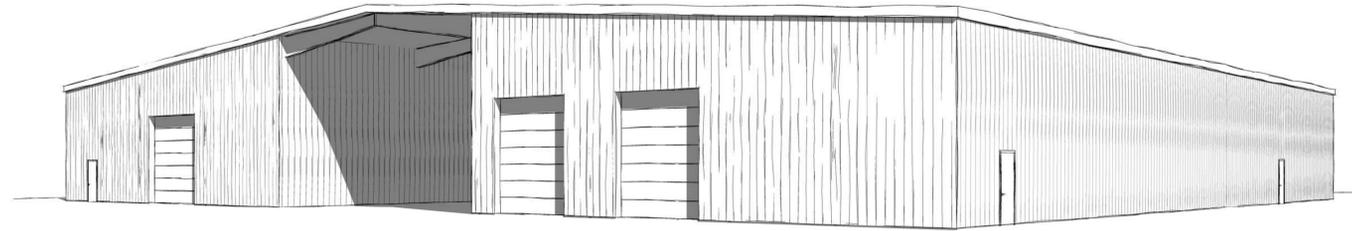


OBX Furniture

ABBREVIATIONS

1R1S	(1) ROD + (1) SHELF	NCSBC	NORTH CAROLINA STATE BUILDING CODE
ACI	AMERICAN CONCRETE INSTITUTE	N.I.C.	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NO.	NUMBER
AFF	ABOVE FINISH FLOOR	NOM.	NOMINAL
AFG	ABOVE FINISH GRADE	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	O.D.	OVERFLOW DRAIN/OUTSIDE DIAMETER
ALUM.	ALUMINUM	O.H.	OPPOSITE HAND
AM	ANTE MERIDEN	OPNG.	OPENING
ARCH.	ARCHITECTURAL	O/S	OUTSIDE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OTB	OPEN TO BELOW
BFE	BASE FLOOD ELEVATION	PC	PLUMBING CONTRACTOR
B.O.	BOTTOM OF	PH	PHASE
CJ	CONTROL JOINT	PJ	PANEL JOINT
CAB.	CABINET	PL	POINT LOAD
CLG.	CEILING	P-LAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PME	PLUMBING, MECHANICAL, & ELECTRICAL
CO	CLEANOUT	PP	PUSH PAD
CONC.	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CPET	COMMON PATH OF EXIT TRAVEL	PSL	PARALLEL STRAND LUMBER
CW	COLD WATER	P.T.	PRESSURE TREATED
DBL	DOUBLE	PNTD	PAINTED
DR.	DOOR	P.W. / PWD	PLYWOOD
DWG.	DRAWING	RC	REINFORCED CONCRETE
DWV	DRAIN/WASTE/VENT	RCP	REFLECTED CEILING PLAN
DS	DOWNSPOUT	RD	ROOF DRAIN
DTL.	DETAIL	REINF	REINFORCED OR REINFORCING
EC	ELECTRICAL CONTRACTOR	REQD	REQUIRED
EJ	EXPANSION JOINT	RL	ROOF LEADER
ELECT.	ELECTRICAL	RUB	RUBBER
ELEV.	ELEVATION	SAN	SANITARY
ETC.	ETCETERA	SF	SQUARE FOOT OR SQUARE FEET
E.T.R.	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SP	SOUTHERN PINE
EXIST.	EXISTING	SPF	SPRUCE/ PINE/ FIR
EXT.	EXTERIOR	SS	STAINLESS STEEL
FBGLS.	FIBERGLASS	STOR	STOREFRONT
FCP	FIBER CEMENT PANEL	STL.	STEEL
FD	FLOOR DRAIN	TD	TRAVEL DISTANCE
FF	FINISH FLOOR	TME	TO MATCH EXISTING
FEC	FIRE EXTINGUISHER CABINET	T.O.	TOP OF
FJ	FALSE JOINT	T.O.P.	TOP OF PLATE
FLR.	FLOOR	TRD.	TREAD
GC	GENERAL CONTRACTOR	TYP.	TYPICAL
GA.	GUAGE	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	V	VOLTY VOLTAGE
GEN	GENERAL	VCT	VINYL COMPOSITE TILE
GS	GANG STUD	VERT.	VERTICAL
GWB	GYPSPUM WALL BOARD	VIF	VERIFY IN FIELD
H/C	HANDICAPPED	WI	WITH
HDWR	HARDWARE	WGL	WIRE GLASS
HM	HOLLOW METAL	WD	WOOD
HORIZ.	HORIZONTAL		
HP	HEAT PUMP		
IM	ICEMAKER		
INSUL.	INSULATION		
INT.	INTERIOR		
KW	KILOWATT		
LOCS.	LOCATIONS		
LSL	LAMINATED STRAND LUMBER		
MAX.	MAXIMUM		
MBT	MARBLE THRESHOLD		
MC	MECHANICAL CONTRACTOR		
MCJ	MASONRY CONTROL JOINT		
MEJ	MASONRY EXPANSION JOINT		
MECH.	MECHANICAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MT	METAL THRESHOLD		
MTL.	METAL		



1 Perspective

	DRAWING NUMBER	View Name	DRAWING TITLE
	DRAWING NUMBER	A101	EXTERIOR ELEVATION KEY
	DRAWING NUMBER	A101	INTERIOR ELEVATION KEY
	Name	1	LEVEL CALLOUT
	1		DOOR TAG
	A		WINDOW TAG
	A		WALL TAG
	Room name	101	ROOM TAG
	5'-0"		DIMENSION (FACE OF STUD U.N.O.)
	1	A101	SECTION KEY
	1	A101	DETAIL KEY
	1	A101	ENLARGED PLAN OR DETAIL KEY
	Drawing Symbols	1/4" = 1'-0"	

Drawing Index	
Sheet Number	Sheet Name
A001	Cover Sheet
A002	Appendix B
A003	Life Safety Plans
A101	First Floor Plan
A102	Enlarged Plans & Elevations
A201	Elevations
A202	Elevations
P1	Plumbing Notes & Schedules
P2	Plumbing Plans
P3	Plumbing Specifications
M1	Mechanical Notes, Schedules, & Specifications
M2	Mechanical Plans
E1	Electrical Notes
E2	Electrical Power Plan
E3	Electrical Lighting Plan
E4	Electrical Panel Schedule
E5	Electrical Light Fixture Schedule
E6	Electrical Specifications
E7	Electrical Specifications

GENERAL CONSTRUCTION NOTES

- THESE DRAWINGS CONTAIN THE MINIMUM INFORMATION NECESSARY FOR ANY REPUTABLE CONTRACTOR TO UNDERTAKE CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT. HE SHALL COMPLETE THE WORK IN THE BEST AND MOST WORKMANLIKE MANNER, AND DO EVERYTHING PROPERLY INCIDENTAL THERETO, AS SHOWN ON THE PLANS, REQUIRED BY ALL APPLICABLE CODES, AS RECOMMENDED BY PRODUCT MANUFACTURERS, AND IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE BEGINNING WORK. DIMENSIONS FOR NEW CONSTRUCTION SHOULD BE HELD TO THE MAXIMUM EXTENT POSSIBLE.
- PREMISES OF THE ENTIRE JOB SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF OSHA.
- PRIOR TO THE FINAL PAYMENT THE CONTRACTOR SHALL GIVE TO THE OWNER A LABELED BINDER CONTAINING A LIST OF ALL SUPPLIERS AND SUBCONTRACTORS WITH ADDRESSES AND PHONE NUMBERS, GUARANTEES, AND OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT. THE CONTRACTOR SHALL WARRANT THE WORK FOR A PERIOD OF ONE YEAR.
- IF A PORTION OF THE WORK HAS BEEN COVERED WHICH THE ARCHITECT HAS NOT SPECIFICALLY REQUESTED TO OBSERVE PRIOR TO ITS BEING COVERED, THE ARCHITECT MAY REQUEST TO SEE SUCH WORK AND IT SHALL BE UNCOVERED BY THE CONTRACTOR, IF SUCH WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. COSTS OF UNCOVERING AND REPLACEMENT SHALL, BY APPROPRIATE CHANGE ORDER, BE CHARGED TO THE ARCHITECT, IF SUCH WORK IS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PAY SUCH COSTS UNLESS THE CONDITION WAS CAUSED BY THE OWNER OR A SEPARATE CONTRACTOR IN WHICH EVENT THE OWNER SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH COSTS. THE CONTRACTOR SHALL PROMPTLY CORRECT THE WORK REJECTED BY THE ARCHITECT OR FAILING TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ALL CONCRETE SHALL BE 3000 PSI MINIMUM, AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE ACI AND ASTM.
- LIGHT GAUGE STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE LIGHT-GAUGE STEEL FRAMING CONSTRUCTION MANUAL AND AS PER ASTM A448, A570, OR A611.
- REINFORCING BARS FOR CONCRETE WORK SHALL BE GRADE #6, DEFORMED AS PER ASTM A615.
- WELDED WIRE FABRIC SHALL BE AS PER ASTM A185 OF SIZES AND TYPE AS SHOWN ON DRAWINGS.
- METAL TIE DOWN STRAPS, ANCHORS AND CLIPS SHALL BE AS PER "SIMPSON STRONGTIE" OR EQUAL.
- WOOD FRAMING AND BLOCKING SHALL BE #2 SPF OF THE SIZES INDICATED AND SHALL HAVE A MIN. F_b VALUE OF 1200 PSI.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOFING IN ACCORDANCE WITH NRCA REQUIREMENTS AND THE ROOFING PRODUCT MANUFACTURER'S RECOMMENDATIONS INCLUDING WATERPROOFING OF ALL PENETRATIONS AND SUPPORTS FOR MECHANICAL EQUIPMENT, AND AS SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL DETERMINE BEFORE BEGINNING WORK WHETHER AN ELEVATION CERTIFICATE WILL BE REQUIRED AND SHALL OBTAIN THE CERTIFICATE AT THE EARLIEST OPPORTUNITY. ONE COPY MUST BE PROVIDED FOR THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SHEATHING AND GWB OF WALL CAVITY. FLOOR AND CEILING INSULATION SHALL BE IN FULL CONTACT WITH GWB. INSULATION SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS, WITH NO SUBSTANTIAL GAPS, Voids, COMPRESSION OR WIND INTRUSION.
- SOIL SHALL BE FREE OF ORGANIC MATERIAL AND CONSOLIDATED TO BE CAPABLE OF 1,500 PSF AND LIMIT LONG TERM SETTLEMENT.
- CAULK ALL GAPS IN FRAMING AND SHEATHING AT FRAMING ROUGH-IN. CAULK GAPS IN GWB NOT SEALED BY TAPE AND JOINT COMPOUND. AIR TIGHTNESS SHALL BE LESS THAN OR EQUAL TO .30 CFM50 PER SQUARE FOOT OF CONDITIONED ENVELOPE AREA.

cahoon+kasten
ARCHITECTS

118 West Woodhill Drive
Nags Head, North Carolina 27959
P. 252.441.0271 F. 252.441.8724
E. office@obxarchitects.com

Project: **OBX Furniture**

Project No: **24042**

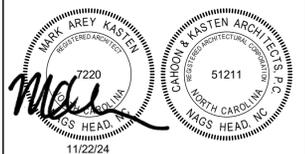
Location: **158 Greyson Loop
Powells Point, NC**

Title: **Cover Sheet**

Date: **November 22, 2024**

Scale: **1/4" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project or results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

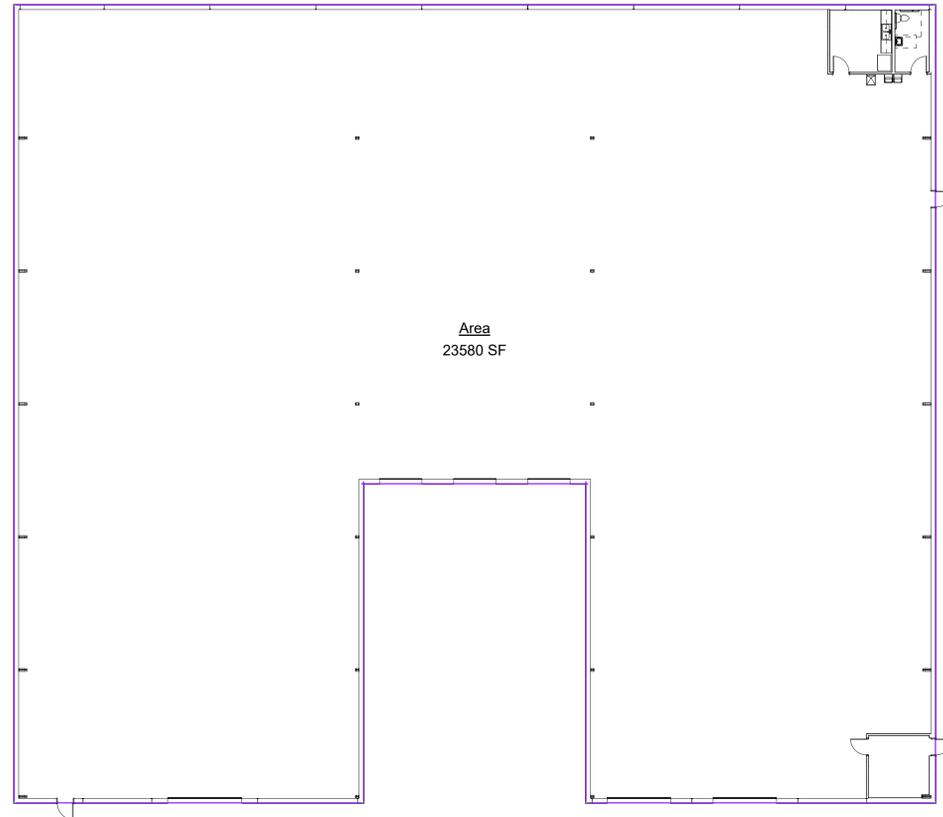


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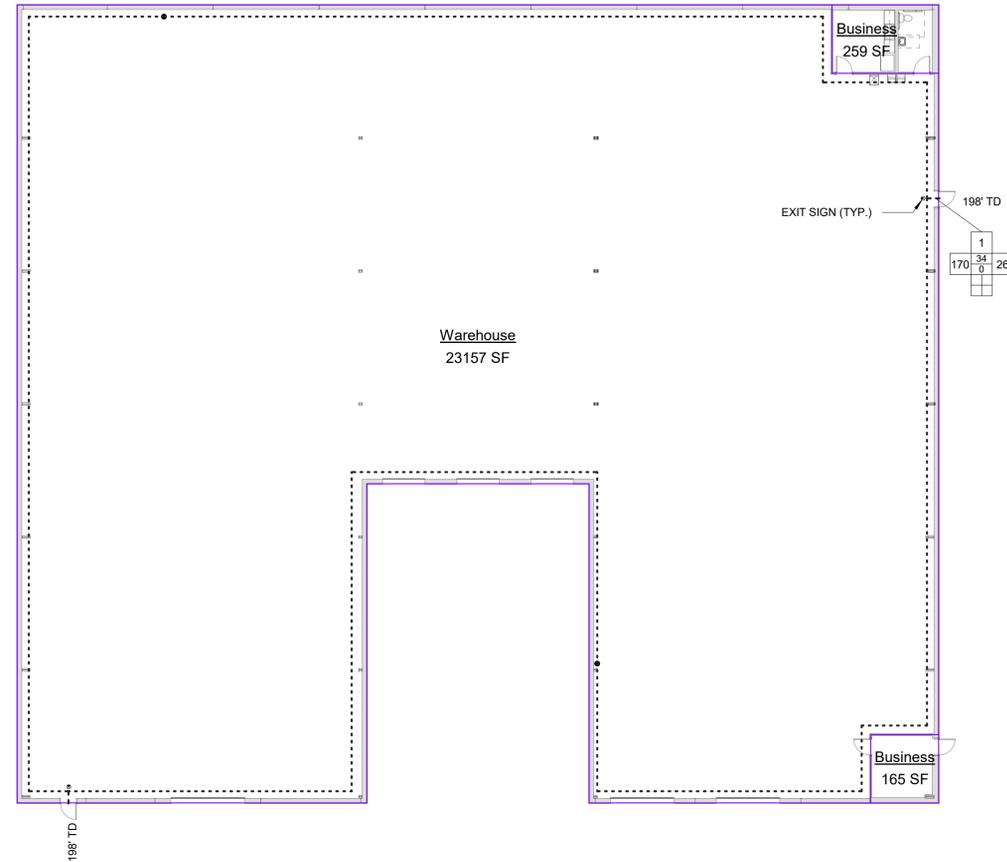
No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A001

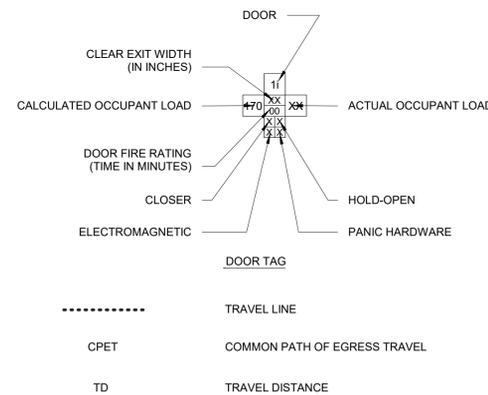


② (1) First Floor
1/16" = 1'-0"



① (1) First Floor
1/16" = 1'-0"

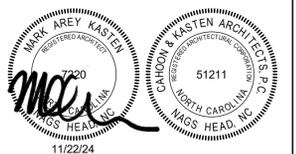
Occupant Schedule					
Name	Area	Occupancy	Occupancy S.F. Type	Area Per Occupant	Occupants
Warehouse	23157 SF	Warehouses	Gross	500 SF	47
Business	259 SF	Business Areas	Gross	100 SF	3
Business	165 SF	Business Areas	Gross	100 SF	2
					52



○ Life Safety Legend
1/4" = 1'-0"

Project: **OBX Furniture**
Project No: **24042**
Location: **158 Greyson Loop
Powells Point, NC**
Title: **Life Safety Plans**
Date: **November 22, 2024**
Scale: **As indicated**

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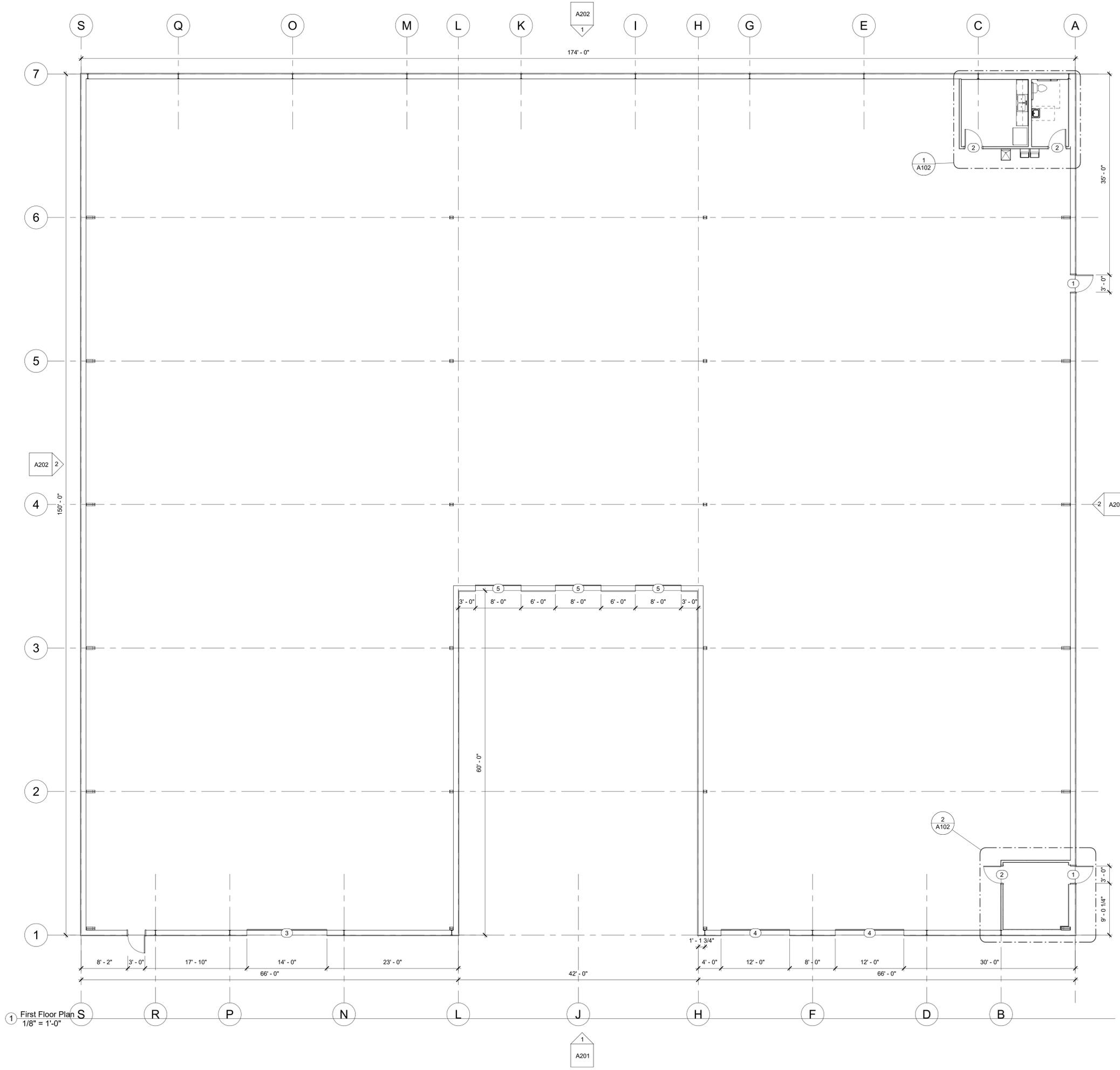


Revisions:

No.	Description	Date

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Drawn: MAK
Reviewed: MAK
Cad File:

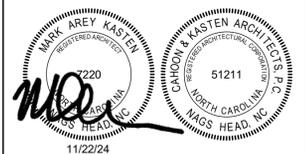
A003



1 First Floor Plan
1/8" = 1'-0"

Project: **OBX Furniture**
Project No: **24042**
Location: **158 Greyson Loop
Powells Point, NC**
Title: **First Floor Plan**
Date: **November 22, 2024**
Scale: **1/8" = 1'-0"**

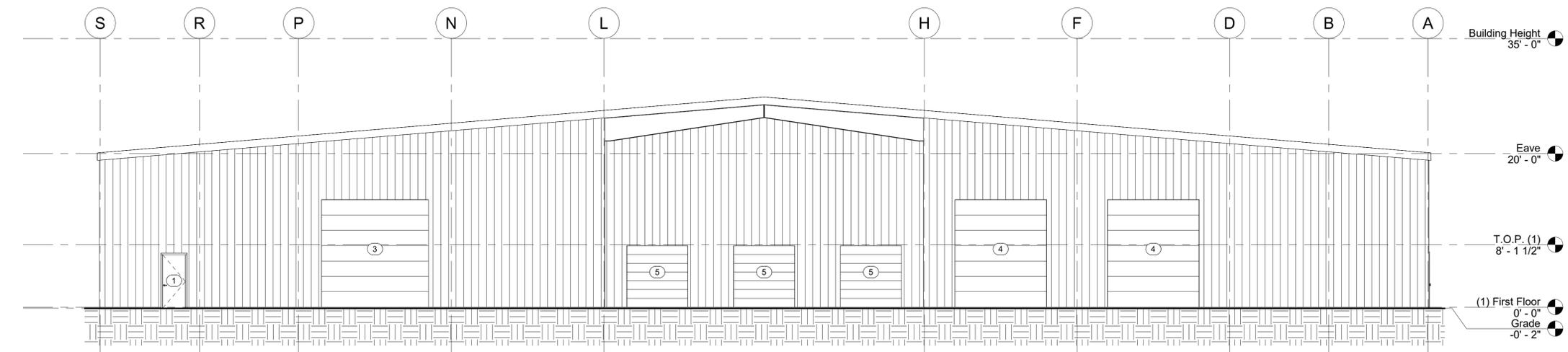
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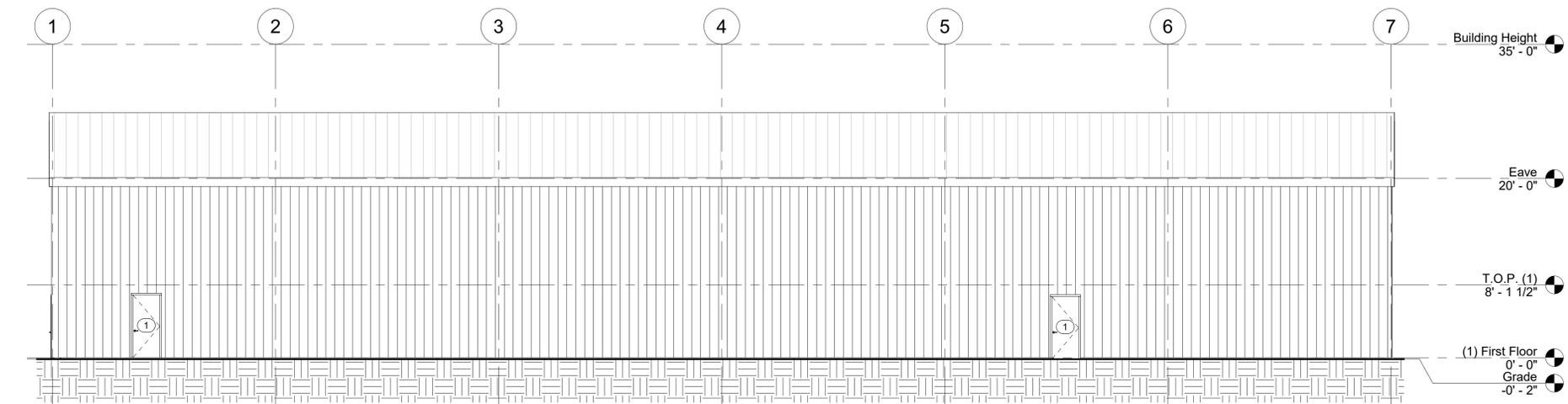
Revisions:

No.	Description	Date

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Drawn: MAK
Reviewed: MAK
Cad File: **A101**



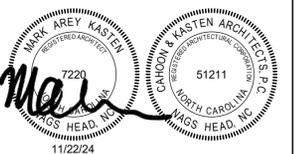
1 South Elevation
1/8" = 1'-0"



2 East Elevation
1/8" = 1'-0"

Project: **OBX Furniture**
Project No: **24042**
Location: **158 Greyson Loop
Powells Point, NC**
Title: **Elevations**
Date: **November 22, 2024**
Scale: **1/8" = 1'-0"**

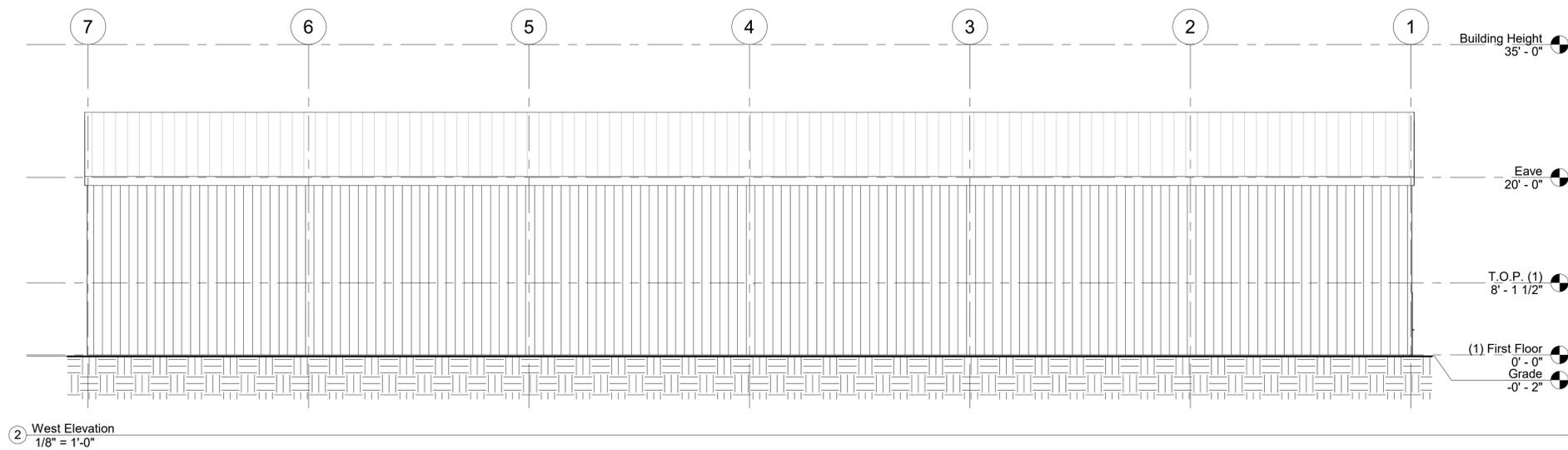
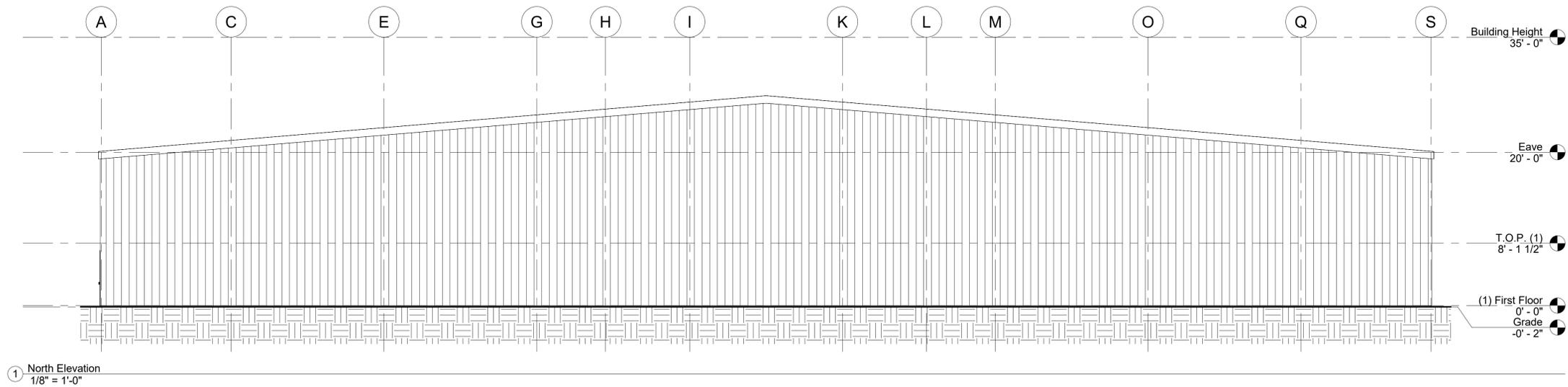
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Revisions:

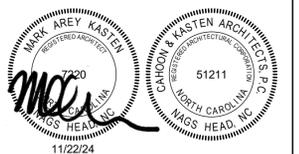
No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: **A201**



Project: **OBX Furniture**
Project No: **24042**
Location: **158 Greyson Loop
Powells Point, NC**
Title: **Elevations**
Date: **November 22, 2024**
Scale: **1/8" = 1'-0"**

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Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A202

NOTES

- OWNER/APPLICANT: OBX FURNITURE KH LLC
P.O. BOX 749
KITTY HAWK, NC 27949
- ENGINEER: WITHERSRAVENEL
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- PROPERTY INFO: 158 & 154 GREYSON LOOP
LOT 34- PIN / PID: 9838-37-2763 / 123E00000340000
LOT 50- PIN / PID: 9833-37-4722 / 123E00000500000
- RECORDED REFERENCE: LOT 34- DB 1765, PG 785 PLAT BOOK/PAGE 1/279
LOT 50- DB 1765, PG 785 PLAT BOOK/PAGE 1/279
- ZONE: LIGHT INDUSTRIAL (L)
- PARCEL AREA: LOT 34 = 0.96 AC / LOT 50 = 1.07 AC
PROPOSED COMBINED PARCEL AREA = 88,211.8 SQ.FT. / 2.03 AC (AREAS BY COORDINATE METHOD.)
- DESIGN SURVEY WAS PROVIDED BY EASTERN GEOMATICS, PLLC ATTENTION: JAMIE FURR, PLS. PER FILE NAME 24-2246A-QUIBLE.DWG, DATE RECEIVED 5/28/2024. (HORIZONTAL GROUND DISTANCES).
- BOUNDARY VERTICAL DATUM NAVD 1988 / HORIZONTAL DATUM NAVD 1983 (2012). ORIGINAL VERTICAL DATUM OF CURRITUCK INDUSTRIAL PARK IN NAVD83. THE CONVERSION FROM NAVD83 TO NAVD89 IS 0.86(+). THE FIRST FLOOR ELEVATION IS PROPOSED 0.86' HIGHER THAN THE MINIMUM REQUIRED, AND DERIVED FROM P.C. K. SL 279 (CONVERTED TO NAVD88)
- PROPERTY IS LOCATED IN NFIP FLOOD ZONE "X" AND SUBJECT TO CHANGES, BASED ON COMMUNITY CID NO. 370078; PANEL 9846; SUFFIX K. (MAP NUMBER 3720983800K) EFFECTIVE DATE: 12/21/2018.
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF AN APPROXIMATE 26,100 SQ FT WAREHOUSE & ADMINISTRATION AREA, ASSOCIATED PARKING, DRIVE, AND RELATED SITE IMPROVEMENTS ON COMBINED LOTS 34 & 50.

SHEET INDEX

- EXISTING CONDITIONS/DEMO PLAN
- SITE, UTILITY & LANDSCAPING PLAN
- GRADING & SESC PLAN
- SITE & UTILITY DETAILS
- SESC DETAILS

PERMANENT VEGETATION

SEEDING DATES: APRIL 1 - AUGUST 31:	SEED MIXTURE	APPLICATION RATES/ACRE
	REBEL II FESCUE	130 LBS.
	COMMON BERMAUDA "SAHARA" (HULLED)	215 LBS.
SEEDING DATES: SEPT. 1 - MARCH 31:	SEED MIXTURE	APPLICATION RATES/ACRE
	REBEL II FESCUE	250 LBS.
	COMMON BERMAUDA "SAHARA"	215 LBS.

SEEDING PREPARATION:
LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW. BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDDED SHALL BE RE-COMPACTED UTILIZING A CULTPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE SHALL BE THE FINISHED GRADE.

SOIL AMENDMENTS:
OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

MULCHING:
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.

MAINTENANCE:
SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEEDDED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

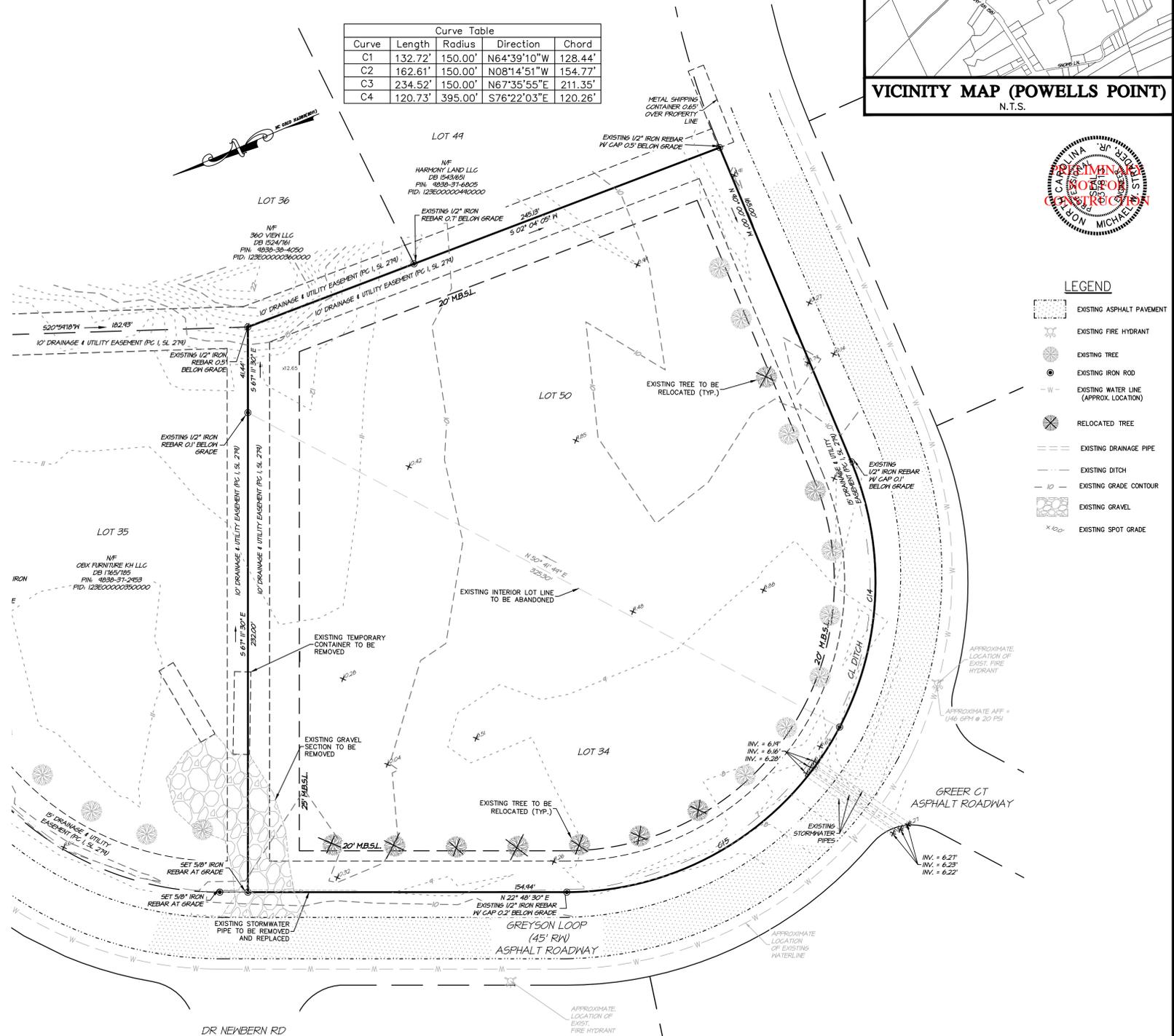
MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.) WEAK OR DAMAGED SPOTS MUST BE RELIMED, FERTILIZED, MULCHED, AND RESEEDDED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

TEMPORARY VEGETATION

SEEDING DATES: AUG. 16 - APRIL 15:	SEED MIXTURE	APPLICATION RATES/ACRE
	RYE GRAIN	120 LBS.
SEEDING DATES: APRIL 16 - AUG. 15:	SEED MIXTURE	APPLICATION RATES/ACRE
	GERMAN MILLET	40 LBS.

SEEDING SPECIFICATIONS

Curve	Length	Radius	Direction	Chord
C1	132.72'	150.00'	N64°39'10"W	128.44'
C2	162.61'	150.00'	N08°14'51"W	154.77'
C3	234.52'	150.00'	N67°35'55"E	211.35'
C4	120.73'	395.00'	S76°22'03"E	120.26'



VICINITY MAP (POWELLS POINT)
N.T.S.



LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING FIRE HYDRANT
- EXISTING TREE
- EXISTING IRON ROD
- EXISTING WATER LINE (APPROX. LOCATION)
- RELOCATED TREE
- EXISTING DRAINAGE PIPE
- EXISTING DITCH
- EXISTING GRADE CONTOUR
- EXISTING GRAVEL
- EXISTING SPOT GRADE

EXISTING CONDITIONS/DEMO PLAN
LOTS 34 & 50 COMBINED
CURRITUCK INDUSTRIAL PARK

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO.	P24057
DESIGNED BY	MWS/BPJ
DRAWN BY	BPJ/ND
CHECKED BY	MWS
ISSUE DATE	01/23/2025

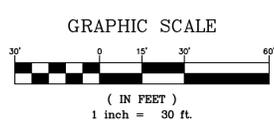
SHEET NO. **1**
OF 5 SHEETS

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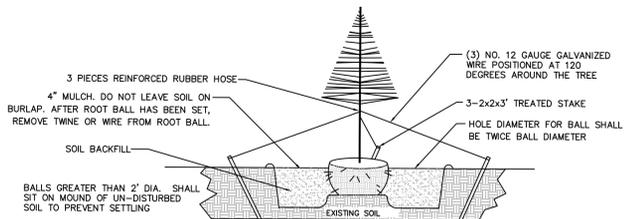
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NOTES

- CURRENT OWNER/APPLICANT: OBX FURNITURE KH LLC
P.O. BOX 749
KITTY HAWK, NC 27949
- SITE ADDRESS: 158 & 154 GREYSON LOOP
POWELLS POINT, NC 27966
- PROPERTY IDENTIFICATION: LOT 34 - PIN / PID: 9838-37-2763 / 123E00000340000
LOT 50 - PIN / PID: 9833-37-4722 / 123E00000500000
- PARCEL AREAS:
LOT 34 = 0.96 AC
LOT 50 = 1.07 AC
PROPOSED COMBINED PARCEL AREA = 88,211.8 SQ.FT. / 2.03 AC (AREAS BY COORDINATE METHOD.)
- ZONING: LIGHT INDUSTRIAL (LI)
- SUBJECT REFERENCES: LOT 34 - DB 1765, PG 785 PLAT BOOK/PAGE 1/279
LOT 50 - DB 1765, PG 785 PLAT BOOK/PAGE 1/279
- DESIGN SURVEY WAS PROVIDED BY EASTERN GEOMATICS, PLLC ATTENTION: JAMIE FURR, PLS. PER FILE NAME 24-2246A-QUIBLE.DWG, DATE RECEIVED 5/28/2024. (HORIZONTAL GROUND DISTANCES).
- VERTICAL DATUM NAVD 1988 / HORIZONTAL DATUM NAVD 1983 (2012). ORIGINAL VERTICAL DATUM OF CURRITUCK INDUSTRIAL PARK IN NAVD29. THE CONVERSION FROM NAVD88 TO NAVD29 IS 0.81(+). THE FIRST FLOOR ELEVATION IS PROPOSED 0.86' HIGHER THAN THE MINIMUM REQUIRED, AND DERIVED FROM P.C. 1; SL 279 (CONVERTED TO NAVD88)
- PROPERTY IS LOCATED IN NFIP FLOOD ZONE "X" AND SUBJECT TO CHANGES BASED ON COMMUNITY CID NO. 370078; PANEL 9846; SUFFIX K. (MAP NUMBER 3720983800K) EFFECTIVE DATE: 12/21/2018.
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF AN APPROXIMATE 26,100 SQ FT WAREHOUSE & ADMINISTRATION AREA, ASSOCIATED PARKING, DRIVE, AND RELATED SITE IMPROVEMENTS ON COMBINED LOTS 34 & 50.
- ALL UTILITIES TO BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED
- NO U.S.A.C.G.E. SECTION 404 JURISDICTIONAL WETLANDS EXIST ON SITE.
- EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- THIS PLAN SET IS TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, WATER SYSTEM AND ON-SITE SEPTIC. FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, ELECTRICAL AND MECHANICAL, SEE APPROPRIATE SEPARATE PLANS.
- PARKING REQUIREMENTS:
PROFESSIONAL OFFICES: 1 SPACE PER EVERY 300 SQ.FT.
WAREHOUSE SPACE: 1 SPACE PER EVERY 2,500 SQ.FT.
287 SQ.FT. / 300 SQ.FT. = 1 SPACES
23,580 SQ.FT. / 2,500 SQ.FT. = 9 SPACES
TOTAL PARKING REQUIRED = 11 SPACES (1 ADA VAN ACCESSIBLE)
TOTAL PARKING PROVIDED = 11 SPACES (1 ADA VAN ACCESSIBLE)
- COVERAGE CALCULATIONS:
BUILDING & LOADING ZONE = 26,100.0 SQ.FT.
DRIVEWAY & PARKING AREAS = 26,939.2 SQ.FT.
CONC. DUMPSITER PAD = 400.0 SQ.FT.
TOTAL = 53,439.2 SQ.FT. (60.6%)
ALLOWED LOT COVERAGE MAX. = 57,337.7 SQ.FT. (65% MAX)
- EXISTING FEATURES, IMPROVEMENTS, TOPOGRAPHIC AND BOUNDARY INFORMATION BASED ON FIELD SURVEY BY EASTERN GEOMATICS, PLLC ATTENTION: JAMIE FURR, PLS. PER FILE NAME 24-2246A-QUIBLE.DWG, DATE RECEIVED 5/28/2024. (HORIZONTAL GROUND DISTANCES).
- MAXIMUM BUILDING HEIGHT = 35 FT.
- FILL SLOPES SHALL NOT EXCEED 3:1 SWALES SHALL BE A MINIMUM OF 12" DEEP.
- SETBACKS (PER SECTION 3.5.8 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE):
FRONT 20'
CORNER SIDE 20'
SIDE 15'
REAR 15'
SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST. NO FILL SHALL BE ADDED TO FRONT, SIDE OR REAR SETBACKS.
- UTILITY AND DRAINAGE EASEMENTS (PER FINAL PLAT OF CURRITUCK INDUSTRIAL PARK)
FRONT 15'
SIDE 10'
REAR 10'
- LANDSCAPE BUFFERS:
REAR N/A
SIDE N/A
FRONT N/A
- THIS PLAN IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH CHAPTER 5.2 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. NOTE: NO HERITAGE TREES EXIST ON THE SUBJECT PARCEL.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEQ DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES REGULATIONS.
- THE LOCATION, DIMENSIONS, AND ELEVATIONS OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK AND PROTECT LOCATIONS SET AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NUMBER 811, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT. ALL WORK WITHIN NCDOT R/W SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- ALL PAVEMENT MARKINGS, TEXT AND DIRECTIONAL ARROWS SHALL BE PAINTED WHITE, ALL LETTERING SHALL BE 2 FT. IN HEIGHT. LINES SHALL BE 4" WIDE CROSSWALK AND LOADING AREAS, SET 4" WHITE LINES ON A 45° ANGLE.
- WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- ALL UTILITIES ON THIS SITE WILL BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.
- PROOF ROLL ALL NEW PAVEMENT AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.

WASTEWATER NOTES

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- NEW WASTEWATER SYSTEM DESIGN PARAMETERS:
DESIGN FLOW: 10 EMPLOYEES @ 25 GALLONS PER DAY (GPD) PER PERSON = 250 GPD (ROUND TO 360 GPD MIN.).
ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.6 GPD/SQ.FT. FOR A CONVENTIONAL TRENCH SYSTEM.
(4) 42" LINES @ 9' O.C. (168 LN. FT. TOTAL)
- UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTION 1900 LAWS AND RULES FOR SEWAGE TREATMENT AND DISPOSAL SYSTEMS* OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WASTEWATER SECTION (15 NCAC 18A.1900).
- CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT.
- MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
- FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS SAND OR LOAMY SAND (SOIL GROUP I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INCHES OF FILL USED TO COVER THE SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE ESTABLISHMENT OF A VEGETATIVE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO A DEPTH OF SIX INCHES BELOW THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL BE REMOVED BEFORE THE FILL MATERIAL IS INCORPORATED.
- ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER. VEGETATE DRAINFIELD AREA AS SPECIFIED IN LANDSCAPE PLAN (BY OTHERS).



TREE PLANTING SUMMARY

SYMBOL	QUANTITY	COMMON NAME	HEIGHT	SPREAD	MIN. SIZE @ PLANTING
(Symbol)	106	DWARF AZALEA*	3' - 6' HT.	3'-6'	3 GALLON
(Symbol)		DWARF HORNED HOLLY*	3' - 4' HT.	3'-4'	3 GALLON
(Symbol)		DWARF YAUPOIN HOLLY*	3' - 5' HT.	3'-6'	3 GALLON
(Symbol)		SOUTHERN WAX MYRTLE*	10' - 15' HT.	8'-10'	3 GALLON
(Symbol)	4	LIVE OAK**	30' - 50' HT.	50'-80'	2" CAL. 8' HT.
(Symbol)		BALD CYPRESS**	50' - 100' HT.	20' - 30'	2" CAL. 8' HT.

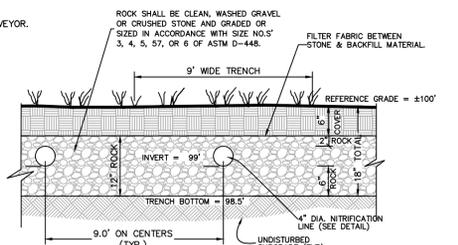
* COORDINATE INSTALLATION WITH OWNER. ORNAMENTAL SHRUB/GRASS SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.

** CANOPY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.

*** AT LEAST HALF OF THE SHRUBS SHALL BE EVERGREEN.

Curve Table

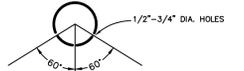
Curve	Length	Radius	Direction	Chord
C1	132.72'	150.00'	N64°39'10"W	128.44'
C2	162.61'	150.00'	N08°14'51"W	154.77'
C3	234.52'	150.00'	N67°35'55"E	211.35'
C4	120.73'	395.00'	S76°22'03"E	120.26'



CONVENTIONAL TRENCH SECTION

ALL DRAINFIELD AND REPAIR AREAS SHALL BE SEEDED AND MULCHED ACCORDING TO THE GENERAL SEEDING SPECIFICATIONS

ELEVATIONS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR TO CONFIRM ALL ELEVATIONS PRIOR TO CONSTRUCTION

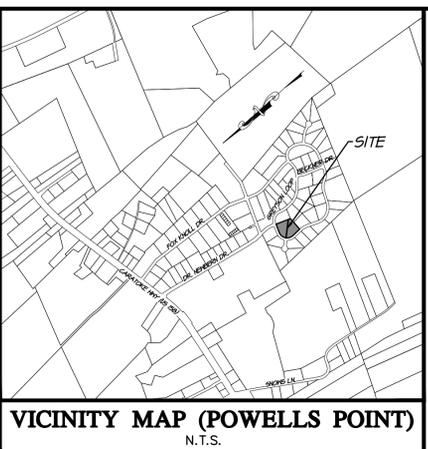


4" NITRIFICATION LINE

4" DIAMETER CORRUGATED POLYETHYLENE (ASTM F-405) LATERAL NITRIFICATION LINE. NITRIFICATION LINE TO HAVE THREE ROWS OF HOLES, EACH HOLE BETWEEN ONE-HALF INCH AND THREE-FOURTHS INCH IN DIAMETER, AND LOCATED IN THE LOWER PORTION OF THE TUBING, THE OUTSIDE ROWS BEING APPROXIMATELY ON 12" CENTERS. SEE NITRIFICATION LINE DETAIL ABOVE.

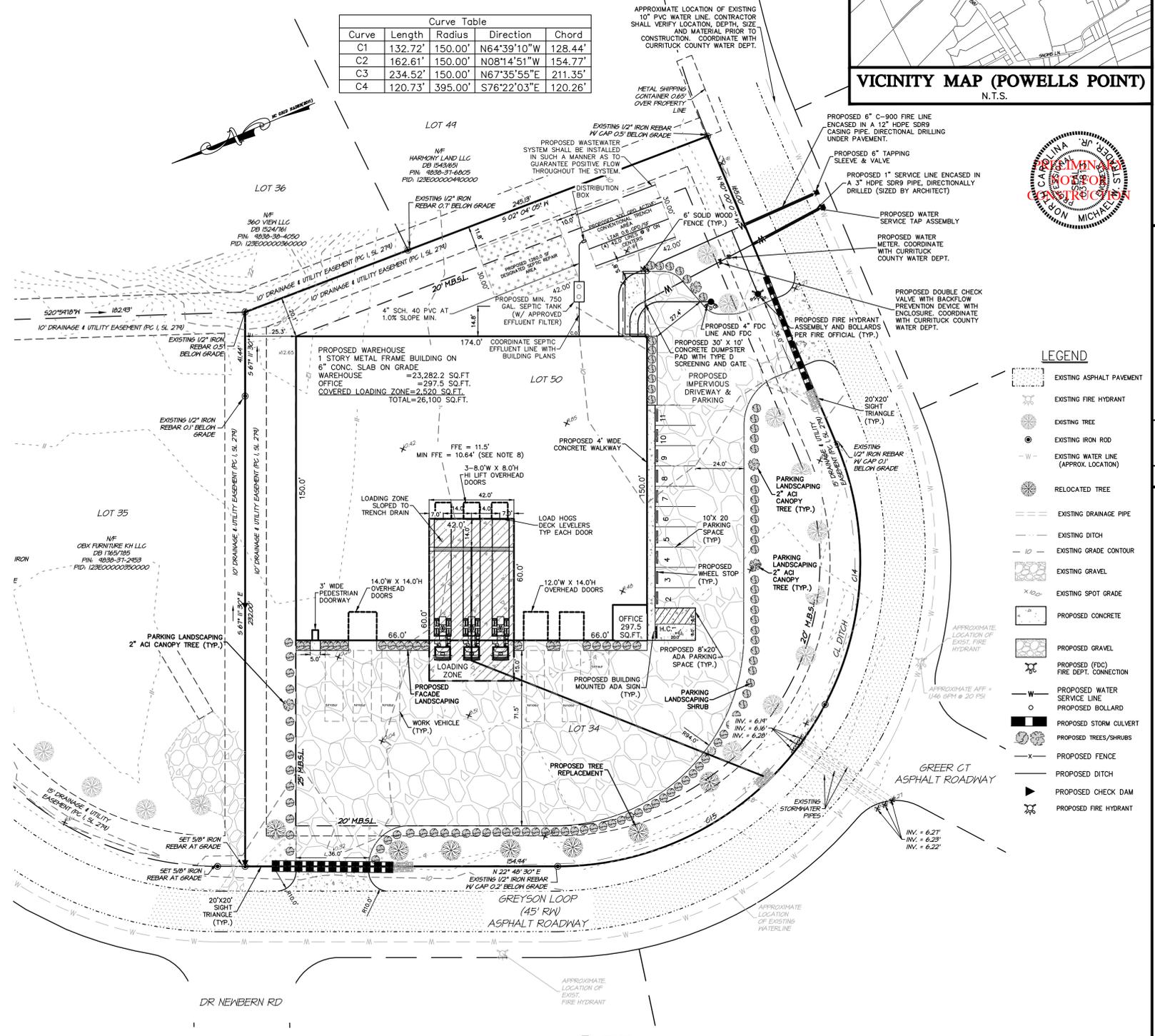
CONVENTIONAL TRENCH DETAIL

N.T.S.



VICINITY MAP (POWELLS POINT)

N.T.S.



LEGEND

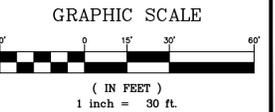
- EXISTING ASPHALT PAVEMENT
- EXISTING FIRE HYDRANT
- EXISTING TREE
- EXISTING IRON ROD
- EXISTING WATER LINE (APPROX. LOCATION)
- RELOCATED TREE
- EXISTING DRAINAGE PIPE
- EXISTING DITCH
- EXISTING GRADE CONTOUR
- EXISTING GRAVEL
- EXISTING SPOT GRADE
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPOSED (FDC) FIRE DEPT. CONNECTION
- PROPOSED WATER SERVICE LINE
- PROPOSED BOLLARD
- PROPOSED STORM CULVERT
- PROPOSED TREES/SHRUBS
- PROPOSED FENCE
- PROPOSED DITCH
- PROPOSED CHECK DAM
- PROPOSED FIRE HYDRANT

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WithersRavenel
8466 Carotake Highway | Building 000 | Powells Point, NC 27966
License #: F-14791 | T: 252.491.8147 | www.withersravenel.com

REVISIONS

NO.	DATE	DESCRIPTION

SITE, UTILITY & LANDSCAPING PLAN

LOTS 34 & 50 COMBINED

CURRITUCK INDUSTRIAL PARK

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P24057
DESIGNED BY MWS\BPJ
DRAWN BY BPJ\ND
CHECKED BY MWS
ISSUE DATE 01/23/2025

SHEET NO. 2 OF 5 SHEETS

NOTES

- OWNER/APPLICANT: OBX FURNITURE KH LLC
P.O. BOX 749
KITTY HAWK, NC 27949
- ENGINEER: WITHERSRAVENEL
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- PROPERTY INFO:
LOT 34 - PIN / PID: 9838-37-2763 / 123E00000340000
LOT 50 - PIN / PID: 9833-37-4722 / 123E00000500000
- PROPERTY ADDRESS: 154 & 158 GREYSON LOOP
POWELLS POINT, NC 27966
- SUBJECT REFERENCES: LOT 34- DB 1765, PG 785 PLAT BOOK/PAGE 1/279
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- ZONE: LIGHT INDUSTRIAL (L)
- PARCEL AREAS:
LOT 34 = 0.96 AC
LOT 50 = 1.07 AC
PROPOSED COMBINED PARCEL AREA = 88,211.8 SQ.FT. / 2.03 AC (AREAS BY COORDINATE METHOD.)
- PROPERTY IS LOCATED IN NFIP FLOOD ZONE "X" AND SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 9846; SUFFIX K. (MAP NUMBER 3720983800K) EFFECTIVE DATE: 12/21/2018.
- VERTICAL DATUM NAVD 1988 / HORIZONTAL DATUM NAVD 1983 (2012). ORIGINAL VERTICAL DATUM OF CURRITUCK INDUSTRIAL PARK IN NAVD09. THE CONVERSION FROM NAVD08 TO NAVD09 IS 0.84(+). THE FIRST FLOOR ELEVATION IS PROPOSED 0.16' HIGHER THAN THE MINIMUM REQUIRED, AND DERIVED FROM P.C. I, SL. 279 (CONVERTED TO NAVD88).
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- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF AN APPROXIMATE 26,100 SQ FT WAREHOUSE & ADMINISTRATION AREA, ASSOCIATED PARKING, DRIVE, AND RELATED SITE IMPROVEMENTS ON COMBINED LOTS 34 & 50.
- STORMWATER MANAGEMENT: RUNOFF FROM ALL PROPOSED IMPROVEMENTS WILL BE COLLECTED AND CONVEYED INTO EXISTING AND PROPOSED STORMWATER SWALES.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.
- AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUBGRADE AND BACKFILLED IN 6" LIFTS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND PROTECT ALL UNDERGROUND AND ABOVE GROUND UTILITIES, EXISTING PAVEMENT SURFACES, EXISTING CURB CUTS AND EXISTING PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEQ DIVISION OF ENERGY, MINERAL AND LAND RESOURCES REGULATIONS.
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- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- PRIOR TO LAND DISTURBANCE, A STATE APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED.

CONSTRUCTION SEQUENCE

- PRECONSTRUCTION:**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 - FLAG AND/OR ROUGH STAKE WORK LIMITS.
 - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.

- CONSTRUCTION:**
- INSTALL CONSTRUCTION ENTRANCE & SILT FENCING AT LOCATIONS SHOWN ON PLAN.
 - CONSTRUCT TEMPORARY SEDIMENT BASIN. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY DEMOLITION.
 - COMPLETE CLEARING AND GRUBBING PROCEDURES.
 - GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - INSTALL CONTRIBUTING STORM CONVEYANCES INCLUDING RIP-RAP APRONS, MATING AND ASSOCIATED EROSION CONTROLS.
 - COMPLETE FINAL GRADING OF THE GROUNDS, TOPSOIL, PERMANENTLY SEED, LANDSCAPE, AND MULCH.
 - ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
 - ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED; ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES INCLUDING THE BASIN AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
 - UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.

SOIL EROSION & SEDIMENT CONTROL NOTES

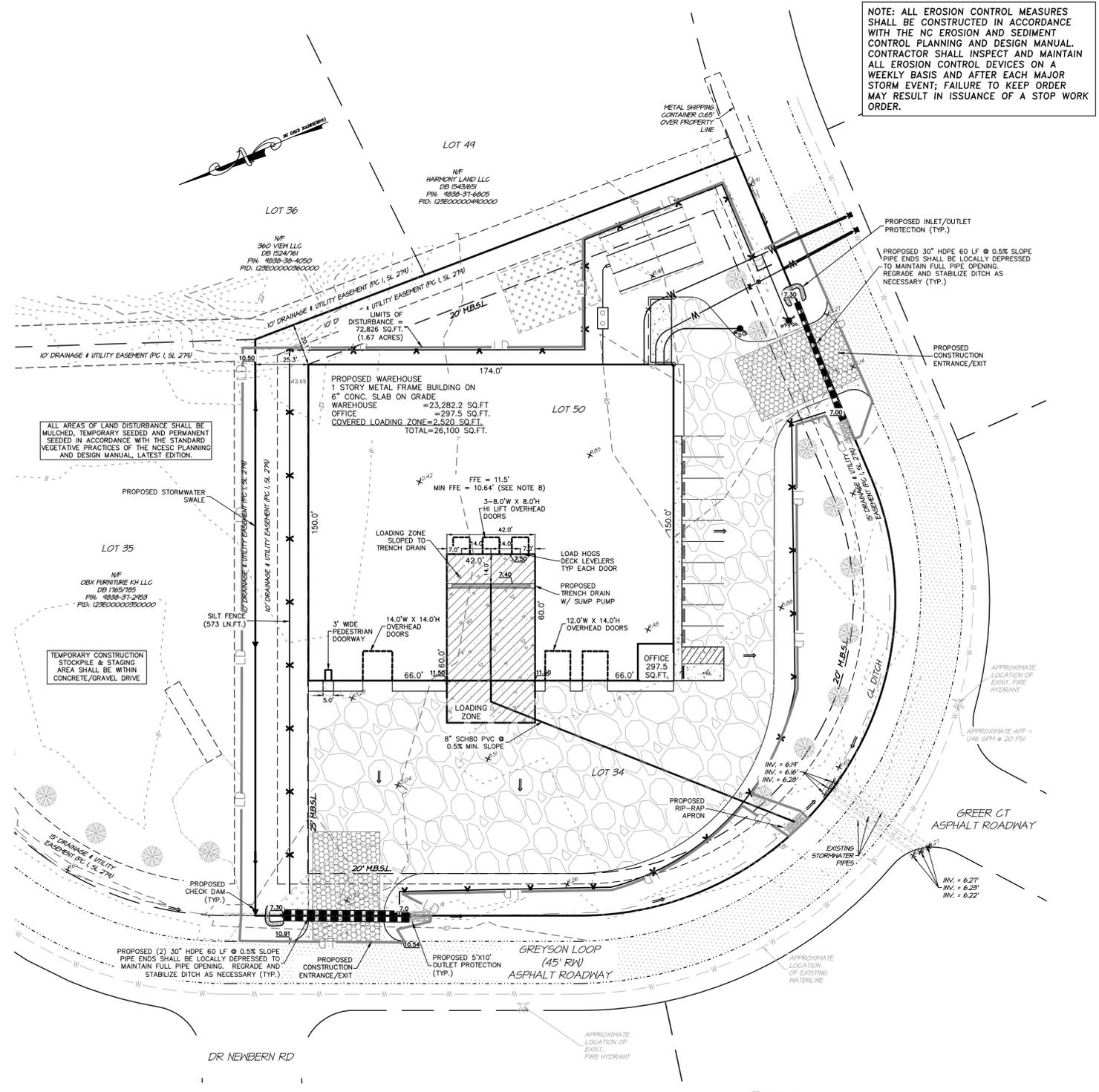
- AREA TO BE DISTURBED: ± 72,826 SF (± 1.67 AC.)
- PROVIDE A GROUND COVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW.
 - PERIMETER DIKES, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
 - HIGH QUALITY WATER (HOW) ZONES SHALL BE STABILIZED IN 7 DAYS.
 - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
 - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
 - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1- SEP.30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
 - A RAIN GAUGE MUST BE KEPT ON SITE.
 - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
 - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
 - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
 - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCEQ LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCEQ LAND QUALITY SECTION APPROVED SITE.



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LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING FIRE HYDRANT
- EXISTING TREE
- EXISTING IRON ROD
- EXISTING WATER LINE (APPROX. LOCATION)
- RELOCATED TREE
- EXISTING DRAINAGE PIPE
- EXISTING DITCH
- EXISTING GRADE CONTOUR
- EXISTING GRAVEL
- EXISTING SPOT GRADE
- EXISTING CONCRETE
- PROPOSED GRAVEL
- PROPOSED (FDC) FIRE DEPT. CONNECTION
- PROPOSED WATER SERVICE LINE
- PROPOSED BOLLARD
- PROPOSED FLOW DIRECTION
- PROPOSED SPOT GRADE (NAVD 1988)
- PROPOSED STORM CULVERT
- PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CULVERT INLET/OUTLET PROTECTION
- PROPOSED FENCE
- PROPOSED SILT FENCE
- PROPOSED DITCH
- PROPOSED CHECK DAM
- PROPOSED FIRE HYDRANT



NO.	DATE	REVISIONS

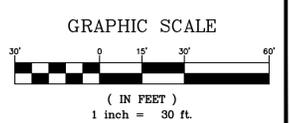
GRADING & SOIL EROSION SEDIMENT CONTROL PLAN
LOTS 34 & 50 COMBINED
CURRITUCK INDUSTRIAL PARK
POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO.	P24057
DESIGNED BY	MWS/BPJ
DRAWN BY	BPJ
CHECKED BY	MWS
ISSUE DATE	01/23/2025

SHEET NO. **3**
OF 5 SHEETS



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



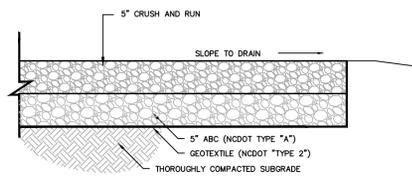
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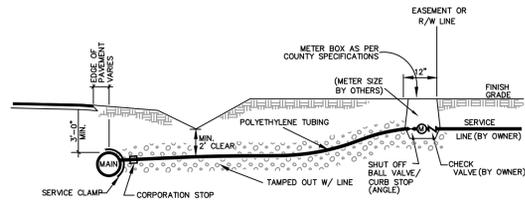
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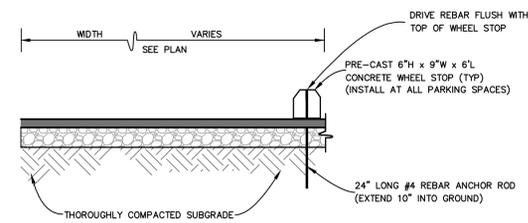
GRAVEL PAVEMENT SECTION
N.T.S.



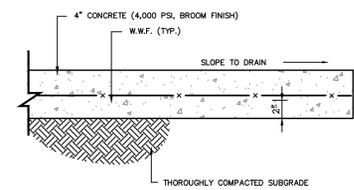
STANDARD WATER SERVICE LINE AND METER BOX INSTALLATION
N.T.S.

- COMPACTION NOTES:**
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
 - COMPACT BACKFILL AND SUBGRADE TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) ALL BACKFILL MATERIAL SHALL BE SELECT BACKFILL UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
 - SELECT FILL SHALL CONSIST OF SAND OR GRAVEL CONTAINING LESS THAN 20% BY WEIGHT OF FINES (SP, SM, SW, GP, GW) HAVING A LIQUID LIMIT LESS THAN 20 AND PLASTIC LIMIT LESS THAN 6, AND FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL.

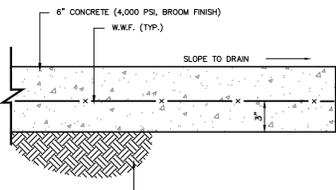
COMPACTION NOTES



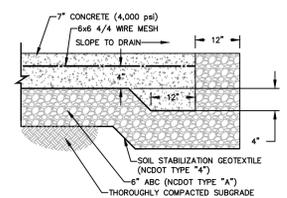
WHEEL STOP DETAIL
N.T.S.



CONCRETE SIDEWALK SECTION
N.T.S.

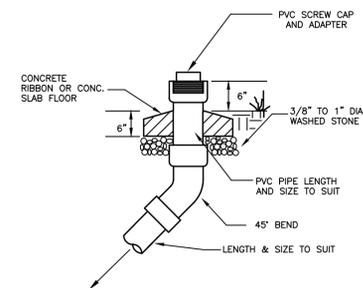


CONCRETE PAVEMENT SECTION
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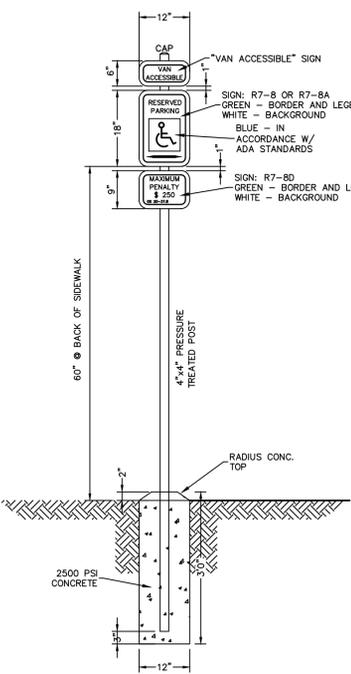


CONCRETE ENTRANCE APRON PAVEMENT SECTION
N.T.S.

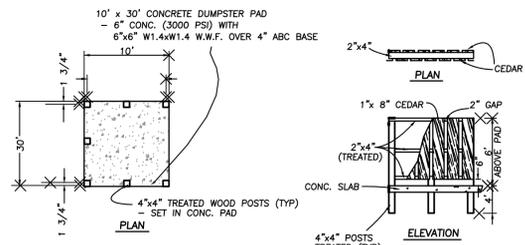
- NOTE:**
- PROVIDE 7" THICK CONCRETE SLAB-ON-GRADE REINFORCED WITH #6@4" WIRE MESH
 - REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE FABRIC ASTM A185
 - 2" CLEAR CONCRETE COVER ON ALL REINFORCING.



TYPICAL SEWER CLEAN-OUT
N.T.S.

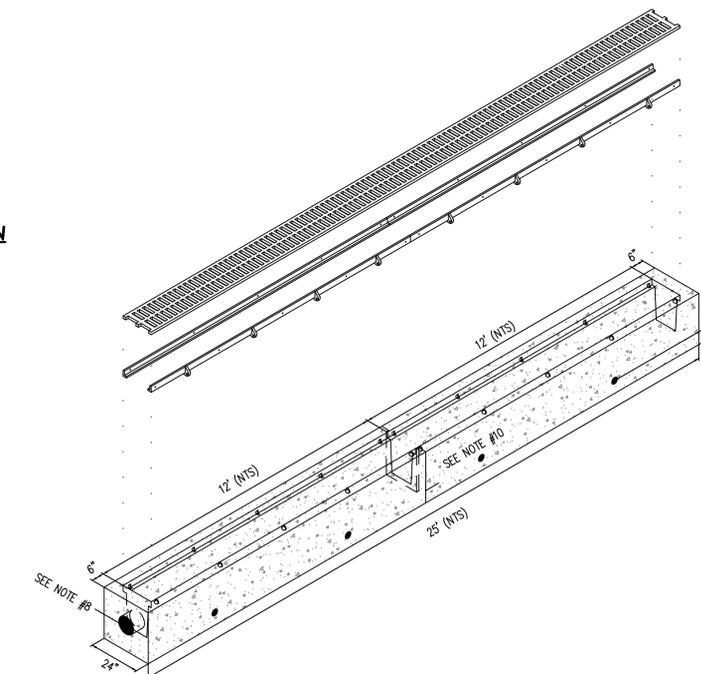


ADA RESERVED PARKING SIGN DETAIL
N.T.S.



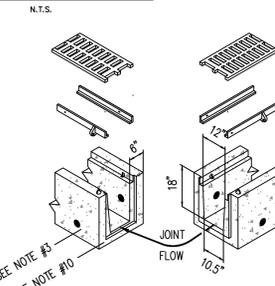
DUMPSTER PAD ENCLOSURE

CONCRETE DUMPSTER PAD and ENCLOSURE
N.T.S.



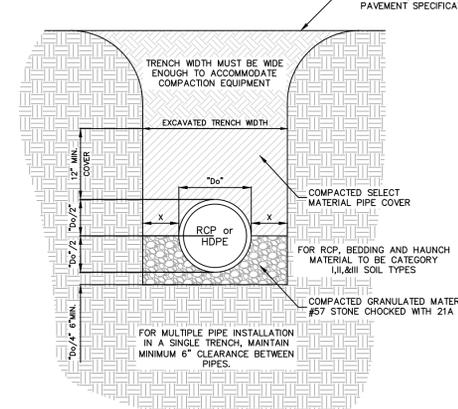
TRENCH DRAIN DETAIL
N.T.S.

TRENCH DRAIN DETAIL
N.T.S.



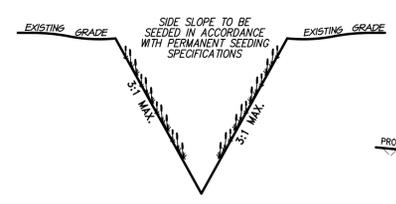
RCP PIPE		HDPE PIPE	
DIA. "D"	"X"	DIA. "D"	"X"
0' - 24"	6"	4'-6"	8.5"
27' - 36"	12"	8'-12"	9"
42' - 72"	15"		

- NOTES:**
- SELECT MATERIAL PIPE COVER SHALL BE 12" (MINIMUM) DEEP OVER TOP OF PIPE.
 - SELECT MATERIAL BACKFILL SHALL BE CBR 20 COMPACTED TO 95% DENSITY, BACKFILL COMPACTED IN 12" LIFTS.

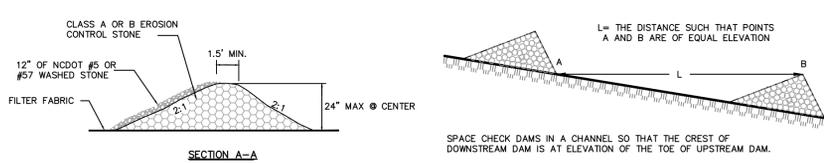


STORM PIPE TRENCH SECTION
N.T.S.

- HDPE NOTES:**
- ALL PIPE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS OR AS MODIFIED BY THE OWNER.
 - TRENCH BOX OR OTHER SHORING METHODS SHALL NOT DISTURB THE PIPE BEDDING AND BACKFILL MATERIAL AFTER THEIR COMPACTION.
 - WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH INDICATED ON THE DRAWING OR AS DIRECTED BY THE OWNER AND REPLACE WITH BEDDING MATERIAL.
 - BEDDING MATERIAL SHALL BE CRUSHED STONE OR WASHED #57 STONE, UNLESS OTHERWISE NOTE ON THE DRAWINGS OR REQUIRED BY THE OWNER. MINIMUM BEDDING THICKNESS SHALL BE 6-INCHES.
 - BACKFILL MATERIAL SHALL CONFORM TO THE FOLLOWING:
 - INITIAL BACKFILL: AGGREGATE NO. 25, 26, 21A, OR 21B; AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE OWNER, SHALL BE INSTALLED AS INITIAL BACKFILL IN THE PIPE ZONE EXTENDING NOT LESS THAN 12-INCHES ABOVE THE CROWN OF PIPE. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2031, LATEST EDITION.
 - FINAL BACKFILL: FINAL BACKFILL MATERIALS SHALL BE THE SAME AS THE INITIAL BACKFILL UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR DIRECTED BY THE OWNER.
 - MINIMUM COVER:
 - TRAFFIC APPLICATIONS - MINIMUM COVER SHALL BE 24", MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF FLEXIBLE PAVEMENT OR TO THE TOP OF RIGID PAVEMENT.
 - NON-TRAFFIC APPLICATIONS - MINIMUM COVER IN GRASS OR LANDSCAPE AREA IS 12-INCHES FROM THE TOP OF THE PIPE TO GROUND SURFACE.



TYPICAL V-SWALE DETAIL
N.T.S.
DITCH DEPTH TO BE A MINIMUM OF 12 INCHES.



CHECK DAM DETAIL
N.T.S.



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NO.	DATE	REVISIONS

SITE & UTILITY DETAILS

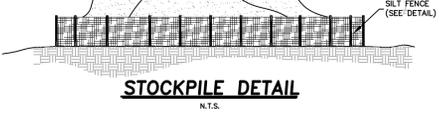
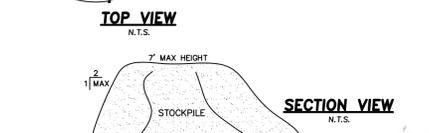
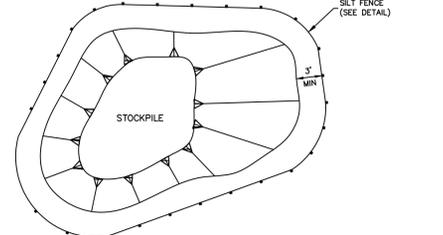
LOTS 34 & 50 COMBINED
CURRITUCK INDUSTRIAL PARK

NORTH CAROLINA
CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP

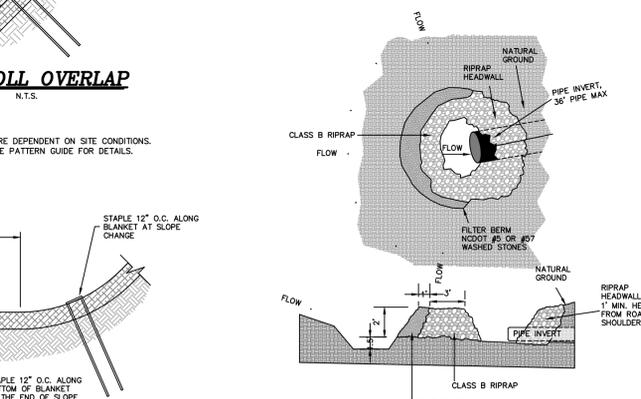
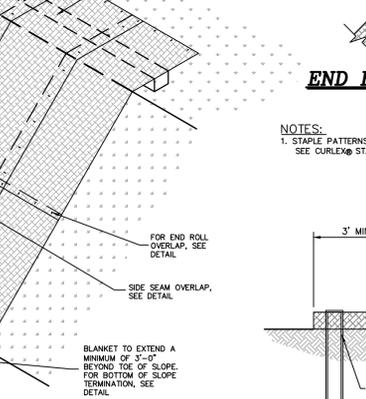
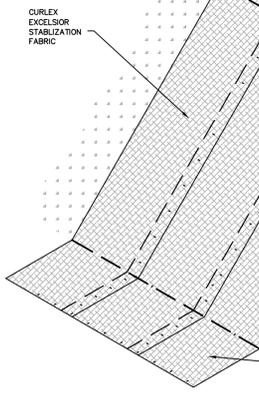
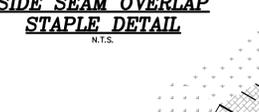
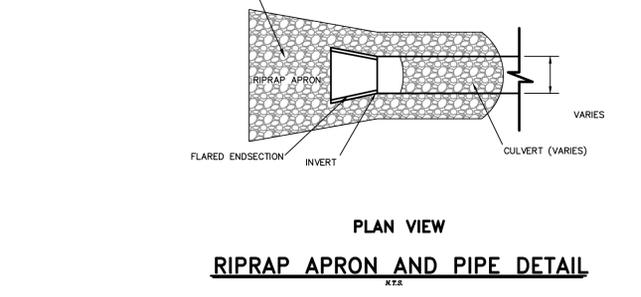
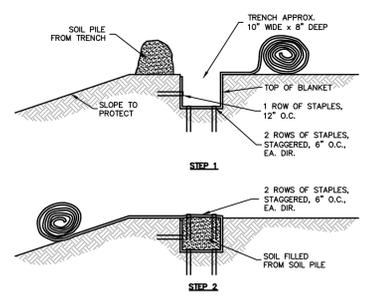
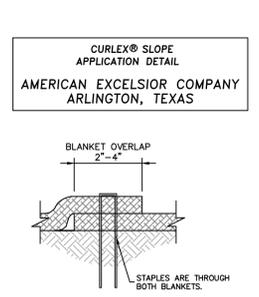
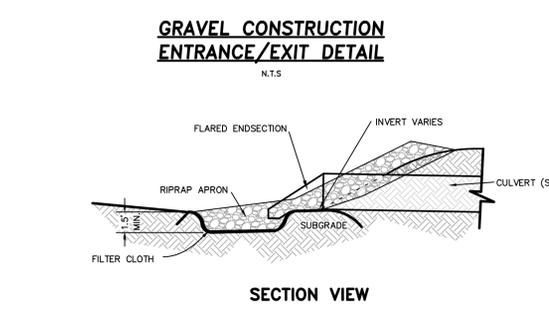
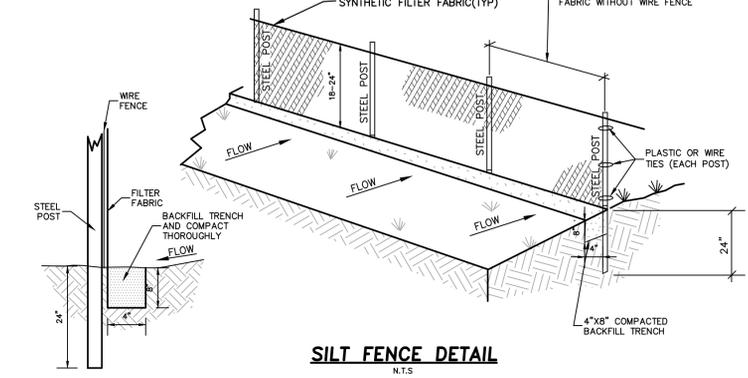
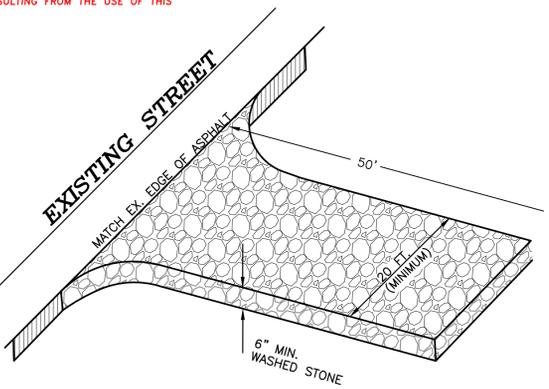
PROJECT NO. **P24057**
DESIGNED BY **MWS\BPJ**
DRAWN BY **BPJ\ND**
CHECKED BY **MWS**
ISSUE DATE **01/23/2025**

SHEET NO. **4**
OF 5 SHEETS

NOTES:
 1. CONTRACTOR MUST PROTECT TOPSOIL STOCKPILES BY TEMPORARILY SEEDING AS SOON AS POSSIBLE, NO MORE THAN 21 CALENDAR DAYS AFTER THE FORMATION OF THE STOCKPILE.
 2. CONTRACTOR MUST STABILIZE STOCKPILES WITH PERMANENT VEGETATION TO CONTROL EROSION AND WEED GROWTH IF THE STOCKPILE WILL LAY DOMINANT FOR MORE THAN 90 DAYS.
 3. TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF THE CONSTRUCTION SITE MAY NOT REQUIRE STOCKPILE PERIMETER CONTROLS. OTHER DOWN GRADIENT CONTROLS (INCLUDING SITE PERIMETER CONTROL) MUST BE IN PLACE TO REMOVE STOCKPILE PERIMETER CONTROLS.



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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT
 Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(d) Slopes 3:1 to 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roller erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roller erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

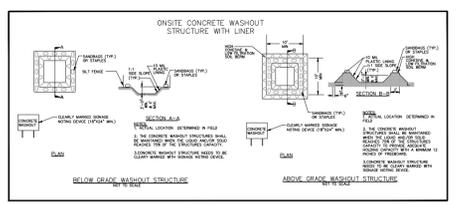
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. An alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the self-inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) EESC Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfall inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible turbidity or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part II, Section C, Item (2)(c) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter EESC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover) 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. EESC Plan Documentation
 The approved EESC plan as well as any approved deviation shall be kept on the site. The approved EESC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EESC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each EESC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved EESC Plan.	Initial and date each EESC Measure on a copy of the approved EESC Plan or complete, date and sign an inspection report that lists each EESC Measure shown on the approved EESC Plan. This documentation is required upon the initial installation of the EESC Measures or if the EESC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved EESC Plan.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all EESC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EESC Measures.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation
 In addition to the EESC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported
 Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
 After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(a) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and releases of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(j)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(j)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.

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NO.	DATE	REVISIONS

SESC DETAILS

LOTS 34 & 50 COMBINED
CURRITUCK INDUSTRIAL PARK

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. **P24057**
 DESIGNED BY **MWS/BJ**
 DRAWN BY **BJ/ND**
 CHECKED BY **MWS**
 ISSUE DATE **01/23/2025**

SHEET NO. **5** OF 5 SHEETS