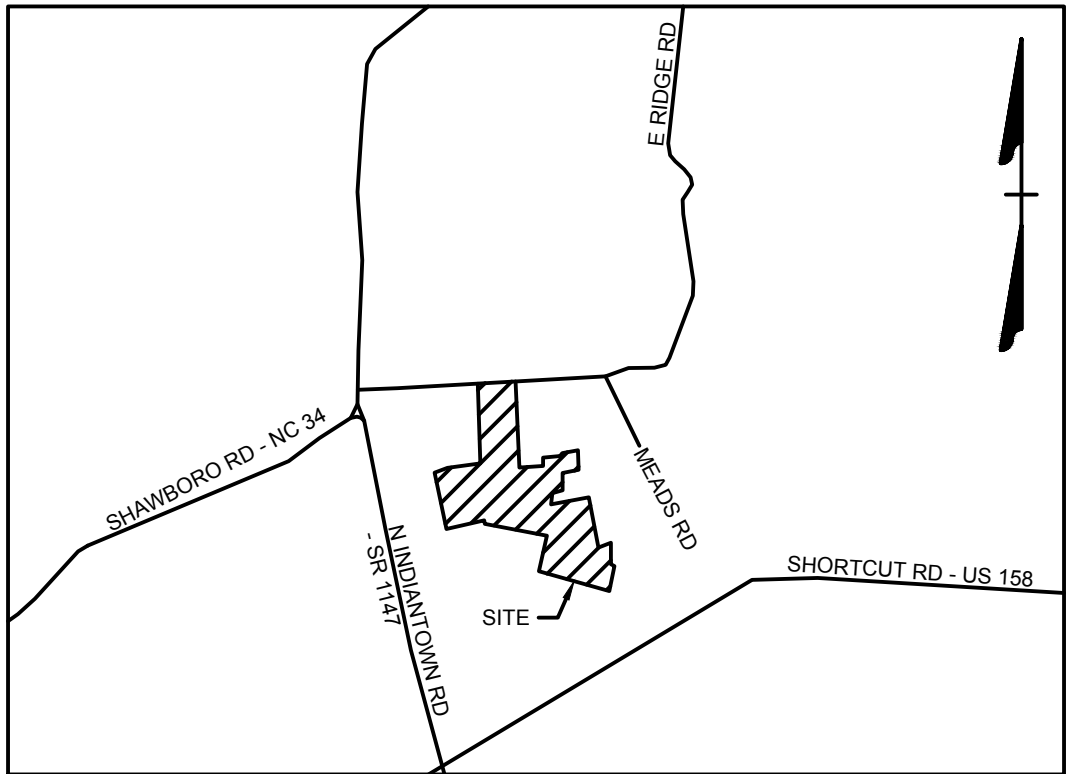


SHAWBORO EAST RIDGE SOLAR - PHASE 1A & 1B

EAST RIDGE RD
SHAWBORO, NORTH CAROLINA
CURRITUCK COUNTY

GENERAL NOTES:

- SUP CONDITIONS OF APPROVAL
- IN ADDITION TO THE THREE REQUIRED MONITORING WELLS, THREE ADDITIONAL WELLS WILL BE PROVIDED. MONITORING WELLS ARE TO BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS.
- BUFFER STANDARDS AND STORMWATER REQUIREMENTS IN THE UDO WILL BE MET.
- PER THE TESTIMONY OF THE CERTIFIED REAL ESTATE APPRAISER, THE APPLICANT WILL ADHERE TO ALL SETBACKS AND BUFFER REQUIREMENTS IN THE UDO.
- IT WILL BE A TYPE D BUFFER USING NEW AND EXISTING VEGETATION, THERE WILL BE FENCING AROUND THE AREA AND WILL ALLOW ACCESS TO THE LANDLOCKED PROPERTY OWNER.
- FOLLOWING INSTALLATION, ALL FIXTURES, PANELS, AND EQUIPMENT WILL BE INSTALLED TO ENGINEERING SPECIFICATIONS, SPECIFICALLY WITH TORQUE.
- ACCESS DOORS FOR BUILDINGS THAT HOUSE INVERTER EQUIPMENT MUST FACE AWAY FROM THE NAVAL SUPPORT ACTIVITY NORTHWEST ANNEX.
- NO PANELS OR EQUIPMENT WILL EXCEED 20' ABOVE GRADE. MAXIMUM HEIGHT APPLIES TO THE SOLAR PANELS WHEN TILTED TO FULL HEIGHT.
- PANELS AND EQUIPMENT WILL BE CONFIGURED TO AVOID GLARE BEYOND THE EXTERIOR PROPERTY LINES.
- HOURS OF OPERATION DURING CONSTRUCTION PHASE SHALL BE FROM 7:00AM TO 7:00PM, MONDAY THROUGH SATURDAY.
- NO SHIPPING CONTAINERS PERMITTED ON SITE.
- PRIOR TO CO, CERTIFICATE FROM LANDSCAPE CONTRACTOR WILL BE PROVIDED PER SECTION 4.2.3.K&B OF THE CURRITUCK COUNTY UDO.
- IF CONSTRUCTION AREA IS WITHIN 1,500 FEET OF A PUBLIC SCHOOL OR LICENSED PRE-SCHOOL, NO PILE DRIVING SHALL BE ALLOWED DURING REGULAR SCHOOL SESSION TIMES.



VICINITY MAP
NO SCALE

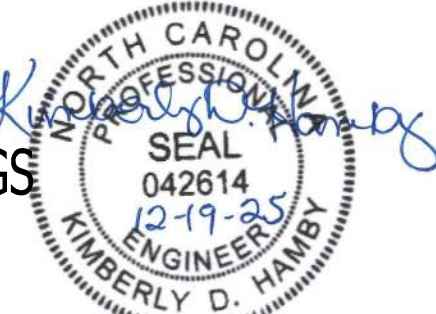
OWNER
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST., 4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER
SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVIE (704) 337-5237
JOHN MCVAIGH, VICE PRESIDENT
EMAIL: JOHN.MCVAIGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483

CIVIL ENGINEER
TIMMONS GROUP
1805 WEST CITY DRIVE, UNIT E
ELIZABETH CITY, NC 27909
PHONE: (252) 621-5030
PHONE: (252) 562-6974
CONTACT: KIMBERLY D. HAMBY, P.E.
EMAIL: KIM.HAMBY@TIMMONS.COM

SHEET LIST	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS OVERVIEW
C1.1	EXISTING CONDITIONS AND CLEARING LIMITS
C1.2	EXISTING CONDITIONS AND CLEARING LIMITS
C1.3	EXISTING CONDITIONS AND CLEARING LIMITS
C1.4	EXISTING CONDITIONS AND CLEARING LIMITS
C1.5	EXISTING CONDITIONS AND CLEARING LIMITS
C1.6	EXISTING CONDITIONS AND CLEARING LIMITS
C2.0	SITE PLAN OVERVIEW
C2.1	SITE PLAN
C2.2	SITE PLAN
C2.3	SITE PLAN
C2.4	SITE PLAN
C2.5	SITE PLAN
C2.6	SITE PLAN
C2.7	SITE PLAN
C2.8	SITE PLAN
C2.9	SITE PLAN
C2.10	SITE PLAN
C2.11	SITE PLAN
C2.12	SITE PLAN
C2.13	SITE PLAN
C2.14	SITE PLAN
C2.15	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	GRADING AND DRAINAGE PLAN
C3.2	GRADING AND DRAINAGE PLAN
C3.3	GRADING AND DRAINAGE PLAN
C3.4	GRADING AND DRAINAGE PLAN
C3.5	GRADING AND DRAINAGE PLAN
C3.6	GRADING AND DRAINAGE PLAN
C3.7	GRADING AND DRAINAGE PLAN
C3.8	GRADING AND DRAINAGE PLAN
C3.9	GRADING AND DRAINAGE PLAN
C3.10	GRADING AND DRAINAGE PLAN
C3.11	GRADING AND DRAINAGE PLAN
C3.12	GRADING AND DRAINAGE PLAN
C3.13	GRADING AND DRAINAGE PLAN
C3.14	GRADING AND DRAINAGE PLAN
C3.15	EROSION AND SEDIMENT CONTROL PLAN
C3.16	EROSION AND SEDIMENT CONTROL PLAN
C3.17	EROSION AND SEDIMENT CONTROL PLAN
C3.18	EROSION AND SEDIMENT CONTROL PLAN
C3.19	EROSION AND SEDIMENT CONTROL PLAN
C4.0	CONSTRUCTION DETAILS
C4.1	EROSION AND SEDIMENT CONTROL DETAILS
C4.2	EROSION AND SEDIMENT CONTROL DETAILS

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DATE
12/19/25
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DESIGNED BY
KDH
CHECKED BY
KDH
SCALE
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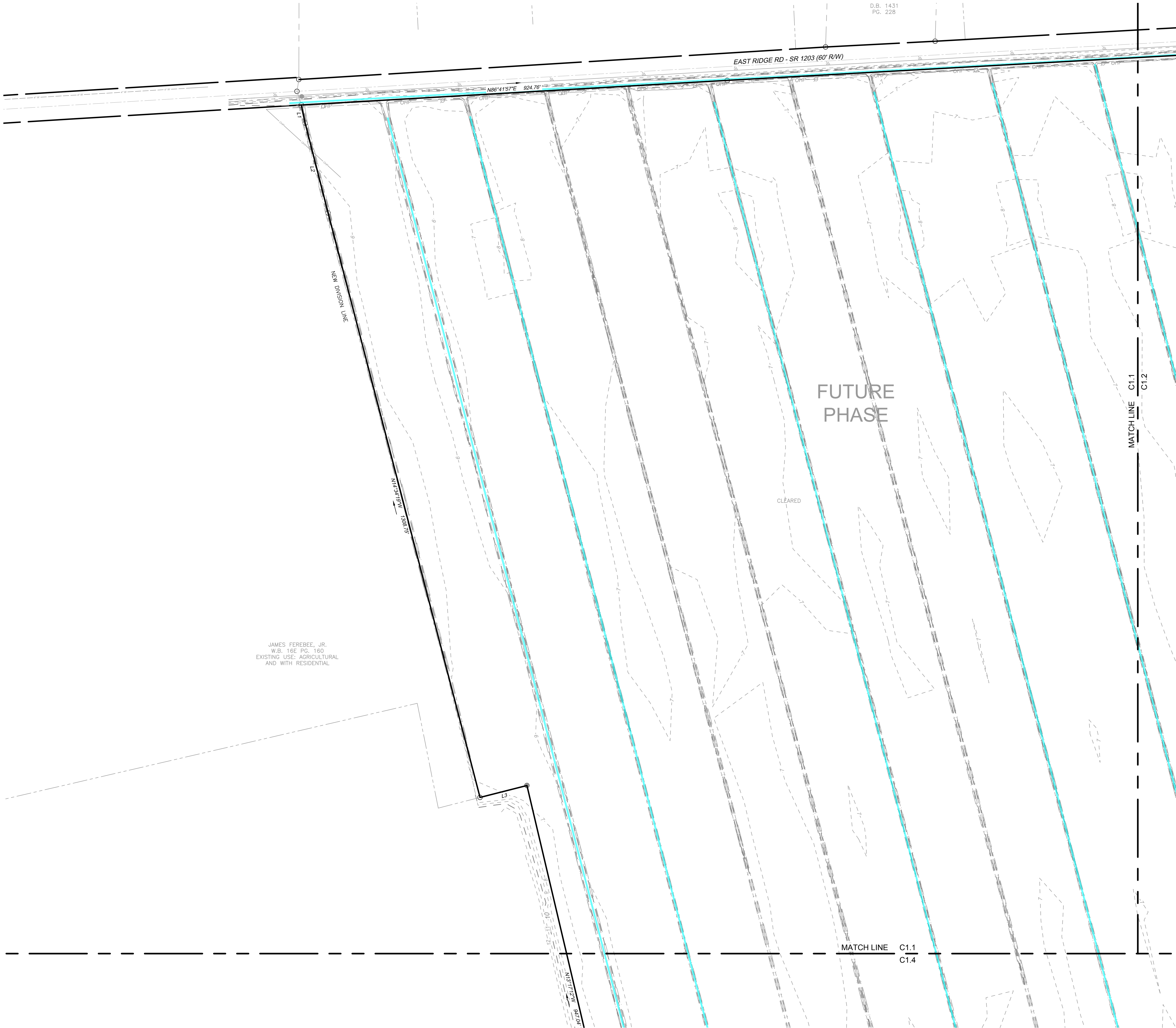
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
COVER SHEET

JOB NO.
47198
SHEET NO.
C0.0



9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C1.1 - CLEAR.dwg | Plotted on 12/19/2025 12:33 PM | by Kim Hamby



JAMES FEREBEE, JR.
W.B. 16E PG. 160
EXISTING USE: AGRICULTURAL
AND WITH RESIDENTIAL

D.B. 1431
PG. 228

SITE DATA:

1. OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:

SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVIE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483

2. SITE INFORMATION:

PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 398.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM

3. MINIMUM BUILDING SETBACKS:

FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'

4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.

5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.

6. ON-SITE COVERAGE CALCULATIONS:

PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)

7. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION
CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM
EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING
ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.

8. ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MINE. ANY
MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ON/IN AN
APPROVED LOCATION.

9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

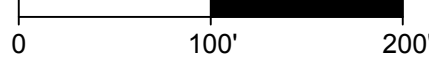
LEGEND

- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP MONITORING WELL
- PROP POLE LIGHT
- PROP POWER POLE
- PHASE LIMITS LINE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- BUILDING SETBACK LINE
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX DITCH BOTTOM
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX JURISDICTIONAL DITCH
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX WETLANDS
- PROP GRAVEL
- PROP LANDSCAPE BUFFER
- PROP TREE CLEARING
- NON-IMPROVEMENT PROPERTY
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP OVERHEAD POWER
- PROP SWALE

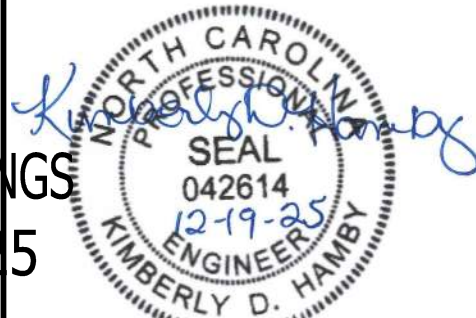


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SCALE 1"=100'



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REVISION DESCRIPTION

DATE

12/19/25

DRAWN BY

SCL

DESIGNED BY

N/A

CHECKED BY

KDH

SCALE

1" = 100'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

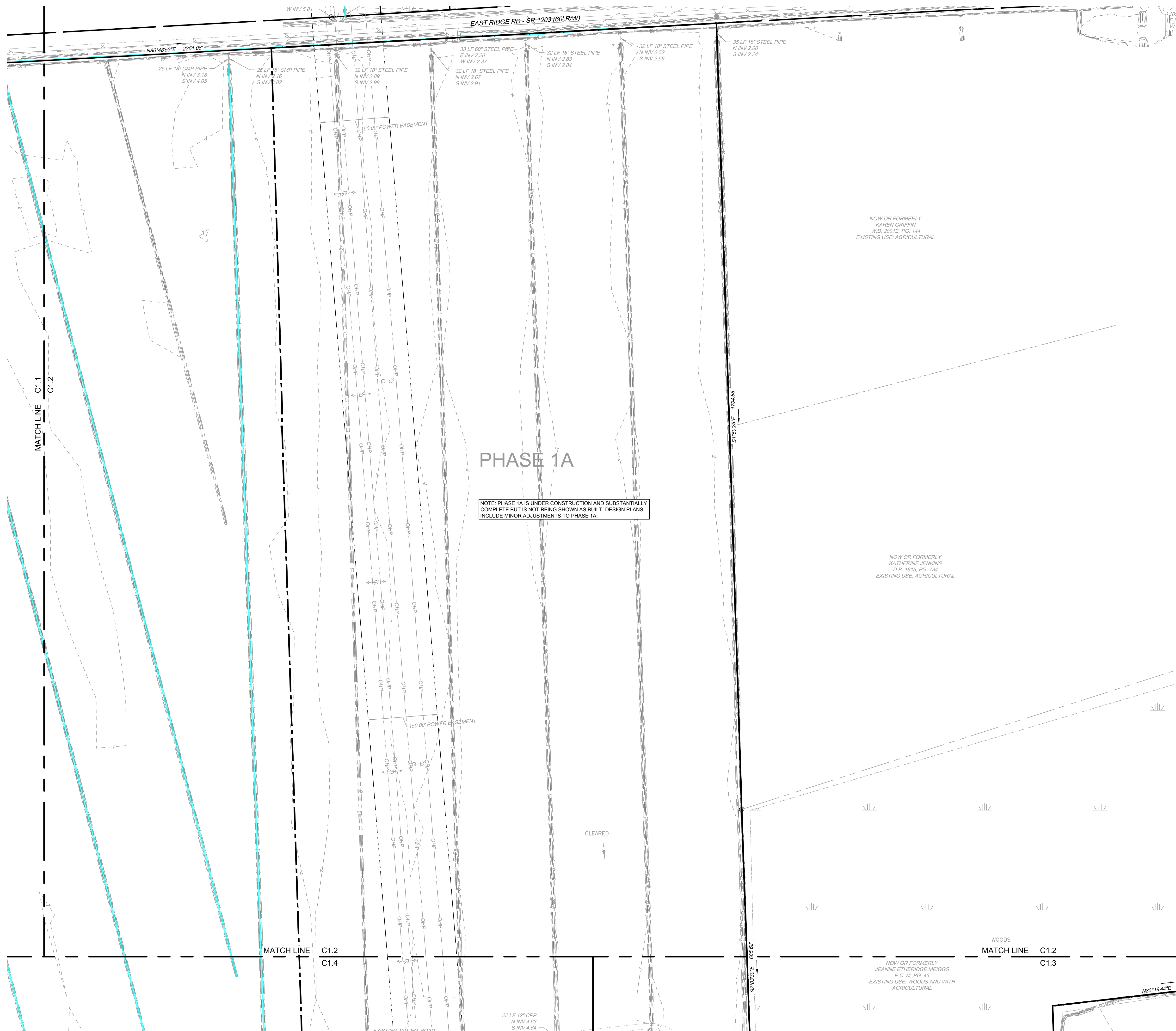
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

EXISTING CONDITIONS AND CLEARING LIMITS

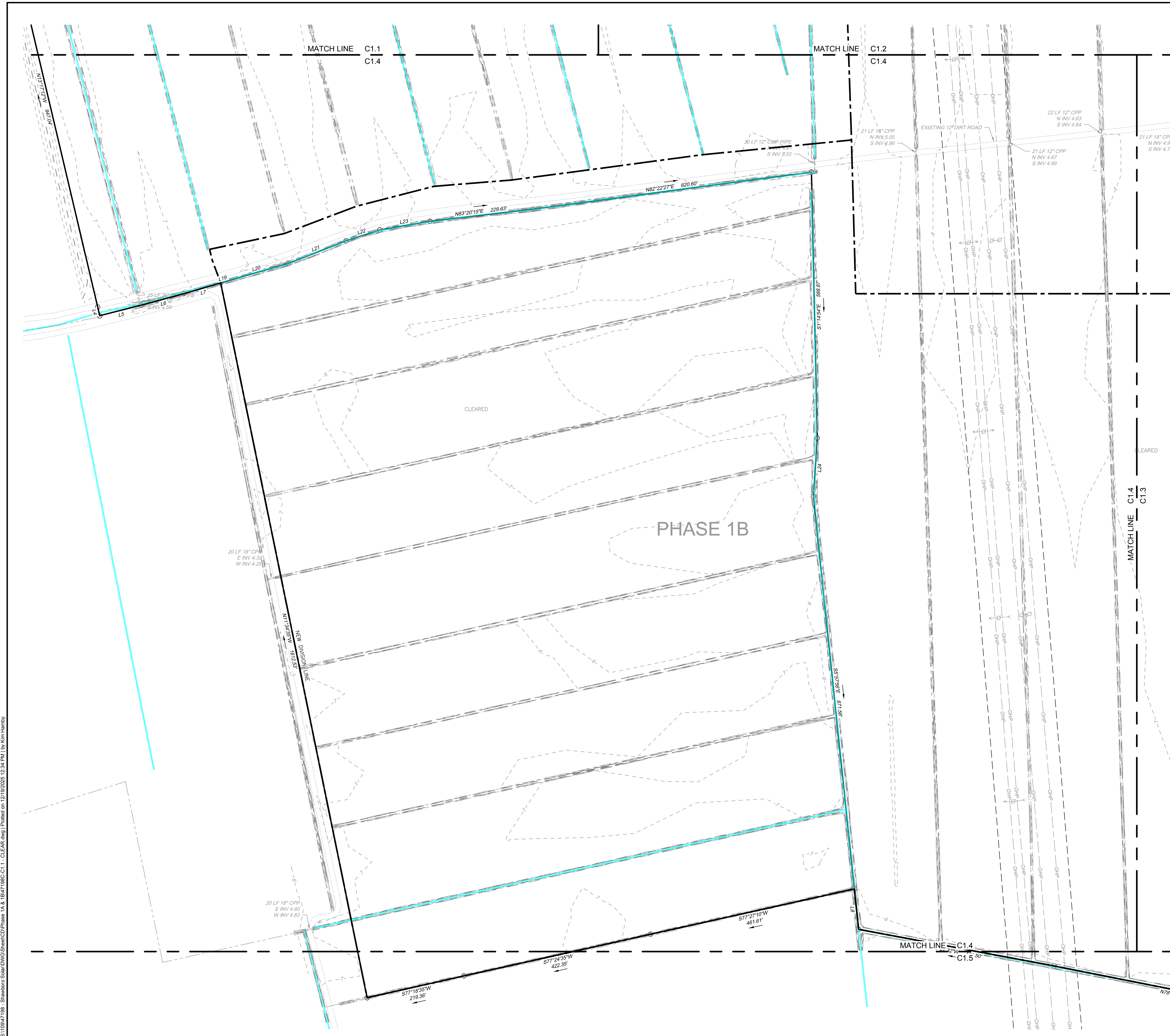
JOB NO.
47198

SHEET NO.
C1.1

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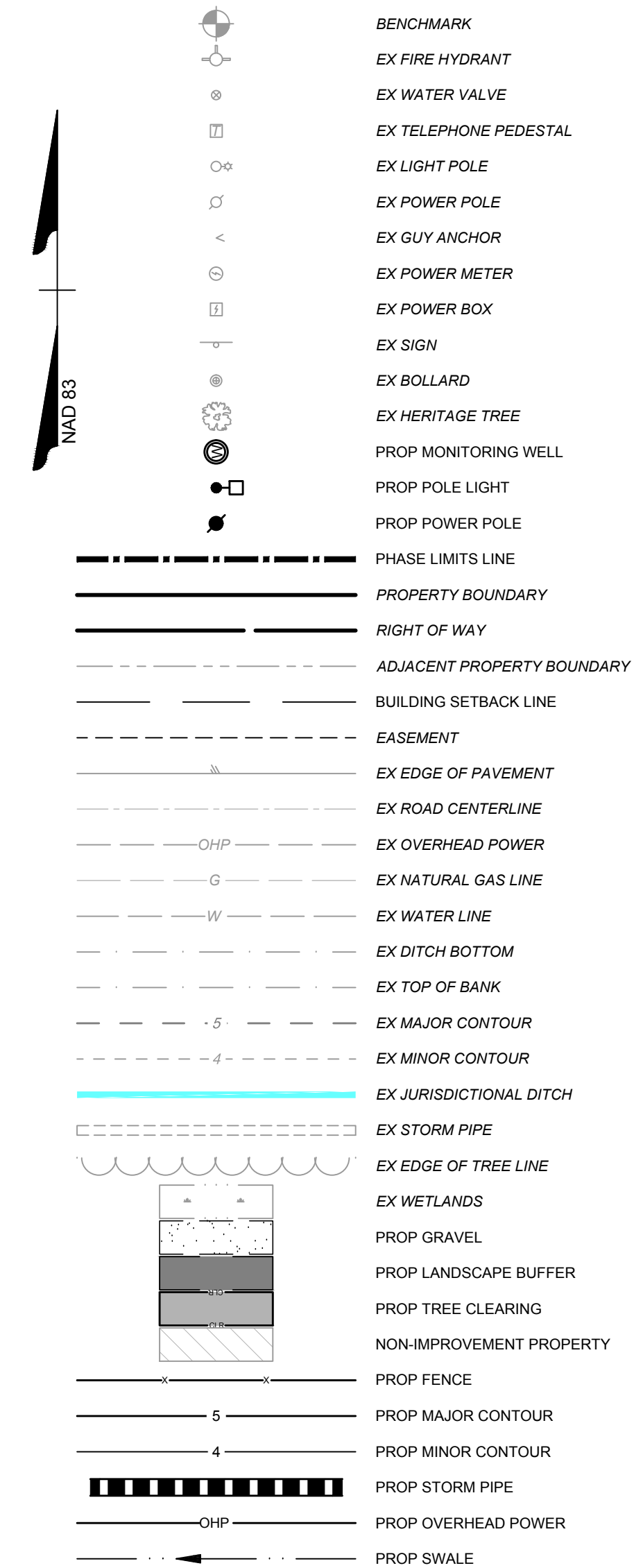
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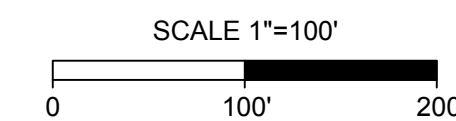
SITE DATA:

1. OWNER:
EAST RIDGE LAND HOLDINGS, LLC
596 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABILI, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731
- DEVELOPER:
SHAWBORO EAST RIDGE SOLAR, LLC
290 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVE (704) 337-5237
JOHN MCVAIGH, VICE PRESIDENT
EMAIL: JOHN.MCVAIGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
2. SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
0043000002D10000, PORTION OF 0034000025C0000
TOTAL TRACT ACRES: 386.6 AC
PHASE: 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
3. MINIMUM FUNDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X" AS SHOWN ON FLOOD MAP
PANEL 372089A062, 372089B062, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.
5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA. RANDOLPH P. NICHOLSON, PLS.
6. ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527.265 SF (4.29%)
7. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION
CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM
EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING
ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
8. ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MINE. ANY
MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ONIN AN
APPROVED LOCATION.
9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

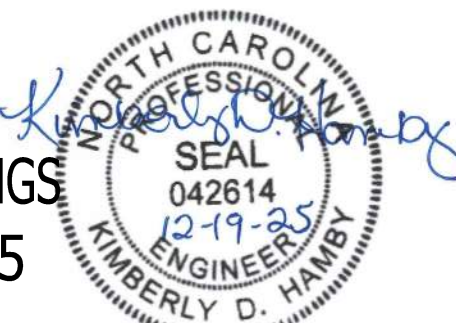
LEGEND



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	DATE	REVISION DESCRIPTION

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1032

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

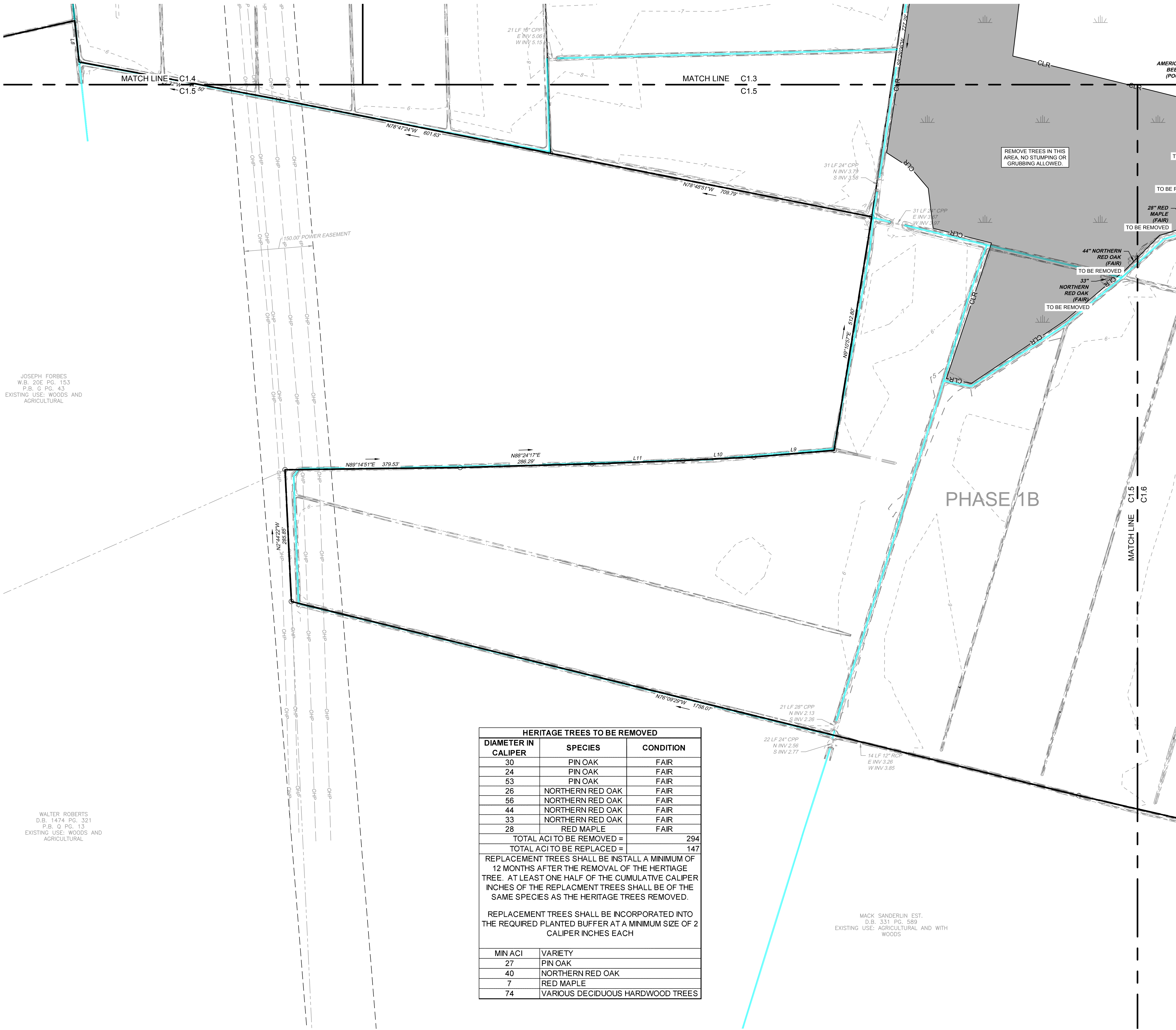
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JOSEPH FORBES
W.B. 205 PG. 153
P.B. O PG. 43
EXISTING USE: WOODS AND
AGRICULTURAL

WALTER ROBERTS
D.B. 1474 PG. 321
P.B. O PG. 13
EXISTING USE: WOODS AND
AGRICULTURAL

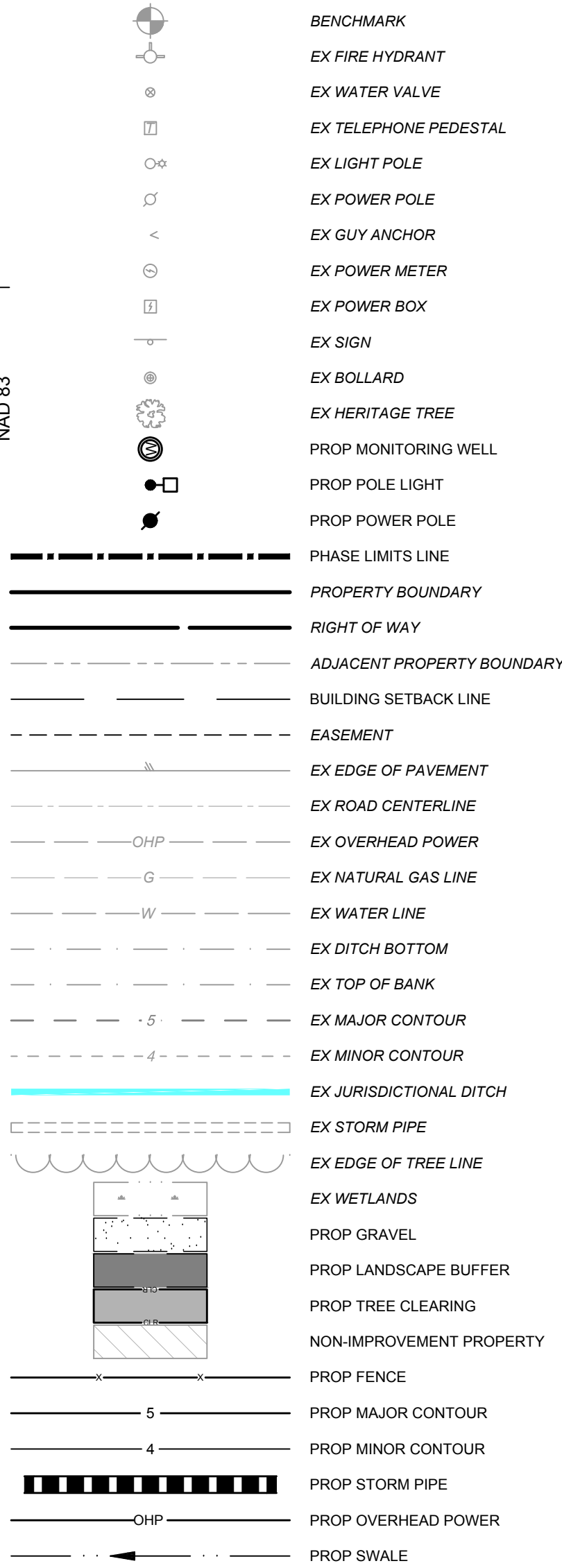
HERITAGE TREES TO BE REMOVED		
DIAMETER IN CALIPER	SPECIES	CONDITION
30	PIN OAK	FAIR
24	PIN OAK	FAIR
53	PIN OAK	FAIR
26	NORTHERN RED OAK	FAIR
56	NORTHERN RED OAK	FAIR
44	NORTHERN RED OAK	FAIR
33	NORTHERN RED OAK	FAIR
28	RED MAPLE	FAIR
TOTAL ACI TO BE REMOVED =		294
TOTAL ACI TO BE REPLACED =		147
REPLACEMENT TREES SHALL BE INSTALL A MINIMUM OF 12 MONTHS AFTER THE REMOVAL OF THE HERTIAGE TREE. AT LEAST ONE HALF OF THE CUMULATIVE CALIPER INCHES OF THE REPLACMENT TREES SHALL BE OF THE SAME SPECIES AS THE HERITAGE TREES REMOVED.		
REPLACEMENT TREES SHALL BE INCORPORATED INTO THE REQUIRED PLANTED BUFFER AT A MINIMUM SIZE OF 2 CALIPER INCHES EACH		
MIN ACI	VARIETY	
27	PIN OAK	
40	NORTHERN RED OAK	
7	RED MAPLE	
74	VARIOUS DECIDUOUS HARDWOOD TREES	



SITE DATA:

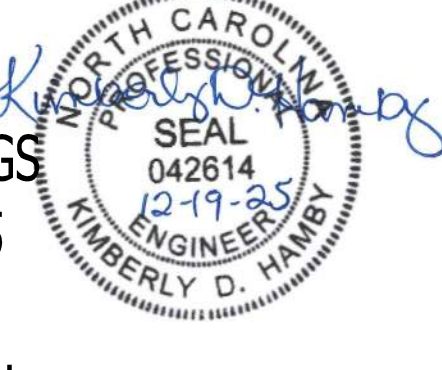
- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
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JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
- SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 398.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
- MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
- THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
- ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)
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APPROVED LOCATION.
- DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

LEGEND



SCALE 1"=100'
0 100' 200'

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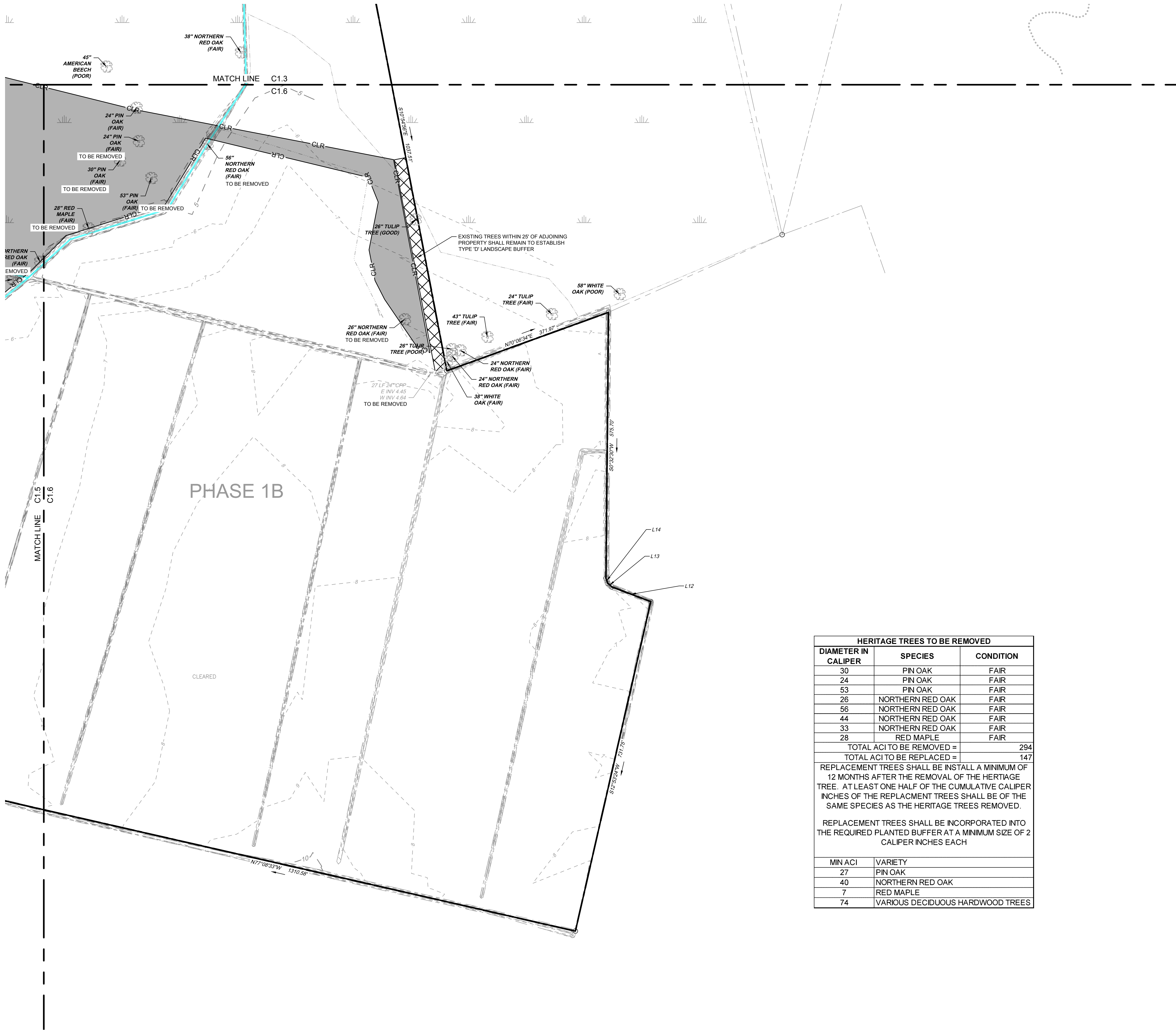
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DATE
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SCL
DESIGNED BY
N/A
CHECKED BY
KDH
SCALE
1" = 100'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
EXISTING CONDITIONS AND CLEARING LIMITS
JOB NO.
47198
SHEET NO.
C1.5

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HERITAGE TREES TO BE REMOVED		
DIAMETER IN CALIPER	SPECIES	CONDITION
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REPLACEMENT TREES SHALL BE INCORPORATED INTO THE REQUIRED PLANTED BUFFER AT A MINIMUM SIZE OF 2 CALIPER INCHES EACH		
MIN ACI	VARIETY	
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74	VARIOUS DECIDUOUS HARDWOOD TREES	

- SITE DATA:
- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

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D.B. 1822, PG. 635
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EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
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FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
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 - BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
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 - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ONIN AN APPROVED LOCATION.
 - DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

LEGEND

- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP MONITORING WELL
- PROP POLE LIGHT
- PROP POWER POLE
- PHASE LIMITS LINE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- BUILDING SETBACK LINE
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX DITCH BOTTOM
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX JURISDICTIONAL DITCH
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX WETLANDS
- PROP GRAVEL
- PROP LANDSCAPE BUFFER
- PROP TREE CLEARING
- NON-IMPROVEMENT PROPERTY
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP OVERHEAD POWER
- PROP SWALE

SCALE 1"=100'
0 100' 200'

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DATE			
12/19/25			
	DRAWN BY		
	DESIGNED BY		
	CHECKED BY		
	SCALE		
	1" = 100'		

NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

EXISTING CONDITIONS AND CLEARING LIMITS

JOB NO.	47198
SHEET NO.	C1.6

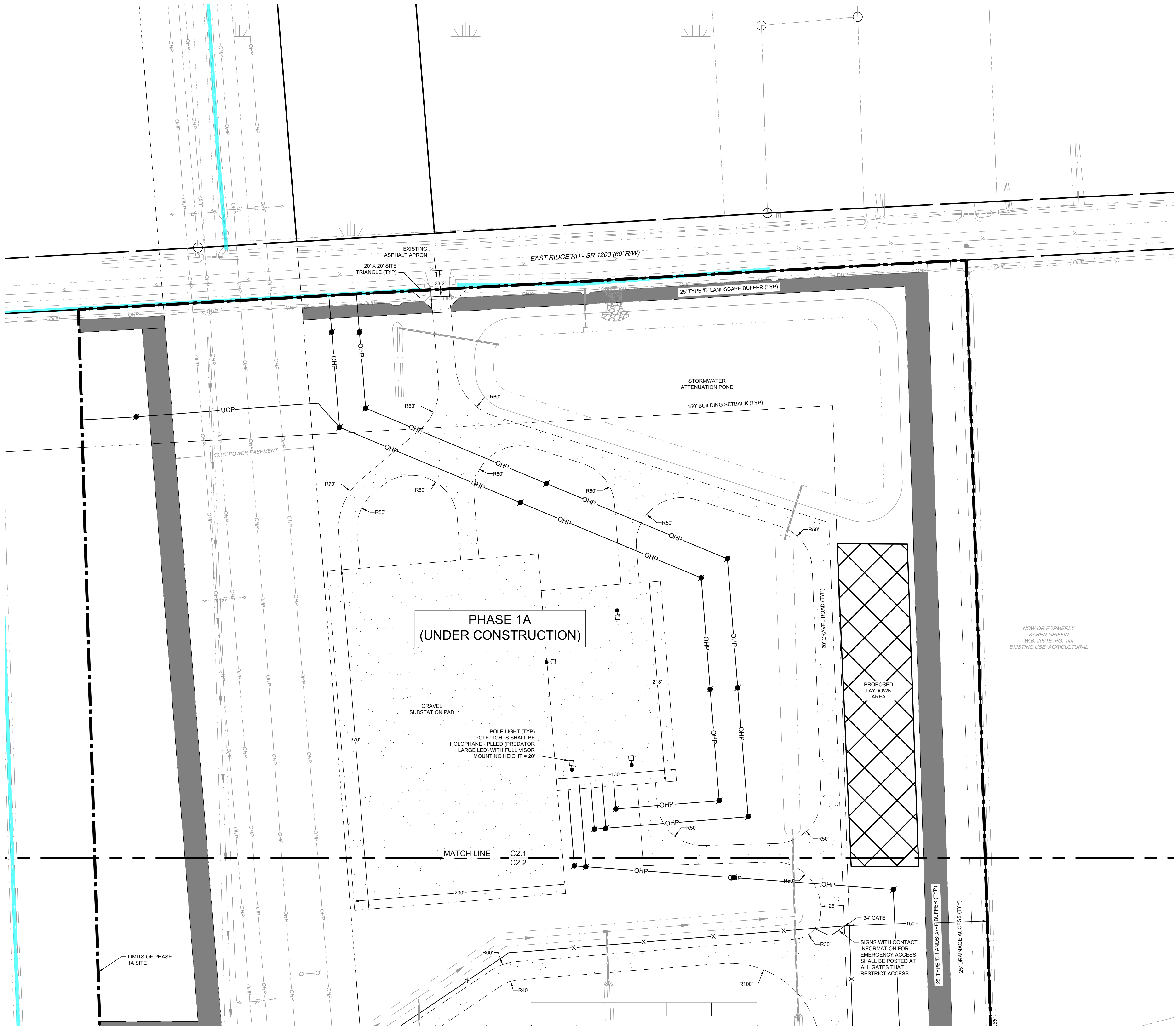
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TIME	SHAWBORO	JOB NO. 47198
		SHEET NO. C2.0

S:\109\47198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C2.0 - SITE.dwg | Plotted on 12/19/2025 1:00 PM | by Kim Hamby

S:\10947198 - Shawboro Solar\DWG\SheetCD\Phase 1A & 1B\47198C-C2.0 - SITE.dwg [Plotted on 12/19/2025 1:00 PM] by Kim Hamby



SITE DATA:

1. OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVIE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483

2. SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 398.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM

3. MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'

4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.

5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.

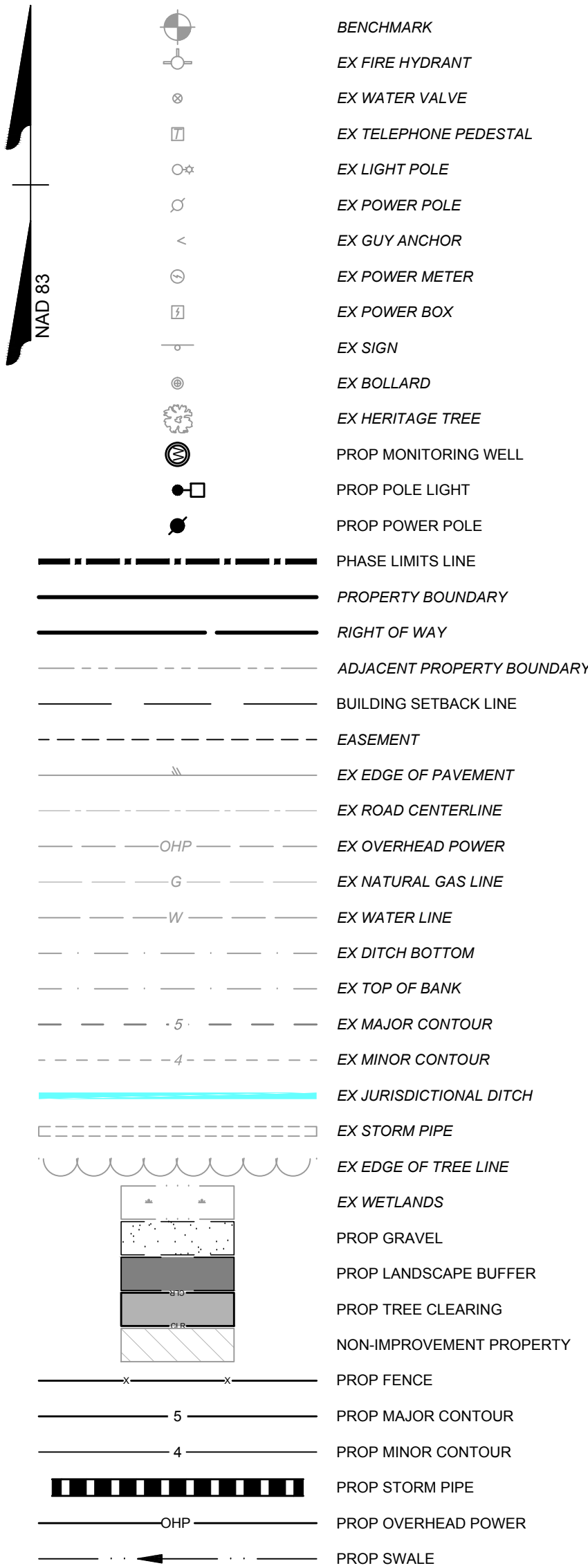
6. ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)

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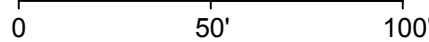
9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

LEGEND



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SCALE 1"=50'



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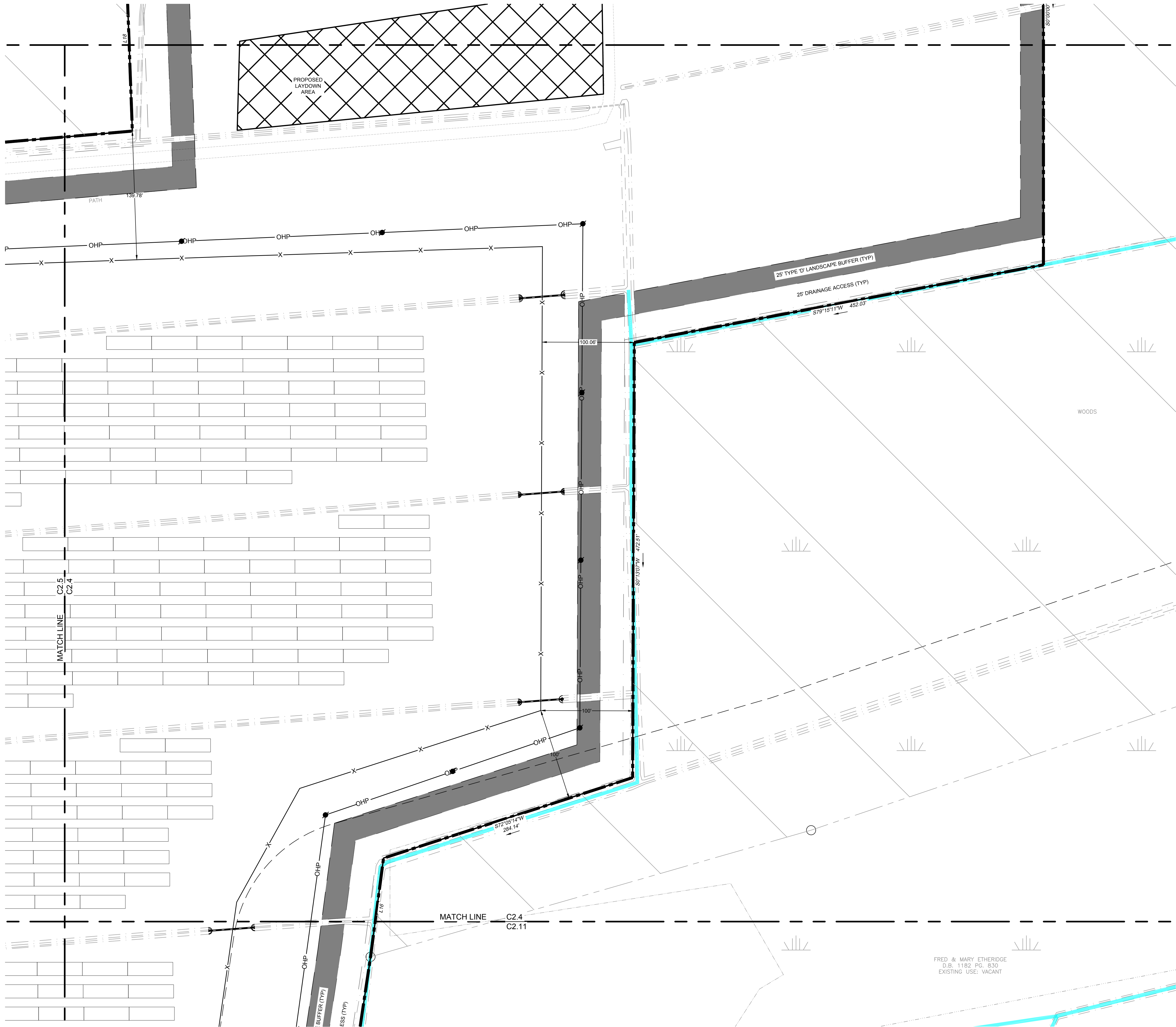
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DATE
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KDH
SCALE
1" = 50'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
SITE PLAN
JOB NO.
47198
SHEET NO.
C2.1

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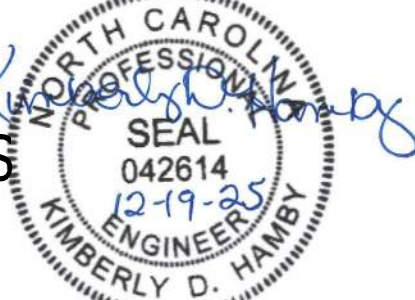
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REVISION DESCRIPTION

DATE

12/19/25

DRAWN BY
SCL

DESIGNED BY
KDH

CHECKED BY
KDH

SCALE
1" = 50'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

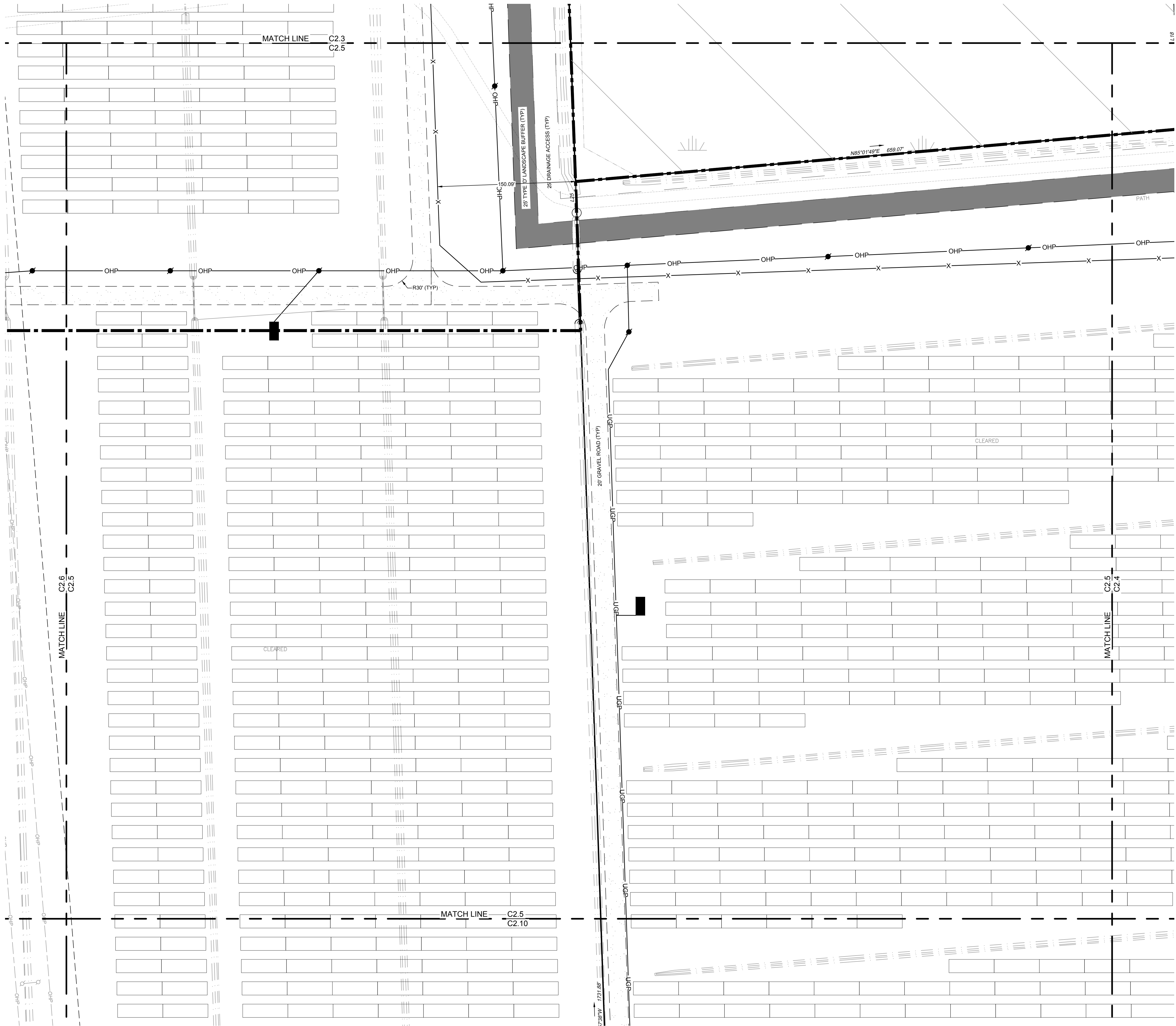
SITE PLAN

JOB NO.
47198

SHEET NO.
C2.4

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SIDE: 150'
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5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.

6. ON-SITE COVERAGE CALCULATIONS:

PROPOSED IMPERVIOUS COVERAGE:
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9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

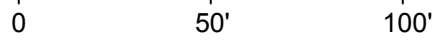
LEGEND

- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
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- EX HERITAGE TREE
- PROP MONITORING WELL
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- PHASE LIMITS LINE
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REVISION DESCRIPTION	

DATE	

DATE	12/19/25
DRAWN BY	SCL

DESIGNED BY	KDH
CHECKED BY	KDH

SCALE	1" = 50'
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TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

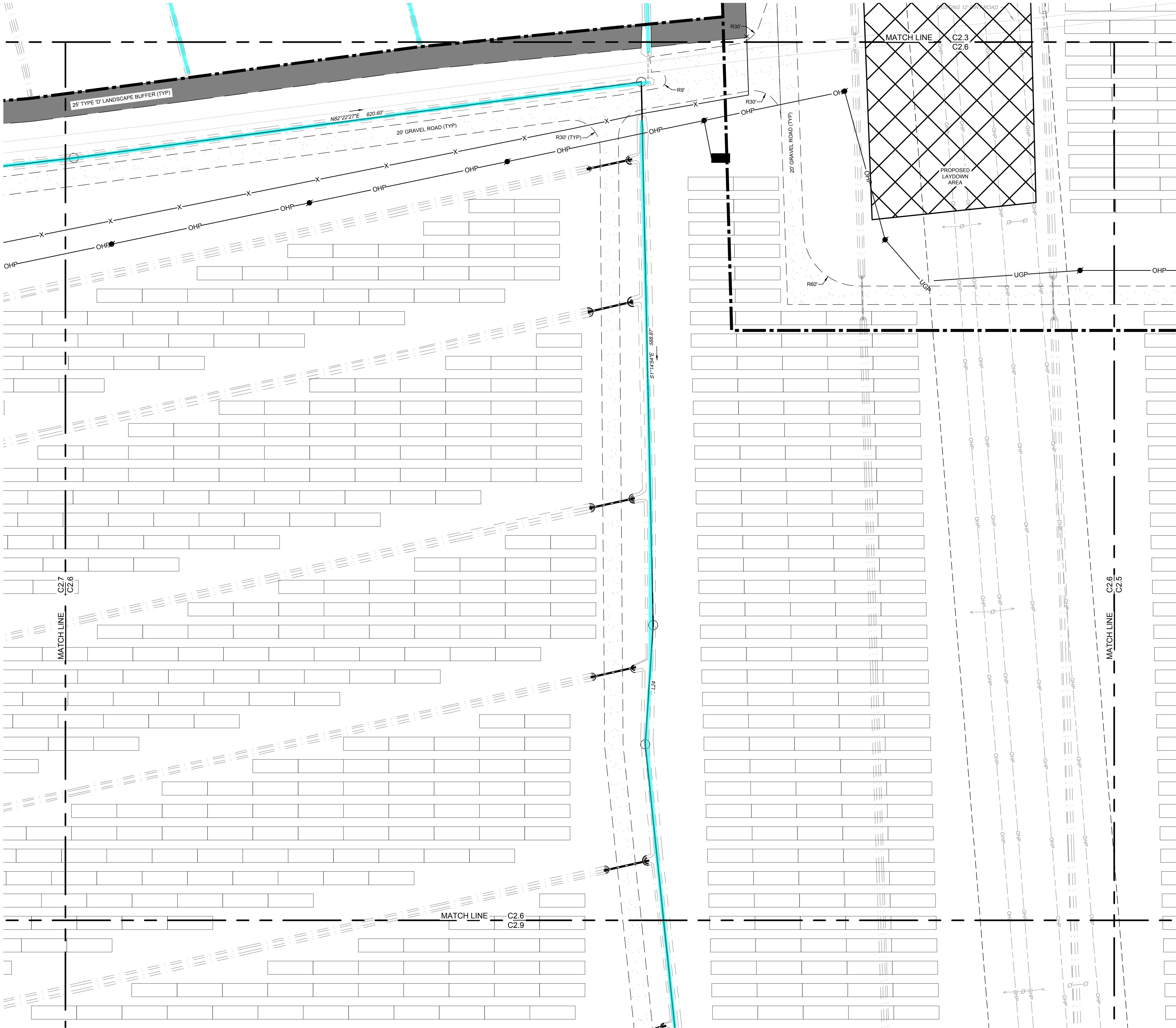
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.	47198
SHEET NO.	C2.5

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SITE DATA:

- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731
DEVELOPER:
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EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
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ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
- MINIMUM BUILDING SETBACKS:
FRONT: 150'
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CORNER SIDE: 150'
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- THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
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- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
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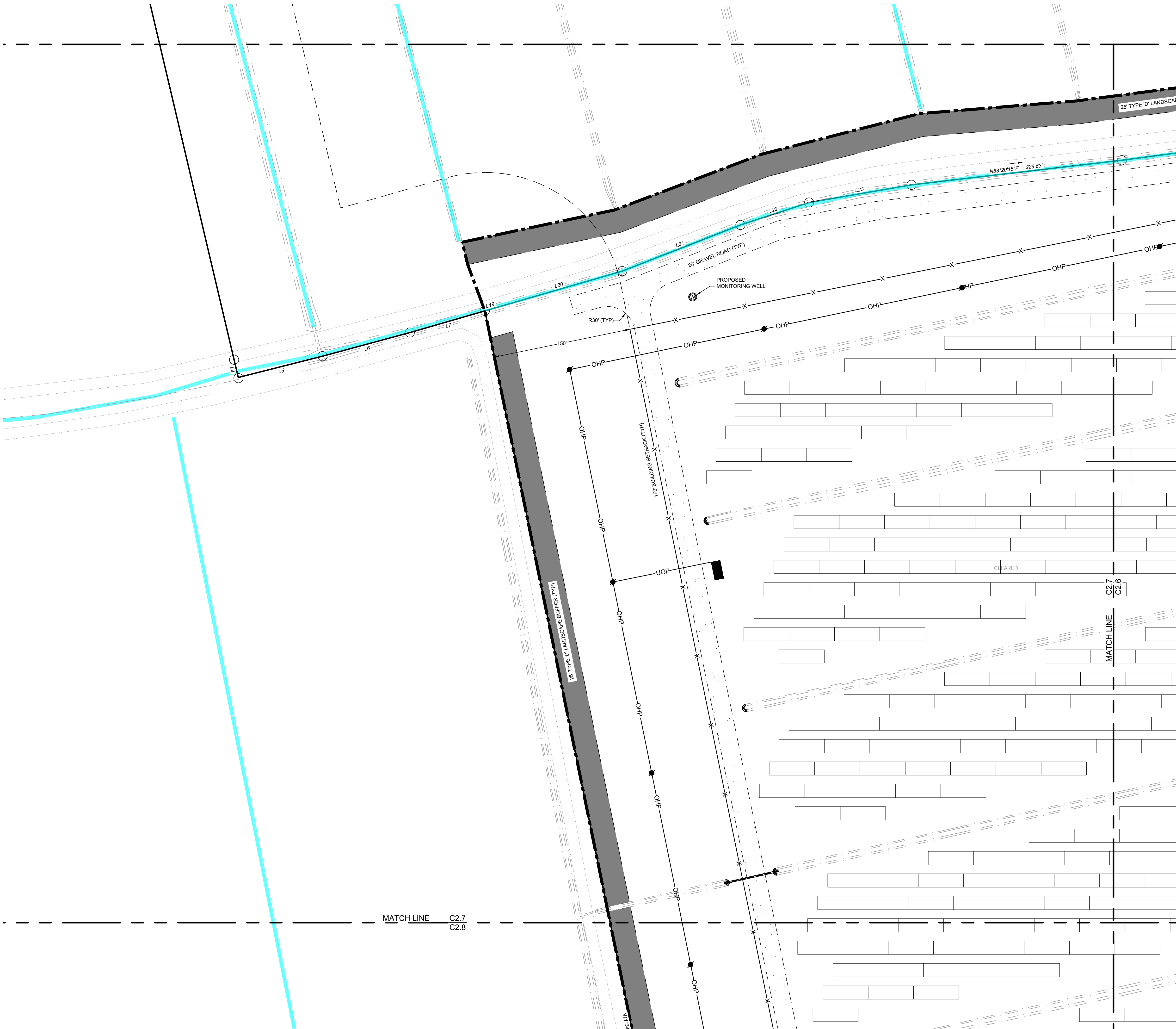
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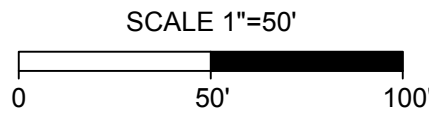
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EX BOLLARD
EX HERITAGE TREE
PROP MONITORING WELL
PROP POLE LIGHT
PROP POWER POLE
PHASE LIMITS LINE
PROPERTY BOUNDARY
RIGHT OF WAY
ADJACENT PROPERTY BOUNDARY
BUILDING SETBACK LINE
EASEMENT
EX EDGE OF PAVEMENT
EX ROAD CENTERLINE
EX OVERHEAD POWER
EX NATURAL GAS LINE
EX WATER LINE
EX DITCH BOTTOM
EX TOP OF BANK
EX MAJOR CONTOUR
EX MINOR CONTOUR
EX JURISDICTIONAL DITCH
EX STORM PIPE
EX EDGE OF TREE LINE
EX WETLANDS
PROP GRAVEL
PROP LANDSCAPE BUFFER
PROP TREE CLEARING
NON-IMPROVEMENT PROPERTY
PROP FENCE
PROP MAJOR CONTOUR
PROP MINOR CONTOUR
PROP STORM PIPE
PROP OVERHEAD POWER
PROP SWALE



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REVISION DESCRIPTION	DATE

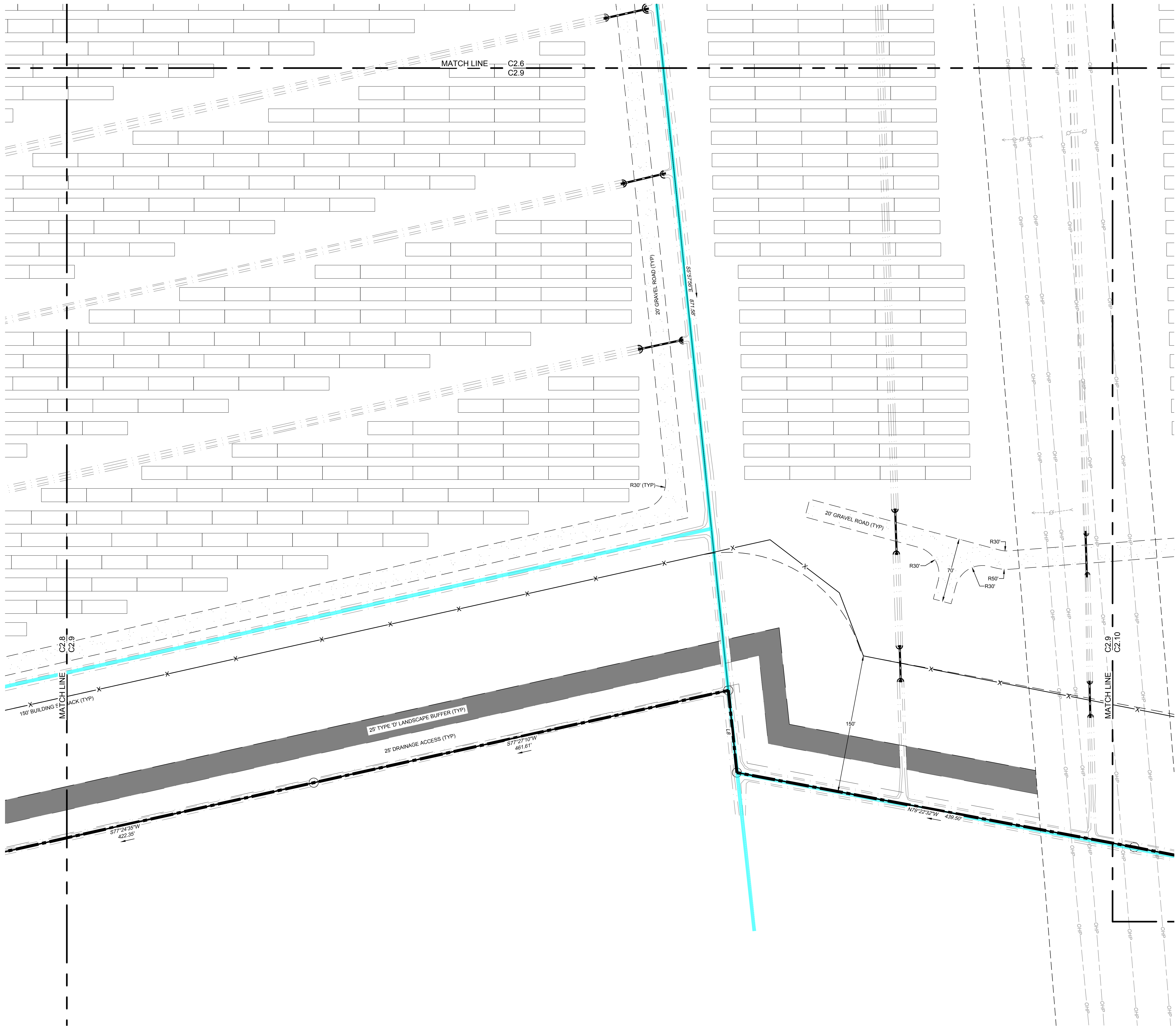
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
SITE PLAN

JOB NO.	47198
SHEET NO.	C2.7

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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C2.0 - SITE.dwg [Plotted on 12/19/2025 1:01 PM] by Kim Hamby



SITE DATA:

- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
- SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 398.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
- MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
- THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
- ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION
CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM
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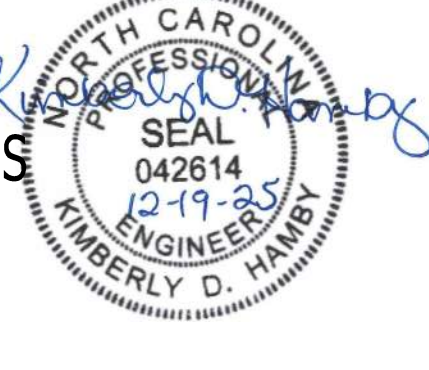
LEGEND

- BENCHMARK
EX FIRE HYDRANT
EX WATER VALVE
EX TELEPHONE PEDESTAL
EX LIGHT POLE
EX POWER POLE
EX GUY ANCHOR
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SCALE 1"=50'
0 50' 100'

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REVISION DESCRIPTION	

DATE	
12/19/25	
DRAWN BY	SCL
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 50'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

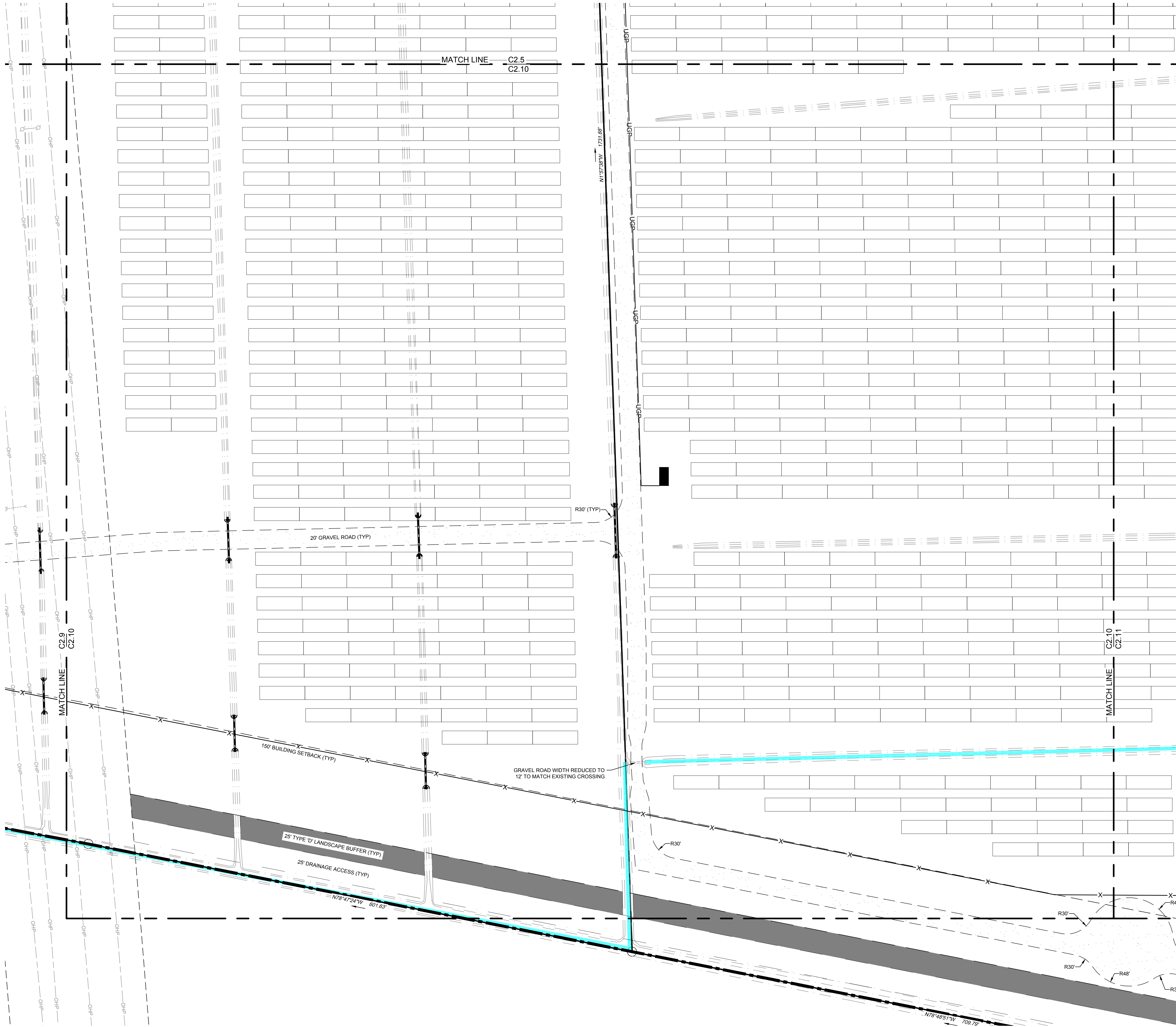
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.
47198
SHEET NO.
C2.9

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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C2.0 - SITE.dwg [Plotted on 12/19/2025 1:01 PM] by Kim Hamby



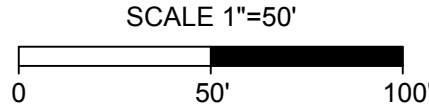
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LEGEND

-
- BENCHMARK
-
- EX FIRE HYDRANT



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REVISION DESCRIPTION	DATE

NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

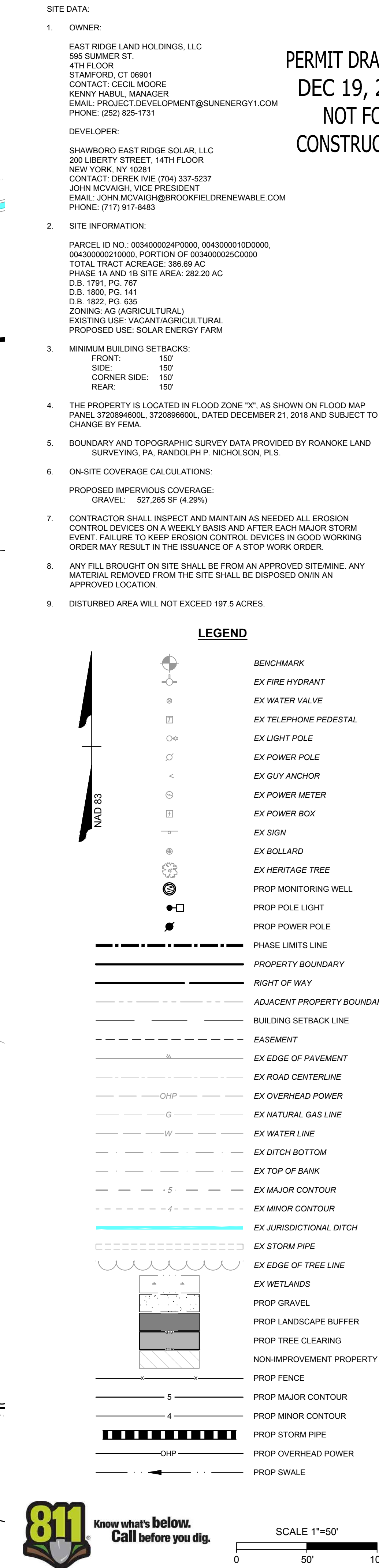
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.
47198


SHEET NO.
C2.10

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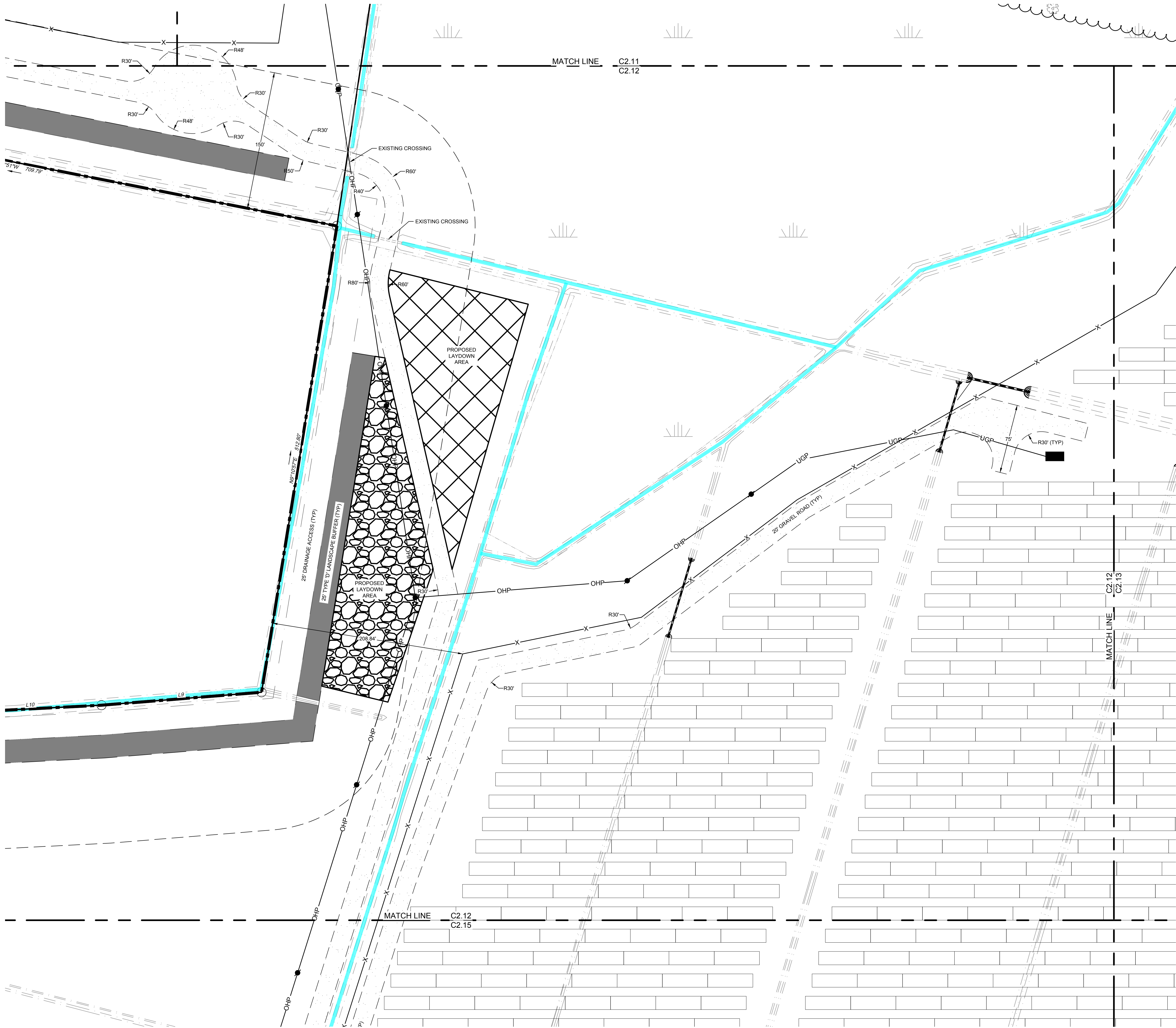
OUR VISION ACHIEVED THROUGH OURS.	DATE						
	DATE		12/19/25				

	DRAWN BY
	SCL
	DESIGNED BY
	KDH
	CHECKED BY
	KDH
	SCALE
	1" = 50'

<h1>TIMMONS GROUP</h1> <p>NORTH CAROLINA LICENSE NO. C-1652</p>		<p>SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B</p> <p>CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA</p>
<p>JOB NO.</p> <p>47198</p>	<p>SHEET NO.</p> <p>C2.11</p>	
<p>SITE PLAN</p>		

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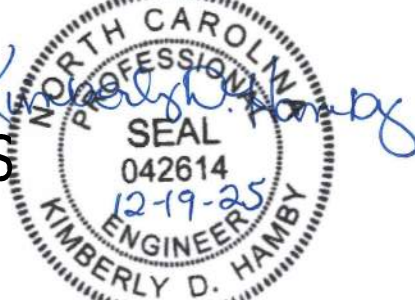
LEGEND

- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
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- PHASE LIMITS LINE
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- PROP SWALE



SCALE 1"=50'
0 50' 100'

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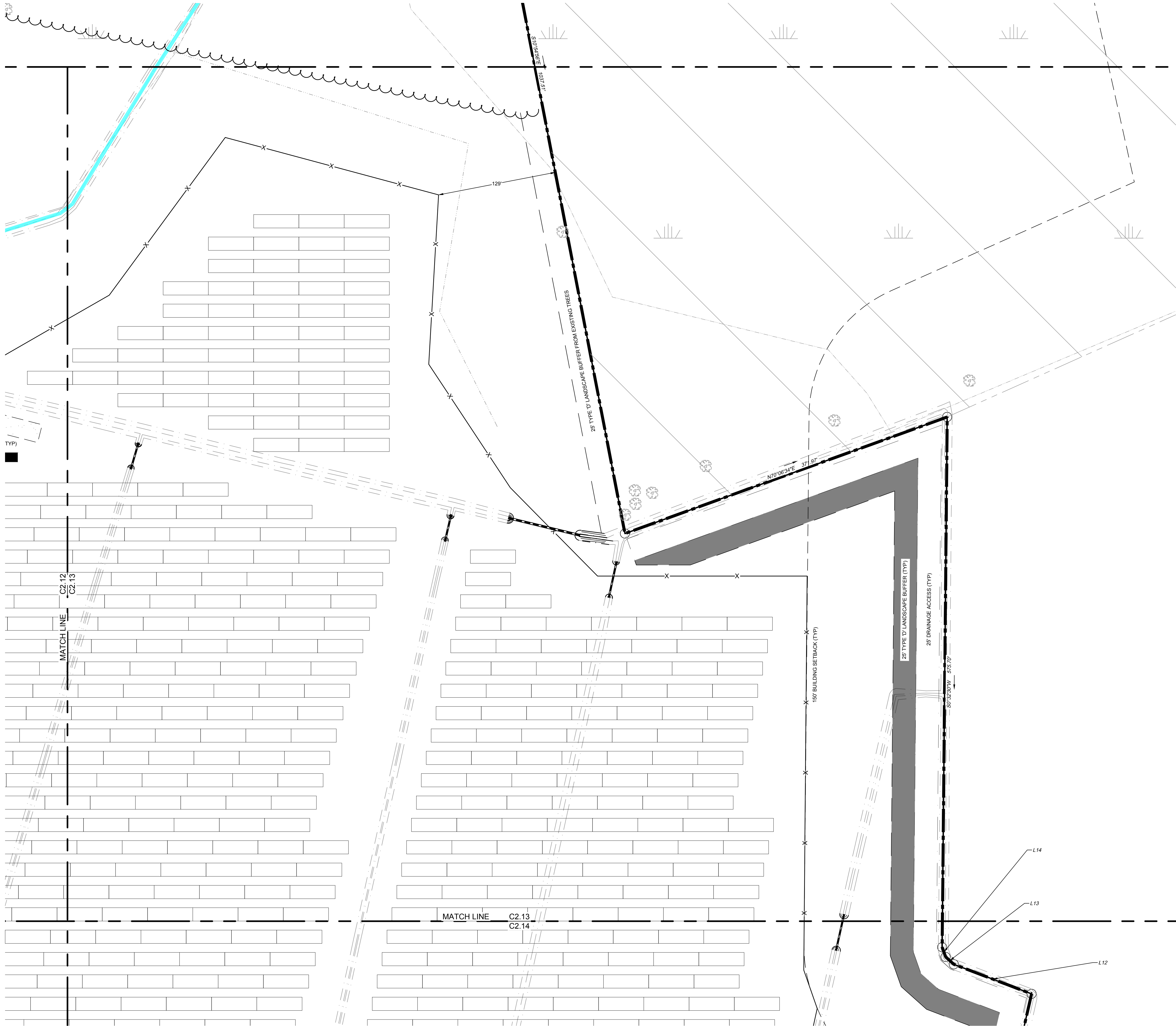
DATE
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DRAWN BY
SCL
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KDH
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KDH
SCALE
1" = 50'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
SITE PLAN

JOB NO.
47198
SHEET NO.
C2.12

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EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
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PHASE 1A AND 1B SITE AREA: 282.20 AC
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LEGEND

- BENCHMARK
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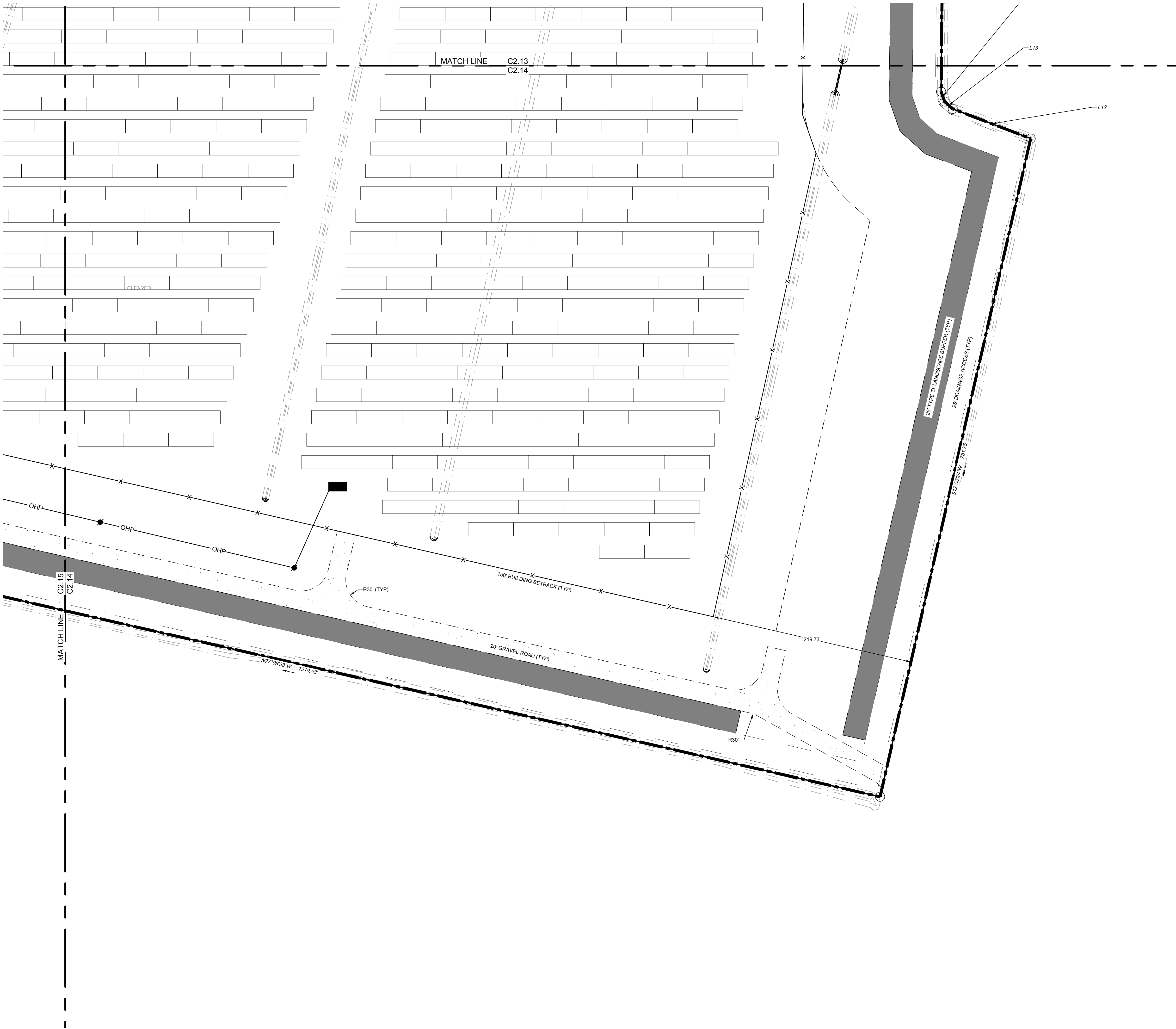
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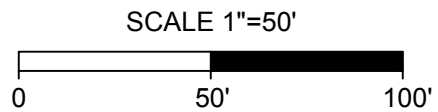


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	EX NATURAL GAS LINE	
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	EX DITCH BOTTOM	
	EX TOP OF BANK	
	EX MAJOR CONTOUR	
	EX MINOR CONTOUR	
	EX JURISDICTIONAL DITCH	
	EX STORM PIPE	
	EX EDGE OF TREE LINE	
	EX WETLANDS	
	PROP GRAVEL	
	PROP LANDSCAPE BUFFER	
	PROP TREE CLEARING	
	NON-IMPROVEMENT PROPERTY	
	PROP FENCE	
	PROP MAJOR CONTOUR	
	PROP MINOR CONTOUR	
	PROP STORM PIPE	
	PROP OVERHEAD POWER	
	PROP SWALE	



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REVISION DESCRIPTION	DATE

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

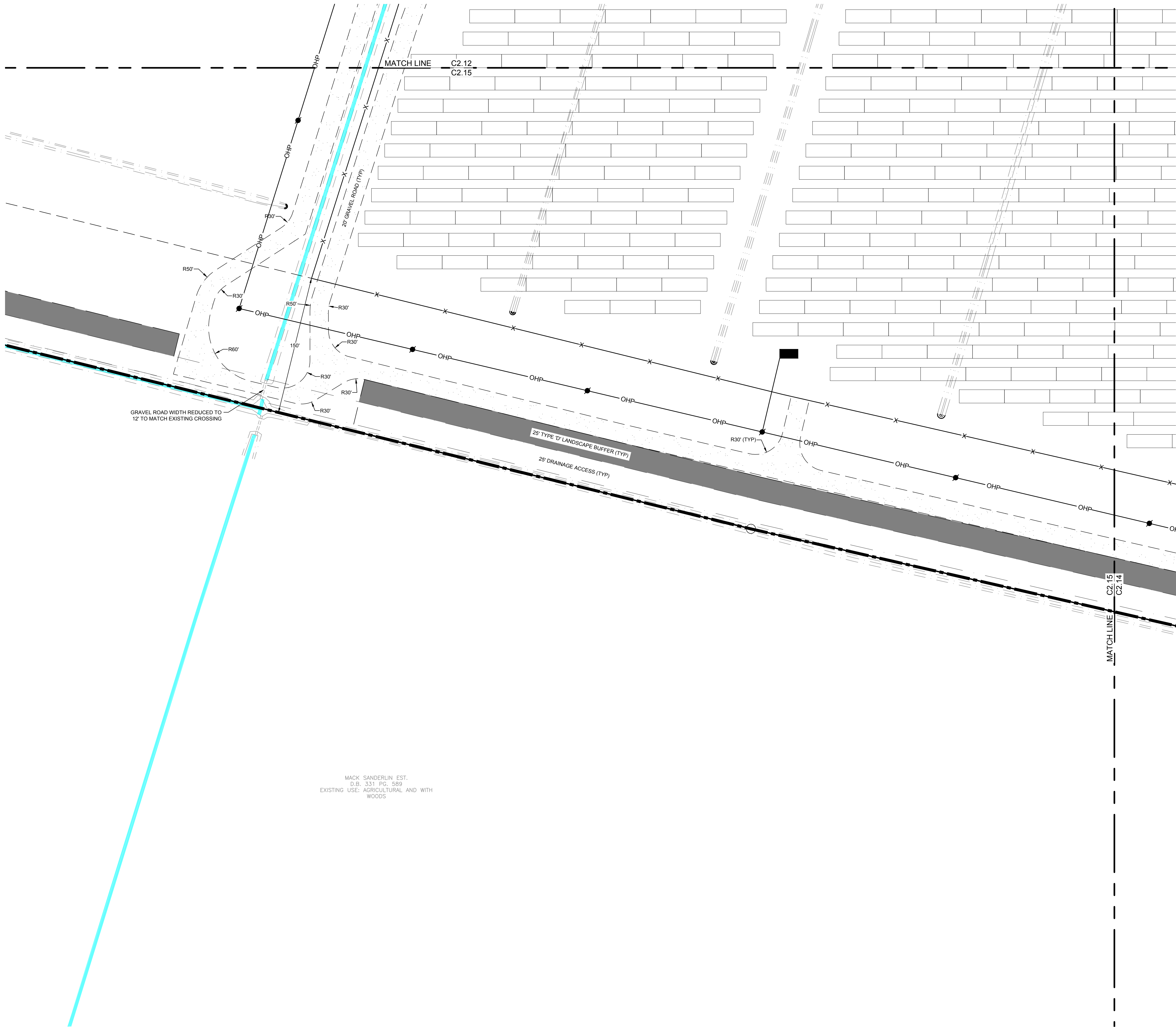
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.	47198
SHEET NO.	C2.14

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S:\10947198 - Shawboro Solar\DWG\SheetCD\Phase 1A & 1B\47198C-C2.0 - SITE.dwg [Plotted on 12/19/2025 1:01 PM] by Kim Hamby



MACK SANDERLIN, EST.
D.B. 331 PG. 589
EXISTING USE: AGRICULTURAL AND WITH WOODS

SITE DATA:

- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVIE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
- SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 386.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
- MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
- THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO CHANGE BY FEMA.
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
- ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ON/IN AN APPROVED LOCATION.
- DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

LEGEND

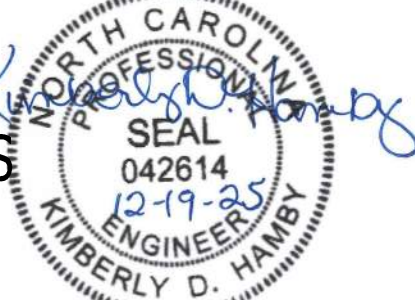
- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP MONITORING WELL
- PROP POLE LIGHT
- PROP POWER POLE
- PHASE LIMITS LINE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- BUILDING SETBACK LINE
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
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SCALE 1"=50'
0 50' 100'

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REVISION DESCRIPTION	

DATE	
12/19/25	
DRAWN BY	SCL
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 50'

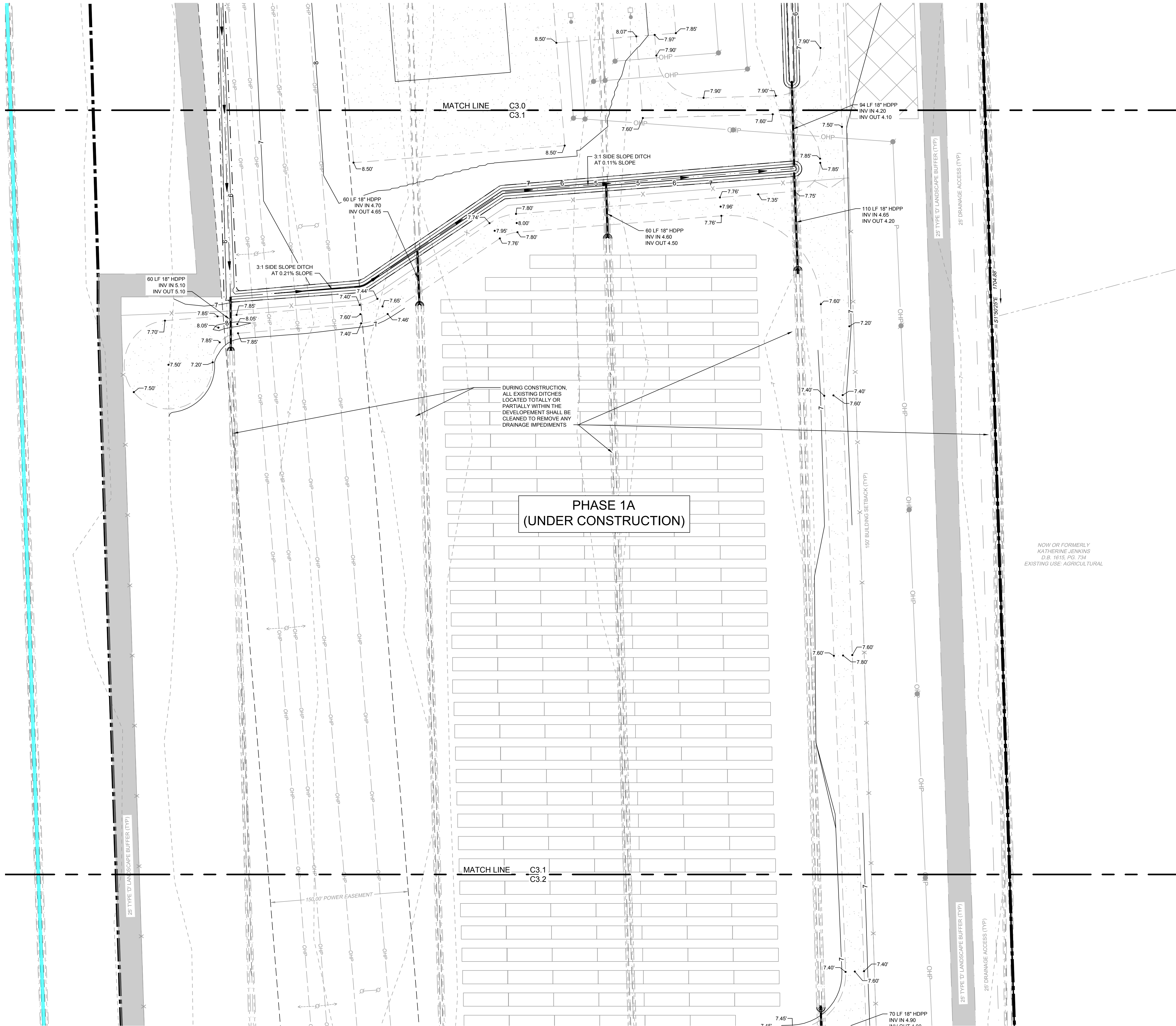
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
SITE PLAN

JOB NO.	47198
SHEET NO.	C2.15

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S:\10947198 - Shawboro Solar\DWG\SheetCD\Phase 1A & 1B\47198C-C3.0 - GRAD.dwg [Plotted on 12/19/2025 12:34 PM] by Kim Hamby



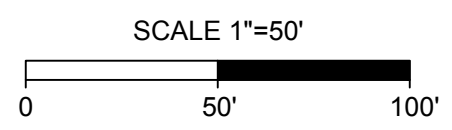
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KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
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D.B. 1800, PG. 141
D.B. 1822, PG. 635
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EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
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CORNER SIDE: 150'
REAR: 150'
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LEGEND

- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
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- EX BOLLARD
- EX HERITAGE TREE
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- PROP SWALE



TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING AND DRAINAGE PLAN

JOB NO.	47198
SHEET NO.	C3.1

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	DATE	
	12/19/25	
	DRAWN BY	

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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C3.0 - GRAD.dwg [Plotted on 12/19/2025 12:35 PM] by Kim Hamby



SITE DATA:

1. OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:

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CONTACT: DEREK IVIE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483

2. SITE INFORMATION:

PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACRES: 398.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM

3. MINIMUM BUILDING SETBACKS:

FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'

4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.

5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.

6. ON-SITE COVERAGE CALCULATIONS:

PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)

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MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ONIN AN
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9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

LEGEND

- BENCHMARK
EX FIRE HYDRANT
EX WATER VALVE
EX TELEPHONE PEDESTAL
EX LIGHT POLE
EX POWER POLE
EX GUY ANCHOR
EX POWER METER
EX POWER BOX
EX SIGN
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RIGHT OF WAY
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PROP OVERHEAD POWER
PROP SWALE



SCALE 1"=50'
0 50' 100'

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REVISION DESCRIPTION	
DATE	
12/19/25	
DRAWN BY	SCL
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 50'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING AND DRAINAGE PLAN

JOB NO.
47198
SHEET NO.
C3.2

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SITE DATA:

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EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
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PHONE: (717) 917-8483

2. SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
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PROPOSED USE: SOLAR ENERGY FARM

3. MINIMUM BUILDING SETBACKS:
FRONT: 150'
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CORNER SIDE: 150'
REAR: 150'

4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
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5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
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LEGEND

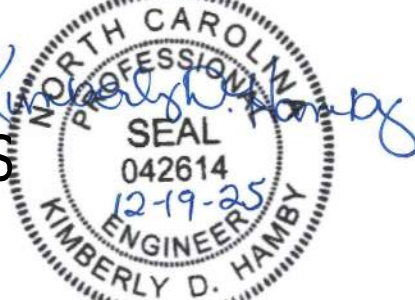
- BENCHMARK
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REVISION DESCRIPTION

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12/19/25

DRAWN BY
SCL

DESIGNED BY
KDH

CHECKED BY
KDH

SCALE
1" = 50'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

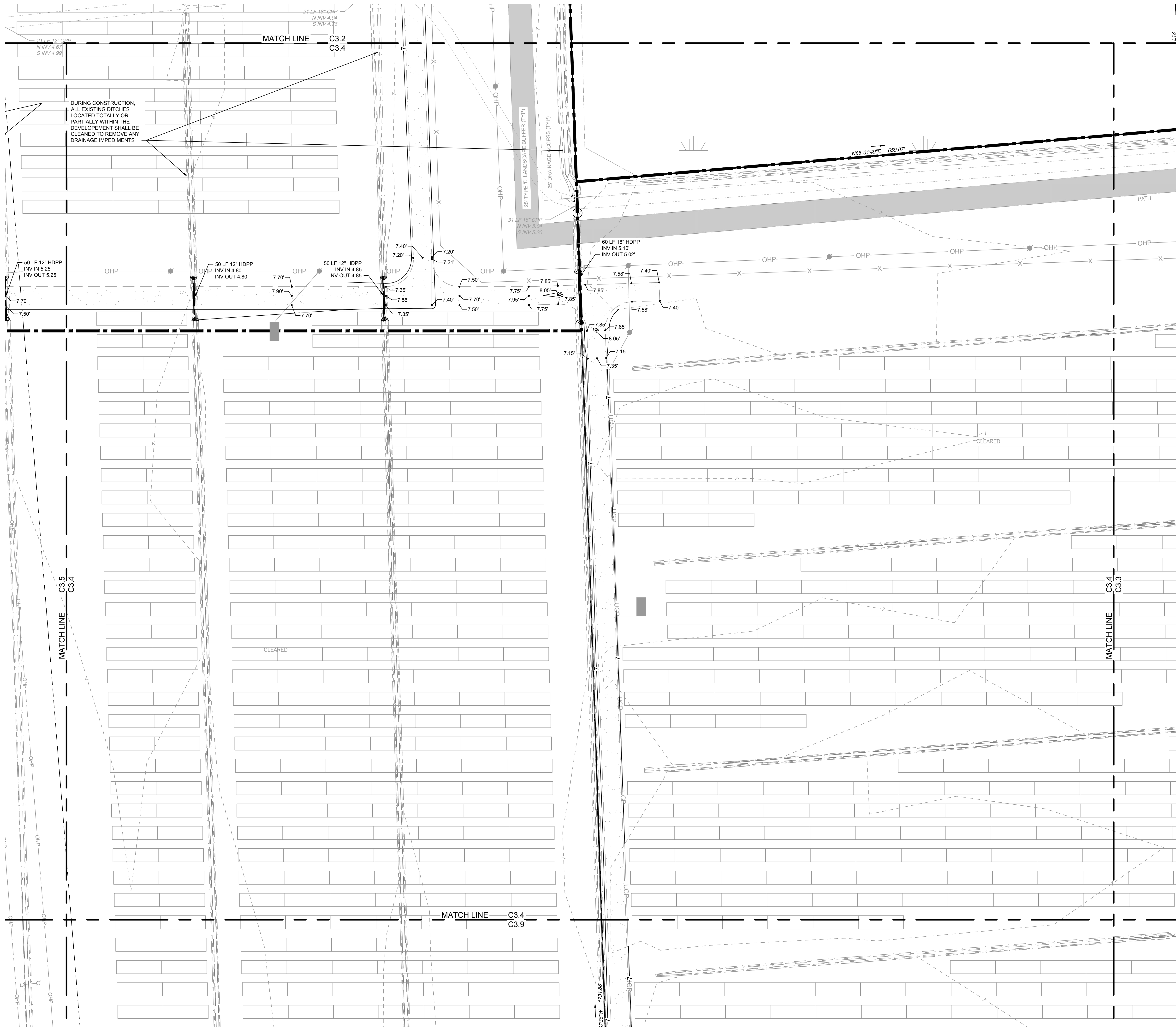
GRADING AND DRAINAGE PLAN

JOB NO.
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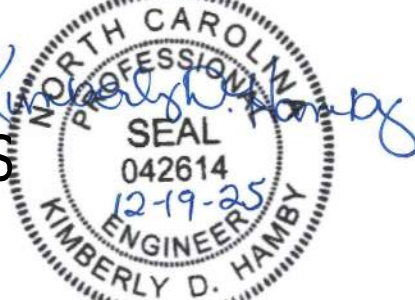
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REVISION DESCRIPTION

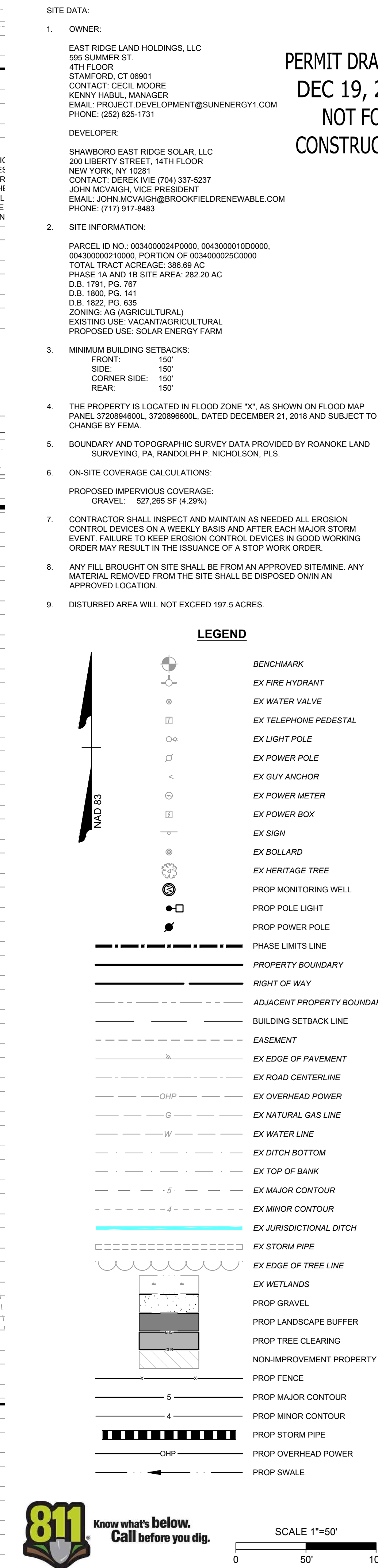
DATE	DATE
	12/19/25
DRAWN BY	SCL
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 50'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING AND DRAINAGE PLAN


JOB NO.
47198
SHEET NO.
C3.4

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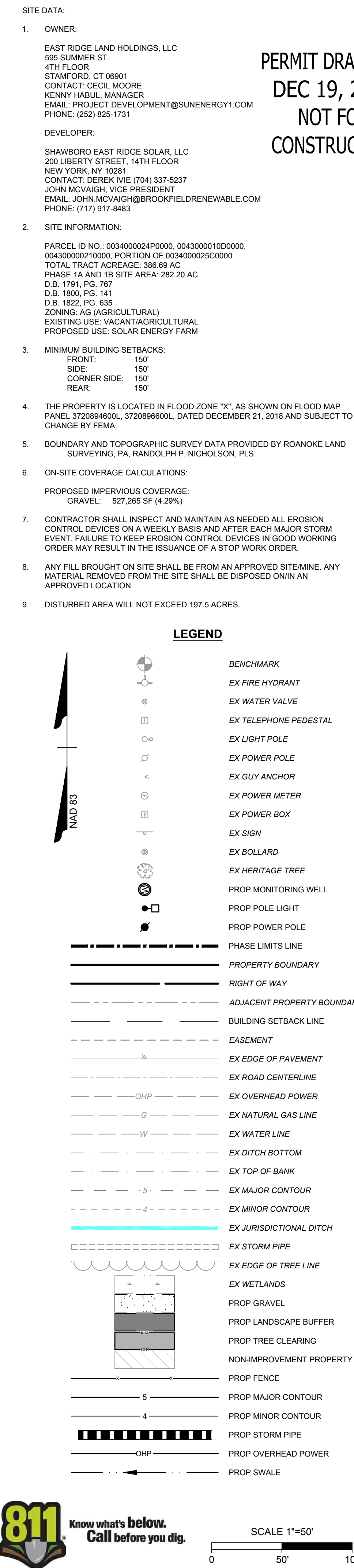
OUR VISION ACHIEVED THROUGH OURS.		
	DATE	
	DATE	<i>12/19/25</i>

	<i>SCL</i>
	DESIGNED BY
	<i>KDH</i>
	CHECKED BY
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	SCALE
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<h1>TIMMONS GROUP</h1> <p>NORTH CAROLINA LICENSE NO. C-1652</p>	<p>SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B</p> <p>CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA</p>
	<p>GRADING AND DRAINAGE PLAN</p>

<p>JOB NO.</p> <p>47198</p>
<p>SHEET NO.</p> <p>23 OF 50</p>

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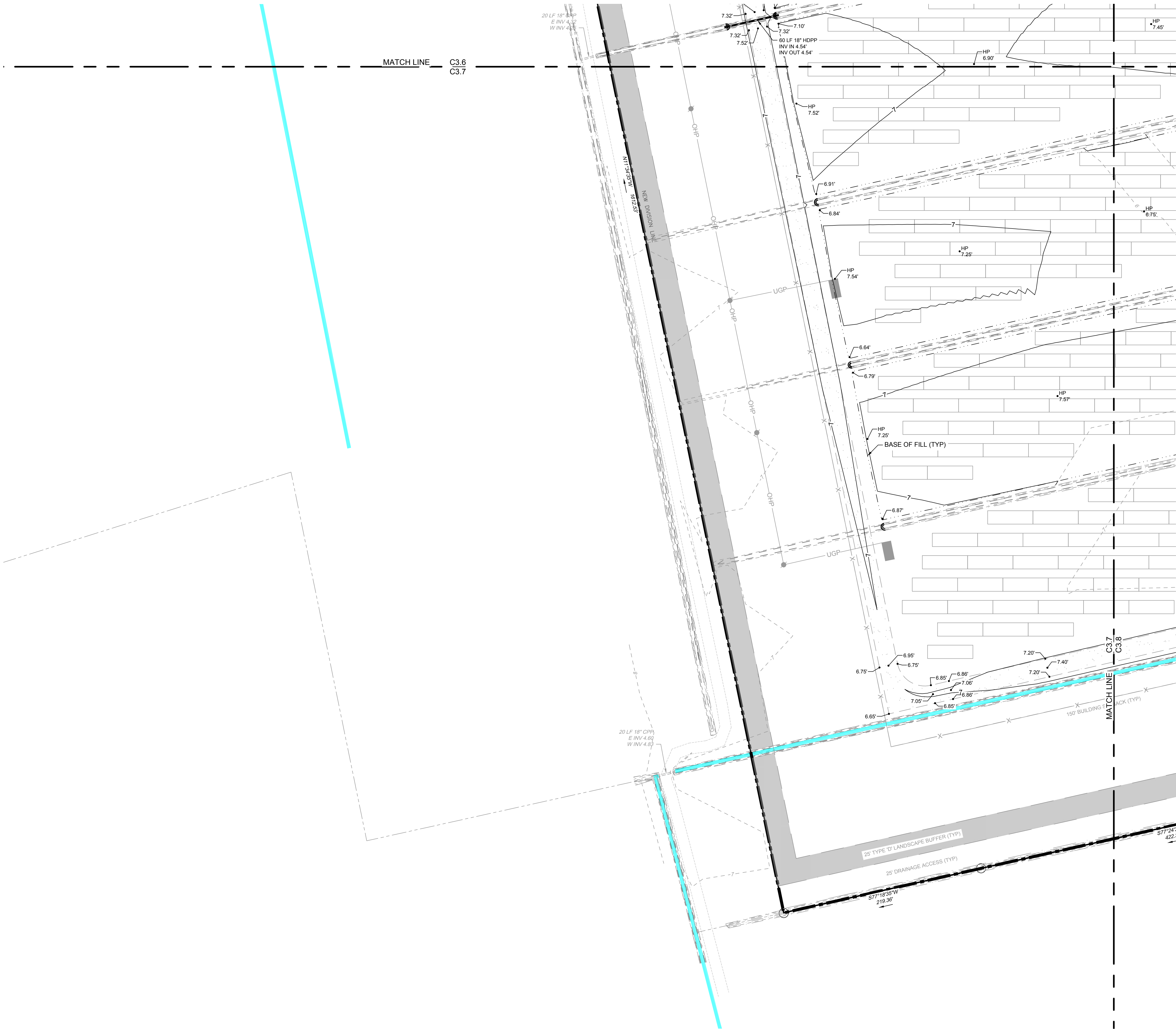


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DATE							
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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C3.0 - GRAD.dwg [Plotted on 12/19/2025 12:36 PM] by Kim Hamby



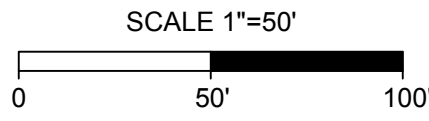
SITE DATA:

- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
- SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 398.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
- MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
- THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
- ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION
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LEGEND

-
- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP MONITORING WELL
- PROP POLE LIGHT
- PROP POWER POLE
- PHASE LIMITS LINE
- PROPERTY BOUNDARY
- RIGHT OF WAY
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- EX ROAD CENTERLINE
- EX OVERHEAD POWER
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12/19/25

DRAWN BY

SCL

DESIGNED BY

KDH

CHECKED BY

KDH

SCALE

1" = 50'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE PLAN

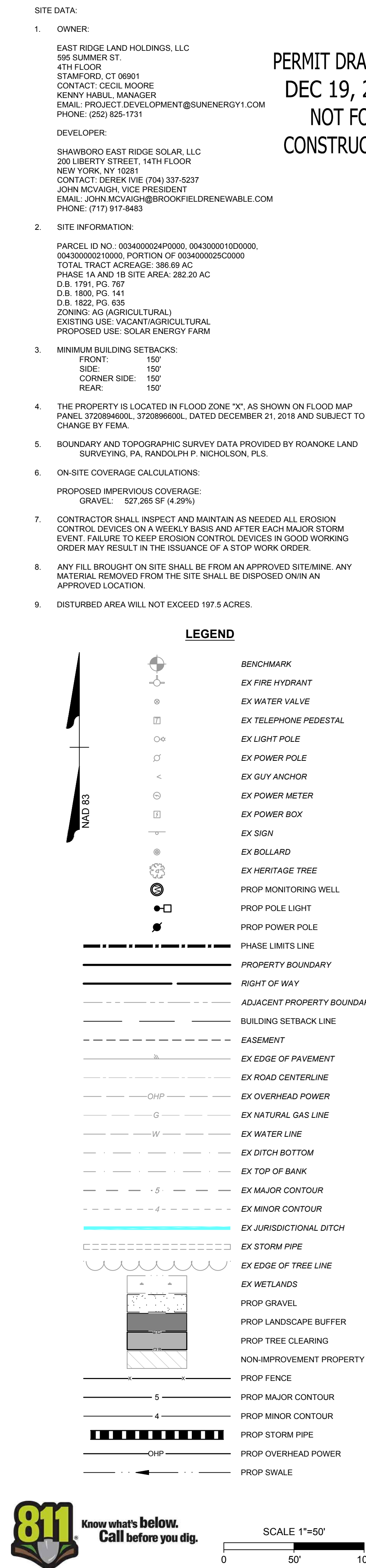
JOB NO.

47198

SHEET NO.

C3.7

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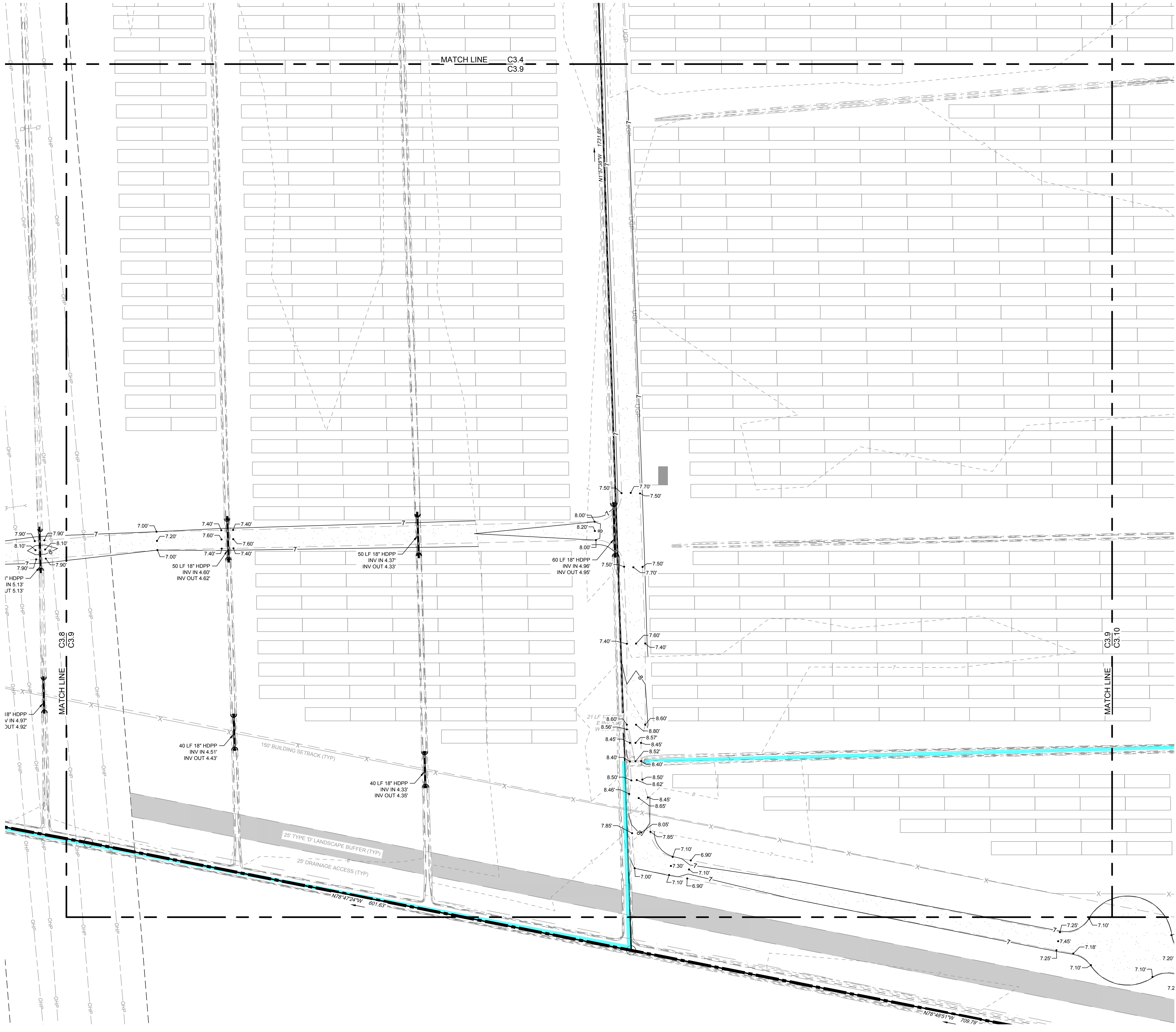
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B	
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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C3.0 - GRAD.dwg [Plotted on 12/19/2025 12:37 PM] by Kim Hamby



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- PROP OVERHEAD POWER
- PROP SWALE



SCALE 1"=50'
0 50' 100'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING AND DRAINAGE PLAN

JOB NO.
47198
SHEET NO.
C3.9

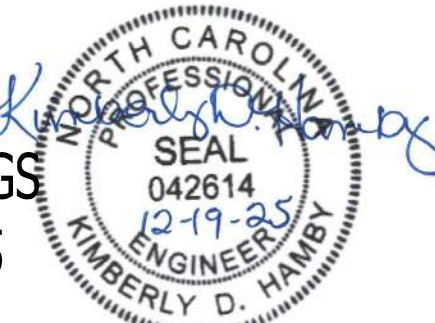
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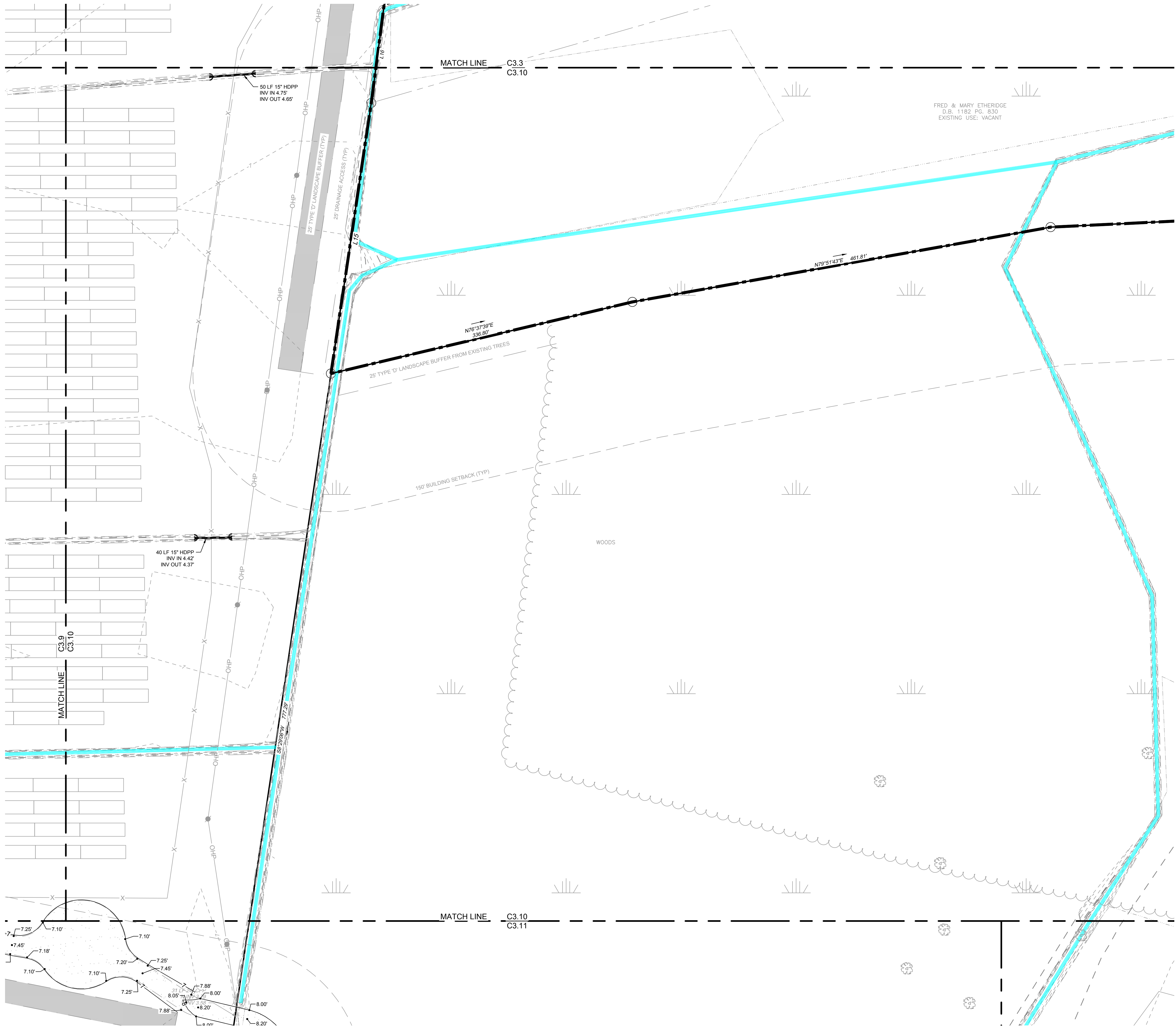
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DESIGNED BY
KDH
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SCALE
1" = 50'

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PHONE: (717) 917-8483

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PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
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TOTAL TRACT ACREAGE: 386.69 AC
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PROPOSED USE: SOLAR ENERGY FARM

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REAR: 150'

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5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
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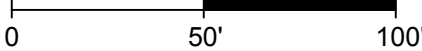
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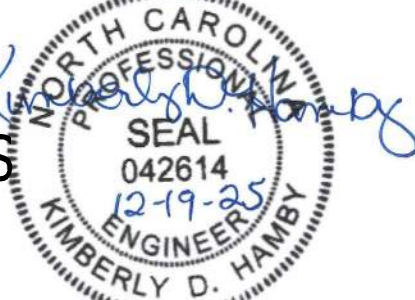


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SCALE 1"=50'



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NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

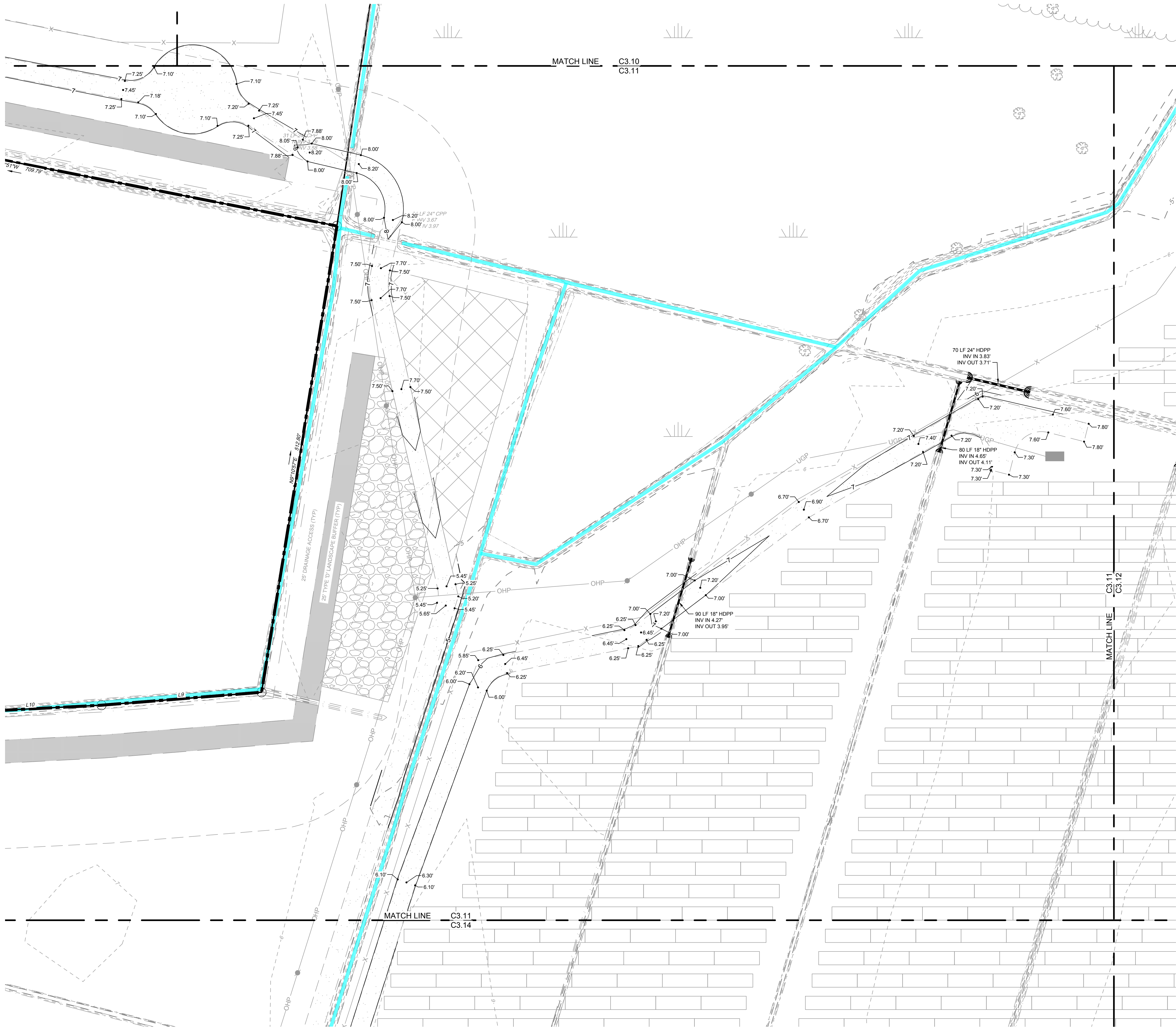
GRADING AND DRAINAGE PLAN

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SHEET NO.
C3.10

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SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
 - THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.
 - BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
 - ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)
 - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION
CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM
EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING
ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
 - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY
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 - DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

LEGEND

	BENCHMARK
	EX FIRE HYDRANT
	EX WATER VALVE
	EX TELEPHONE PEDESTAL
	EX LIGHT POLE
	EX POWER POLE
	EX GUY ANCHOR
	EX POWER METER
	EX POWER BOX
	EX SIGN
	EX BOLLARD
	EX HERITAGE TREE
	PROP MONITORING WELL
	PROP POLE LIGHT
	PROP POWER POLE
	PHASE LIMITS LINE
	PROPERTY BOUNDARY
	RIGHT OF WAY
	ADJACENT PROPERTY BOUNDARY
	BUILDING SETBACK LINE
	EASEMENT
	EX EDGE OF PAVEMENT
	EX ROAD CENTERLINE
	EX OVERHEAD POWER
	EX NATURAL GAS LINE
	EX WATER LINE
	EX DITCH BOTTOM
	EX TOP OF BANK
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX JURISDICTIONAL DITCH
	EX STORM PIPE
	EX EDGE OF TREE LINE
	EX WETLANDS
	PROP GRAVEL
	PROP LANDSCAPE BUFFER
	PROP TREE CLEARING
	NON-IMPROVEMENT PROPERTY
	PROP FENCE
	PROP MAJOR CONTOUR
	PROP MINOR CONTOUR
	PROP STORM PIPE
	PROP OVERHEAD POWER
	PROP SWALE

811 Know what's below.
Call before you dig.

SCALE 1"=50'

0 50' 100'

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DATE

12/19/25

DRAWN BY

SCL

DESIGNED BY

KDH

CHECKED BY

KDH

SCALE

1" = 50'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE PLAN

JOB NO.

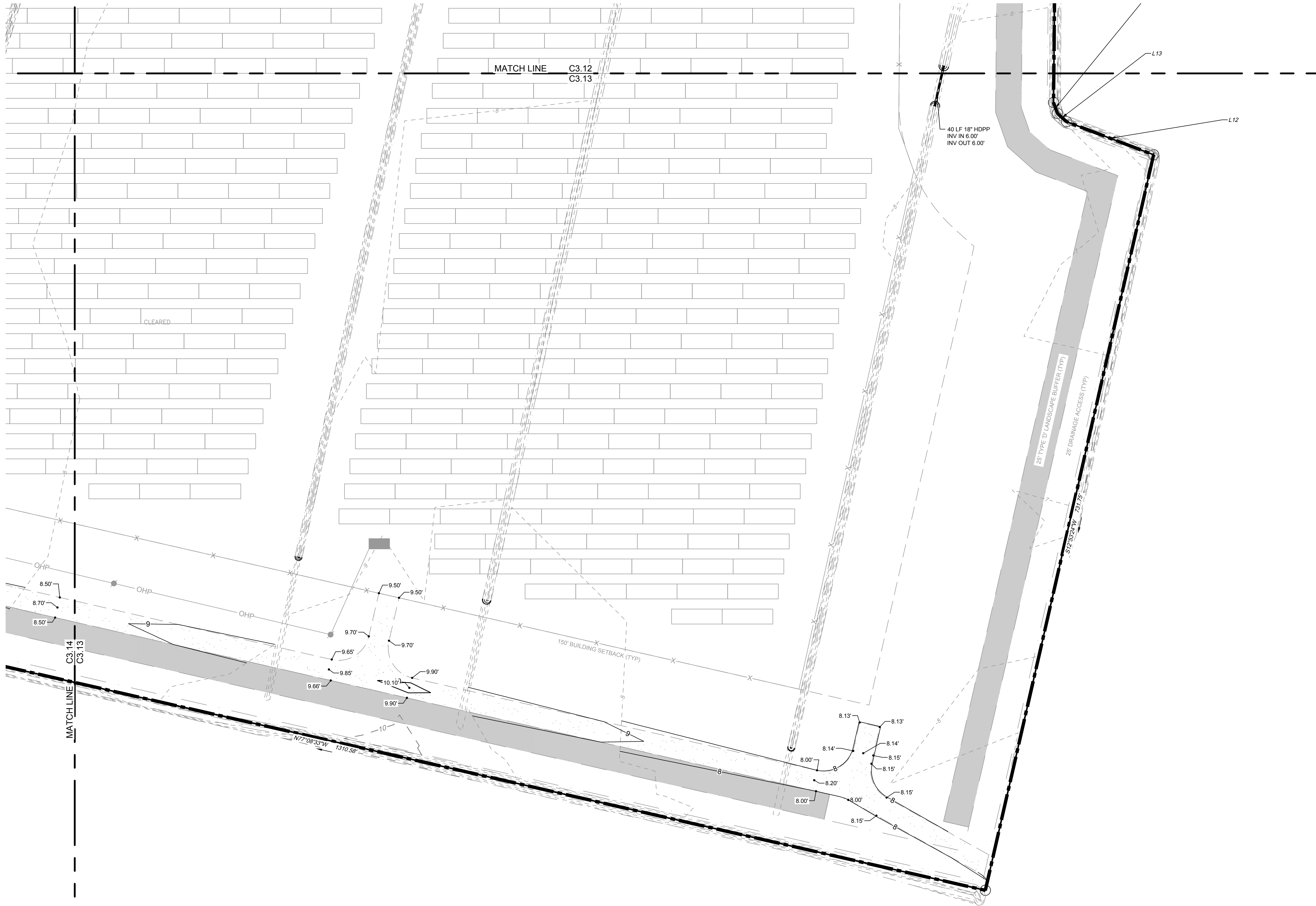
47198

SHEET NO.

C3.12

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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C3.0 - GRAD.dwg [Plotted on 12/19/2025 12:38 PM] by Kim Hamby



- SITE DATA:
- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVIE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
 - SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 386.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
 - MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
 - THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
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LEGEND

	BENCHMARK
	EX FIRE HYDRANT
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	EX LIGHT POLE
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	PROP OVERHEAD POWER
	PROP SWALE

SCALE 1"=50'

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REVISION DESCRIPTION	DATE

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

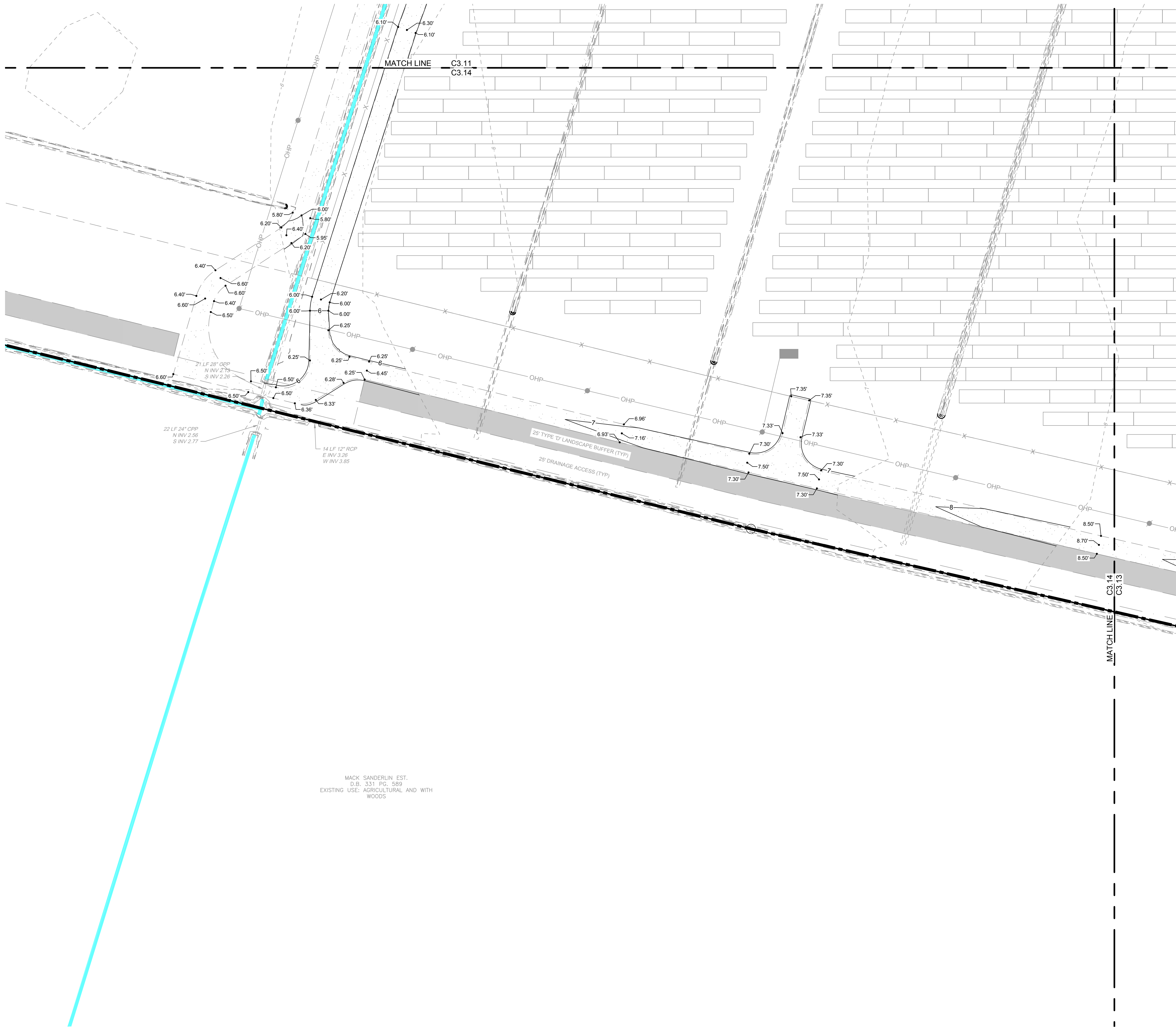
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING AND DRAINAGE PLAN

JOB NO.
47198

SHEET NO.
C3.13

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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C3.0 - GRAD.dwg [Plotted on 12/19/2025 12:38 PM] by Kim Hamby



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STAMFORD, CT 06901
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KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
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EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
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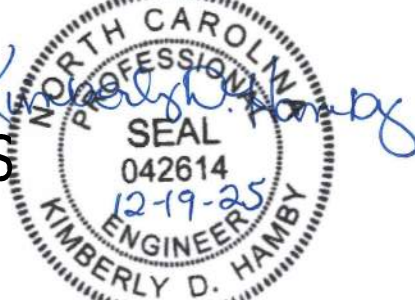
LEGEND

-
- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
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- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP OVERHEAD POWER
- PROP SWALE



SCALE 1"=50'
0 50' 100'

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DATE	
12/19/25	
DRAWN BY	SCL
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 50'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

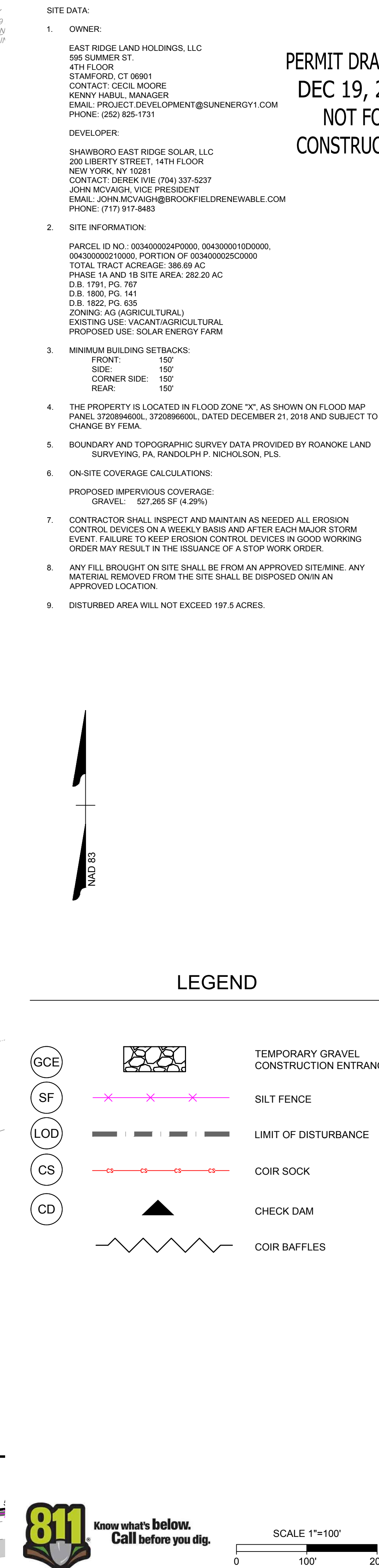
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE PLAN


JOB NO.
47198
SHEET NO.
C3.14

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TEL 252.621.5030 FAX 252.562.6974 www.timmons.com

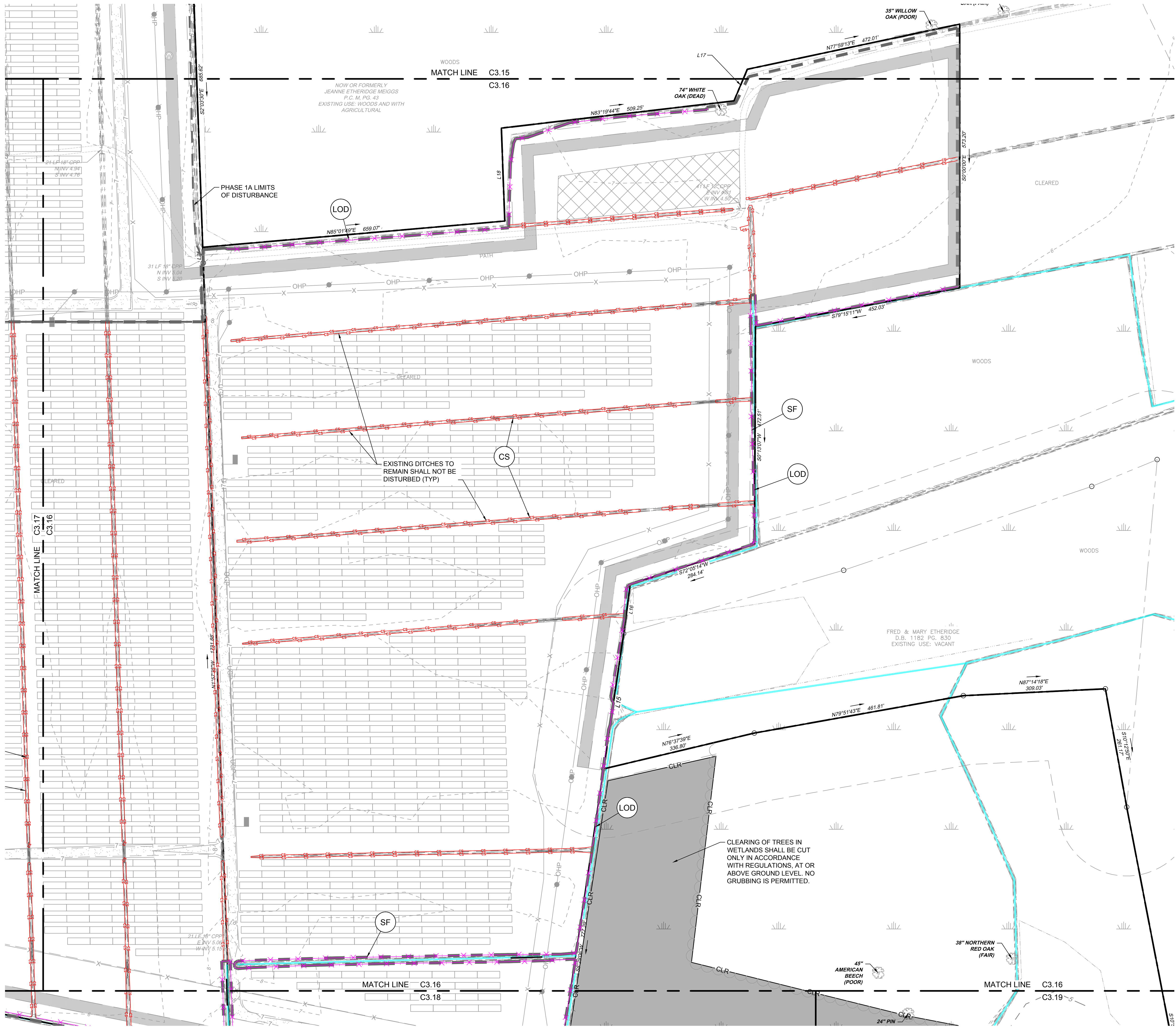
OUR VISION ACHIEVED THROUGH OURS.	DATE						
	DATE		12/19/25				

	DRAWN BY
	SCL
	DESIGNED BY
	KDH
	CHECKED BY
KDH	
SCALE	
1" = 100'	

<h1>TIMMONS GROUP</h1> <p>NORTH CAROLINA LICENSE NO. C-1652</p>	
<p>SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B</p> <p>CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA</p>	<p>EROSION AND SEDIMENT CONTROL PLAN</p>
<p>JOB NO.</p> <p>47198</p>	<p>SHEET NO.</p> <p>C3.15</p>

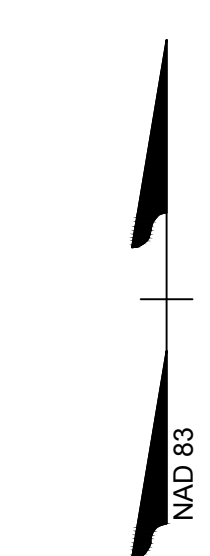
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S:\10947198 - Shawboro Solar\DWG\Sheet\CD\Phase 1A & 1B\47198C-C3.16 - EROS.dwg | Plotted on 12/19/2025 12:39 PM | by Kim Hamby




- SITE DATA:
- OWNER:
EAST RIDGE LAND HOLDINGS, LLC
595 SUMMER ST.
4TH FLOOR
STAMFORD, CT 06901
CONTACT: CECIL MOORE
KENNY HABUL, MANAGER
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM
PHONE: (252) 825-1731

DEVELOPER:
SHAWBORO EAST RIDGE SOLAR, LLC
200 LIBERTY STREET, 14TH FLOOR
NEW YORK, NY 10281
CONTACT: DEREK IVIE (704) 337-5237
JOHN MCVAUGH, VICE PRESIDENT
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM
PHONE: (717) 917-8483
 - SITE INFORMATION:
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,
004300000210000, PORTION OF 0034000025C0000
TOTAL TRACT ACREAGE: 398.69 AC
PHASE 1A AND 1B SITE AREA: 282.20 AC
D.B. 1791, PG. 767
D.B. 1800, PG. 141
D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM
 - MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
 - THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.
 - BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
 - ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)
 - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION
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ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
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 - DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.




LEGEND		
(GCE)		TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)		SILT FENCE
(LOD)		LIMIT OF DISTURBANCE
(CS)		COIR SOCK
(CD)		CHECK DAM
		COIR BAFFLES



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Call before you dig.

SCALE 1"=100'
0 100' 200'


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REVISION DESCRIPTION	
DATE	
12/19/25	
DRAWN BY	SCL
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 100'



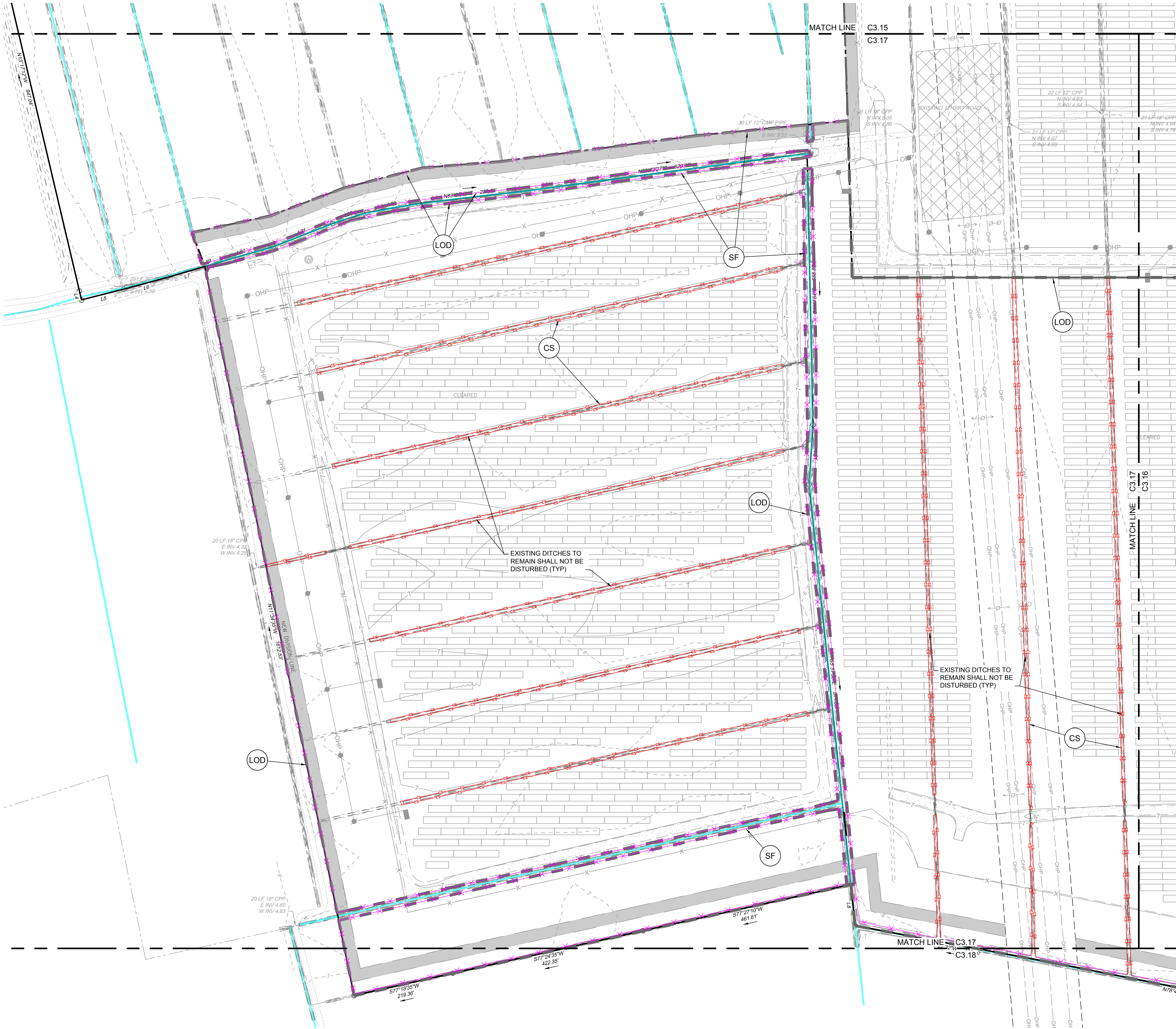
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION AND SEDIMENT CONTROL PLAN

JOB NO.	47198
SHEET NO.	C3.16

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SITE DATA:

1. OWNER:
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STAMFORD, CT 06901
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D.B. 1822, PG. 635
ZONING: AG (AGRICULTURAL)
EXISTING USE: VACANT/AGRICULTURAL
PROPOSED USE: SOLAR ENERGY FARM

3. MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'

4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
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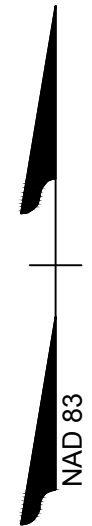
5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
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6. ON-SITE COVERAGE CALCULATIONS:
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LEGEND

- | | | |
|-------|--|---|
| (GCE) | | TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE |
| (SF) | | SILT FENCE |
| (LOD) | | LIMIT OF DISTURBANCE |
| (CS) | | COIR SOCK |
| (CD) | | CHECK DAM |
| | | COIR BAFFLES |



SCALE 1"=100'
0 100' 200'

PERMIT DRAWINGS
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SCALE	1" = 100'

TIMMONS GROUP
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CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
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JOB NO.
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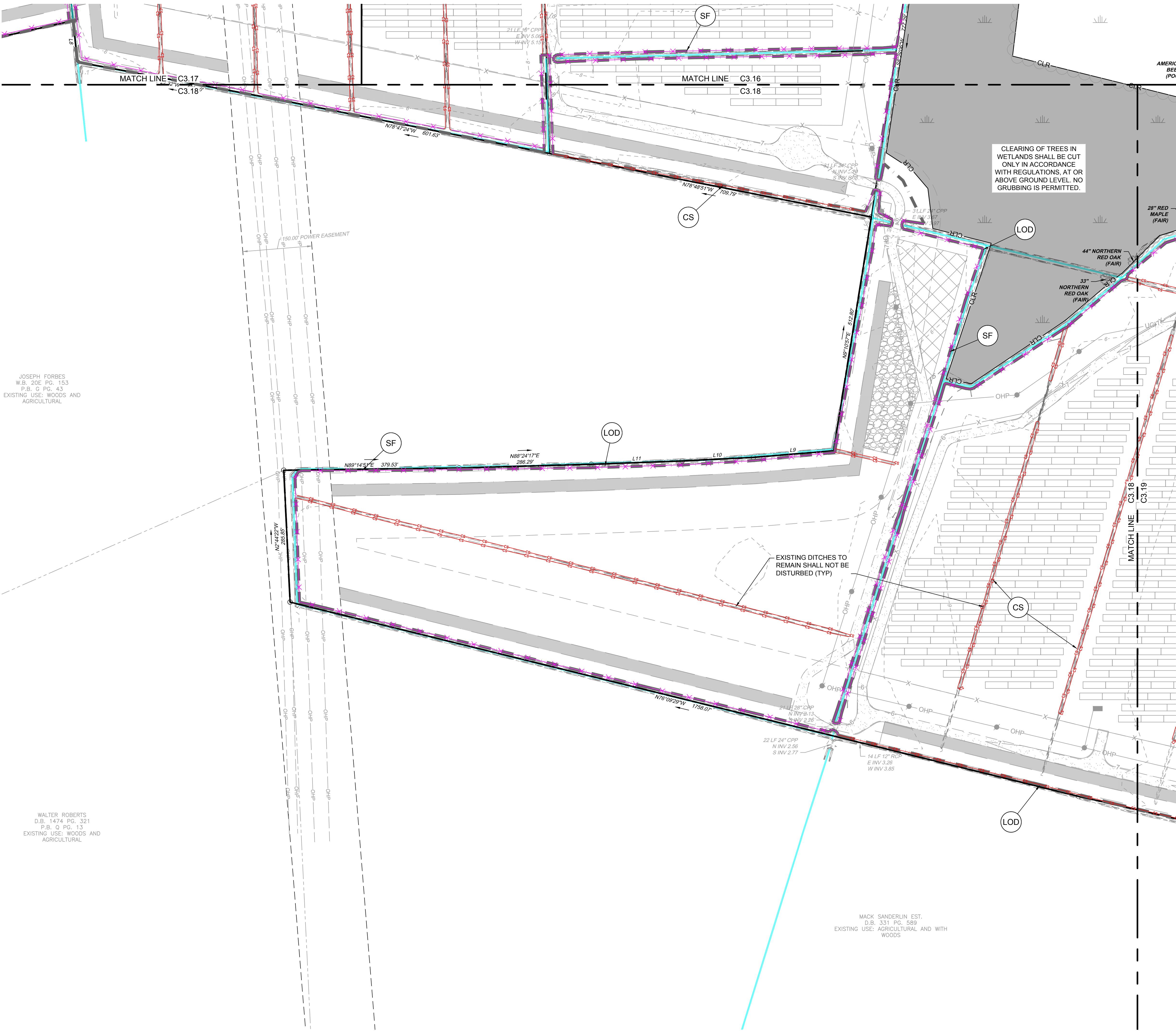
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JOSEPH FORBES
W.B. 205 PG. 153
P.B. O PG. 43
EXISTING USE: WOODS AND AGRICULTURAL

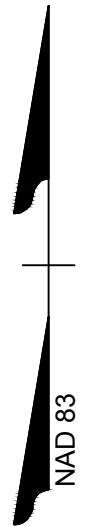
WALTER ROBERTS
D.B. 1474 PG. 321
P.B. O PG. 13
EXISTING USE: WOODS AND AGRICULTURAL

MACK SANDERLIN EST.
D.B. 331 PG. 589
EXISTING USE: AGRICULTURAL AND WITH WOODS



SITE DATA:

- OWNER:
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595 SUMMER ST.
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KENNY HABUL, MANAGER
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- MINIMUM BUILDING SETBACKS:
FRONT: 150'
SIDE: 150'
CORNER SIDE: 150'
REAR: 150'
- THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP
PANEL 3720894600L, 3720896600L, DATED DECEMBER 21, 2018 AND SUBJECT TO
CHANGE BY FEMA.
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.
- ON-SITE COVERAGE CALCULATIONS:
PROPOSED IMPERVIOUS COVERAGE:
GRAVEL: 527,265 SF (4.29%)
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION
CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM
EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING
ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY
MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ON/IN AN
APPROVED LOCATION.
- DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.



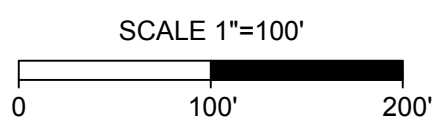
NAD 83

LEGEND

- | | | |
|-------|--|--|
| (GCE) | | TEMPORARY GRAVEL CONSTRUCTION ENTRANCE |
| (SF) | | SILT FENCE |
| (LOD) | | LIMIT OF DISTURBANCE |
| (CS) | | COIR SOCK |
| (CD) | | CHECK DAM |
| | | COIR BAFFLES |



Know what's below.
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REVISION DESCRIPTION

DATE

DATE

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE

1" = 100'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

EROSION AND SEDIMENT CONTROL PLAN

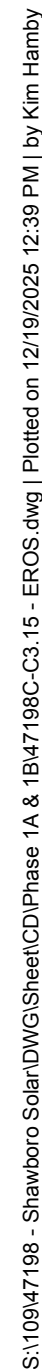
JOB NO.

47198

SHEET NO.

C3.18

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SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

EROSION AND SEDIMENT CONTROL PLAN

SCALE 1"=100'



A horizontal scale bar with a white left half and a black right half. The left half is labeled '0' at the start and '100'' at the midpoint. The right half is labeled '200'' at the end.

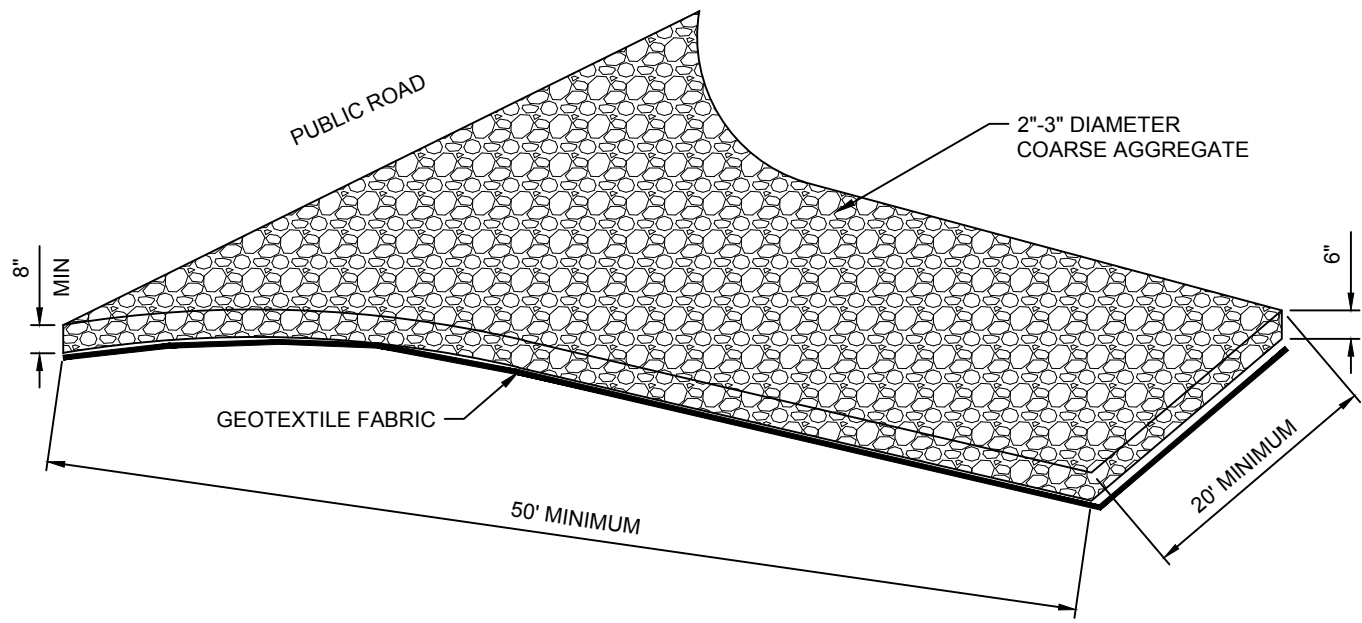
S:\10947198 - Shawboro Solar CD\SheetCD\Phase 1A & 1B\47198C-C4.1 - DTEROS.dwg | Plotted on 12/19/2025 12:38 PM | by Kim Hamby

CONSTRUCTION SPECIFICATIONS:

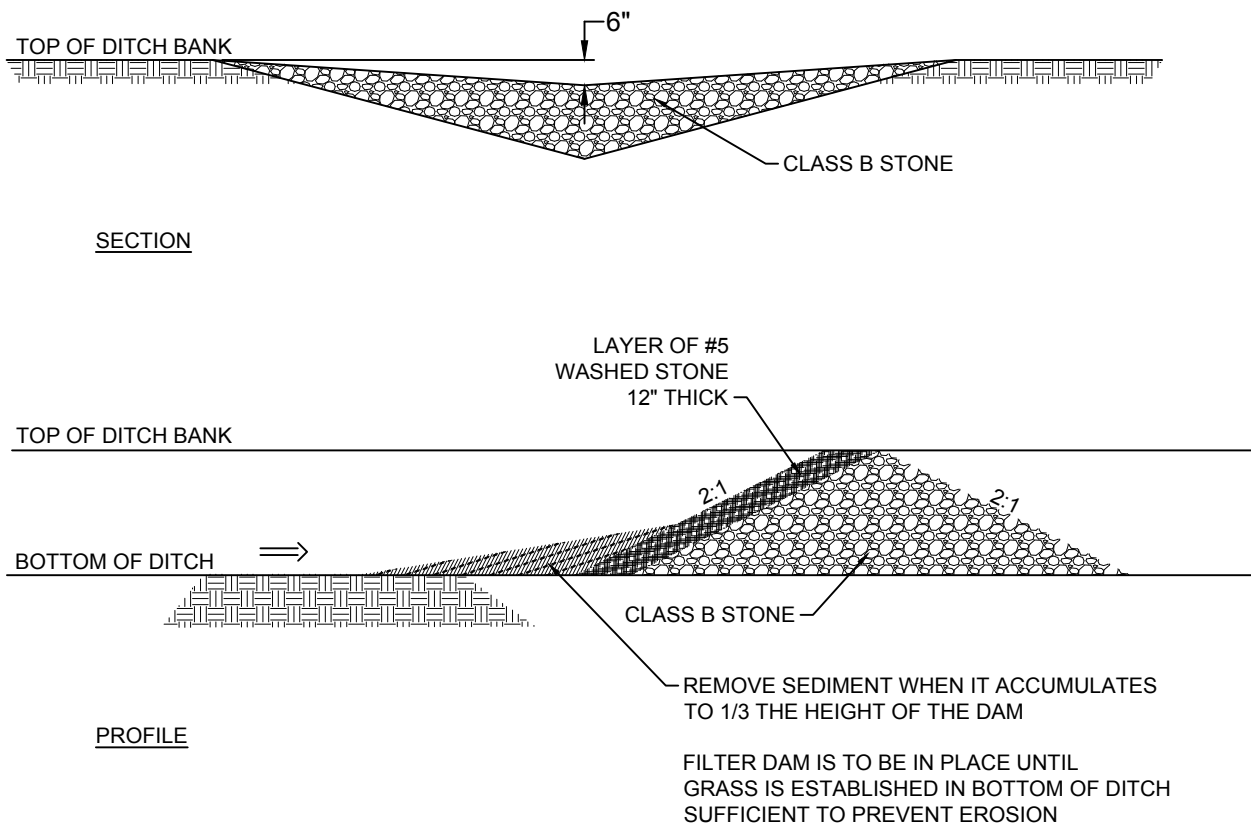
1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, AND PROPERLY GRADE IT.
2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLAN.
3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

MAINTENANCE

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TWO-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.



TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE/EXIT
NO SCALE



CHECK DAM
NO SCALE

SEEDBED PREPARATION

CONSTRUCTION SPECIFICATIONS

1. PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEED USING TILLAGE AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. SOIL SHALL RECEIVE LIME, FERTILIZER AND/OR SUPERPHOSPHATE UNIFORMLY AS NEEDED PER RECOMMENDATIONS FROM NORTH CAROLINA DEPARTMENT OF AGRICULTURE OR OTHER COMMERCIAL LABORATORY.
3. SEED ON A FRESHLY PREPARED SEEDBED AND ENSURE SEED IS LIGHTLY COVERED FOLLOWING INSTALLATION.
4. MULCH IMMEDIATELY AFTER SEEDING.
5. CONTRACTOR SHALL SEED ALL AREAS THAT ARE DISTURBED WITHIN TWO DAYS. INSPECT ALL SEEDED AREAS AND MAKE SURE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETE, AN INSPECTION WILL BE COMPLETED TO DETERMINE IF ADDITIONAL SEEDING WILL BE REQUIRED.

*APPLY FERTILIZER, LIME, AND MULCH SHALL BE APPLIED AT RATES RECOMMENDED BY NCDA (OR OTHERS). OTHERWISE, APPLY AS DESCRIBED BELOW.

AGRICULTURAL LIMESTONE - 1-1.5 TONS/ACRE ON COARSE TEXTURED SOILS AND 2-3 TONS/ACRE IN FINE-TEXTURED SOILS.
SOILS WITH PH OF 6 OR HIGHER NEED NOT BE LIMED.
FERTILIZER - 700/1000 LBS/ACRE (10-10-10)
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED ON ALL AREAS OF THE SITE WHICH ALL DISTURBED OR GRADED.

PROVIDE A GROUNDCOVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY FOR SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH, FOR SLOPES 4:1 OR FLATTER OF ANY LENGTH (EXCEPT FOR PERIMETERS AND HQW ZONES), AND SLOPES NO STEEPER THAN 2:1 AND LESS THAN 10' IN LENGTH.

PROVIDE GROUNDCOVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOR SLOPES STEEPER THAN 3:1 OR SLOPES 3:1 OR FLATTER GREATER THAN 50' IN LENGTH, FOR HIGH QUALITY WATER (HWQ) ZONES, AND PERIMETER DIKES, SWALES, DITCHES AND SLOPES.

PROVIDE GROUNDCOVER (TEMPORARY OR PERMANENT) ON ALL EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND, A PERMANENT GROUNDCOVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

THE CONTROL MEASURES SHALL BEGIN PRIOR TO ANY LAND DISTURBING ACTIVITY INCLUDING CLEARING, SHALL CONTINUE DURING CONSTRUCTION AND SHALL CONTINUE WITH THE NECESSARY MAINTENANCE UNTIL THE DISTURBED LAND IS STABILIZED. COMPLIANCE WITH LOCAL AND/OR STATE SOIL EROSION AND SEDIMENTATION CONTROL LAWS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR. THIS PARAGRAPH IS INTENDED TO SERVE ONLY AS A GUIDE TO THE CONTRACTOR FOR COMPLIANCE WITH SUCH LAWS, ORDERS, RULES AND REGULATIONS CONCERNING EROSION AND SEDIMENTATION CONTROL. PROTECTION OF EXISTING STRUCTURES AND FACILITIES FROM SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO, CATCH BASINS, NATURAL WATERWAYS, DRAINAGE DITCHES, WALKS, DRIVES, ROADS, LAWNS, AND STREAMS.

EROSION CONTROL MEASURES
NO SCALE

PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN

DATE	TYPE	BROADCAST SEEDING RATES
SEP 1 - MAR 31	COMMON BERMUDA 'SAHARA' (UNHULLED) REBEL II FESCUE	130 LBS/ACRE 175 LBS/ACRE
APR 1 - AUG 31	COMMON BERMUDA 'SAHARA' (HULLED) REBEL II FESCUE	90 LBS/ACRE 175 LBS/ACRE
AUG 15 - APR 30	PERENNIAL RYE (AS A NURSE PLANT)	40 LBS/ACRE IN ADDITION TO OTHER SEED TYPES

TEMPORARY SEEDING SCHEDULE

DATE	TYPE	PLANTING RATES
APR 15 - AUG 15	GERMAN MILLET	40 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	120 LBS/ACRE

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REVISION DESCRIPTION	DATE

DATE	12/19/25
DRAWN BY	SCL
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	NO SCALE

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION AND SEDIMENT CONTROL DETAILS

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