

CURRITUCK COUNTY NORTH CAROLINA

GENERAL NOTES:

- PROJECT NAME: THE RESERVE
- 227 CARATOKE HWY.
- MOYOCK, NC 27958
- PARCEL ID#: 0022-000-078E-0000 (PARCEL E-3) PRIMARY ADDRESS: 838 TULLS CREEK RD., MOYOCK, NC
- PROPERTY ZONING: SFM SINGLE FAMILY-MAINLAND
- ZONES: X F.E.M.A. F.I.R.M. MAP# 3721804000 K, CID 370078, EFFECTIVE DATE DECEMBER 12, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- THIS PROPERTY CONTAINS NO ACOE "404' JURISDICTIONAL WETLANDS.
- 6. A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 20' EASEMENT FOR UTILITIES, DRAINAGE AND A PEDESTRIAN SIDEWALK ALONG FRONT PROPERTY LINE IS HEREBY ESTABLISHED.
- 7. EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING: 2020 FIELD SURVEY DATA BISSELL PROFESSIONAL GROUP. ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.
- 8. ALL UTILITIES ARE TO BE UNDERGROUND.
- 25' EASEMENTS ARE HEREBY DEDICATED FROM THE TOP OF BANK OF ALL OUTFALL DITCHES DRAINING MORE THAN FIVE ACRES.

NO MORE THAN 30% OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE ISSUED BY THE STATE OF NORTH STORMWATER PERMIT NUMBER CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.

AREA TABULATIONS:

PROPOSED LOT AREA:

OPEN SPACE PROVIDED: 1.481 AC. (40.4%)

PROPOSED R/W AREA:

REQUIRED OPEN SPACE (40%):

(PRIMARY CONSERVATION AREA):

LOT DEVELOPMENT CONFIGURATION:

(SECONDARY CONSERVATION

MINIMUM LOT WIDTH:

CORNER SIDE YARD:

3.664 AC.

2.183 AC.

1.46 AC.

50 FT.

10 FT.

25 FT.

50 FT.

TOTAL TRACT AREA:

REVIEW OFFICER CERTIFICATE STATE OF NORTH CAROLINA COUNTY OF CURRITUCK

REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE DISTRICT ENGINEER

THE RESERVE

A 2 LOT CONSERVATION SUBDIVISION MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

Sheet Number	Sheet Title
1	COVER SHEET, DEVELOPMENT NOTES & SITE LOCATION
2	EXXISTING SITE CONDITIONS & SITE FEATURES PLAN
3	SITE DEVELOPMENT, UTILITIES & LANDSCAPE PLAN
4	CONSTRUCTION NOTES & DETAILS

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT A PAYMENT IN LIEU OF RECREATION AND PARK AREA DEDICATION WILL BE PROVIDED IN ACCORDANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENT IN LIEU OF RECEIVED BY THE COUNTY SHALL ONLY BE USED FOR THE ACQUISITION AND DEVELOPMENT OF PARK AREAS AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF THE NORTH CAROLINA GENERAL STATUTES

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

ADMINISTRATOR

ADJACENT ACTIVE FARMLAND STATEMENT AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS OF THIS DEVELOPMENT ADJOIN LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS NORMAL OPERATION.

OWNERSHIP AND DEDICATION CERTIFICATE I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

_____, A NOTARY PUBLIC ____COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE. WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF_____, 20____

NOTARY PUBLIC MY COMMISSION EXPIRES _____

REVIEW OFFICER CERTIFICATE STATE OF NORTH CAROLINA COUNTY OF CURRITUCK

OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REQUIRED IMPROVEMENTS CERTIFICATE I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

REVIEW OFFICER

REGISTERED LAND SURVEYOR/ENGINEER

SURVEYOR'S CERTIFICATION

I, MICHAEL D. BARR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN BOOKS REFERENCED); THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000 AND VERTICAL ACCURACY IS ± 0.05'; THAT THE GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS WERE PERFORMED TO THE GEOSPATIAL POSITIONING ACCURACY STANDARDS, PART 2: STANDARDS FOR GEODETIC NETWORKS AT THE <u>2-CENTIMETER</u> ACCURACY CLASSIFICATION (95% CONFIDENCE) USING <u>REAL TIME KINEMATIC AND TRADITIONAL TRAVERSE</u>. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 47-30 SECTION F-11-C-1AND FURTHER THAT IT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)."

REGISTRATION NUMBER

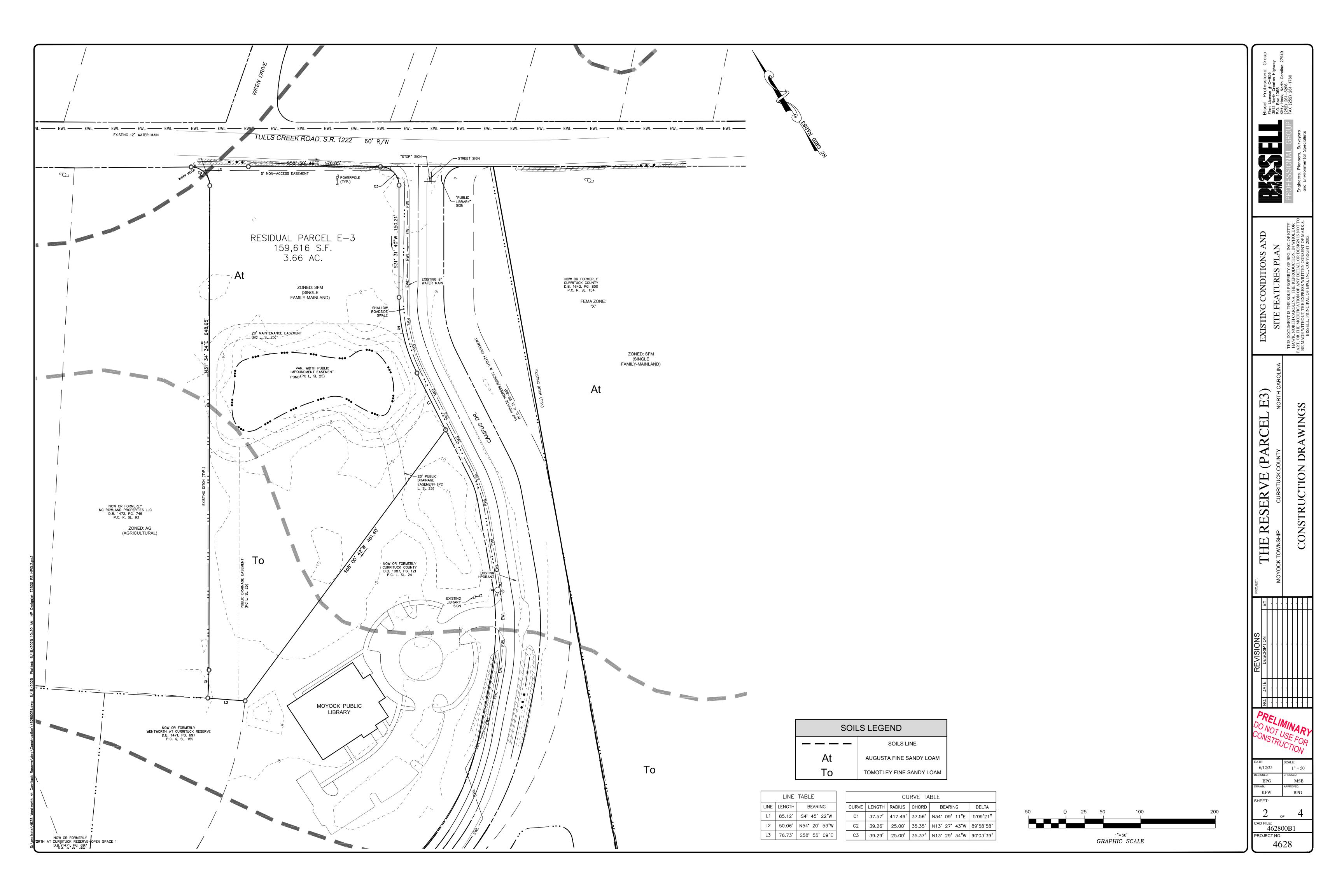
THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS ____

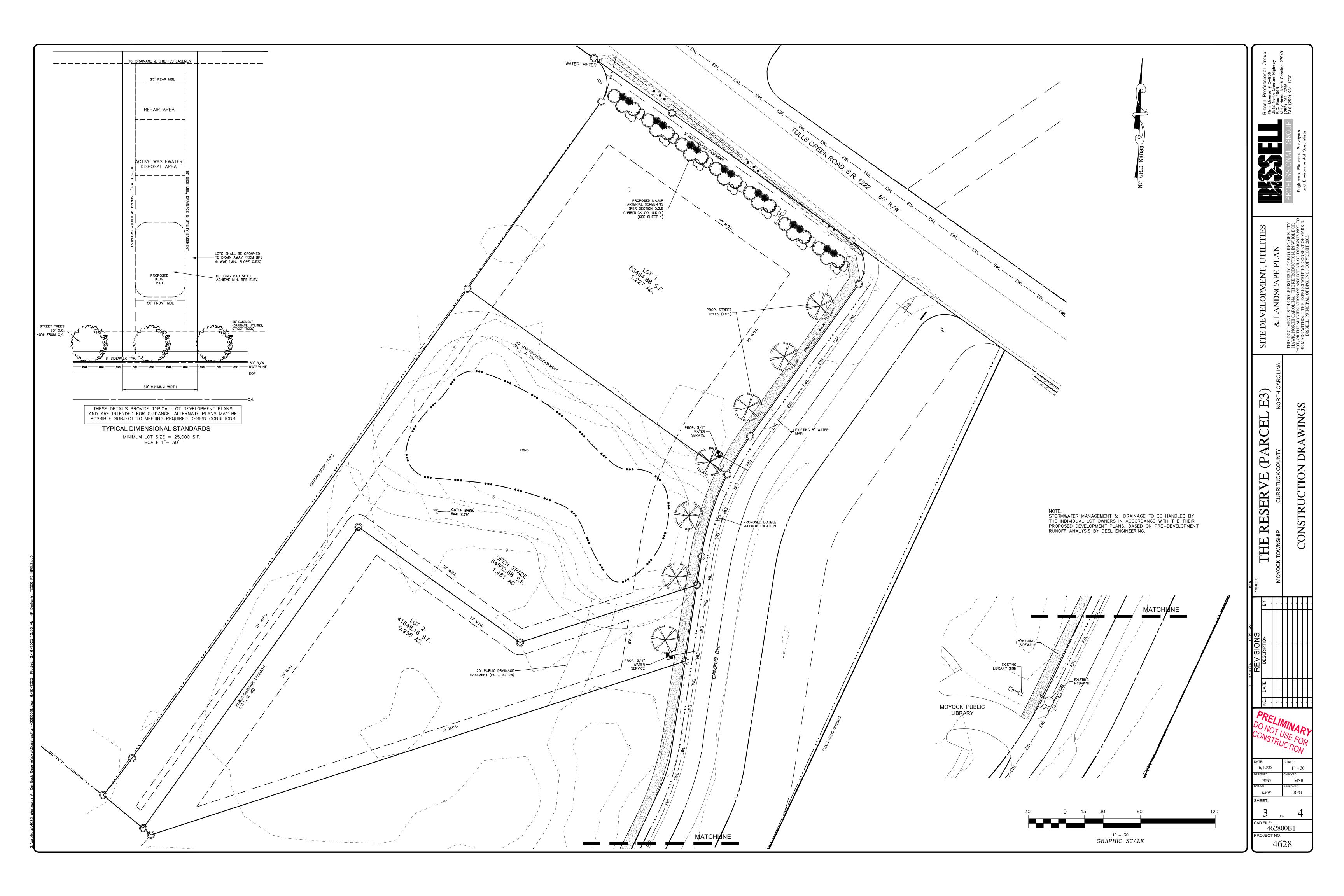
LEGEND			
	ROADWAY CENTERLINE		
	RIGHT-OF-WAY		
	PROPERTY BOUNDARY		
	ADJOINING PROPERTY LINE		
	SHORELINE		
⊡	EXISTING CONCRETE MONUMENT		
⊡	SET CONCRETE MONUMENT		
•	SET IRON ROD		
0	EXISTING IRON ROD		
0	EXISTING IRON PIPE		
N.T.S.	NOT TO SCALE		
P.C.	PLAT CABINET		
D.B.	DEED BOOK		
SL	SLIDE		
SF	SQUARE FEET		
AC	ACRES		

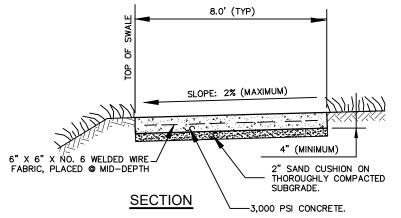
LEGEND		
		- ROADWAY CENTERLINE
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	>	PROPOSED SWALE W/ FLOW ARROW
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— FEMA——	— FEMA——	FEMA BOUNDARY LINE
		EXISTING 404 BOUNDARY
6		- EXISTING GRADE CONTOUR
		30' UNDISTURBED BUFFER (COUNTY)
		EXISTING CULVERT
D		EXISTING UTILITY POLE
— ОНЕ ——	— ОНЕ —	EXISTING OVERHEAD TRANSMISSION LINES
– EWL ——	— EWL —	- EXISTING WATER LINE
	_	PROPOSED WALKING TRAIL

	D.B.	DEED BOOK		
	SL	SLIDE		
	SF	SQUARE FEET		
	AC	ACRES		
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		EXISTING 404 BOUNDARY		
	- 6	EXISTING GRADE CONTOUR		
		30' UNDISTURBED BUFFER (COUNTY)		
		EXISTING CULVERT		
	D	EXISTING UTILITY POLE		
- OHE	——— ОНЕ ——	EXISTING OVERHEAD TRANSMISSION LINES		
— EWL	——— EWL ——	- EXISTING WATER LINE		
		PROPOSED WALKING TRAIL		

ONSTRU	ICTION		
DATE:	SCALE:		
6/12/25	N/A		
ESIGNED:	CHECKED:		
BPG	MSB		
PRAWN:	APPROVED:		
KFW	BPG		
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CAD FILE: 462800B1			







TYP. CONCRETE SIDEWALK DETAIL

- GENERAL LANDSCAPING AND BUFFERING NOTES:

 1. STREET TREES (6.2.1.K)
 REQUIREMENTS

 TREES SHALL BE PLANTED ALONG EACH SIDE OF ROADWAYS AS GENERALLY SPECIFIED ON THE LANDSCAPE PLAN.

 SEE TYPICAL ROADWAY SECTION DETAIL ON SHEETS 37 & 38

 TREES SHALL BE PLANTED WITHIN PLANTING EASEMENTS

 TREES SHOWN SHALL BE CANOPY TYPE PLANTED A MAXIMUM OF 50' O/C. UNDERSTORY TYPE TREES MAY BE SUBSTITUTED AND PLANTED A MAXIMUM OF 30' O/C

 SEE TREE SPECIES AND PLANTING NOTE BELOW

- SEE TREE SPECIES AND PLANTING NOTE BELOW
 2. FARM COMPATIBILITY BUFFER (5.11.5.A)
 REQUIREMENTS

 A 50' WIDE FARM COMPATIBILITY BUFFER SHALL BE PROVIDED ALONG THE WESTERN & EASTERN DEVELOPMENT BOUNDARIES ADJOINING AN EXISTING AGRICULTURAL USE. THE BUFFER SHALL BE INSTALLED ACCORDING TO THIS LANDSCAPING PLAN AND THESE NOTES.
 THE BUFFER SHALL REMAIN UNDISTURBED FOR A MINIMUM DISTANCE OF 25' FROM THE EDGE OF THE EXISTING AGRICULTURAL USE. THIS REQUIREMENT IS WAVED ALONG THE EASTERN FARMLAND BUFFER IN—LIEU OF THE ROWLAND CANAL IMPROVEMENTS REQUIRED ALONG THE BOUNDARY OF THIS PROJECT. THE REQUIREMENT IS APPLICABLE ALONG THE WESTERN FARMLAND BUFFER.
 THE BUFFER SHALL INCLUDE AT LEAST 14 TREES, EQUALLY DISTRIBUTED, FOR EVERY 100 LINEAR FEET OF BUFFER LENGTH TO CREATE AN OPAQUE BUFFER. PLANTED TREES SHALL CONSIST OF MIXED HARDWOODS AND MAY CONTAIN UP TO 50% EVERGREEN, EXCLUDING PINE TREES. EXISTING VEGETATION CAN BE USED TO MEET THESE REQUIREMENTS.
 EXISTING OR PLANTED TREES SHALL BE STAGGERED IN TWO OR MORE ROWS WITHIN THE BUFFER.
 PLANTED TREES ARE NOT SUBJECT TO THE MINIMUM SIZE STANDARDS DESCRIBED IN THE TREE SPECIES AND PLANTING NOTES BELOW.
 A FENCE, BERM, DITCH OR ANY COMBINATION OF THESE FEATURES SHALL BE PROVIDED TO PHYSICALLY SEPARATE THE AGRICULTURAL USE FROM THE NEW DEVELOPMENT. THE EXISTING FARM DITCH AND CANAL ALONG THE PROJECT BOUNDARIES SHALL BE RETAINED TO MEET THIS REQUIREMENT.

- 3. SITE LANDSCAPING (5.2.4)

 REQUIREMENTS:

 a. (2) CALIPER INCHES OF CANOPY TREES PER ACRE.
- b. (1) SHRUB PER EACH 5 FEET OF BUILDING FACADE FACING A STREET.
 c. AT LEAST ONE—HALF OF SHRUBS SHALL BE EVERGREEN.
- PROVISIONS:
 a. THE MULTI-FAMILY DEVELOPMENT AREA OF THIS PHASE OF THE PROJECT TOTALS APPROX. 5 ACRES
- G. THE MOLTI-FAMILY DEVELOPMENT AREA OF THIS PHASE OF THE PROJECT TOTALS APPROX. 5 ACRES
 REQUIRING (10) AGGREGATE CALIPER INCHES OF CANOPY TREE. ADJOINING PROPOSED STREET TREES ARE
 CREDITED TO MEET THIS REQUIREMENT.
 b. SEE PLAN FOR SHRUBS PROPOSED ALONG THE BUILDING FACADE FACING MOYOCK LANDING DRIVE. 50%
 SHALL BE EVERGREEN.

- 4. VEHICULAR USE AREA LANDSCAPING (5.2.5)

 REQUIREMENTS:

 a. SHADING NO PARKING SPACE TO BE MORE THAN 60' FROM THE TRUNK OF A CANOPY TREE b. PERIMETER LANDSCAPING STRIPS COMPOSED OF:

 b.a. SHRUBS © 5 FT ON—CENTER ALONG ABUTTING STREET R/W OR OTHER DEVELOPMENT b.b. SHRUBS © 8 FT ON—CENTER ALONG ABUTTING VACANT LAND b.c. ALL SHRUBS MUST BE EVERGREEN.
- PROVISIONS:

 d. SHADING SEE PLAN FOR CANOPY TREES PROPOSED AROUND VEHICLE USE AREAS AND LOCATED WITHIN 60' OF ALL PARKING SPACES.
 b. PERIMETER LANDSCAPING STRIPS COMPOSED OF:
- b.g. SEE PLAN FOR EVERGREEN SHRUBS SPACED © 5' O.C. ALONG PERIMETER OF PARKING AREAS AND 8' O.C. AROUND RV PARKING LOT.

- PERIMETER LANDSCAPE BUFFERS (5.2.6)
 REQUIREMENTS:
 G. A GENERAL "VEGETATIVE BUFFER" SHALL BE PROVIDED ALONG THE DEVELOPMENTS BOUNDARY WITH THE ADJOINING RAILROAD AS PRESCRIBED BY THE DEVELOPMENTS APPROVED PRELIMINARY PLAT b. PLANTING REQUIREMENTS OF THE "VEGETATIVE BUFFER" ARE AT THE DISCRETION OF THE DEVELOPER.

 DEPONISIONS.
 - PROVISIONS:

 a. PROPOSED PLANTINGS SHALL BE CONSISTENT WITH THE PLANTING REQUIREMENTS OF THE FARMLAND
- d. PROPOSED PLANTINGS SHALL BE CONSISTENT WITH THE FLANTING REGISTRATION OF STREET OF BUFFER.
 b. THE BUFFER SHALL INCLUDE AT LEAST 14 TREES, EQUALLY DISTRIBUTED, FOR EVERY 100 LINEAR FEET OF BUFFER LENGTH TO CREATE AN OPAQUE BUFFER. PLANTED TREES SHALL CONSIST OF MIXED HARDWOODS AND MAY CONTAIN UP TO 50% EVERGREEN, EXCLUDING PINE TREES. EXISTING VEGETATION CAN BE USED TO MEET THESE REQUIREMENTS.
 c. PLANTED TREES SHALL BE STAGGERED IN TWO OR MORE ROWS WITHIN THE BUFFER.
 d. PLANTED TREES ARE NOT SUBJECT TO THE MINIMUM SIZE STANDARDS DESCRIBED IN THE TREE SPECIES AND PLANTING NOTES BELOW.

- STREETSCAPE (5.2.8.2)
 REQUIREMENTS: [PER MAJOR ARTERIAL W/ ACCESS]
 a. (6) AGGREGATE CALIPER INCHES OF CANOPY TREES PER 100 LINEAR FEET.
 - b. (3) AGGREGATE CALIPER INCHES OF UNDERSTORY TREES PER 100 LINEAR FEET. c. (5) SHRUBS PER 100 LINEAR FEET.
- PROVISIONS:

 a. SEE PLAN FOR LOCATIONS OF A TOTAL OF 1,370 LF OF MAJOR ARTERIAL STREETSCAPING b. PLANTINGS SHALL BE AS REQUIRED ABOVE

- 7. TREE & SHRUB SPECIES AND PLANTING GUIDELINES:
 ALL TREES AND SHRUBS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING STANDARDS SPECIFIED IN SECTION 3.5 OF THE CURRITUCK COUNTY ADMINISTRATIVE MANUAL AND THIS PLAN. <u>CANOPY</u> AND <u>UNDERSTORY</u> TREE SPECIES SHALL BE OF THOSE LISTED UNDER "TABLE 3.4.6: RECOMMENDED PLANTINGS" IN THE SAME MANUAL.

- PLANTINGS" IN THE SAME MANUAL.

 TREE SPECIES SHALL BE DIVERSE. A MINIMUM OF (4) DIFFERENT SPECIES OF CANOPY AND UNDERSTORY TREES SHALL BE INSTALLED IN ROUGHLY EQUAL PROPORTIONS.

 AT INSTALLATION, CANOPY TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES MEASURED AT 6 INCHES. ABOVE GRADE. EIGHT FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.

 AT INSTALLATION, UNDERSTORY TREES SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES MEASURES AT 6 INCHES ABOVE GRADE. SIX FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.

 SHRUBS SHALL BE PLANTED AT THE SPACING NOTED ON THE PLANS AND FORM A VISUAL SCREEIN WITH A MIN. MATURE HEIGHT OF 36". SHRUBS SHALL BE EVERGREEN AS NOTED AND BE A MINIMUM OF (3) GALLON SIZE AT PLANTING.

 MATERIALS SHALL BE OF HIGH—QUALITY NURSERY GRADE.

 THE USE OF NATIVE, DROUGHT TOLERANT TREES IS ENCOURAGED.

 A REPUTABLE LANDSCAPE CONTRACTOR OR SUPPLIER SHALL PREPARE AN ITEMIZED SCHEDULE OF TREES TO BE INSTALLED IN ACCORDANCE WITH THIS LANDSCAPE PLAN. THIS SCHEDULE SHALL BE REVIEWED BY CURRITUCK COUNTY AND THE ENGINEER TO DETERMINE COMPLIANCE BEFORE ORDERING AND INSTALLATION. ALTERNATE TREES AND SPECIFICATIONS MAY BE PRESENTED FOR REVIEW AND APPROVAL.



CONSTRUCTION NOTES
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