRAWN BY: ND
CHECKED BY: CMS
ISSUE DATE: 04/13/26
SHEET NO. 1 OF 7 SHEETS

GENERAL NOTES

- OWNER: TFP, LLC
P.O. BOX 369
COROLLA, NC 27927
- ENGINEER: WITHERSRAVENEL, INC
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- PROPERTY INFORMATION: PIN: 9937-21-2768 / PID: 011400000360000
- SUBJECT REFERENCES: DB 1474, PG 940
- ADDRESS: SPECIALTY EATING ESTABLISHMENT - 1126 COROLLA VILLAGE RD.
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUIBLE & ASSOCIATES, P.C. FEBRUARY 2019. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- PROPERTY IS LOCATED IN NFIP FLOOD AE (3' & 4') AND "SHADED X" AS SHOWN. SUBJECT TO CHANGES BASED ON COMMUNITY CID NO. 370078; PANEL 9937; SUFFIX K. (MAP NUMBER 3720993700K); PANEL EFFECTIVE DATE: 12/21/2018
- TOTAL LOT AREA: 38,888.95 SQ.FT. / 0.89 ACRES
- ZONING CLASSIFICATION: GB
- PROPOSED LOT COVERAGE:
COMMERCIAL BUILDINGS (INCLUDES COVERED PORCHES) 3,802 SQ.FT.
CONCRETE/GRAVEL PERMEABLE PAVERS 6,138 SQ.FT.
PERMEABLE PAVERS 1,955 SQ.FT.
COROLLA VILLAGE RD 2,022 SQ.FT.
TOTAL 13,133 SQ.FT. (33.77%)
MAXIMUM ALLOWED: 25,277.8 SQ.FT. (65.0% OF 38,888.95 SQ.FT.)
- OPEN SLOTTED WOOD DECKING IS NOT INCLUDED IN COVERAGE CALCULATIONS
OPEN DECK, STAIRS, AND RAMPS IS 1,362 SQ.FT.
- PARKING RATE SUMMARY:
PROPOSED SPECIALTY EATING ESTABLISHMENT
1 SPACE/200 SQ.FT. (INTERIOR DIMENSIONS) = 8.4 SPACES
PROPOSED RETAIL SPACE 1 SPACE/300 SQ.FT. X 1,640 SQ.FT. = 5.5 SPACES
TOTAL = 13.9 SPACES
TOTAL REQUIRED PARKING: 13 SPACES
TOTAL PROVIDED PARKING: 13 SPACES (1 ADA SPACE PROVIDED)
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF A SPECIALTY EATING ESTABLISHMENT, RETAIL BUILDING AND REQUIRED PARKING.
- MAXIMUM BUILDING HEIGHT: 35 FT.
- SETBACKS:

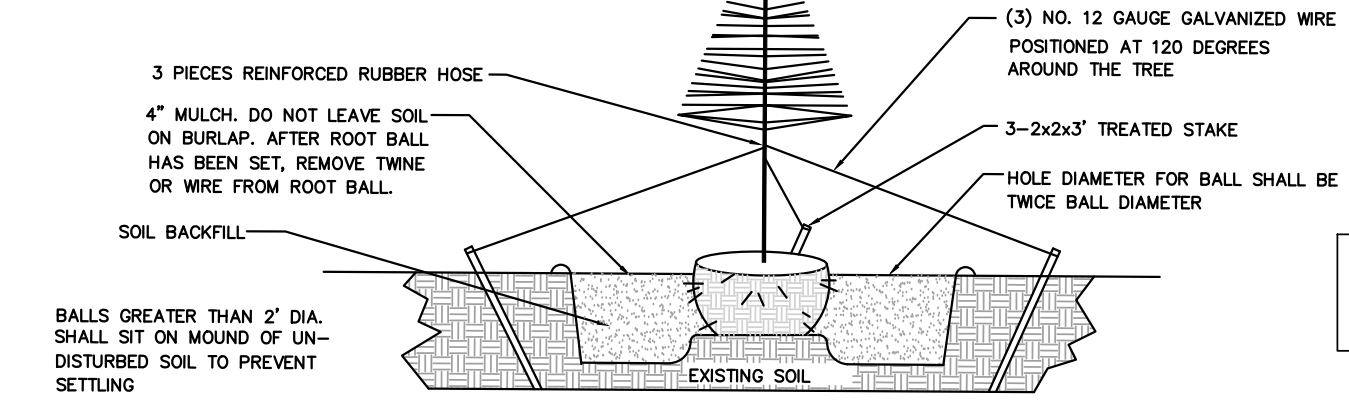
	REQUIRED	PROVIDED	BUFFER
FRONT	20'	20'	N/A
REAR	25'	25'	25'
SIDE	15'	15'	N/A
- ALL SEWER LATERALS WITHIN THE DRIVE AISLE SHALL BE TRAFFIC RATED USING DUCTILE IRON MATERIALS.

WASTEWATER SYSTEM NOTES:

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- NEW WASTEWATER SYSTEM DESIGN PARAMETERS:
ACTIVE SYSTEM:
DESIGN FLOW:
SPECIALTY EATING = 50 GPD/100 SQ.FT. X 1,640 SQ.FT. = 820 GPD
RETAIL SPACE = 100 GPD / 1000 SQ.FT. X 1,685 SQ.FT. = 169 GPD
TOTAL REQUIRED = 989 GPD
LONG TERM APPLICATION RATE (LTAR): 0.8 GPD/SQ.FT. FOR TS-2 EZTREAT PRETREATMENT W/ LPP DISPOSAL
(8) 40' LINES @ 3" O.C. EACH
REPAIR SYSTEM:
NO REPAIR PROPOSED PER RULE 15A NCAC 18E .0508(i).
THE ACTIVE WASTEWATER SYSTEM SHALL REQUIRE MONTHLY INSPECTIONS AND QUARTERLY MAINTENANCE IN ACCORDANCE WITH A VIB SYSTEM CLASSIFICATION AS DEFINED IN THE 15A NCAC 18E ON-SITE WASTEWATER RULES.
- UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTION 1900 "LAWS AND RULES FOR SEWAGE TREATMENT AND DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WASTEWATER SECTION (15 NCAC 18A.1900).
- CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT.
- MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
- FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS SAND OR LOAMY SAND (SOIL GROUP I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INCHES OF FILL USED TO COVER THE SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE ESTABLISHMENT OF A VEGETATIVE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO A DEPTH OF SIX INCHES BELOW THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL BE REMOVED BEFORE THE FILL MATERIAL IS INCORPORATED.
- WELL POINTS AND PUMPS SHALL BE SUFFICIENT IN SIZE AND SPACING TO DRAW DOWN WATER TABLE TWO TO THREE FEET BELOW REQUIRED EXCAVATION FOR SEPTIC AND PUMP TANKS.
- GRADES SHALL BE ESTABLISHED TO DIVERT RUNOFF AWAY FROM TANKAGE. FINAL GROUND ELEVATION ABOVE TANK SHALL BE AS INDICATED ON THE DETAIL SHEETS.
- ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER. VEGETATE DRAINFIELD AREA AS SPECIFIED IN SEEDING SPECIFICATIONS.

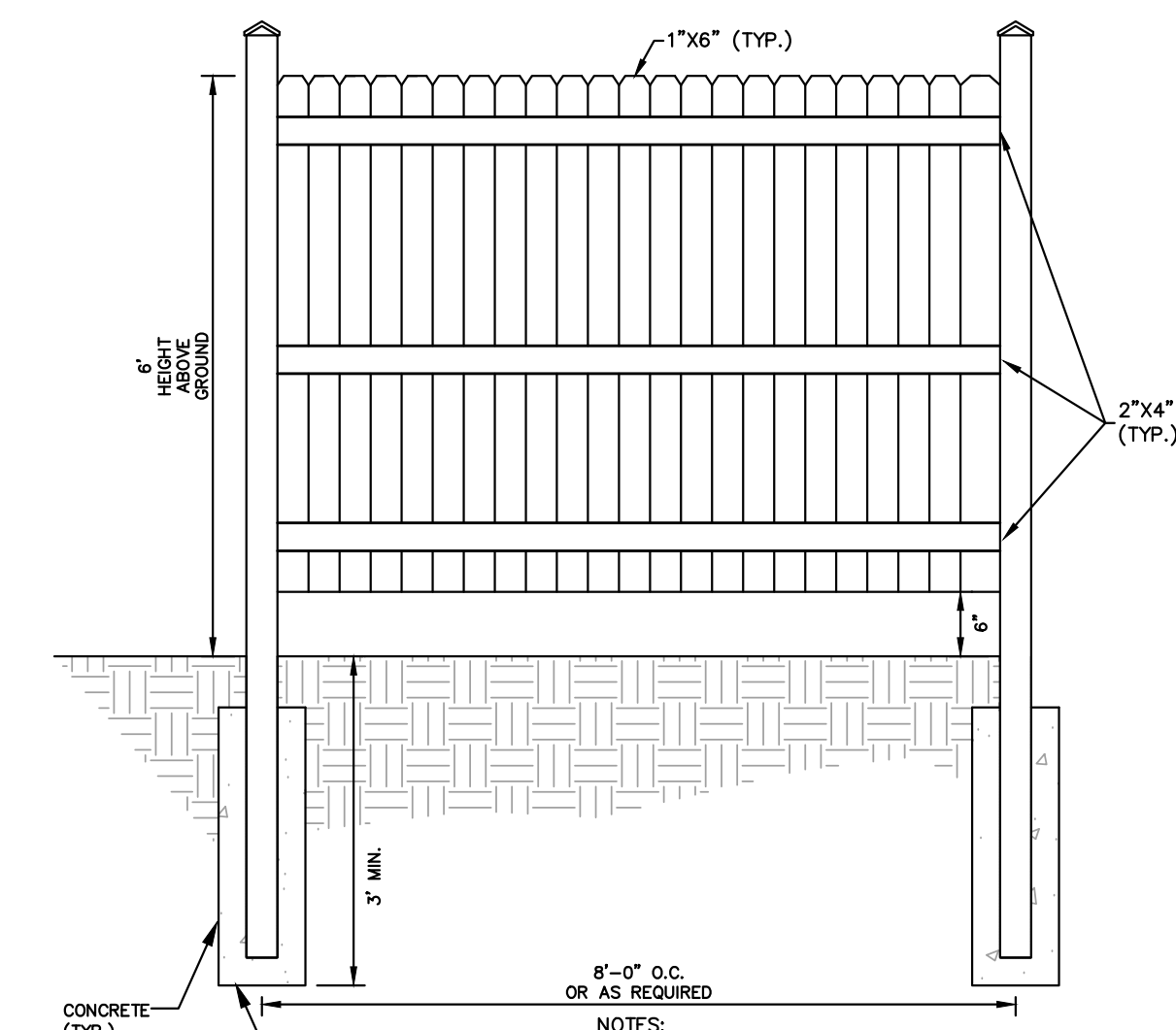
LEGEND

- | | | | |
|--|----------------------------------------|--|--------------------------------------------|
| | EXISTING ASPHALT PAVEMENT | | PROPOSED CONCRETE |
| | EXISTING WETLANDS | | PROPOSED PERMEABLE PAVERS |
| | EXISTING IRON PIPE | | PROPOSED SANITARY SEWER |
| | EXISTING WATER METER | | PROPOSED WATERLINE |
| | EXISTING UTILITY POLE | | PROPOSED FIRE HYDRANT |
| | EXISTING GUY POLE | | PROPOSED BENDS & TEES WITH THRUST BLOCKING |
| | EXISTING WATER LINE (APPROX. LOCATION) | | PROPOSED WATER METER |
| | EXISTING POWERLINE | | EXISTING TREES |
| | EXISTING FORECMAN | | PROPOSED TREES/SHRUBS |
| | CALC. POINT | | |
| | EX. MAG NAIL | | |



TREE PLANTING DETAIL

N.T.S.



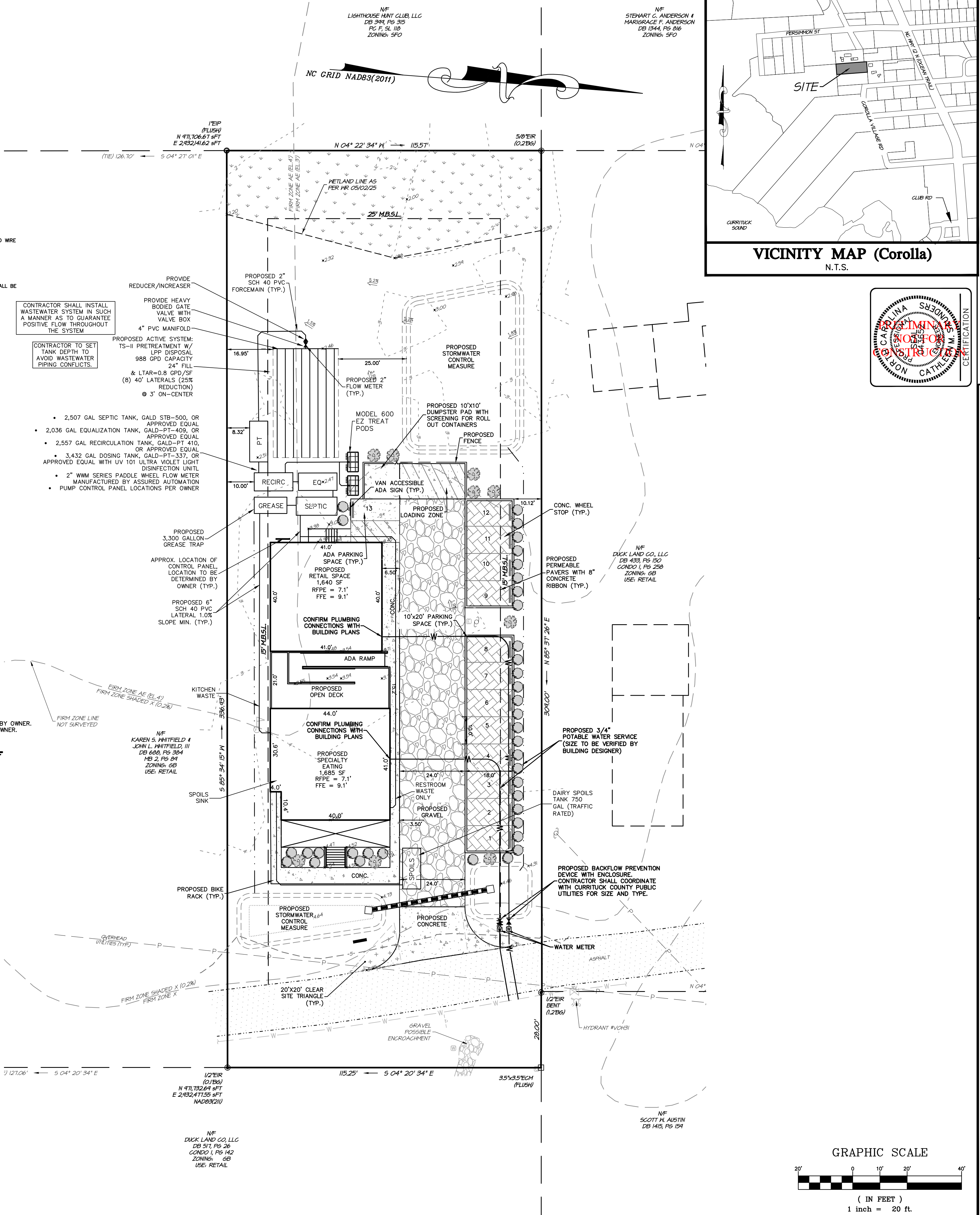
DUMPSTER AREA FENCE DETAIL

N.T.S.

TREE PLANTING SUMMARY

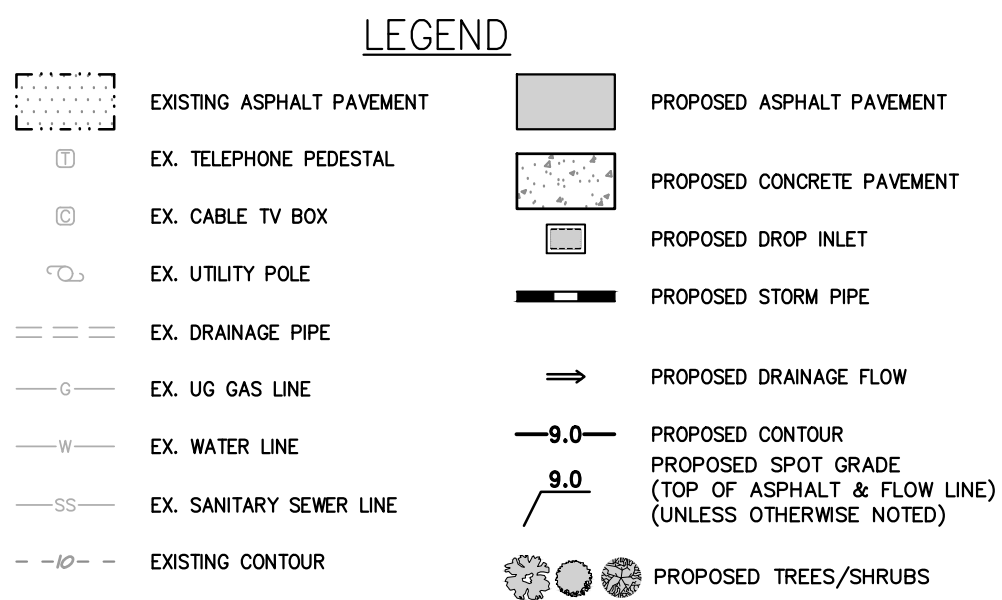
SYMBOL	QUANTITY	COMMON NAME	HEIGHT	SPREAD	MIN. SIZE @ PLANTING
	37***	DWARF AZALEA*	3' - 6' HT.	3'-6'	3 GALLON
		DWARF HORNED HOLLY*	3' - 4' HT.	3'-4'	3 GALLON
		DWARF YAUPON HOLLY*	3' - 5' HT.	3'-6'	3 GALLON
		SOUTHERN WAX MYRTLE*	10' - 15' HT.	8'-10'	3 GALLON
	9	LIVE OAK**	30' - 50' HT.	50'-80'	2" CAL., 8' HT.
		BALD CYPRESS**	50' - 100' HT.	20' - 30'	2" CAL., 8' HT.

* CANOPY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.
** UNDERSTORY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.
*** COORDINATE INSTALLATION WITH OWNER. ORNAMENTAL SHRUB/GRASS SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.



NOTES

- PROPERTY OWNER/ADDRESS: TFP, LLC
P.O. BOX 369
COROLLA, NC 27929
- ENGINEER: WITHERSRAVENEL
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- SITE ADDRESS: 1126 COROLLA VILLAGE ROAD
COROLLA, NC 27929
PARCEL ID NUMBER: 01140000360000
PIN: 8937-21-2768
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- SCOPE OF WORK: PERMITTING AND CONSTRUCTION OF A SPECIALTY EATING ESTABLISHMENT, RETAIL BUILDING AND REQUIRED PARKING.
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. FEBRUARY 2019. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- MAXIMUM BUILDING HEIGHT = 35 FT.
- SETBACKS (PER SECTION 3.5.8 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE):
FRONT 20'
SIDE 15'
REAR 25'
*SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
- THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO GRADING AND DRAINAGE, INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, WASTEWATER SYSTEM, AND WATER SYSTEM FOR BUILDING DESIGN AND ASSOCIATED PLUMBING. SEE APPROPRIATE SEPARATE PLANS.
- LANDSCAPE BUFFERS:
REAR 25 FT WIDE TYPE B BUFFER
SIDE N/A
FRONT N/A
- THIS PLAN IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH CHAPTER 5.2 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEOG DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES REGULATIONS.
- THE LOCATION, DIMENSIONS, AND ELEVATIONS OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NUMBER 811, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- ALL REINFORCED CONCRETE PIPES (RCP) TO BE CLASS V, UNLESS OTHERWISE NOTED.
- ALL REINFORCED CONCRETE PIPES (RCP) TO HAVE END TREATMENTS, EITHER FLARED END SECTIONS (FES) OR END WALLS. END WALLS TO BE CONSTRUCTED AS PER NCDOT STANDARD 838.01.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN SPOT ELEVATION GRADES AND MAINTAIN POSITIVE DRAINAGE.
- AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUBGRADE AND BACKFILLED IN 6" LIFTS.



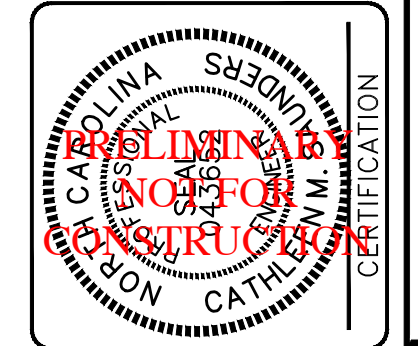
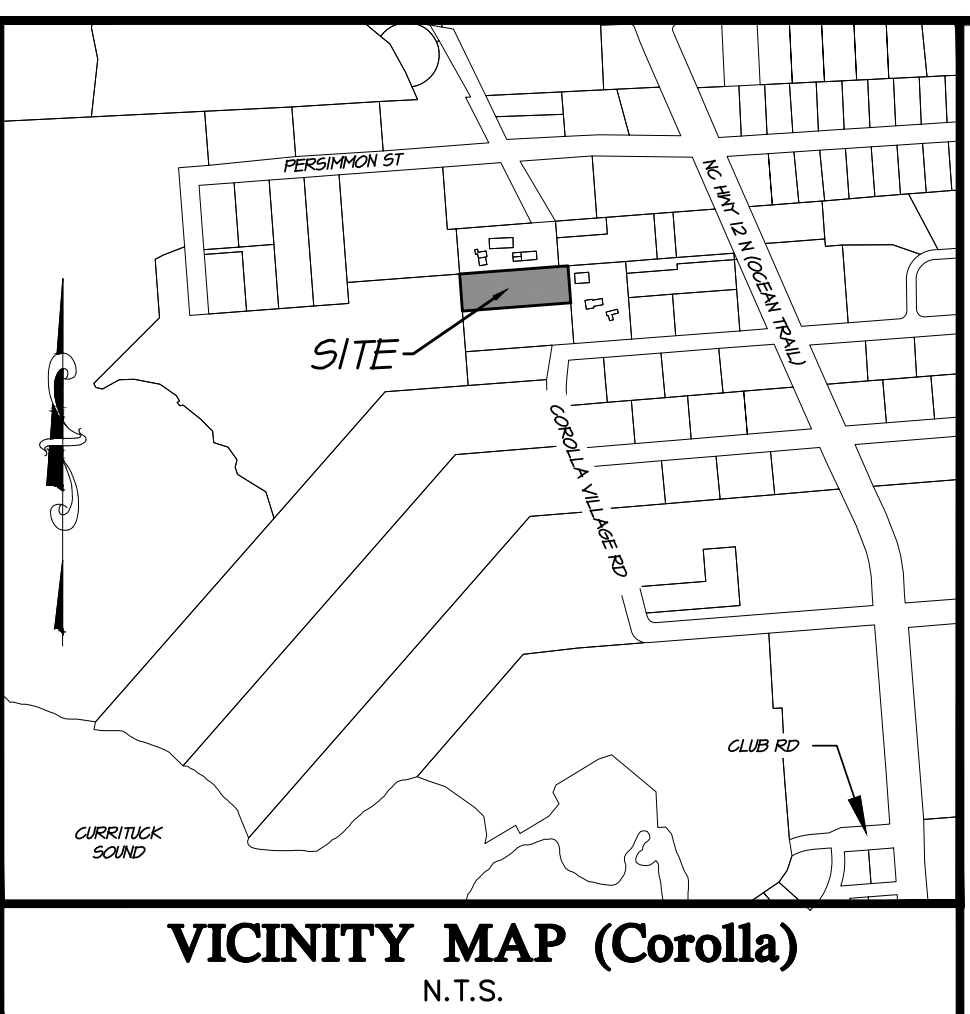
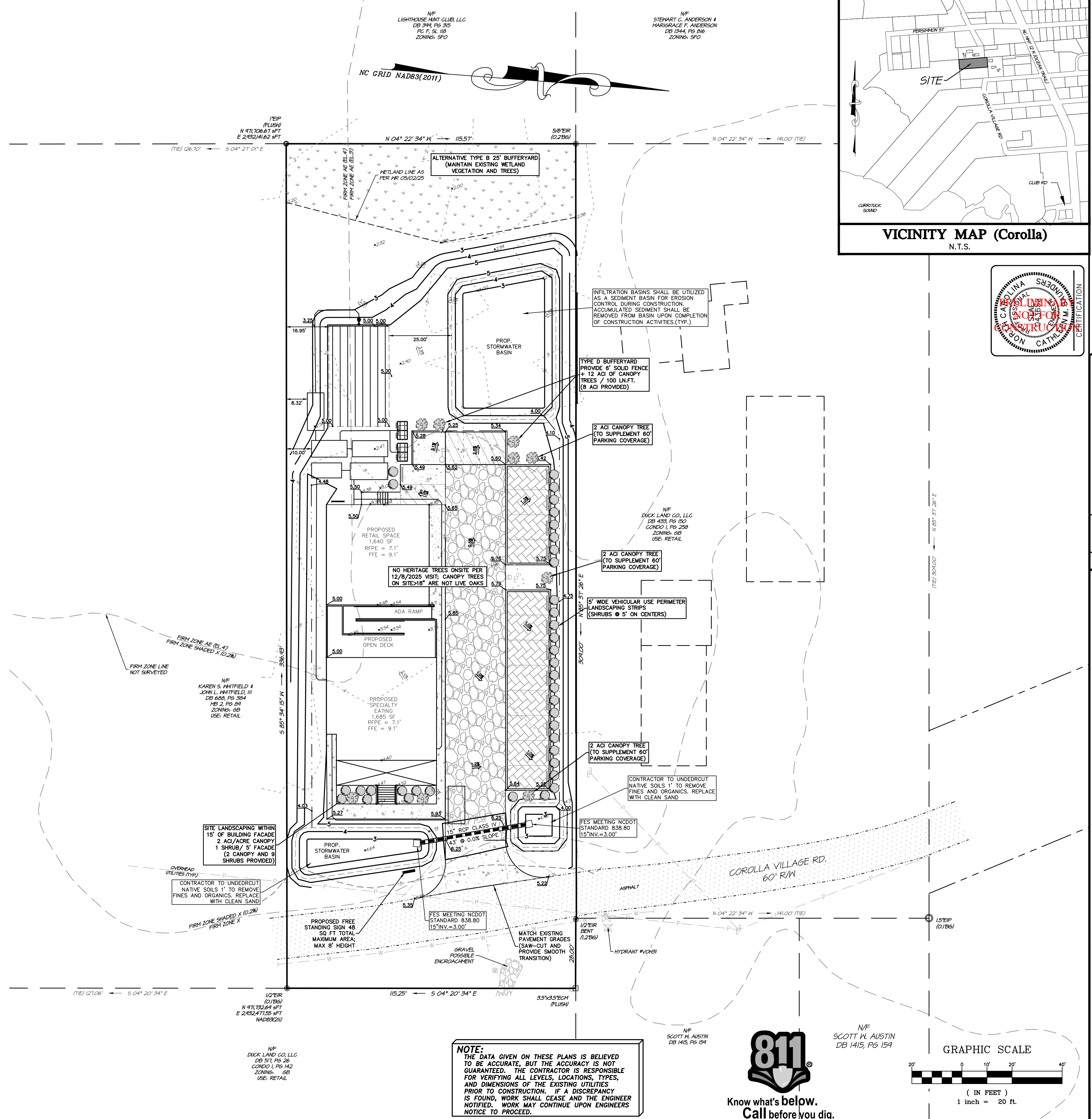
Certificate

22 The major stormwater plan shall contain the following certificate:

I, Cathleen Saunders, owner (agent) hereby certify the information included on this and attached pages is true and correct to the best of my knowledge.

On the plan entitled 1126 Corolla Village Road, stormwater drainage improvements shall be installed according to these plans and specifications and approved by Currituck County. Yearly inspections are required as part of the stormwater plan. The owner is responsible for all maintenance required. Currituck County assumes no responsibility for the design, maintenance, or performance of the stormwater improvements.

Date: 4/13/2026 Owner/Agent: [Signature]



NO.	DATE	REVISIONS

GRADING, DRAINAGE & LANDSCAPING

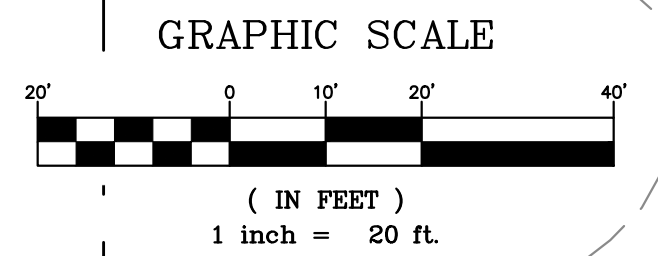
1126 COROLLA VILLAGE RD

TFP, LLC

COROLLA NORTH CAROLINA
CURRITUCK COUNTY

COMMISSION NO.	24-1038
DESIGNED BY	CMS
DRAWN BY	ND
CHECKED BY	CMS
ISSUE DATE	04/13/26
SHEET NO.	3
OF 7 SHEETS	

NOTE:
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C:\Users\j1152\OneDrive\Desktop\1126 Corolla Village Road\1126 Corolla Village Road.dwg 4/13/2026 11:52 AM Saunders - j1152

NOTES

- PROPERTY OWNER/ADDRESS: TFP, LLC
P.O. BOX 369
COROLLA, NC 27929
- ENGINEER: WITHERSRAVENEL
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- SITE ADDRESS: 1126 COROLLA VILLAGE ROAD
COROLLA, NC 27929
PARCEL ID NUMBER: 01140000360000
PIN: 9937-21-2768
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SOIL EROSION & SEDIMENTATION CONTROL NOTES:

- AREA TO BE DISTURBED: ± 29,655 SF (± 0.68 AC.)
- PROVIDE A GROUNDCOVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW:
 - PERMETER DIKES, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
 - HIGH QUALITY WATER (HQW) ZONES SHALL BE STABILIZED IN 7 DAYS.
 - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
 - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
 - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP. 30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
 - A RAIN GAUGE MUST BE KEPT ON SITE.
 - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
 - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
 - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
 - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCDQO LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCDQO LAND QUALITY SECTION APPROVED SITE.

CONSTRUCTION SEQUENCE

- PRECONSTRUCTION:**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 - FLAG AND/OR ROUGH STAKE WORK LIMITS.
 - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- CONSTRUCTION:**
- INSTALL CONSTRUCTION ENTRANCE & SILT FENCING AT LOCATIONS SHOWN ON PLAN.
 - CONSTRUCT TEMPORARY SEDIMENT BASIN. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY DEMOLITION.
 - COMPLETE CLEARING AND GRUBBING PROCEDURES.
 - GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - INSTALL CONTRIBUTING STORM CONVEYANCES INCLUDING RIP-RAP APPROVED, MATING AND ASSOCIATED EROSION CONTROLS.
 - COMPLETE FINAL GRADING OF THE GROUNDS, TOPSOIL, PERMANENTLY SEED, LANDSCAPE, AND MULCH.
 - ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
 - ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED; ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES INCLUDING THE BASIN AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
 - UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.

PERMANENT VEGETATION

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	130 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

SEEDING DATES: APRIL 1 - AUGUST 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERMUDA 'SAHARA' (UNHULLED)	215 LBS.

SEEDING DATES: SEPT. 1 - MARCH 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERMUDA 'SAHARA' (UNHULLED)	215 LBS.

SEEDING PREPARATION:

LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW. BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDBED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE SHALL BE THE FINISHED GRADE.

SOIL AMENDMENTS:

OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

MULCHING:

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, ROWING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.

MAINTENANCE:

SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.)

WEAK OR DAMAGED SPOTS MUST BE RELIEM, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

SEEDING SPECIFICATIONS

TEMPORARY VEGETATION

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	120 LBS.
RYE GRAIN	120 LBS.

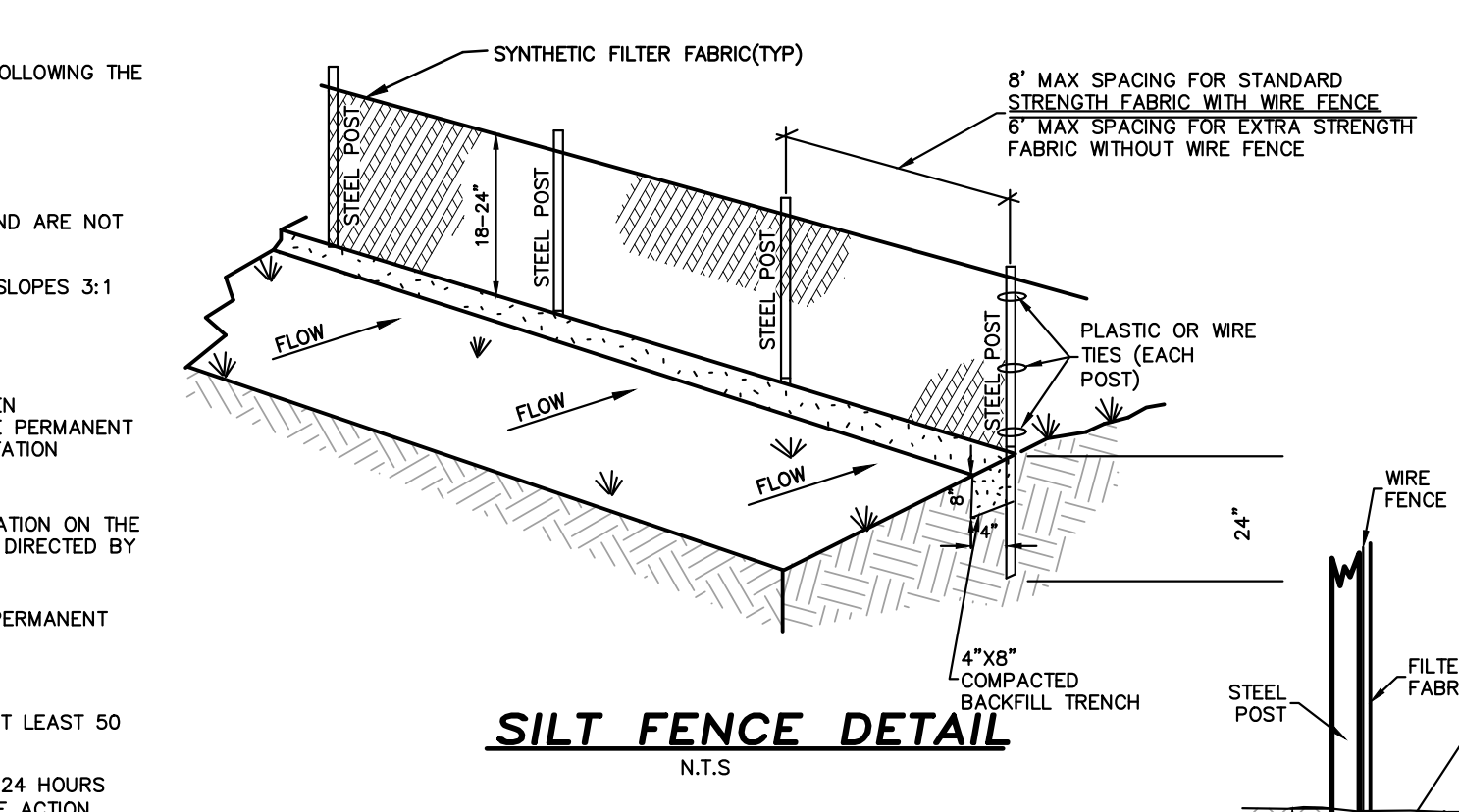
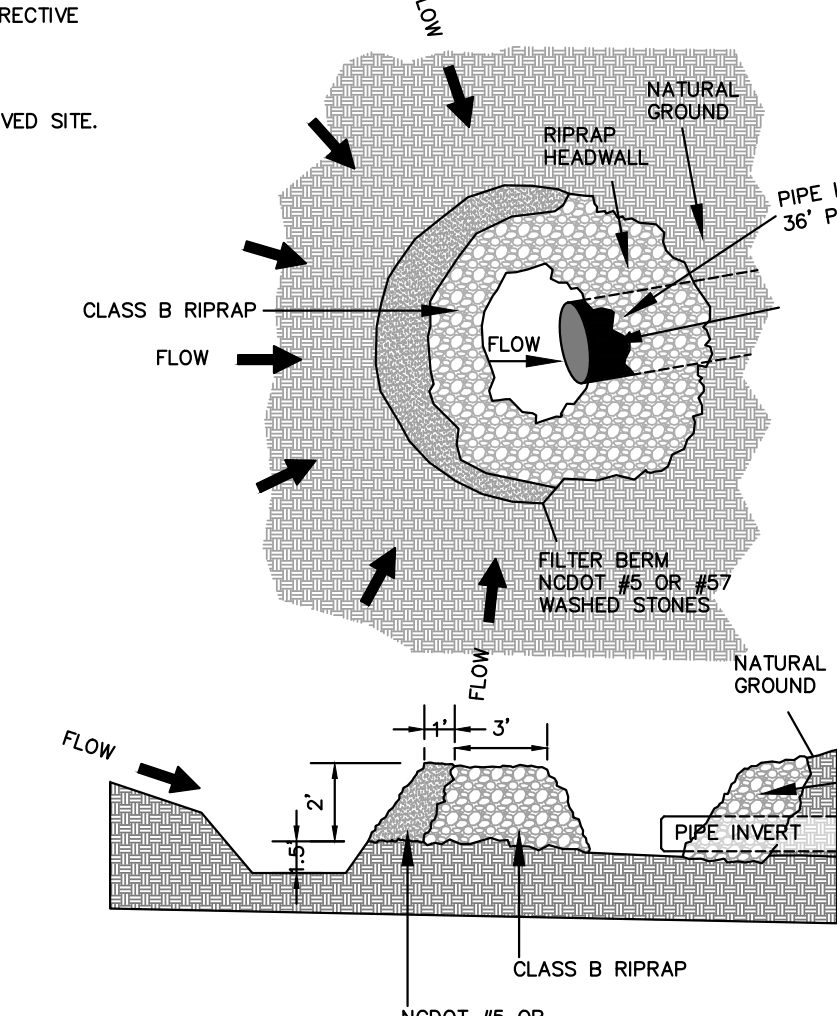
SEEDING DATES: AUG. 16 - APRIL 15:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	40 LBS.
GERMAN MILLET	40 LBS.

SEEDING DATES: APRIL 16 - AUG. 15:

CULVERT INLET PROTECTION

N.T.S.



SILT FENCE DETAIL

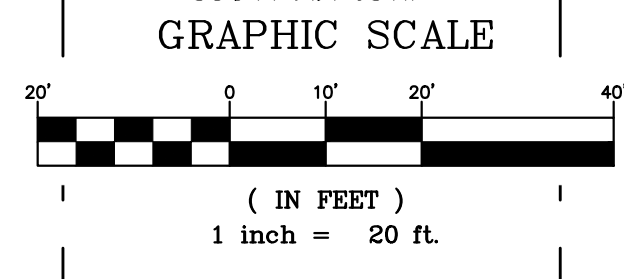
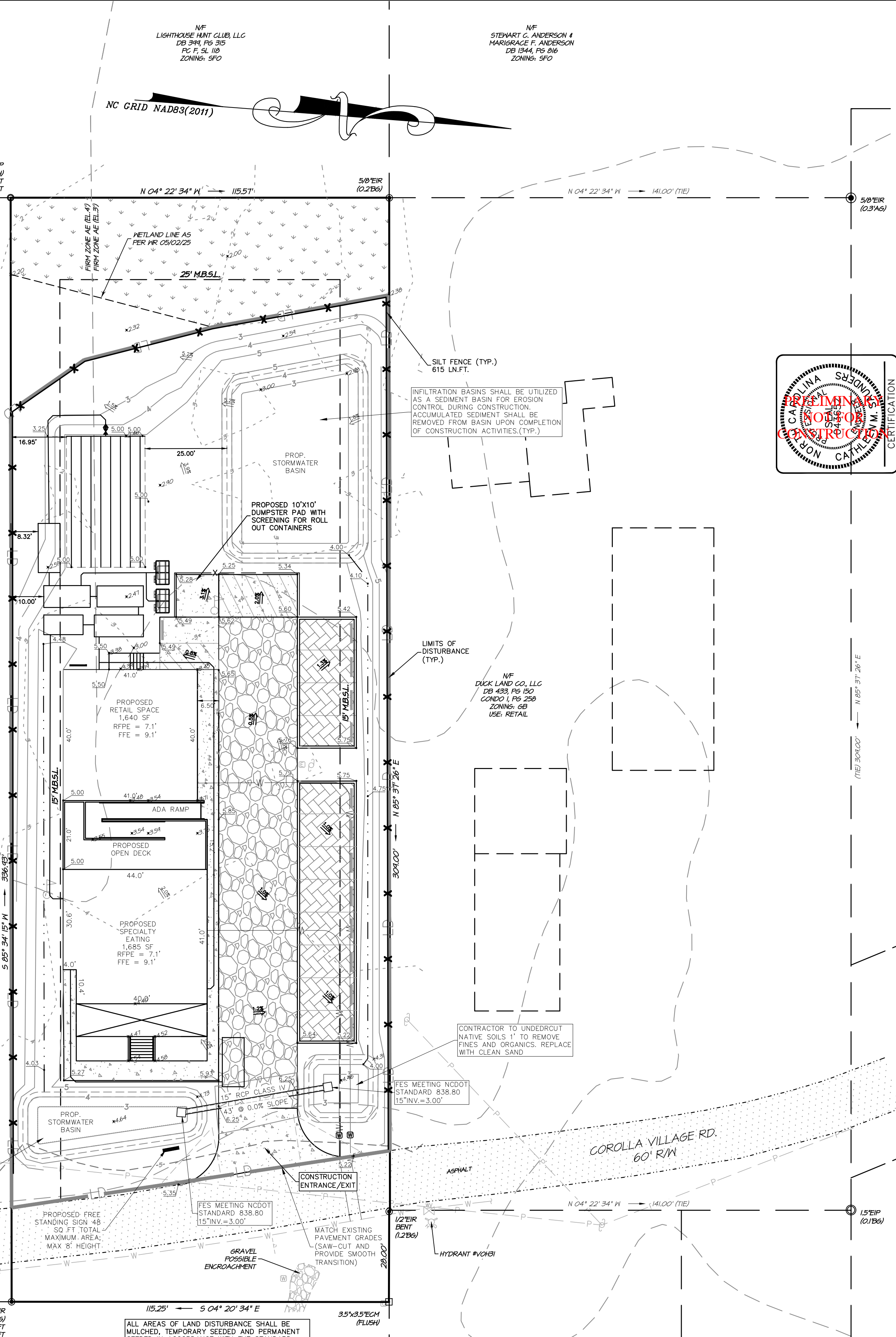
N.T.S.

LEGEND

	EXISTING ASPHALT PAVEMENT		PROPOSED ASPHALT PAVEMENT
	EX. TELEPHONE PEDESTAL		PROPOSED CONCRETE PAVEMENT
	EX. CABLE TV BOX		PROPOSED DROP INLET
	EX. UTILITY POLE		PROPOSED STORM PIPE
	EX. DRAINAGE PIPE		PROPOSED DRAINAGE FLOW
	EX. UG GAS LINE		PROPOSED CONTOUR
	EX. WATER LINE		PROPOSED SPOT GRADE (TOP OF ASPHALT & FLOW LINE) (UNLESS OTHERWISE NOTED)
	EX. SANITARY SEWER LINE		EXISTING CONTOUR

NOTE: ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL. CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT; FAILURE TO KEEP ORDER MAY RESULT IN ISSUANCE OF A STOP WORK ORDER.

NOTE: THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



WithersRavenel
8466 Carondelet Highway | Building 400 | Powells Point, NC 27766
License #: F-1477 | T: 252.471.0147 | www.withersravenel.com

SESC PLAN

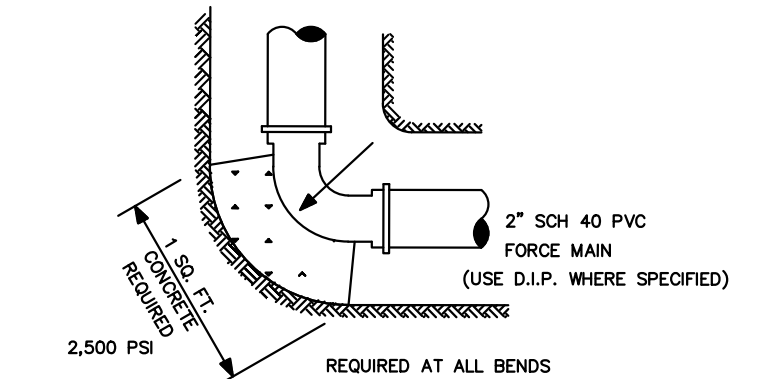
1126 COROLLA VILLAGE RD
TFP, LLC

CURRITUCK COUNTY NORTH CAROLINA

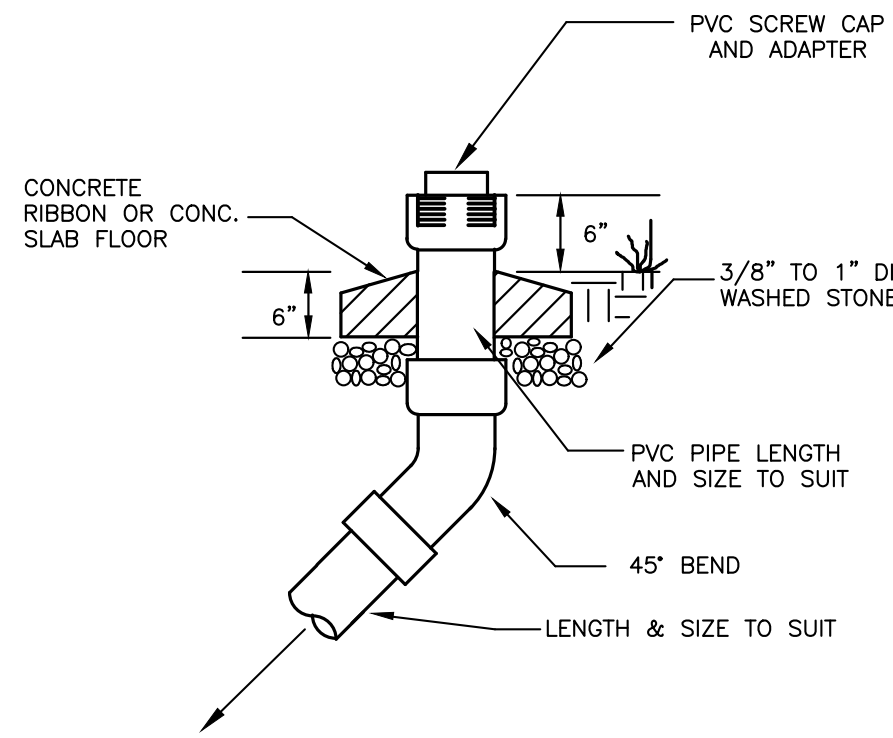
NO.	DATE	REVISIONS

COMMISSION NO. 24-1038
DESIGNED BY: ND
DRAWN BY: CMS
CHECKED BY: CMS
ISSUE DATE: 04/13/26

SHEET NO. **4** OF 7 SHEETS

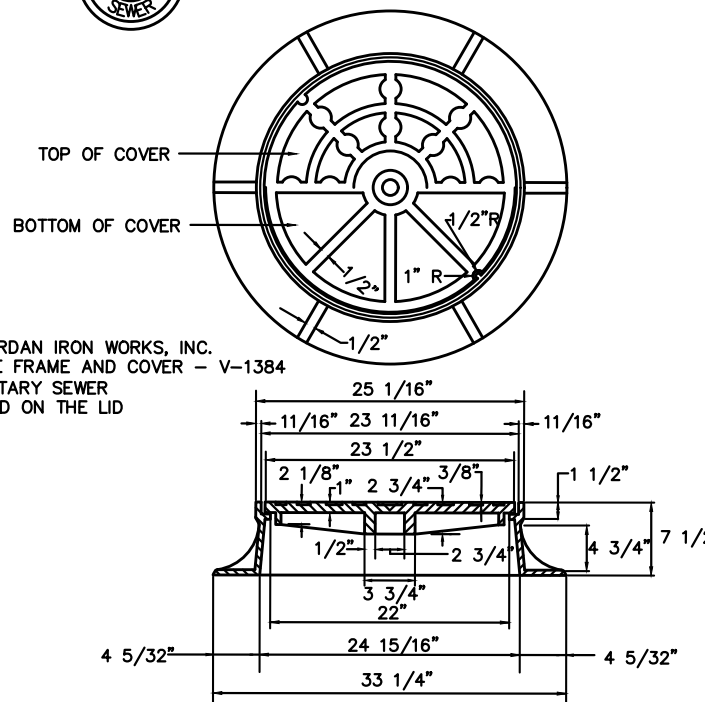


FORCE MAIN THRUST BLOCKS @ BENDS
N.T.S.



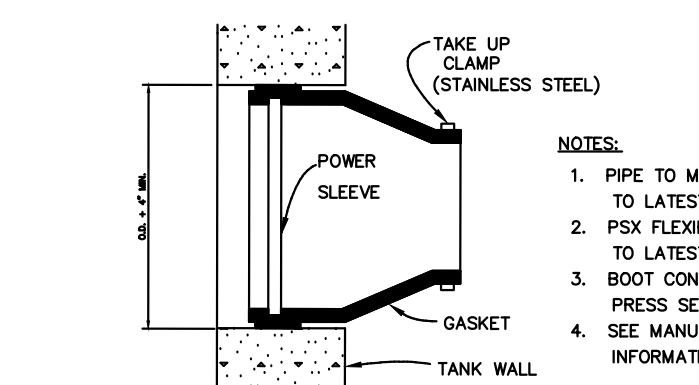
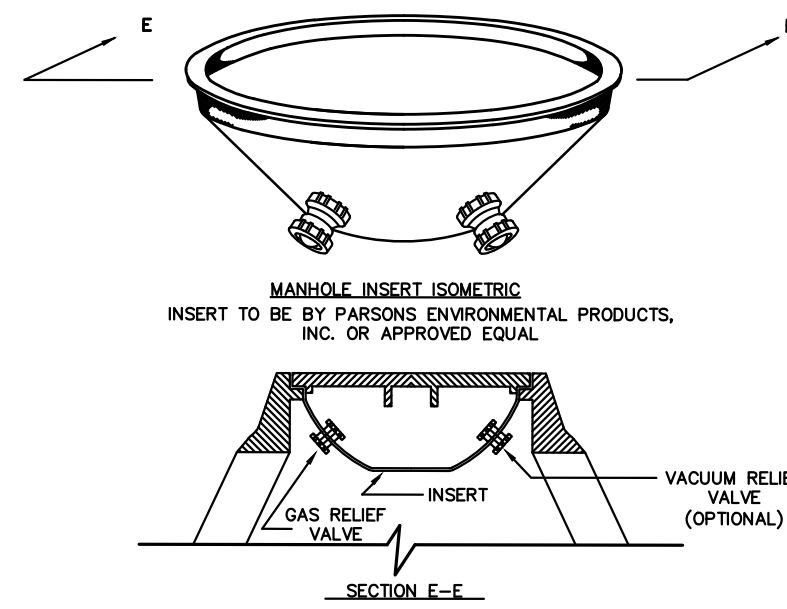
TYPICAL SEWER CLEAN-OUT IN GRASS
N.T.S.

MINIMUM AVERAGE WEIGHTS	
RING	180 LBS
COVER	135 LBS
TOTAL	315 LBS



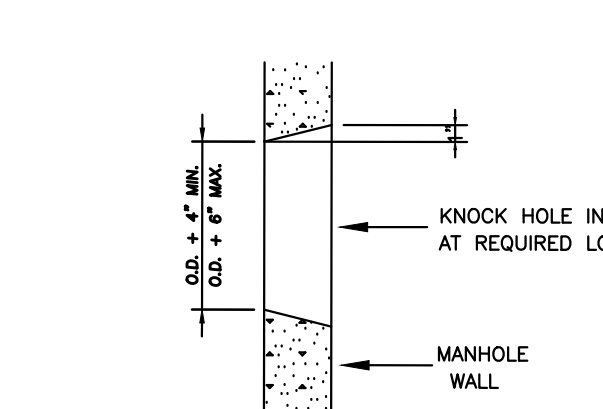
TYPICAL MANHOLE RING & COVER DETAILS
N.T.S.

WATERTIGHT MANHOLE INSERT
N.T.S.



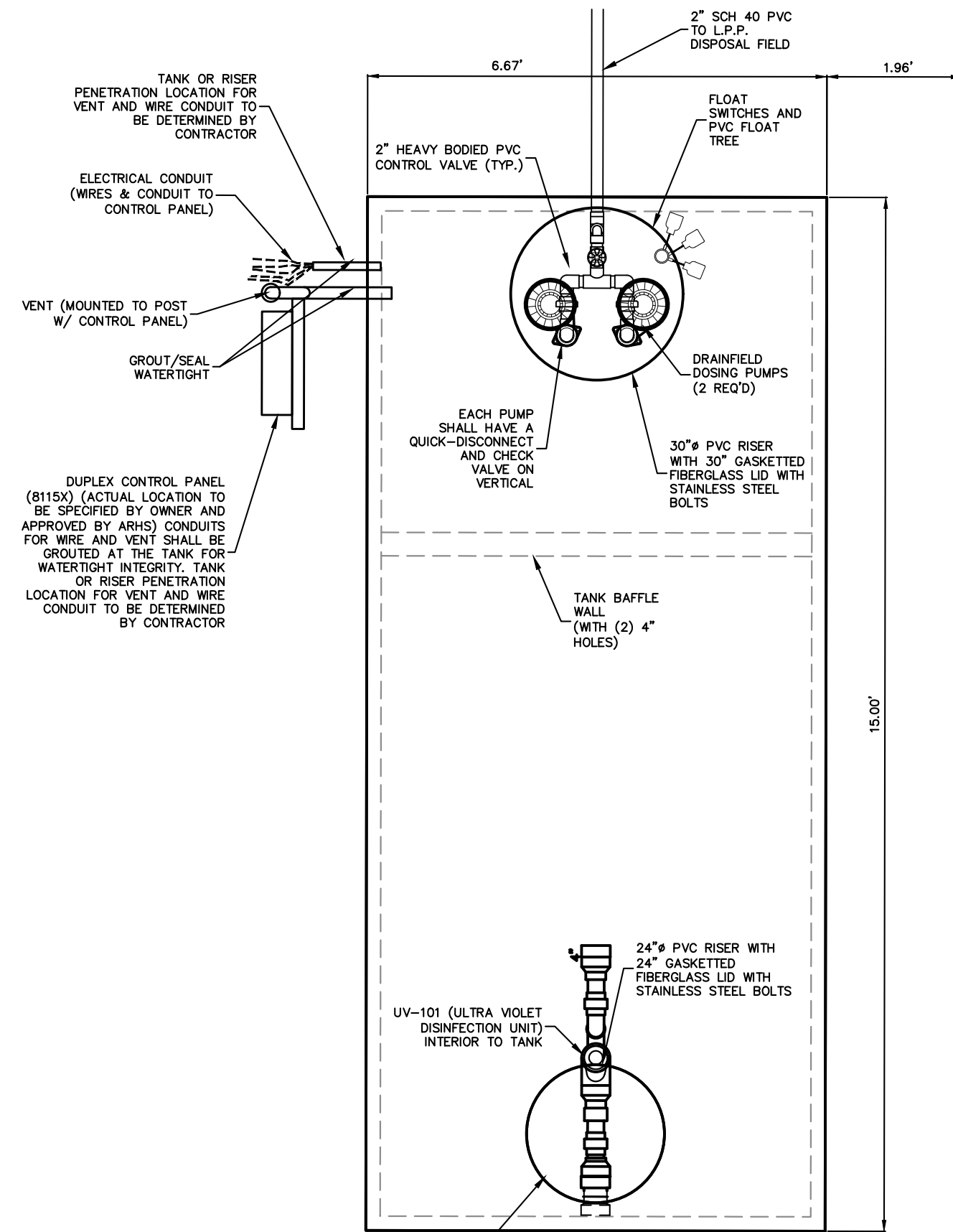
BOOTED PIPE OPENINGS
N.T.S.

- NOTES:
- PIPE TO MANHOLE CONNECTION TO CONFORM TO LATEST ASTM C-478 SPECIFICATION.
 - PSX FLEXIBLE BOOT CONNECTOR TO CONFORM TO LATEST ASTM C-923 SPECIFICATION.
 - BOOT CONNECTOR IS MANUFACTURED BY THE PRESS SEAL GASKET CORP. FORT WAYNE, IN. SEE MANUFACTURER'S LITERATURE FOR FURTHER INFORMATION AND DETAIL.

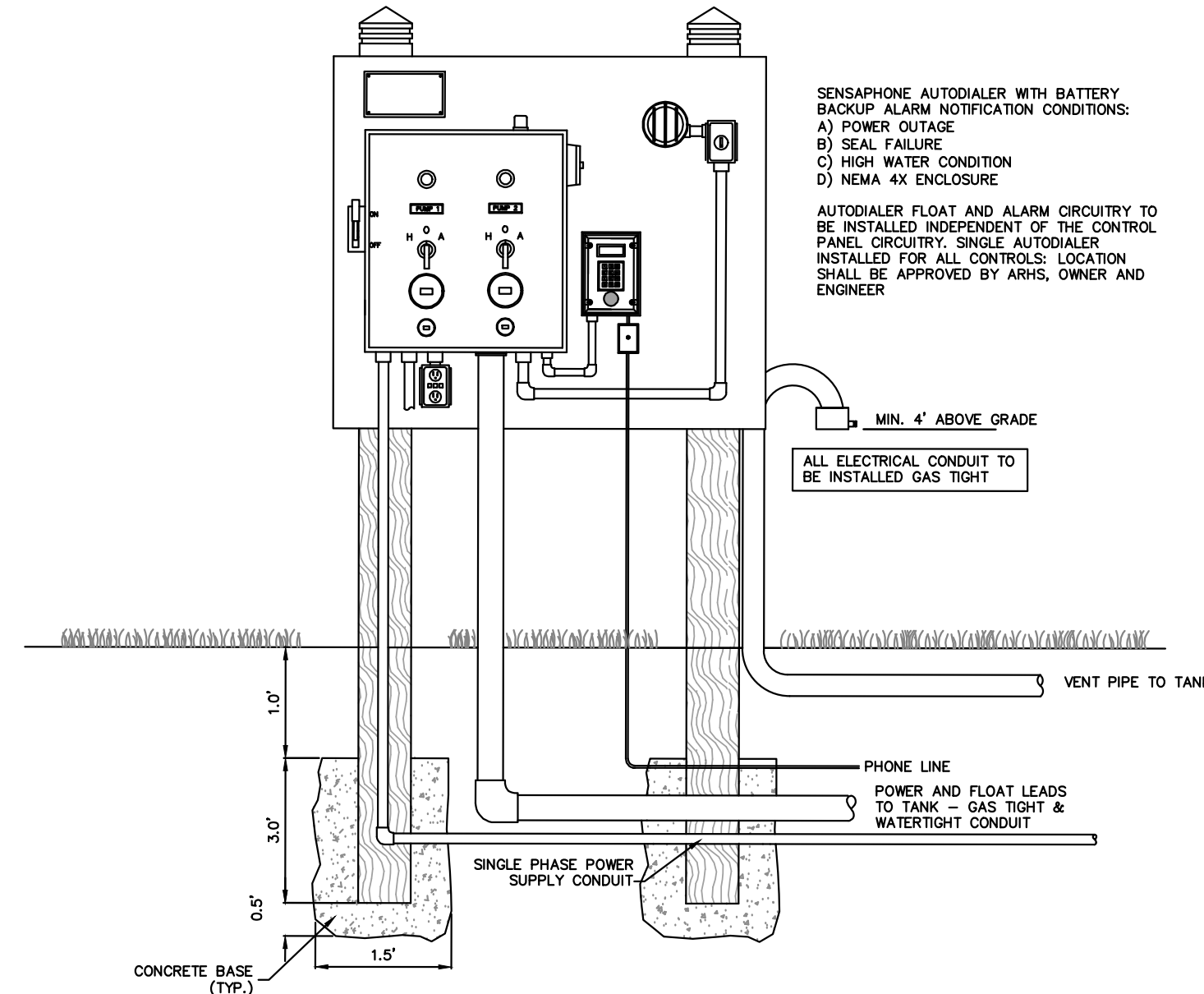


IN FIELD PIPE OPENINGS
N.T.S.

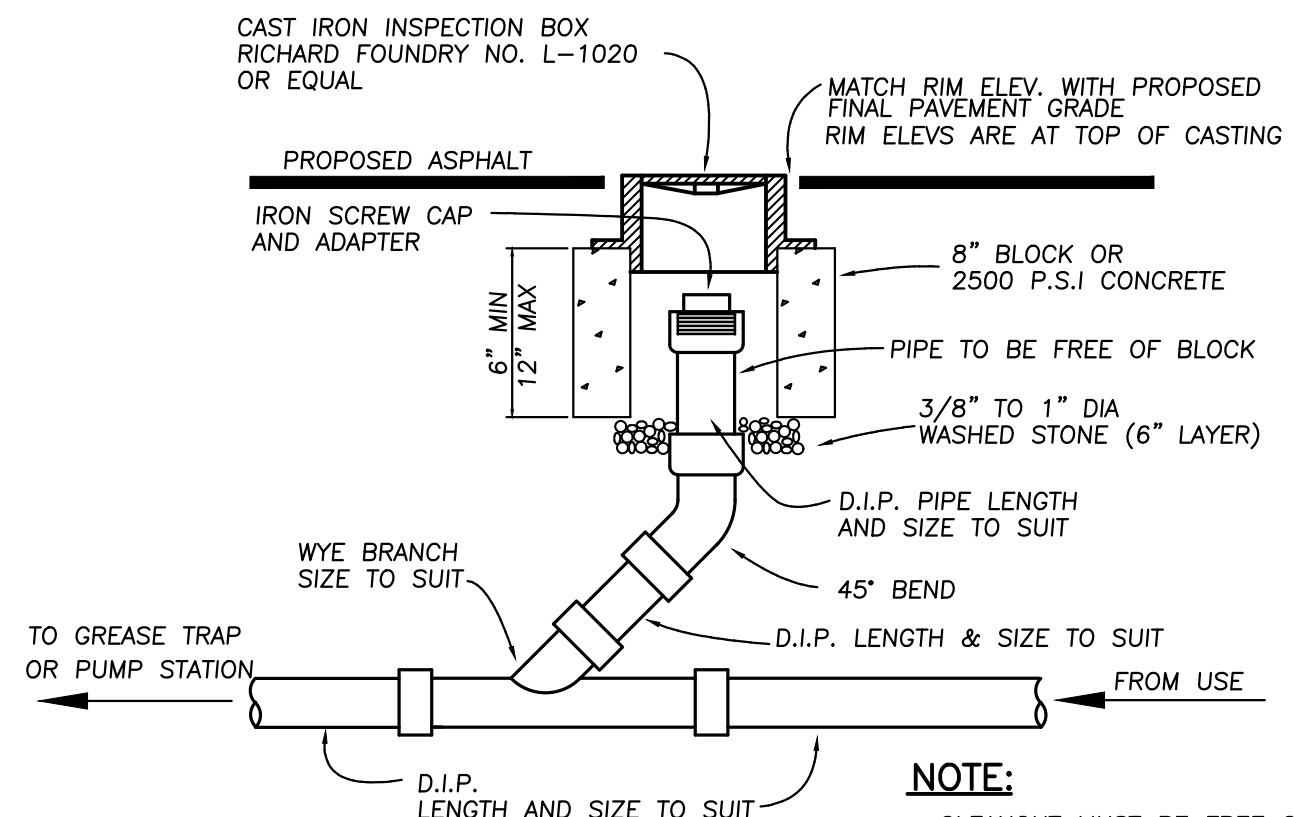
- NOTES:
- THIS APPLIES TO ALL PIPES 6" DIAMETER OR LESS UNLESS OTHERWISE SPECIFIED.
 - CLOSE WITH NON-SHRINK GROUT AFTER PIPE INSTALLATION.



DUPLEX CONTROL PANEL (8115X) & VENT MOUNTING DETAIL
N.T.S.

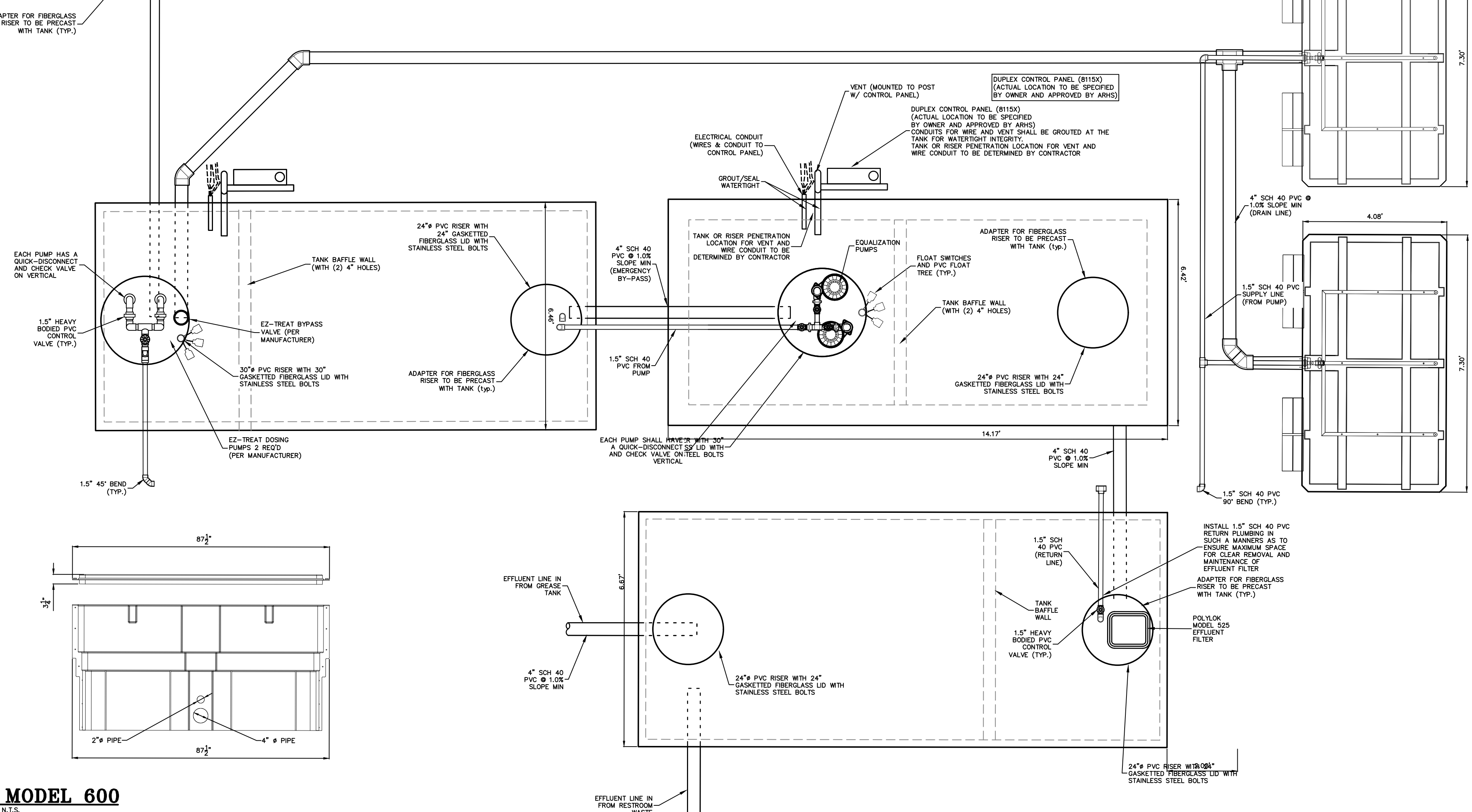
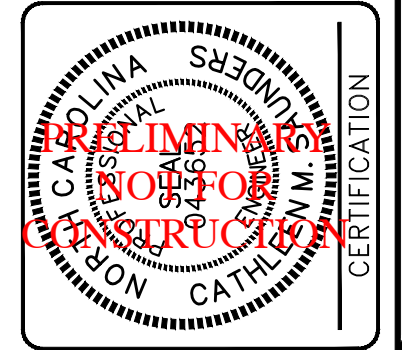


DUPLEX CONTROL PANEL (8115X) & VENT MOUNTING DETAIL
N.T.S.



SEWER CLEAN-OUT WITHIN PAVEMENT
N.T.S.

NOTE:
CLEANOUT MUST BE FREE OF ANY WEIGHT TRANSMITTED BY THE INSPECTION BOX



EZTREAT MODEL 600
N.T.S.

DETAILS PROVIDED BY EZTREAT



REVISIONS

NO.

DATE

WASTEWATER DETAILS

1126 COROLLA VILLAGE RD
TFP, LLC

CURRITUCK COUNTY NORTH CAROLINA

COMMISSION NO. 24-1038
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SHEET NO. 7
OF 7 SHEETS