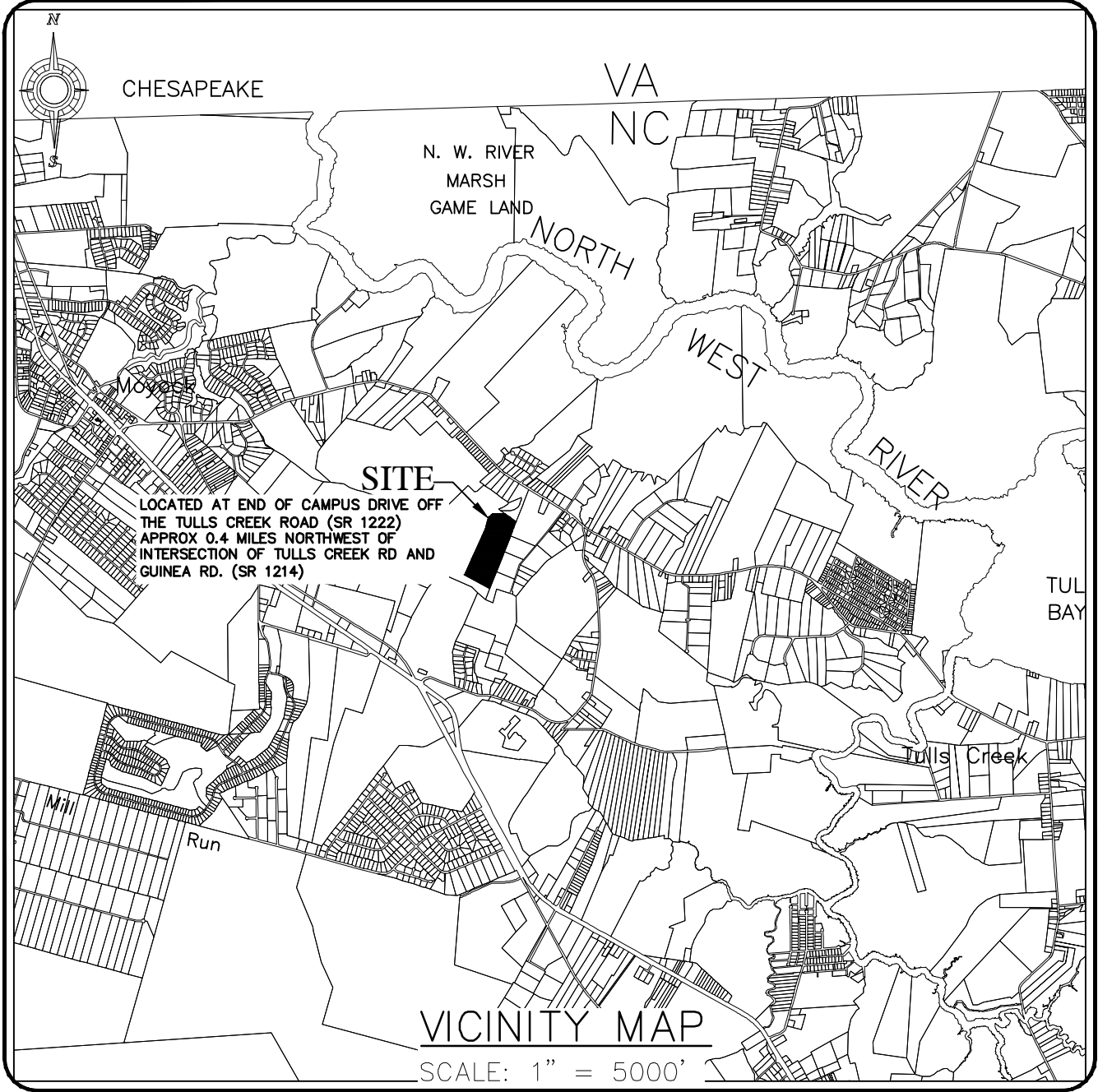


S:\projects\4628 WestNorth At Currituck Reserve\Map Construction\462800B1.dwg 6/16/2025 10:30 AM HP Desktop1 17500 IP HP52.2.pc3



CURRITUCK COUNTY NORTH CAROLINA

GENERAL NOTES:

- PROJECT NAME: THE RESERVE
- OWNER/APPLICANT: APVA, LLC
227 GARATOKI HWY.
MOYOCK, NC 27958
- PROPERTY DATA:
PARCEL ID#: 0022-000-078E-0000 (PARCEL E-3)
PRIMARY ADDRESS: 838 TULLS CREEK RD., MOYOCK, NC
RECORDED REFERENCES: D.B. 1471, PG. 697
P.C. Q, SL. 89
PROPERTY ZONING: SFM - SINGLE FAMILY--MAINLAND
- F.I.R.M. DATA:
ZONES: X - F.E.M.A. F.I.R.M. MAP# 3721804000 K, CID 370078, EFFECTIVE DATE
DECEMBER 12, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS
SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED
DEVELOPMENT ORDINANCE.
- THIS PROPERTY CONTAINS NO ACOE "404" JURISDICTIONAL WETLANDS.
- A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE
PROPERTY LINES AND A 20' EASEMENT FOR UTILITIES, DRAINAGE AND A
PEDESTRIAN SIDEWALK ALONG FRONT PROPERTY LINE IS HEREBY ESTABLISHED.
- EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING:
 - 2020 FIELD SURVEY DATA BISSELL PROFESSIONAL GROUP.,
 - ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.
- ALL UTILITIES ARE TO BE UNDERGROUND.
- 25' EASEMENTS ARE HEREBY DEDICATED FROM THE TOP OF BANK OF ALL
OUTFALL DITCHES DRAINING MORE THAN FIVE ACRES.

STORMWATER STATEMENT

NO MORE THAN 30% OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES
AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK, STONE, SLATE, OR
SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF
SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE
STORMWATER PERMIT NUMBER _____ ISSUED BY THE STATE OF NORTH
CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE
CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES
(DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE
DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE
ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE
MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST
RESTRICTIVE LOT COVERAGE SHALL APPLY.

REVIEW OFFICER CERTIFICATE

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____, REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP
OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

DATE REVIEW OFFICER

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE

I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT
ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR
COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM
SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF
TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE
NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE DISTRICT ENGINEER

AREA TABULATIONS:

TOTAL TRACT AREA:	3.664 AC.
PROPOSED LOT AREA:	2.183 AC.
PROPOSED R/W AREA:	0 AC.
REQUIRED OPEN SPACE (40%):	1.46 AC.
OPEN SPACE PROVIDED:	1.481 AC. (40.4%)
(PRIMARY CONSERVATION AREA):	0.00 AC.
(SECONDARY CONSERVATION AREA):	1.481 AC.

LOT DEVELOPMENT CONFIGURATION:

MINIMUM LOT WIDTH:	60 FT.
SETBACKS:	
FRONT:	50 FT.
SIDE:	10 FT.
BACK:	25 FT.
CORNER SIDE YARD:	50 FT.

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT
A PAYMENT IN LIEU OF RECREATION AND PARK AREA DEDICATION WILL BE
PROVIDED IN ACCORDANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT
ORDINANCE. PAYMENT IN LIEU OF RECEIVED BY THE COUNTY SHALL ONLY BE USED
FOR THE ACQUISITION AND DEVELOPMENT OF PARK AREAS AND OPEN SPACE SITES
CONSISTENT WITH THE REQUIREMENTS OF THE NORTH CAROLINA GENERAL STATUTES
SECTION 153A-331.

APPROVAL CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN
COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND,
THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL
REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED
IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE ADMINISTRATOR

ADJACENT ACTIVE FARMLAND STATEMENT

AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS OF THIS
DEVELOPMENT ADJOIN LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS
ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS
NORMAL OPERATION.

OWNERSHIP AND DEDICATION CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY
IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY
FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS
PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS,
EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL
THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS'
ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE
DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS
APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE OWNER

I, _____, A NOTARY PUBLIC

OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

PERSONALLY APPEARED BEFORE

ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

REVIEW OFFICER CERTIFICATE

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____, REVIEW
OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO
WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY
REQUIREMENTS FOR RECORDING.

DATE REVIEW OFFICER

REQUIRED IMPROVEMENTS CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY
UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE
PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND SAID
IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

DATE REGISTERED LAND SURVEYOR/ENGINEER

REGISTRATION NUMBER

SURVEYOR'S CERTIFICATION

I, MICHAEL D. BARR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN
ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN BOOKS
REFERENCED); THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000 AND VERTICAL
ACCURACY IS $\pm 0.05'$; THAT THE GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS WERE
PERFORMED TO THE GEOSPATIAL POSITIONING ACCURACY STANDARDS, PART 2: STANDARDS
FOR GEODETIC NETWORKS AT THE 2-CENTIMETER ACCURACY CLASSIFICATION (95% CONFIDENCE)
USING REAL-TIME KINEMATIC AND TRADITIONAL TRAVERSE. THAT THIS PLAT WAS PREPARED IN
ACCORDANCE WITH G.S. 47-30 AS AMENDED. THAT THIS PLAT MEETS THE REQUIREMENT OF
G.S. 47-30 SECTION F-11-C-1AND FURTHER THAT IT MEETS THE REQUIREMENTS OF THE
STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)."

THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF
A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS _____

DATE OF _____, A.D., 2025.

SIGNATURE L-1756

LEGEND	
---	ROADWAY CENTERLINE
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	SHORELINE
□	EXISTING CONCRETE MONUMENT
□	SET CONCRETE MONUMENT
•	SET IRON ROD
○	EXISTING IRON ROD
○	EXISTING IRON PIPE
N.T.S.	NOT TO SCALE
P.C.	PLAT CABINET
D.B.	DEED BOOK
SL	SLIDE
SF	SQUARE FEET
AC	ACRES

LEGEND	
---	ROADWAY CENTERLINE
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EXISTING DITCH CENTERLINE
---	EXISTING DITCH TOP OF BANK
---	PROPOSED SWALE W/ FLOW ARROW
---	PROPOSED SWALE HIGH POINT
---	FEMA BOUNDARY LINE
---	EXISTING 404 BOUNDARY
---	EXISTING GRADE CONTOUR
---	30' UNDISTURBED BUFFER (COUNTY)
---	EXISTING CULVERT
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD TRANSMISSION LINES
---	EXISTING WATER LINE
---	PROPOSED WALKING TRAIL

Bissell Professional Group
Firm License # C-556
P.O. Box 1008
1008 North Carolina Highway
2749
Cape Fear, North Carolina 27449
(252) 781-1760
FAX (252) 781-1760

BISSELL
PROFESSIONAL GROUP

Engineers, Planners, Surveyors
and Environmental Specialists

COVER SHEET, DEVELOPMENT
NOTES & SITE LOCATION

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THE RESERVE (PARCEL E3)
CURRITUCK COUNTY
MOYOCK TOWNSHIP
NORTH CAROLINA

CONSTRUCTION DRAWINGS

REVISIONS		DATE	DESCRIPTION
NO.	DATE	DESCRIPTION	
1	6/12/25	DATE	6/12/25
2	6/12/25	DATE	6/12/25
3	6/12/25	DATE	6/12/25
4	6/12/25	DATE	6/12/25
5	6/12/25	DATE	6/12/25
6	6/12/25	DATE	6/12/25
7	6/12/25	DATE	6/12/25
8	6/12/25	DATE	6/12/25
9	6/12/25	DATE	6/12/25
10	6/12/25	DATE	6/12/25

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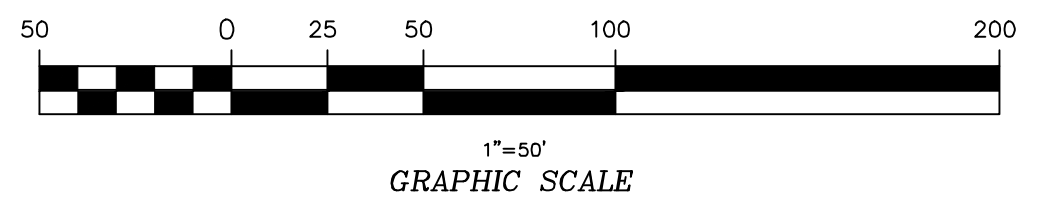
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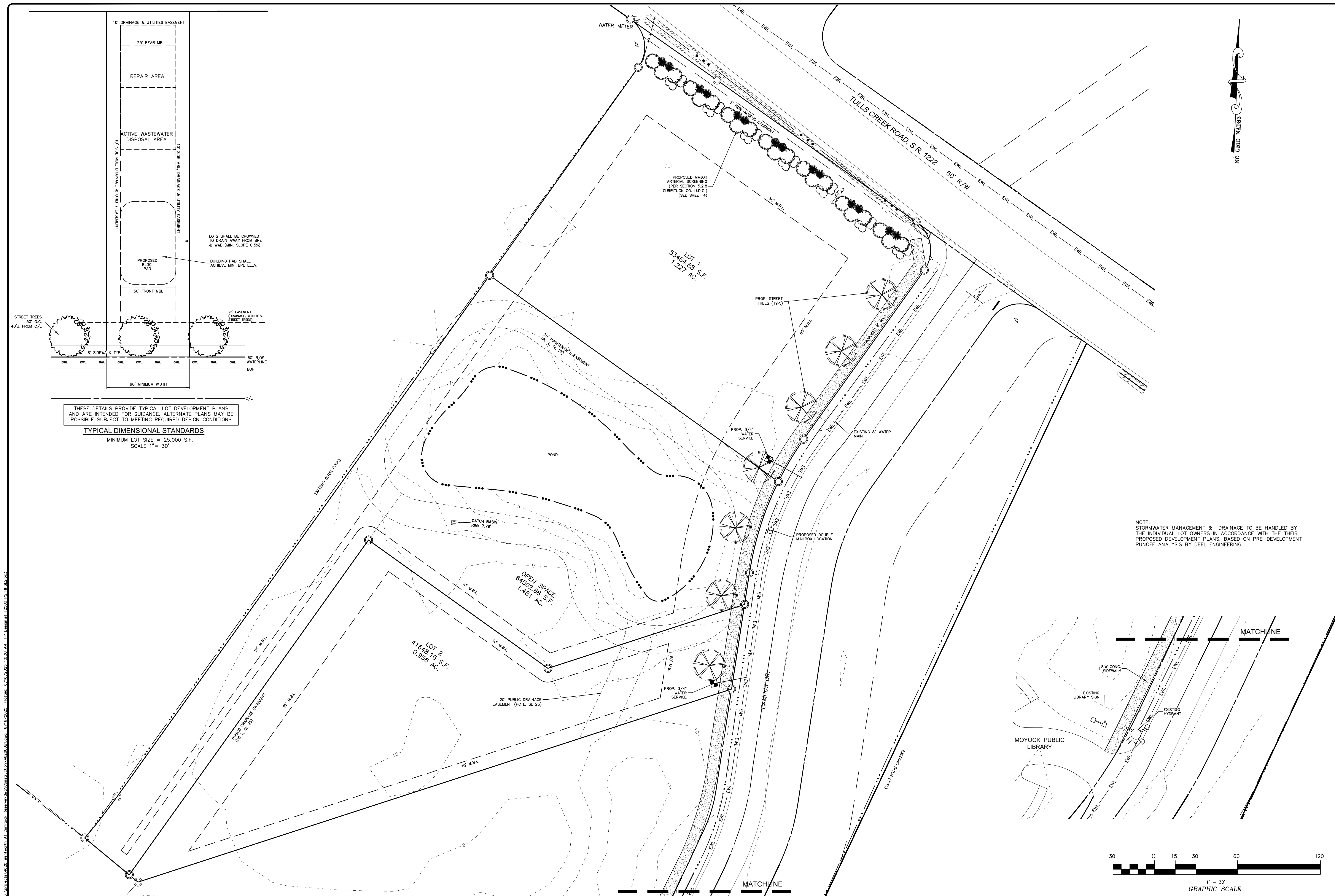
DRAWN: KFW APPROVED: BPG

SHEET: 1 OF 4

CAD FILE: 462800B1

PROJECT NO: 4628





BISSELL
PROFESSIONAL GROUP

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and Environmental Specialists

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10000 Highway
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Kitty Hawk, North Carolina 27449
Tel. (919) 261-1760
Fax (252) 261-1760

THE RESERVE (PARCEL E3)
K TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
CONSTRUCTION DRAWINGS

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION



1. STREET TREES (6.2.1.K)

- ## 2. FARM COMPATIBILITY BUFFER (5.11.5.A)

- ### 3. SITE LANDSCAPING (5.2.4)

- #### 4. VEHICULAR USE AREA LANDSCAPING (5.2.5)

- ## 5. PERIMETER LANDSCAPE BUFFERS (5.2.6)

- ## 6. STREETSCAPE (5.2.8.2)

- #### 7. TREE & SHRUB SPECIES AND PLANTING GUIDELINES:

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION