

# SHAWBORO EAST RIDGE

## SOLAR - PHASE 1A & 1B

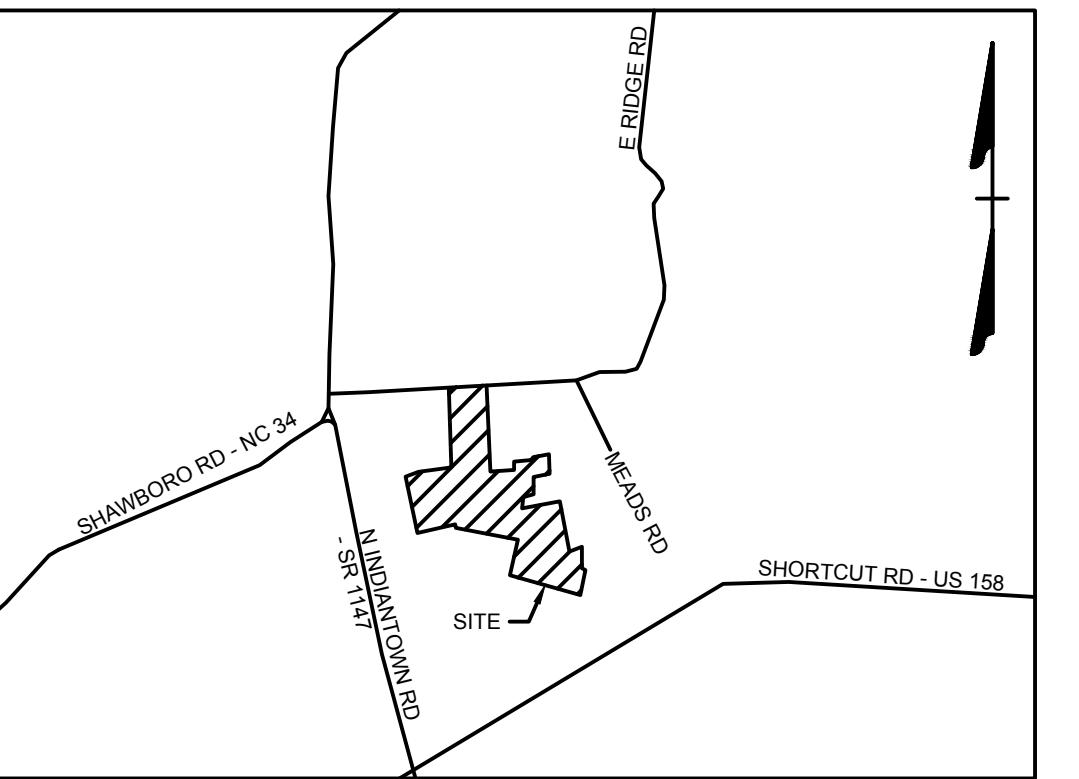
### EAST RIDGE RD

### SHAWBORO, NORTH CAROLINA

### CURRITUCK COUNTY

GENERAL NOTES:

- SUP CONDITIONS OF APPROVAL
- IN ADDITION TO THE THREE REQUIRED MONITORING WELLS, THREE ADDITIONAL WELLS WILL BE PROVIDED. MONITORING WELLS ARE TO BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS.
- BUFFER STANDARDS AND STORMWATER REQUIREMENTS IN THE UDO WILL BE MET.
- PER THE TESTIMONY OF THE CERTIFIED REAL ESTATE APPRAISER, THE APPLICANT WILL ADHERE TO ALL SETBACKS AND BUFFER REQUIREMENTS IN THE UDO.
- IT WILL BE A TYPE D BUFFER USING NEW AND EXISTING VEGETATION, THERE WILL BE FENCING AROUND THE AREA AND WILL ALLOW ACCESS TO THE LANDLOCKED PROPERTY OWNER.
- FOLLOWING INSTALLATION, ALL FIXTURES, PANELS, AND EQUIPMENT WILL BE INSTALLED TO ENGINEERING SPECIFICATIONS, SPECIFICALLY WITH TORQUE.
- ACCESS DOORS FOR BUILDINGS THAT HOUSE INVERTER EQUIPMENT MUST FACE AWAY FROM THE NAVAL SUPPORT ACTIVITY NORTHWEST ANNEX.
- NO PANELS OR EQUIPMENT WILL EXCEED 20' ABOVE GRADE. MAXIMUM HEIGHT APPLIES TO THE SOLAR PANELS WHEN TILTED TO FULL HEIGHT.
- PANELS AND EQUIPMENT WILL BE CONFIGURED TO AVOID GLARE BEYOND THE EXTERIOR PROPERTY LINES.
- HOURS OF OPERATION DURING CONSTRUCTION PHASE SHALL BE FROM 7:00AM TO 7:00PM, MONDAY THROUGH SATURDAY.
- NO SHIPPING CONTAINERS PERMITTED ON SITE.
- PRIOR TO CO, CERTIFICATE FROM LANDSCAPE CONTRACTOR WILL BE PROVIDED PER SECTION 4.2.3.6.B OF THE CURRITUCK COUNTY UDO.
- IF CONSTRUCTION AREA IS WITHIN 1,500 FEET OF A PUBLIC SCHOOL OR LICENSED PRE-SCHOOL, NO PILE DRIVING SHALL BE ALLOWED DURING REGULAR SCHOOL SESSION TIMES.



VICINITY MAP

NO SCALE

<p><b>OWNER</b>  <b>EAST RIDGE LAND HOLDINGS, LLC</b>  595 SUMMER ST., 4TH FLOOR  STAMFORD, CT 06901  CONTACT: CECIL MOORE  KENNY HABUL, MANAGER  EMAIL: <a href="mailto:PROJECT.DEVELOPMENT@SUNENERGY1.COM">PROJECT.DEVELOPMENT@SUNENERGY1.COM</a>    PHONE: (252) 825-1731</p>	<p><b>DEVELOPER</b>  <b>SHAWBORO EAST RIDGE SOLAR, LLC</b>  200 LIBERTY STREET, 14TH FLOOR  NEW YORK, NY 10281  CONTACT: DEREK IVIE (704) 337-5237  JOHN MCVAIGH, VICE PRESIDENT  EMAIL: <a href="mailto:JOHN.MCVAIGH@BROOKFIELDRENEWABLE.COM">JOHN.MCVAIGH@BROOKFIELDRENEWABLE.COM</a>    PHONE: (717) 917-8483</p>
--	--

**CIVIL ENGINEER**  
**TIMMONS GROUP**  
1805 WEST CITY DRIVE, UNIT E  
ELIZABETH CITY, NC 27909  
PHONE: (252) 621-5030  
PHONE: (252) 562-6974  
CONTACT: KIMBERLY D. HAMBY, P.E.  
EMAIL: [KIM.HAMBY@TIMMONS.COM](mailto:KIM.HAMBY@TIMMONS.COM)

PERMIT DRAWINGS  
DEC 19, 2025  
NOT FOR  
CONSTRUCTION



THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E, Elizabeth City, NC 27909  
TEL 252.621.5030 FAX 252.562.6974 [www.timmons.com](http://www.timmons.com)

REVISION DESCRIPTION

SHEET LIST	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS OVERVIEW
C1.1	EXISTING CONDITIONS AND CLEARING LIMITS
C1.2	EXISTING CONDITIONS AND CLEARING LIMITS
C1.3	EXISTING CONDITIONS AND CLEARING LIMITS
C1.4	EXISTING CONDITIONS AND CLEARING LIMITS
C1.5	EXISTING CONDITIONS AND CLEARING LIMITS
C1.6	EXISTING CONDITIONS AND CLEARING LIMITS
C2.0	SITE PLAN OVERVIEW
C2.1	SITE PLAN
C2.2	SITE PLAN
C2.3	SITE PLAN
C2.4	SITE PLAN
C2.5	SITE PLAN
C2.6	SITE PLAN
C2.7	SITE PLAN
C2.8	SITE PLAN
C2.9	SITE PLAN
C2.10	SITE PLAN
C2.11	SITE PLAN
C2.12	SITE PLAN
C2.13	SITE PLAN
C2.14	SITE PLAN
C2.15	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	GRADING AND DRAINAGE PLAN
C3.2	GRADING AND DRAINAGE PLAN
C3.3	GRADING AND DRAINAGE PLAN
C3.4	GRADING AND DRAINAGE PLAN
C3.5	GRADING AND DRAINAGE PLAN
C3.6	GRADING AND DRAINAGE PLAN
C3.7	GRADING AND DRAINAGE PLAN
C3.8	GRADING AND DRAINAGE PLAN
C3.9	GRADING AND DRAINAGE PLAN
C3.10	GRADING AND DRAINAGE PLAN
C3.11	GRADING AND DRAINAGE PLAN
C3.12	GRADING AND DRAINAGE PLAN
C3.13	GRADING AND DRAINAGE PLAN
C3.14	GRADING AND DRAINAGE PLAN
C3.15	EROSION AND SEDIMENT CONTROL PLAN
C3.16	EROSION AND SEDIMENT CONTROL PLAN
C3.17	EROSION AND SEDIMENT CONTROL PLAN
C3.18	EROSION AND SEDIMENT CONTROL PLAN
C3.19	EROSION AND SEDIMENT CONTROL PLAN
C4.0	CONSTRUCTION DETAILS
C4.1	EROSION AND SEDIMENT CONTROL DETAILS
C4.2	EROSION AND SEDIMENT CONTROL DETAILS

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
COVER SHEET

JOB NO.	47198
SHEET NO.	C0.0

SITE DATA:  
1. OWNER:  
EAST RIDGE LAND HOLDINGS, LLC  
595 SUMMER ST.  
4TH FLOOR  
STAMFORD, CT 06901  
CONTACT: CECIL MOORE  
KENNY HABUL, MANAGER  
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM  
PHONE: (252) 825-1731

DEVELOPER:  
SHAWBORO EAST RIDGE SOLAR, LLC  
200 LIBERTY STREET, 14TH FLOOR  
NEW YORK, NY 10281  
CONTACT: DEREK IVE (704) 337-5237  
JOHN MCVAUGH, VICE PRESIDENT  
EMAIL: JOHN.MCVAUGH@BROOKFIELDRENEWABLE.COM  
PHONE: (717) 917-8483

2. SITE INFORMATION:  
PARCEL ID NO.: 0034000024P0000, 0043000010D0000,  
0043000020C0000 - PORTION OF 0034000025C0000  
TOTAL SITE ACREAGE: .386 69 AC  
PHASE 1A AND 1B SITE AREA: .282 20 AC  
D.B. 1791, PG. 767  
D.B. 1800, PG. 141  
D.B. 1822, PG. 635  
ZONING: AG (AGRICULTURAL)  
EXISTING USE: VACANT/AGRICULTURAL  
PROPOSED USE: SOLAR ENERGY FARM

3. MINIMUM BUILDING SETBACKS:  
FRONT: 150'  
SIDE: 150'  
CORNER SIDE: 150'  
REAR: 150'

4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP  
PANEL 372089460L, 372089660L, DATED DECEMBER 21, 2018 AND SUBJECT TO  
CHANGE BY FEMA.

5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND  
SURVEYING, PA, RANDOLPH P. NICHOLSON, PLS.

6. ON-SITE COVERAGE CALCULATIONS:

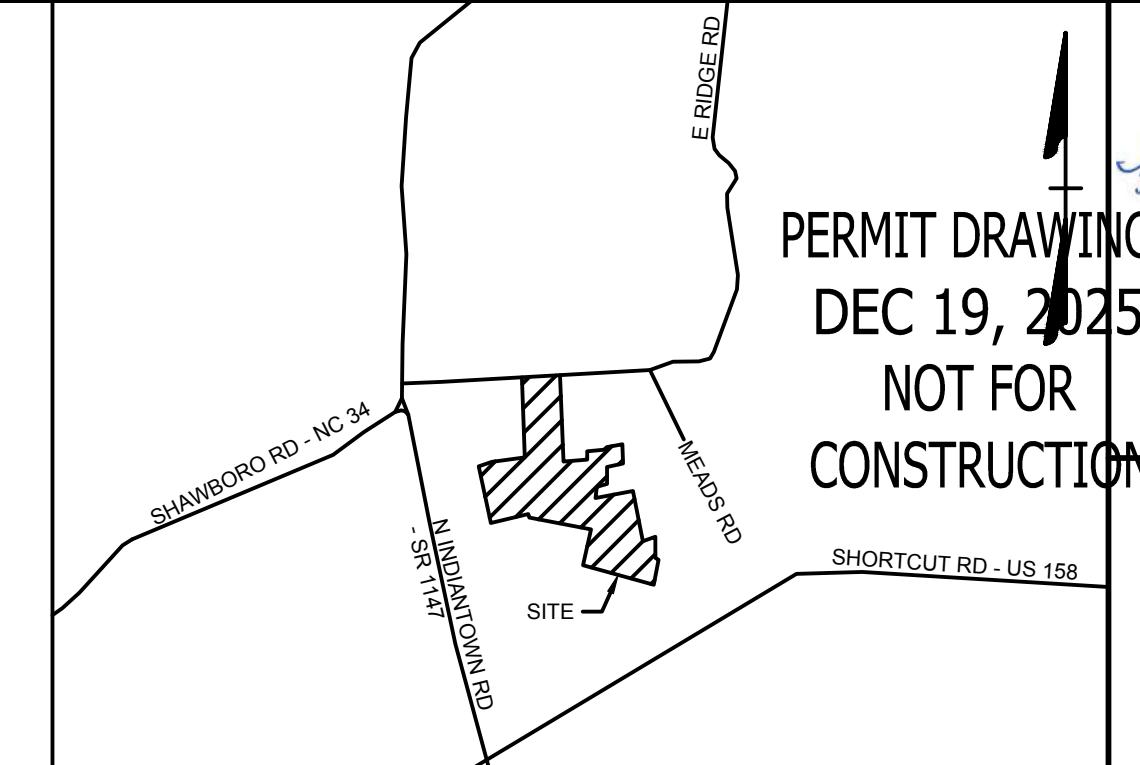
PROPOSED IMPERVIOUS COVERAGE:  
GRAVEL: 527,265 SF (4.29%)

7. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION  
CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM  
EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING  
ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.

8. ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MEINE. ANY  
MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ON/NIN AN  
APPROVED LOCATION.

9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

LINE TABLE		
LINE	BEARING	LENGTH
L1	N12°10'24"E	40.58'
L2	N14°19'47"W	200.70'
L3	S75°41'48"W	104.81'
L4	N13°17'12"W	19.69'
L5	S75°46'52"W	94.16'
L6	S74°53'40"W	98.04'
L7	S73°52'52"W	84.69'
L8	N6°00'10"W	89.84'
L9	N85°21'55"E	174.24'
L10	N87°03'43"E	154.14'
L11	N87°56'41"E	196.86'
L12	S69°11'15"E	90.26'
L13	S48°15'50"E	12.02'
L14	S19°20'12"E	11.21'
L15	S8°28'07"W	297.44'
L16	S7°29'01"W	108.13'
L17	N22°48'22"E	74.43'
L18	N2°05'57"W	202.16'
L19	N73°52'52"E	14.77'
L20	N73°51'12"E	140.21'
L21	N68°40'52"E	137.48'
L22	N71°56'52"E	78.41'
L23	N80°10'50"E	112.50'
L24	S3°47'50"W	129.45'
L25	N2°03'30"W	33.81'



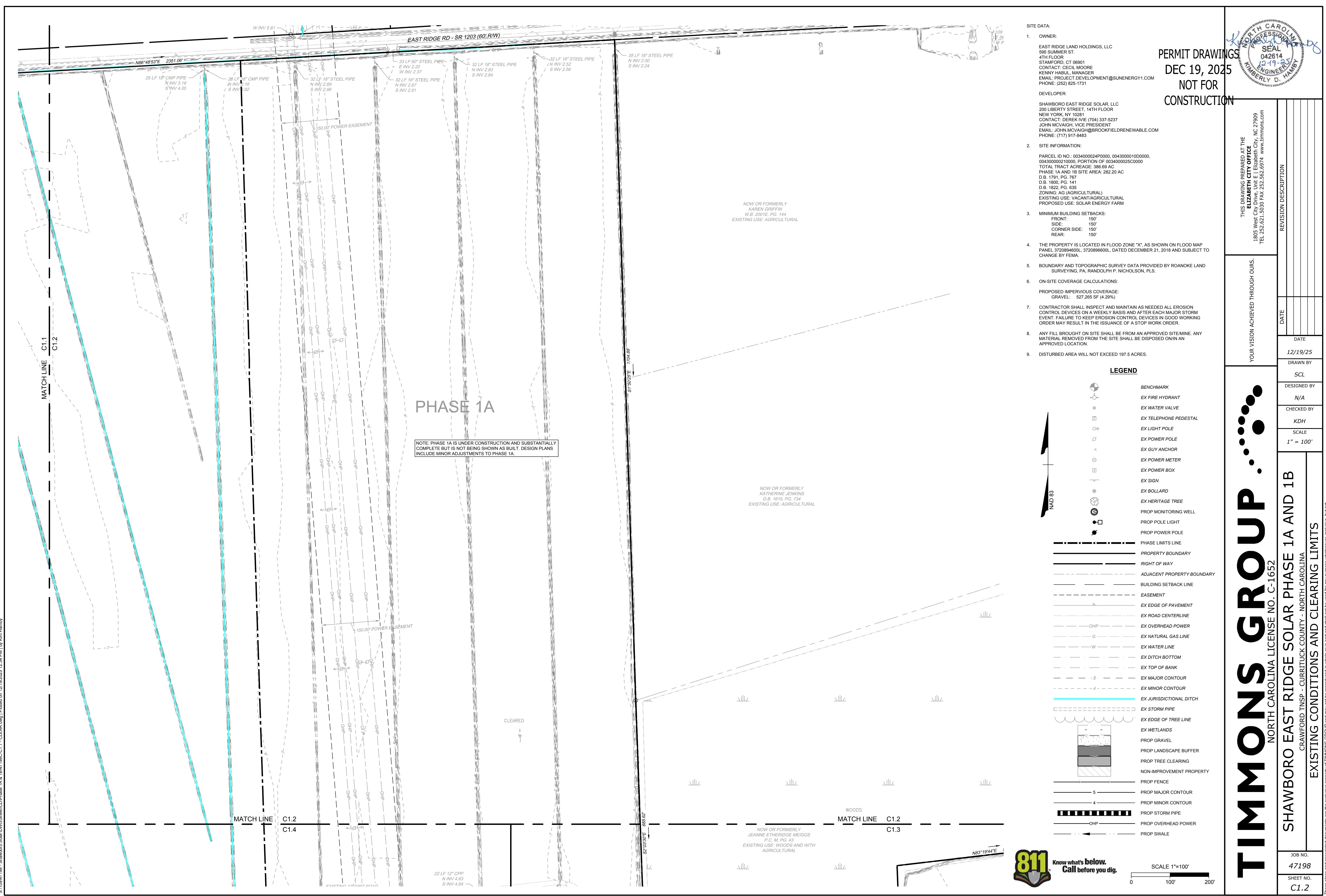
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THIS DRAWING REARED AT THE  
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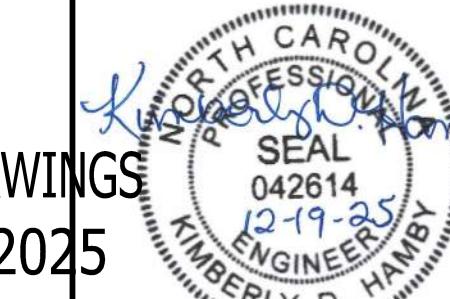
**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
EXISTING CONDITIONS OVERVIEW











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DEC 19, 2025  
NOT FOR  
CONSTRUCTION

SITE DATA:  
OWNER:  
EAST RIDGE LAND HOLDINGS, LLC  
595 SUMMER ST.  
4TH FLOOR  
STAMFORD, CT 06901  
CONTACT: CECIL MOORE  
KENNY HABUL, MANAGER  
EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM  
PHONE: (252) 825-1731

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REVISION DESCRIPTION

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# MONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

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## ORO EAST RIDGE SOLAR PHASE 1A AND

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

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### EXISTING CONDITIONS AND CLEARING LIMITS

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# TY DARY TMMONSGROUP

NORTH CAROLINA LICENSE NO C-1657

**CONS GROUP**  
NORTH CAROLINA | LICENSE NO C-1652

TY  
200'

JOSEPH FORBES  
W.B. 20E PG. 153  
P.B. G PG. 43  
EXISTING USE: WOODS AND  
AGRICULTURAL

WALTER ROBERTS  
D.B. 1474 PG. 321  
P.B. Q PG. 13  
EXISTING USE: WOODS AND  
AGRICULTURAL

## HERITAGE TREES TO BE REMOVED

DIAMETER IN CALIPER	SPECIES	CONDITION
30	PIN OAK	FAIR
24	PIN OAK	FAIR
53	PIN OAK	FAIR
26	NORTHERN RED OAK	FAIR
56	NORTHERN RED OAK	FAIR
44	NORTHERN RED OAK	FAIR
33	NORTHERN RED OAK	FAIR
28	RED MAPLE	FAIR
TOTAL ACI TO BE REMOVED =		294
TOTAL ACI TO BE REPLACED =		147

REPLACEMENT TREES SHALL BE INSTALLED A MINIMUM OF 12 MONTHS AFTER THE REMOVAL OF THE HERITAGE TREE. AT LEAST ONE HALF OF THE CUMULATIVE CALIPER INCHES OF THE REPLACEMENT TREES SHALL BE OF THE SAME SPECIES AS THE HERITAGE TREES REMOVED.

REPLACEMENT TREES SHALL BE INCORPORATED INTO THE REQUIRED PLANTED BUFFER AT A MINIMUM SIZE OF 2 CALIPER INCHES EACH

MIN ACI	VARIETY
27	PIN OAK
40	NORTHERN RED OAK
7	RED MAPLE
74	VARIOUS DECIDUOUS HARDWOOD TREES

MACK SANDERLIN EST.  
D.B. 331 PG. 589  
EXISTING USE: AGRICULTURAL AND WITH



**Call 811 to know what's below.  
Call before you dig.**

SCALE 1"=100'  
A horizontal scale bar consisting of a thin black line with a thicker black segment in the middle. The text '100'' is positioned below the thin line, and '200'' is positioned below the thick segment.

100' 200'

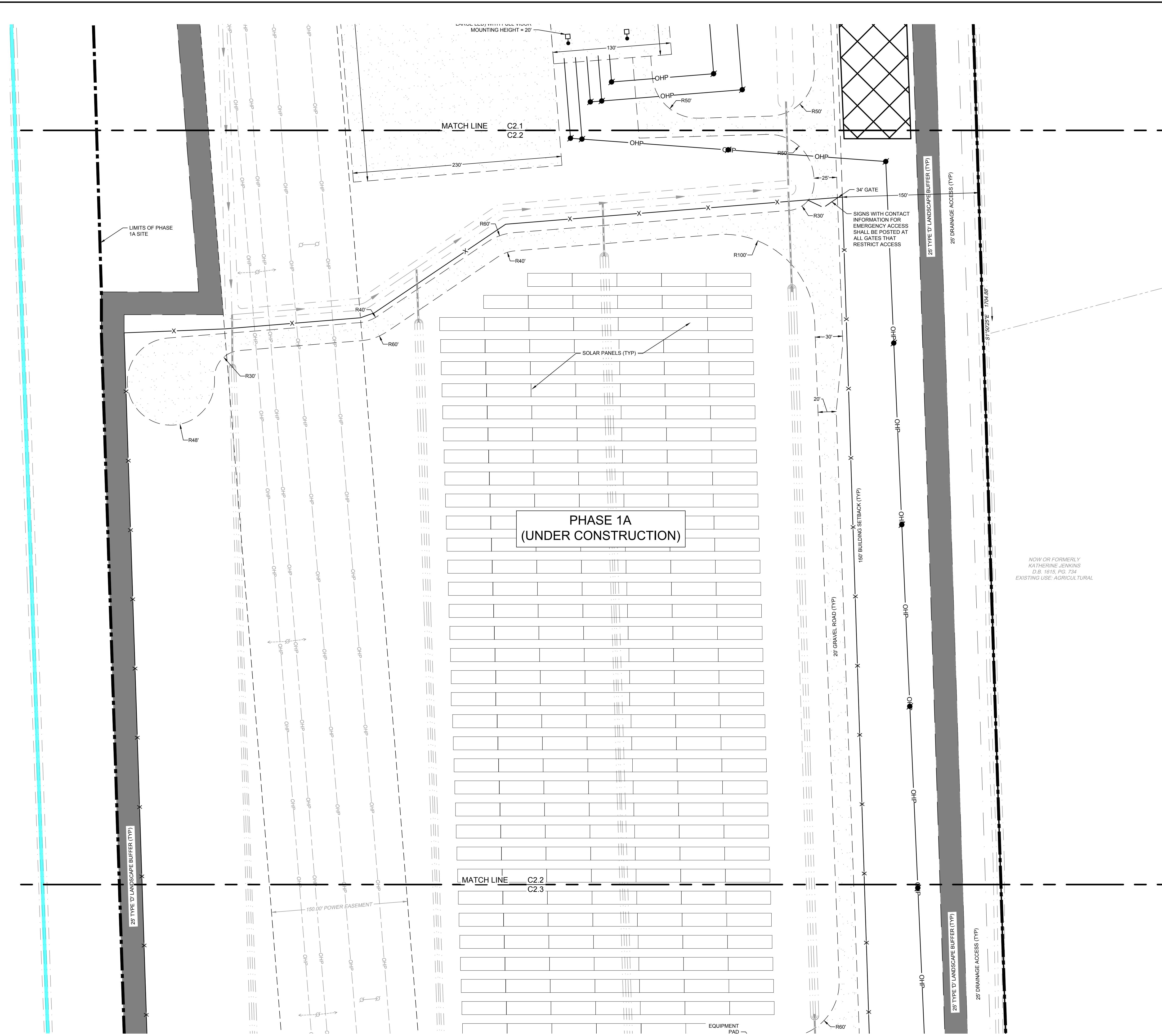
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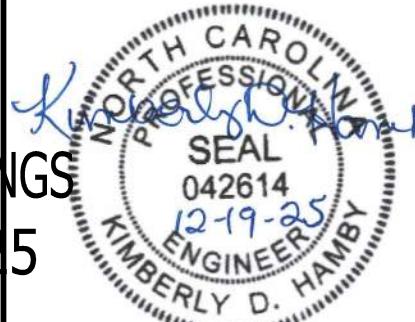
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REVISION DESCRIPTION

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12/19/25	
DRAWN BY	

DRAWN BY  
*SCL*  
DESIGNED BY  
*KDH*  
CHECKED BY  
*KDH*  
SCALE  
 $1'' = 50'$   
  
  
**B**

# GROUP C-1652

## PHASE 1A AND 1B CAROLINA

# GE SOLAR F INA LICENSE NO. URRITUCK COUNTY - NORTH SITE PLAN

# **ON'S NORTH CAROLINA EAST RIDGE RAWFORD TNSP - CU**

# AWBORO

A large black L-shaped bracket is positioned on the left side of the page, with its vertical part extending downwards and its horizontal part extending to the right. A vertical black line is located on the right side of the page, aligned with the right edge of the bracket.

# TIME MONS GROUP

NORTH CAROLINA LICENSE NO C-1652

# EAST RIDGE SOLAR PHASE 1

# URRITUCK COUNTY - NORTH CAROLINA SITE PLAN

三

AWFORD TNSP - C

CRA

OB NO.  
7198  
EET NO.  
222



**811**  
® Know what's below.  
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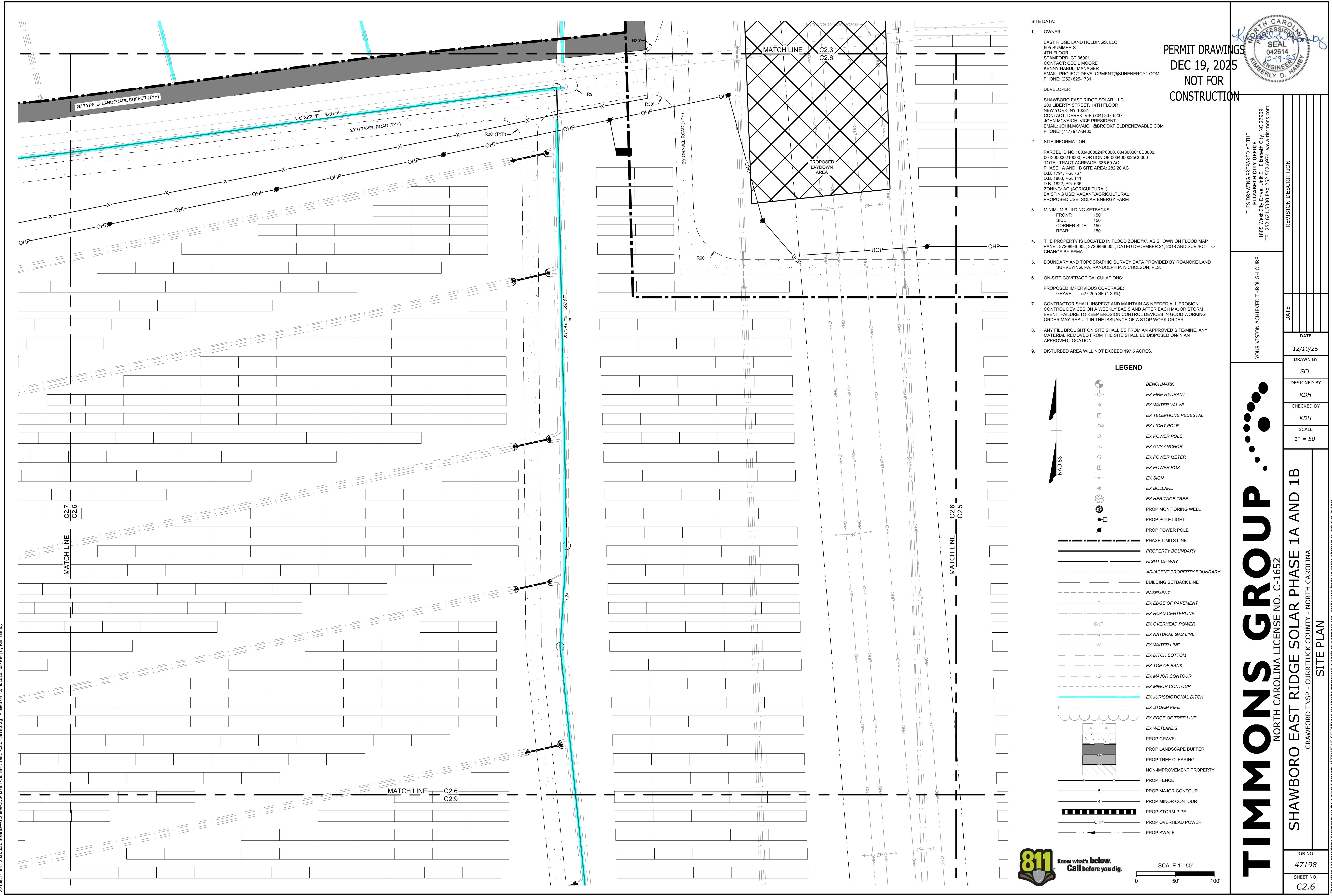
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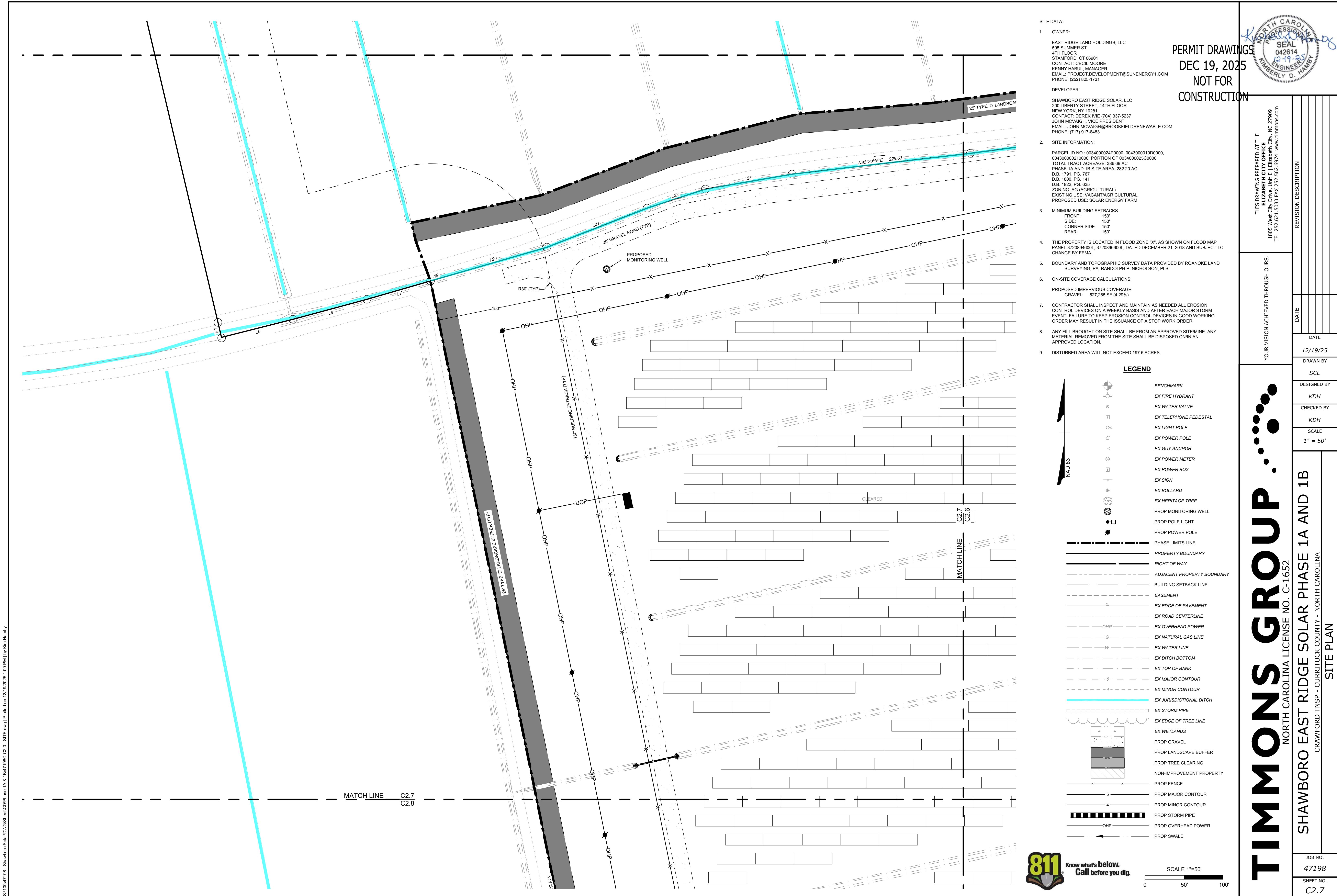
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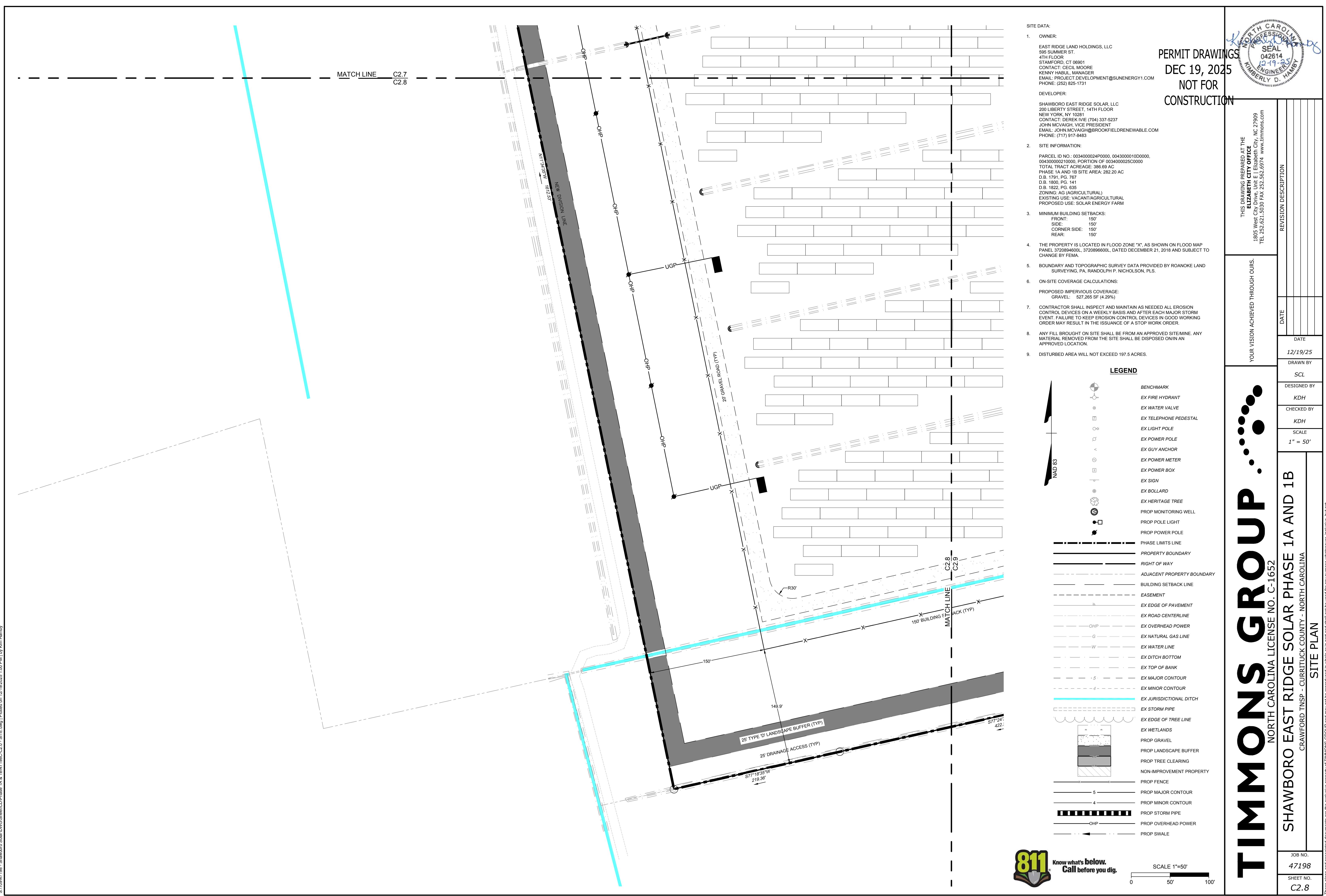




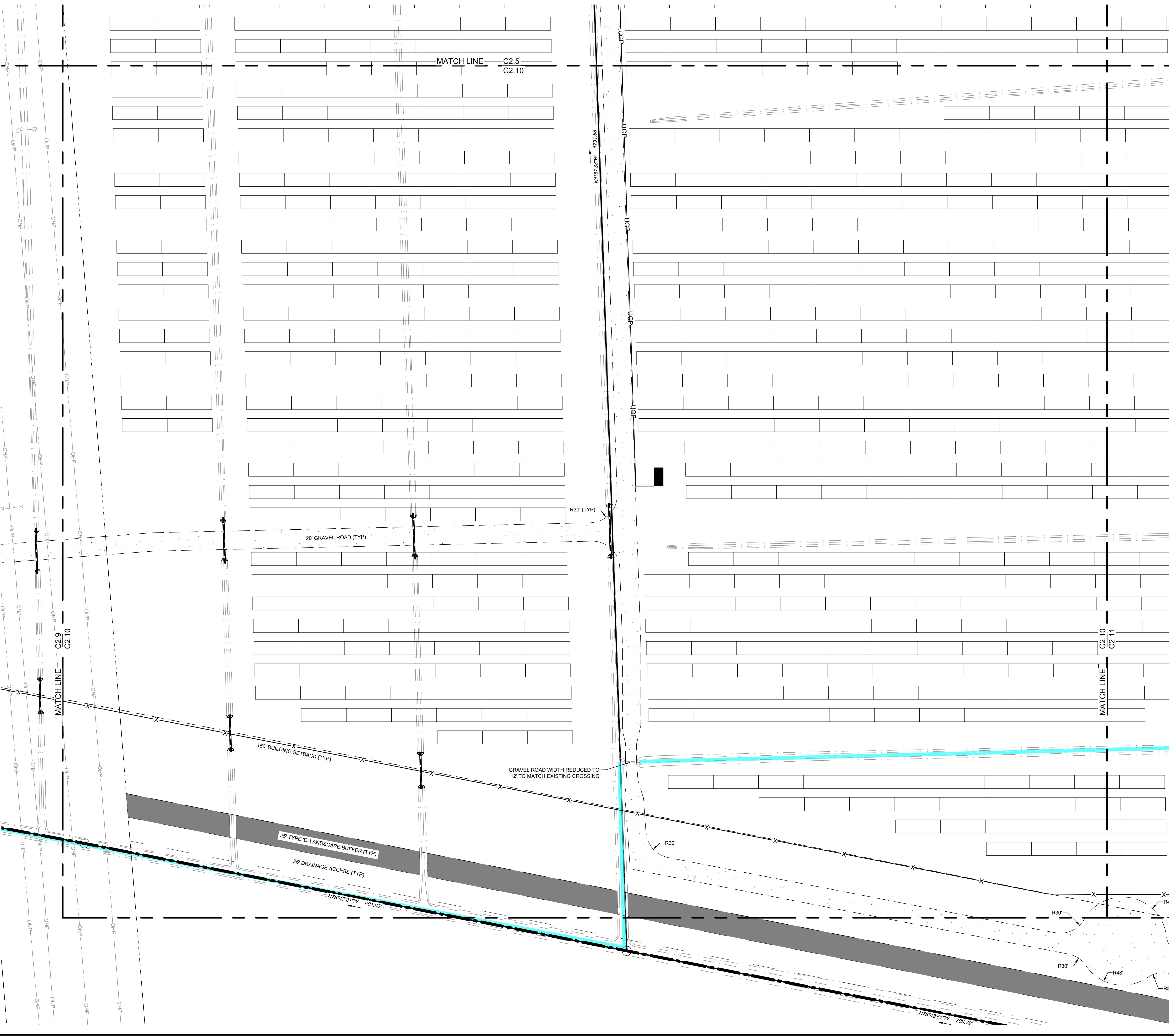












SCALE 1"=50'  
0 50' 100'

JOB NO.  
47198  
SHEET NO.  
C2.10

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

SITE PLAN

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

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PARCEL ID NO.: 0034000024P0000, 004300010D0000,  
00430000210000, PORTION OF 0034000025C0000  
TOTAL TRACT ACREAGE: 386.69 AC  
PARCEL AND SITE AREA: 282.20 AC  
D.B. 1791, PG. 767  
D.B. 1800, PG. 141  
D.B. 1822, PG. 633  
ZONING: AG (AGRICULTURAL)  
EXISTING USE: VACANT/AGRICULTURAL  
PROPOSED USE: SOLAR ENERGY FARM

1. OWNER:

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595 SUMMER ST.  
4TH FLOOR  
STAMFORD, CT 06901  
CONTACT: CECIL MOORE  
KENNY HABUL, MANAGER  
EMAIL: PROJECTDEVELOPMENT@SUNENERGY1.COM  
PHONE: (252) 825-1731

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JOHN MCVAIGH, VICE PRESIDENT  
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EXISTING USE: VACANT/AGRICULTURAL  
PROPOSED USE: SOLAR ENERGY FARM

4. MINIMUM BUILDING SETBACKS:  
FRONT: 150'  
SIDE: 150'  
CORNER SIDE: 150'  
REAR: 150'

5. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP  
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PROPOSED IMPERVIOUS COVERAGE:  
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APPROVED LOCATION.

10. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.

DATE  
12/19/25

DRAWN BY  
SCL

DESIGNED BY  
KDH

CHECKED BY  
KDH

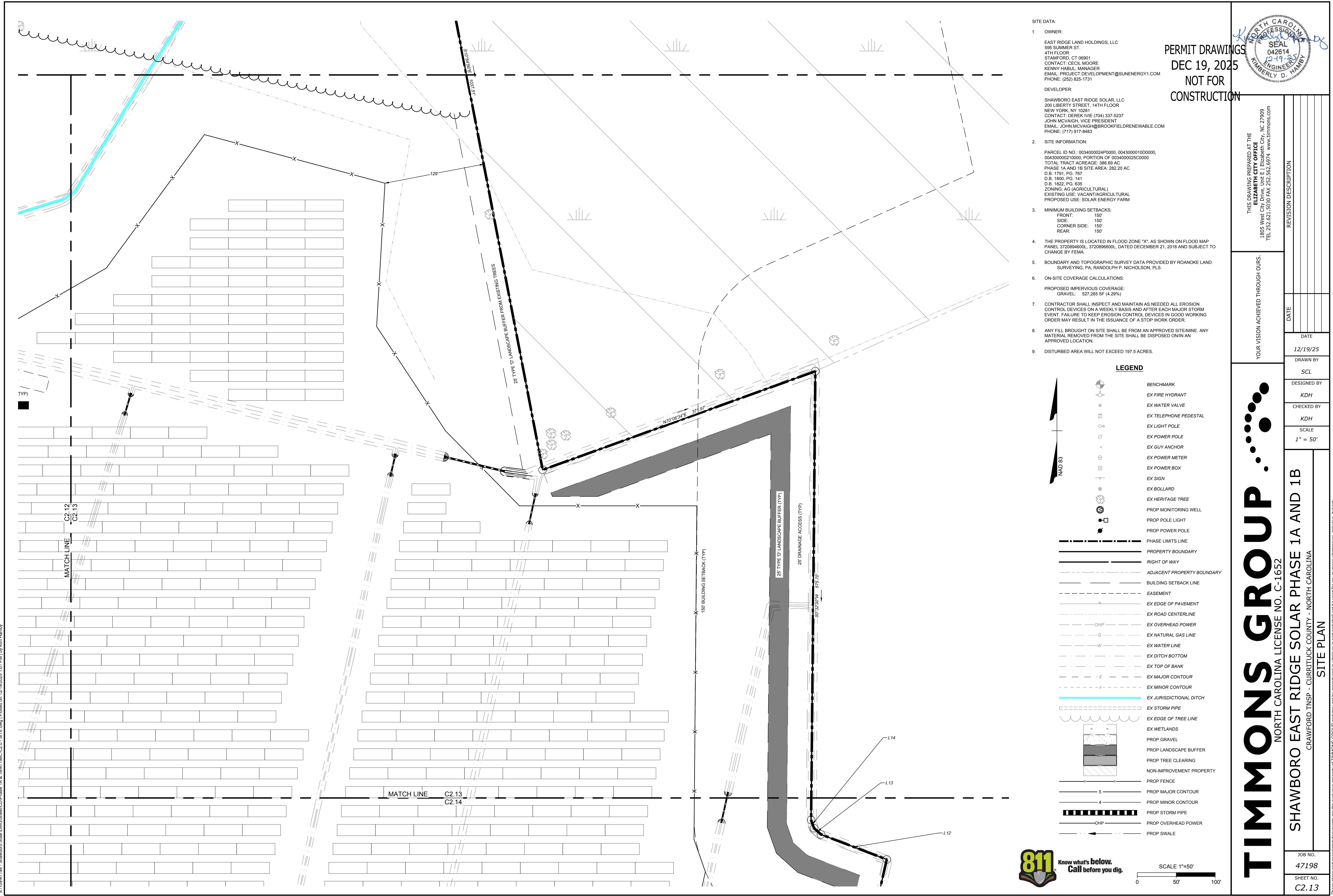
SCALE  
1" = 50'

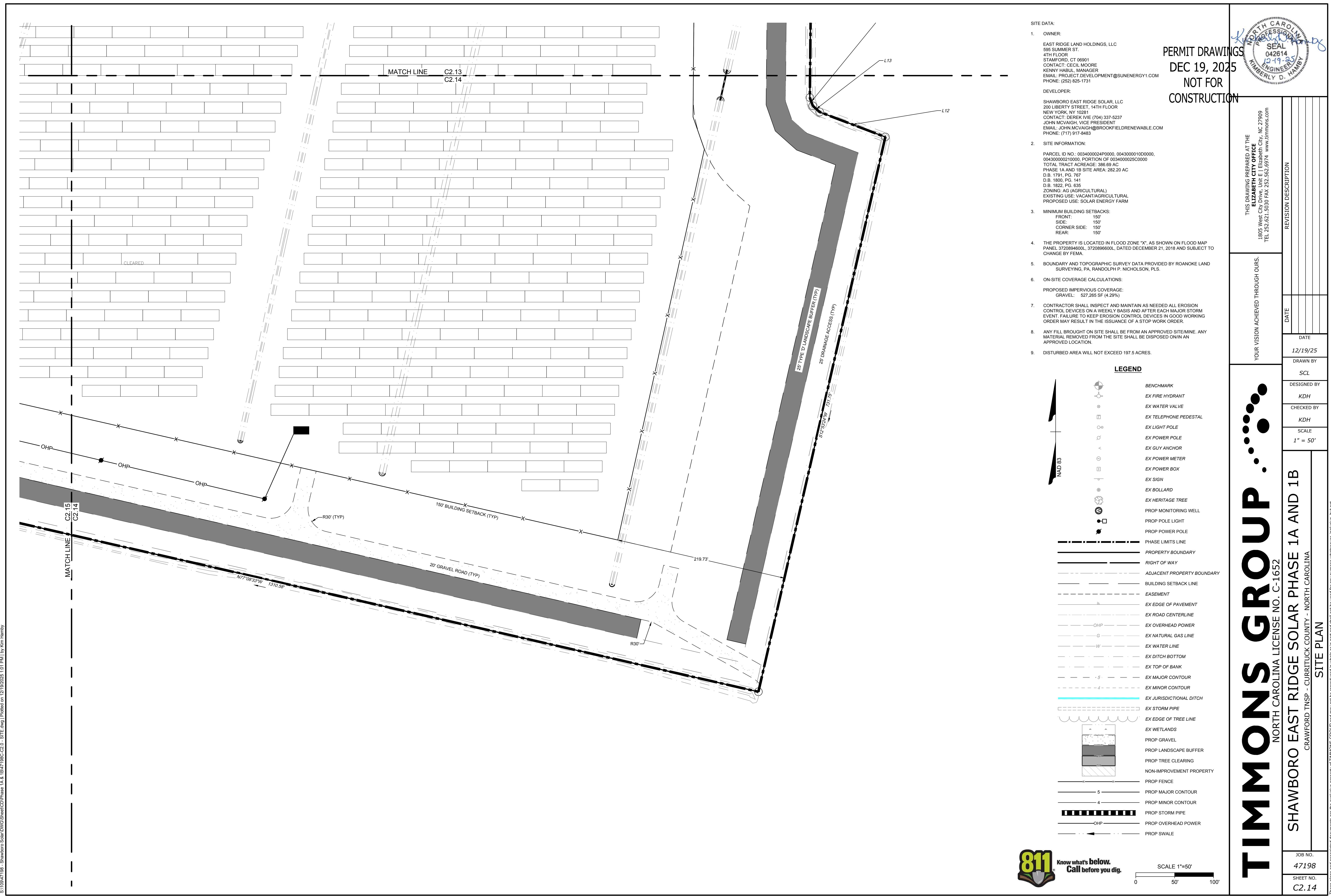
LEGEND

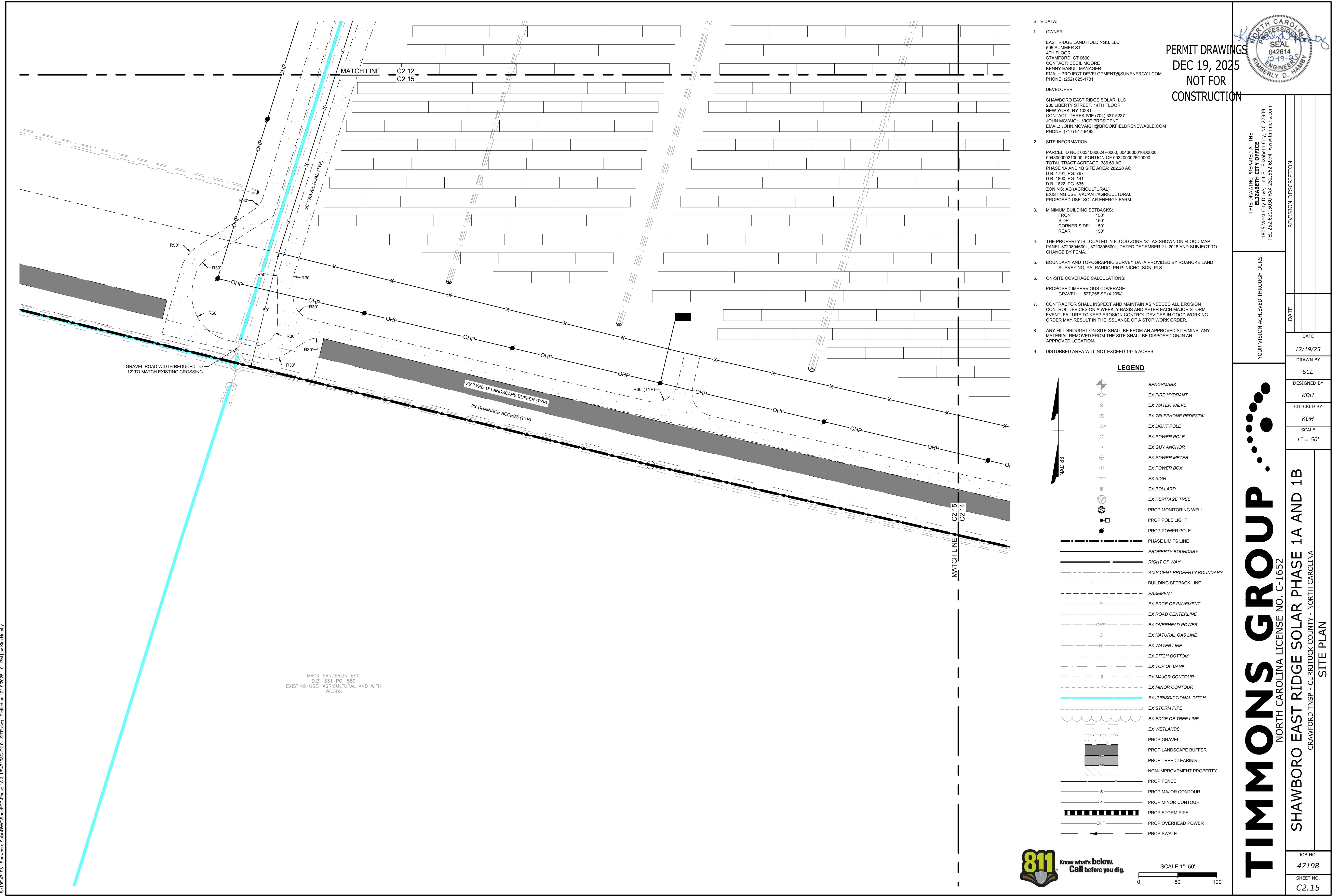
- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX POWER POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP MONITORING WELL
- PROP POLE LIGHT
- PROP POWER POLE
- PHASE LIMITS LINE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- BUILDING SETBACK LINE
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX DITCH BOTTOM
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX JURISDICTIONAL DITCH
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX WETLANDS
- PROP GRAVEL
- PROP LANDSCAPE BUFFER
- PROP TREE CLEARING
- NON-IMPROVEMENT PROPERTY
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP OVERHEAD POWER
- PROP SWALE



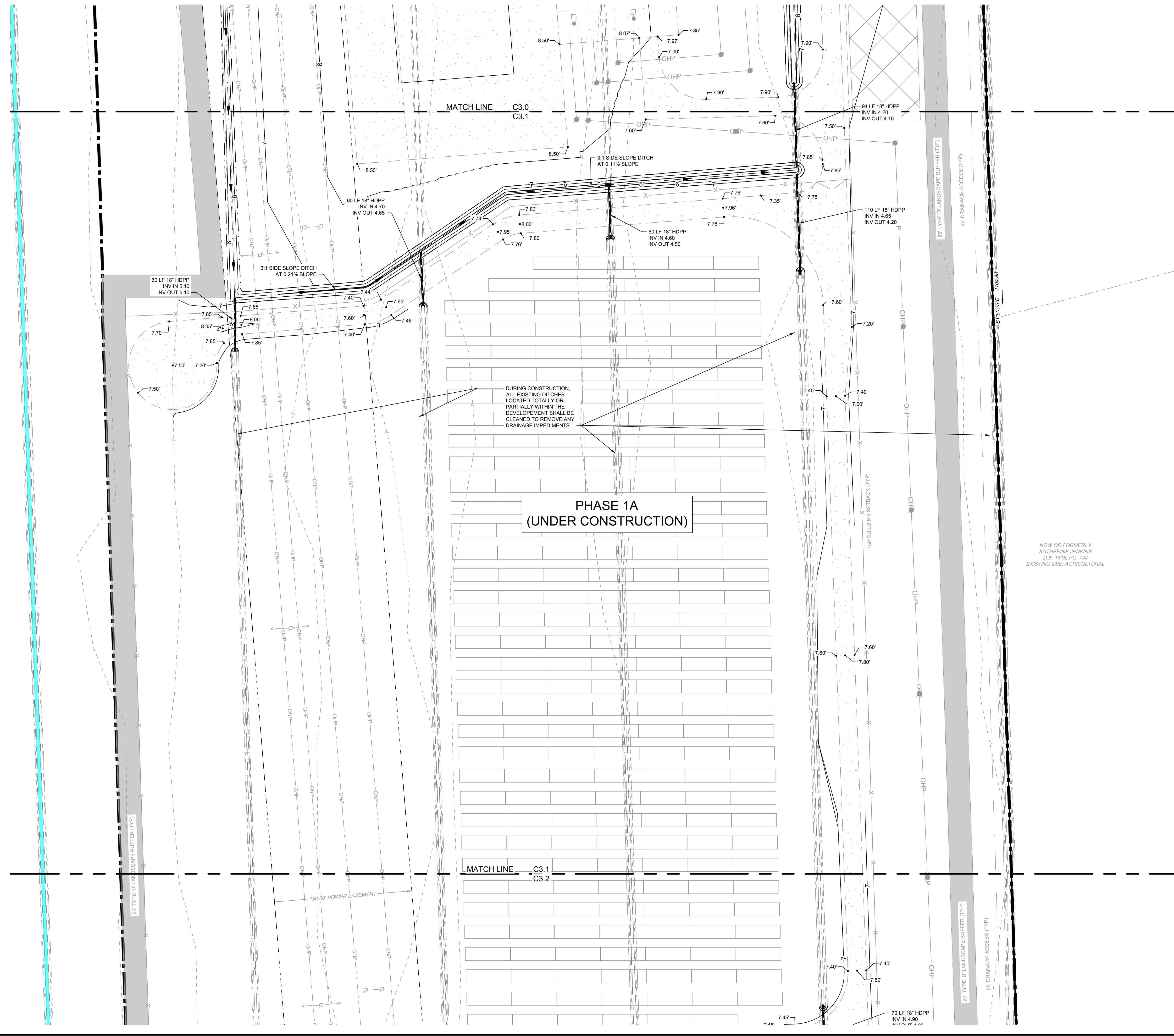












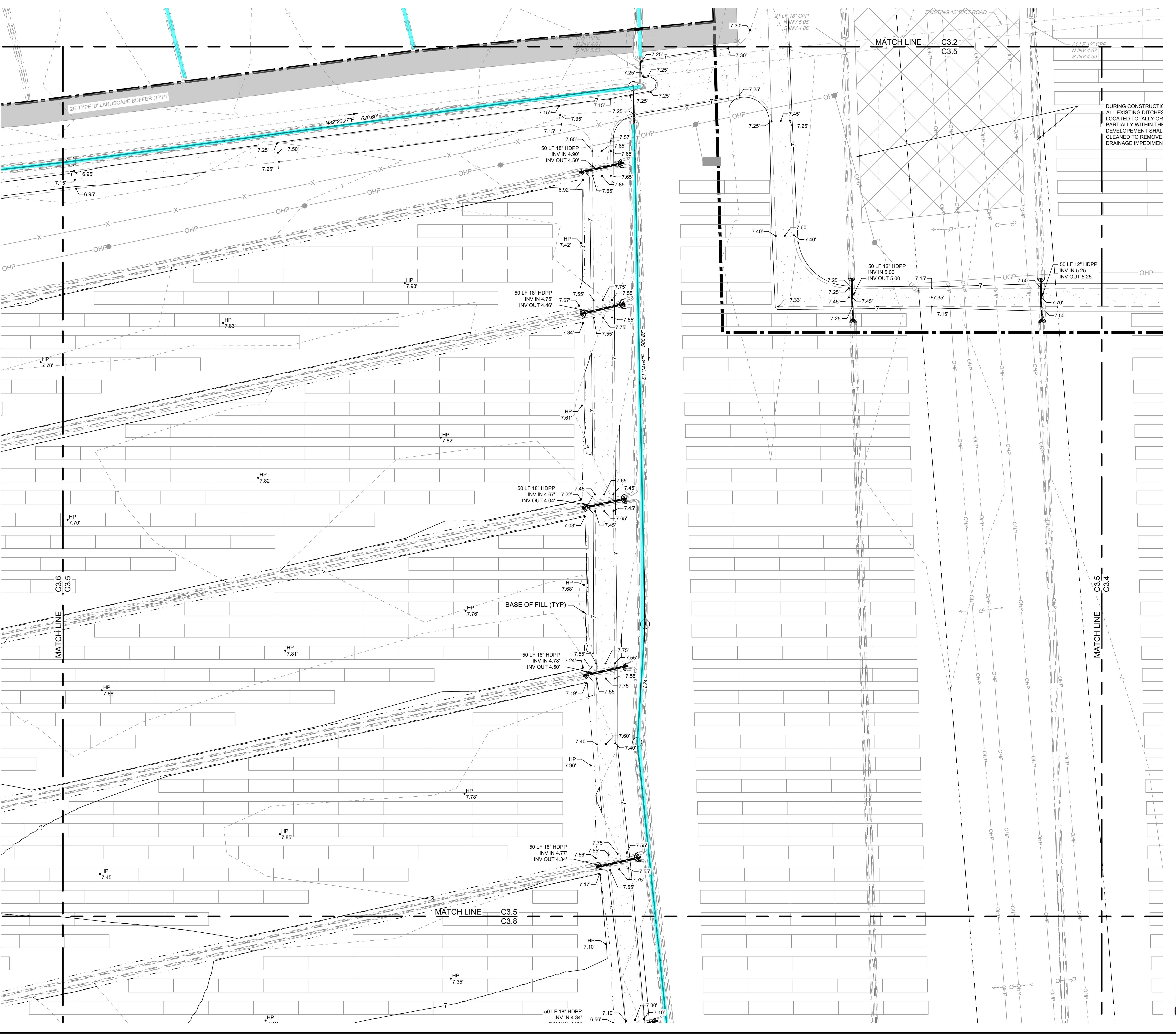
TIMMONS GROUP		REVISION DESCRIPTION
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DATE	12/19/25	
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THIS DRAWING PREPARED AT THE ELIZABETH CITY OFFICE 1805 West City Drive, Unit E   Elizabeth City, NC 27909 TEL 252.621.5030 FAX 252.562.6974 www.timmons.com		
1. OWNER: EAST RIDGE LAND HOLDINGS, LLC 595 SUMMER ST. 4TH FLOOR STAMFORD, CT 06901 CONTACT: CECIL MOORE KENNY HABUL, MANAGER EMAIL: PROJECT.DEVELOPMENT@SUNENERGY1.COM PHONE: (252) 825-1731		
2. SITE INFORMATION: PARCEL ID NO.: 0034000024P0000, 0043000010D0000, 00430000210000, PORTION OF 0034000025C0000 TOTAL TRACT ACREAGE: 386.69 AC PARCEL AND SITE AREA: 282.20 AC D.B. 1791, PG. 767 D.B. 1800, PG. 141 D.B. 1822, PG. 633 ZONING: AG (AGRICULTURAL) EXISTING USE: VACANT/AGRICULTURAL PROPOSED USE: SOLAR ENERGY FARM		
3. MINIMUM BUILDING SETBACKS: FRONT: 150' SIDE: 150' CORNER SIDE: 150' REAR: 150'		
4. THE PROPERTY IS LOCATED IN FLOOD ZONE "X", AS SHOWN ON FLOOD MAP PANEL 3720894600L, 3720996600L, DATED DECEMBER 21, 2018 AND SUBJECT TO CHANGE BY FEMA.		
5. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY ROANOKE LAND SURVEYING, PA. RANDOLPH P. NICHOLSON, PLS.		
6. ON-SITE COVERAGE CALCULATIONS: PROPOSED IMPERVIOUS COVERAGE: GRAVEL: 527,265 SF (4.29%)		
7. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.		
8. ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ON/IN AN APPROVED LOCATION.		
9. DISTURBED AREA WILL NOT EXCEED 197.5 ACRES.		
10. YOUR VISION ACHIEVED THROUGH OURS.		
11. DATE		
12. DRAWN BY		
13. DESIGNED BY		
14. CHECKED BY		
15. SCALE		
16. LEGEND		
17. BENCHMARK		
18. EX FIRE HYDRANT		
19. EX WATER VALVE		
20. EX TELEPHONE PEDESTAL		
21. EX LIGHT POLE		
22. EX POWER POLE		
23. EX GUY ANCHOR		
24. EX POWER METER		
25. EX POWER BOX		
26. EX SIGN		
27. EX BOLLARD		
28. EX HERITAGE TREE		
29. PROP MONITORING WELL		
30. PROP POLE LIGHT		
31. PROP POWER POLE		
32. PHASE LIMITS LINE		
33. PROPERTY BOUNDARY		
34. RIGHT OF WAY		
35. ADJACENT PROPERTY BOUNDARY		
36. BUILDING SETBACK LINE		
37. EASEMENT		
38. EX EDGE OF PAVEMENT		
39. EX ROAD CENTERLINE		
40. EX OVERHEAD POWER		
41. EX NATURAL GAS LINE		
42. EX WATER LINE		
43. EX DITCH BOTTOM		
44. EX TOP OF BANK		
45. EX MAJOR CONTOUR		
46. EX MINOR CONTOUR		
47. EX JURISDICTIONAL DITCH		
48. EX STORM PIPE		
49. EX EDGE OF TREE LINE		
50. EX WETLANDS		
51. PROP GRAVEL		
52. PROP LANDSCAPE BUFFER		
53. PROP TREE CLEARING		
54. NON-IMPROVEMENT PROPERTY		
55. PROP FENCE		
56. PROP MAJOR CONTOUR		
57. PROP MINOR CONTOUR		
58. PROP STORM PIPE		
59. PROP OVERHEAD POWER		
60. PROP SWALE		
61. NAD 83		
62. 811 Know what's below. Call before you dig.		
63. SCALE 1"=50'		
64. 0 50' 100'		











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PHONE: (252) 825-1731

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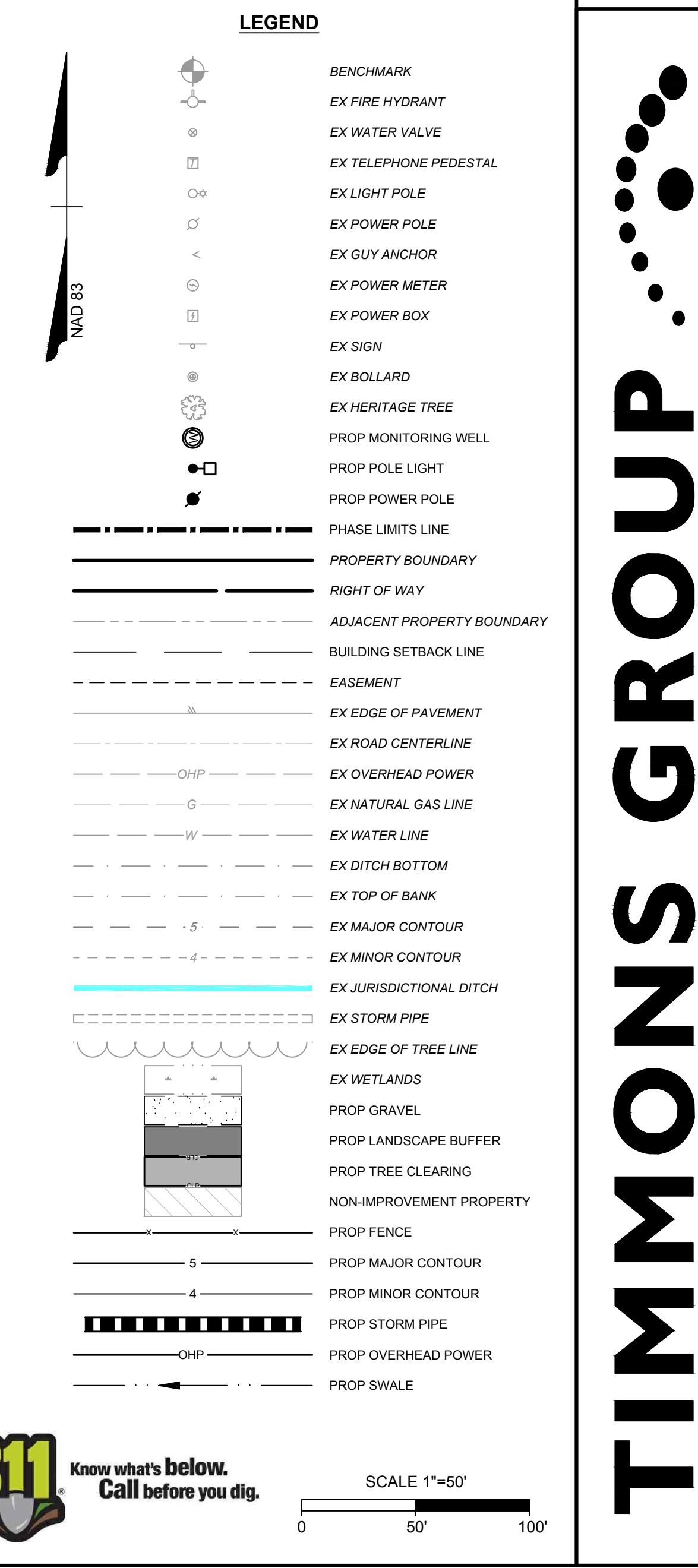
NORTH CAROLINA LICENSE NO. C-1652

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE PLAN

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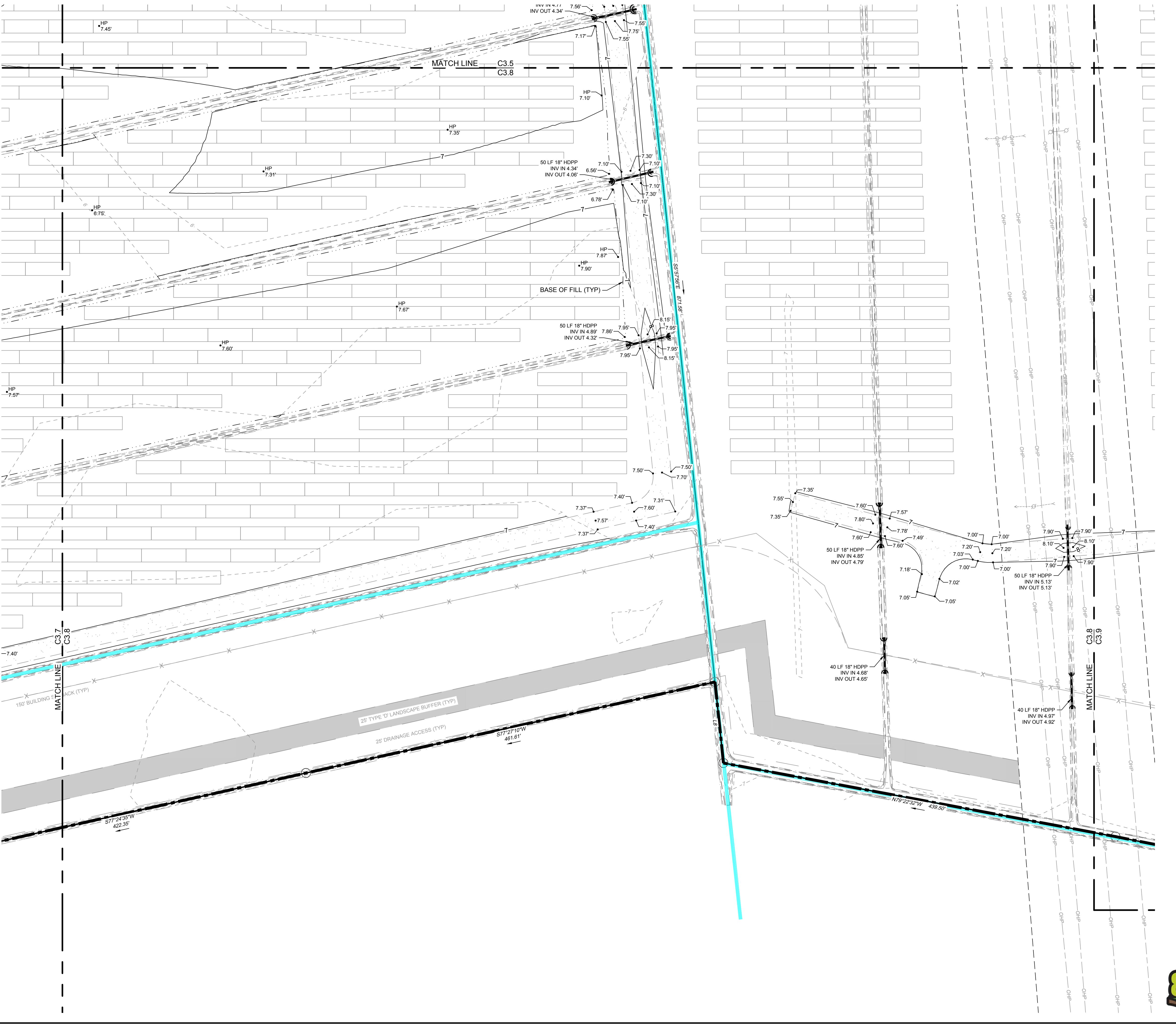
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DEC 19, 2025  
NOT FOR  
CONSTRUCTION







SCALE 1"=50'  
0 50' 100'

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

## GRADING AND DRAINAGE PLAN

CRAWFORD TNSP - CURNITUCK COUNTY - NORTH CAROLINA

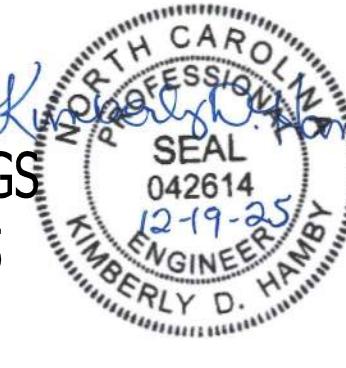
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PHONE: (252) 825-1731  
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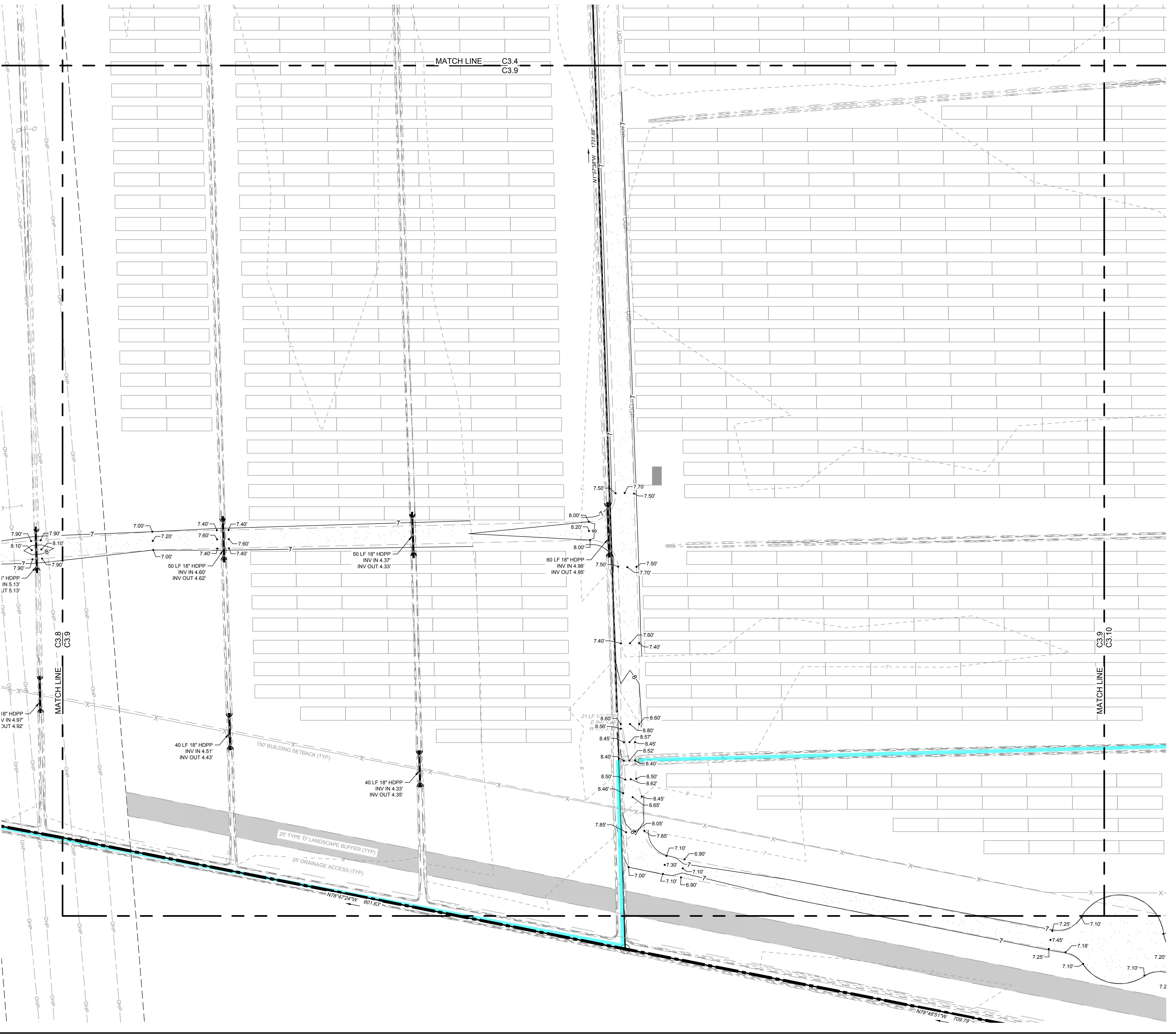
### LEGEND

BENCHMARK	
EX FIRE HYDRANT	
EX WATER VALVE	
EX TELEPHONE PEDESTAL	
EX LIGHT POLE	
EX POWER POLE	
EX GUY ANCHOR	
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PROP SWALE	

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JOB NO.  
47198

SHEET NO.  
C3.8



SCALE 1"=50'  
0 50' 100'

# TIMMONS GROUP

SHAWBORO EAST RIDGE SOLAR PHASE 1A AND 1B

NORTH CAROLINA LICENSE NO. C-1652

CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE PLAN

PERMIT DRAWINGS  
DEC 19, 2025  
NOT FOR  
CONSTRUCTION



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KENNY HABUL, MANAGER  
EMAIL: PROJECTDEVELOPMENT@SUNENERGY1.COM  
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JOB NO.  
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SHEET NO.  
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REVISION DESCRIPTION

DATE

DATE

DRAWN BY

SCL

DESIGNED BY

KDH

CHECKED BY

KDH

SCALE

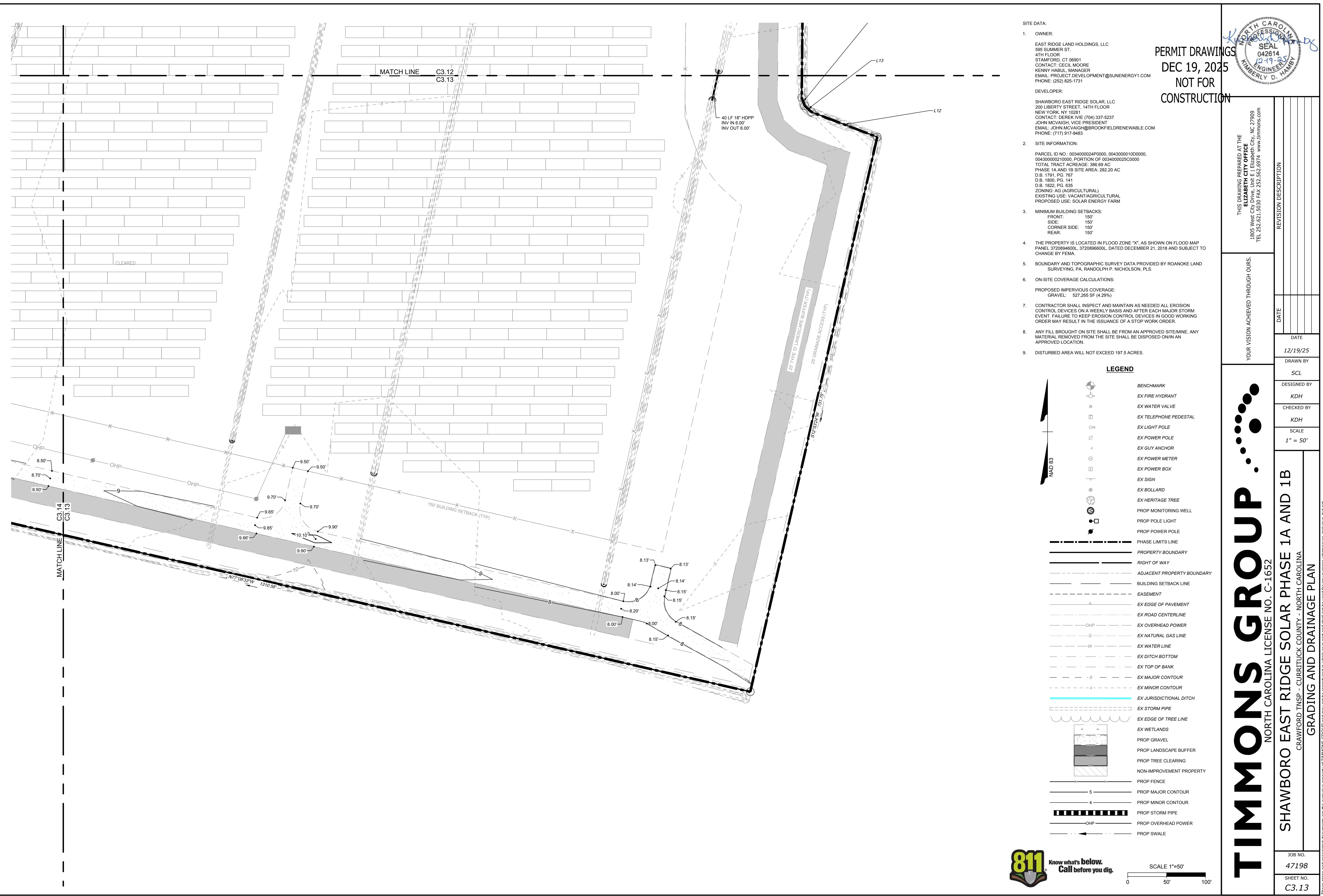
1" = 50'

DATE

12/19/25

DATE

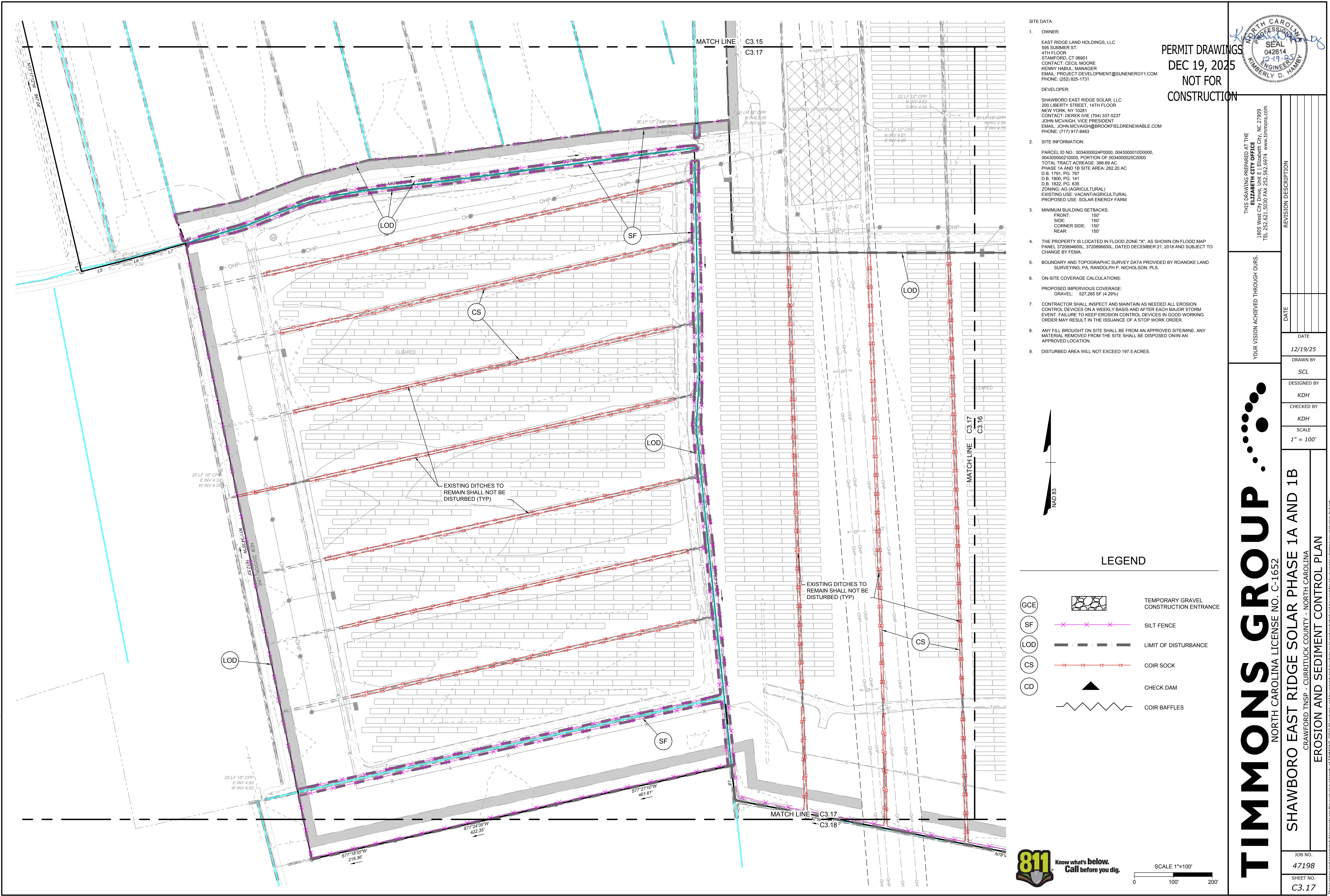






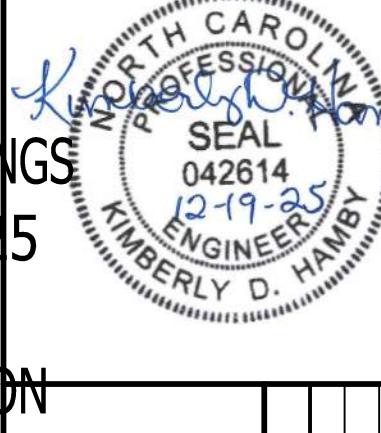












PERMIT DRAWINGS  
DEC 19, 2025  
ANIZED WIRE  
OD STAKES  
NOT FOR  
CONSTRUCTION

## REVISION DESCRIPTION

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**CRAWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA**  
**CONSTRUCTION DETAILS**

# TIME MONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

**EAST RIDGE SOLAR PHASE 1**  
NORTH CAROLINA LICENSE NO. C-1652

## CONSTRUCTION DETAILS

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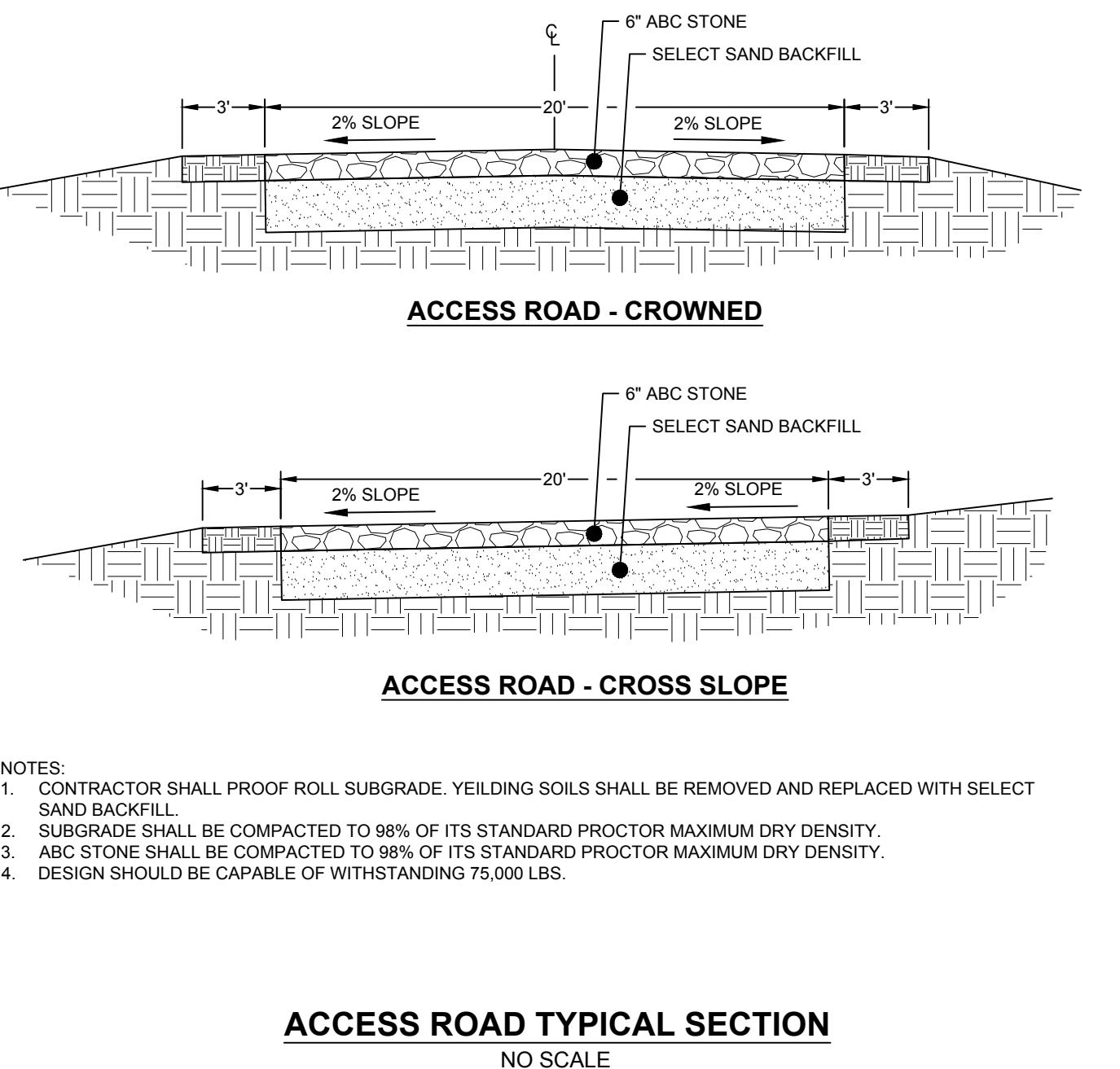
AWFORD TNSP - CURRITUCK COUNTY - NORTH CAROLINA

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5  
JOB NO.  
47198  
HEET NO.  
C4.0

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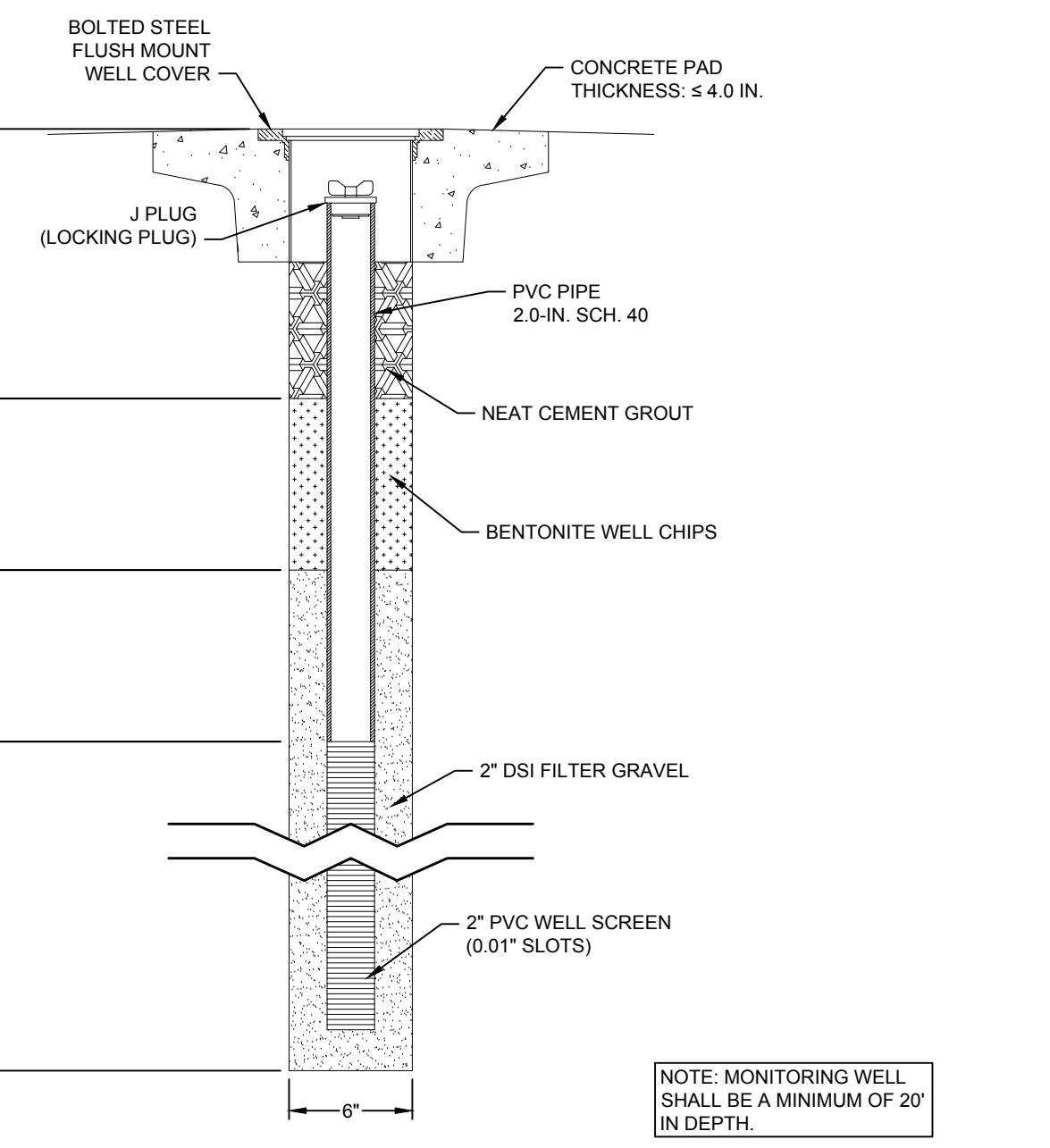
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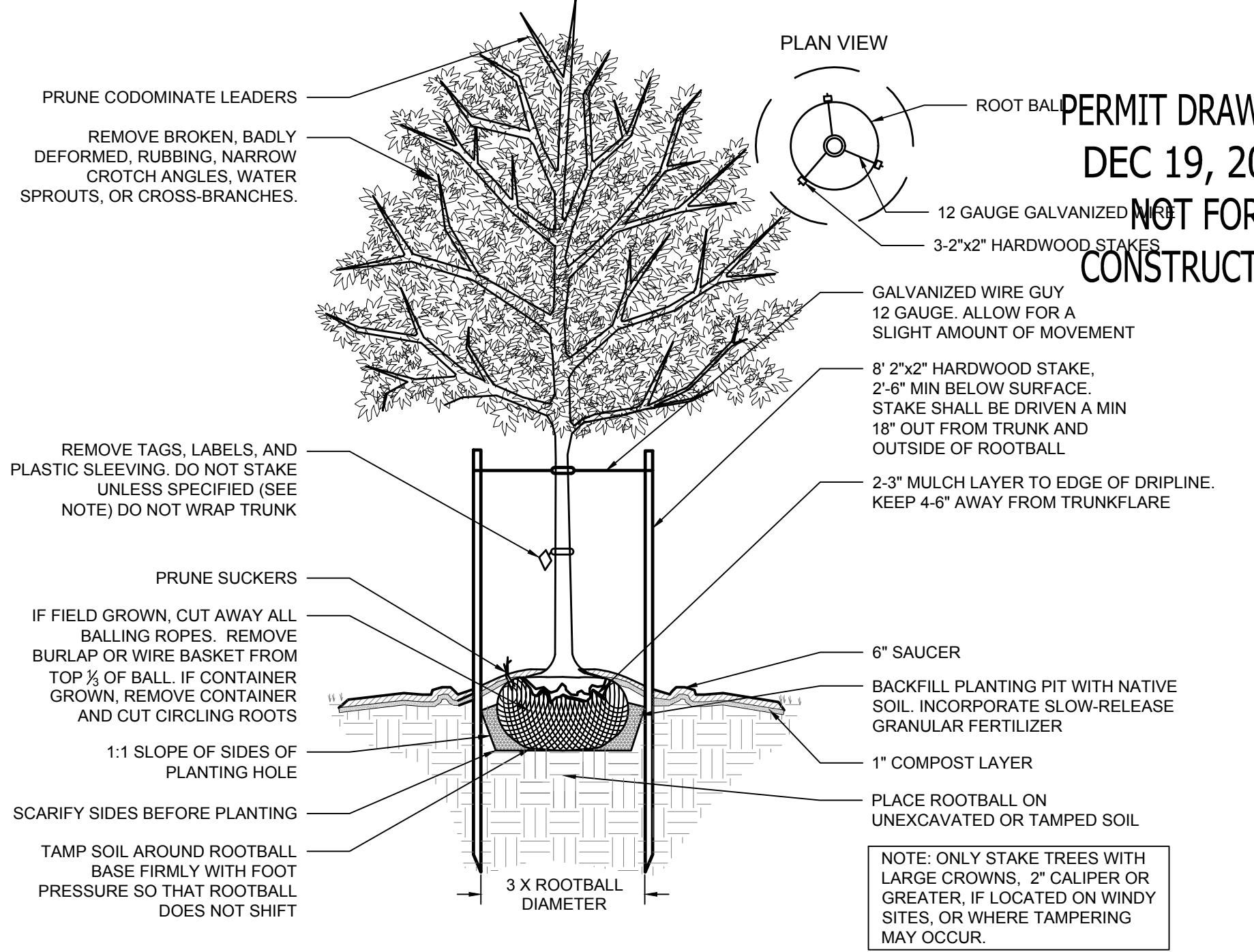
## **ACCESS ROAD TYPICAL SECTION**

NOTES:

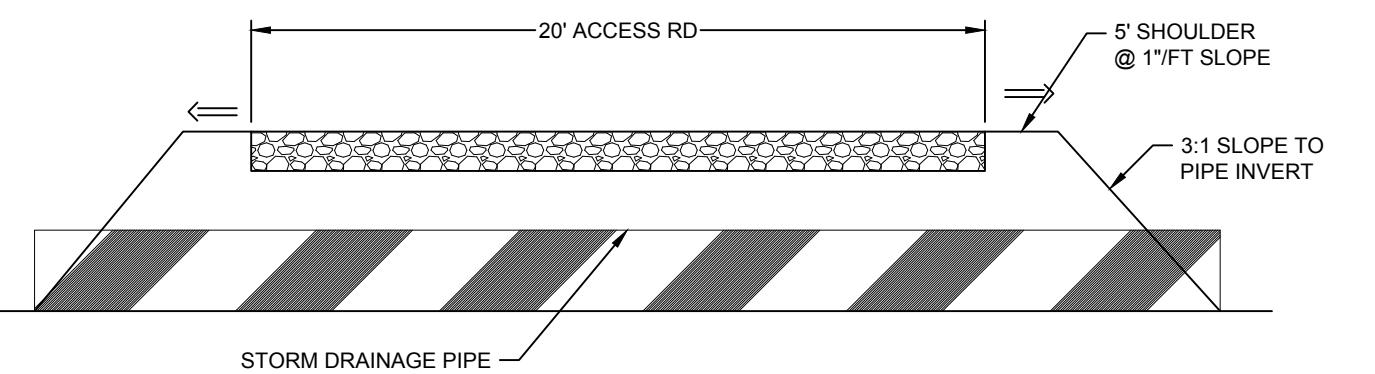
1. CONTRACTOR SHALL PROOF ROLL SUBGRADE. YEILDING SOILS SHALL BE REMOVED AND REPLACED WITH SELECT SAND BACKFILL.
2. SUBGRADE SHALL BE COMPACTED TO 98% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY.
3. ABC STONE SHALL BE COMPACTED TO 98% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. DESIGN SHOULD BE CAPABLE OF WITHSTANDING 75,000 LBS.



## MONITORING WELL

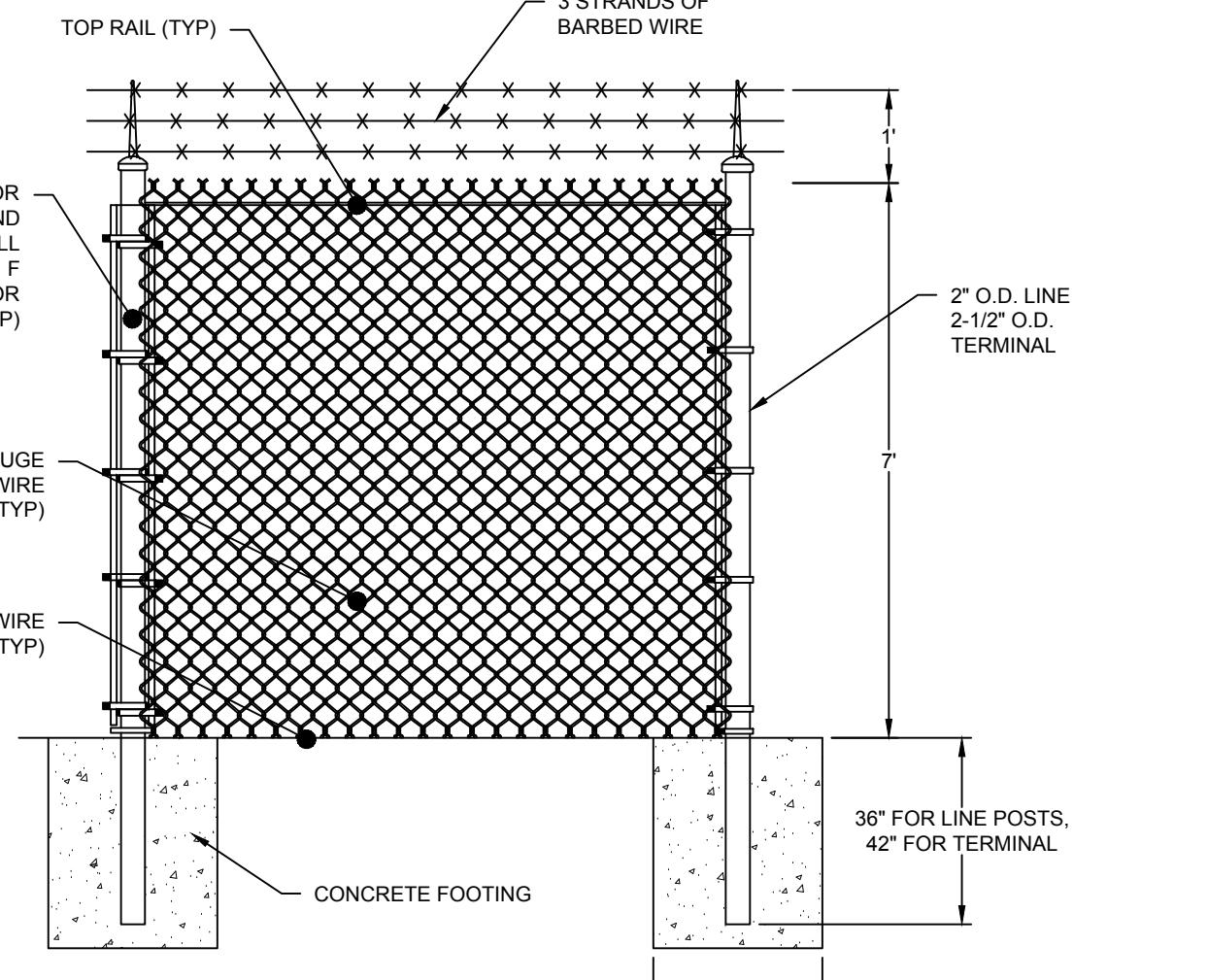


# OPY TREE DETAIL

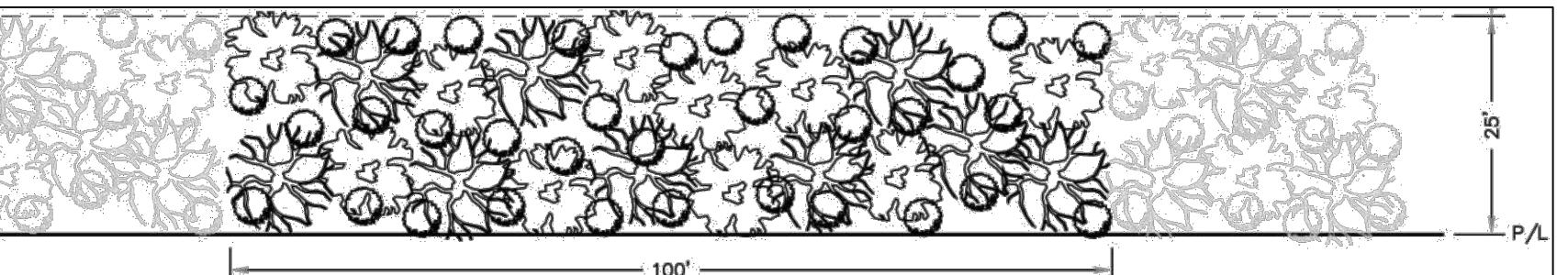


# **ACCESS ROAD CROSS SECTION**

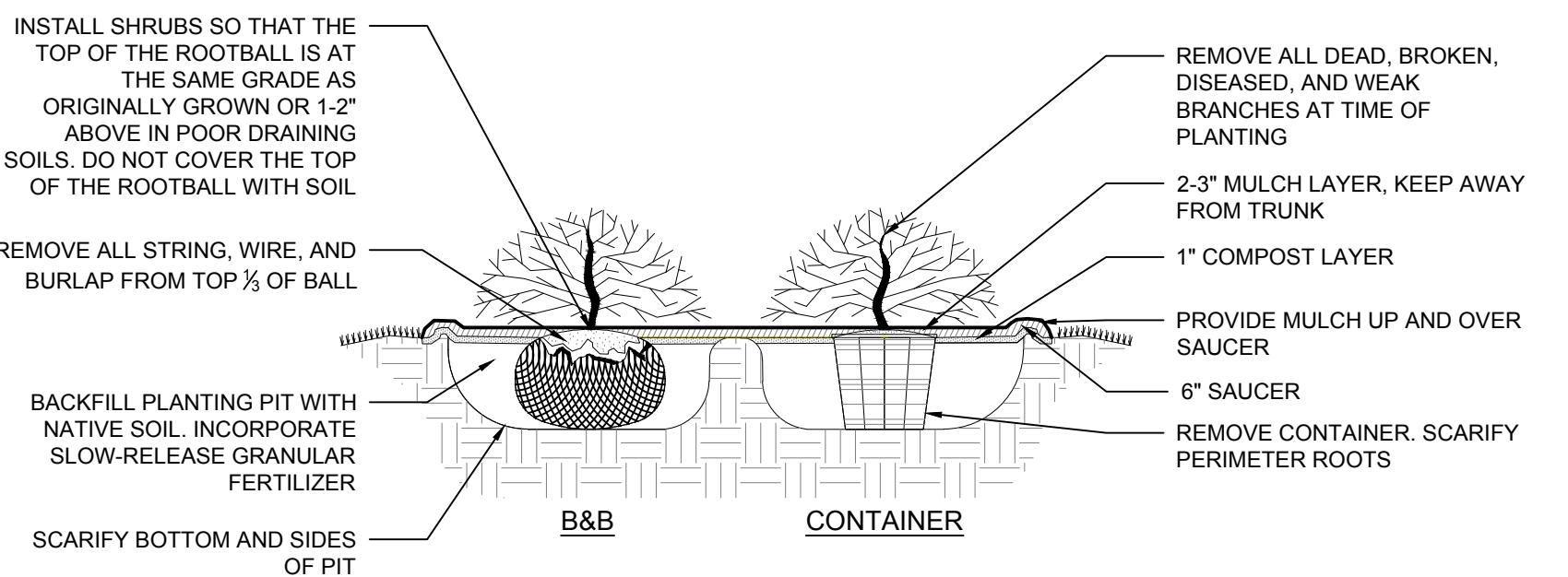
## **AT STORM PIPE CROSSING**



## MAIN LINK FENCE



# TYPE 'D' LANDSCAPE BUFFER SECTION



## SHRUB DETAIL



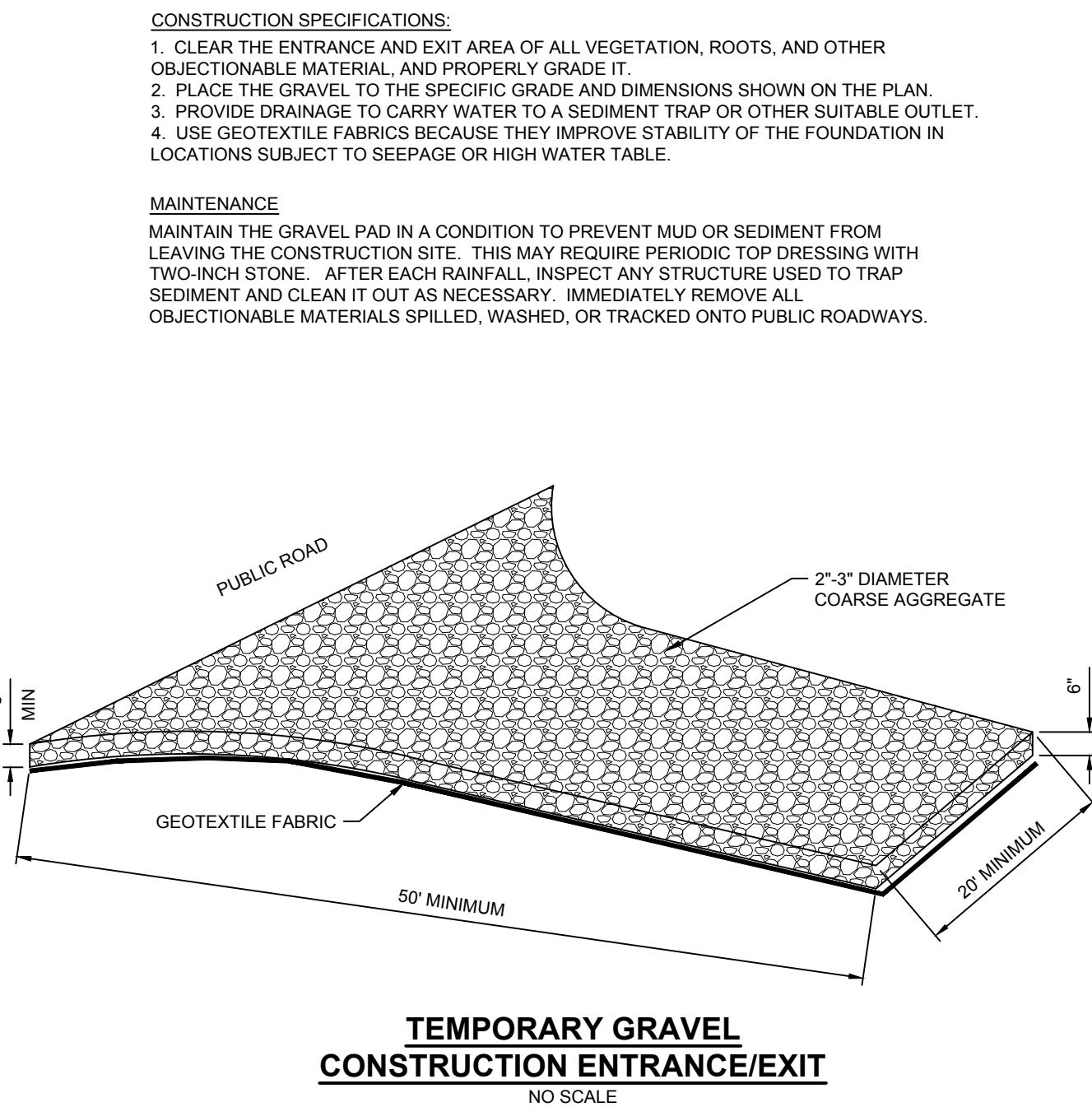
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#### CONSTRUCTION SEQUENCING

1. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS. (SEE DETAIL)
2. INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS AND ALL SILT FENCE TO PREVENT OFF SITE SEDIMENTATION.
3. CONSTRUCT SKIMMER BASIN.
4. PERFORM GRADING ACTIVITIES AND INSTALL THE REMAINING SEDIMENT AND EROSION CONTROL PROTECTION.
5. INSTALL THE STONE FOR THE ACCESS ROAD AND SUBSTATION PAD AND INSTALL SOLAR EQUIPMENT.
6. PROVIDE GROUNDCOVER IN ACCORDANCE WITH DETAIL MARKED 'EROSION CONTROL MEASURES', THIS SHEET.
7. MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
8. ONCE VEGETATION IS ESTABLISHED, REMOVE BAFFLES, DIG SKIMMER BASIN TO THE DESIGN DEPTH FOR THE ATTENUATION POND AND REMOVE SKIMMER.
9. REMOVE ANY REMAINING CONTROL DEVICES.

#### SEEDBED PREPARATION

##### CONSTRUCTION SPECIFICATIONS

1. PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEED USING TILLAGE AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. SOIL SHALL RECEIVE LIME, FERTILIZER AND/OR SUPERPHOSPHATE UNIFORMLY AS NEEDED PER RECOMMENDATIONS FROM NORTH CAROLINA DEPARTMENT OF AGRICULTURE OR OTHER COMMERCIAL LABORATORY.
3. SOIL SHALL BE FRESHLY PREPARED SEEDBED AND ENSURE SEED IS LIGHTLY COVERED FOLLOWING INSTALLATION.
4. MULCH IMMEDIATELY AFTER SEEDING.
5. CONTRACTOR SHALL SEED ALL AREAS THAT ARE DISTURBED WITHIN TWO DAYS. INSPECT ALL SEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETE, AN INSPECTION WILL BE COMPLETED TO DETERMINE IF ADDITIONAL SEEDING WILL BE REQUIRED.

\*APPLY:  
FERTILIZER, LIME, AND MULCH SHALL BE APPLIED AT RATES RECOMMENDED BY NCDA (OR OTHERS). OTHERWISE, APPLY AS DESCRIBED BELOW.

AGRICULTURAL LIMESTONE - 1.5 TONS/ACRE ON COURSE TEXTURED SOILS AND 2.3 TONS/ACRE IN FINE-TEXTURED SOILS.  
SOILS WITH PH OF 6 OR HIGHER NEED NOT BE LIMED.  
FERTILIZER - 700/1000 LBS/ACRE (10-10-10)  
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)  
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE

#### PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN

DATE	TYPE	BROADCAST SEEDING RATES
SEP 1 - MAR 31	COMMON BERMUDA 'SAHARA' (UNHULLED) REBEL II FESCUE	130 LBS/ACRE 175 LBS/ACRE
APR 1 - AUG 31	COMMON BERMUDA 'SAHARA' (HULLED) REBEL II FESCUE	90 LBS/ACRE 175 LBS/ACRE
AUG 15 - APR 30	PERENNIAL RYE (AS A NURSE PLANT)	40 LBS/ACRE IN ADDITION TO OTHER SEED TYPES

#### TEMPORARY SEEDING SCHEDULE

DATE	TYPE	PLANTING RATES
APR 15 - AUG 15	GERMAN MILLET	40 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	120 LBS/ACRE

