



PROJECT NAME: Grandy Manor  
 PROJECT ADDRESS: 732 Poplar Branch Road, Grandy, NC  
 APPLICANT: Howard Land Development, Inc  
 REVIEW NUMBER: 2

March 16, 2026

PROJECT NAME:	Grandy Manor
PROJECT LOCATION:	<input checked="" type="checkbox"/> Mainland <input type="checkbox"/> Outer Banks Stormwater Management Zone
PROJECT CYCLE:	<input checked="" type="checkbox"/> Rolling <input type="checkbox"/> TRC
PROJECT TYPE:	<input type="checkbox"/> Minor / Major Site Plan <input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Major Subdivision – Prelim Plat Type I / II <input type="checkbox"/> Special Use Permit <input checked="" type="checkbox"/> Construction Drawings <input type="checkbox"/> Final Plat
DATE SUBMITTED:	3/13/2026
DATE REVIEWED:	3/16/2026
PROJECT ID #:	202600222

The project has been reviewed for conformance with:

- | The Currituck County Code of Ordinances;
- | Chapter 7.3 – Stormwater Management, Chapter 7.4 – Flood Damage Prevention, Chapter 7.6 – Riparian Buffers, and Chapter 7.7 – Protection of Significant Dunes of the Unified Development Ordinance; and
- | The Currituck County Stormwater Manual.

<input checked="" type="checkbox"/> APPROVAL <input type="checkbox"/> CONDITIONAL APPROVAL (see below conditions) <input type="checkbox"/> UPDATES REQUESTED (see attached comment letter)
--

Technical Reviewer    Kathleen Balaze, PE  
 Signature                *Kath Balaze*  
 Date                        3/16/2026

For questions regarding these comments please contact the Stormwater Reviewer or the County Representative:

McAdams  
 621 Hillsborough Street, Suite 500  
 Raleigh, North Carolina 27603  
 919. 361. 5000

Currituck County, NC  
 Currituck Historic Courthouse  
 153 Courthouse Road, Suite 110  
 Currituck, North Carolina 27929  
 Mainland Office: 252. 232. 3055 / Corolla Office: 252. 453. 8555



NORTH CAROLINA  
*Environmental Quality*

JOSH STEIN

*Governor*

D. REID WILSON

*Secretary*

RICHARD E. ROGERS, JR.

*Director*

April 6, 2026

Currituck County  
Attention: Rebecca Gay, County Manager  
153 Courthouse Road, Suite 204  
Currituck, NC 27929

Re: Engineering Plans Approval  
Distribution Extension  
Grandy Manor  
CURRITUCK COUNTY WATER SYSTEM  
Water System No.: NC0427010  
Currituck County  
Serial No.: 26-00130

Dear Applicant:

Enclosed please find one copy of the "Application for Approval..." together with one copy of the referenced engineering plans bearing the Division of Water Resources stamp of approval for the referenced project. These engineering plans are approved under Division of Water Resources Serial Number, 26-00130 dated April 6, 2026.

Engineering plans prepared by Kimberly D. Hamby, P.E. call for the installation of approximately 1,663 linear feet of 8-inch water main, 300 linear feet of 4-inch water main, fire hydrants, valves, and associated appurtenances along Grandy Manor Way in Poplar Branch Township, Currituck County. The proposed 8-inch water main along Grandy Manor Way will connect to the existing 8-inch water main along Poplar Branch Road. **Construction of this project must be in accordance with Currituck County Water System's standard specifications.**

Please note that in accordance with 15A NCAC 18C .0309(a), no construction, alteration, or expansion of a water system shall be placed into service or made available for human consumption until the Public Water Supply Section has issued Final Approval. Final Approval will be issued and mailed to the applicant upon receipt of both an Engineer's Certification and an Applicant's Certification submitted in accordance with 15A NCAC 18C .0303 (a) and (c).

These plans in the foregoing application are approved insofar as the protection of public health is concerned as provided in the rules, standards and criteria adopted under the authority of Chapter 130A-317 of the General Statutes. This approval does not constitute a warranty of the design, construction or future operation of the water system.



North Carolina Department of Environmental Quality | Division of Water Resources  
512 North Salisbury Street | 1634 Mail Service Center | Raleigh, North Carolina 27699-1634  
919.707.9100

Currituck County  
Attention: Rebecca Gay, County Manager  
Page 2 of 2  
April 6, 2026

One copy of the "Application for Approval..." and a copy of the plans with a seal of approval from the department are enclosed. One copy of the approved documents in a digital format is being forwarded to our Washington Regional Office. Another copy is being retained in our records.

If the Public Water Supply Section can be of further service, please call (919) 707-9100.

Sincerely,



Rebecca Sadosky, Ph.D., Chief  
Public Water Supply Section  
Division of Water Resources

RS/MM

Enclosures: Approval Documents

cc: Jamie Midgette, P.E., Washington Regional Office  
Currituck County Health Department  
**Timmons Group**



North Carolina Department of Environmental Quality | Division of Water Resources  
512 North Salisbury Street | 1634 Mail Service Center | Raleigh, North Carolina 27699-1634  
919.707.9100



NORTH CAROLINA  
Environmental Quality

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RICHARD E. ROGERS, JR.  
Director

April 06, 2026

CURRITUCK COUNTY  
ATTN: REBECCA GAY  
153 COURTHOUSE RD, SUITE 204  
CURRITUCK, NC 27929

Re: **Authorization to Construct (This is not a Final Approval)**

Issue Date: April 06, 2026

GRANDY MANOR

Serial No.: 26-00130

Water System No.: NC0427010

Currituck County

Dear Applicant:

This letter is to confirm that a complete Engineer's Report and a Water System Management Plan have been received, and that engineering plans and specifications have been approved by the Department for **GRANDY MANOR, Serial No.: 26-00130**.

The "Authorization to Construct" is valid for 36 months from the issue date. Authorization to construct may be extended if the Rules Governing Public Water Systems [15A NCAC 18C] and site conditions have not changed (see Rule .0305). The "Authorization to Construct" and the engineering plans and specifications approval letter shall be posted at the primary entrance of the job site before and during construction.

Upon completion of the construction or modification, **and prior to placing the new construction or modification into service**, the applicant must submit an Engineer's Certification and Applicant's Certification to the Public Water Supply Section.

- **Engineer's Certification:** in accordance with Rule .0303(a), the applicant shall submit a certification statement signed and sealed by a registered professional engineer stating that construction was completed in accordance with approved engineering plans and specifications, including any provisions stipulated in the Department's engineering plan and specification approval letter.
- **Applicant's Certification:** in accordance with Rule .0303(c), the applicant shall submit a signed certification statement indicating that the requirements for an Operation and Maintenance Plan and Emergency Management Plan have been satisfied in accordance with Rule .0307(d) and (e) and that the system has a certified operator in accordance with Rule .1300. The "Applicant's Certification" form is available at <http://www.ncwater.org/> (click on Public Water Supply Section, Plan Review, Plan Review Forms).

Certifications can be sent by mail or attachment to an e-mail message to **PWSSection.PlanReview@deq.nc.gov**.

If this "Authorization to Construct" is for a new public water system, the owner must submit a completed **application for an Operating Permit** and the appropriate fee. For a copy of the application for an Operating Permit please call (919) 707-9076.

Once the certifications and permit application and fee (if applicable) are received and determined adequate, the Department will issue a Final Approval letter to the applicant. In accordance with Rule .0309(a), **no portion of this project shall be placed into service until the Department has issued Final Approval**.

Please contact us at (919) 707-9100 if you have any questions or need additional information.

Sincerely,

Rebecca Sadosky, Ph.D., Chief  
Public Water Supply Section  
Division of Water Resources, NCDEQ

cc: JAMIE MIDGETTE, P.E., Regional Engineer  
TIMMONS GROUP



North Carolina Department of Environmental Quality | Division of Water Resources  
512 North Salisbury Street | 1634 Mail Service Center | Raleigh, North Carolina 27699-1634  
919.707.9100

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North Carolina Department of Environmental Quality  
Division of Water Resources

Authorization to Construct

Project Applicant:	CURRITUCK COUNTY
Public Water System Name:	CURRITUCK COUNTY WATER SYSTEM
Water System No.:	NC0427010
Project Name:	GRANDY MANOR
Serial No.:	26-00130
Issue Date:	April 06, 2026
Expiration Date:	36 Months after Issue Date

In accordance with 15A NCAC 18C .0305, this Authorization to Construct must be posted  
at the primary entrance to the job site during construction.

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STATE OF NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

JOSH STEIN  
GOVERNOR

DANIEL H. JOHNSON  
SECRETARY

March 5, 2026

**Driveway Permit ID:  
D011-027-26-00012**

Subject: Driveway Permit – Grandy Manor  
County: Currituck

Howard Land Development, Inc.  
2854 A Caratoke Hwy  
Currituck, NC 27929

Dear Applicant,

Attached for your files is a copy of a Commercial Driveway Permit, which has been properly executed. Please note any comments, which may appear on the permit form.

Please feel free to contact the District Office at (252) 621-6400 if you have any questions.

Sincerely,

DocuSigned by:  
  
030882FAC40F45A

Caitlin A. Spear, PE  
District Engineer

Attachments

Cc: Division Engineer  
County Maintenance Engineer

<b>APPLICATION IDENTIFICATION</b>		<b>N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION</b>
Driveway Permit No. D011-027-26-00012	Date of Application March 5, 2026	
County: Currituck		
Development Name: Grandy Manor		

**LOCATION OF PROPERTY:**

Route/Road: SR 1131 Poplar Branch Road

Exact Distance 2,430  Miles  Feet      N S E W

From the Intersection of Route No. SR 1131 and Route No. SR 1175 Toward SR 1132

Property Will Be Used For:  Residential /Subdivision     Commercial     Educational Facilities     TND     Emergency Services     Other  
Property:  is     is not    within Currituck County    City Zoning Area.

**AGREEMENT**

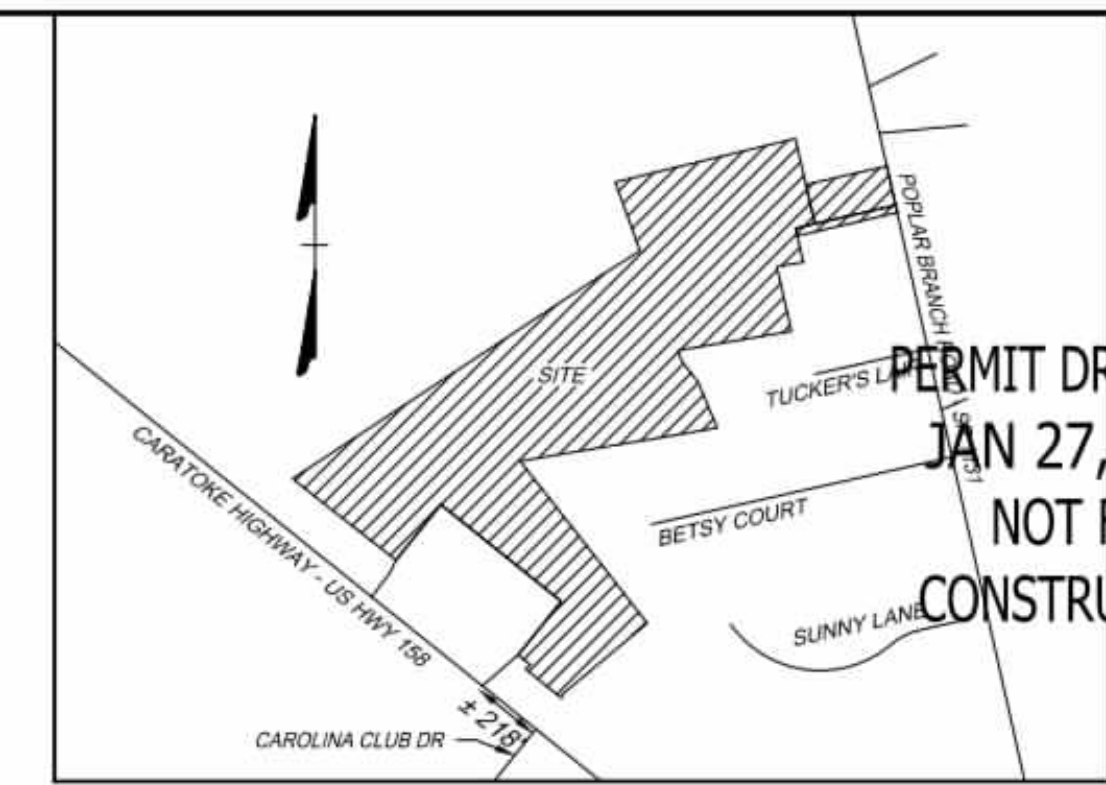
- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**





SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
POPULAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 ± 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27509  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

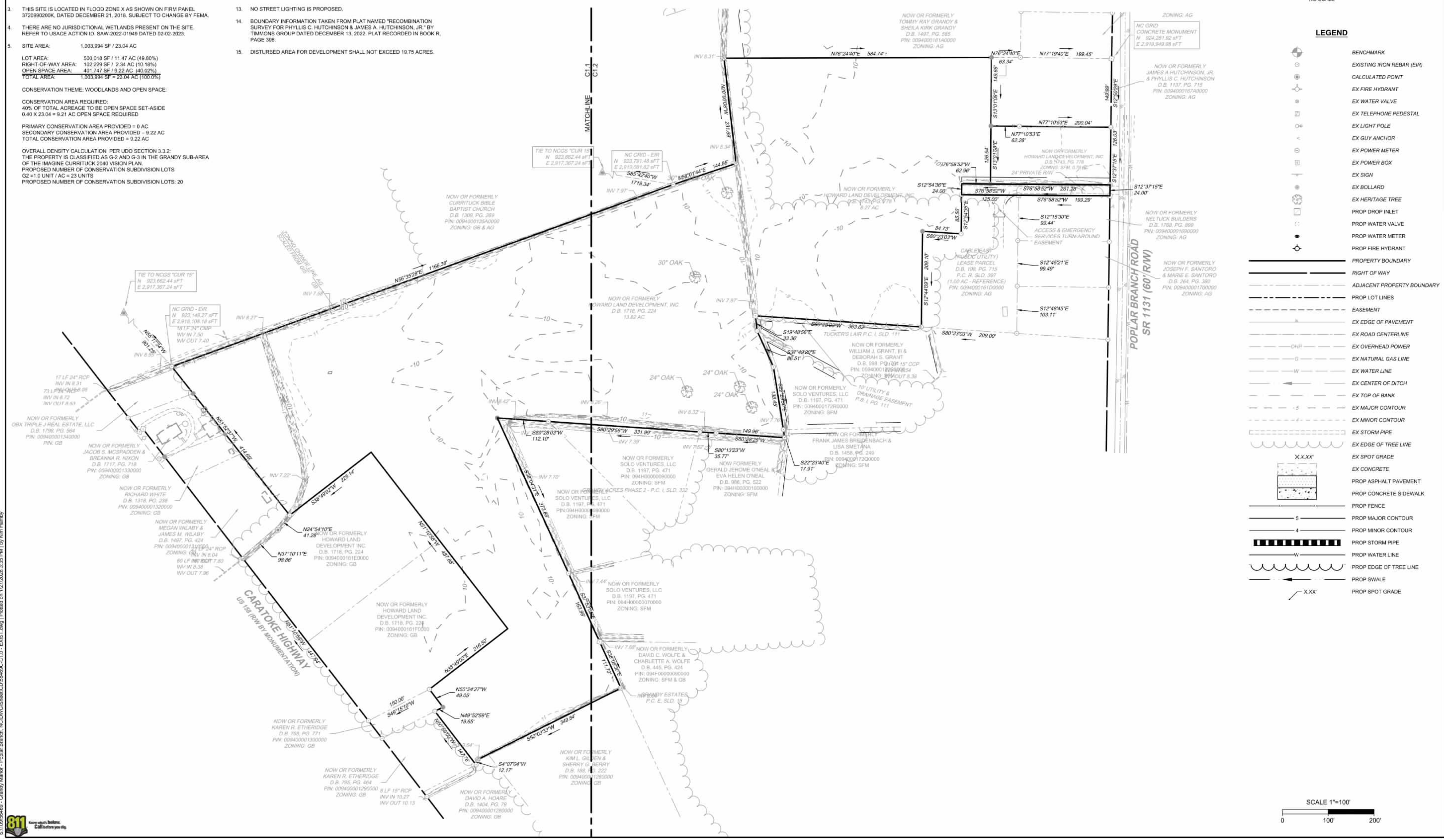
DRAWN BY	KTY
DESIGNED BY	N/A
CHECKED BY	KDH
SCALE	1" = 100'

# TIMMONS GROUP

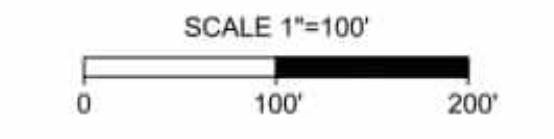
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPULAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
EXISTING CONDITIONS OVERVIEW

JOB NO.	56469
SHEET NO.	C1.0



- LEGEND**
- BENCHMARK
  - EXISTING IRON REBAR (EIR)
  - CALCULATED POINT
  - EX FIRE HYDRANT
  - EX WATER VALVE
  - EX TELEPHONE PEDESTAL
  - EX LIGHT POLE
  - EX GUY ANCHOR
  - EX POWER METER
  - EX POWER BOX
  - EX SIGN
  - EX BOLLARD
  - EX HERITAGE TREE
  - PROP DROP INLET
  - PROP WATER VALVE
  - PROP WATER METER
  - PROP FIRE HYDRANT
  - PROPERTY BOUNDARY
  - RIGHT OF WAY
  - ADJACENT PROPERTY BOUNDARY
  - PROP LOT LINES
  - EASEMENT
  - EX EDGE OF PAVEMENT
  - EX ROAD CENTERLINE
  - EX OVERHEAD POWER
  - EX NATURAL GAS LINE
  - EX WATER LINE
  - EX CENTER OF DITCH
  - EX TOP OF BANK
  - EX MAJOR CONTOUR
  - EX MINOR CONTOUR
  - EX STORM PIPE
  - EX EDGE OF TREE LINE
  - EX SPOT GRADE
  - EX CONCRETE
  - PROP ASPHALT PAVEMENT
  - PROP CONCRETE SIDEWALK
  - PROP FENCE
  - PROP MAJOR CONTOUR
  - PROP MINOR CONTOUR
  - PROP STORM PIPE
  - PROP WATER LINE
  - PROP EDGE OF TREE LINE
  - PROP SWALE
  - PROP SPOT GRADE



S:\109156489 - Grandy Manor - Popular Branch, NCDIV\GIS\Sheet\CD\56469\C1.0 - EXIST.dwg | Printed on 1/27/2026 3:36 PM by Kim Hamby

SITE DATA:

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
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P.C. R. SLD. 398  
ZONING: SFM  
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EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

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EXISTING 24' RW  
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THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20  
C2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20

6. IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)

7. MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'

8. MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'

9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF

10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.

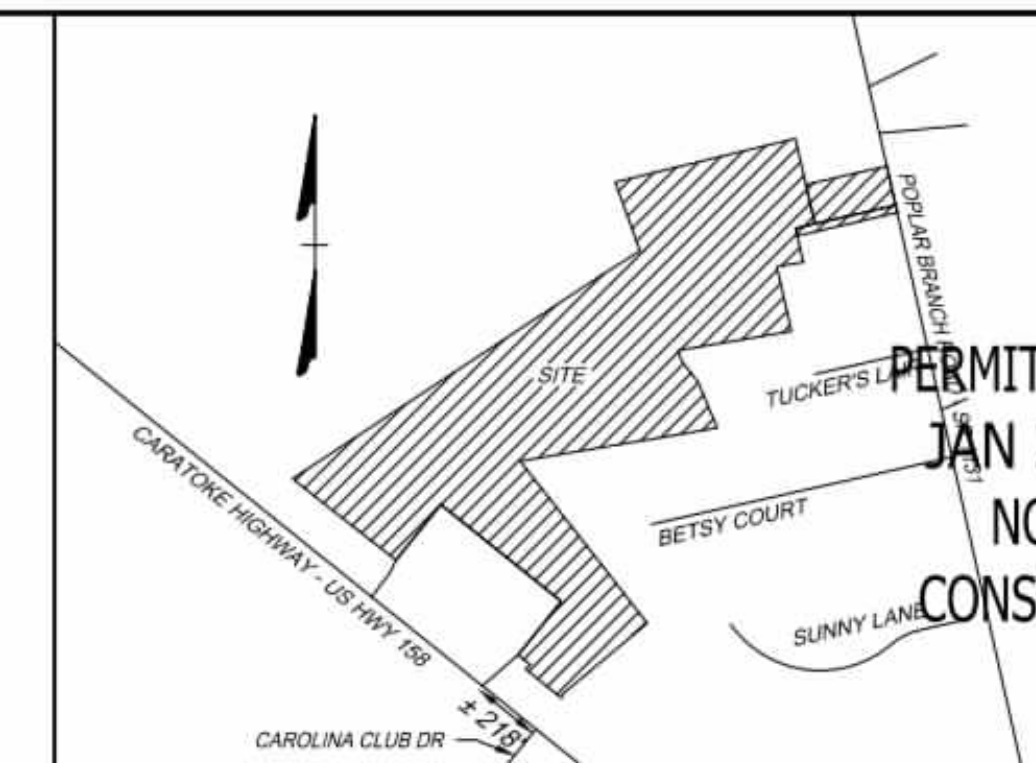
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12. SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)

13. NO STREET LIGHTING IS PROPOSED.

14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.

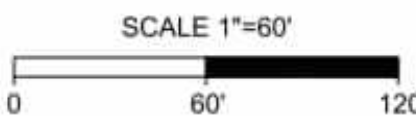
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
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- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
01/27/2026

DRAWN BY  
KTY

DESIGNED BY  
N/A

CHECKED BY  
KDH

SCALE  
1" = 60'

EXISTING CONDITIONS

JOB NO.  
56469

SHEET NO.  
C1.1

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, including, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

SITE DATA:

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
PIN: 009400016100000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

6. IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
7. MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
8. MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS & 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
12. SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
13. NO STREET LIGHTING IS PROPOSED.
14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

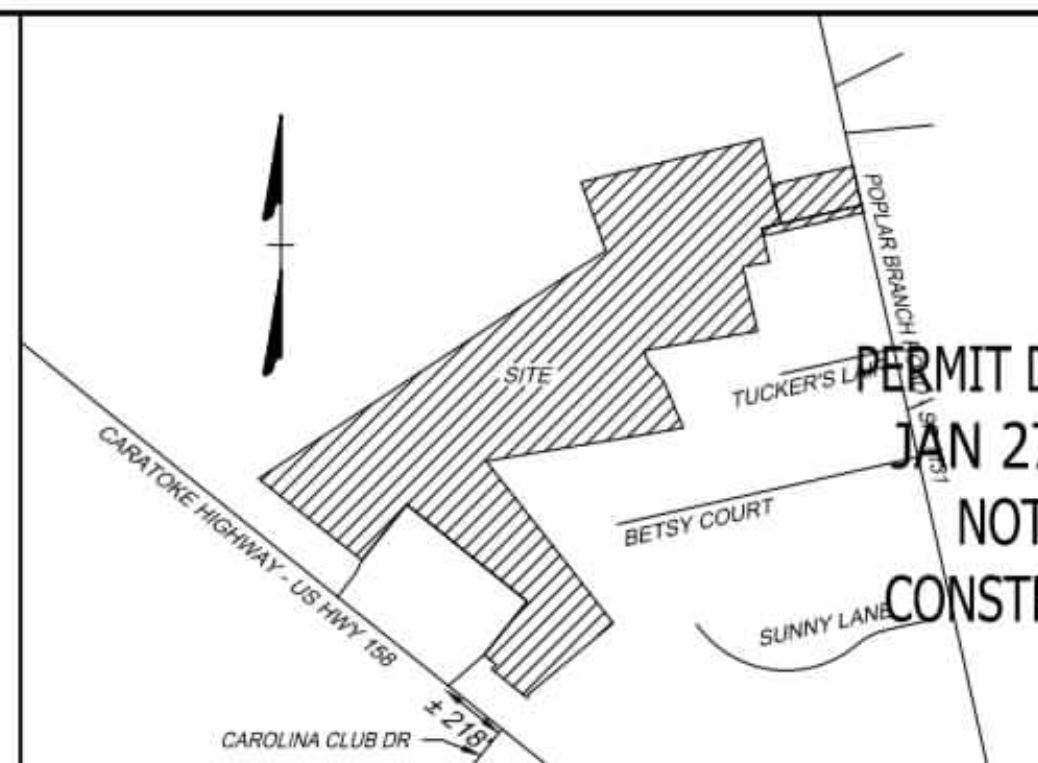
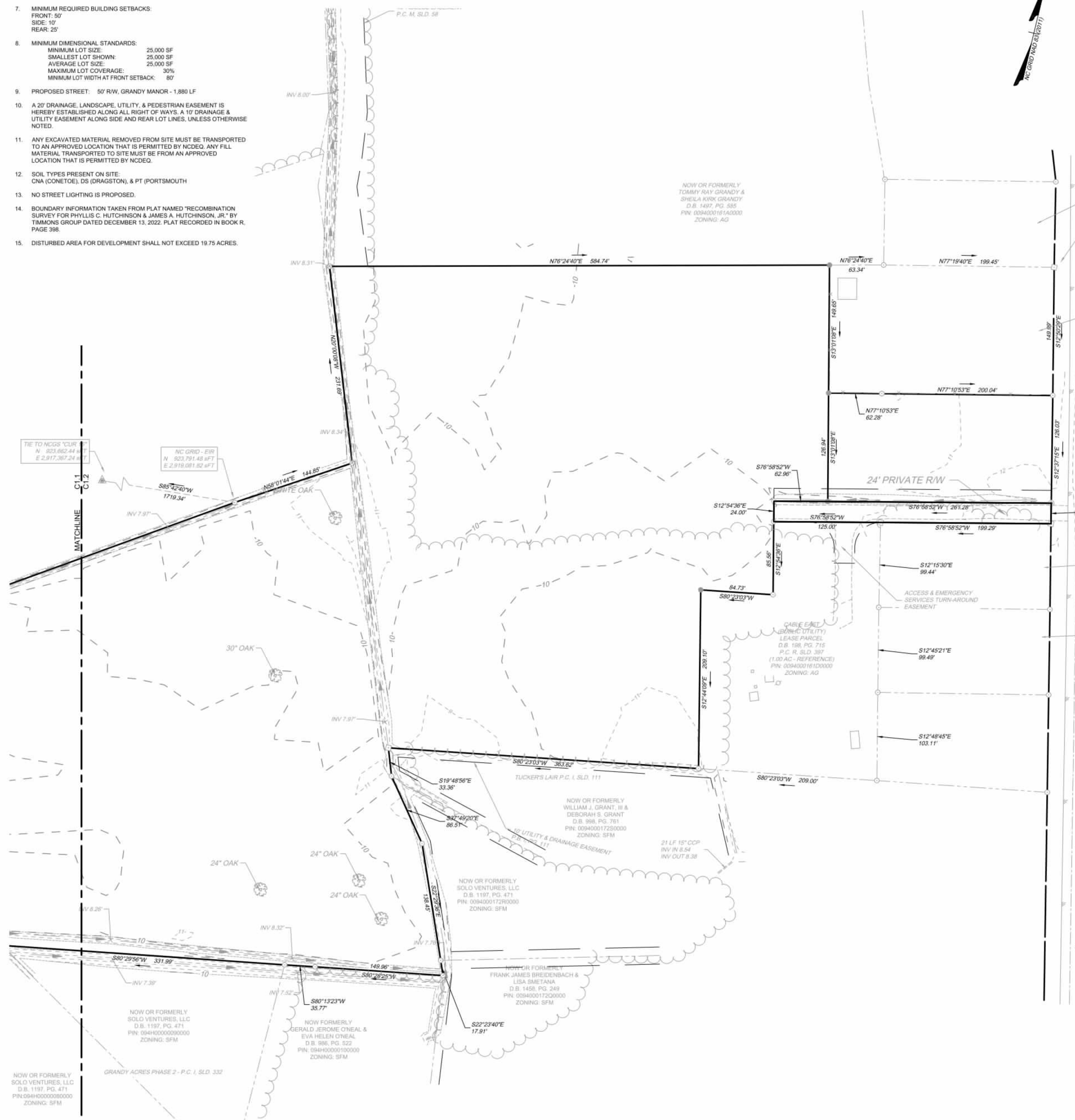
5. SITE AREA: 1,003,994 SF / 23.04 AC

LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE:  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

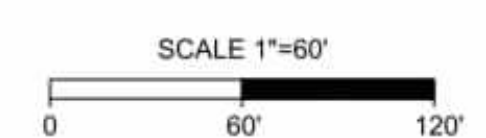
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 \* 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



VICINITY MAP  
NO SCALE

LEGEND

	BENCHMARK
	EXISTING IRON REBAR (EIR)
	CALCULATED POINT
	EX FIRE HYDRANT
	EX WATER VALVE
	EX TELEPHONE PEDESTAL
	EX LIGHT POLE
	EX GUY ANCHOR
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	EX POWER BOX
	EX SIGN
	EX BOLLARD
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	PROPERTY BOUNDARY
	RIGHT OF WAY
	ADJACENT PROPERTY BOUNDARY
	PROP LOT LINES
	EASEMENT
	EX EDGE OF PAVEMENT
	EX ROAD CENTERLINE
	EX OVERHEAD POWER
	EX NATURAL GAS LINE
	EX WATER LINE
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	EX CONCRETE
	PROP ASPHALT PAVEMENT
	PROP CONCRETE SIDEWALK
	PROP FENCE
	PROP MAJOR CONTOUR
	PROP MINOR CONTOUR
	PROP STORM PIPE
	PROP WATER LINE
	PROP EDGE OF TREE LINE
	PROP SWALE
	PROP SPOT GRADE



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

DRAWN BY	KTY
DESIGNED BY	N/A
CHECKED BY	KDH
SCALE	1" = 60'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**EXISTING CONDITIONS**

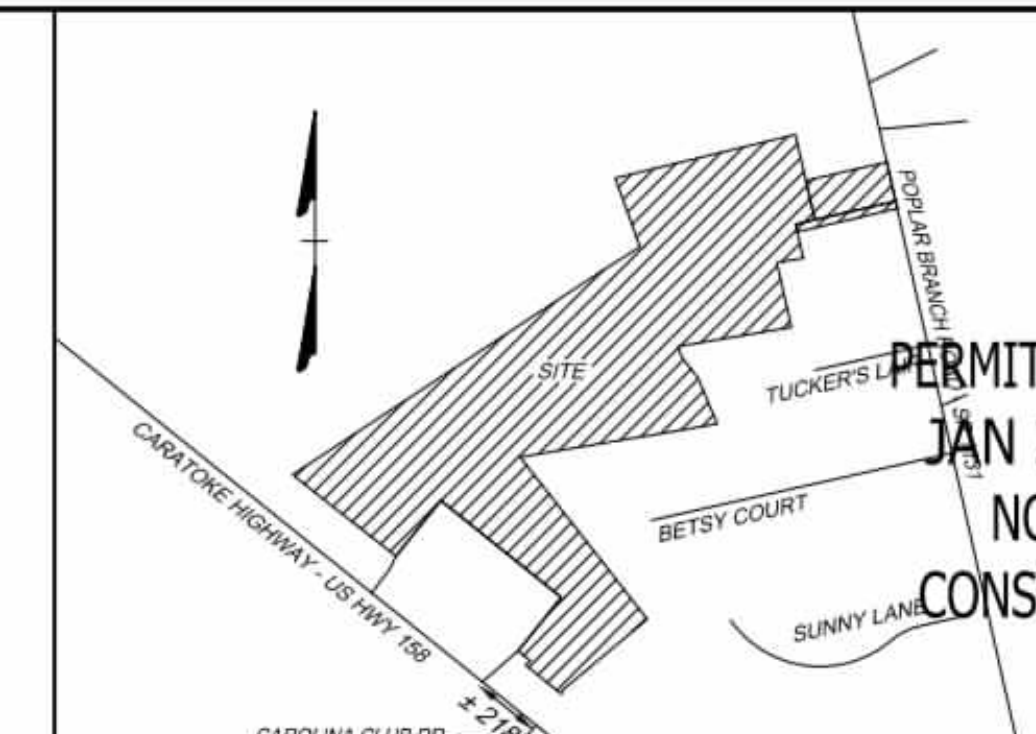
JOB NO.	56469
SHEET NO.	C1.2



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SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
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CONSERVATION THEME: WOODLANDS AND OPEN SPACE:  
  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2  
C2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
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- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDCE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDCE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27509  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

PROFESSIONAL SEAL  
042614  
27-26  
KIMBERLY D. HANNEY  
ENGINEER

VICINITY MAP  
NO SCALE

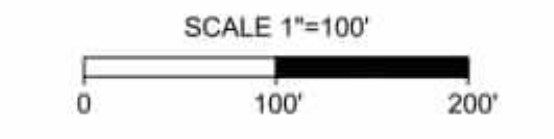
LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROP LOT LINES
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	255.00	282.02	157.39	63°21'57"	N45°17'53"E	267.86
C2	255.00	46.32	23.22	10°24'26"	N8°24'41"E	46.26
C3	205.00	127.40	65.83	35°36'25"	N21°00'41"E	125.36
C4	205.00	63.60	32.06	17°46'35"	N47°42'11"E	63.35
C5	60.00	72.64	41.52	69°21'49"	N21°54'34"E	68.28
C6	60.00	184.32	1723.37	176°00'43"	S79°13'18"W	119.93
C7	60.00	68.46	38.50	65°22'32"	S23°54'12"W	64.81
C8	255.00	65.05	32.70	14°37'00"	S49°16'58"W	64.88
C9	255.00	155.62	80.32	34°57'59"	S24°29'29"W	153.22
C10	255.00	16.91	8.46	3°48'01"	S5°06'29"W	16.91
C11	205.00	251.99	144.69	70°25'43"	S38°25'20"W	236.42
C12	205.00	11.97	5.99	3°20'41"	S75°18'31"W	11.97



YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

DATE: 01/27/2026  
DRAWN BY: KTY  
DESIGNED BY: KDH  
CHECKED BY: KDH  
SCALE: 1" = 100'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
PRELIMINARY PLAT

JOB NO. 56469  
SHEET NO. C2.0

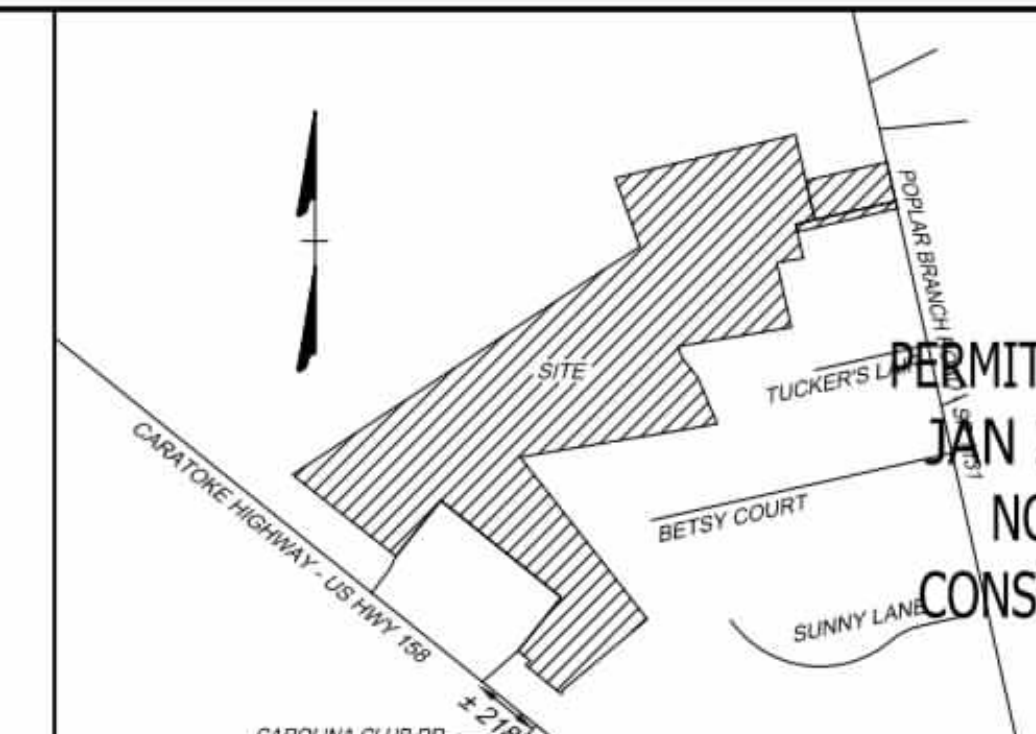
S:\10195489 - Grandy Manor - Poplar Branch, NCDWG\Sheet\CD\56469C-C2.0 - SITE.dwg | Plotted on 1/27/2026 3:37 PM | by Kim Hanney



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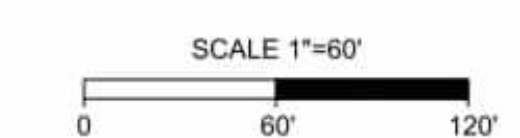
- OWNER/DEVELOPER  
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252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
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D.B. 1743, PG. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
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0.18 AC  
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PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
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THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 10  
C2 #1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
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- MINIMUM REQUIRED BUILDING SETBACKS:  
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VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
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- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
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YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
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**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**SITE PLAN**

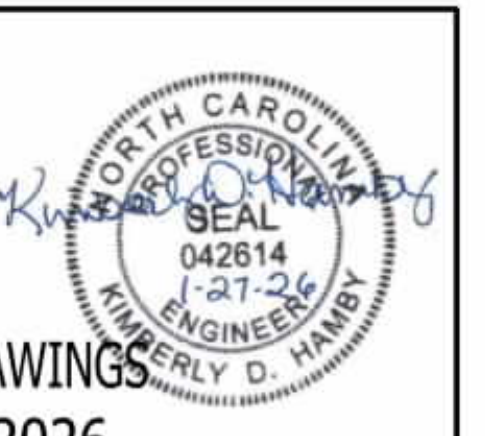
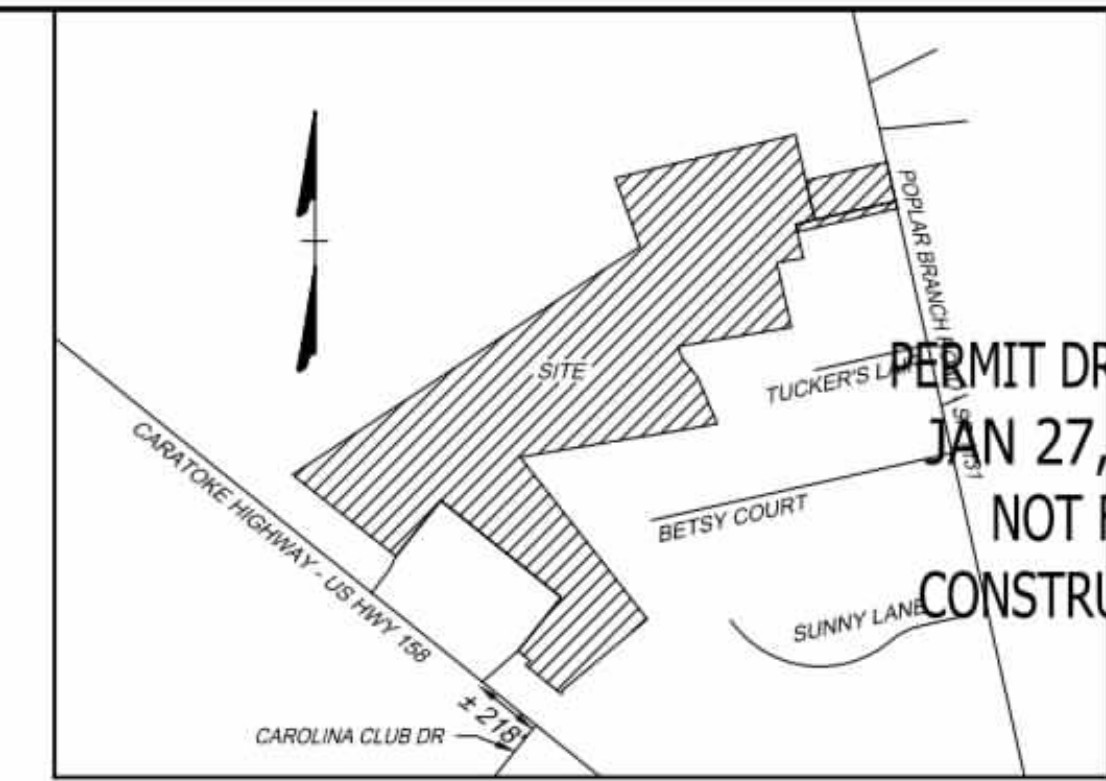
JOB NO.	56469
SHEET NO.	C2.1



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- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS & 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



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JAN 27, 2026  
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CONSTRUCTION

VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROP LOT LINES
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE

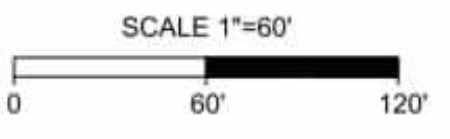
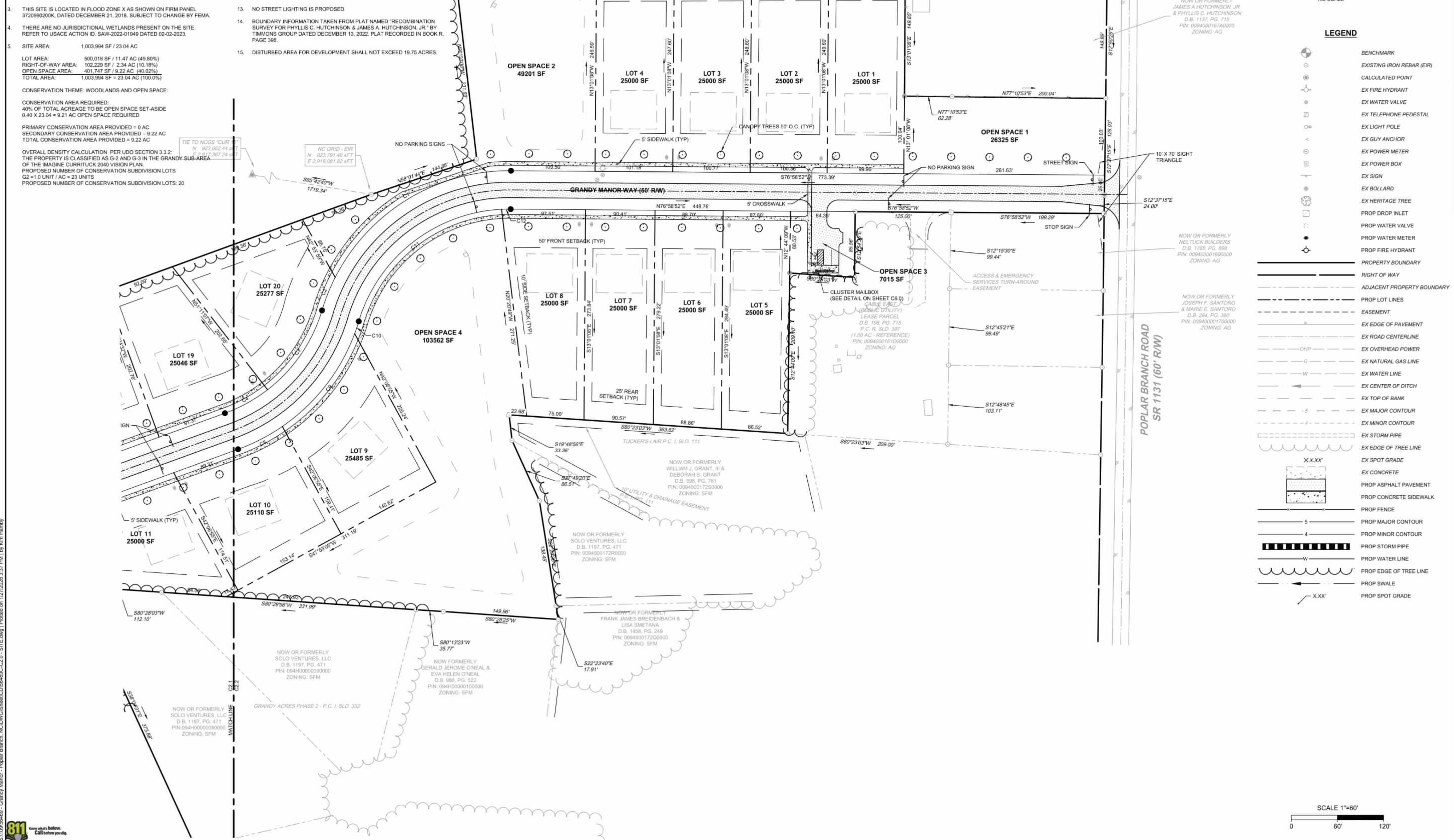
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REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY: KTY  
DESIGNED BY: KTY  
CHECKED BY: KDH  
SCALE: 1" = 60'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
SITE PLAN

JOB NO.	56469
SHEET NO.	C2.2



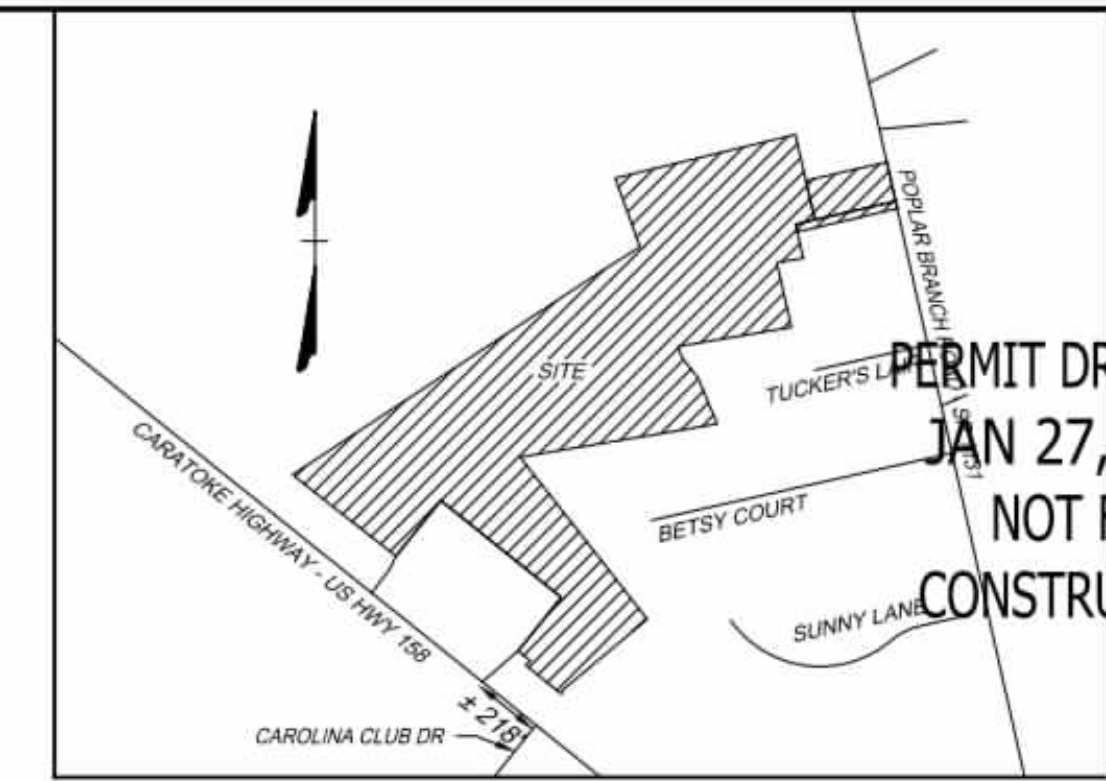
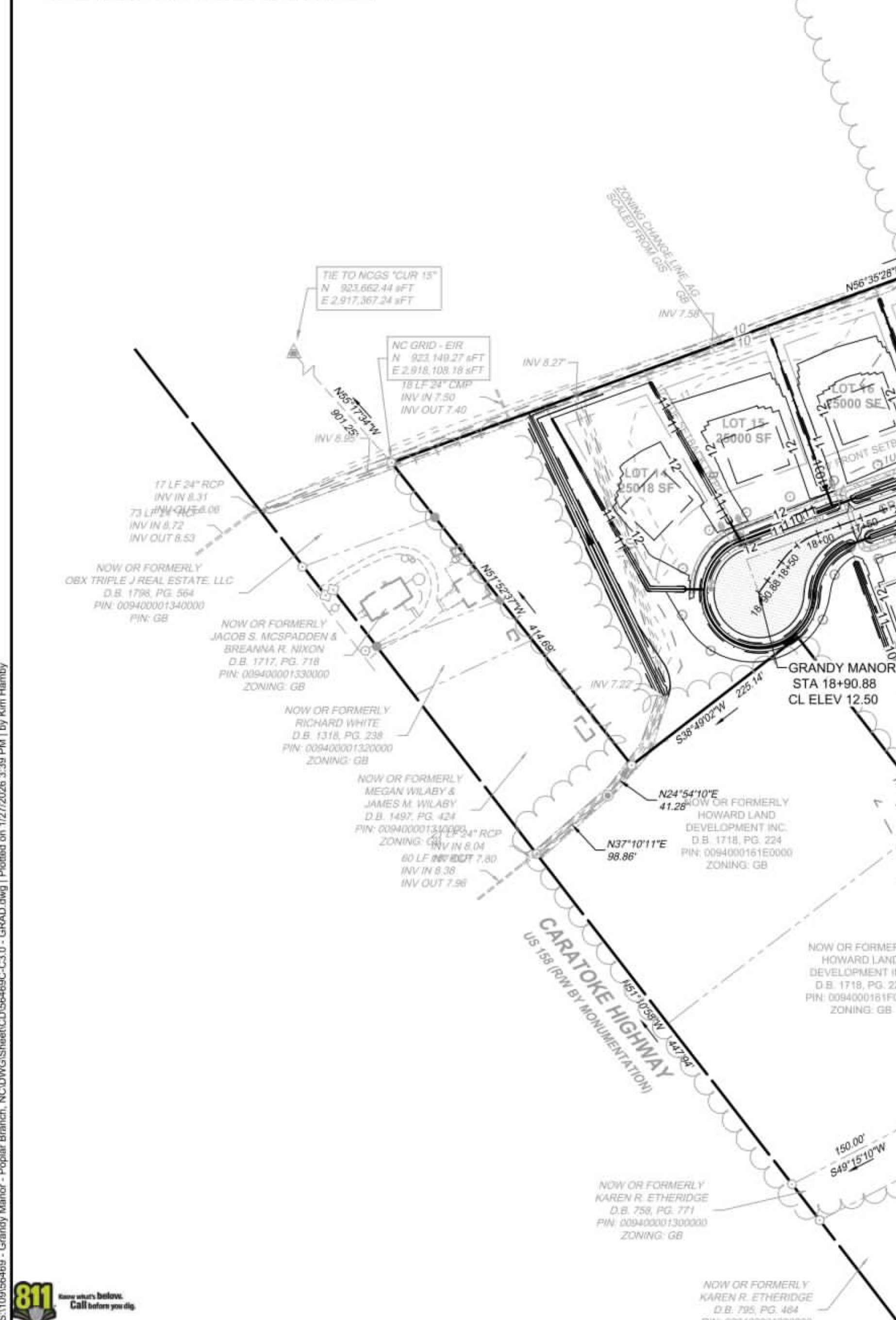
S:\10195469 - Grandy Manor - Poplar Branch, NCDWG\Sheet\CD\56469\C2.2 - SITE.dwg | Plotted on 1/27/2026 3:37 PM | by Kim Hamby



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SITE DATA:

- 1. OWNER/DEVELOPER: HOWARD LAND DEVELOPMENT, INC. 2854 A CARATOKE HIGHWAY CURRITUCK, NC 27929... 2. SITE INFORMATION: PIN: 0094000161G0000... 3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL... 4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE... 5. SITE AREA: 1,003,994 SF / 23.04 AC... 6. IMPERVIOUS COVERAGE: LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)... 7. MINIMUM REQUIRED BUILDING SETBACKS: FRONT: 50'... 8. MINIMUM DIMENSIONAL STANDARDS: MINIMUM LOT SIZE: 25,000 SF... 9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF... 10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED... 11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED... 12. SOIL TYPES PRESENT ON SITE: CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)... 13. NO STREET LIGHTING IS PROPOSED... 14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.'... 15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP NO SCALE

LEGEND section with symbols for BENCHMARK, EXISTING IRON REBAR (EIR), CALCULATED POINT, EX FIRE HYDRANT, EX WATER VALVE, EX TELEPHONE PEDESTAL, EX LIGHT POLE, EX GUY ANCHOR, EX POWER METER, EX POWER BOX, EX SIGN, EX BOLLARD, EX HERITAGE TREE, PROP DROP INLET, PROP WATER VALVE, PROP WATER METER, PROP FIRE HYDRANT, PROPERTY BOUNDARY, RIGHT OF WAY, ADJACENT PROPERTY BOUNDARY, PROP LOT LINES, EASEMENT, EX EDGE OF PAVEMENT, EX ROAD CENTERLINE, EX OVERHEAD POWER, EX NATURAL GAS LINE, EX WATER LINE, EX CENTER OF DITCH, EX TOP OF BANK, EX MAJOR CONTOUR, EX MINOR CONTOUR, EX STORM PIPE, EX EDGE OF TREE LINE, EX SPOT GRADE, EX CONCRETE, PROP ASPHALT PAVEMENT, PROP CONCRETE SIDEWALK, PROP FENCE, PROP MAJOR CONTOUR, PROP MINOR CONTOUR, PROP STORM PIPE, PROP WATER LINE, PROP EDGE OF TREE LINE, PROP SWALE, PROP SPOT GRADE.

SCALE 1"=100' and REVISION DESCRIPTION table with columns for REVISION DESCRIPTION, DATE, and DRAWN BY.



PERMIT DRAWINGS JAN 27, 2026 NOT FOR CONSTRUCTION

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YOUR VISION ACHIEVED THROUGH OURS.

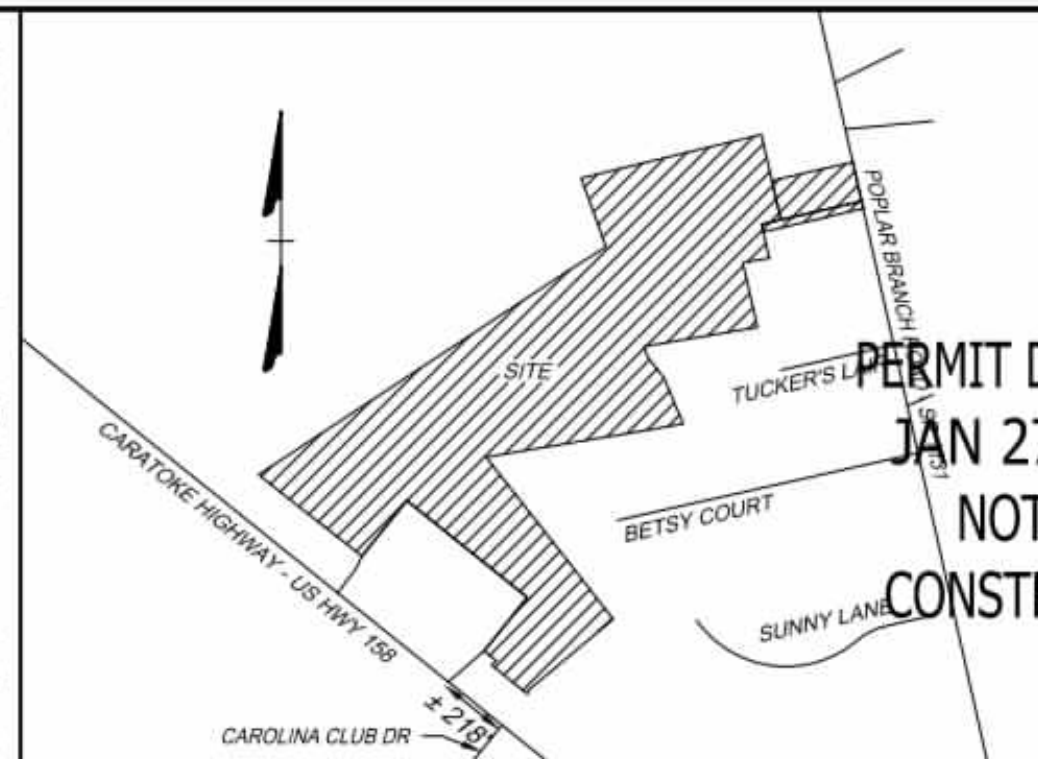
TIMMONS GROUP logo and project title: GRANDY MANOR SUBDIVISION POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA GRADING & DRAINAGE PLAN OVERVIEW NORTH CAROLINA LICENSE NO. C-1652

Vertical text on the right edge of the page, including 'JOB NO. 56469' and 'SHEET NO. C3.0'.

**SITE DATA:**

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, P.G. 778  
P.C. R. SLD. 396  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24" RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 \* 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

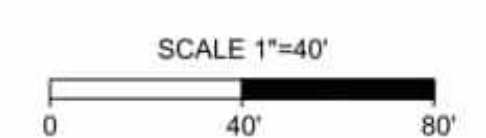
LOT 14: 25018 SF, BPE=12.75  
LOT 15: 25000 SF, BPE=12.75  
LOT 16: 25000 SF, BPE=12.50  
LOT 17: 25000 SF, BPE=12.50  
LOT 18: 25000 SF, BPE=12.50  
LOT 19: 25046 SF, BPE=12.50  
LOT 20: 25277 SF, BPE=12.50  
LOT 11: 25000 SF, BPE=12.50  
LOT 12: 25000 SF, BPE=12.00  
LOT 13: 25000 SF, BPE=12.50  
LOT 10: 1110 SF, BPE=12.50



**VICINITY MAP**  
NO SCALE

**LEGEND**

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROP LOT LINES
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD GAS LINE
- EX NATURAL GAS LINE
- EX WATER LINE
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- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
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- PROP MINOR CONTOUR
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- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



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REVISION DESCRIPTION	DATE
	01/27/2026

DRAWN BY	BCD
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 40'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING & DRAINAGE PLAN

JOB NO.	56469
SHEET NO.	C3.1

S:\10195469 - Grandy Manor - Poplar Branch, NCDIV\GIS\Sheet\CD\56469C-C3.1 - GRAD.dwg | Plotted on 1/27/2026 3:38 PM | by Kim Hanby



811  
Call before you dig

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SITE DATA:

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 399  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW

EXISTING 24" RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

6. IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)

7. MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'

8. MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'

9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF

10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.

11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDCEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDCEQ.

12. SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)

13. NO STREET LIGHTING IS PROPOSED.

14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.

15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

5. SITE AREA: 1,003,994 SF / 23.04 AC

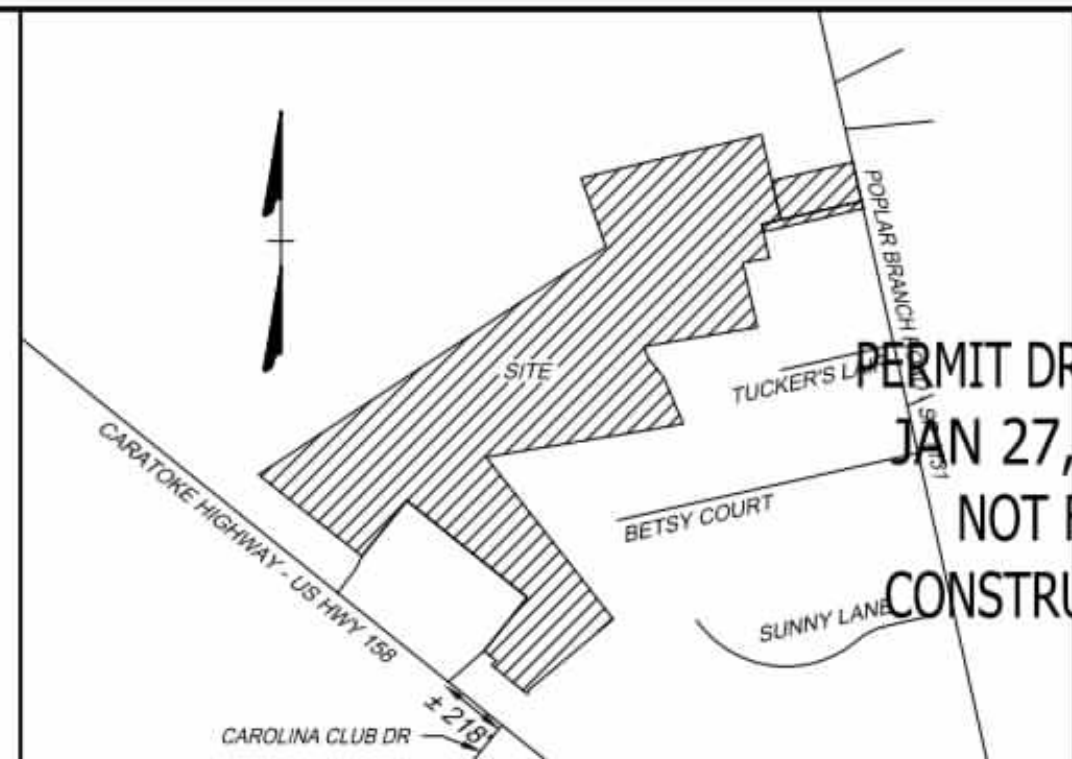
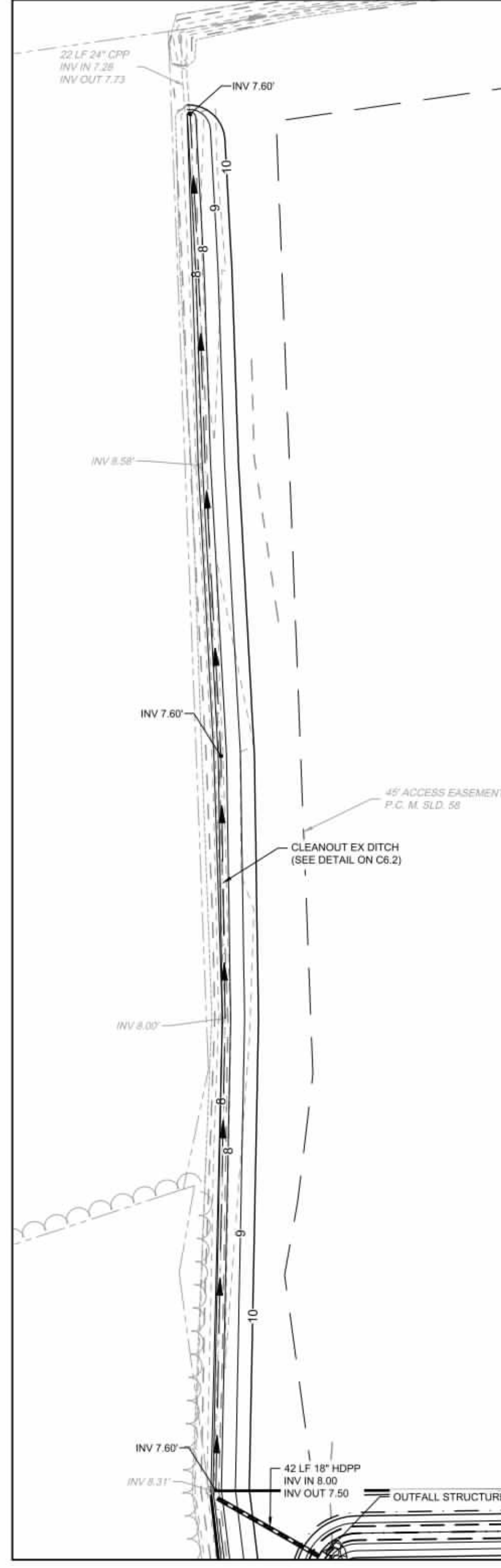
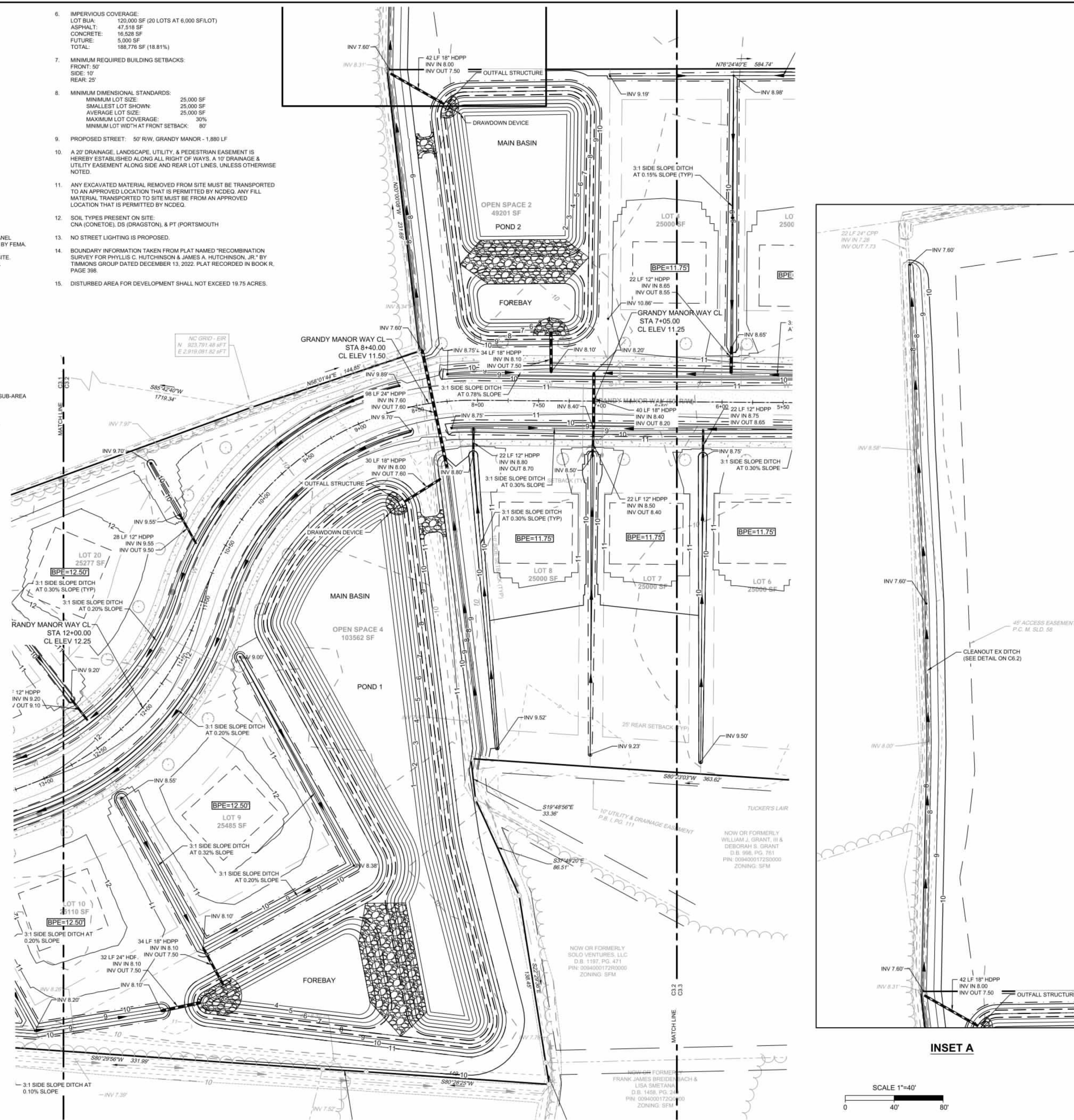
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OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE

CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 +1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



**VICINITY MAP**  
NO SCALE

**LEGEND**

	BENCHMARK
	EXISTING IRON REBAR (EIR)
	CALCULATED POINT
	EX FIRE HYDRANT
	EX WATER VALVE
	EX TELEPHONE PEDESTAL
	EX LIGHT POLE
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	EX POWER BOX
	EX SIGN
	EX BOLLARD
	EX HERITAGE TREE
	PROP DROP INLET
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	RIGHT OF WAY
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YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

DESIGNED BY: **BCD**  
CHECKED BY: **KDH**  
SCALE: 1" = 40'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING & DRAINAGE PLAN

JOB NO.	56469
SHEET NO.	C3.2

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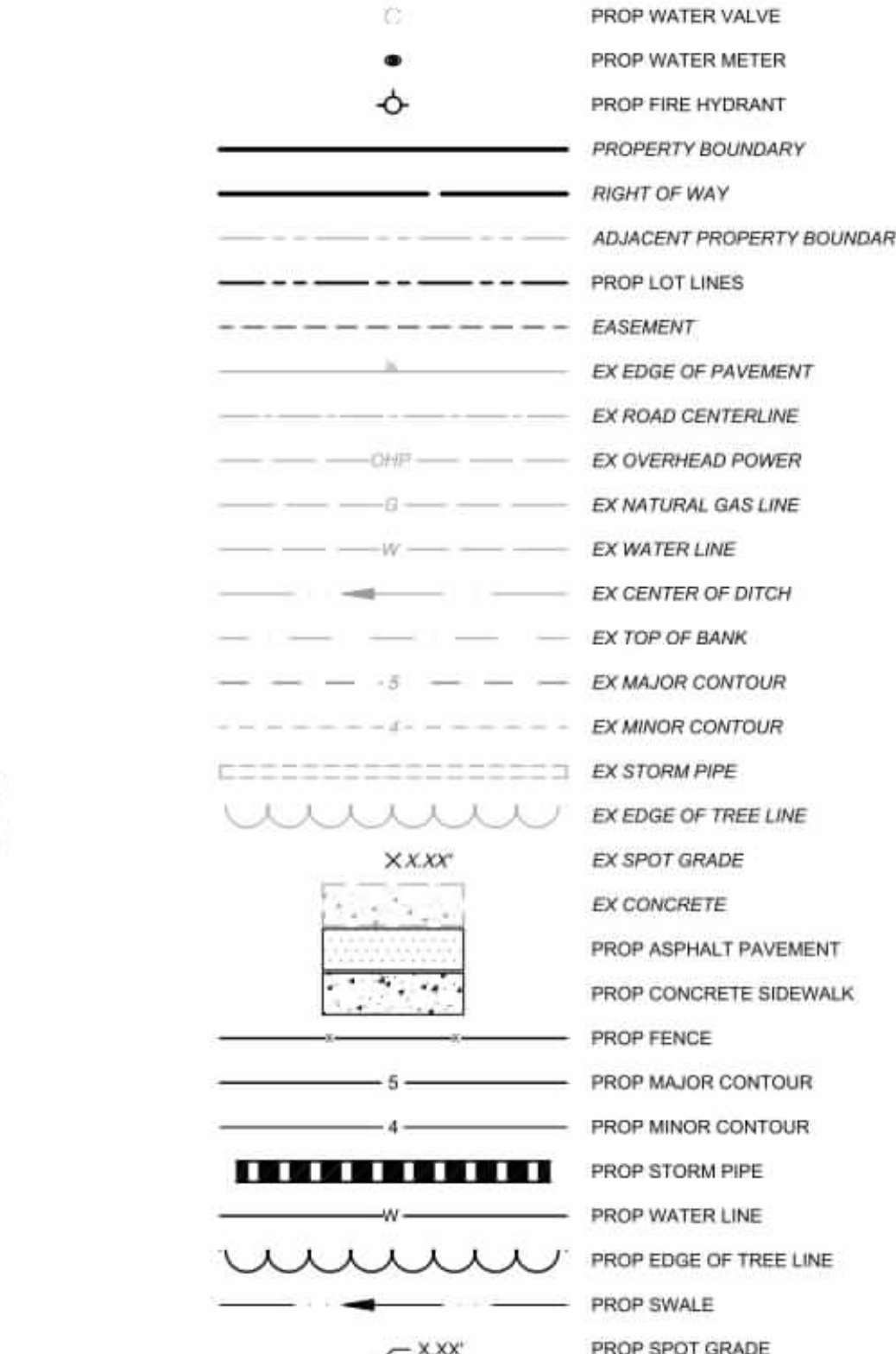
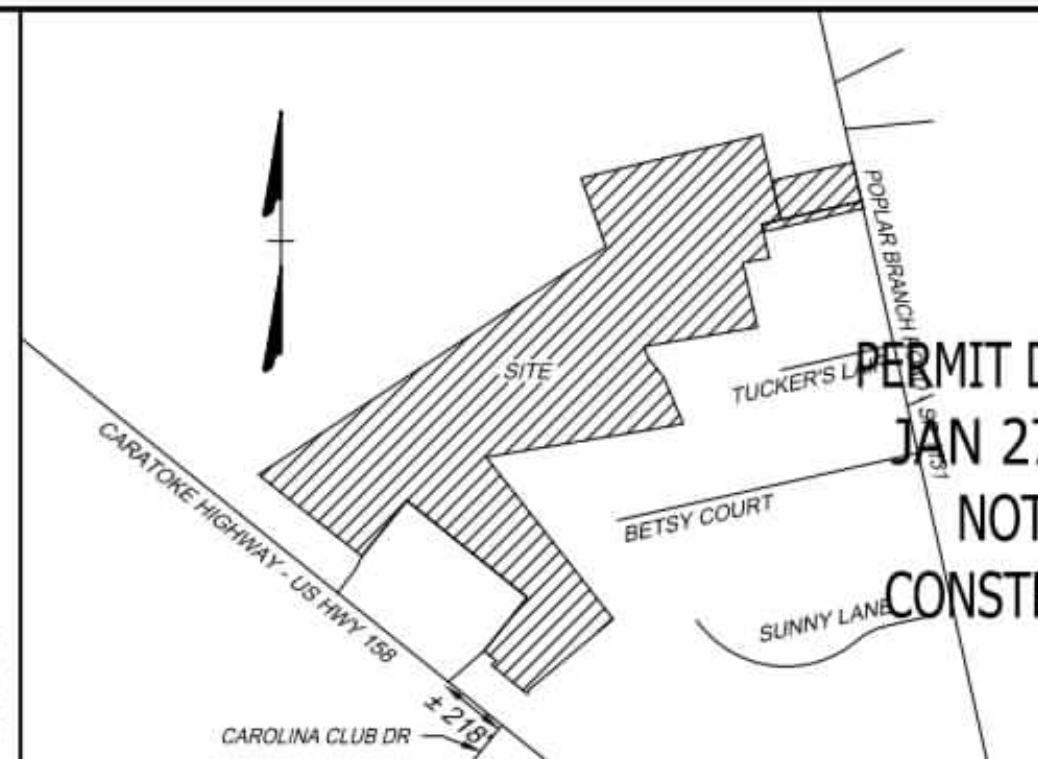
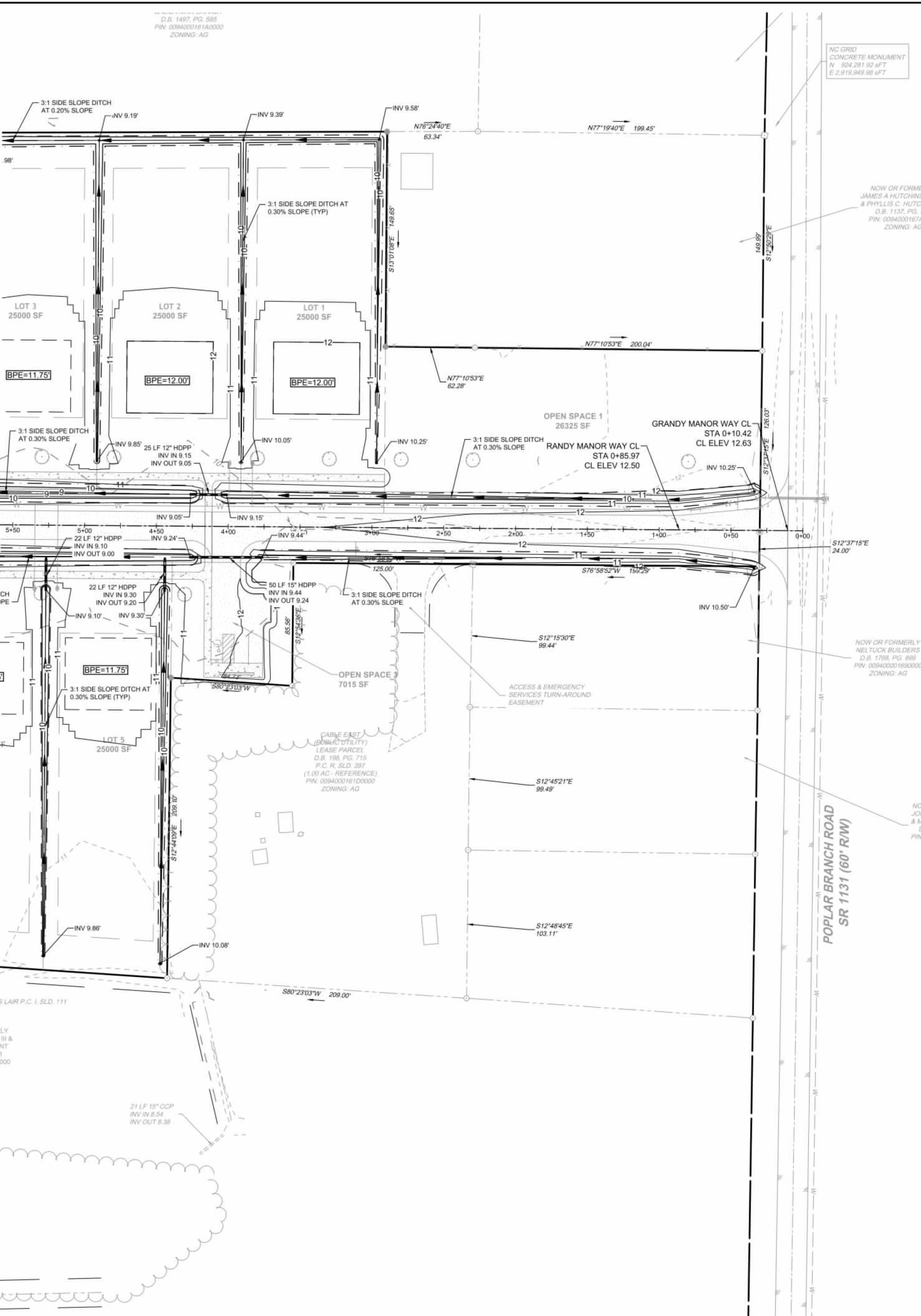


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D.B. 1743, PG. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
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- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.216 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20

- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



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THIS DRAWING PREPARED AT THE  
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TEL 252.621.3030 FAX 252.562.9574 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY: BCD  
DESIGNED BY: KDH  
CHECKED BY: KDH  
SCALE: 1" = 40'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**GRADING & DRAINAGE PLAN**

JOB NO. 56469  
SHEET NO. C3.3

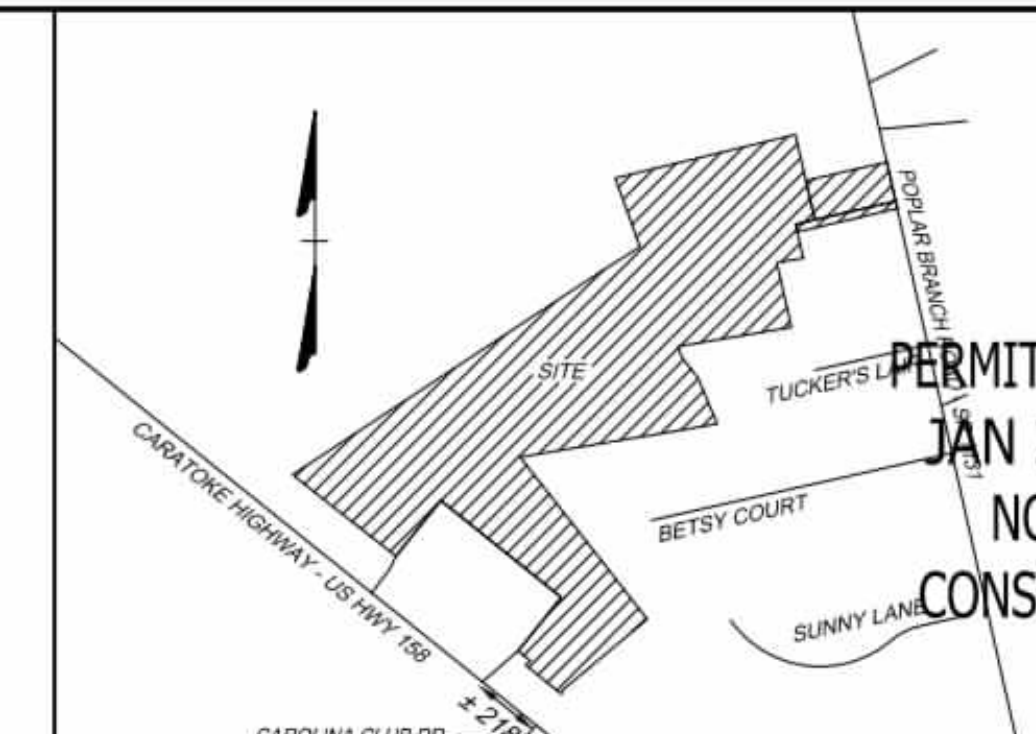
S:\109156469 - Grandy Manor - Poplar Branch, NCDIV\GIS\Sheet\CD\56469C-C3.0 - GRAD.dwg | Printed on 1/27/2026 3:38 PM | by Kim Hamby



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SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 0094000161G0000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, P.G. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 0094000168G0000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE:  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.216 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 + 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
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- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS  
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TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

DATE	01/27/2026
DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 100'

# TIMMONS GROUP

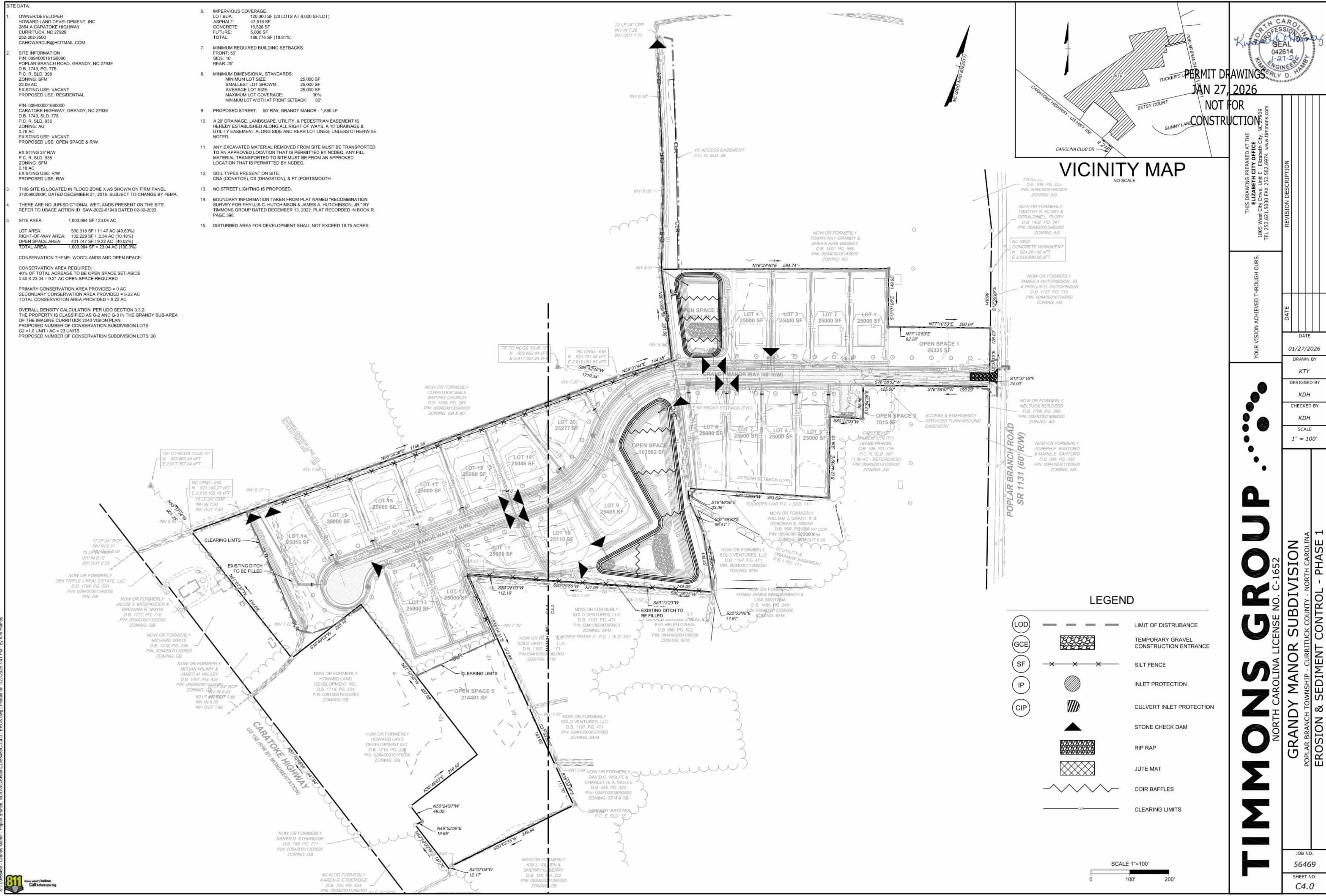
NORTH CAROLINA LICENSE NO. C-1652

## GRANDY MANOR SUBDIVISION

POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

### EROSION & SEDIMENT CONTROL - PHASE 1

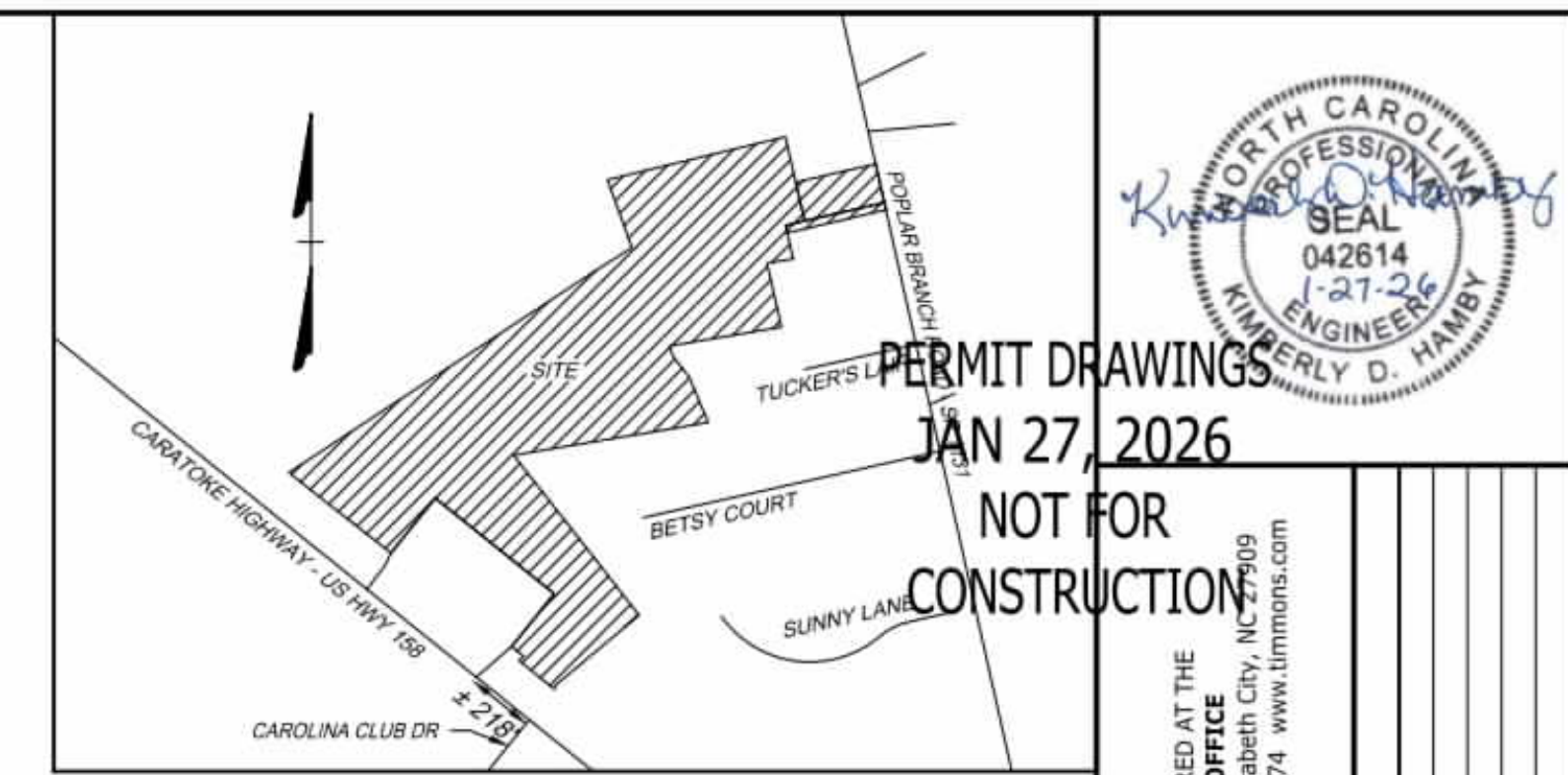
JOB NO.	56469
SHEET NO.	C4.0



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SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 009400016100000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
PRIMARY CONSERVATION AREA PROVIDED = 9.22 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION: PER LUDO SECTION 3.3.2  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA  
OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP  
NO SCALE



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JAN 27, 2026  
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CONSTRUCTION

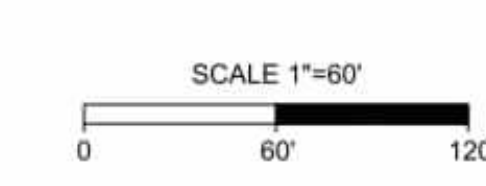
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TEL 252.621.3030 FAX 252.562.6974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 60'

LEGEND

(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	---x---x---x---	SILT FENCE
(IP)	[Symbol]	INLET PROTECTION
(CIP)	[Symbol]	CULVERT INLET PROTECTION
	[Symbol]	STONE CHECK DAM
	[Pattern]	RIP RAP
	[Pattern]	JUTE MAT
	[Symbol]	COIR BAFFLES
	[Symbol]	CLEARING LIMITS



**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
EROSION & SEDIMENT CONTROL PLAN - PHASE 2

JOB NO. 56469  
SHEET NO. C4.1

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S:\10195489 - Grandy Manor - Poplar Branch, NCDIVS\SheetCD\56469C-C4.0 - EROS.Dwg | Printed on 1/27/2026 3:41 PM | by Kim Hamby



**SITE DATA:**

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
PIN: 0094000161G0000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

5. SITE AREA: 1,003,994 SF / 23.04 AC

LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

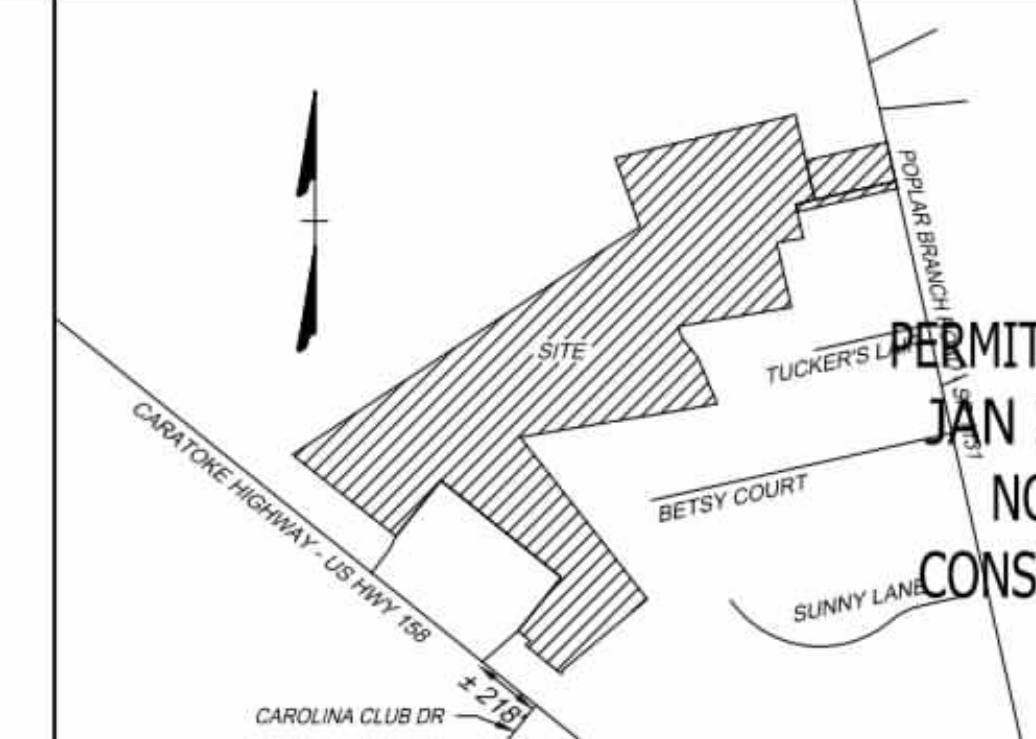
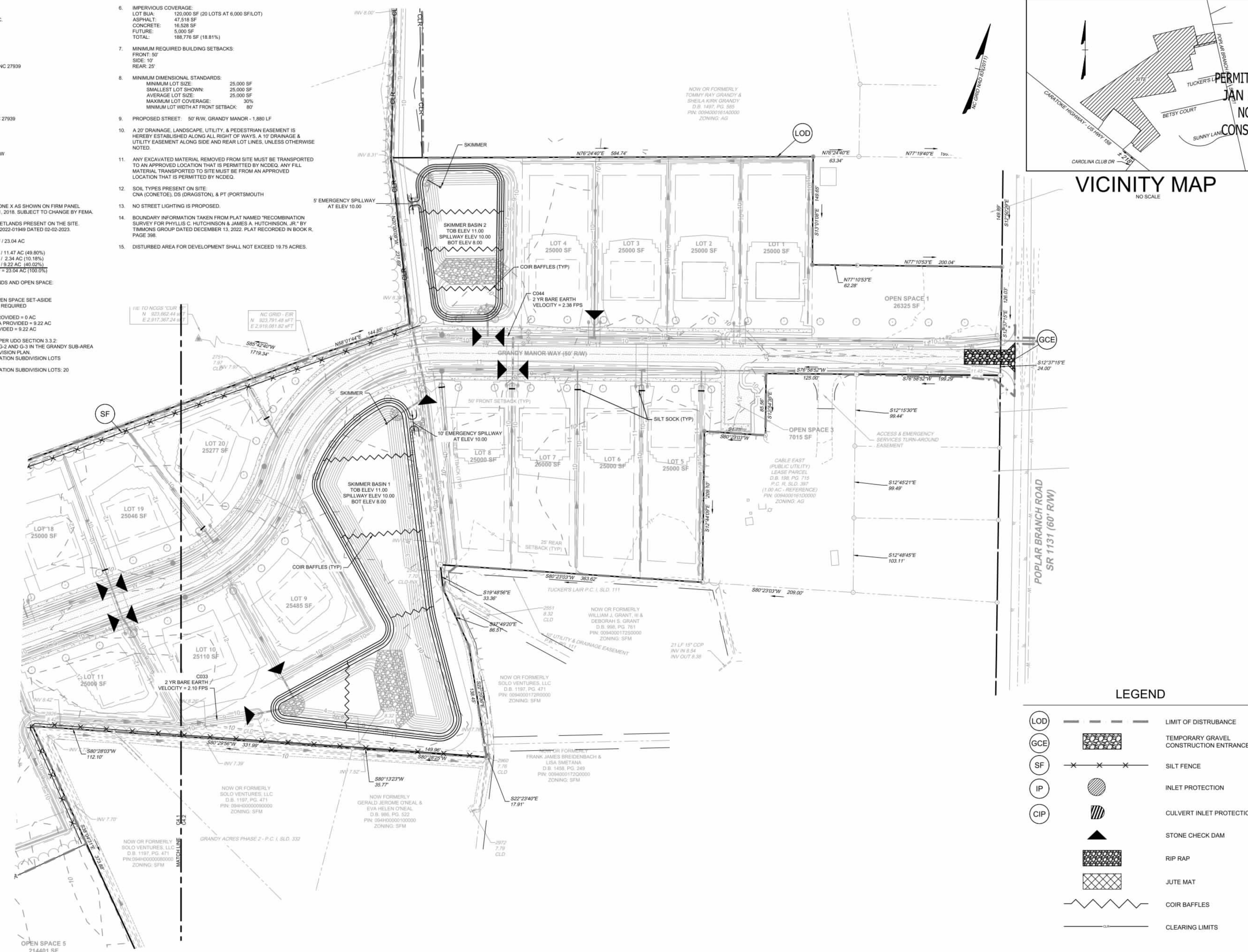
CONSERVATION THEME: WOODLANDS AND OPEN SPACE

CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.216 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION: PER LUDO SECTION 3.3.2  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 #1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20

6. IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
7. MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
8. MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE.
12. SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
13. NO STREET LIGHTING IS PROPOSED.
14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS  
JAN 27, 2026  
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REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 60'

**TIMMONS GROUP**

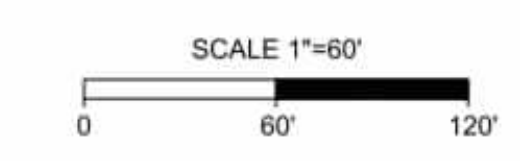
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
EROSION & SEDIMENT CONTROL PLAN - PHASE 2

JOB NO. 56469  
SHEET NO. C4.2

**LEGEND**

(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	---X---	SILT FENCE
(IP)	[Pattern]	INLET PROTECTION
(CIP)	[Pattern]	CULVERT INLET PROTECTION
	[Symbol]	STONE CHECK DAM
	[Pattern]	RIP RAP
	[Pattern]	JUTE MAT
	[Symbol]	COIR BAFFLES
	---	CLEARING LIMITS



S:\109156469 - Grandy Manor - Poplar Branch, NCDIV\OS\Sheet\CD\56469C-C4.0 - ERNOS.dwg | Printed on 1/27/2026 3:41 PM | by Kim Hamby

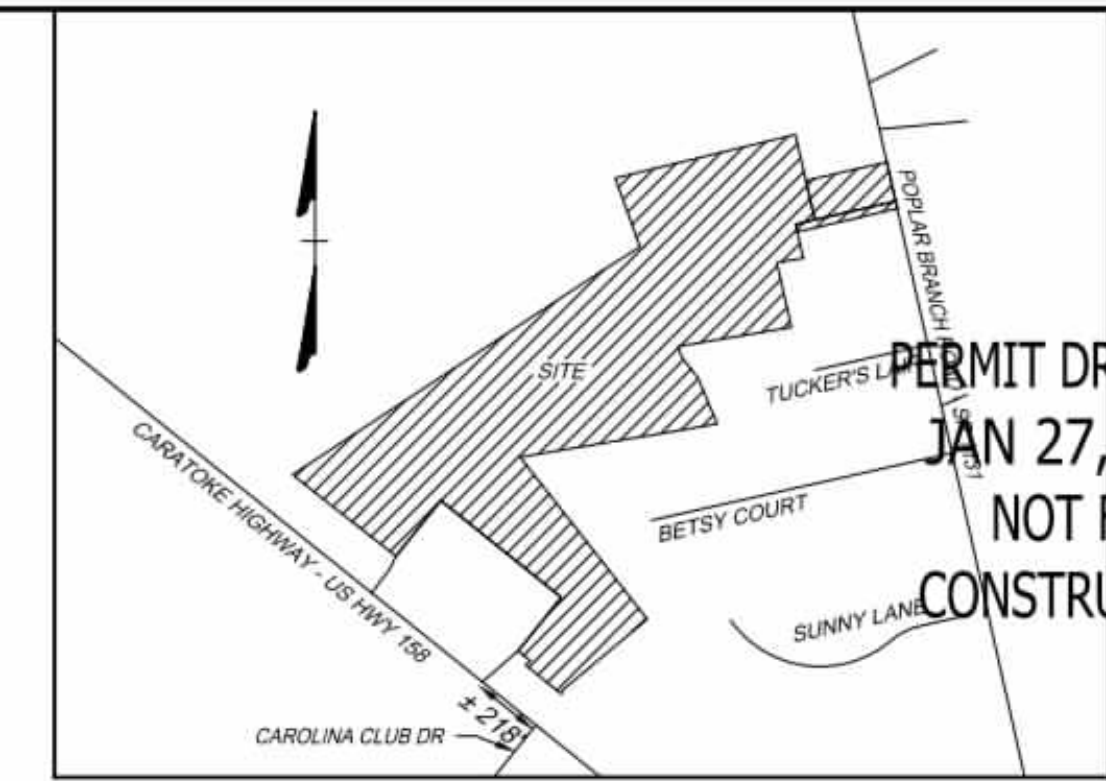


**SITE DATA:**

- OWNER/DEVELOPER  
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CAHOWARDJR@HOTMAIL.COM
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D.B. 1743, PG. 778  
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ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
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- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372099200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.216 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 + 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

**VICINITY MAP**  
NO SCALE

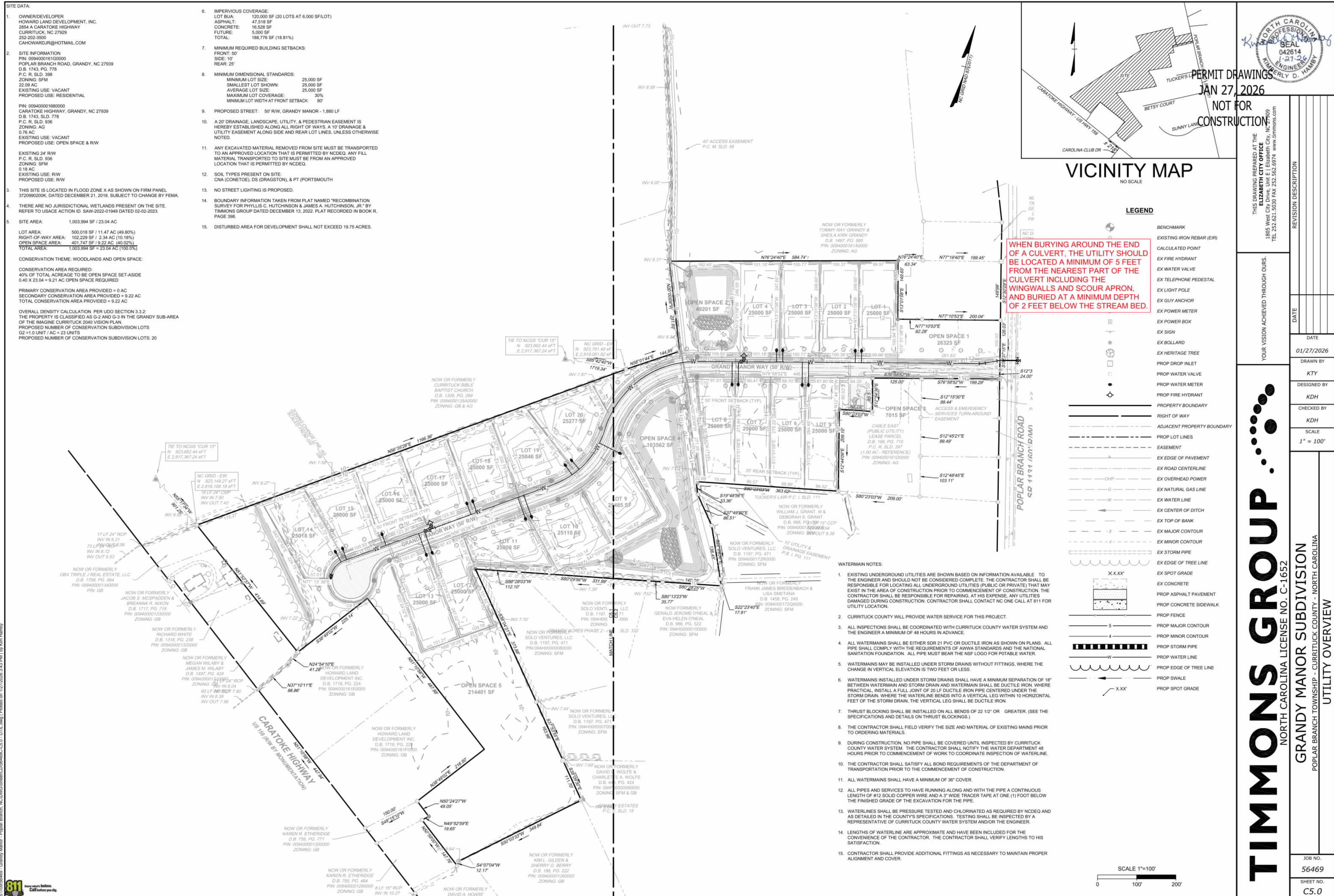
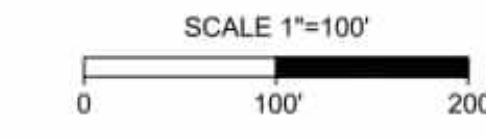
**LEGEND**

WHEN BURRING AROUND THE END OF A CULVERT, THE UTILITY SHOULD BE LOCATED A MINIMUM OF 5 FEET FROM THE NEAREST PART OF THE CULVERT INCLUDING THE WINGWALLS AND SCOUR APRON, AND BURIED AT A MINIMUM DEPTH OF 2 FEET BELOW THE STREAM BED.

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026
DATE	01/27/2026
DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 100'
UTILITY OVERVIEW	

SYMBOL	DESCRIPTION
○	BENCHMARK
—	EXISTING IRON REBAR (EIR)
—	CALCULATED POINT
—	EX FIRE HYDRANT
—	EX WATER VALVE
—	EX TELEPHONE PEDESTAL
—	EX LIGHT POLE
—	EX GUY ANCHOR
—	EX POWER METER
—	EX POWER BOX
—	EX SIGN
—	EX BOLLARD
—	EX HERITAGE TREE
—	PROP DROP INLET
—	PROP WATER VALVE
—	PROP WATER METER
—	PROP FIRE HYDRANT
—	PROPERTY BOUNDARY
—	RIGHT OF WAY
—	ADJACENT PROPERTY BOUNDARY
—	PROP LOT LINES
—	EASEMENT
—	EX EDGE OF PAVEMENT
—	EX ROAD CENTERLINE
—	EX OVERHEAD POWER
—	EX NATURAL GAS LINE
—	EX WATER LINE
—	EX CENTER OF DITCH
—	EX TOP OF BANK
—	EX MAJOR CONTOUR
—	EX MINOR CONTOUR
—	EX STORM PIPE
—	EX EDGE OF TREE LINE
—	EX SPOT GRADE
—	EX CONCRETE
—	PROP ASPHALT PAVEMENT
—	PROP CONCRETE SIDEWALK
—	PROP FENCE
—	PROP MAJOR CONTOUR
—	PROP MINOR CONTOUR
—	PROP STORM PIPE
—	PROP WATER LINE
—	PROP EDGE OF TREE LINE
—	PROP SWALE
—	PROP SPOT GRADE

- WATERMAIN NOTES:**
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL AT 811 FOR UTILITY LOCATION.
  - CURRITUCK COUNTY WILL PROVIDE WATER SERVICE FOR THIS PROJECT.
  - ALL INSPECTIONS SHALL BE COORDINATED WITH CURRITUCK COUNTY WATER SYSTEM AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
  - ALL WATERMANS SHALL BE EITHER SDR 21 PVC OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF AWWA STANDARDS AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER.
  - WATERMANS MAY BE INSTALLED UNDER STORM DRAINS WITHOUT FITTINGS, WHERE THE CHANGE IN VERTICAL ELEVATION IS TWO FEET OR LESS.
  - WATERMANS INSTALLED UNDER STORM DRAINS SHALL HAVE A MINIMUM SEPARATION OF 18" BETWEEN WATERMAIN AND STORM DRAIN AND WATERMAIN SHALL BE DUCTILE IRON, WHERE PRACTICAL, INSTALL A FULL JOINT OF 20 LF DUCTILE IRON PIPE CENTERED UNDER THE STORM DRAIN, WHERE THE WATERLINE BENDS INTO A VERTICAL LEG WITHIN 10 HORIZONTAL FEET OF THE STORM DRAIN, THE VERTICAL LEG SHALL BE DUCTILE IRON.
  - THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2" OR GREATER. (SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
  - THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING MAINS PRIOR TO ORDERING MATERIALS.
  - DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY CURRITUCK COUNTY WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION OF WATERLINE.
  - THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - ALL WATERMANS SHALL HAVE A MINIMUM OF 36" COVER.
  - ALL PIPES AND SERVICES TO HAVE RUNNING ALONG AND WITH THE PIPE A CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
  - WATERLINES SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY NCEDE AND AS DETAILED IN THE COUNTY'S SPECIFICATIONS. TESTING SHALL BE INSPECTED BY A REPRESENTATIVE OF CURRITUCK COUNTY WATER SYSTEM AND/OR THE ENGINEER.
  - LENGTHS OF WATERLINE ARE APPROXIMATE AND HAVE BEEN INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY LENGTHS TO HIS SATISFACTION.
  - CONTRACTOR SHALL PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO MAINTAIN PROPER ALIGNMENT AND COVER.

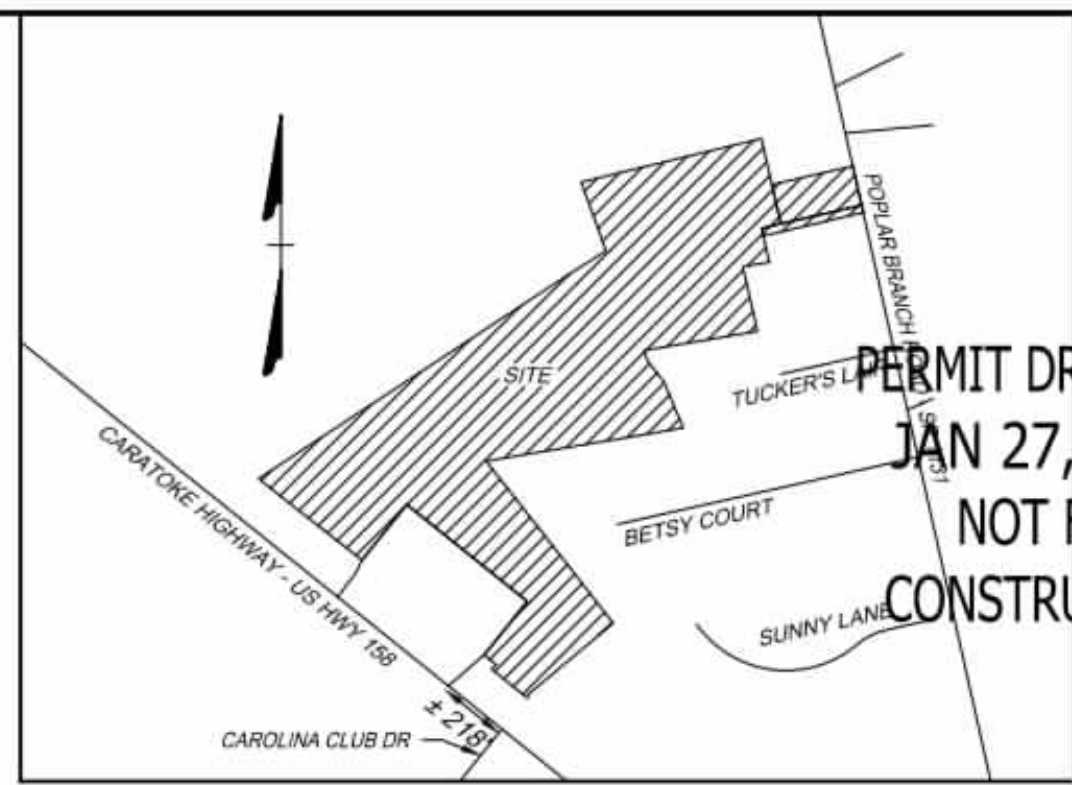
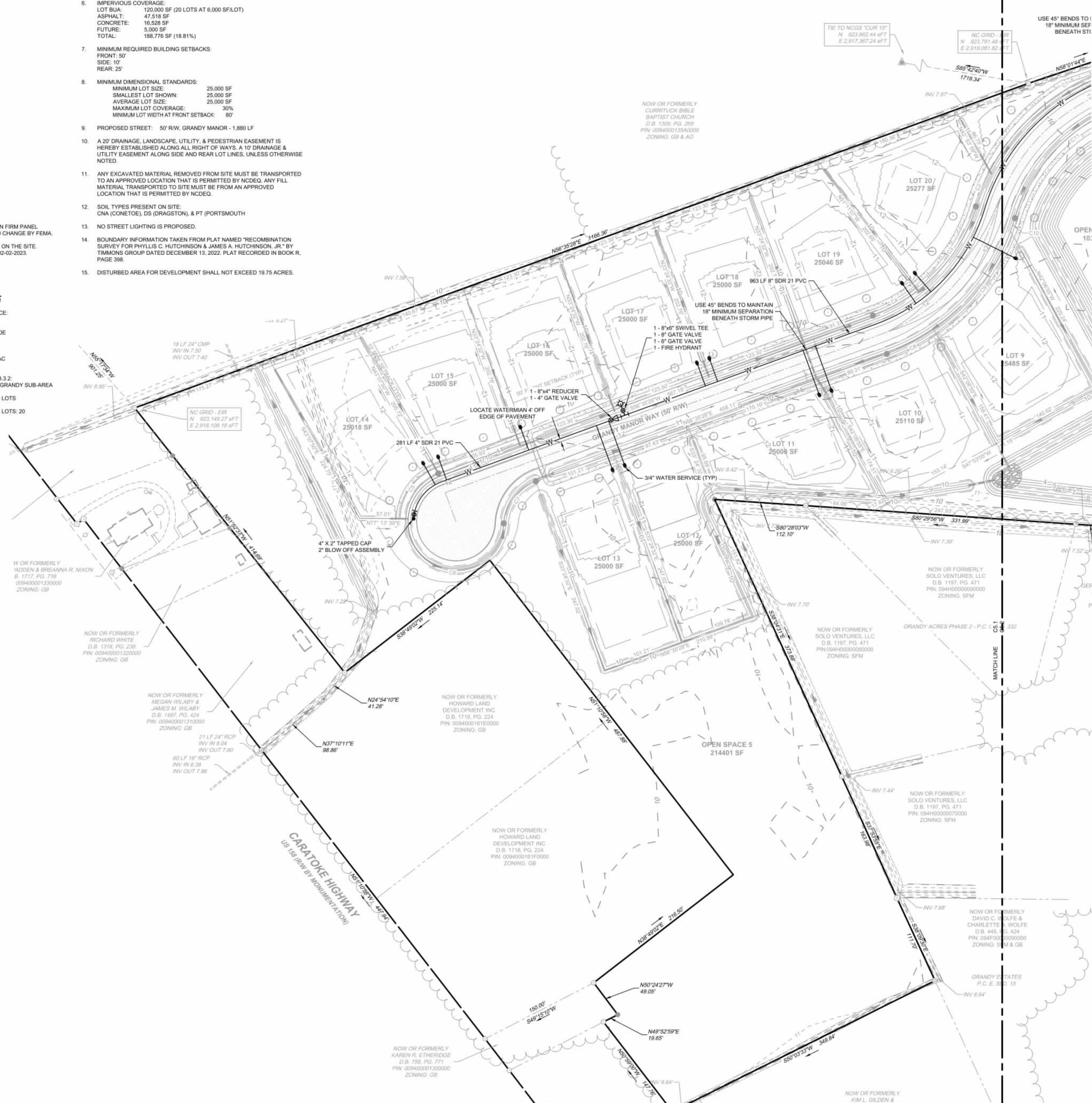


**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
UTILITY OVERVIEW

JOB NO.	SHEET NO.
56469	C5.0

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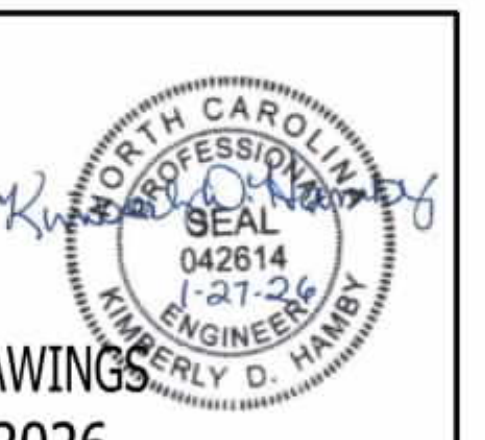
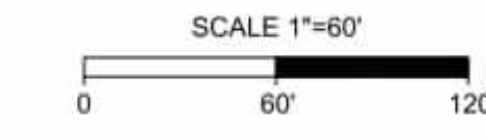
- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, PG. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24" RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02  
C2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
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- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
UTILITY PLAN

JOB NO. 56469  
SHEET NO. C5.1



SITE DATA:

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
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ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW

EXISTING 24" RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

6. IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
7. MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
8. MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
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11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ.
12. SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
13. NO STREET LIGHTING IS PROPOSED.
14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

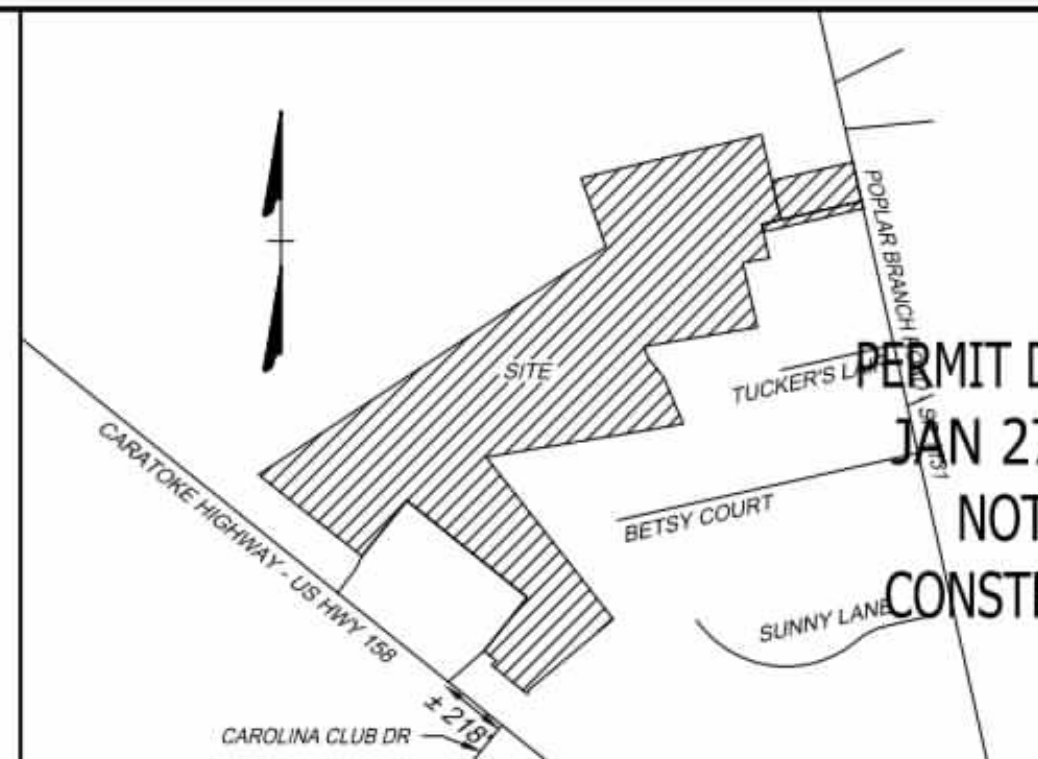
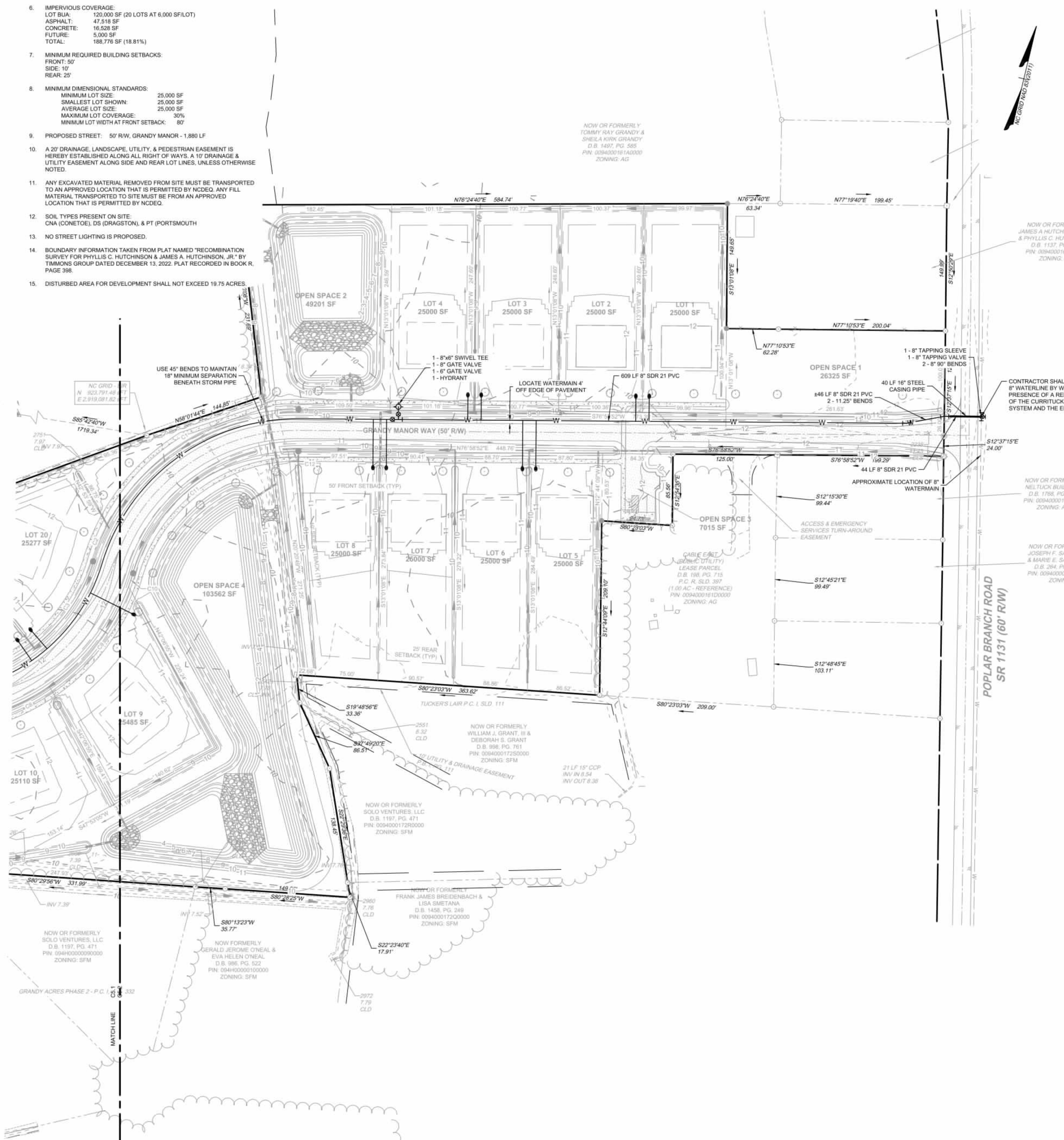
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TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE:  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 9.22 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 \* 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



VICINITY MAP  
NO SCALE

- LEGEND
- BENCHMARK
  - EXISTING IRON REBAR (EIR)
  - CALCULATED POINT
  - EX FIRE HYDRANT
  - EX WATER VALVE
  - EX TELEPHONE PEDESTAL
  - EX LIGHT POLE
  - EX GUY ANCHOR
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  - PROP SWALE
  - PROP SPOT GRADE



THIS DRAWING PREPARED AT THE  
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TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

DRAWN BY: KTY  
DESIGNED BY: KDH  
CHECKED BY: KDH

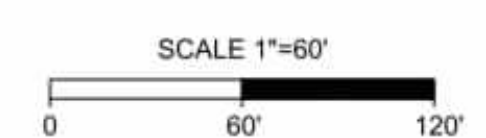
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**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

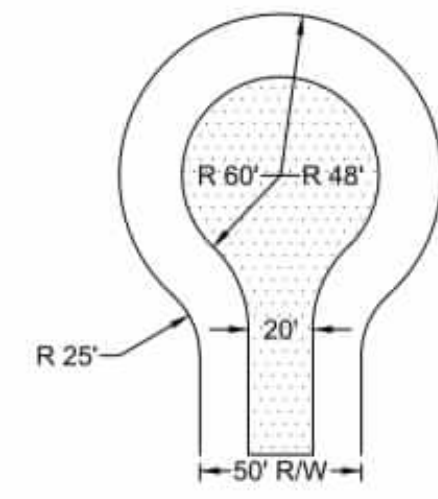
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

UTILITY PLAN

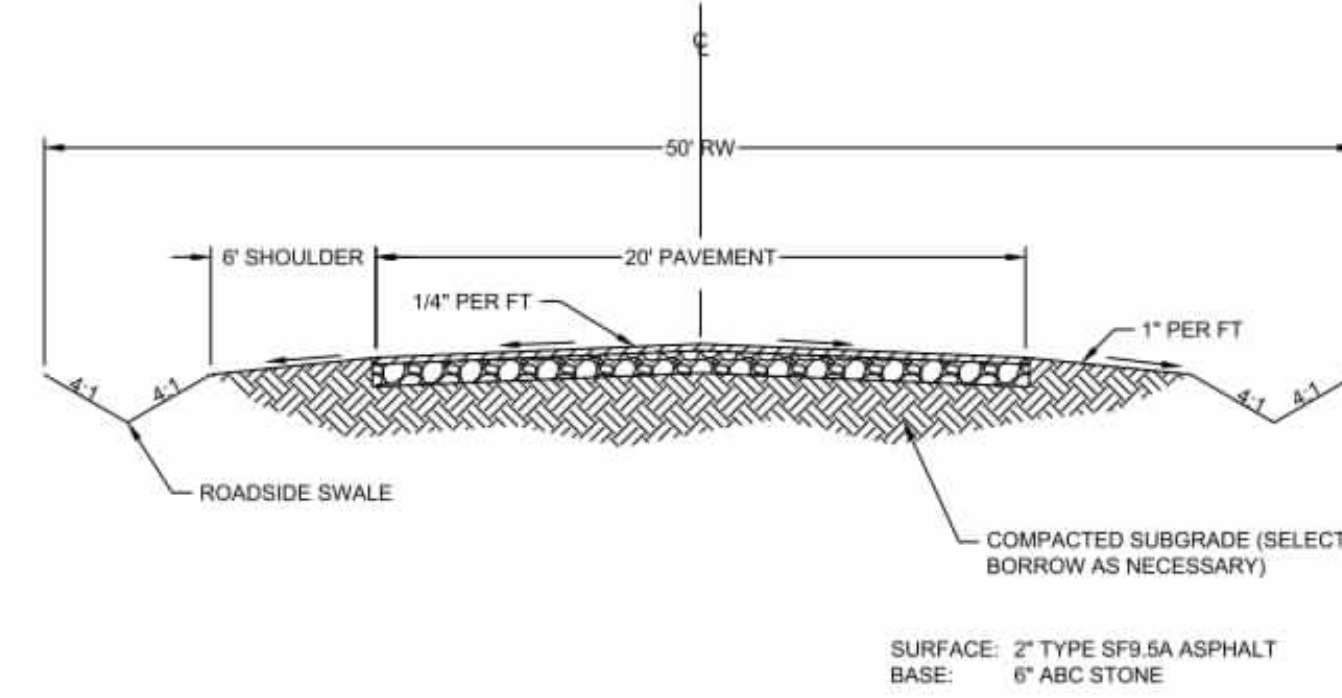
JOB NO. 56469  
SHEET NO. C5.2



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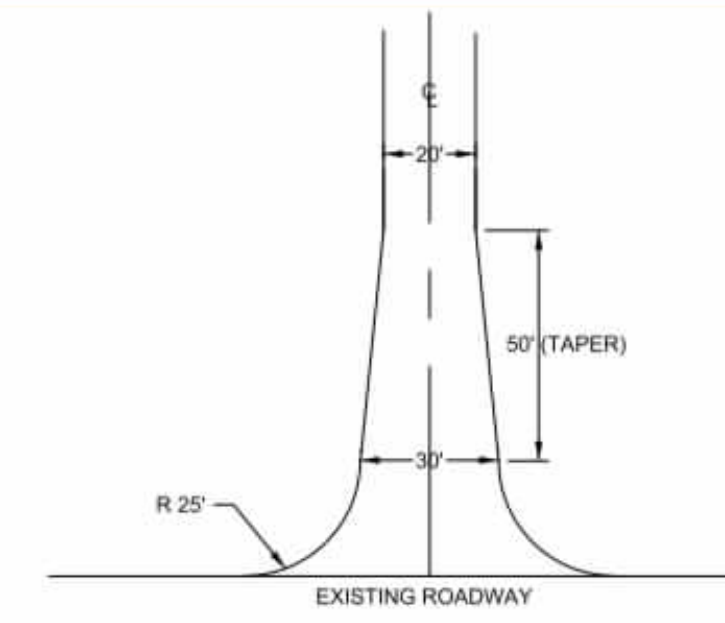
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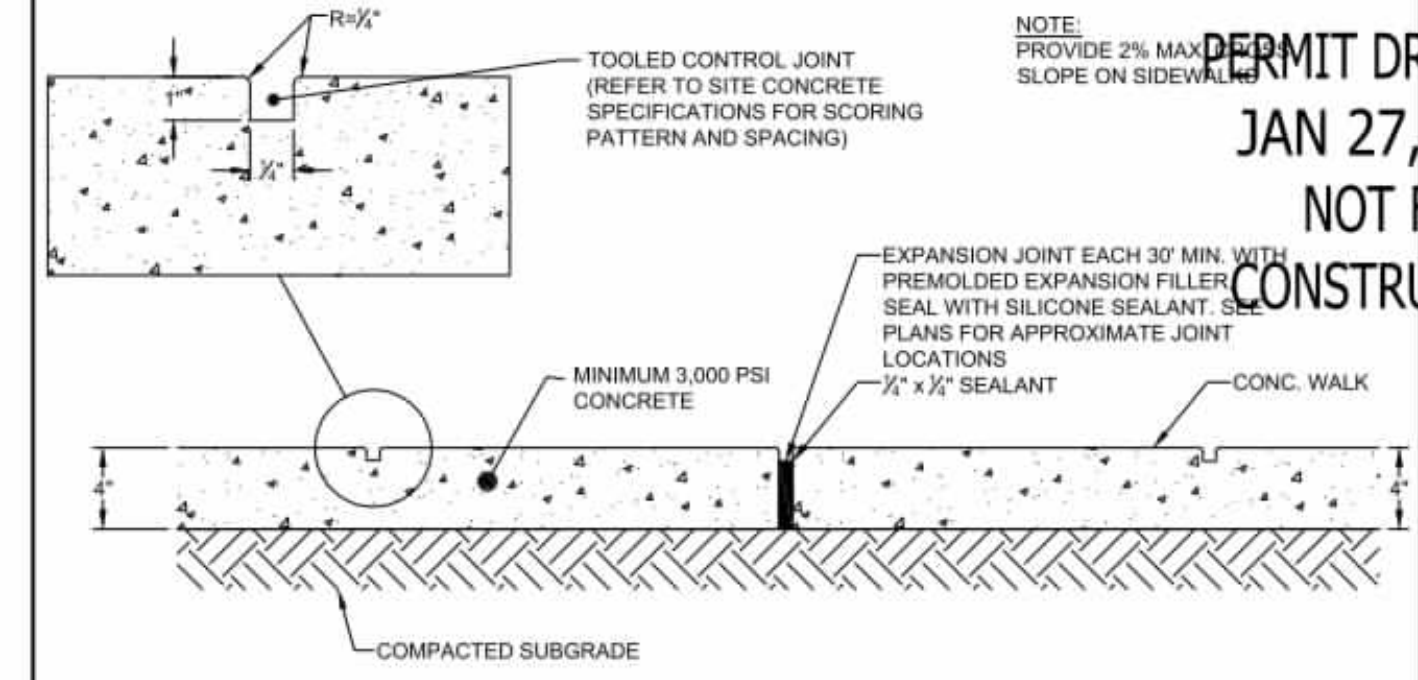
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NO SCALE

THE EDGE OF PAVEMENT RADIUS FOR STREET CONNECTIONS SHOULD BE 30' MINIMUM

THE EDGE OF PAVEMENT RADIUS FOR THE ENTRANCE TO CUL-DE-SACS AND AROUND CUL-DE SACS SHOULD BE 35' MINIMUM



**ENTRANCE ROAD DETAIL**  
NO SCALE



**CONCRETE SIDEWALKS**  
NO SCALE



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E1, Elizabeth City, NC 28599  
TEL 252.621.3930 FAX 252.562.6974 www.timmons.com

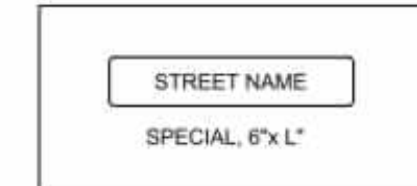
REVISION DESCRIPTION	DATE



**STREET NAME POSTS**



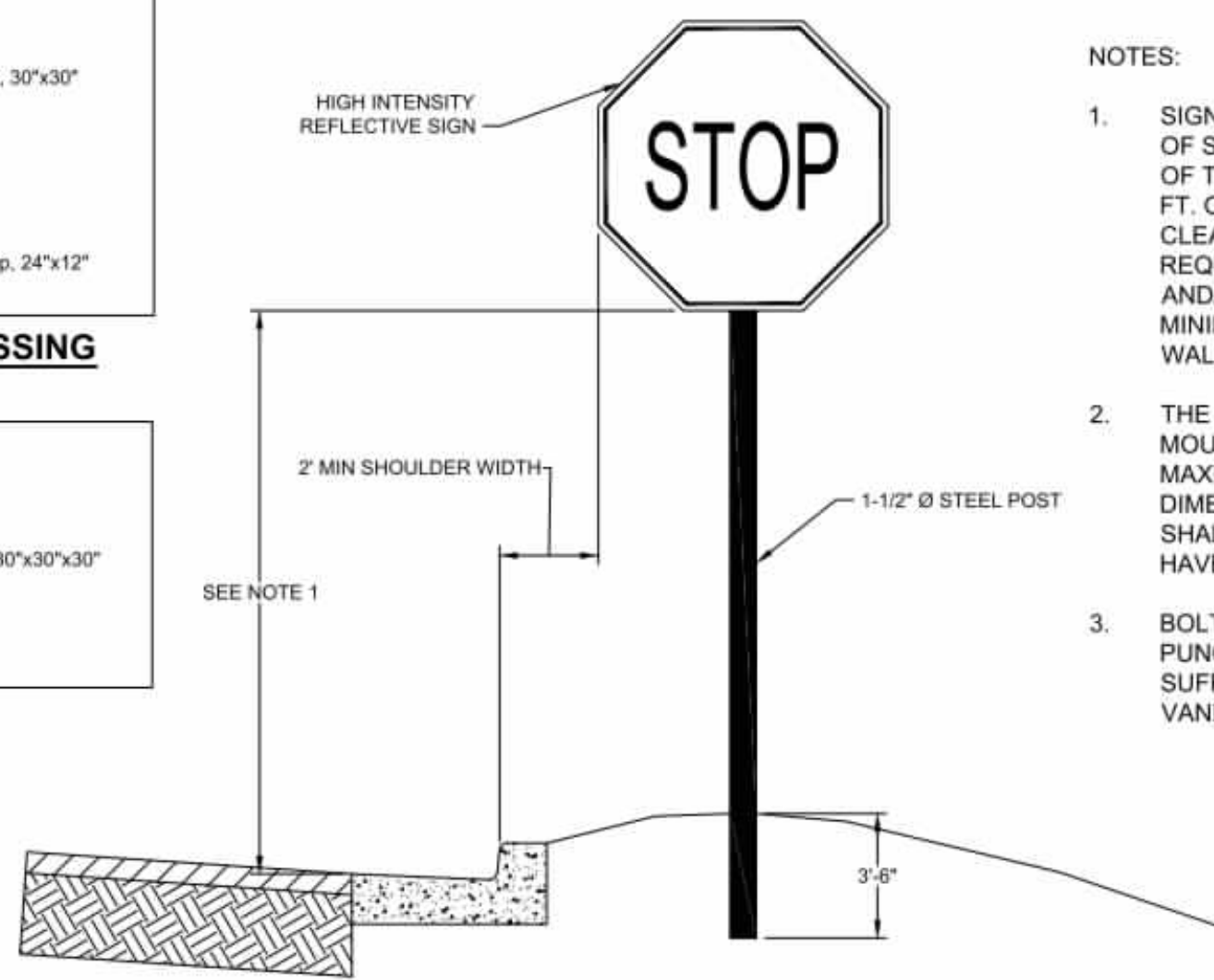
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**STREET NAME SIGNS**

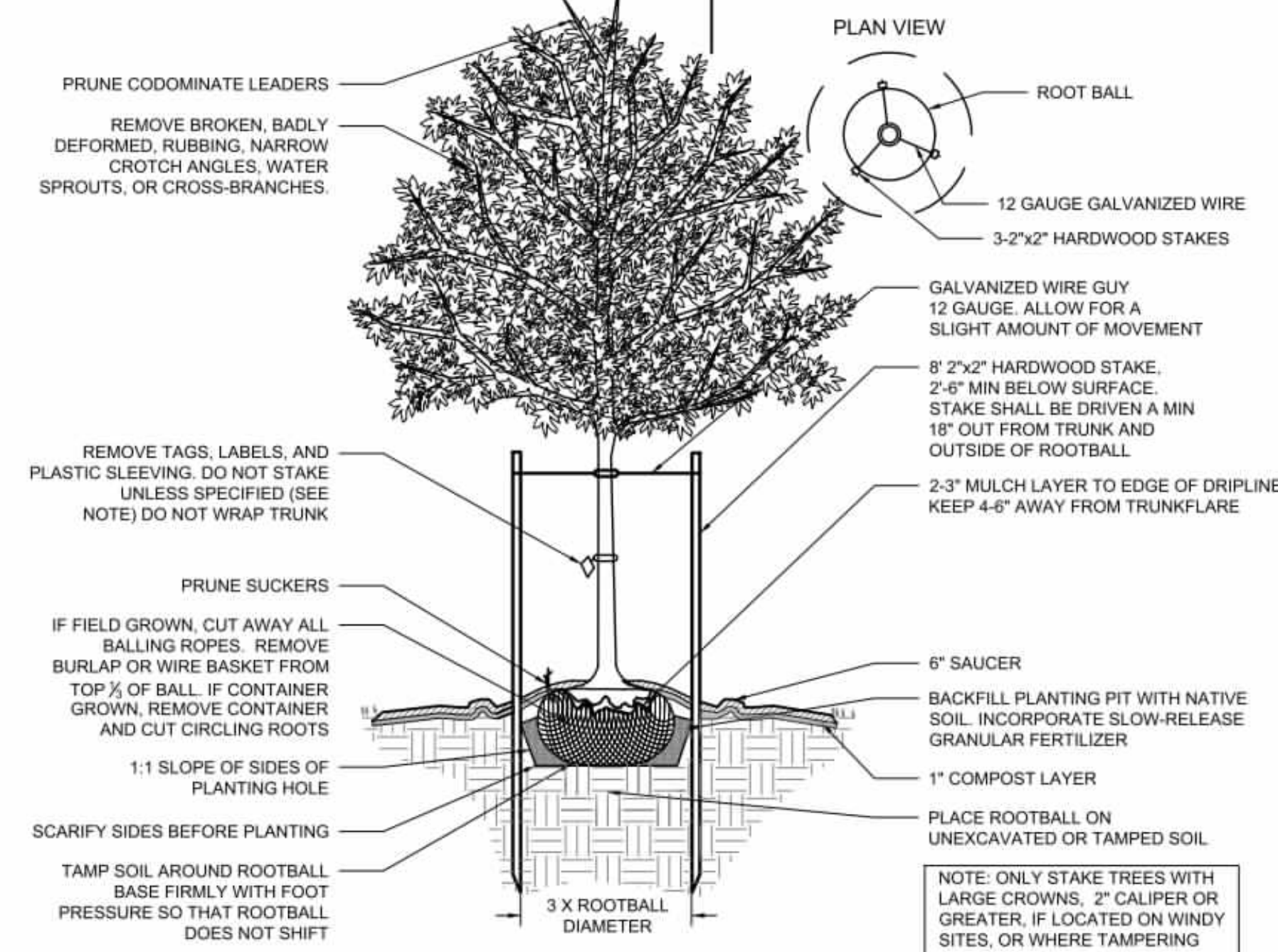


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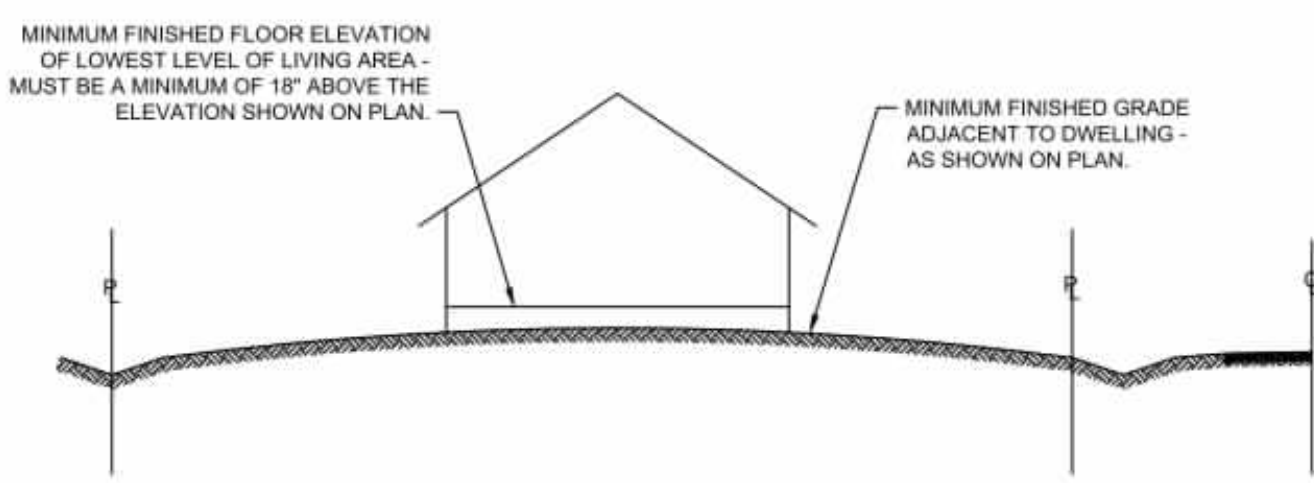


**TYPICAL SIGN DETAIL**  
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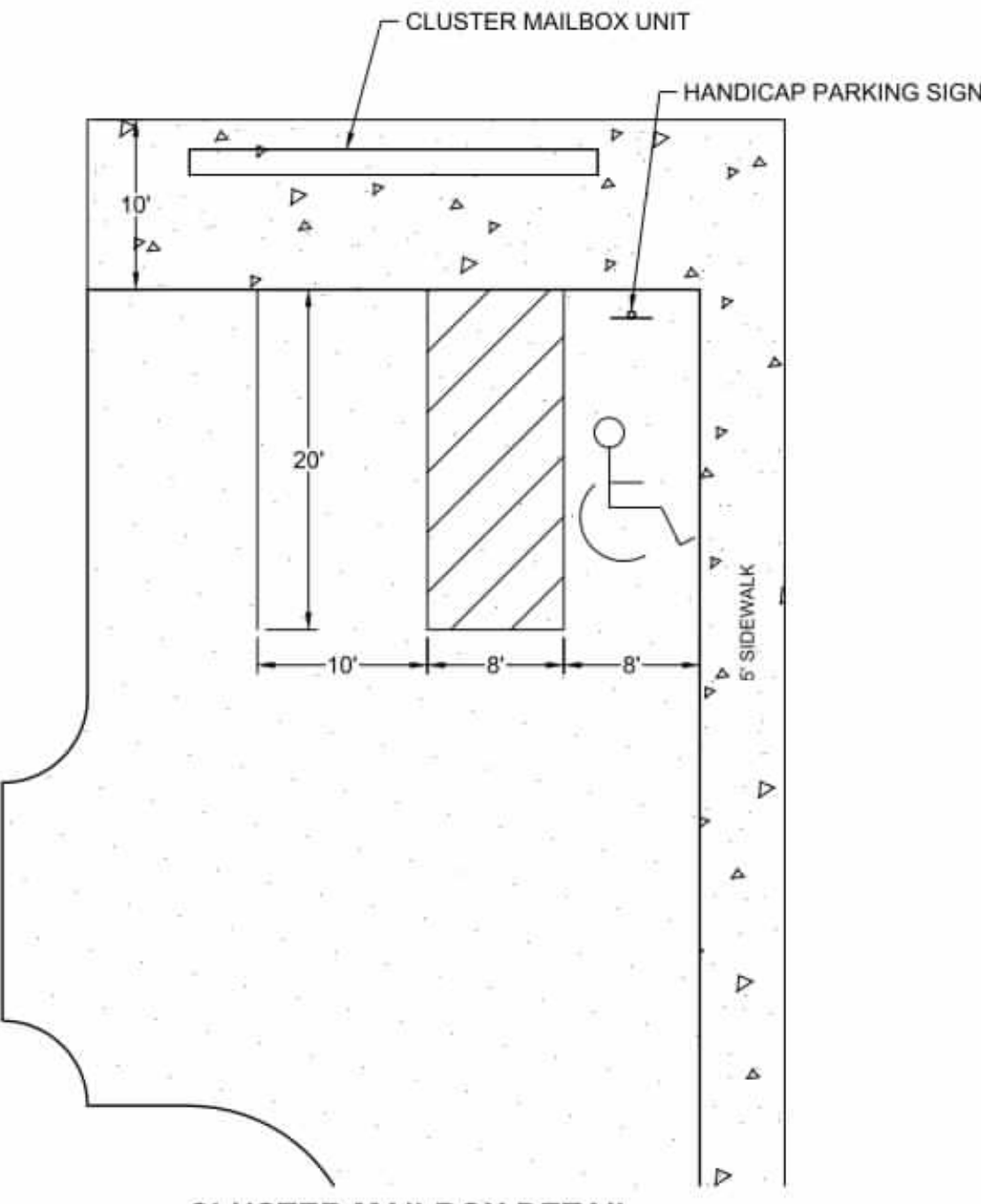
- NOTES:
- SIGN SHALL BE ERECTED WITH THE BOTTOM OF SIGN ASSEMBLY 6 FT. ABOVE THE EDGE OF THE TRAVEL LANE ON FREEWAYS AND 5 FT. ON OTHER ROUTES. THE VERTICAL CLEARANCE SHALL BE 7 FT. WHERE REQUIRED FOR PEDESTRIAN TRAFFIC AND/OR PARKED VEHICLES, OR 6 FT. +, MINIMUM CLEARANCE TO THE SIDEWALK OR WALKING SURFACE.
  - THE VERTICAL DIMENSIONS BETWEEN MOUNTING HOLE CENTERS SHALL BE 30" MAXIMUM. THE VERTICAL AND HORIZONTAL DIMENSIONS BETWEEN MOUNTING HOLES SHALL BE TO THE WHOLE INCH. SIGN SHALL HAVE A MINIMUM OF 2 BOLTS PER SUPPORT.
  - BOLT THREADS SHALL BE DEFORMED WITH PUNCH AND CHISEL AFTER INSTALLATION SUFFICIENTLY TO REDUCE REMOVAL BY VANDALS.



**CANOPY TREE DETAIL**  
NO SCALE



**LOT CROSS-SECTION**  
NO SCALE



**CLUSTER MAILBOX DETAIL**  
NO SCALE

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
SITE DETAILS

DATE	DATE	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
	01/27/2026	KTY	N/A	KDH	NO SCALE

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TEL 252.621.3930 FAX 252.562.0974 www.timmons.com

REVISION DESCRIPTION

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DATE	DATE
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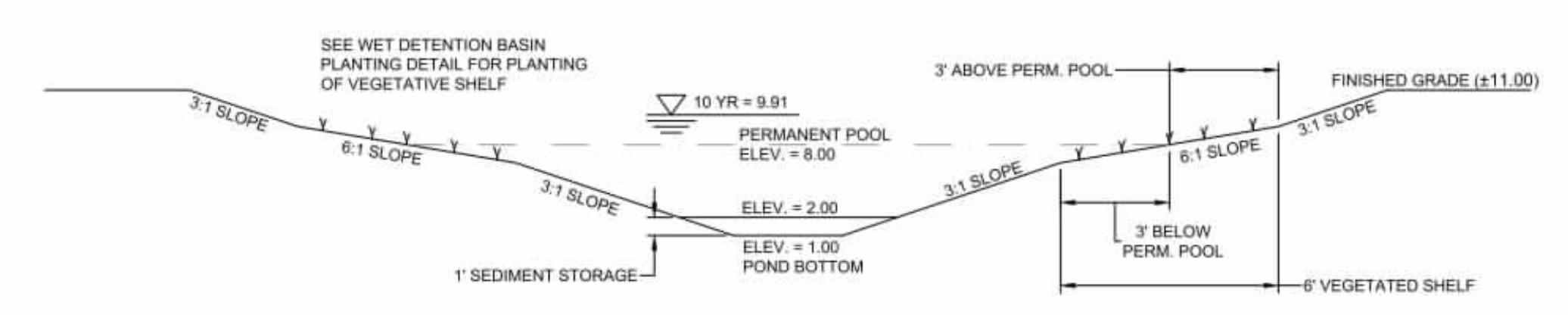
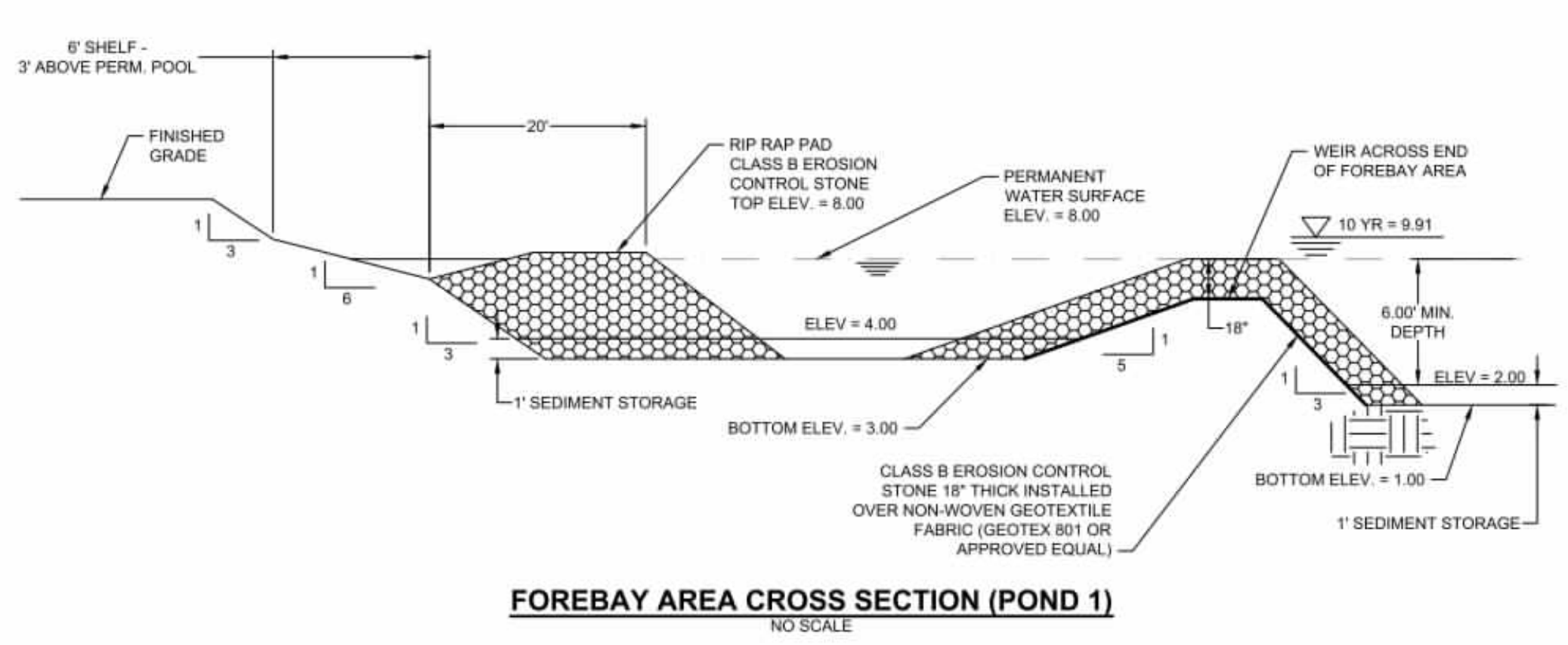
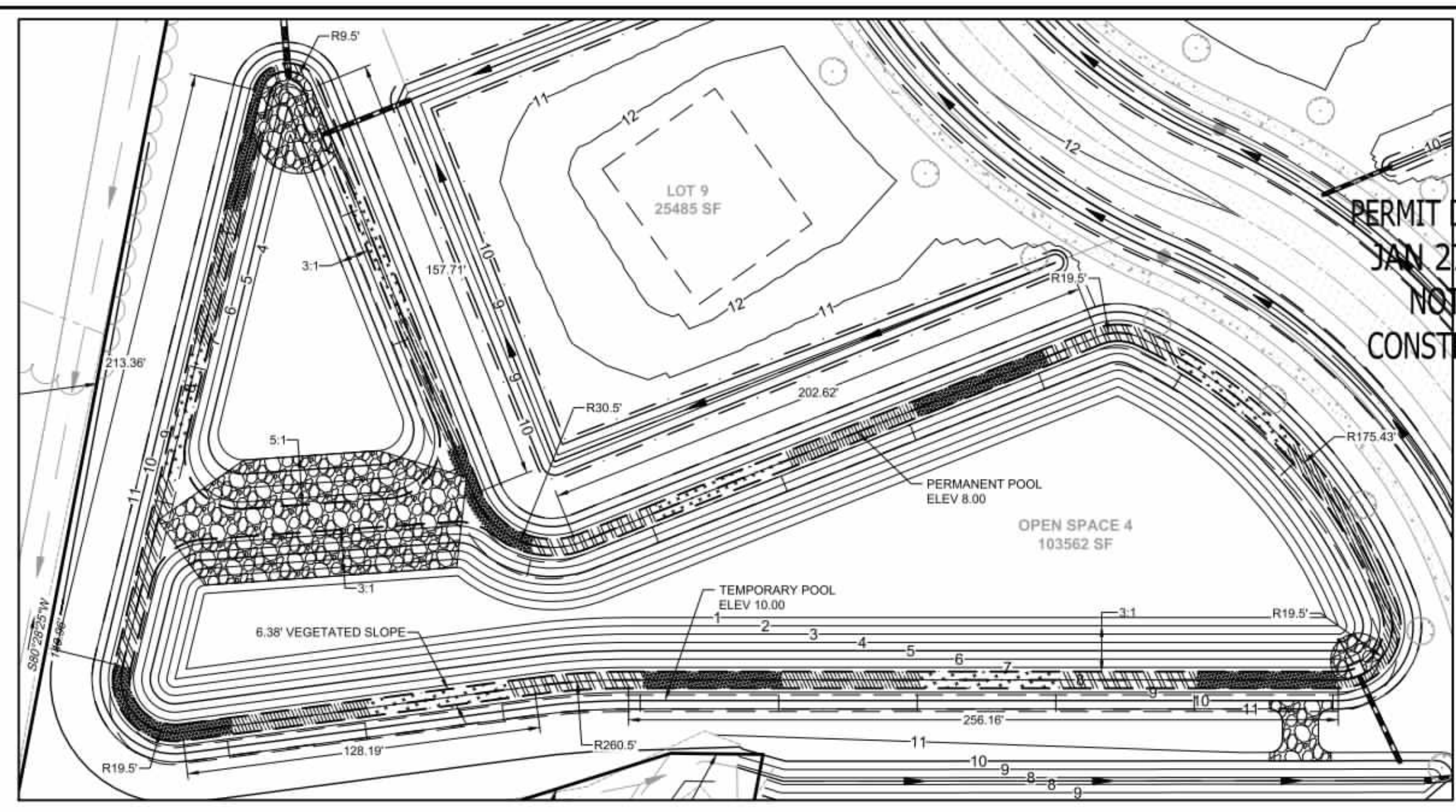
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**KDH**

CHECKED BY  
**KDH**

SCALE  
**NO SCALE**

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
STORMWATER DETAILS

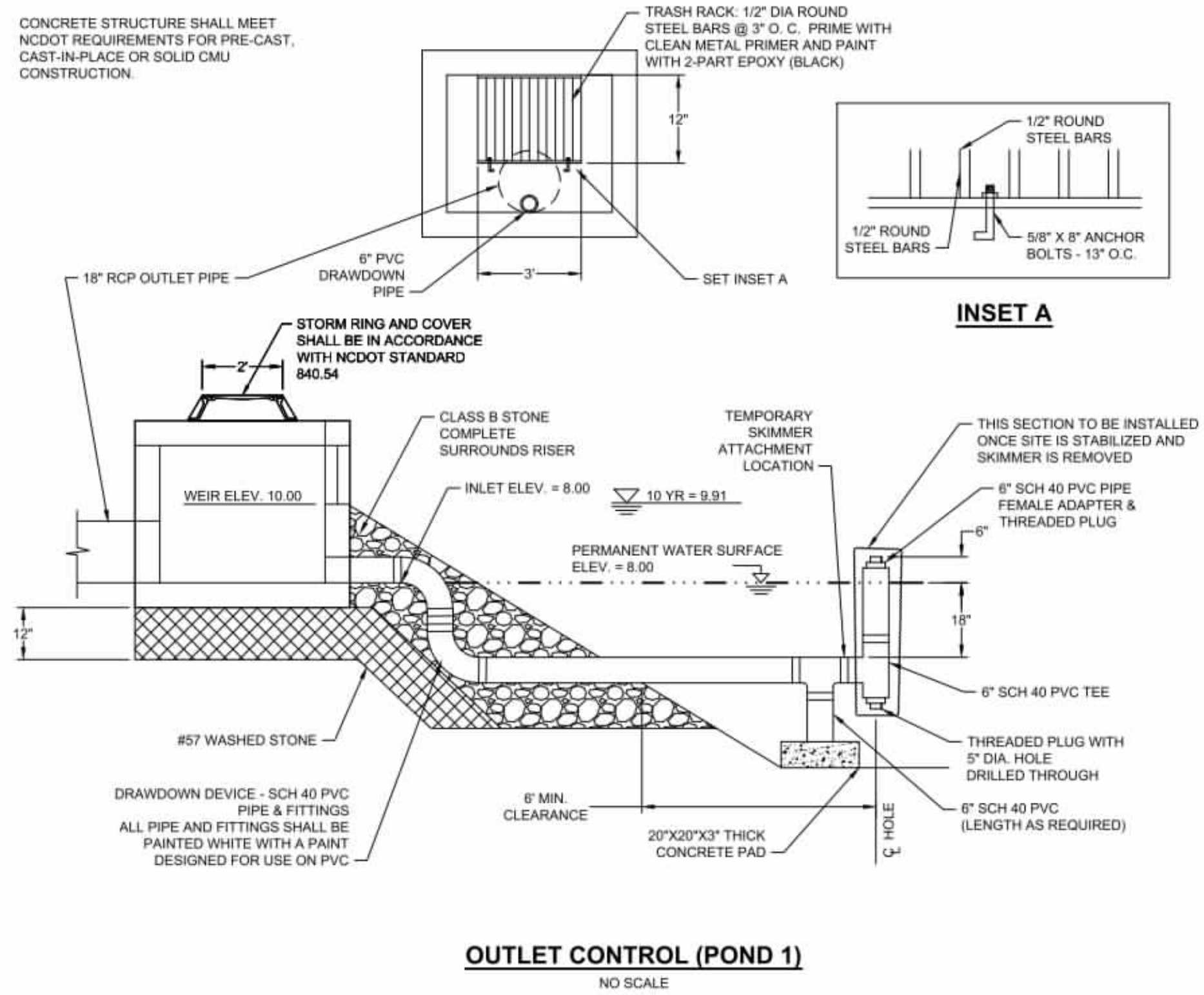
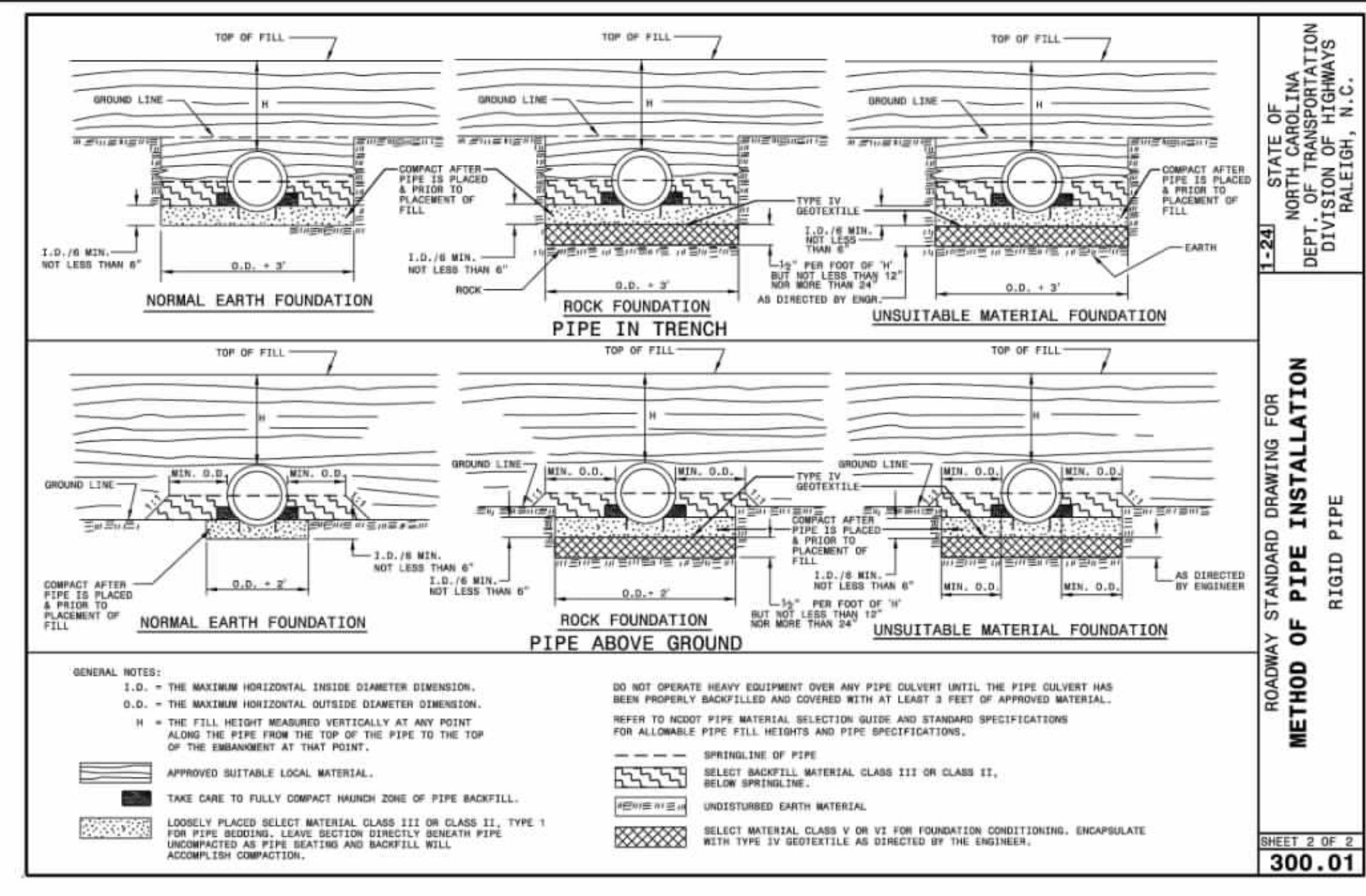
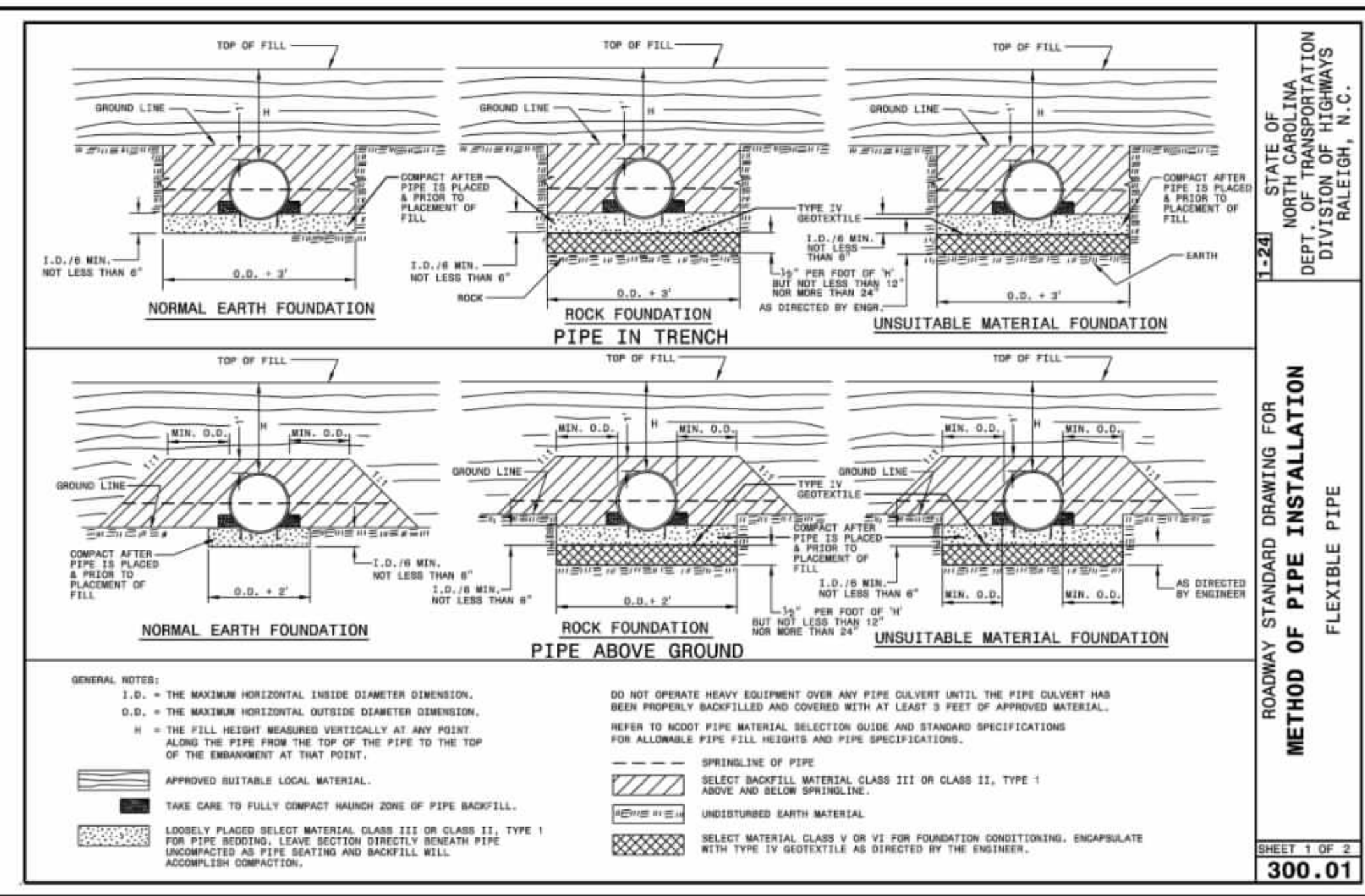


- PRE-CONSTRUCTION**
- VERIFY ALL PLANT QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
  - PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 (AMERICAN STANDARD FOR NURSERY STOCK). IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ENGINEER, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
  - PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
  - THE CONTRACTOR SHALL OVER-EXCAVATE THE VEGETATED SHELF BY 12".
  - THE VEGETATED SHELF SHALL BE BROUGHT TO GRADE BY PLACEMENT OF 12" AMENDED SOIL. SOIL SHALL BE AMENDED AND TESTED TO VERIFY THAT SOIL PH IS BETWEEN 5.5 AND 6.5 WITH A MINIMUM OF 5-10% ORGANIC MATTER. SOIL PH CAN BE INCREASED BY ADDING LIME OR DECREASED BY ADDING IRON SULFITE. COMPOST CAN BE ADDED TO INCREASE ORGANIC MATTER. USE OF PEAT MOSS IS NOT RECOMMENDED. TESTING CAN USUALLY BE PERFORMED THROUGH THE LOCAL COOPERATIVE EXTENSION OFFICE.
  - IMMEDIATELY UPON COMPLETION OF GRADING ACTIVITIES, INSTALL EXCEL SIOR EROSION CONTROL MATTING AND PLANTINGS. IF SITE IS NOT COMPLETELY STABILIZED, INSTALL SILT FENCE AROUND UPLAND PERMETER AS NECESSARY TO PROTECT THE POND FROM RUNOFF FROM UNSTABILIZED AREAS.
  - CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECT THE GUARANTEE.

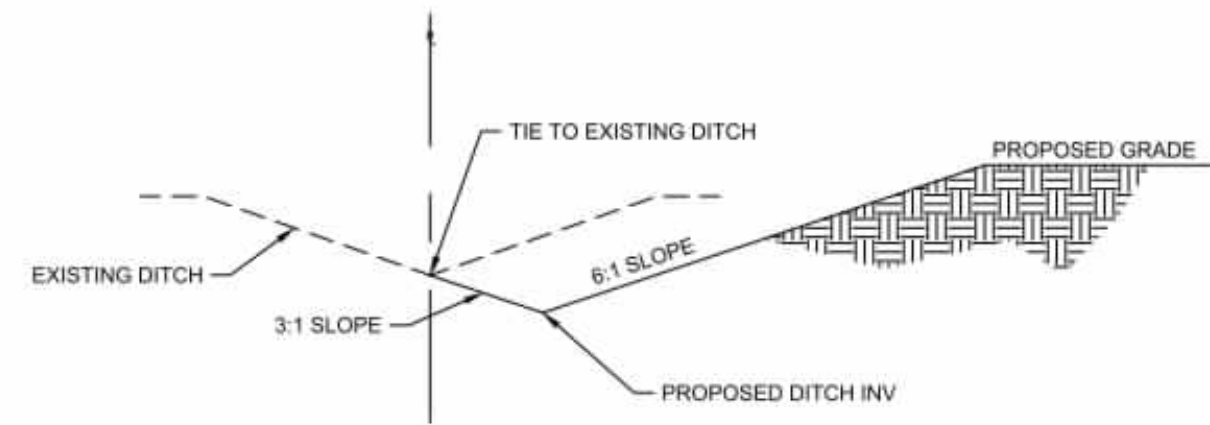
- PLANT INSTALLATION**
- PLANTS SHALL BE INSTALLED WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES WHEN PLANTING DATES CORRESPOND. FOR BEST RESULTS, SHALLOW WATER PLANTINGS SHOULD BE INSTALLED BETWEEN APRIL 1ST AND JULY 15TH. AT NO TIME SHOULD SHALLOW WATER PLANTS BE INSTALLED BETWEEN OCTOBER 1ST AND MARCH 1ST. A PARTIAL CERTIFICATION CAN BE FILED WITH NCDOE WITHOUT INSTALLATION OF THE SHALLOW WATER PLANTS TO INSURE THAT THEY ARE PLANTED AT THE PROPER TIMES.
  - PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANT SCHEDULE AND PLANT LAYOUT PROVIDED. IF THE SPECIES SPECIFICALLY CALLED FOR IN THE PLANT SCHEDULE ARE NOT AVAILABLE, THE FOLLOWING ARE ACCEPTABLE RECOMMEND SPECIES:
    - CLADUUM JAMACENSE (SAWGRASS)
    - ECHINODORUS SUBCORDATUS (CREEPING BURHEAD)
    - PELTANDRA VIRGINICA (ARROW ARUM)
    - SAGITTARIA LANCEOLATA (BULL TONGUE)
    - SAGITTARIA LATHIFOLIA (DUCK POTATO)
    - SCHOENECTECTUS TABERNAMONTANI (SOFTSTEM BULRUSH)
    - SCIRPUS AMERICANUS AND ALLIES (THREE-SQUARE)
    - ZIZANIOPODIS MILACEA (WATER MILLET)
    - PONTEDERIA CORDATA (PICKEREL WEED)
  - APPLY A SLOW RELEASE FERTILIZER TO EACH PLANT AS IT IS INSTALLED. DO NOT BROADCAST FERTILIZERS OR FERTILIZER AFTER INSTALLATION IN THE AREA OF THE VEGETATED SHELF. SLOW RELEASE FERTILIZERS SHOULD FEED PLANTINGS FOR A MINIMUM OF 8-9 MONTHS. 12-14 MONTHS IS PREFERRED. A 17-5-11 FORMULA IS RECOMMENDED, BUT CAN VARY. PHOSPHORUS CONTENT SHALL BE LESS THAN 10%.

- INSPECTION**
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE ENGINEER.
  - ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ALL ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
  - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
  - THE PROPERTY OWNER SHALL INSURE THAT THE WET DETENTION BASIN IS MAINTAINED ACCORDING TO THE OPERATION AND MAINTENANCE AGREEMENT FILED WITH NCDOE. TO INSURE THE SURVIVABILITY OF THE WETLAND VEGETATION, SPECIAL ATTENTION SHOULD BE PAID TO THE OUTFLOW STRUCTURE AND BRANDDOWN OFFICE. CLOGGING OF THESE DEVICES WILL CAUSE WATER SURFACE ELEVATIONS TO BE ELAVATED FOR EXTENDED PERIODS OF TIME CAUSING INUNDATION LEVELS THAT ARE UNACCEPTABLE FOR THE SPECIFIED PLANTS.
  - WEEDING SHALL TAKE PLACE WITHIN THE FIRST TWO YEARS TO ASSURE THE BASIN ISNT OVERRUN BY SUCH UNDESIRABLE VEGETATION AS CATTAILS.
  - FOR TWO YEARS AFTER PLANTING, DURING THE OPTIMAL PLANTING SEASON OF APRIL 1ST AND JULY 15TH, ANY PLANT THAT DID NOT SURVIVE THE PREVIOUS WINTER SHALL BE REPLACED.

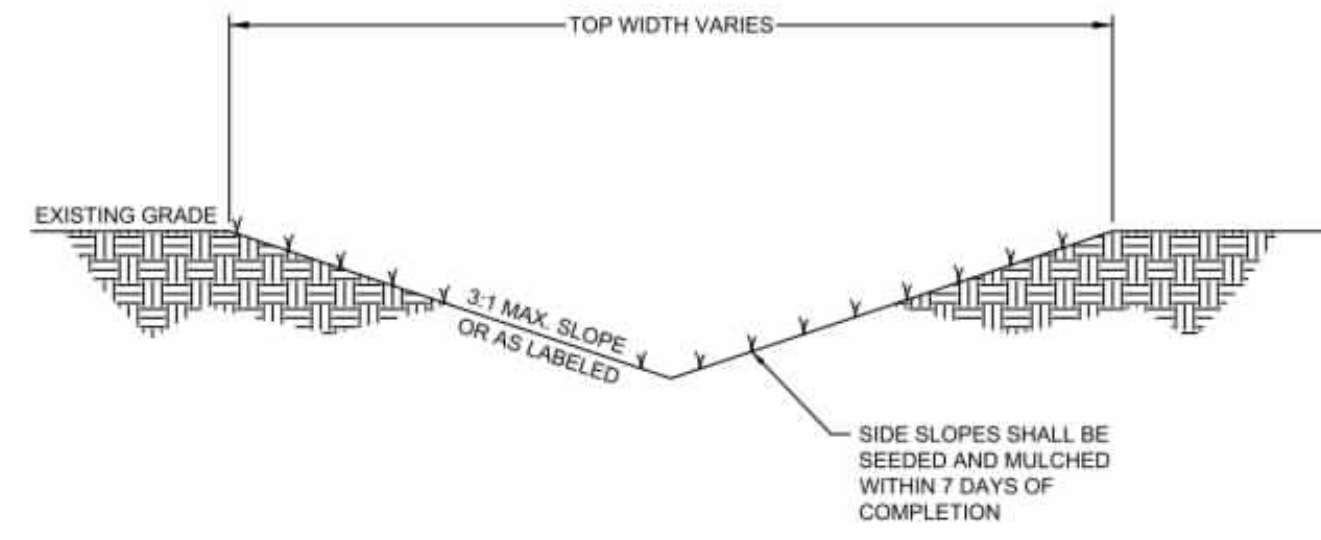
POND PLANTINGS	PLANT SCHEDULE			
	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AG	ANDROPOGON GLOMERATUS	BUSHY BEARDGRASS	6" HT	24" OC
CC	CONOCLINIUM COELESTINUM	BLUE MISTFLOWER	6" HT	24" OC
HC	HIBISCUS COCCINEUS	SCARLET ROSEMALLOW	6" HT	24" OC
PV	PELTANDRA VIRGINICA	ARROW ARUM	6" HT	24" OC
PC	PONTEDERIA CORDATA	PICKEREL WEED	6" HT	24" OC
SC	SAURURUS CERNUUS	LIZARD TAIL	6" HT	24" OC



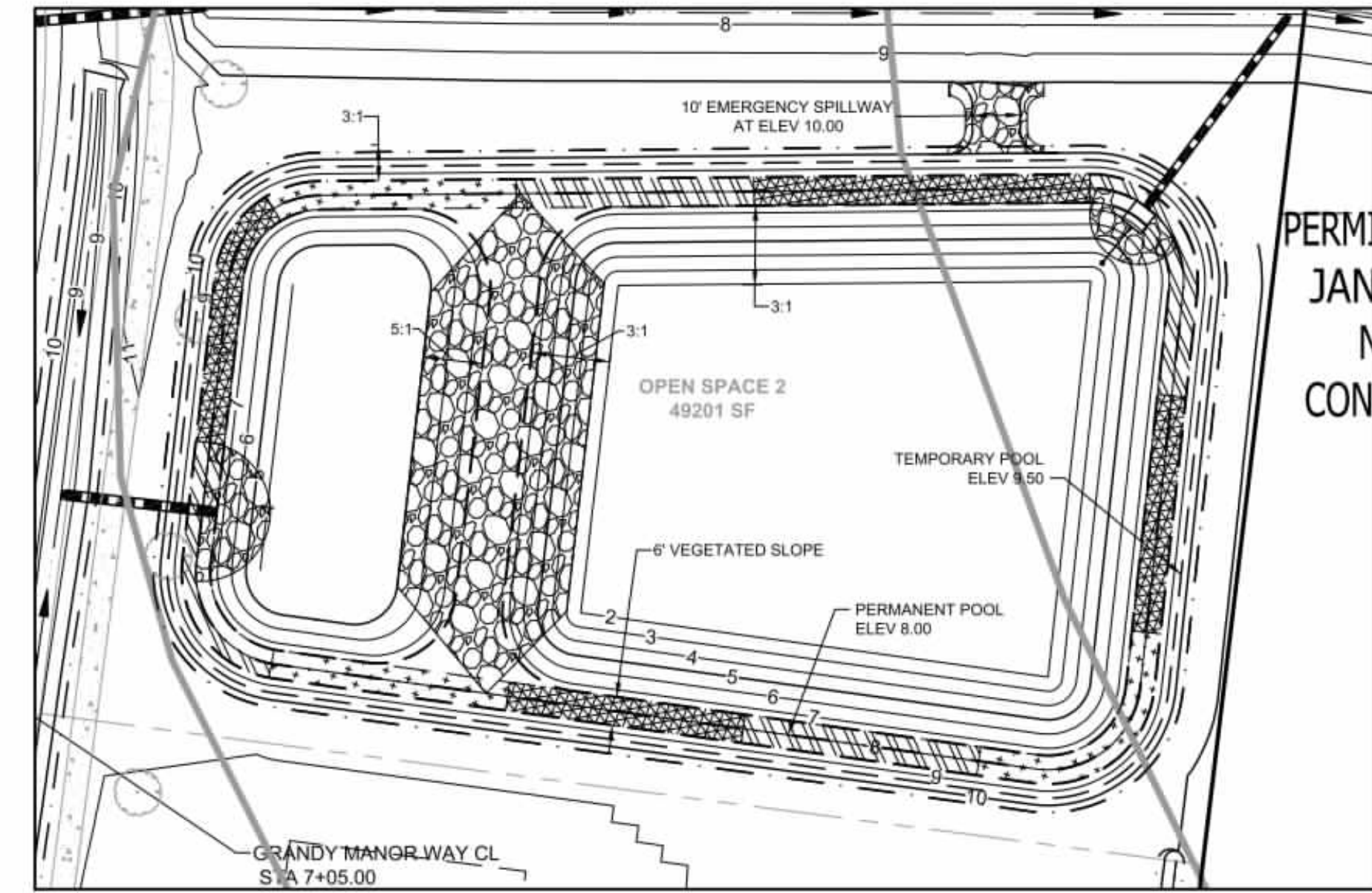
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**ONE SIDE DITCH CLEANOUT**  
NO SCALE



**TYPICAL DITCH/SWALE**  
NO SCALE



**STORMWATER POND 1 DETAIL**  
SCALE: 1" = 30'

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DATE

DATE

DRAWN BY

KTY

DESIGNED BY

KDH

CHECKED BY

KDH

SCALE

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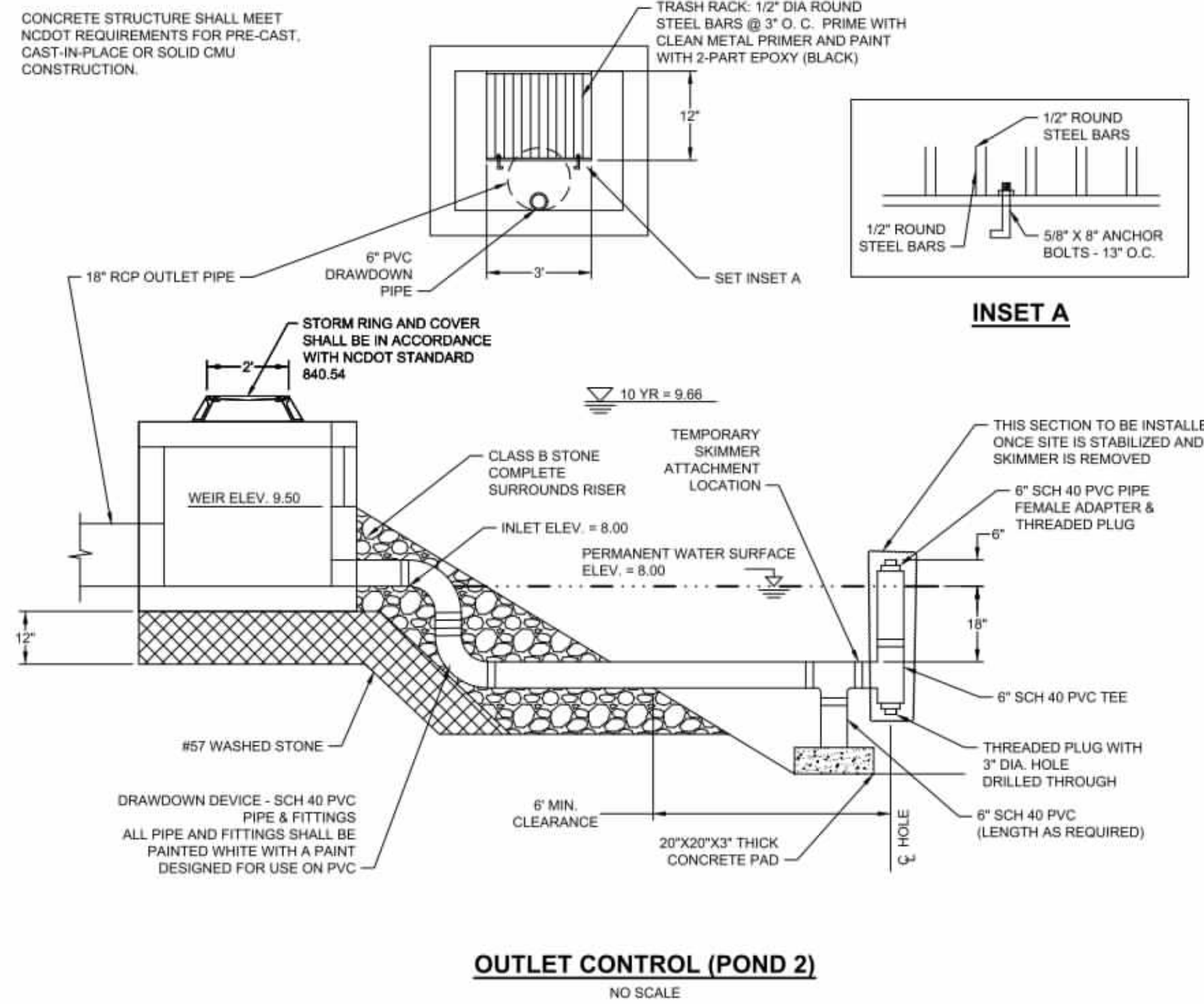
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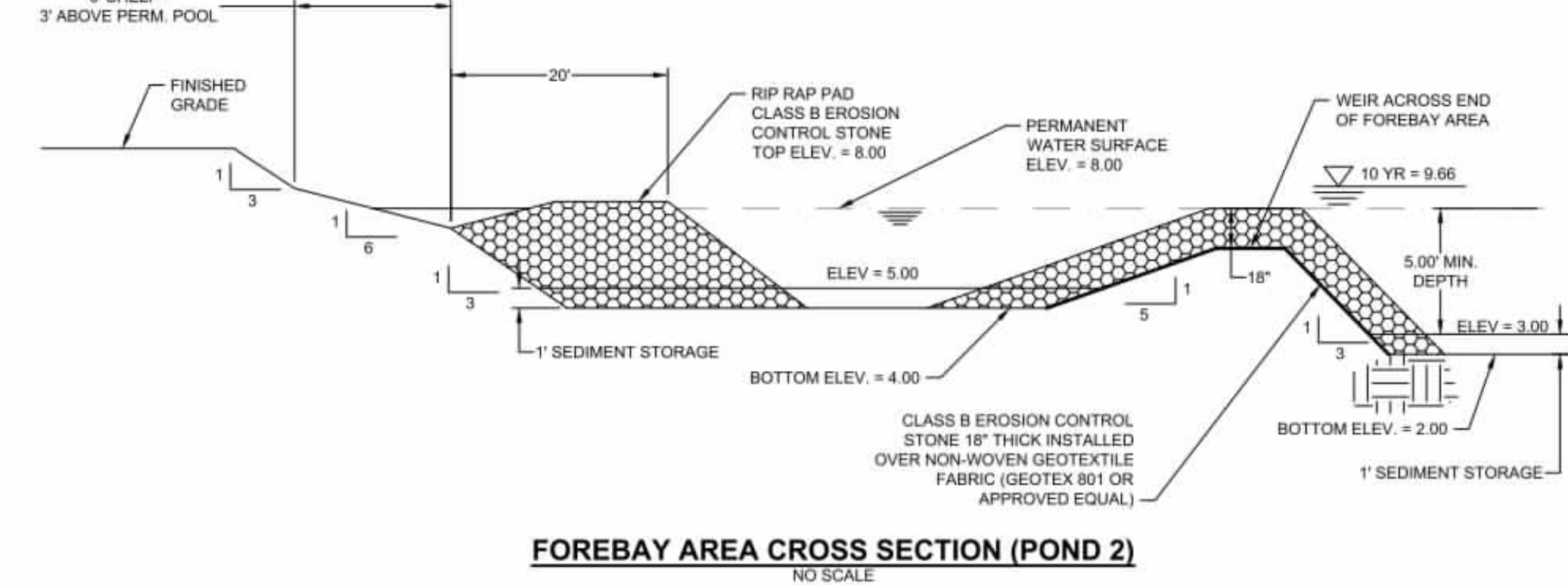
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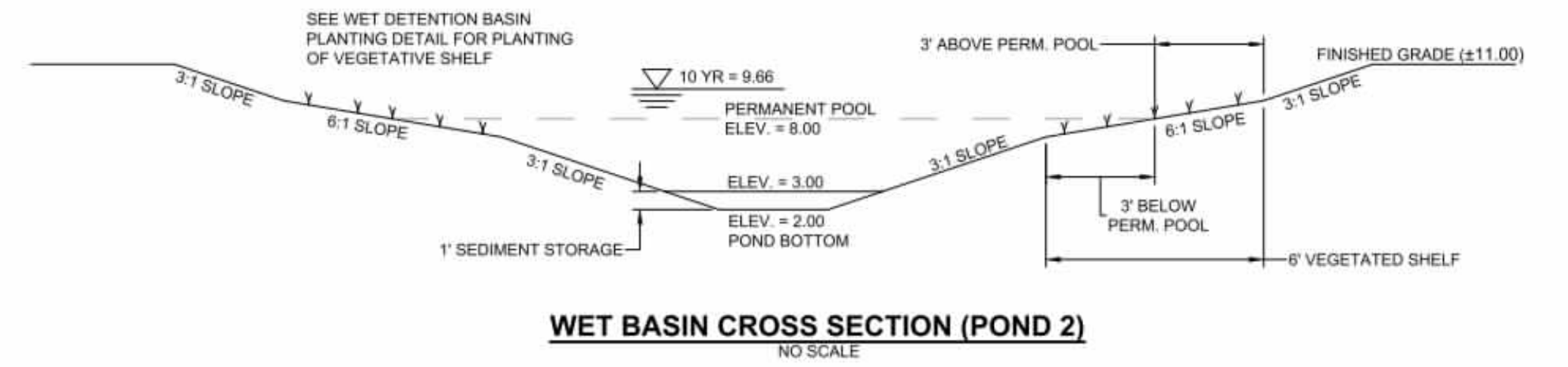
NO SCALE



**OUTLET CONTROL (POND 2)**  
NO SCALE



**FOREBAY AREA CROSS SECTION (POND 2)**  
NO SCALE



**WET BASIN CROSS SECTION (POND 2)**  
NO SCALE

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
STORMWATER DETAILS

YOUR VISION ACHIEVED THROUGH OURS.

JOB NO. 56469  
SHEET NO. C6.2

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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations. Rows include Perimeter dikes, High Quality Water (HQW) Zones, Slopes steeper than 3:1, Slopes 3:1 to 4:1, and Areas with slopes flatter than 4:1.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Table comparing Temporary Stabilization and Permanent Stabilization methods. Temporary includes hydroseeding, mulch, and straw. Permanent includes geotextiles, mulch, and permanent plantings.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction... 2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures... 3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants... 4. Provide ponding area for containment of treated stormwater before discharging offsite... 5. Store flocculants in leak-proof containers...

EQUIPMENT AND VEHICLE MAINTENANCE

- 1. Maintain vehicles and equipment to prevent discharge of fluids... 2. Provide drip pans under any stored equipment... 3. Identify leaks and repair as soon as feasible... 4. Collect all spent fluids, store in separate containers... 5. Remove leaking vehicles and construction equipment from service until the problem has been corrected... 6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center...

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- 1. Never bury or burn waste... 2. Provide a sufficient number and size of waste containers... 3. Locate waste containers at least 50 feet away from storm drain inlets... 4. Locate waste containers on areas that do not receive substantial amounts of runoff... 5. Cover waste containers at the end of each workday... 6. Anchor all lightweight items... 7. Empty waste containers as needed... 8. Dispose waste off-site at an approved disposal facility... 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

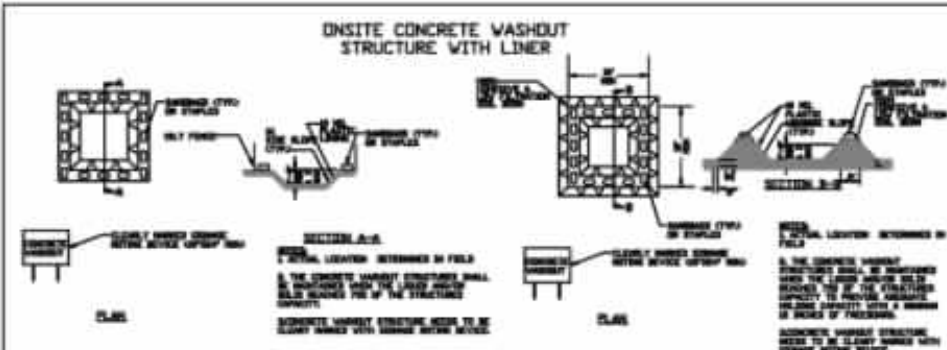
- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands... 2. Locate paint washouts at least 50 feet away from storm drain inlets... 3. Contain liquid wastes in a controlled area... 4. Containment must be labeled, sized and placed appropriately... 5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- 1. Install portable toilets on level ground, at least 50 feet away from storm drains... 2. Provide staking or anchoring of portable toilets during periods of high winds... 3. Monitor portable toilets for leaking and properly dispose of any leaked material... 4. Stabilize stockpile within the timeframes provided...

EARTHEN STOCKPILE MANAGEMENT

- 1. Show stockpile locations on plans... 2. Protect stockpile with silt fence... 3. Provide stable stone access point when feasible... 4. Stabilize stockpile within the timeframes provided...



CONCRETE WASHOUTS

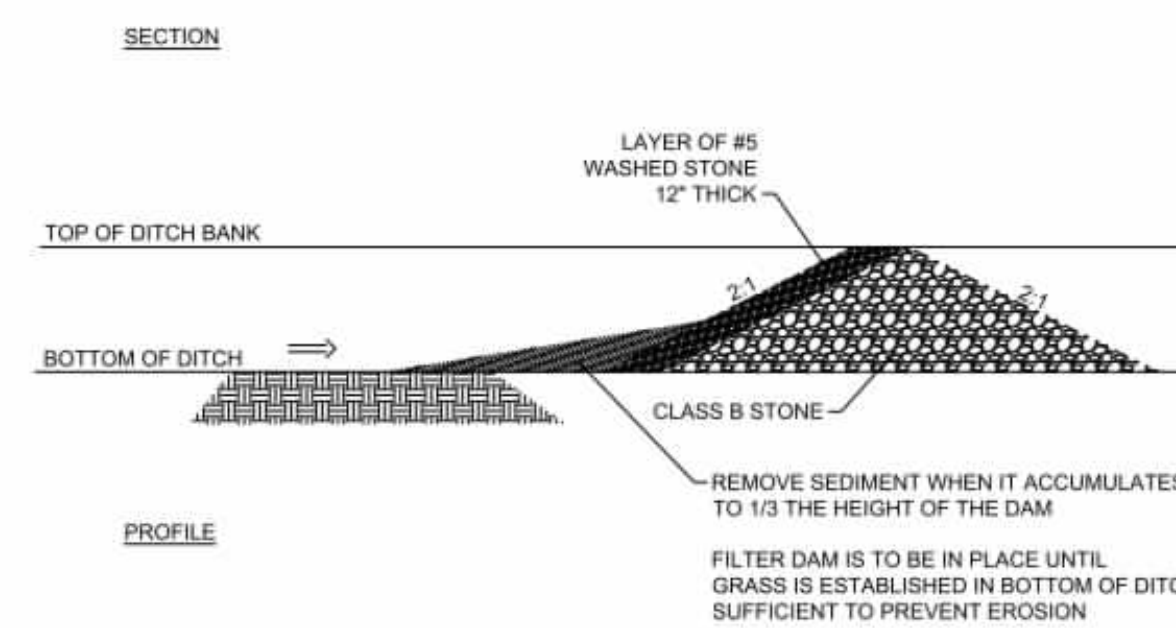
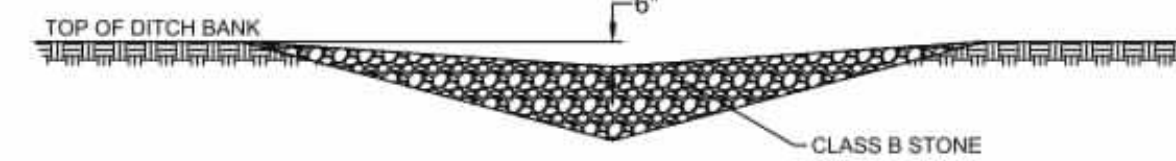
- 1. Do not discharge concrete or cement slurry from the site... 2. Dispose of, or recycle settled, hardened concrete residue... 3. Manage washout from mortar mixers... 4. Install temporary concrete washouts per local requirements... 5. Do not use concrete washouts for dewatering... 6. Locate washouts at least 50 feet from storm drain inlets... 7. Locate washouts in an easily accessible area... 8. Install at least one sign directing concrete trucks... 9. Remove leavings from the washout when at approximately 75% capacity... 10. At the completion of the concrete work, remove remaining leavings...

HERBICIDES, PESTICIDES AND RODENTICIDES

- 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions... 2. Store herbicides, pesticides and rodenticides in their original containers... 3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible... 4. Do not stockpile these materials onsite.

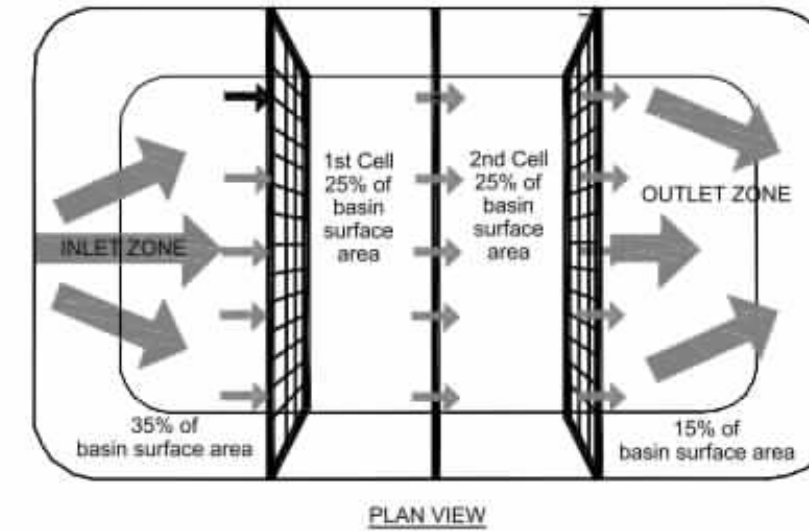
HAZARDOUS AND TOXIC WASTE

- 1. Create designated hazardous waste collection area on-site... 2. Place hazardous waste containers under cover or in secondary containment... 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.



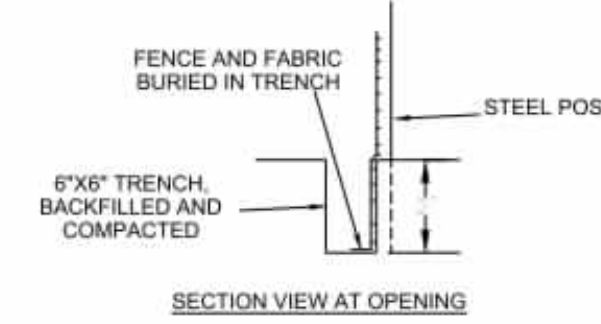
CHECK DAM

NO SCALE



COIR BAFFLES

NO SCALE

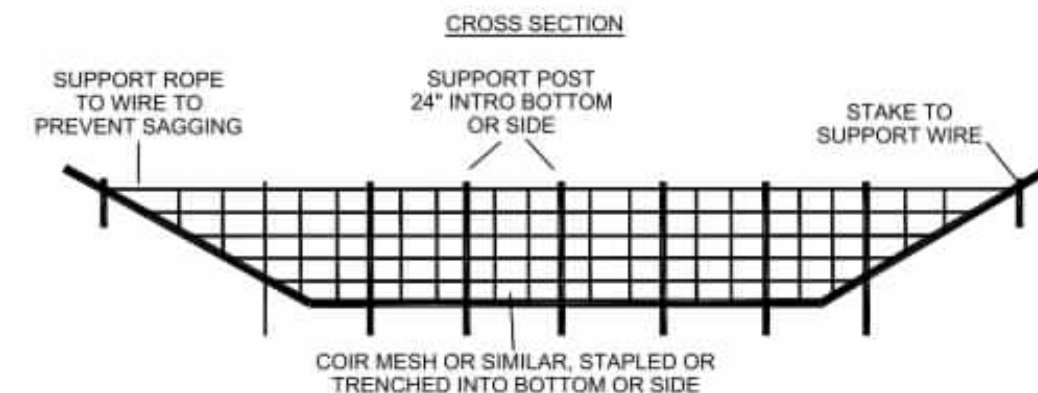


COIR BAFFLES

NO SCALE

NOTES:

- 1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE... 2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE 1ST BAY... 3. PROVIDE 3 BAFFLES USE TWO IF LESS THAN 20 FEET IN LENGTH... 4. BAFFLE SHALL BE 700 GMZ COIR EROSION BLANKET... 5. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS... 6. INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.



MAINTENANCE

INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. BE SURE TO MAINTAIN ACCESS TO THE BAFFLES... REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME... REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

CONSTRUCTION SEQUENCING

- 1. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS... 2. INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS... 3. UPON COMPLETION OF SKIMMER BASINS... 4. PERFORM SITE GRADING AND INSTALL UTILITIES... 5. INSTALL THE STONE BASE AND ASPHALT FOR THE PROPOSED PARKING... 6. PROVIDE GROUND COVER IN ACCORDANCE WITH DETAIL MARKED 'EROSION CONTROL MEASURES'... 7. MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES... 8. PERIMETER MEASURES MUST BE LEFT IN PLACE UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED... 9. UPON NCEQ APPROVAL, SKIMMER, AND BAFFLES SHALL BE REMOVED...

EROSION CONTROL MEASURES

NO SCALE

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day...

Table with 3 columns: Inspect, Frequency, and Inspection records must include. Rows include Rain gauge, E&S Measures, Stormwater discharge outfalls (SDCs), Preventer of site, Streams or wetlands on-site, and Ground stabilization measures.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit...

Table with 3 columns: Item to Document, Documentation Requirements, and Reporting. Rows include E&S plan, Grading, Ground cover, Maintenance and repair, and Corrective actions.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible...

- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal... (b) The non-surface withdrawal has been reported as an anticipated bypass... (c) Dewatering discharges are treated with controls to minimize discharges... (d) Vegetated, upland areas of the sites or a properly designed stone pad is used... (e) Velocity sedimentation devices such as check dams, sediment traps, and riprap... (f) Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

- 1. Occurrences that Must be Reported: (a) Visible sediment deposition... (b) Oil spills... (c) Releases of hazardous substances... (d) Anticipated bypasses... (e) Noncompliance with the conditions of this permit... 2. Reporting Timeframes and Other Requirements: (a) Anticipated bypasses... (b) Oil spills and release of hazardous substances... (c) Unanticipated bypasses... (d) Noncompliance with the conditions of this permit... (e) Division staff may waive the requirement for a written report...

Table with 3 columns: Occurrence, Reporting Timeframes (After Discovery) and Other Requirements. Rows include Visible sediment deposition, Oil spills, Hazardous substances, Unanticipated bypasses, and Noncompliance.



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19



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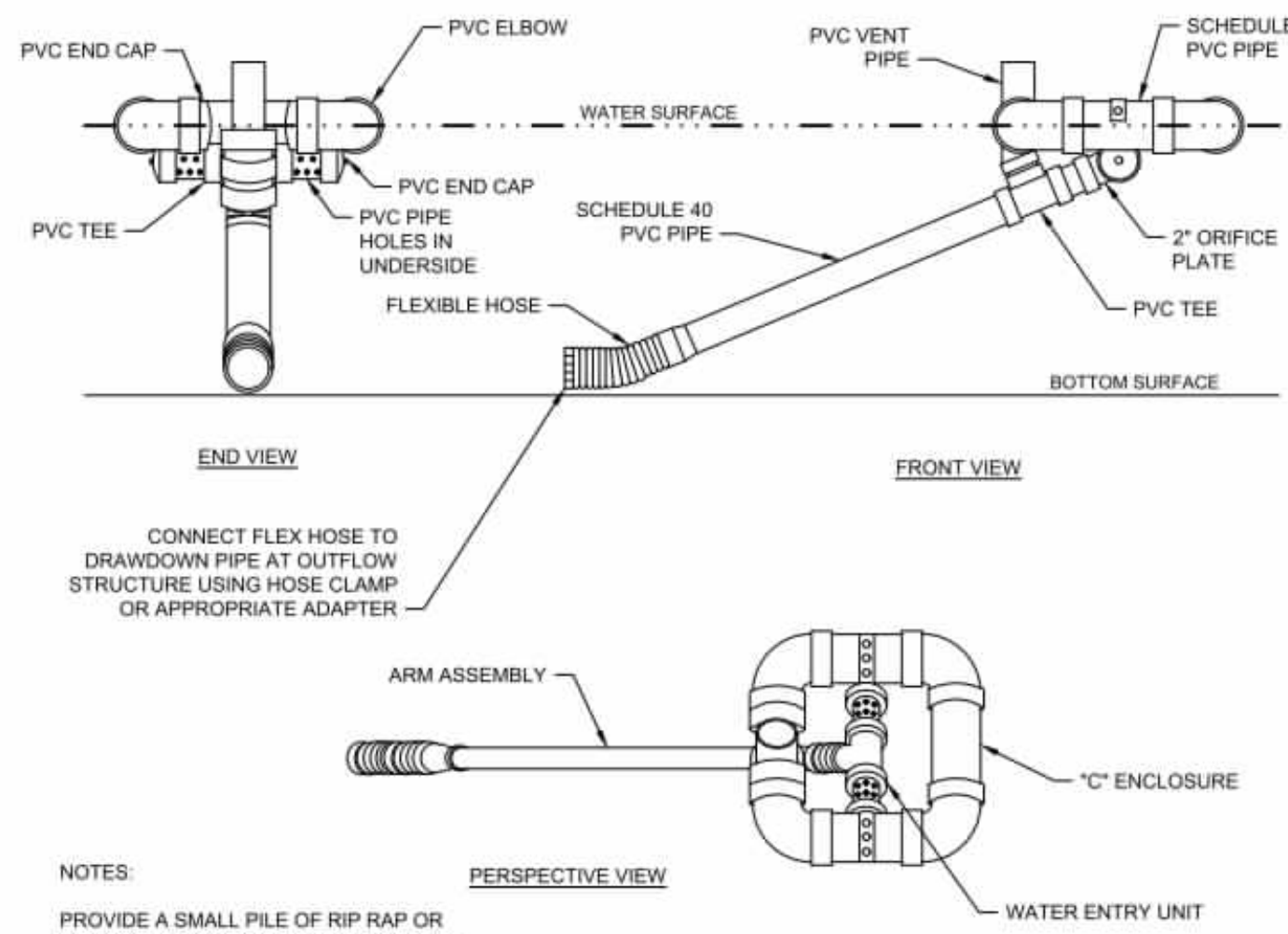
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YOUR VISION ACHIEVED THROUGH OURS.

Table with 2 columns: DATE and DRAWN BY. Includes dates 01/27/2026 and names KTY, KDH.

Large vertical logo for TIMMONS GROUP, NORTH CAROLINA LICENSE NO. C-1652. Includes address: GRANDY MANOR SUBDIVISION, POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA. Also includes a small table with JOB NO. 56469 and SHEET NO. C6.3.

Small vertical text on the far left edge of the page, likely a reference or file name.



NOTES:  
 PROVIDE A SMALL PILE OF RIP RAP OR CONCRETE MASONRY BLOCK DIRECTLY BELOW SKIMMER TO PREVENT SKIMMER FROM RESTING ON SOIL.  
 ALL SCHEDULE 40 PVC PIPE & FITTINGS SHALL BE 4" (SKIMMER BASIN 1) AND 3" (SKIMMER BASIN 2) MIN. DIA.  
 SKIMMER TO BE TETHERED.

SEE N.C. DENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR CONDITIONS WHERE PRACTICE APPLIES. PLANNING CONSIDERATION & DESIGN CRITERIA.

**SKIMMER**  
NO SCALE

**PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN**

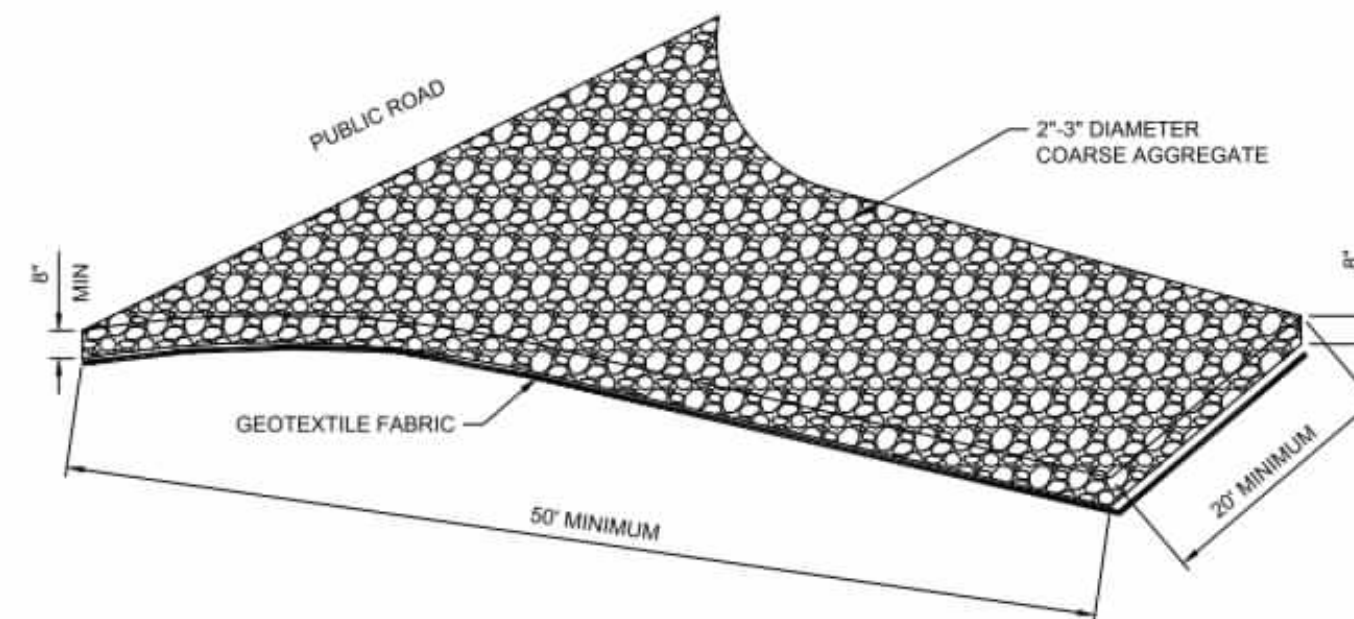
DATE	TYPE	BROADCAST SEEDING RATES
SEP 1 - MAR 31	COMMON BERMUDA 'SAHARA' (UNHILLED) REBEL II FESCUE	130 LBS/ACRE 175 LBS/ACRE
APR 1 - AUG 31	COMMON BERMUDA 'SAHARA' (HILLED) REBEL II FESCUE	90 LBS/ACRE 175 LBS/ACRE
AUG 15 - APR 30	PERENNIAL RYE (AS A NURSE PLANT)	40 LBS/ACRE IN ADDITION TO OTHER SEED TYPES

**TEMPORARY SEEDING SCHEDULE**

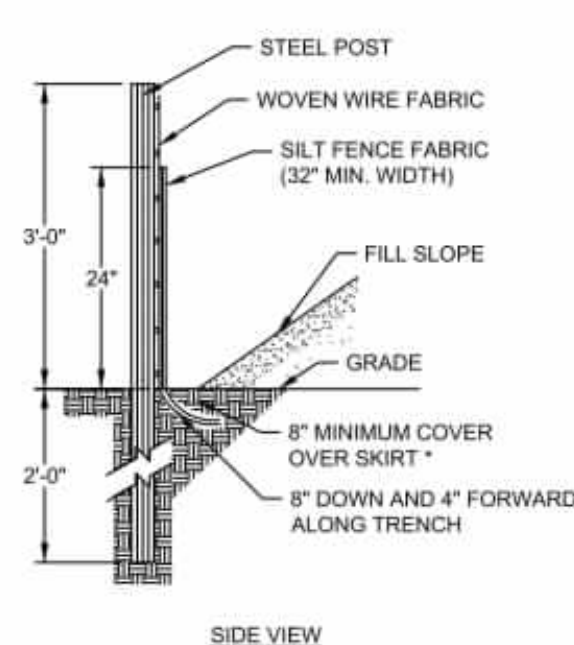
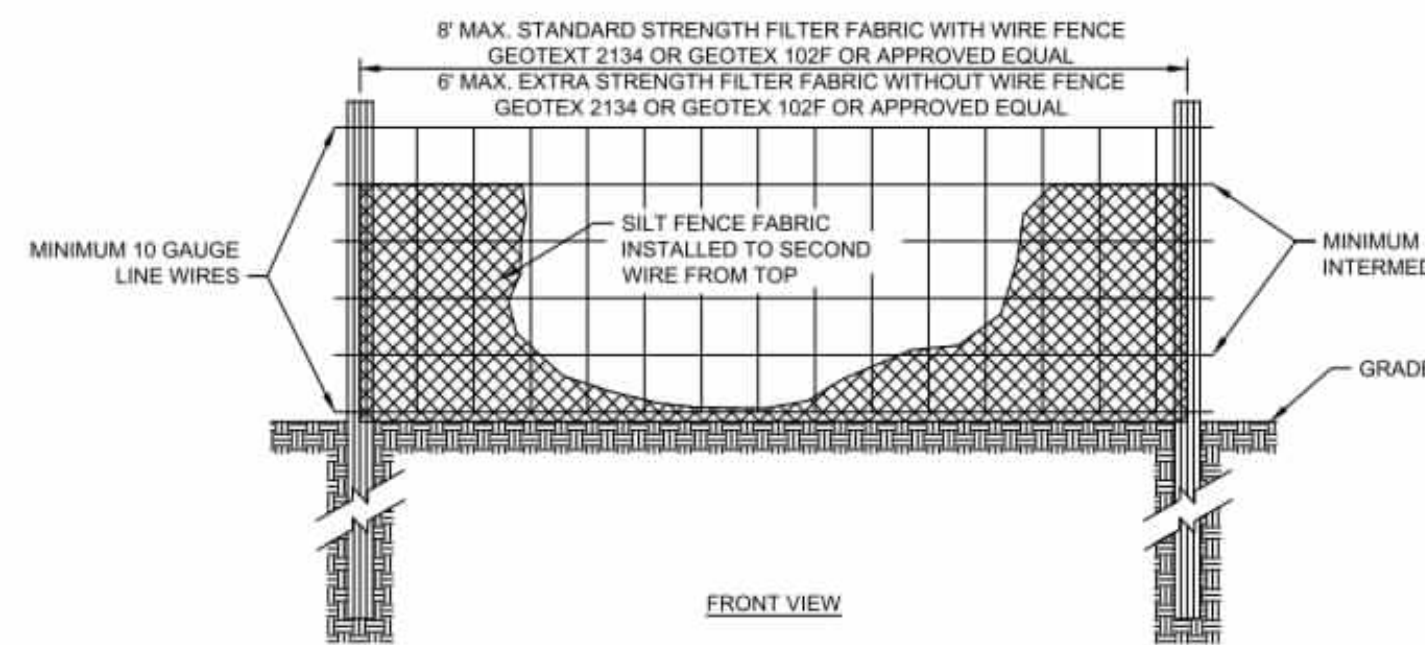
DATE	TYPE	PLANTING RATES
APR 15 - AUG 15	GERMAN MILLET	40 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	120 LBS/ACRE

**CONSTRUCTION SPECIFICATIONS:**  
 1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, AND PROPERLY GRADE IT.  
 2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLAN.  
 3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.  
 4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

**MAINTENANCE**  
 MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TWO-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**  
NO SCALE



**CONSTRUCTION SPECIFICATIONS**  
 1. USE SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461.  
 2. SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0-120 DEGREES F.  
 3. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.33 LB/LF STEEL WITH A MINIMUM LENGTH OF 5'. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.  
 4. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 14 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

**MAINTENANCE**  
 1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.  
 2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.  
 3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.  
 4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

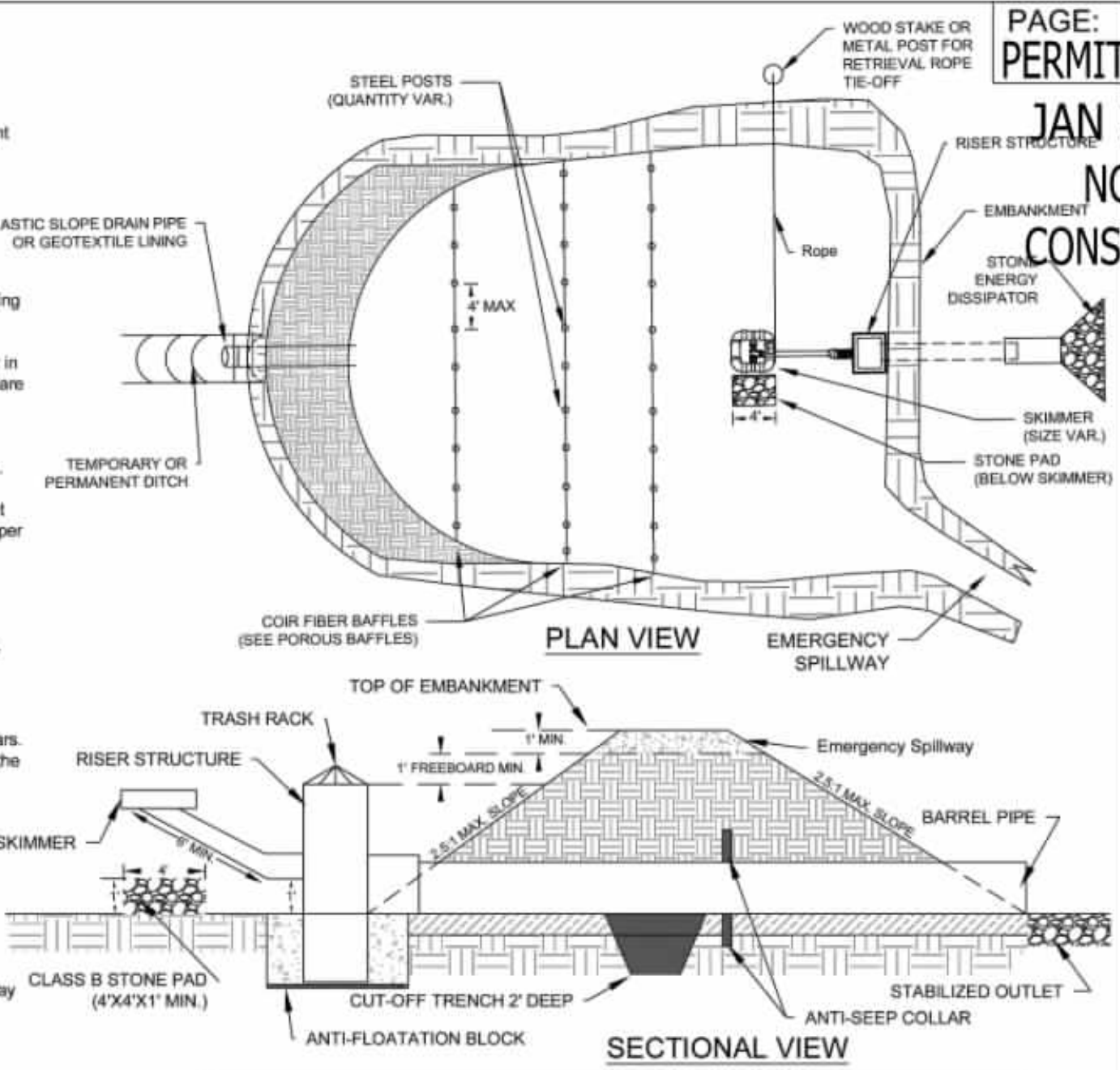
**SILT FENCE**  
NO SCALE

DATE:

**NOTES:**  
 1. Install temporary sediment basins to the approved design. If the basin will eventually be converted to a permanent SCM device, the basin must function as a temporary sediment basin and meet the following parameters until completion of the project:  
 • Maximum Drainage Area: 100 acres  
 • Minimum Sediment Storage Volume: 1800 cubic feet per acre of disturbed area  
 • Minimum Surface Area: 435 square feet per cfs of  $Q_{10}$  peak inflow  
 • Minimum dewatering time: 48 hours  
 2. Clear, grub, and strip topsoil from areas under the embankment to remove trees, vegetation, roots, and other objectionable material. Delay clearing the pool area until the dam is complete. Stockpile all topsoil or soil containing organic matter for use on the outer shell of the embankment to facilitate vegetative establishment.  
 3. Place temporary sediment control measures below the basin and stockpile as needed.  
 4. Excavate a cut-off trench along the center line of the earth fill embankment. Cut trench to stable soil material, but in no case make it less than 2 feet deep with maximum side slopes no steeper than 1:1. Compaction requirements are the same as those for the embankment.  
 5. Extend the cut-off trench into both abutments to at least the elevation of the riser crest.  
 6. Keep the trench dry during backfilling and compaction operations.  
 7. Fill material should be clean mineral soil, free of roots, woody vegetation, rocks, and other objectionable material. Areas of approved fill should be shown on the plans.  
 8. Scarify areas on which fill is to be placed prior to placing. Ensure that fill material contains sufficient moisture so it can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction.  
 9. Place fill material in 6 to 8 inch continuous layers over the entire length of fill area and compact.  
 10. Construct the embankment to an elevation 10% higher than the design height to allow for settling.  
 11. Securely attach the riser to the barrel or barrel stub to make a watertight structural connection. All connections should be made using approved watertight assemblies.  
 12. If no riser structure is to be used, couple the skimmer arm directly into the embankment 1 foot from the bottom of the basin.  
 13. The arm pipe connecting the skimmer to the riser shall have a minimum length of 6 feet.  
 14. Place barrel and riser on a firm, smooth foundation of impervious soil.  
 15. Do not use porous material such as sand, gravel, or crushed stone as backfill around the pipe or anti-seep collar.  
 16. Place fill material around the pipe spillway in 4-inch layers, and compact it under and around the pipe to at least the same density as the adjacent embankment.  
 17. Place a minimum depth of 2 feet of compacted backfill over the pipe spillway before crossing it with any construction equipment.  
 18. Anchor riser in place by concrete or other satisfactory means to prevent flotation.  
 19. In no case should the pipe conduit be installed by cutting a trench through the dam after the embankment is complete.  
 20. Install the emergency spillway in undisturbed soil.  
 21. Discharge water into the basin in a manner to prevent erosion.  
 22. Construct basin so that the disturbed area is minimized, divert surface water from bare areas and complete the embankment before the area is cleared.  
 23. Stabilize the emergency spillway embankment and all other disturbed area above the crest of the principal spillway immediately after construction.  
 24. Seed and place matting for erosion control on interior and exterior side slopes.  
 25. Install Porous Baffles as specified on following sheets.

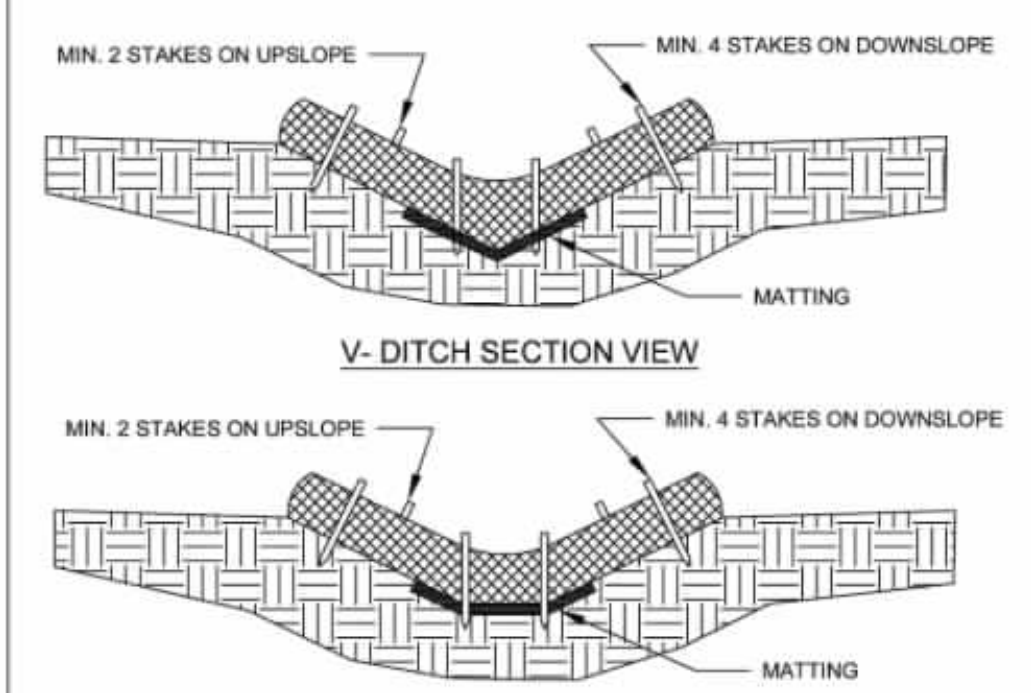
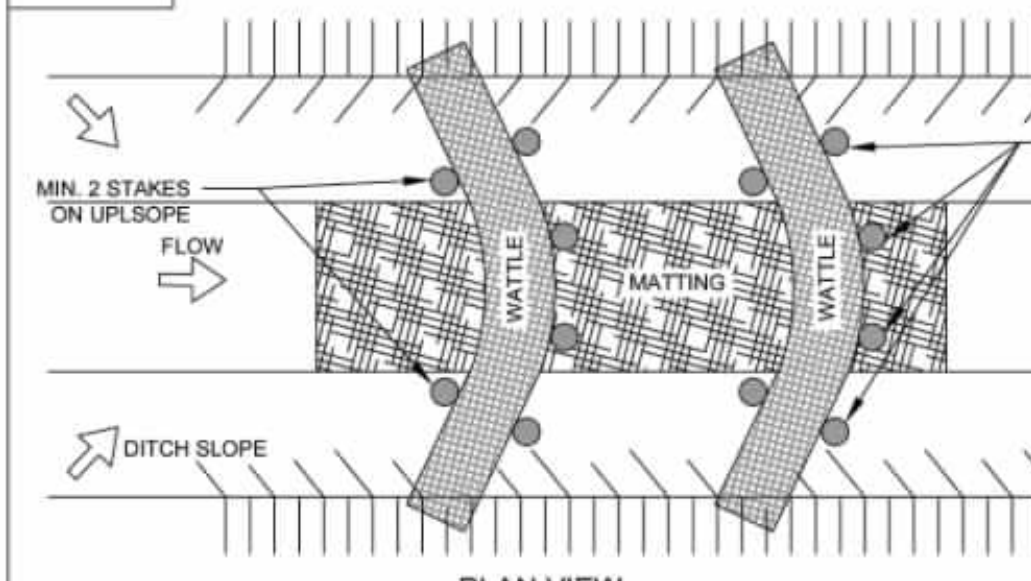
**MAINTENANCE**  
 1. Inspect all measures at least weekly and after each rainfall of 1.0 inch or greater. Make any repairs immediately.  
 2. Remove sediment and restore basin to its original dimensions when it accumulates to one-half the design depth.  
 3. Place removed sediment in an area with sediment control measures to ensure no loss of sediment off-site.  
 4. Check the embankment, spillways, and outlet for erosion damage, and inspect the embankment for piping and settlement.  
 5. Remove all trash and other debris from the riser and pool area.

**SEDIMENT BASIN**



Effective Date: 9/1/2023  
 In accordance with the 2013 Design Manual Updates

DATE:



**NOTES:**  
 1. Other materials providing equivalent protection against erosive velocities may be substituted for compost use in silt socks or wattles.  
 2. Fill silt sock/wattle netting uniformly to the desired length such that logs do not deform.  
 3. Use 24 inch long wooden stakes with a 2 inch x 2 inch nominal cross section.  
 4. Install silt sock/wattle(s) to a height on slope so flow will not wash around silt sock/wattle and scour slopes, or as directed.  
 5. Install a minimum of two up-slope stakes and four down-slope stakes at an angle to wedge silt sock/wattle to ground at bottom ditch. Use staples to secure silt sock/wattle to the ground to prevent undermining.  
 6. The use of flocculants such as Polyacrylamide (PAM) is recommended. Apply flocculants on top of sock/wattle and to matting on either side of sock/wattle according to manufacturer recommended rates. Reapply after each 1.0 inch rainfall.

**MAINTENANCE:**  
 1. Inspect all measures weekly and after each rainfall of 1.0 inch or greater. Remove accumulated sediment and any debris.  
 2. Silt sock/Wattle(s) must be replaced if clogged or torn.  
 3. If ponding becomes excessive, the silt sock/wattle may need to be replaced with a larger diameter or a different measure.  
 4. Reinstall if damaged or dislodged.  
 5. Silt socks/Wattles shall be inspected until land disturbance is complete and the area above the measure is permanently stabilized.

**SILT SOCK / WATTLE FOR CHECK DAM**

Effective Date: 9/1/2023  
 In accordance with the 2013 Design Manual Updates



PAGE: PERMIT DRAWINGS  
 JAN 27, 2026  
 NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE  
 ELIZABETH CITY OFFICE  
 1805 West City Drive, Unit E, Elizabeth City, NC 28599  
 TEL 252.621.3930 FAX 252.562.6974 www.timmons.com

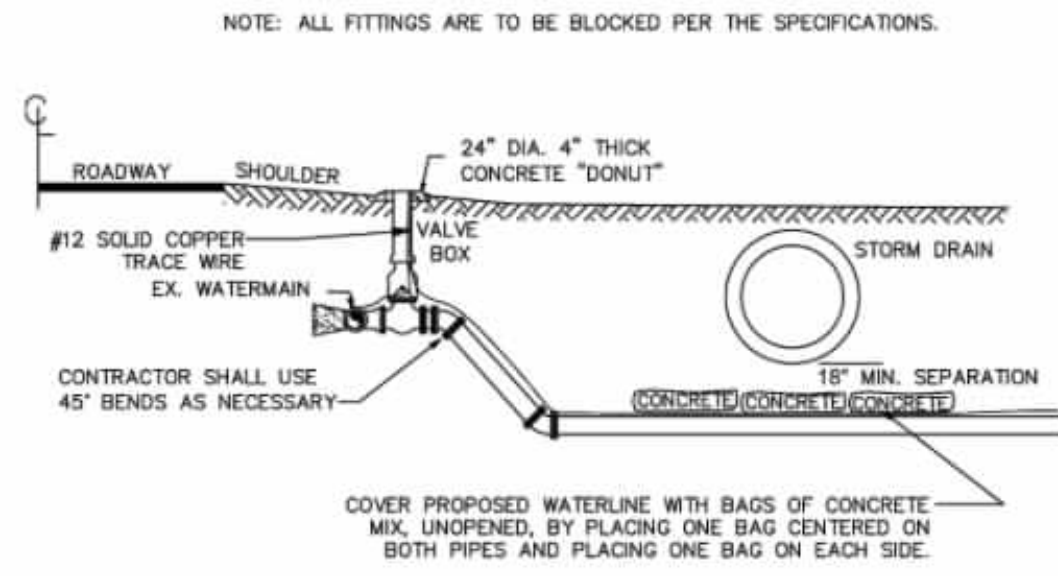
YOUR VISION ACHIEVED THROUGH OURS.

DATE	DESCRIPTION
01/27/2026	DRAWN BY KTY
	DESIGNED BY KDH
	CHECKED BY KDH
	SCALE NO SCALE

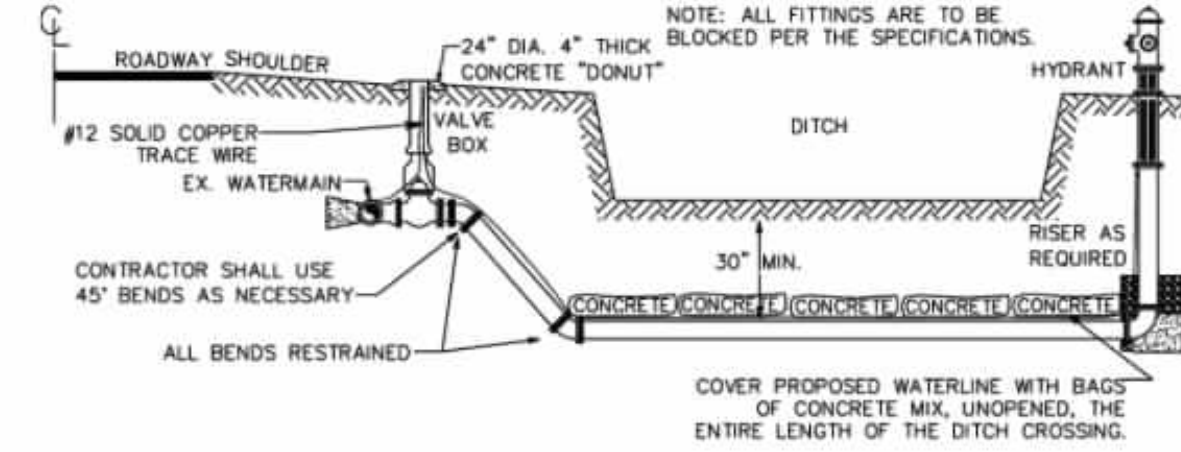
**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652  
 GRANDY MANOR SUBDIVISION  
 POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
 EROSION & SEDIMENT CONTROL DETAILS

JOB NO. 56469  
 SHEET NO. C6.4

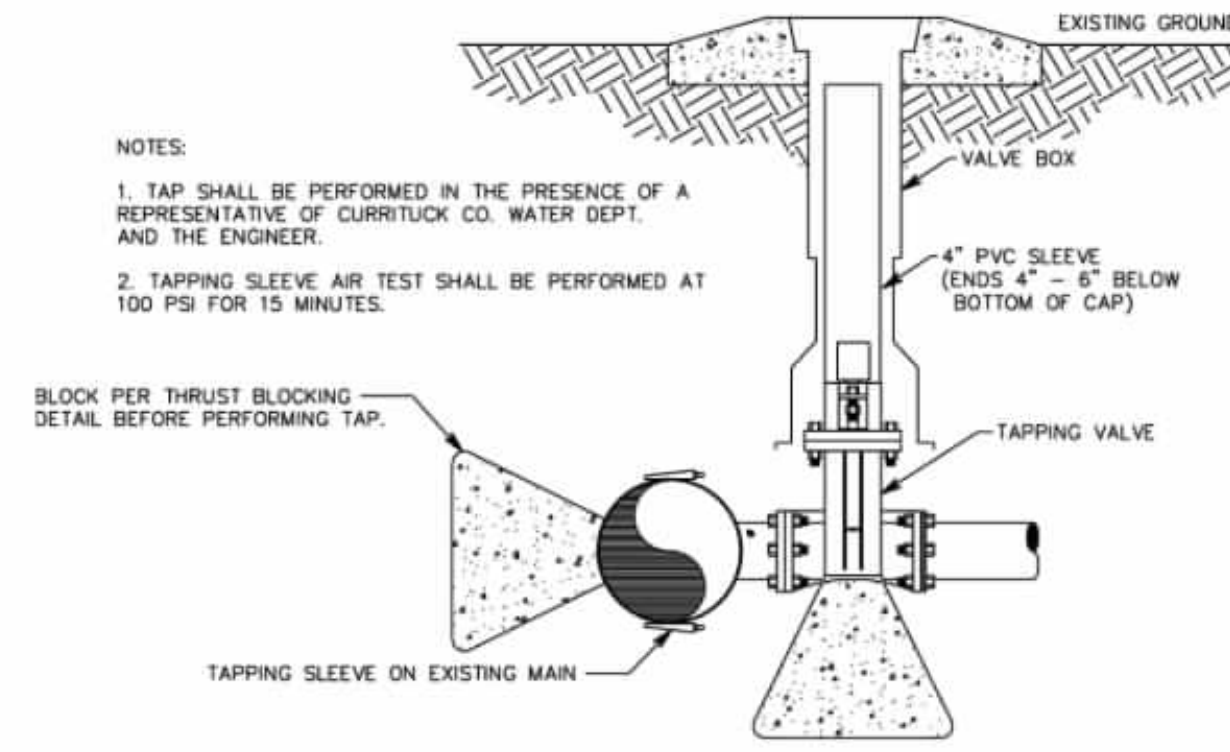
S:\109\56469 - Grandy Manor - Poplar Branch, NCDIV\Sheet\CD\56469C-C6.3 - DEROS.dwg | Plotted on 1/27/2026 3:15 PM | by Kim Hamby



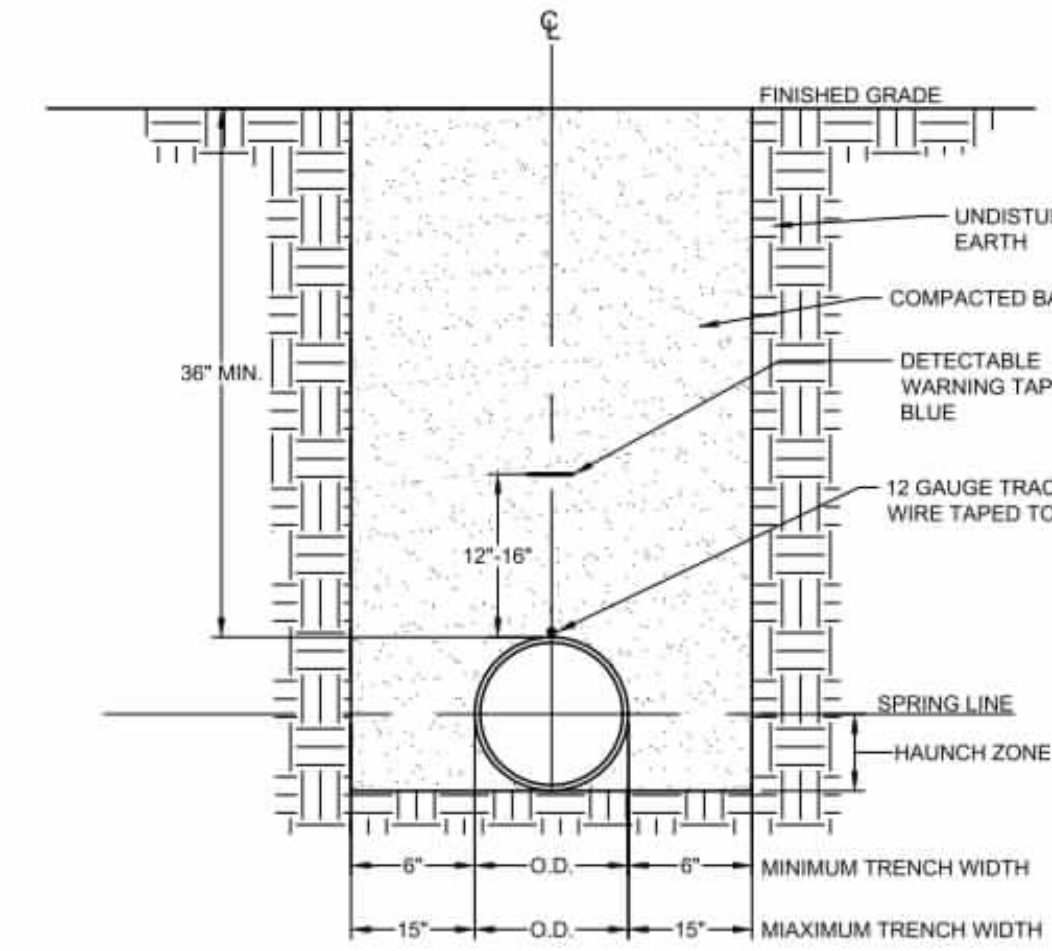
**CULVERT CROSSING DETAIL**  
NTS



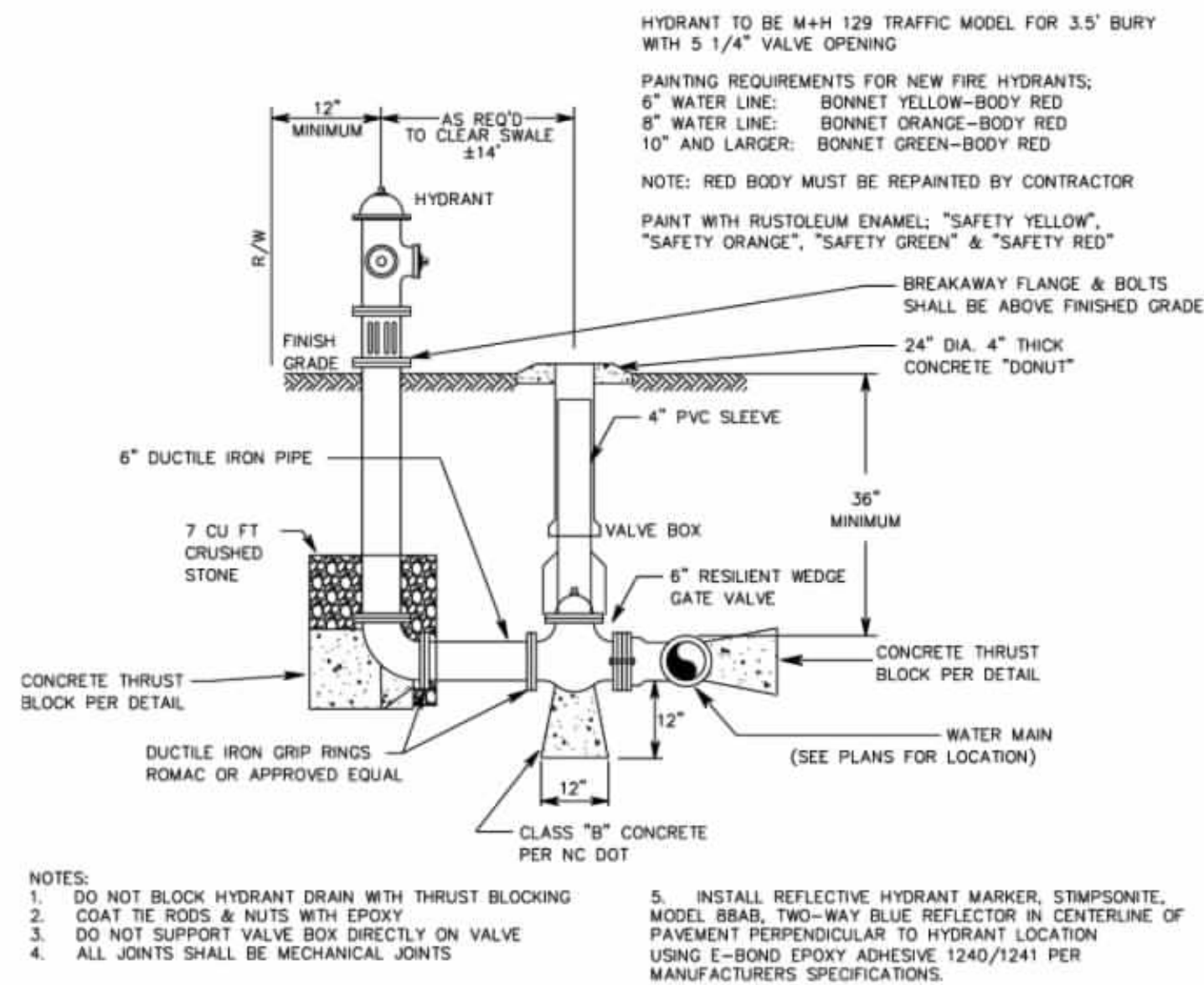
**DITCH CROSSING DETAIL**  
NTS



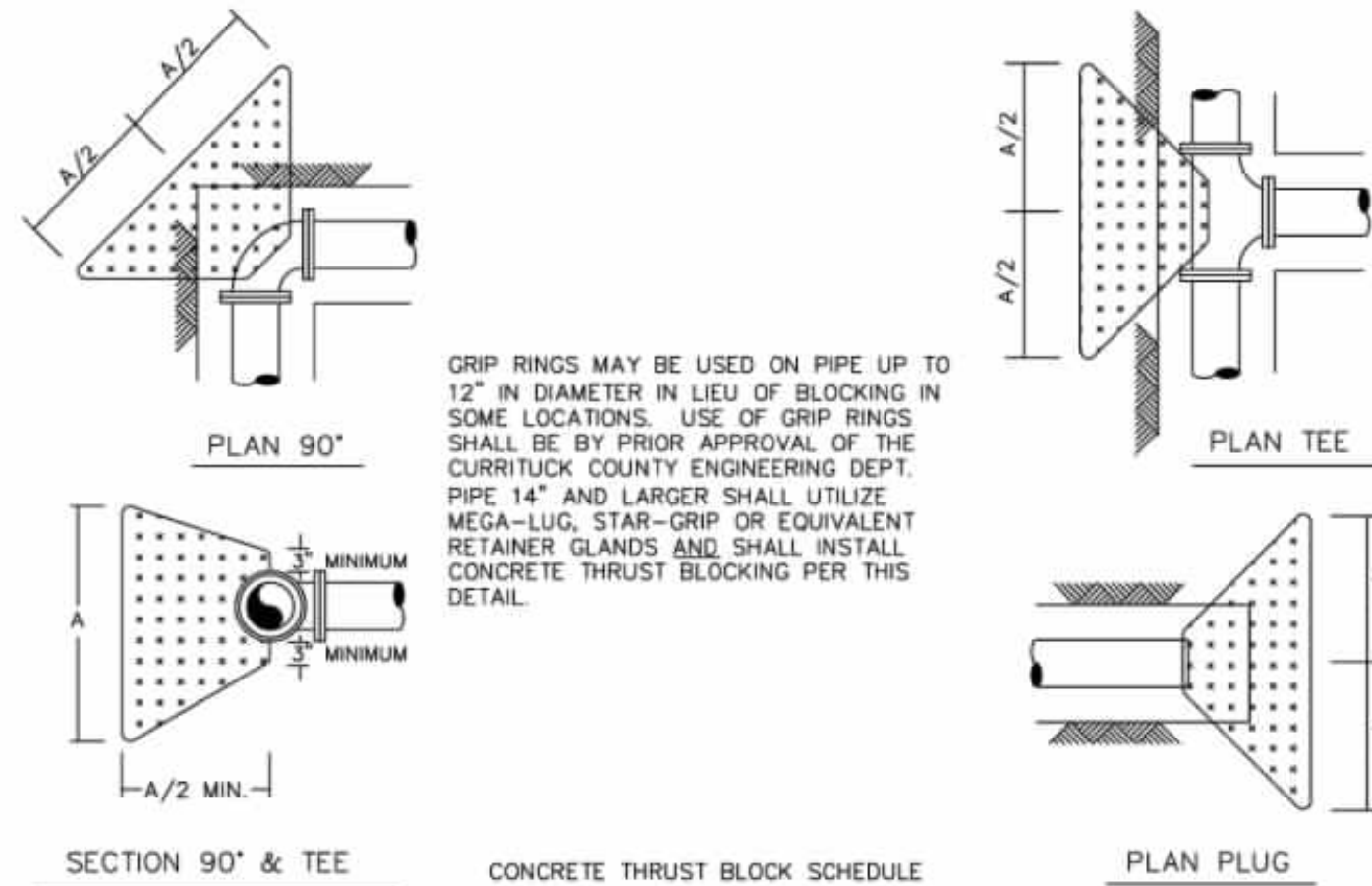
**TAPPING DETAIL**  
NTS



**TYPICAL WATERLINE TRENCH DETAIL**  
NO SCALE



**FIRE HYDRANT DETAIL**  
NTS

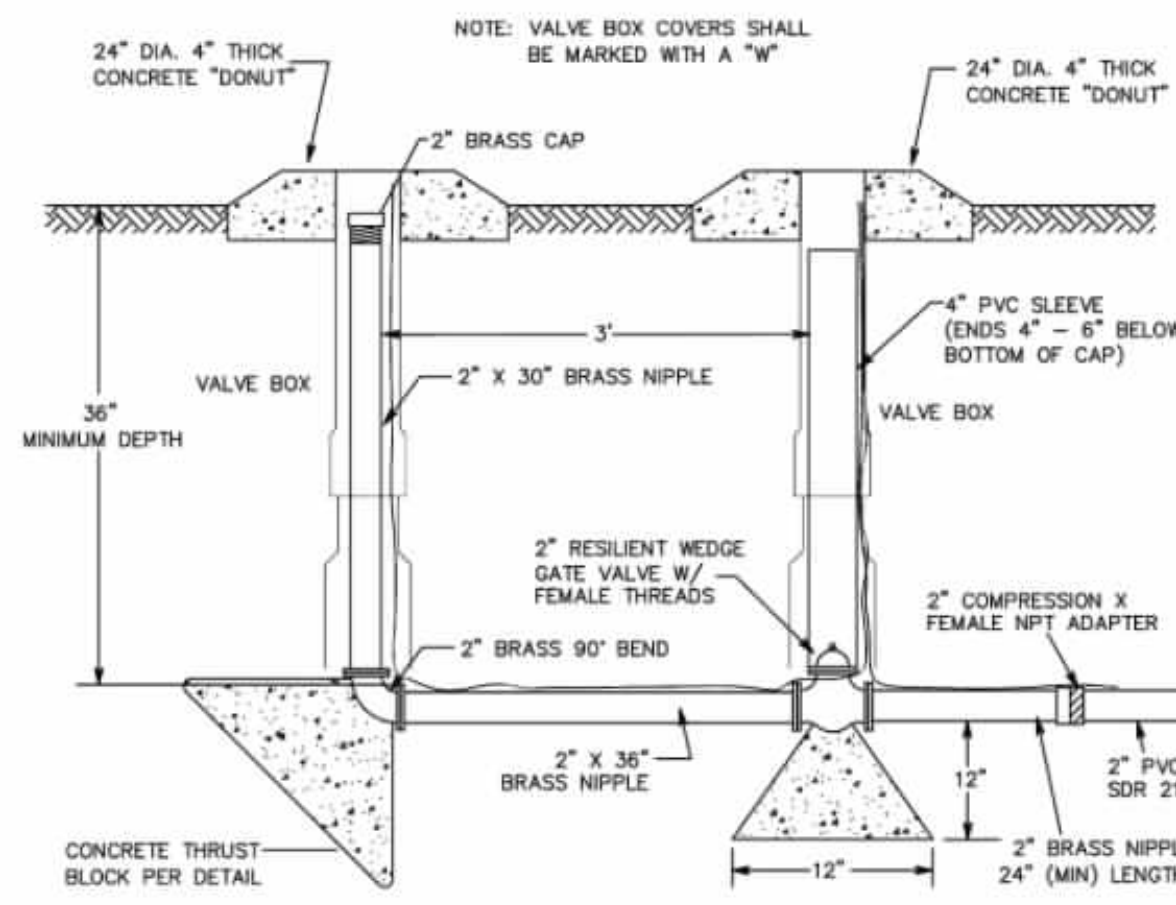


GRIP RINGS MAY BE USED ON PIPE UP TO 12" IN DIAMETER IN LIEU OF BLOCKING IN SOME LOCATIONS. USE OF GRIP RINGS SHALL BE BY PRIOR APPROVAL OF THE CURRITUCK COUNTY ENGINEERING DEPT. PIPE 14" AND LARGER SHALL UTILIZE MEGA-LUG, STAR-GRIP OR EQUIVALENT RETAINER GLANDS AND SHALL INSTALL CONCRETE THRUST BLOCKING PER THIS DETAIL.

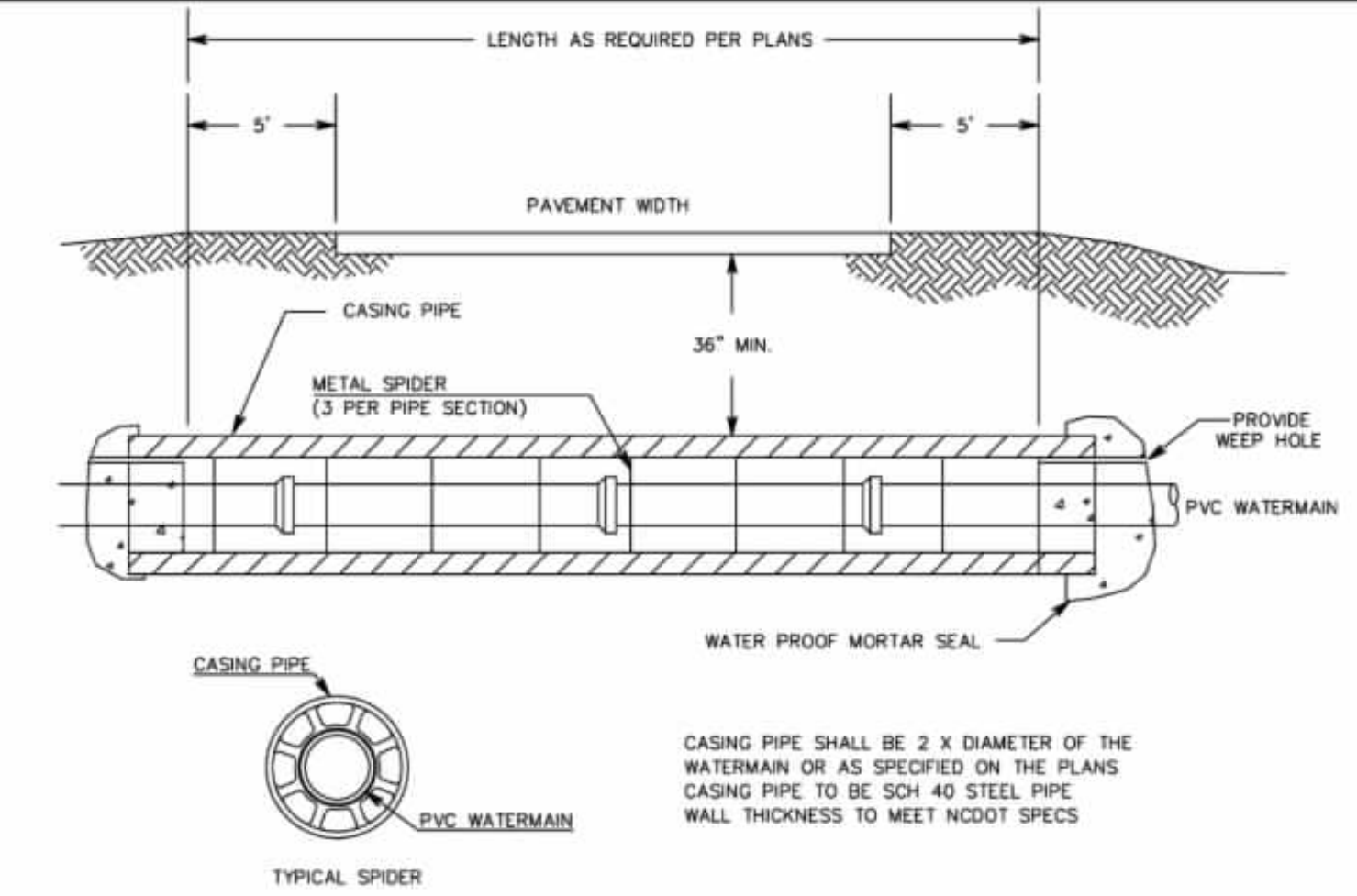
FITTING	PIPE SIZE (NOM. DIA. IN INCHES)									
	2"	4"	6"	8"	10"	12"	16"	18"	20"	24"
TEE	1.6	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
90° BEND	1.5	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
45° BEND	1.0	1.4	2.1	2.8	3.5	4.3	5.5	6.2	6.9	7.7
22 1/2° BEND	.8	1.0	1.5	2.0	2.5	3.1	4.0	4.5	4.9	5.5

TABLE "A" DIMENSIONS (IN FEET)

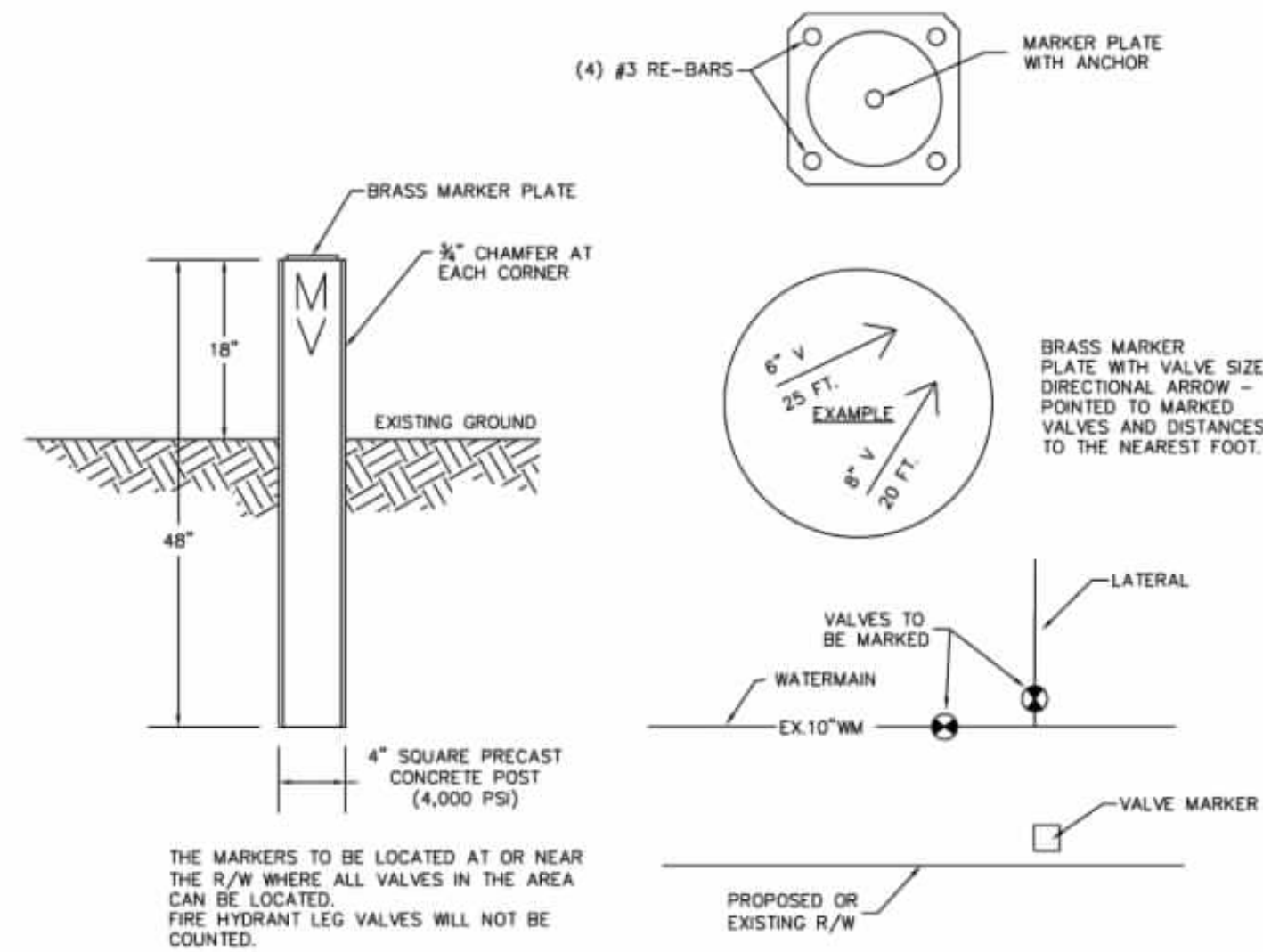
**THRUST BLOCK DETAIL**  
NTS



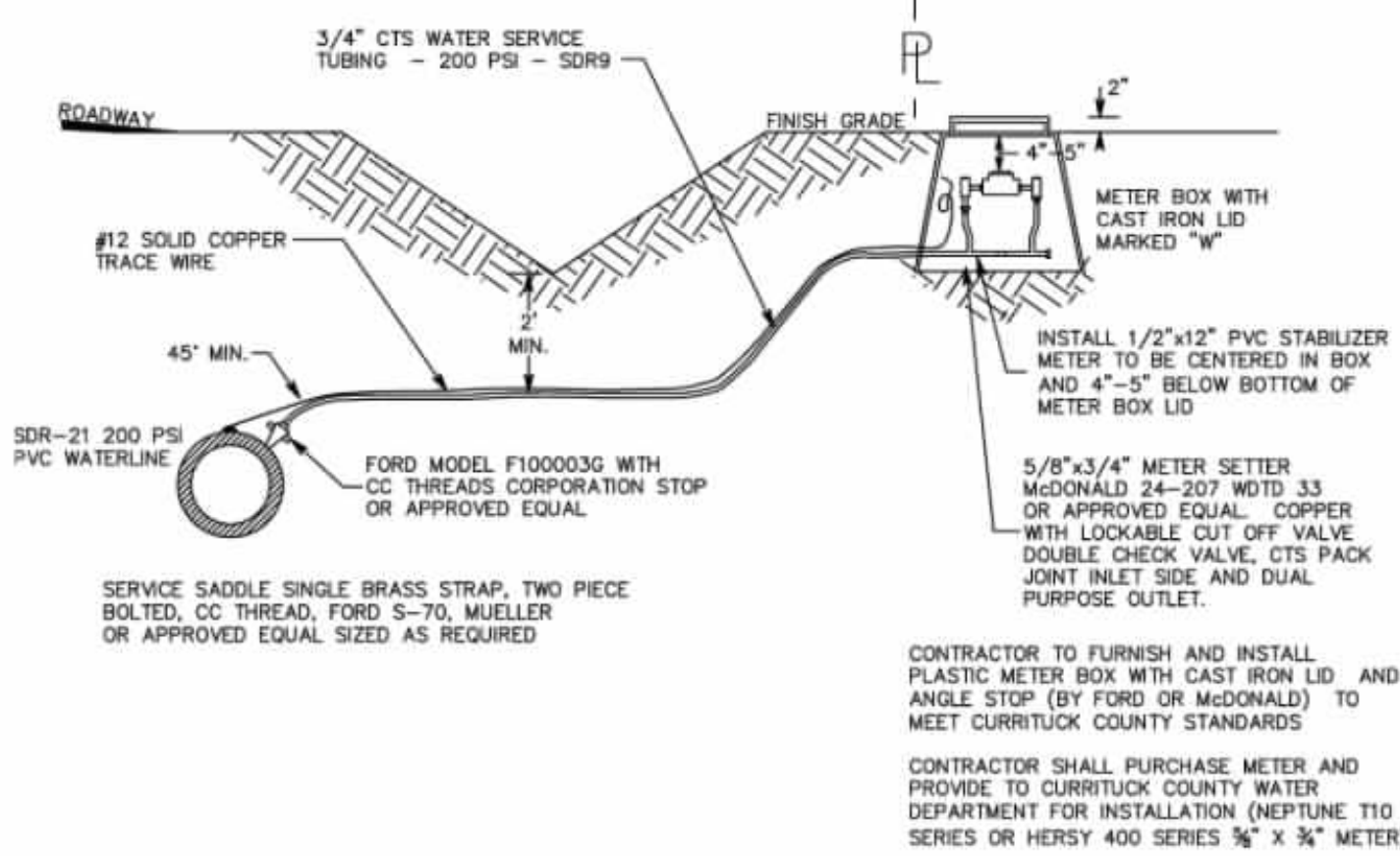
**2" BLOW-OFF DETAIL**  
NTS



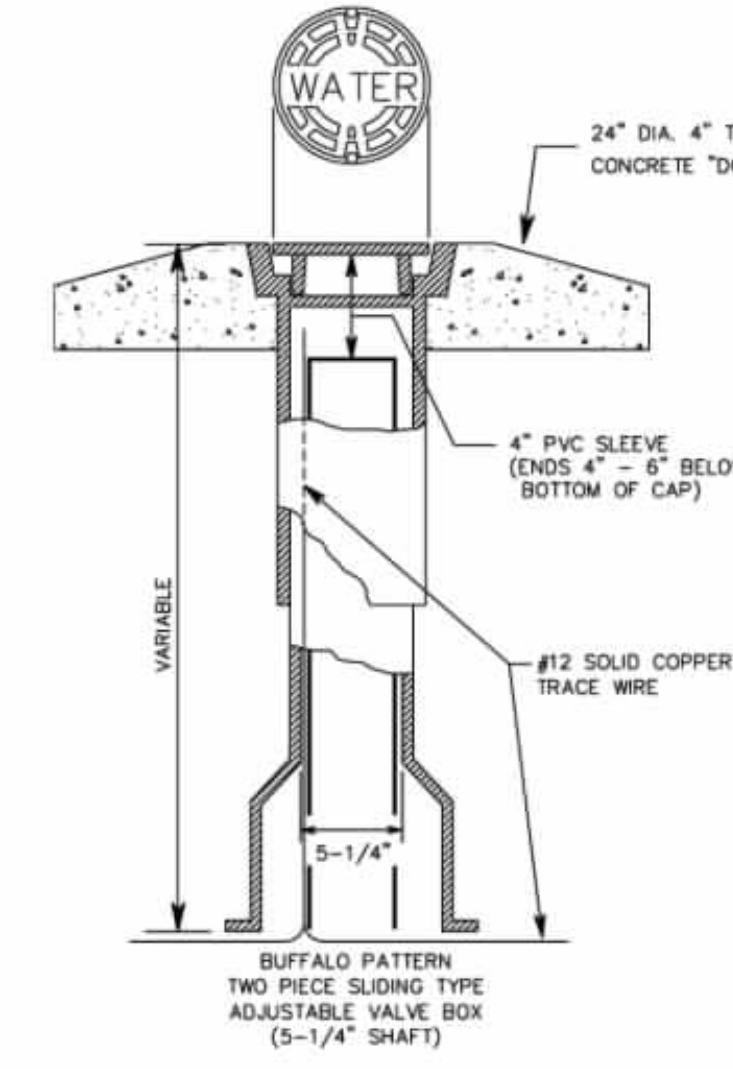
**ROAD BORE DETAIL**  
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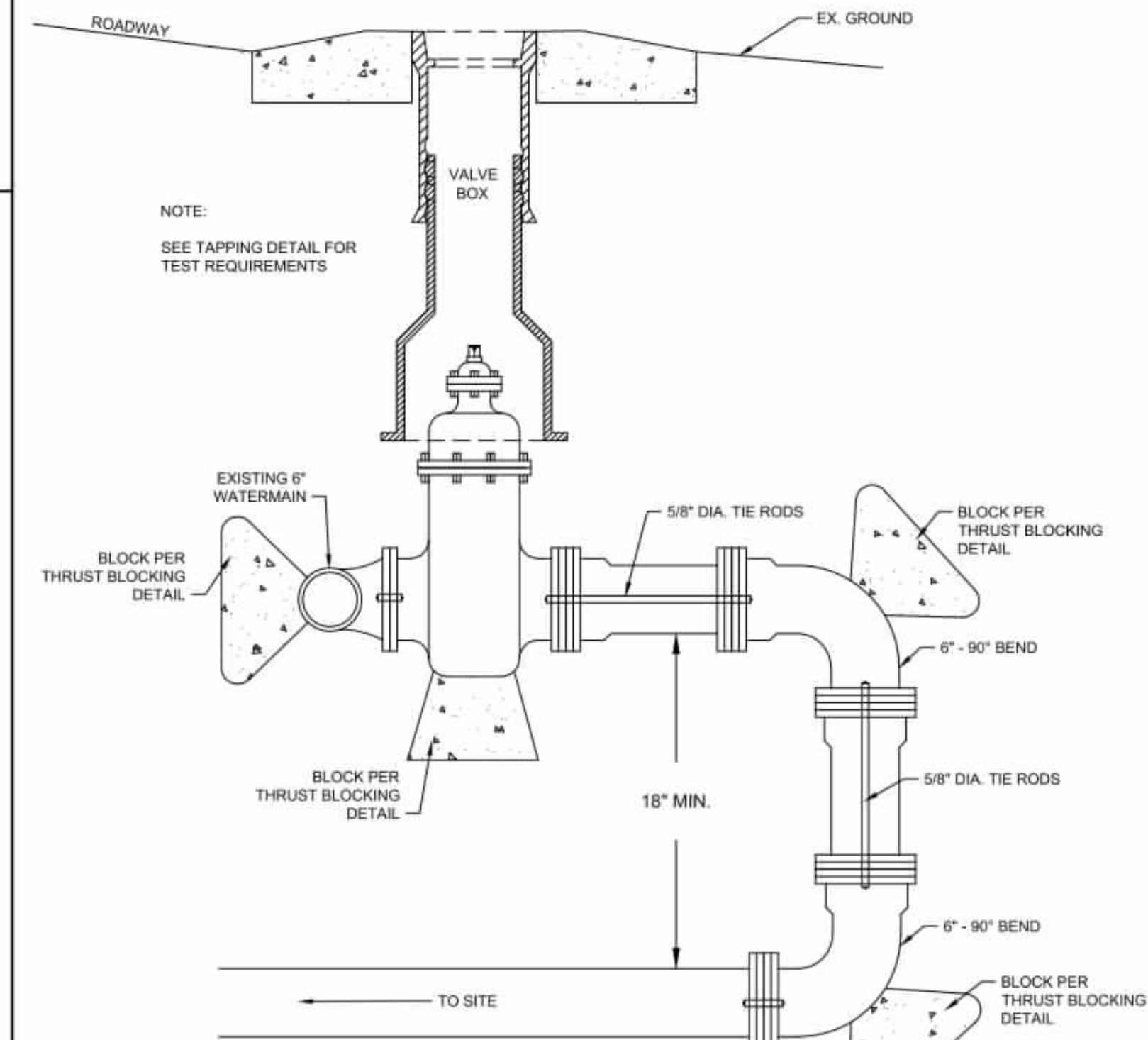
**VALVE MARKER DETAIL**  
NTS



**3/4" WATER SERVICE LATERAL DETAIL**  
NTS



**VALVE BOX**  
NTS



**CONNECTION USING 90° BENDS**  
NO SCALE

PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3930 FAX 252.562.6974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
01/27/2026

DRAWN BY  
KTY

DESIGNED BY  
N/A

CHECKED BY  
KDH

SCALE  
NO SCALE

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
UTILITY DETAILS

JOB NO.  
56469

SHEET NO.  
C6.5



1805 West City Drive  
Unit E  
Elizabeth City, NC 27909

P 252.621.5030  
F 252.562.6974  
[www.timmons.com](http://www.timmons.com)

January 27, 2026

Ms. Caitlin A. Spear, ~~Asst.~~ District Engineer  
N. C. Department of Transportation  
1929 North Road Street  
Elizabeth City, NC 27909

RE: Driveway Permit  
Grandy Manor  
Timmons Project No. 56469

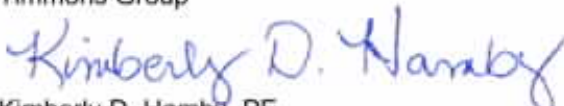
Dear Ms. Spear:

Please accept this request for a driveway permit for one driveway access for subdivision Grandy Manor.

Submitted for your review and approval are the executed driveway permit and a complete set of plans. The \$50.00 fee check will be mailed to your office.

Thank you for your attention to this project. If you have any questions concerning this submission, please do not hesitate to contact me at (252) 621-5029.

Sincerely,  
Timmons Group

  
Kimberly D. Hamby, PE  
Sr. Project Manager

cc: file  
Howard Land Development, Inc.



STATE OF NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

JOSH STEIN  
GOVERNOR

DANIEL H. JOHNSON  
SECRETARY

March 5, 2026

Howard Land Development, Inc  
2854 A Caratoke Hwy  
Currituck, NC 27929

-AND-

Currituck County  
153 Courthouse Rd  
Currituck, NC 27929

County: Currituck

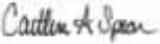
Subject: Encroachment to allow the installation of a waterline under SR1131 by jack and bore

Dear Applicant,

Attached for your records is a copy of the approved encroachment package to allow the installation of a waterline and appurtenances under SR1131, Poplar Branch Rd, by jack and bore to serve the Grandy Manor development. **Any and all damages done to State Routes must be properly repaired.** This approval will expire on March 5, 2027, unless construction has started or been completed prior to that date.

Please feel free to contact the District Office at (252) 621-6400 if you have any questions.

Sincerely yours,

DocuSigned by:  
  
930860FAC40F45A...

Caitlin A. Spear, PE  
District Engineer

Attachments

Cc: Division Engineer (W/Attachments)  
County Maintenance Engineer (W/Attachments)

Mailing Address:  
NC DEPARTMENT OF TRANSPORTATION  
DIVISION ONE - DISTRICT ONE  
1929 NORTH ROAD STREET  
ELIZABETH CITY, NC 27909

Telephone: (252) 621-6400  
Fax: (252) 621-6410  
Customer Service: 1-877-368-4968

Website: [www.ncdot.gov](http://www.ncdot.gov)

Location:  
1929 NORTH ROAD STREET  
ELIZABETH CITY, NC 27909

# Pre-Construction

## Contact Offices & Outside Agency issues / Contacts / Info.

1. Approval may be rescinded upon failure to follow any of the provisions in this permit and may be considered a violation of the encroachment agreement.
2. The Encroaching party or their contractor shall provide the following notices prior to construction activity within the NCDOT Right of Way:
  - a. Three (3) business days advance phone call at telephone (252) 621-6400 or email to [caspear@ncdot.gov](mailto:caspear@ncdot.gov) to the District Engineer's office
  - b. If the construction falls within the limits of an NCDOT managed construction project, five (5) business days advance phone call to the Resident Engineer, Mr. Brandon Tatum at (252) 621-6400 or email to [bjtatum@ncdot.gov](mailto:bjtatum@ncdot.gov).

Failure to provide these notifications prior to beginning construction is subject to the Division Engineer's discretion to cease construction activity for this encroachment. NCDOT reserves the right to cease any construction or maintenance work associated with this installation by the encroaching party until the construction or maintenance meets the satisfaction of the Division Engineer or their representative.

3. Prior to beginning work, it is the requirement of the Encroaching Party to contact the appropriate Utility Companies involved and make arrangements to adjust or relocate any utilities that conflict with the proposed work.
4. It shall be the responsibility of the encroaching party to determine the location of utilities within the encroachment area. NCGS § 87-115 through § 87-130 of the Underground Utility Safety and Damage Prevention Act requires underground utilities to be located by calling 811 prior to construction. The encroaching party shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and maintain access to them.
5. The encroaching party shall notify the appropriate municipal office prior to beginning any work within the municipality's limits of jurisdiction.
6. Excavation within 1000 feet of a signalized intersection will require notification by the encroaching party to the Division Traffic Engineer at telephone number (252) 482-1857 no less than one week prior to beginning work. All traffic signal or detection cables must be located prior to excavation. Cost to replace or repair NCDOT signs, signals, pavement markings or associated equipment and facilities shall be the responsibility of the encroaching party.
7. At the option of the District Engineer, a preconstruction meeting including representatives of NCDOT, the encroaching party, contractors and municipality, if applicable, shall be required. A pre-construction conference held between a municipality (or other facility owner) and a contractor without the presence of NCDOT personnel with subsequent construction commencing may be subject to NCDOT personnel ceasing any work on NCDOT right-of-way related to this encroachment until such meeting is held. Contact the District office to schedule.
8. At the discretion of the District Engineer, a NOTIFICATION FOR UTILITY / NON-UTILITY ENCROACHMENT WITHIN NCDOT R/W form (See corresponding attachment) with the scheduled pre-construction meeting and associated construction schedule details must be completed and submitted to the District Engineer's office a minimum of one week prior to construction.

9. At the discretion of the District Engineer, the encroaching party (not the utility contractor) shall make arrangements to have a qualified inspector, under the supervision of a Professional Engineer registered in North Carolina, on site at all times during construction. The registered Professional Engineer shall be required to submit a signed and PE sealed certification that the utility was installed in accordance with the encroachment agreement.

## Legal & Right-of-Way Issues

10. This approval and associated plans and supporting documents shall not be interpreted to allow any design change or change in the intent of the design by the Owner, Design Engineer, or any of their representatives. Any revisions or changes to these approved plans or intent for construction must be obtained in writing from the Division Engineer's office or their representative prior to construction or during construction if an issue arises during construction to warrant changes.
11. NCDOT does not guarantee the right of way on this road, nor will it be responsible for any claim for damages brought about by any property owner by reason of this installation. It is the responsibility of the encroaching party to verify the right of way.
12. Encroaching party shall be responsible for obtaining all necessary permanent and/or temporary construction, drainage, utility and/or sight distance easements.
13. All Right of Way and easements necessary for construction and maintenance shall be dedicated to NCDOT with proof of dedication furnished to the District Engineer prior to beginning work.
14. No commercial advertising shall be allowed within NCDOT Right of Way.
15. The encroaching party shall obtain proper approval from all affected pole owners prior to attachment to any pole.
16. This agreement does not authorize installations within nor encroachment onto railroad rights of way. Permits for installations within railroad right of way must be obtained from the railroad and are the responsibility of the encroaching party.

## Work Zone Traffic

17. Traffic control shall be coordinated with the District Engineer and the Division Traffic Engineer at telephone (252) 621-6400, prior to construction.
18. WORK ZONE TRAFFIC CONTROL QUALIFICATIONS AND TRAINING PROGRAM

All personnel performing any activity inside the highway right of way are required to be familiar with the NCDOT Maintenance / Utility Traffic Control Guidelines (MUTCG). No specific training course or test is required for qualification in the Maintenance /Utility Traffic Control Guidelines (MUTCG).

All flagging, spotting, or operating Automated Flagger Assist Devices (AFAD) inside the highway right of way requires qualified and trained Work Zone Flaggers. Training for this certification is provided by NCDOT approved training resources and by private entities that have been pre-approved to train themselves.

All personnel involved with the installation of Work Zone Traffic Control devices inside the highway right of way are required to be qualified and trained Work Zone Installers. Training for this

certification is provided by NCDOT approved training resources and by private entities that have been pre-approved to train themselves.

All personnel in charge of overseeing work zone Temporary Traffic Control operations and installations inside the highway right of way are required to be qualified and trained Work Zone Supervisors. Training for this certification is provided by NCDOT approved training resources and by private entities that have been pre-approved to train themselves.

For questions and/or additional information regarding this training program please refer to <https://connect.ncdot.gov/projects/WZTC/Pages/Training.aspx> or call the NCDOT Work Zone Traffic Control Section (919) 814-5000.

19. The party of the second part shall employ traffic control measures that are in accordance with the prevailing federal, state, local, and NCDOT policies, standards, and procedures. These policies, standards, and procedures include, but are not limited to the following:
  - a. Manual on Uniform Traffic Control Devices (MUTCD) – North Carolina has adopted the MUTCD to provide basic principles and guidelines for traffic control device design, application, installation, and maintenance. North Carolina uses the MUTCD as a minimum requirement where higher supplemental standards specific to North Carolina are not established. Use fundamental principles and best practices of MUTCD (Part 6, Temporary Traffic Control).
  - b. NCDOT Maintenance / Utility Traffic Control Guidelines – This document enhances the fundamental principles and best practices established in MUTCD Part 6, Temporary Traffic Control, incorporating NCDOT-specific standards and details. It also covers important safety knowledge for a wide range of work zone job responsibilities.
20. If the Traffic Control Supervisor determines that portable concrete barrier (PCB) is required to shield a hazard within the clear zone, then PCB shall be designed and sealed by a licensed North Carolina Professional Engineer. PCB plans and design calculations shall be submitted to the District Engineer for review and approval prior to installation.
21. Ingress and egress shall be maintained to all businesses and dwellings affected by the project. Special attention shall be paid to police, EMS and fire stations, fire hydrants, secondary schools, and hospitals.
22. Traffic shall be maintained at all times. All lanes of traffic are to be open during the hours of 7:00 A.M. to 9:00 A.M. and from 4:00 P.M. to 6:00 P.M. Monday through Friday, during any time of inclement weather, **or as directed by the District Engineer**. If the location of work calls for a rolling roadblock on a divided highway for US routes, the restriction is to work only on Sunday from 1:00 A.M. to 10:00 A.M, **or as Directed by the District Engineer**. Any violation of these hours will result in ceasing any further construction by the Encroaching Party or their contractor.
23. Nighttime and weekend operations will NOT be allowed unless written approval is received from the District Engineer. If nighttime or weekend work is allowed or required, all signs must be retro-reflective, and a work zone lighting plan must be submitted for approval prior to construction.
24. Two-way traffic shall be maintained at all times unless designated by the District Engineer. Traffic shall not be rerouted or detoured without the prior written approval from the District Engineer. No utility work will be allowed on state holidays from 7:00 PM the night before through 9:00 AM the day prior to, following or during local events without prior approval from the District Engineer. If the construction is within 1000 feet of a school location or on a designated bus route, the construction shall be coordinated with the school start and end times to avoid traffic delays.

25. Work requiring lane or shoulder closures shall not be performed on both sides of the road simultaneously within the same area.
26. Any work requiring equipment or personnel within 5 feet of the edge of any travel lane of an undivided facility and within 10 feet of the edge of any travel lane of a divided facility shall require a lane closure with appropriate tapers per current *NCDOT Roadway Standard Drawings or MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES*.
27. At the discretion of the District Engineer, a traffic control plan shall be developed and submitted under the seal and signature of a Licensed North Carolina Professional Engineer prior to construction. The plan shall be specific to the site and adequately detailed. Issues such as the close proximity to intersections shall be addressed.
28. Temporary and final pavement markings are the responsibility of the encroaching party. Final pavement markings and sign plans shall be submitted with the encroachment request to the Division Traffic Engineer prior to construction. Final pavement markings shall be thermoplastic unless otherwise directed by the Division Traffic Engineer or District Engineer.
29. Any pavement markings that are damaged or obliterated shall be restored by the encroaching party at no expense to NCDOT.
30. Sidewalk closures shall be installed as necessary. Pedestrian traffic shall be detoured around these closures and shall be signed appropriately and in accordance with The American with Disabilities Act Accessibility Guidelines. The encroaching party must adhere to the guidelines for accommodating pedestrians in encroachment work zones as described in the NCDOT Pedestrian Work Zone Accommodations Training found at <https://www.youtube.com/watch?v=AOuYa5IW3dg&feature=youtu.be>

## Roadside Environmental

31. The encroaching party shall comply with all applicable Federal, State and local environmental regulations and shall obtain all necessary Federal, State and local environmental permits, including but not limited to, those related to sediment control, stormwater, wetland, streams, endangered species and historical sites. Additional information can be obtained by contacting the NCDOT Roadside Environmental Engineer regarding the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services. Contact the Division Roadside Environmental Engineer's Office at (252) 621-6310.
32. When surface area in excess of one acre will be disturbed, the Encroacher shall submit a Sediment and Erosion Control Plan which has been approved by the appropriate regulatory agency or authority prior to beginning any work on the Right of Way. Failure to provide this information shall be grounds for suspension of operations. Proper temporary and permanent measures shall be used to control erosion and sedimentation in accordance with the approved sediment and erosion control plan.
33. The Verification of Compliance with Environmental Regulations (VCER-1) form is required for all non-utility encroachment agreements or any utility encroachments when land disturbance within NCDOT right of way exceeds 1 acre. When required, the VCER-1 form must be PE sealed by a NC registered professional engineer who has verified that all appropriate environmental permits (if applicable) have been obtained and all applicable environmental regulations have been followed.

34. All erosion control devices and measures shall be constructed, installed, maintained, and removed by the Encroacher in accordance with all applicable Federal, State, and Local laws, regulations, ordinances, and policies. Permanent vegetation shall be established on all disturbed areas in accordance with the recommendations of the Division Roadside Environmental Engineer. All areas disturbed (shoulders, ditches, removed accesses, etc.) shall be graded and seeded in accordance with the latest *NCDOT Standards Specifications for Roads and Structures* and within 15 calendar days with an approved NCDOT seed mixture (all lawn type areas shall be maintained and reseeded as such). Seeding rates per acre shall be applied according to the Division Roadside Environmental Engineer. Any plant or vegetation in the NCDOT planted sites that is destroyed or damaged as a result of this encroachment shall be replaced with plants of like kind or similar shape.
35. No trees within NCDOT right of way shall be cut without authorization from the Division Roadside Environmental Engineer. An inventory of trees measuring greater than 4 caliper inches (measured 6" above the ground) is required when trees within C/A right of way will be impacted by the encroachment installation. Mitigation is required and will be determined by the Division Roadside Environmental Engineer's Office.
36. Prior to installation, the Encroaching Party shall contact the District Engineer to discuss any environmental issues associated with the installation to address concerns related to the root system of trees impacted by boring or non-utility construction of sidewalk, roadway widening, etc.
37. The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain pertinent permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. The applicant is responsible for complying with any river or stream Riparian Buffer Rule as regulated by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ or the USACE.
38. The contractor shall not begin the construction until after the traffic control and erosion control devices have been installed to the satisfaction of the Division Engineer or their agent.
39. The contractor shall perform all monitoring and record keeping and any required maintenance of erosion and sediment control measures to maintain compliance with stormwater regulations.

## Bonds

40. A Performance and Indemnity Bond in the amount of \$0 shall be posted with the District Engineer's Office by the Party of the Second Part prior to beginning any work within the NCDOT Right of Way. The bond shall be held for a minimum of one year after a satisfactory final inspection of the installation by NCDOT. The bond may be held for a period longer than one year after completion if, in the opinion of NCDOT, the size or complexity of the installation warrants a longer period.
41. The release of the bond is subject to a final inspection by NCDOT. Contact the District office to schedule a Final Inspection and to request release of the bond.
42. When a Continuing Indemnity bond is on file with the central Raleigh office, the cashing of that bond may be used to fund any necessary repairs by NCDOT forces for unaddressed defects in workmanship by the encroaching party and/or by their contractor.

## Control of Access

43. No access to the job site, parking or material storage shall be allowed along or from the **Control of Access Roadway**.
44. The installation within the Control of Access fence shall not adversely affect the design, construction, maintenance, stability, traffic safety or operation of the controlled access highway, and the utility must be serviced without access from the through-traffic roadways or ramps.
45. The resetting of the Control of Access fence shall be in accordance with the applicable NCDOT standard and as directed by the Division Engineer or their representative.

## STIP (or Division Managed) Projects

46. State Transportation Improvement Project (STIP) X-XXXX is scheduled for future construction. Any encroachment determined to be in conflict with the construction of this NCDOT project shall be removed and/or relocated at the encroaching party's expense.

## Construction

### General

47. An executed copy of the encroachment agreement, provisions and approved plans shall be present at the construction site at all times. If safety or traffic conditions warrant such an action, NCDOT reserves the right to further limit, restrict or suspend operations within the right of way.
48. If the approved method of construction is unsuccessful and other means are required, prior approval must be obtained through the District Engineer before construction may continue.
49. Any REVISIONS marked in RED on the attached non-PE sealed plans shall be incorporated into and made part of the approved encroachment agreement.
50. All disturbed areas are to be fully restored to current NCDOT minimum roadway standards or as directed by the Division Engineer or their representative. Disturbed areas within NCDOT Right-of-Way include, but not limited to, any excavation areas, pavement removal, drainage or other features.
51. The encroaching party shall notify the Division Engineer or their representative immediately in the event any drainage structure is blocked, disturbed or damaged. All drainage structures disturbed, damaged or blocked shall be restored to its original condition as directed by the Division Engineer or their representative.
52. A minimum of five-foot clearance is required for utility installations beneath or near drainage pipes, headwalls, and a minimum of two-foot clearance below the flowline of streams. If directional drilling, a minimum of ten-foot clearance distance is required from drainage structures and a minimum of five feet below flowline of streams.
53. At points where the utility is placed under existing storm drainage, the trench will be backfilled with excavatable flowable fill up to the outside diameter of the existing pipe.

54. Unless specified otherwise, during non-working hours, equipment shall be located away from the job site or parked as close to the right of way line as possible and be properly barricaded in order not to have any equipment obstruction within the Clear Zone. Also, during non-working hours, no parking or material storage shall be allowed along the shoulders of any state-maintained roadway.
55. The Encroaching Party and/or their Contractor shall comply with all OSHA requirements. If OSHA visits the work area associated with this encroachment, the District Office shall be notified by the encroaching party immediately if any violations are cited.
56. Any guardrail removed or damaged during construction shall be replaced or repaired to its original condition, meeting current NCDOT standards or as directed by the Division Engineer or their representative.
57. Right of Way monuments disturbed during construction shall be referenced by a registered Land Surveyor and reset after construction.
58. All Traffic signs moved during construction shall be reinstalled as soon as possible to the satisfaction of the Division Engineer or their representative.
59. Detection tape, where required by NCGS § 87-115 through § 87-130 of the Underground Utility Safety and Damage Prevention Act, shall be buried in the trench approximately 1 foot above the installed facility. Where conduit is installed in the right of way and is not of ferrous material, locating tape or detection wire shall be installed with the conduit.
60. All driveways disturbed during construction shall be returned to a state comparable with the condition of the driveways prior to construction.
61. Conformance with driveway permit review should be required in conjunction with this encroachment agreement. In the event there is a conflict between the driveway permit and the encroachment agreement, the District Engineer should resolve the conflict and notify the parties involved.

## Engineering

62. All traffic control, asphalt mixes, structures, construction, workmanship and construction methods, and materials shall be in compliance with the most-recent versions of the following resources: *ASTM Standards*, *Manual on Uniform Traffic Control Devices*, *NCDOT Utilities Accommodations Manual*, *NCDOT Standard Specifications for Roads and Structures*, *NCDOT Roadway Standard Drawings*, *NCDOT Asphalt Quality Management System manual*, **and the approved plans.**
63. Regulator stations, metering stations, cathodic test stations, and anode beds are not permitted within NCDOT right of way. Header wires are permitted.
64. Non-Utility Communication and Data Transmission installations (ground mounted type or Small Cell pole-mounted type) must adhere to guidelines in the Utilities Accommodations Manual and, when located within municipal jurisdictions, are subject to review and approval by municipal ordinances and any additional municipal approval for proximity to historic districts and landmarks. All wiring and related telecommunications work shall conform to the latest regulations by the Federal Communications Commission.
65. All wiring and related electrical work shall conform to the latest edition of the National Electrical Safety Code.

66. Prior approval for any blasting must be obtained from the Division Engineer or their representative.

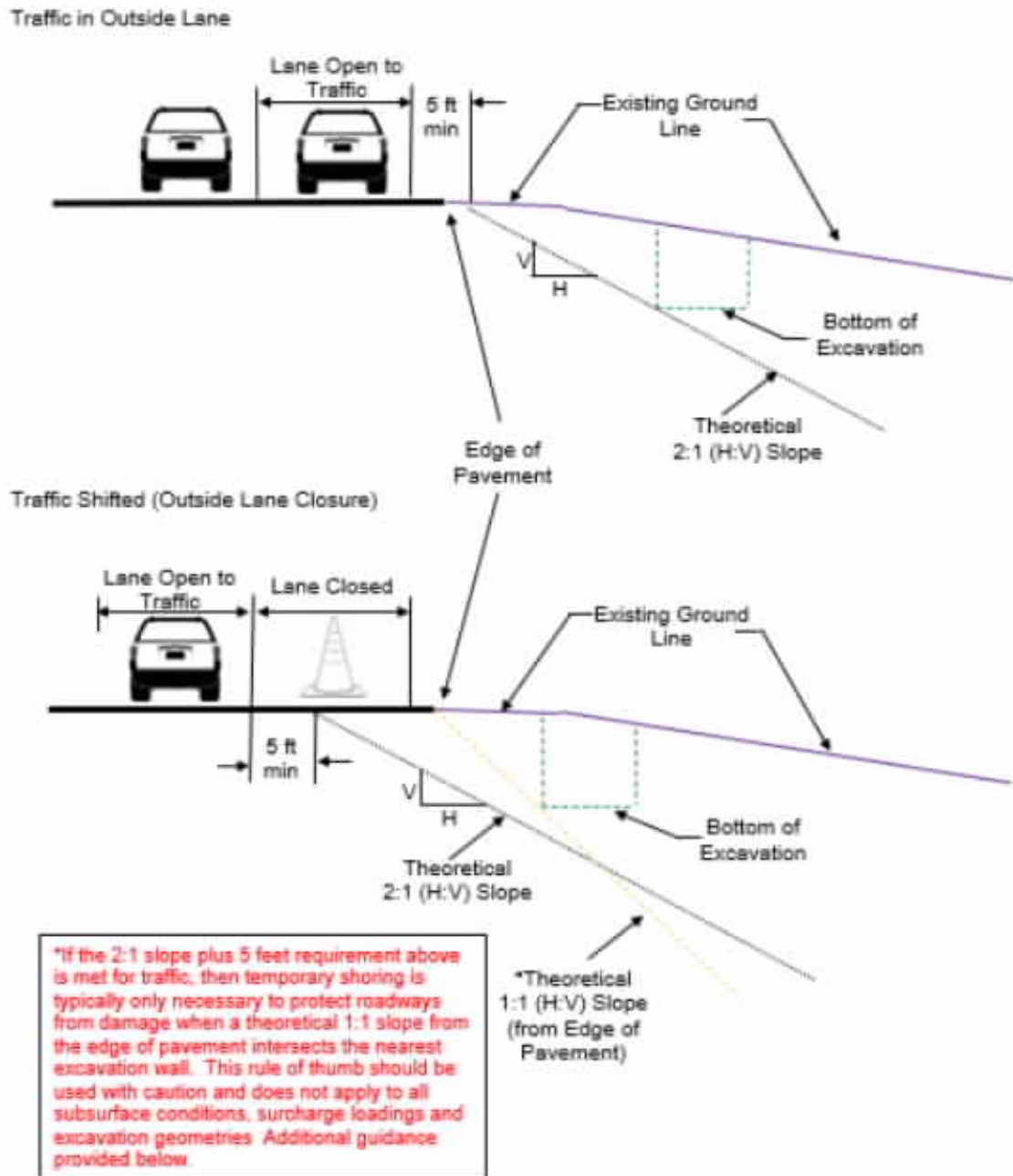
#### Location within R/W

67. All utility access points, such as manholes, vaults, handholes, splice boxes and junction boxes shall be located as close to the right of way line as possible and shall not be placed in the ditch line, side slopes of the ditches or in the pavement. All manholes, handholes, splice boxes, junction boxes and vaults and covers shall be flush with the ground when located within the vehicle clear zone. Slack loops for telecommunications in industry standard housing units shall be buried a minimum of 18 inches when buried or meet minimum NCDOT vertical and horizontal clearances when installed aerially.
68. Any utility markers, cabinets, pedestals, meter bases and services for meter reading required shall be as close to the Right of Way line as possible. If it is not feasible to install at or near Right of Way line, then written approval shall be obtained from NCDOT prior to installation.
69. Fire Hydrants shall be of the breakaway type. Hydrants shall be placed near the right of way line. In curb and gutter sections with written approval from the District, the hydrants may be placed at 6' behind the back of the curb or minimum 2' back of sidewalk.
70. Hot box (aka ASSE 1060) or Safe-T-Cover type enclosures covering utility main pipe joints, backflow preventers, valves, vent pipes, cross connections, pumps, grinders, irrigation assemblies, transformers, generators, and other similar large appurtenances shall be located outside sight distance triangles and off of the NCDOT Right-of-Way.
71. Sprinkler heads shall be located a minimum of 10 feet from the edge of pavement, edge of shoulder, or back of curb whichever is greater and shall be directed so that water does not spray or drain on the roadway surface, sidewalk, or passing vehicles at any time. Upon completion of the installation and prior to activation of the system, the Encroacher shall contact the District Engineer to schedule a test of the system to verify the spray pattern. Sprinkler systems shall not be operated during periods of high wind or freezing weather, or to the extent that the subgrade adjacent to the pavement structure becomes saturated. NCDOT reserves the right to require immediate termination and removal of any sprinkler system which in its judgement and opinion adversely affects safety, maintenance, or operation of the roadway.
72. Luminaire and/or utility poles and guy wires shall be set as close to the Right of Way line as practical and outside the Clear Zone in accordance with the latest version of the AASHTO Roadside Design Guide (See corresponding attachment) or made breakaway in accordance with the requirements of NCHRP Report 350. Any relocation of the utility poles from the original design due to Clear Zone requirements shall require a re-submittal for the utility design.
73. Luminaire and/or utility poles shall be set a minimum of 5'-6" behind face of any guardrail or otherwise sufficiently protected. However, standard placement may be reduced to 3'-6" behind face of guardrail when posts are spaced 3'-1 1/2", or where speed limit is less than 55 MPH.

#### Excavation

74. Excavation material shall not be placed on pavement.
75. It is the responsibility of the encroaching party or their contractor to prevent any mud/dirt from tracking onto the roadway. Any dirt which may collect on the roadway pavement from equipment and/or truck traffic on site shall be immediately removed to avoid any unsafe traffic conditions.

76. The utility shall be installed within 5 feet of the right of way line and outside the 5-foot minimum from travel lane plus theoretical 2:1 slope from the edge of pavement to the bottom of the nearest excavation wall for temporary shoring. Temporary shoring is required when a theoretical 2:1 slope from the bottom of excavation will intersect the existing ground line less than 5 feet from the outside edge of an open travel lane as shown in the figure below or when a theoretical 2:1 slope from the bottom of excavation will intersect any existing structure, support, utility, property, etc. to be protected.



If the 2:1 slope plus 5 feet requirement above is met for traffic, then temporary shoring is typically only necessary to protect roadways from damage when a theoretical 1:1 slope from the edge of pavement intersects the nearest excavation wall. This rule of thumb should be used with caution and does not apply to all subsurface conditions, surcharge loadings and excavation geometries.

Situations where this 1:1 slope is not recommended include groundwater depth is above bottom of excavation or excavation is deeper than 10 feet or in [Type B or C soils as defined by OSHA Technical Manual](#). Temporary shoring may be avoided by locating trenches, bore pits, and other excavations far enough away from the open travel lane, edge of pavement and any existing structure, support, utility, property, etc. to be protected.

Temporary shoring shall be designed and constructed in accordance with current NCDOT Standard Temporary Shoring provisions (refer to <https://connect.ncdot.gov/resources/Specifications/Pages/2018-Specifications-and-Special-Provisions.aspx> and see SP11 R002

- a. Temporary excavation shoring, such as sheet piling, shall be installed. The design of the shoring shall include the effects of traffic loads. The shoring system shall be designed and sealed by a licensed North Carolina Professional Engineer. Shoring plans and design calculations shall be submitted to the Division Engineer for review and approval prior to construction. (See *NCDOT Utilities Accommodations Manual* for more information on requirements for shoring plans, design calculations, and subsurface investigation report.) **Trench boxes shall not be accepted as temporary shoring and will not be approved for use in instances where shoring is required to protect the highway, drainage structure, and/or supporting pavement or structure foundation.**
  - b. All trench excavation inside the limits of the theoretical two-to-one slope plus 5 feet requirement, as defined by the policy, shall be completely backfilled and compacted at the end of each construction day. No portion of the trench shall be left open overnight. Any excavation that is not backfilled by the end of the workday must address any safety and traveling public concerns including accommodations for bicycles, pedestrians and persons with disabilities.
  - c. The trench backfill material shall meet the Statewide Borrow Criteria. The trench shall be backfilled in accordance with Section 300-7 of the latest *NCDOT Standard Specifications for Roads and Structures*, which basically requires the backfill material to be placed in layers not to exceed 6 inches loose and compacted to at least 95% of the density obtained by compacting a sample in accordance with AASHTO T99 as modified by DOT.
  - d. At the discretion of the Division Engineer, a qualified NCDOT inspector shall be on the site at all times during construction. The encroaching party shall reimburse NCDOT for the cost of providing the inspector. If NCDOT cannot supply an inspector, the encroaching party (not the utility contractor) should make arrangements to have a qualified inspector, under the supervision of a licensed North Carolina Professional Engineer, on the site at all times. The Professional Registered Engineer shall certify that the utility was installed in accordance with the encroachment agreement and that the backfill material meets the Statewide Borrow Criteria.
  - e. The length of parallel excavation shall be limited to the length necessary to install and backfill one joint of pipe at a time, not to exceed twenty-five (25) feet.
77. All material to a depth of 8 inches below the finished surface of the subgrade shall be compacted to a density equal to at least 100% of that obtained by compacting a sample of the material in accordance with AASHTO T99 as modified by the Department. The subgrade shall be compacted at a moisture content which is approximately that required to produce the maximum density indicated by the above test method. The contractor shall dry or add moisture to the subgrade when required to provide a uniformly compacted and acceptable subgrade. The option to backfill any trenches with dirt or either #57 stone or #78 stone with consolidation with a plate tamp and without a conventional density test may be pursued with the written consent of the District Engineer. If this option is exercised, then roadway ABC stone and asphalt repair as required will also be specified by the District Engineer.

## Boring

78. Boring equipment will be provided of a type and size to facilitate boring in the local geologic conditions and shall be able to facilitate the encroachment work.

79. When Horizontal Directional Drilling (HDD) is used, the following stipulations apply:

- a. Use drilling fluids as appropriate for the type soils but use of water alone is prohibited. Pump drilling fluids only while drilling or reaming. Directional boring using jetting with a Bentonite (or equivalent material) slurry is recommended. Monitor flow rates to match the amount leaving the bore hole and do not increase pressure or flow to free stuck drill heads, reamers or piping. Open cutting to retrieve stuck drill heads is not allowed without prior permission from the District Engineer.
- b. The minimum depth shall adhere to the table below for transverse (under non-controlled access, partial controlled access, or limited controlled access roadway) installations and refers to maximum diameter of hole drilled and not the dimension of the carrier or encasement pipe.

<u>Diameter of Drilled Hole (Backream)</u>	<u>Minimum Depth of Cover</u>
2" to 6"	5 feet
>6" to 15"	12 times hole diameter (e.g. 6-inch hole means 6 feet minimum depth)
>15" to 36"	15 feet or greater

- c. Under fully controlled access roadway installations, the minimum depth for transverse crossings shall be 15 feet under any pavement (ramps or thru lanes)
- d. An overbore (backream diameter) shall not be more than 1.5 times the outside diameter of the pipe or encasement under any highway for pipes 12 inches in diameter or less. For pipes with outer diameter larger than 12 inches, the overbore may be no larger than outer diameter of pipe plus 6 inches. An overbore exceeding 1.5 times greater than the outside diameter of the pipe or encasement may be considered if the encroachment agreement includes a statement signed and sealed by a licensed North Carolina Professional Engineer indicating that an overbore in excess of 1.5 times the outside diameter of the pipe or encasement will appropriately arch and no damage will be done to the pavement or sub-grade.
- e. Directional boring is allowed beneath embankment material in naturally occurring soil.
- f. Any parallel installation utilizing the directional boring method shall be made at a minimum depth of three (3') feet (cover) below the ground surface and outside the theoretical 1:1 slope from the existing edge of pavement except where the parallel installation crosses a paved roadway.
- g. All directional bores shall maintain ten (10) feet minimum (clear) distance from the nearest part of any structure, including but not limited to bridges, footings, pipe culverts or box culverts. Directional bores are not allowed beneath bridge footings, culvert wingwall footings, slope protection or retaining walls.
- h. The tip of the drill string shall have a cutter head.
- i. Detection wire shall be installed with non-ferrous material.
- j. HDPE pipe installed by directional boring shall not be connected to existing pipe or fittings for one (1) week from the time of installation to allow tensional stresses to relax.

## Aerial clearances

80. Vertical clearance of overhead power and communication lines shall meet the National Electrical Safety Code requirements except the minimum vertical clearance shall be 18' for crossings over NCDOT roadways (24' over Fully Controlled Access roadways) and 16' for parallel installations.
81. When applicable for aerial installations, in relation to the bridge, the utility line shall be located with minimum clearances as indicated in Figure 3-3 in the Utilities Accommodations Manual for NCDOT **Required Clearances for Aerial Installations by Encroachment Near Bridge Structures.**

## Pavement Detail and Repair

82. The paving of this roadway shall be in accordance with the latest version of NCDOT Standard Specifications, Sections 610, 1012 and 1020. The Contractor shall follow all procedures of the latest Quality Management System (QMS) Asphalt Manual for asphalt pavement - Maintenance Version (see <https://connect.ncdot.gov/resources/Materials/MaterialsResources/Forms/Default.aspx>) to find the most recent version. The Contractor must adhere to all testing requirements and quality control requirements specified. The Contractor shall contact the NCDOT Division QA Supervisor prior to producing plant mix and make the Supervisor aware that the mix is being produced for a future NCDOT road. Contact the District Engineer to determine the NCDOT Division QA Supervisor. Only NCDOT approved mix designs will be acceptable. A Quality Control Plan shall be submitted (as Directed by the District Engineer) to the District Engineer's Office prior to asphalt production utilizing form QMS-MV1. Failing mixes and/or densities are subject to penalties including monetary payments or removal and replacement. To minimize traffic queuing in construction areas, the possibility of traffic detours may be considered when working on high traffic routes even if traffic control is used. The District Engineer may require traffic detours.
83. When paving beyond utility installation is involved, a Roadway certification report sealed by a Professional Engineer shall be submitted to the District Engineer's office indicating the following:
  - Pavement thickness by type
  - Pavement density, core and/or test locations
  - Base thickness
  - Base density
  - Subgrade densityTest frequency and method shall be in conformance with the NCDOT *Materials and Tests Manual*. Test must be performed by a Certified Technician including name and Certification number on report.

84. "Potholing" (or "daylighting") pavement cores to expose existing utilities shall be made with a circular minimum 6" to maximum 18" diameter "test" hole to a maximum depth of 12 inches. Pavement core locations shall not be placed in the wheel path whenever possible. Vacuum excavation shall be utilized to expose underground utilities below pavement subgrade. Displaced dirt and rock debris must be suctioned away from the excavation area through a large hose to a vacuum truck and disposed by the encroaching party. Avoid using mechanized equipment in the proximity of all exposed underground utility lines. Pavement cores shall be repaired within the same working day. The pavement core shall be retained and evaluated for reuse to fill the core hole.

The excavation shall be backfilled and compacted with select material to the bottom of the existing pavement structure or as indicated by the District Engineer. If in good condition, the retained core shall be placed in the hole and secured with a waterproof, mechanical joint. If the pavement core is damaged and cannot be re-used, the core may be replaced with the surface mix, S9.5B. The asphalt patch shall match the thickness of the existing asphalt or four inches, whichever is greater and the use

of NCDOT approved sealant applied to the cracks to fill the voids. All materials must be listed on the NCDOT Approved Products List (APL) found at: <https://apps.ncdot.gov/vendor/approvedproducts/>.

85. The minimum pavement design for pavement repair shall be according to the most recent version of NCDOT Standard Drawing 654.01 (<https://connect.ncdot.gov/resources/Specifications/Pages/default.aspx>). The version valid in 2024 through 2030 is located at <https://connect.ncdot.gov/resources/Specifications/2024StandardRdwyDrawings/Div%206%20Combi ned.pdf>. The pavement design shall include a mechanical overlay extent to be a minimum of 25 feet each side of the pavement repair area OR as directed by the District Engineer.
86. Pavement cuts shall be repaired the same day the cuts are made unless an asphalt patch cannot be accomplished the same day due to material availability or time restrictions. When the asphalt patch is not feasible, the following apply:
- The pavement cut shall be filled to the surface with ABC stone or Flowable Fill per NCDOT's Standards and Specifications.
  - Once the cut is filled, a minimum ¾-inch steel plate shall be placed and pinned to prevent moving. Plates shall be designed large enough to span a minimum of 1-foot on all sides on the pavement cut.
  - When flowable fill is used, it shall cure for 24 hours prior to any asphalt material placement. Flowable fill bleed water shall not be present during paving operations. Paving shall not cause damage (shoving, distortion, pumping, etc.) to the flowable fill.
  - Install and leave "BUMP" signs according to MUTCD until the steel plate has been removed. Once the flowable fill has cured, remove the steel plate, and mill/fill according to the directions of the District Engineer.
  - All pavement cuts must be sealed with NCDOT approved sealant to prevent future pavement separation or cracking.
87. Any pavement damaged because of settlement of the pavement or damaged by equipment used to perform encroachment work, shall be re-surfaced to the satisfaction of the District Engineer. This may include the removal of pavement and a 50' mechanical overlay. All pavement work and pavement markings (temporary and final) are the responsibility of the Encroaching Party.

## Post Construction

### Close out/ Inspection

88. The Encroaching party shall notify the District Engineer's office within 2 business days after construction is complete. The District Engineer may perform a construction inspection. Any deficiencies may be noted and reported to the encroaching party to make immediate repairs or resolve any issues to restore the right-of-way to a similar condition prior to construction, including pavement, signage, traffic signals, pavement markings, drainage, structures/pipes, or other highway design features.
89. At the discretion of the District Engineer, a final inspection report may be provided to the encroaching party upon satisfactory completion of the work.
90. When a performance bond is required, a written acknowledgement of the completed work by the District Engineer's office begins the one-year warranty period associated with the performance bond.

91. If the actual construction differs from the approved plans associated with this encroachment, a copy of "as-built" plans shall be submitted to the District Engineer's office in a PDF format and in a current ESRI GIS format within 4 weeks of construction.
92. The encroaching party shall provide the North Carolina Turnpike Authority (NCTA) with an electronic copy of coordinate correct as-built plans within two weeks of installation completion. Failure to provide the as-built plans may jeopardize future approvals within NCTA right of way.
93. A copy (in PDF format) of the completed ground water analysis shall be given to the District Engineer, including detailed drawings of the "as-built" wells showing location, depth and water level in well.

# ATTACHMENT FORM

## NOTIFICATION FOR UTILITY / NON-UTILITY ENCROACHMENT WITHIN NCDOT R/W

### Instructions for use:

This form must be completed in its entirety and submitted directly to the designated personnel in the District Engineer's office via email, fax or hand delivery a minimum of one week prior to construction for the encroachment. If the designated NCDOT personnel names are unknown by the person completing this form, please contact the District Engineer's office to determine that contact info.

Date: \_\_\_\_\_ Submitted by Name: \_\_\_\_\_

To: District Personnel Name: Caitlin Spear  
District Personnel Email: caspear@ncdot.gov  
District Fax No.: (252) 621-6410

This notification is to inform you that we (encroaching party or their contractor) will begin construction work on the following project in a minimum of one week.

### Encroachment number

(assigned by NCDOT) for the project: \_\_\_\_\_

Construction start date: \_\_\_\_\_

Approximate ending date: \_\_\_\_\_

Contact NCDOT inspector a minimum of 72 hrs. in advance to set-up Preconstruction meeting in the District Engineer's office or other location as directed by the District Engineer

Preconstruction meeting date & time: \_\_\_\_\_

Preconstruction meeting address: \_\_\_\_\_  
\_\_\_\_\_

Type of project: \_\_\_\_\_  
*[Examples: power, telecommunication, water, sewer, gas, petroleum, other (describe)]*

### Contact Info for this project:

Contractor Company Name: \_\_\_\_\_

Contractor Contact Name: \_\_\_\_\_

Contractor Phone Number: \_\_\_\_\_

Contractor Email: \_\_\_\_\_

NCDOT Utility Inspector Name: \_\_\_\_\_

NCDOT Utility Inspector Phone: \_\_\_\_\_

NCDOT Utility Inspector Email: \_\_\_\_\_

NCDOT Utility Project Manager Name: \_\_\_\_\_

NCDOT Utility Project Manager Phone: \_\_\_\_\_

NCDOT Utility Project Manager Email: \_\_\_\_\_

## Clear - Zone Table

TABLE 3.1 (Cont'd)

[U.S. Customary Units]

DESIGN SPEED	DESIGN ADT	FORESLOPES			BACKSLOPES		
		1V:6H or flatter	1V:5H TO 1V:4H	1V:3H	1V:3H	1V:5H TO 1V:4H	1V:6H or flatter
40 mph or less	UNDER 750	7 - 10	7 - 10	**	7 - 10	7 - 10	7 - 10
	750 - 1500	10 - 12	12 - 14	**	10 - 12	10 - 12	10 - 12
	1500 - 6000	12 - 14	14 - 16	**	12 - 14	12 - 14	12 - 14
	OVER 6000	14 - 16	16 - 18	**	14 - 16	14 - 16	14 - 16
45-50 mph	UNDER 750	10 - 12	12 - 14	**	8 - 10	8 - 10	10 - 12
	750 - 1500	14 - 16	16 - 20	**	10 - 12	12 - 14	14 - 16
	1500 - 6000	16 - 18	20 - 26	**	12 - 14	14 - 16	16 - 18
	OVER 6000	20 - 22	24 - 28	**	14 - 16	18 - 20	20 - 22
55 mph	UNDER 750	12 - 14	14 - 18	**	8 - 10	10 - 12	10 - 12
	750 - 1500	16 - 18	20 - 24	**	10 - 12	14 - 16	16 - 18
	1500 - 6000	20 - 22	24 - 30	**	14 - 16	16 - 18	20 - 22
	OVER 6000	22 - 24	26 - 32 *	**	16 - 18	20 - 22	22 - 24
60 mph	UNDER 750	16 - 18	20 - 24	**	10 - 12	12 - 14	14 - 16
	750 - 1500	20 - 24	26 - 32 *	**	12 - 14	16 - 18	20 - 22
	1500 - 6000	26 - 30	32 - 40 *	**	14 - 18	18 - 22	24 - 26
	OVER 6000	30 - 32 *	36 - 44 *	**	20 - 22	24 - 26	26 - 28
65-70 mph	UNDER 750	18 - 20	20 - 26	**	10 - 12	14 - 16	14 - 16
	750 - 1500	24 - 26	28 - 36 *	**	12 - 16	18 - 20	20 - 22
	1500 - 6000	28 - 32 *	34 - 42 *	**	16 - 20	22 - 24	26 - 28
	OVER 6000	30 - 34 *	38 - 46 *	**	22 - 24	26 - 30	28 - 30

\* Where a site specific investigation indicates a high probability of continuing crashes, or such occurrences are indicated by crash history, the designer may provide clear-zone distances greater than the clear-zone shown in Table 3.1. Clear zones may be limited to 30 ft for practicality and to provide a consistent roadway template if previous experience with similar projects or designs indicates satisfactory performance.

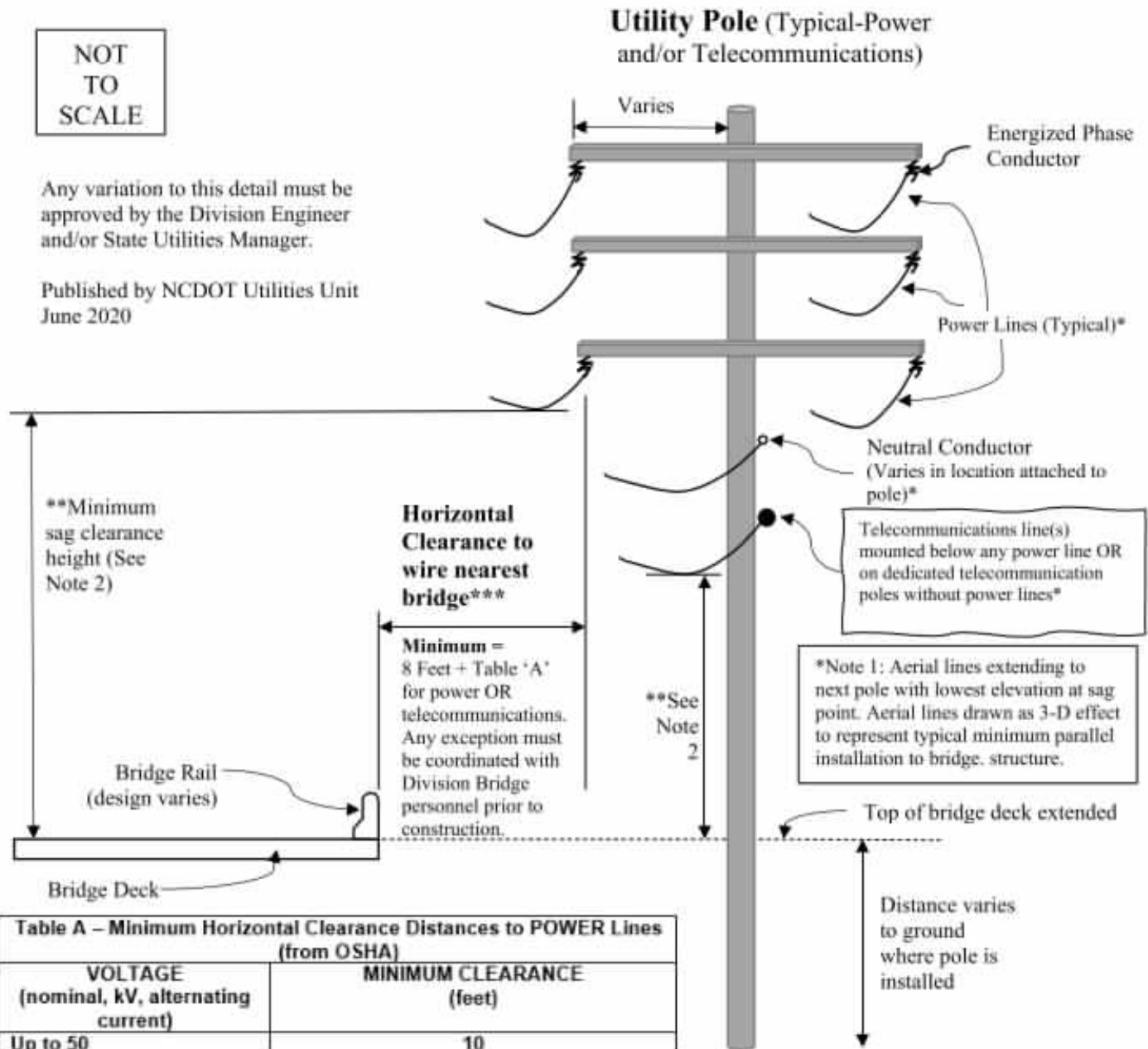
\*\* Since recovery is less likely on the unshielded, traversable 1V:3H slopes, fixed objects should not be present in the vicinity of the toe of these slopes. Recovery of high-speed vehicles that encroach beyond the edge of the shoulder may be expected to occur beyond the toe of slope. Determination of the width of the recovery area at the toe of slope should take into consideration right-of-way availability, environmental concerns, economic factors, safety needs, and crash histories. Also, the distance between the edge of the through traveled lane and the beginning of the 1V:3H slope should influence the recovery area provided at the toe of slope. While the application may be limited by several factors, the foreslope parameters which may enter into determining a maximum desirable recovery area are illustrated in Figure 3.2.

# NCDOT Required Clearances for Aerial Installations Near Bridge Structures

NOT  
TO  
SCALE

Any variation to this detail must be approved by the Division Engineer and/or State Utilities Manager.

Published by NCDOT Utilities Unit  
June 2020



VOLTAGE (nominal, kV, alternating current)	MINIMUM CLEARANCE (feet)
Up to 50	10
Over 50 to 200	15
Over 200 to 350	20
Over 350 to 500	25
Over 500 to 750	35
Over 750 to 1000	45
Over 1000	As established by the utility owner/operator or registered professional engineer who is a qualified person with respect to electrical power transmission and distribution

\*\*\*Note 3: HORIZONTAL CLEARANCE EXCEPTION. If vertical sag clearance height for power above bridge deck is  $\geq$  45 feet AND voltage is  $\leq$  350kV, then Minimum Horizontal Clearance may be reduced to 3 feet. Any telecommunications attachment to power pole allowed in this exception must have a minimum 25 feet sag clearance height above bridge deck.

DEPARTMENT OF TRANSPORTATION

-AND-

Howard Land Development, Inc.

92854 A Carotake Hwy, Currituck, NC 27929

-AND-

Currituck County

183 Courthouse Road, Suite 204, Currituck, NC 27929

THREE PARTY RIGHT OF WAY  
ENCROACHMENT AGREEMENT ON  
PRIMARY AND SECONDARY SYSTEM

E011-027-26-00078

THIS AGREEMENT, made and entered into this the 5th day of March, 2026, by and between the Department of Transportation, party of the first part; and Howard Land Development, Inc. party of the second part; and Currituck County party of the third part,

WITNESSETH

THAT WHEREAS, the party of the second part desires to encroach on the right of way of the public road designated as Route(s) SR 1131 (Poplar Branch Rd.), located 2450 feet north of the intersection of US Hwy 168 (Carotake Hwy) and SR 1131 (Poplar Branch Rd)

with the construction and/or erection of: connection to an existing watermain on the east side of the road by means of jack and boms.

WHEREAS, it is to the material advantage of the party of the second part to effect this encroachment, and the party of the first part in the exercise of authority conferred upon it by statute, is willing to permit the encroachment within the limits of the right of way as indicated, subject to the conditions of this agreement;

NOW, THEREFORE, IT IS AGREED that the party of the first part hereby grants to the party of the second part the right and privilege to make this encroachment as shown on attached plan sheet(s), specifications and special provisions which are made a part hereof upon the following conditions, to wit:

That the installation, operation, and maintenance of the above described facility will be accomplished in accordance with the party of the first part's latest UTILITIES ACCOMMODATIONS MANUAL, and such revisions and amendments thereto as may be in effect at the date of this agreement. Information as to those policies and procedures may be obtained from the Division Engineer or State Utilities Manager of the party of the first part.

That the said party of the second part binds and obligates himself to install and maintain the encroaching facility in such safe and proper condition that it will not interfere with or endanger travel upon said highway, nor obstruct nor interfere with the proper maintenance thereof, to reimburse the party of the first part for the cost incurred for any repairs or maintenance to its roadways and structures necessary due to installation and existence of the facilities of the party of the second part, and if at any time the party of the first part shall require the removal of or changes in the location of the said facilities, that the said party of the second part binds himself, his successors and assigns, to promptly remove or alter the said facilities, in order to conform to the said requirement, without any cost to the party of the first part.

That the party of the second part agrees to provide during construction and any subsequent maintenance proper signs, signal lights, flagmen and other warning devices for the protection of traffic in conformance with the latest Manual on Uniform Traffic Control Devices for Streets and Highways and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the Division Engineer of the party of the first.

That the party of the second part hereby agrees to indemnify and save harmless the party of the first part from all damages and claims for damage that may arise by reason of the installation and maintenance of this encroachment.

That the party of the second part agrees to restore all areas disturbed during installation and maintenance to the satisfaction of the Division Engineer of the party of the first part. The party of the second part agrees to exercise every reasonable precaution during construction and maintenance to prevent eroding of soil; silt or pollution of rivers, streams, lakes, reservoirs, other water impoundments, ground surfaces or other property; or pollution of the air. There shall be compliance with applicable rules and regulations of the North Carolina Division of Environmental Management, North Carolina Sedimentation Control Commission, and with ordinances and regulations of various counties, municipalities and other official agencies relating to pollution prevention and control. When any installation or maintenance operation disturbs the ground surface and existing ground cover, the party of the second part agrees to remove and replace the sod or otherwise reestablish the grass cover to meet the satisfaction of the Division Engineer of the party of the first part.

That the party of the second part agrees to assume the actual cost of any inspection of the work considered to be necessary by the Division Engineer of the party of the first part.

That the party of the second part agrees to have available at the construction site, at all times during construction, a copy of this agreement showing evidence of approval by the party of the first part. The party of the first part reserves the right to stop all work unless evidence of approval can be shown.

Provided the work contained in this agreement is being performed on a completed highway open to traffic; the party of the second part agrees to give written notice to the Division Engineer of the party of the first part when all work contained herein has been completed. Unless specifically requested by the party of the first part, written notice of completion of work on highway projects under construction will not be required.

That in the case of noncompliance with the terms of this agreement by the party of the second part, the party of the first part reserves the right to stop all work until the facility has been brought into compliance or removed from the right of way at no cost to the party of the first part.

That it is agreed by both parties that this agreement shall become void if actual construction of the work contemplated herein is not begun within one (1) year from the date of authorization by the party of the first part unless written waiver is secured by the party of the second part from the party of the first part.

During the performance of this contract, the second party, for itself, its assignees and successors in interest (hereinafter referred to as the "contractor"), agrees as follows:

- a. **Compliance with Regulations:** The contractor shall comply with the Regulations relative to nondiscrimination in Federally-assisted programs of the U. S. Department of Transportation, Title 49, Code of Federal Regulations, Part 21, as they may be amended from time to time, (hereinafter referred to as the Regulations), which are herein incorporated by reference and made a part of this contract.
- b. **Nondiscrimination:** The contractor, with regard to the work performed by it during the contract, shall not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurements of materials and leases of equipment. The contractor shall not participate either directly or indirectly in the discrimination prohibited by Section 21.5 of the Regulations, including employment practices when the contract covers a program set forth in Appendix B of the Regulations.
- c. **Solicitations for Subcontracts, Including Procurements of Materials and Equipment:** In all solicitations either by competitive bidding or negotiation made by the contractor for work to be performed under a subcontract, including procurements of materials or leases of equipment, each potential subcontractor or supplier shall be notified by the contractor of the contractor's obligations under this contract and the Regulations relative to nondiscrimination on the grounds of race, color, or national origin.
- d. **Information and Reports:** The contractor shall provide all information and reports required by the Regulations, or directives issued pursuant thereto, and shall permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the Department of Transportation or the Federal Highway Administration to be pertinent to ascertain compliance with such Regulations or directives. Where any information required of a contractor is in the exclusive possession of another who fails or refuses to furnish this information, the contractor shall so certify to the Department of Transportation, or the Federal Highway Administration as appropriate, and shall set forth what efforts it has made to obtain the information.
- e. **Sanctions for Noncompliance:** In the event of the contractor's noncompliance with the nondiscrimination provisions of this contract, the Department of Transportation shall impose such contract sanctions as it or the Federal Highway Administration may determine to be appropriate, including, but not limited to,
  - (1) withholding of payments to the contractor under the contract until the contractor complies, and/or
  - (2) cancellation, termination or suspension of the contract, in whole or in part.
- f. **Incorporation of Provisions:** The contractor shall include the provisions of paragraphs "a" through "f" in every subcontract, including procurements of materials and leases of equipment, unless exempt by the Regulations, or directives issued pursuant thereto. The contractor shall take such action with respect to any subcontract or procurement as the Department of Transportation or the Federal Highway Administration may direct as a means of enforcing such provisions including sanctions for noncompliance: Provided, however, that, in the event a contractor becomes involved in, or is threatened with, litigation with a subcontractor or supplier as a result of such direction, the contractor may request the Department of Transportation to enter into such litigation to protect the interests of the State, and, in addition, the contractor may request the United States to enter into such litigation to protect the interests of the United States.

That when title to the subject that constitutes the aforesaid encroachment passes from the party of the second part and vests in the party of the third part, the party of the third part agrees to assume all responsibilities and rights and to perform all obligations as agreed to herein by the party of the second part.

R/W (166) : Party of the Second Part certifies that this agreement is true and accurate copy of the form R/W (166) incorporating all revisions to date.

IN WITNESS WHEREOF, each of the parties to this agreement has caused the same to be executed the day and year first above written.

DEPARTMENT OF TRANSPORTATION

BY: Carleen A. Spier  
DI-830000F AC40F45A

WITNESS:

Megan E. Morningstar  
Megan C. Morningstar

CA Howard  
Managing Member, Howard Land Development, Inc.

Second Party

WITNESS:

Jessica Timmons  
Currituck County

Rebecca Gay  
County Manager, Currituck County

Third Party



SITE DATA:

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
PIN: 0094000161G0000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, PG. 778  
P.C. R. SLD. 396  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

5. SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION: PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20

OWNERSHIP AND DEDICATION CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAN AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAN AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE \_\_\_\_\_ OWNER \_\_\_\_\_

I, \_\_\_\_\_, A NOTARY PUBLIC OF \_\_\_\_\_ COUNTY,

NORTH CAROLINA, DO HEREBY CERTIFY THAT \_\_\_\_\_

PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE

I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAN ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE \_\_\_\_\_ OWNER \_\_\_\_\_

AIRPORT OVERLAY DISTRICT STATEMENT

ALL OR A PORTION OF THIS PROPERTY LIES WITHIN THE AIRPORT OVERLAY DISTRICT. PERSONS ON THE PREMISES MAY BE EXPOSED TO NOISE AND OTHER EFFECTS AS MAY BE INHERENT IN AIRPORT OPERATIONS. CURRITUCK COUNTY HAS PLACED CERTAIN RESTRICTIONS ON DEVELOPMENT AND USE OF PROPERTY WITHIN THIS OVERLAY.

EASEMENT ESTABLISHMENT STATEMENT

A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 25 FOOT EASEMENT ALONG THE FRONT PROPERTY LINE IS HEREBY ESTABLISHED.

FLOODWAY/FLOODPLAIN STATEMENT

USE OF LAND WITHIN A FLOODWAY OR FLOODPLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.

INTERCONNECTIVITY STATEMENT

THIS SUBDIVISION CONTAINS A RIGHT-OF-WAY THAT IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHT-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT

A PAYMENT-IN-LIEU OF RECREATION AND PARK AREA DEDICATION HAS BEEN PROVIDED IN ACCORDANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENTS-IN-LIEU RECEIVED BY THE COUNTY SHALL BE USED ONLY FOR THE ACQUISITION OR DEVELOPMENT OF RECREATION AND PARK AREAS, AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTES SECTION 153A-331.

STORMWATER STATEMENT

NO MORE THAN 8,000 SF OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.

WETLANDS STATEMENT

PROPERTY ON THIS PLAN MAY CONTAIN 404 WETLANDS AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.



APPROVAL CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAN IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAN HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE \_\_\_\_\_ ADMINISTRATOR \_\_\_\_\_

ENVIRONMENTAL CONCERN CERTIFICATE

THIS SUBDIVISION (OR PORTIONS THEREOF) IS LOCATED WITHIN AN AREA OF ENVIRONMENTAL CONCERN.

DATE \_\_\_\_\_ LOCAL PERMIT OFFICER \_\_\_\_\_

IMPROVEMENTS CERTIFICATE

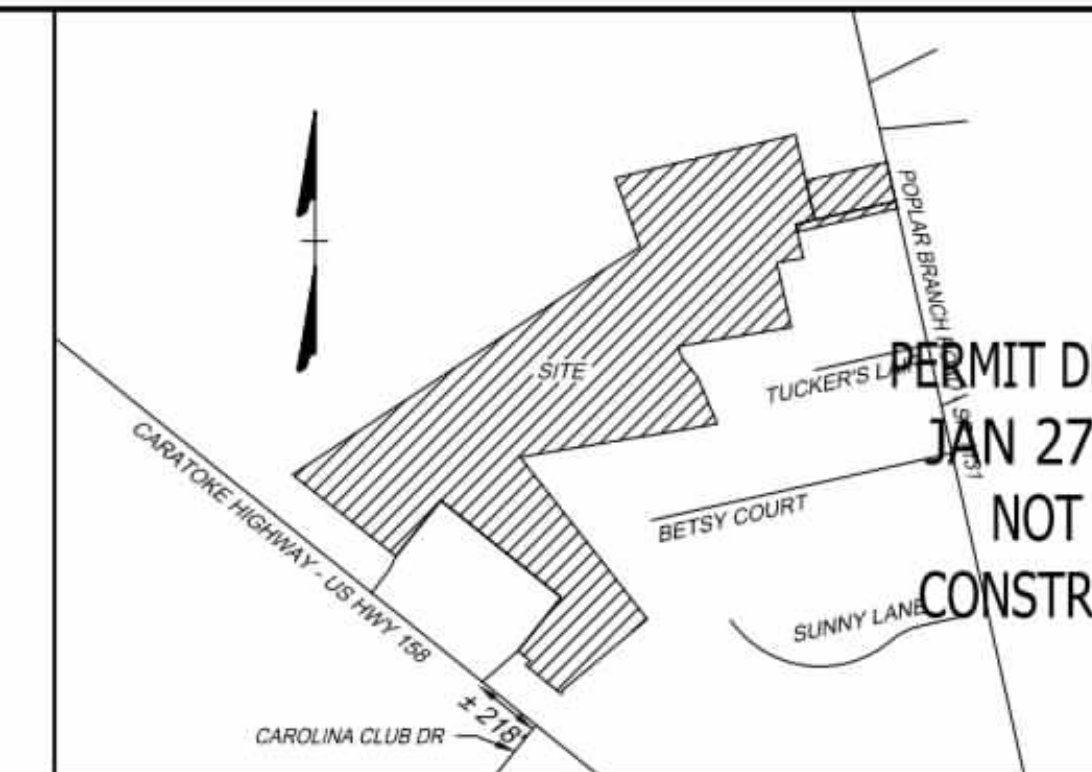
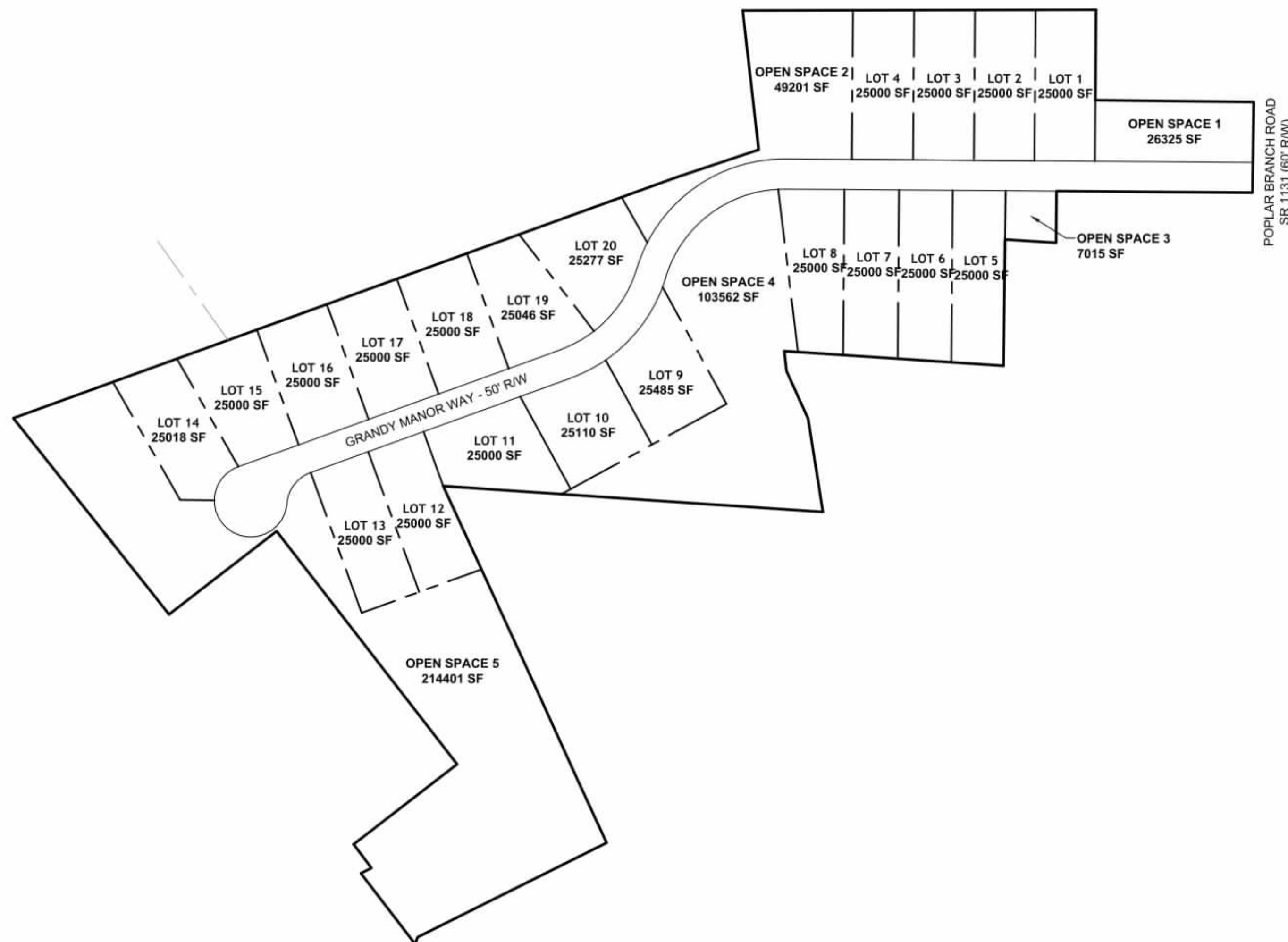
I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE TIMMONS GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

DATE \_\_\_\_\_ REGISTERED LAND SURVEYOR/ENGINEER \_\_\_\_\_

REGISTRATION NUMBER \_\_\_\_\_

ADJACENT ACTIVE FARMLAND STATEMENT

AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS OF THIS DEVELOPMENT ADJOIN LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS NORMAL OPERATION.



VICINITY MAP  
NO SCALE



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.562.6974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE 01/27/2026  
DRAWN BY KTY  
DESIGNED BY N/A  
CHECKED BY KDH  
SCALE 1" = 60'

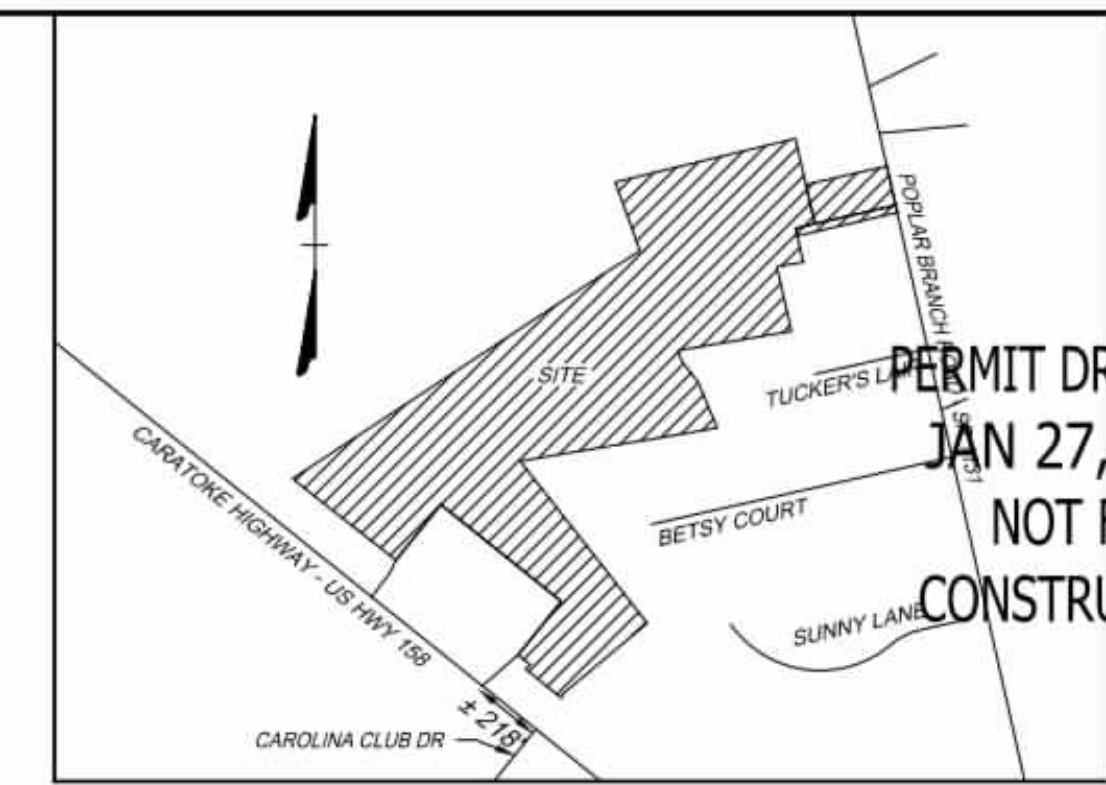
TIMMONS GROUP  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
COVER

JOB NO. 56469  
SHEET NO. C0.0



SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, P.G. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 ± 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27809  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

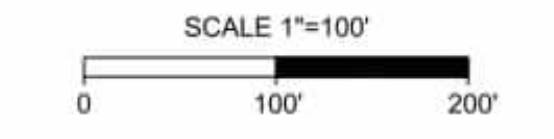
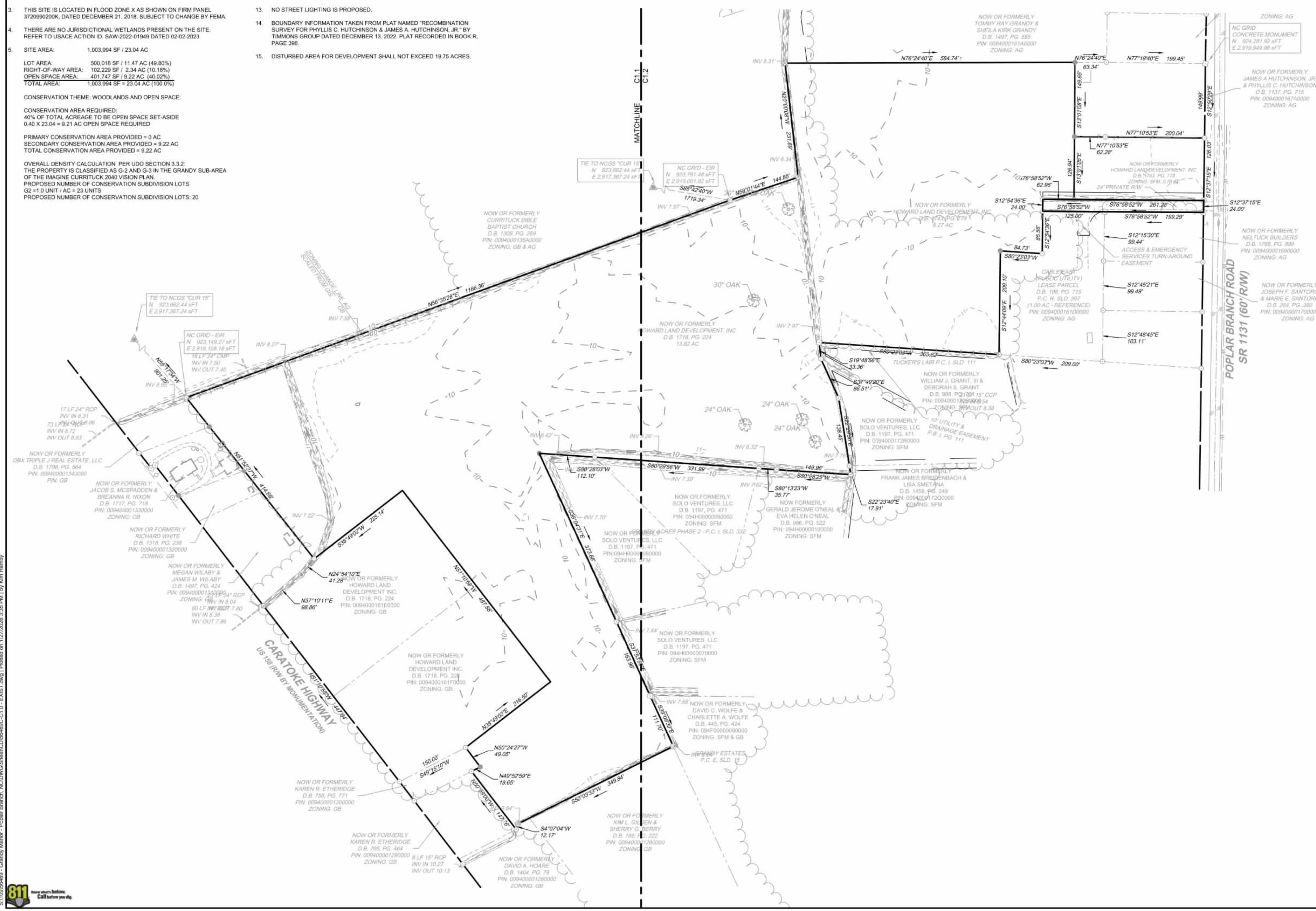
YOUR VISION ACHIEVED THROUGH OURS.

DATE: 01/27/2026  
DRAWN BY: KTY  
DESIGNED BY: N/A  
CHECKED BY: KDH  
SCALE: 1" = 100'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
EXISTING CONDITIONS OVERVIEW

JOB NO.: 56469  
SHEET NO.: C1.0

- LEGEND**
- BENCHMARK
  - EXISTING IRON REBAR (EIR)
  - CALCULATED POINT
  - EX FIRE HYDRANT
  - EX WATER VALVE
  - EX TELEPHONE PEDESTAL
  - EX LIGHT POLE
  - EX GUY ANCHOR
  - EX POWER METER
  - EX POWER BOX
  - EX SIGN
  - EX BOLLARD
  - EX HERITAGE TREE
  - PROP DROP INLET
  - PROP WATER VALVE
  - PROP WATER METER
  - PROP FIRE HYDRANT
  - PROPERTY BOUNDARY
  - RIGHT OF WAY
  - ADJACENT PROPERTY BOUNDARY
  - PROP LOT LINES
  - EASEMENT
  - EX EDGE OF PAVEMENT
  - EX ROAD CENTERLINE
  - EX OVERHEAD POWER
  - EX NATURAL GAS LINE
  - EX WATER LINE
  - EX CENTER OF DITCH
  - EX TOP OF BANK
  - EX MAJOR CONTOUR
  - EX MINOR CONTOUR
  - EX STORM PIPE
  - EX EDGE OF TREE LINE
  - EX SPOT GRADE
  - EX CONCRETE
  - PROP ASPHALT PAVEMENT
  - PROP CONCRETE SIDEWALK
  - PROP FENCE
  - PROP MAJOR CONTOUR
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  - PROP STORM PIPE
  - PROP WATER LINE
  - PROP EDGE OF TREE LINE
  - PROP SWALE
  - PROP SPOT GRADE



S:\10915489 - Grandy Manor - Poplar Branch, NCDIV\GIS\Sheet\CD\56469\C1.0 - EXIST.dwg | Printed on 1/27/2026 3:36 PM by Kim Hamby

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SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 009400016100000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, PG. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA  
OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20  
C2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

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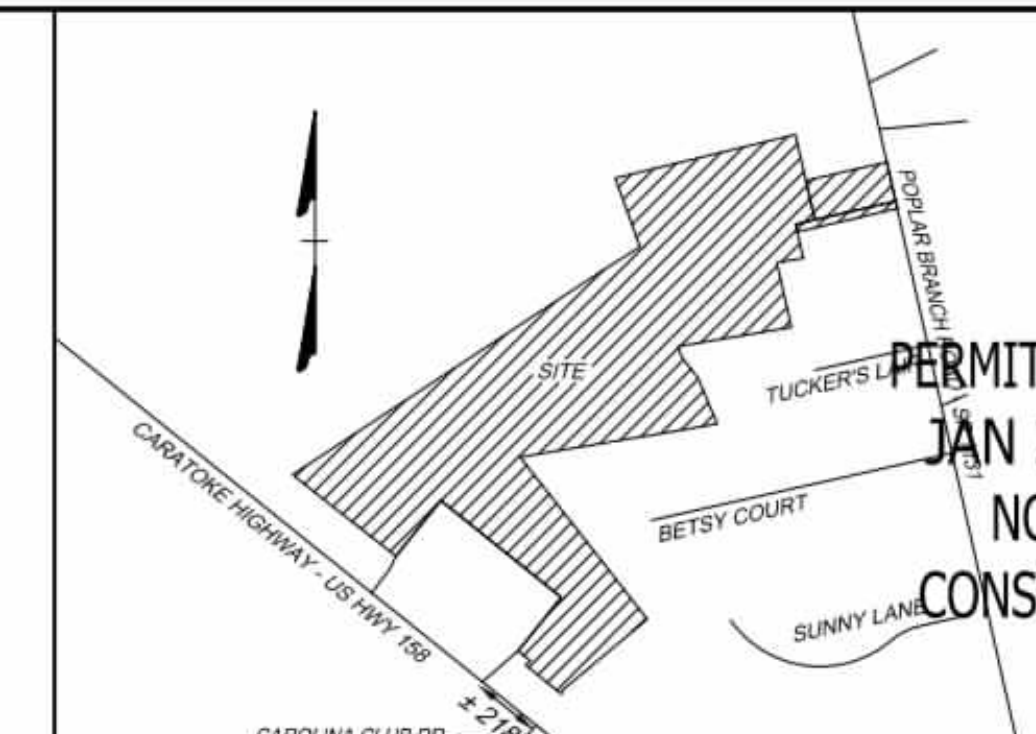
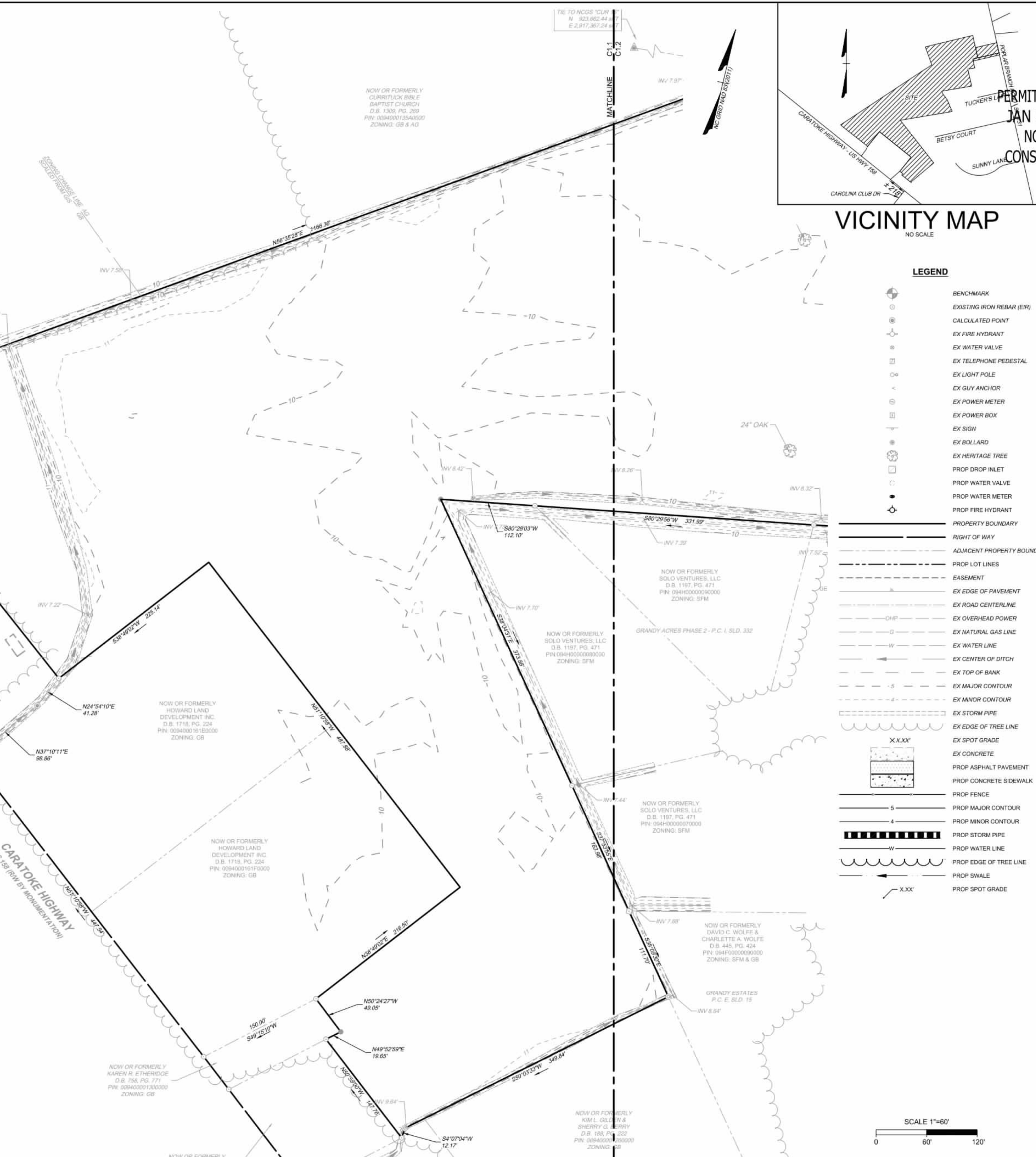
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VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
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- PROP SWALE
- PROP SPOT GRADE

SCALE 1" = 60'



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	N/A
CHECKED BY	KDH
SCALE	1" = 60'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**EXISTING CONDITIONS**

JOB NO.	56469
SHEET NO.	C1.1



SITE DATA:

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
PIN: 009400016100000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

6. IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
7. MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
8. MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
12. SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
13. NO STREET LIGHTING IS PROPOSED.
14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

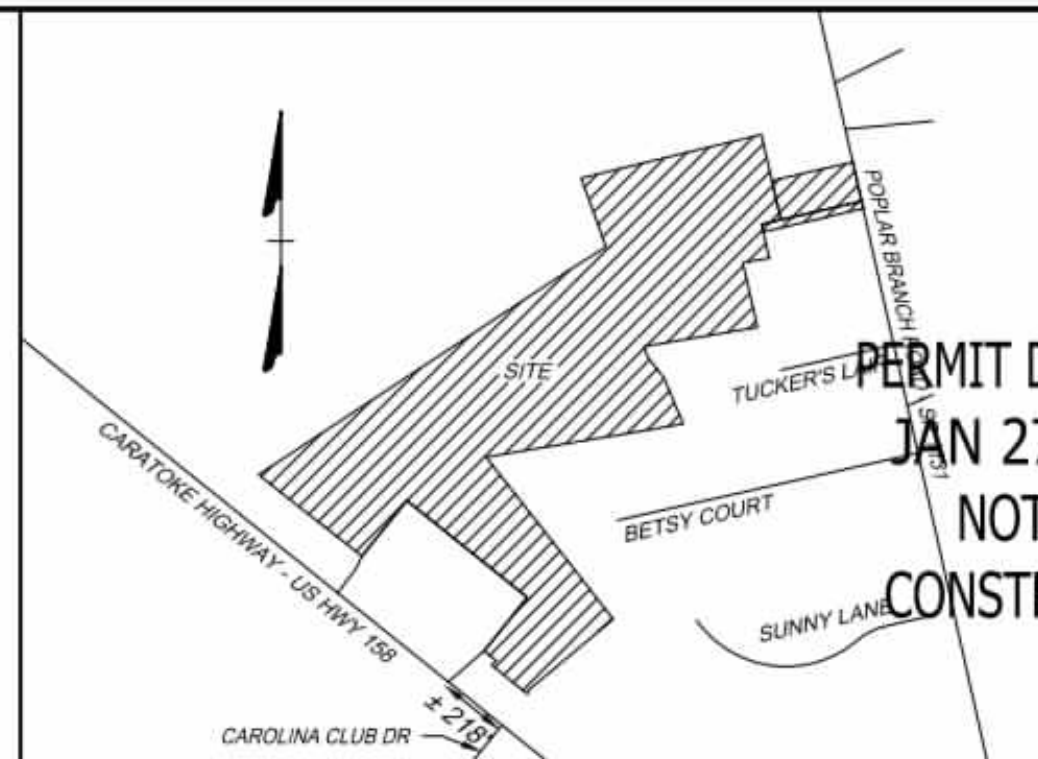
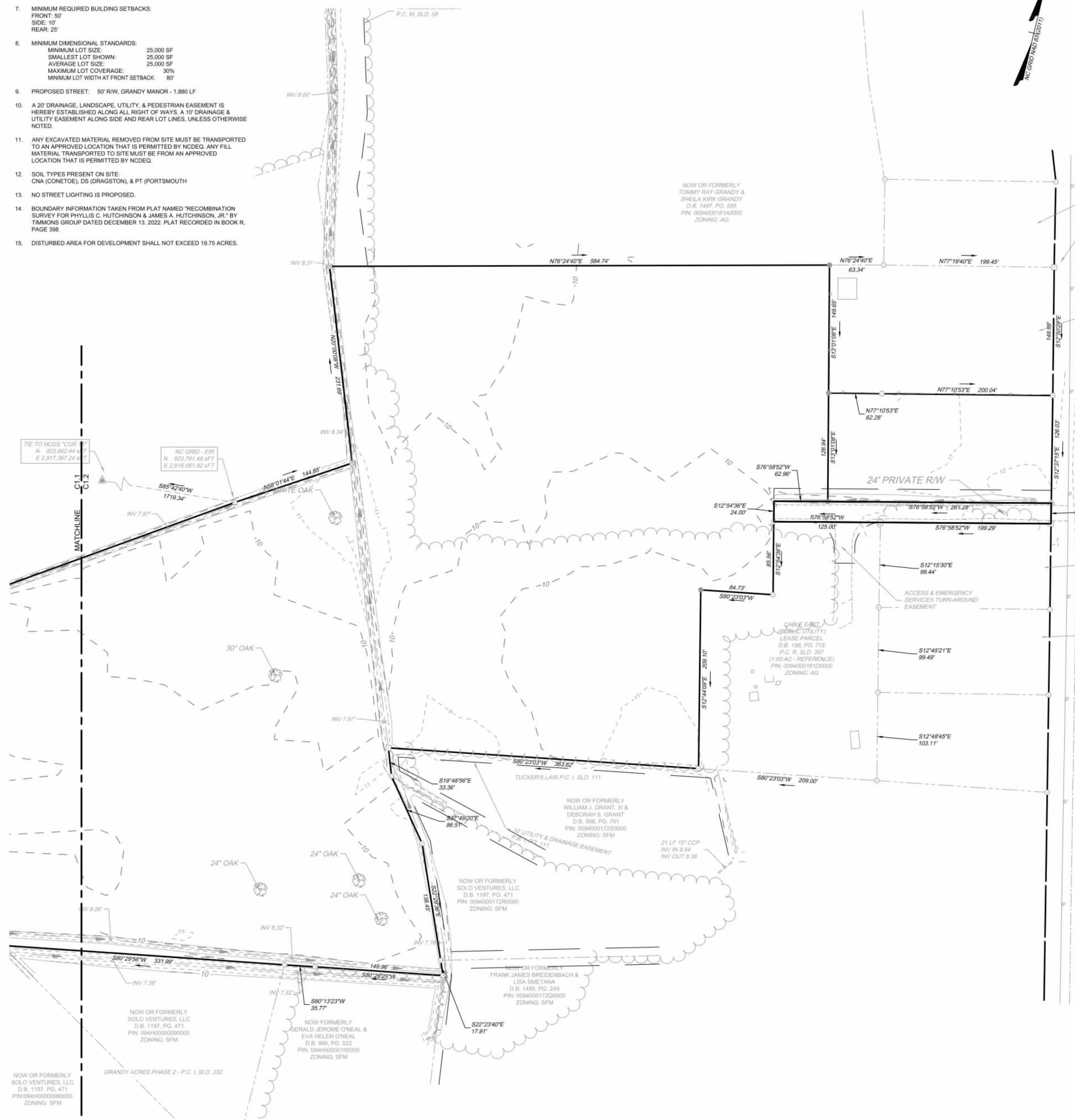
5. SITE AREA: 1,003,994 SF / 23.04 AC

LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
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OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE:  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
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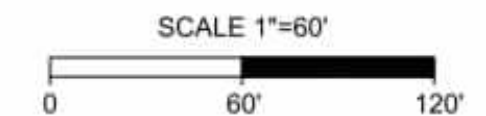
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1805 West City Drive, Unit E | Elizabeth City, NC 27809  
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	01/27/2026

DRAWN BY	KTY
DESIGNED BY	N/A
CHECKED BY	KDH
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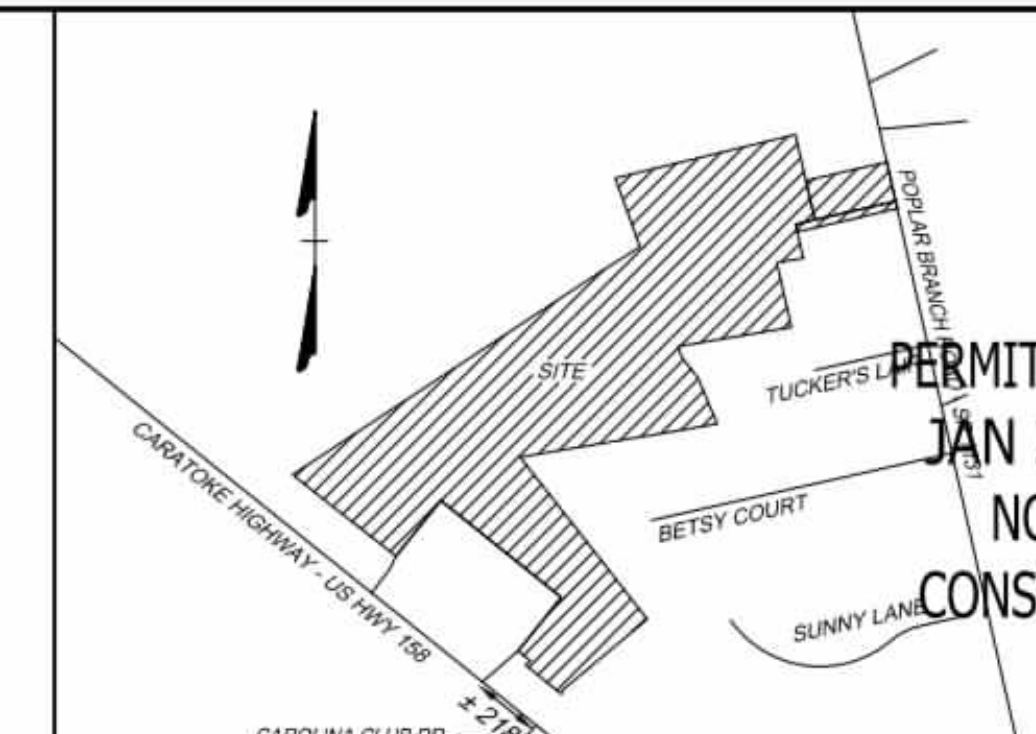
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SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27569  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

PROFESSIONAL SEAL  
042614  
27-26  
KIMBERLY D. HANBY

VICINITY MAP  
NO SCALE

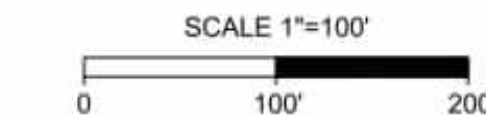
LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROP LOT LINES
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	255.00	282.02	157.39	63°21'57"	N45°17'53"E	267.86
C2	255.00	46.32	23.22	10°24'26"	N8°24'41"E	46.26
C3	205.00	127.40	65.83	35°36'25"	N21°00'41"E	125.36
C4	205.00	63.60	32.06	17°46'35"	N47°42'11"E	63.35
C5	60.00	72.64	41.52	69°21'49"	N21°54'34"E	68.28
C6	60.00	184.32	1723.37	176°00'43"	S79°13'18"W	119.93
C7	60.00	68.46	38.50	65°22'32"	S23°54'12"W	64.81
C8	255.00	65.05	32.70	14°37'00"	S49°16'58"W	64.88
C9	255.00	155.62	80.32	34°57'59"	S24°29'29"W	153.22
C10	255.00	16.91	8.46	3°48'01"	S5°06'29"W	16.91
C11	205.00	251.99	144.69	70°25'43"	S38°25'20"W	236.42
C12	205.00	11.97	5.99	3°20'41"	S75°18'31"W	11.97



REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 01/27/2026  
DRAWN BY: KTY  
DESIGNED BY: KDH  
CHECKED BY: KDH  
SCALE: 1" = 100'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

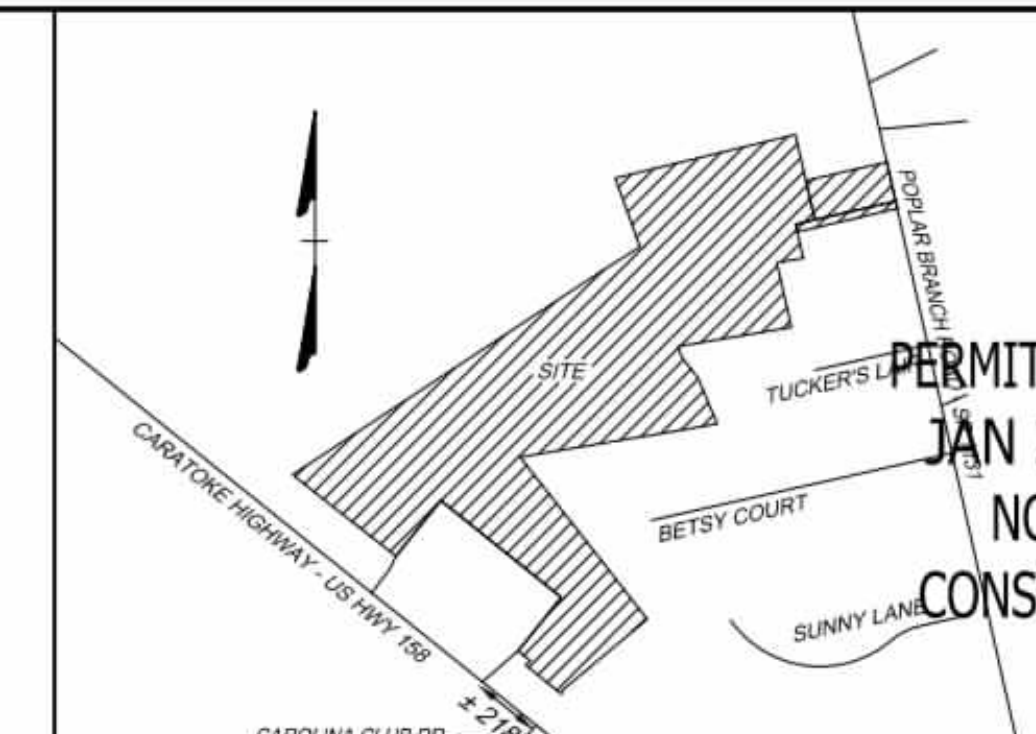
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
PRELIMINARY PLAT

JOB NO. 56469  
SHEET NO. C2.0



SITE DATA:

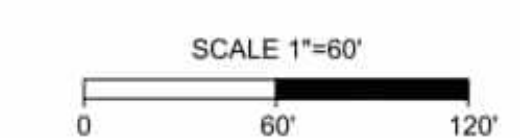
- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, PG. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 #1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
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- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
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- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
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- EX POWER BOX
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- PROP SWALE
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PERMIT DRAWINGS  
JAN 27, 2026  
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CONSTRUCTION

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1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3939 FAX 252.562.6974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	DATE
	01/27/2026

DESIGNED BY	CHECKED BY
KTY	KDH

SCALE
1" = 60'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
SITE PLAN

JOB NO.	SHEET NO.
56469	C2.1



SITE DATA:

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2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
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P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW
- EXISTING 24' RW  
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G2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
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REAR: 25'
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SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
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- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

NOV OR FORMERLY TOMMY RAY GRANDY & SHEILA KIRK GRANDY  
D.B. 1407, PG. 385  
PIN: 0094000161A0000  
ZONING: AG

NOW OR FORMERLY JAMES A HUTCHINSON, JR & PHYLIS C. HUTCHINSON  
D.B. 1137, PG. 719  
PIN: 0094000167A0000  
ZONING: AG

NOW OR FORMERLY NELTUCK BUILDERS  
D.B. 1768, PG. 899  
PIN: 009400016800000  
ZONING: AG

NOW OR FORMERLY JOSEPH F. SANTORO & MARIE E. SANTORO  
D.B. 284, PG. 386  
PIN: 009400017000000  
ZONING: AG

NOW OR FORMERLY WILLIAM J. GRANT, III & DEBORAH S. GRANT  
D.B. 998, PG. 781  
PIN: 009400017200000  
ZONING: SFM

NOW OR FORMERLY SOLO VENTURES, LLC  
D.B. 1197, PG. 471  
PIN: 094400000900000  
ZONING: SFM

NOW OR FORMERLY FRANK JAMES BREIDENBACH & LISA SMETANA  
D.B. 1458, PG. 249  
PIN: 009400017200000  
ZONING: SFM

NOW OR FORMERLY SOLO VENTURES, LLC  
D.B. 1197, PG. 471  
PIN: 094400000900000  
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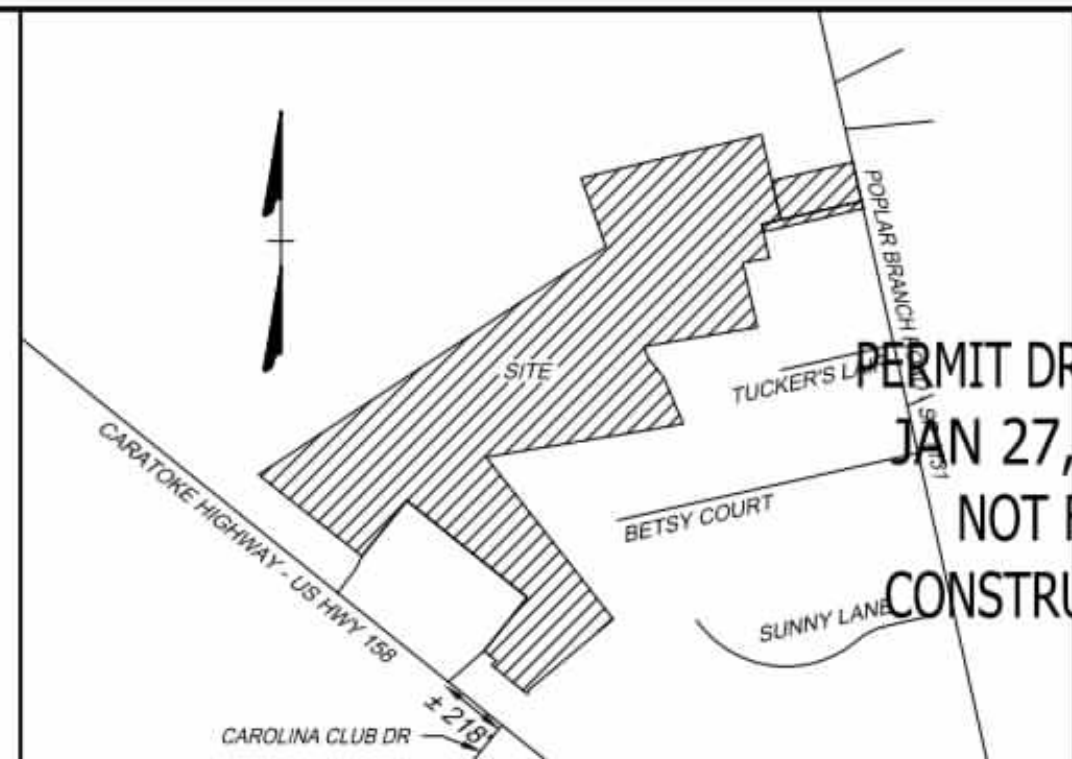
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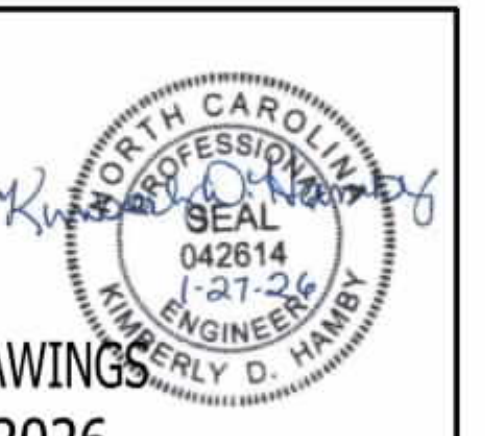
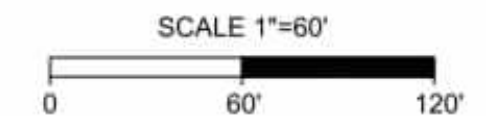
NOW OR FORMERLY SOLO VENTURES, LLC  
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VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
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JAN 27, 2026  
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DRAWN BY: KTY  
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SCALE: 1" = 60'

TIMMONS GROUP

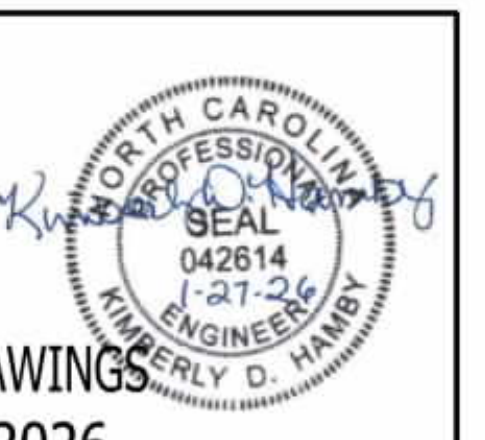
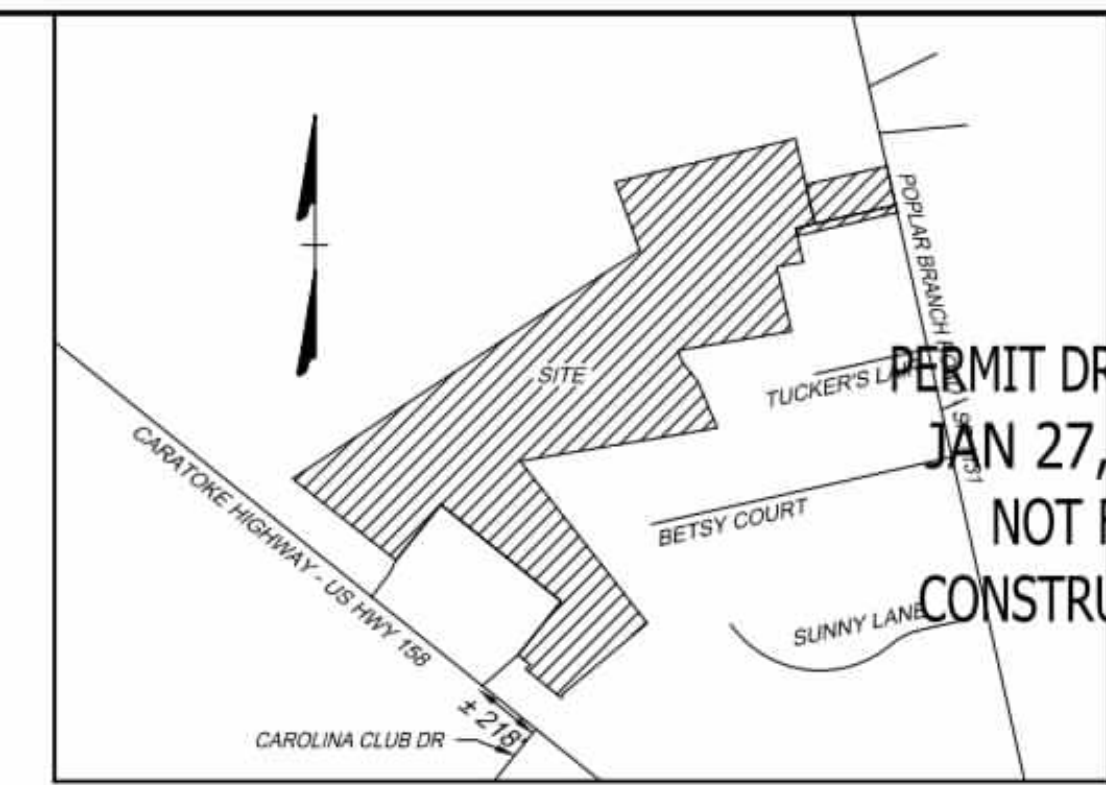
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

SITE PLAN  
JOB NO. 56469  
SHEET NO. C2.2

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part without the express written consent of TIMMONS GROUP. Limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 0094000161G0000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 0094000168G0000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDCE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDCE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

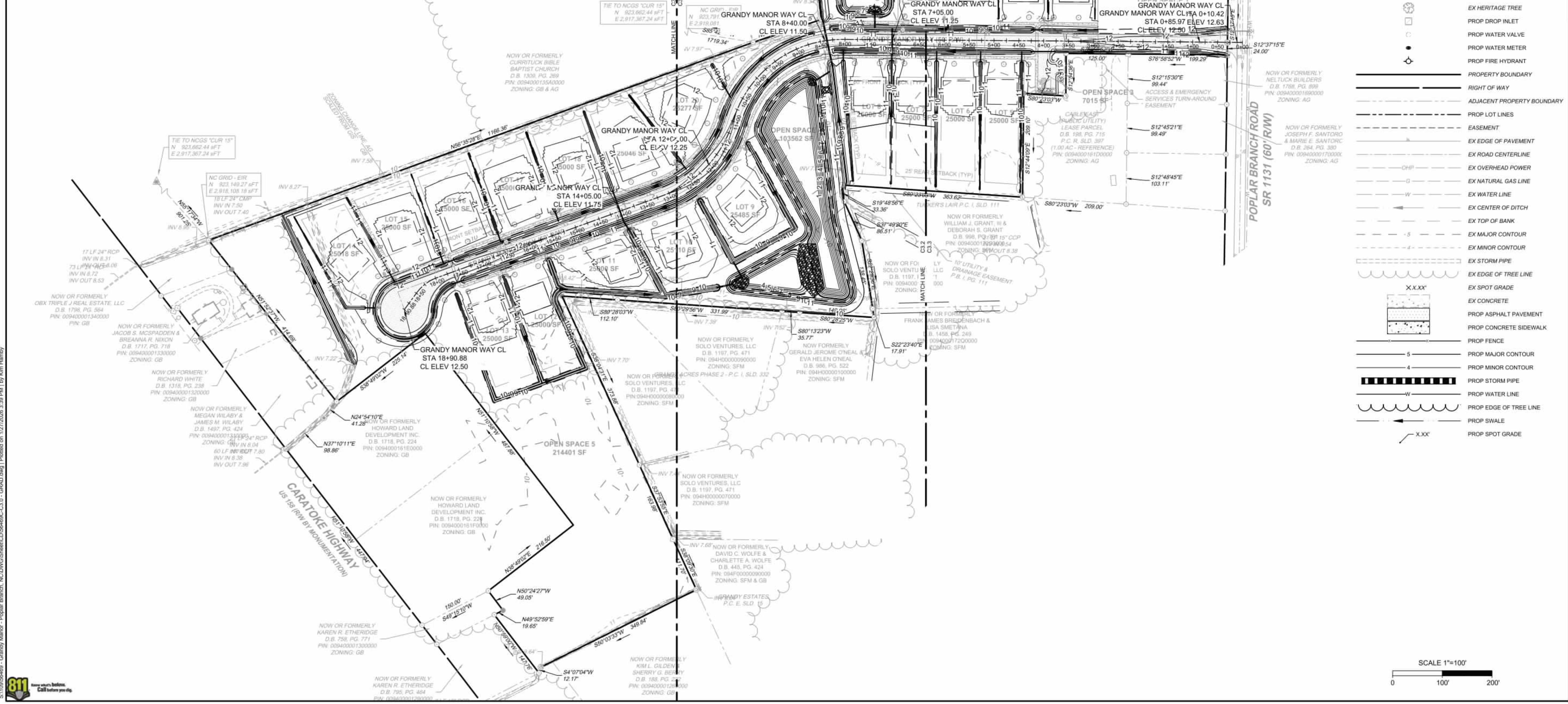


PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
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- PROP WATER METER
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- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
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- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



THIS DRAWING PREPARED AT THE ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27809  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

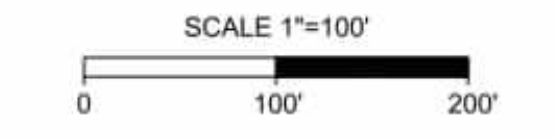
DRAWN BY	BCD
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 100'

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING & DRAINAGE PLAN OVERVIEW

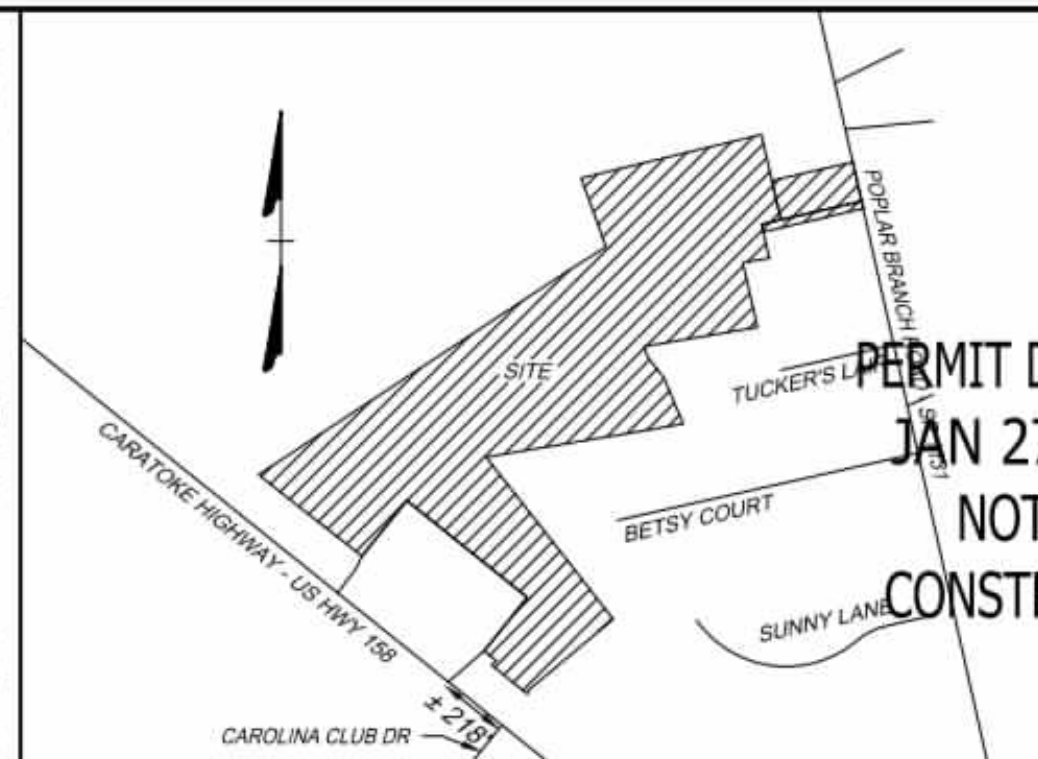
JOB NO.	56469
SHEET NO.	C3.0



**SITE DATA:**

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
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POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, P.G. 778  
P.C. R. SLD. 396  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24" RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
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TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 \* 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

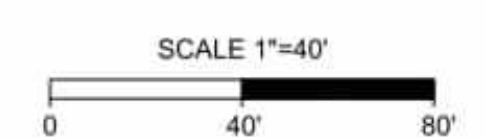
LOT 14: 25018 SF, BPE=12.75  
LOT 15: 25000 SF, BPE=12.75  
LOT 16: 25000 SF, BPE=12.50  
LOT 17: 25000 SF, BPE=12.50  
LOT 18: 25000 SF, BPE=12.50  
LOT 19: 25046 SF, BPE=12.50  
LOT 20: 25277 SF, BPE=12.50  
LOT 11: 25000 SF, BPE=12.50  
LOT 12: 25000 SF, BPE=12.00  
LOT 13: 25000 SF, BPE=12.50  
LOT 10: 1110 SF, BPE=12.50



**VICINITY MAP**  
NO SCALE

**LEGEND**

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
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- EX HERITAGE TREE
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- ADJACENT PROPERTY BOUNDARY
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- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
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- EX NATURAL GAS LINE
- EX WATER LINE
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- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
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- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



PERMIT DRAWINGS  
JAN 27, 2026  
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CONSTRUCTION

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ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

DRAWN BY	BCD
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 40'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING & DRAINAGE PLAN

JOB NO.	56469
SHEET NO.	C3.1

S:\10195469 - Grandy Manor - Poplar Branch, NCDIV\GIS\Sheet\CD\56469-C3.1 - GRAD.dwg | Printed on 1/27/2026 3:38 PM | by Kim Hanby



811  
Call before you dig

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SITE DATA:

1. OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 399  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW

EXISTING 24" RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW

6. IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)

7. MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'

8. MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'

9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF

10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.

11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDOT. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDOT.

12. SOIL TYPES PRESENT ON SITE:  
CNA (CONOTEC), DS (DRAGSTON), & PT (PORTSMOUTH)

13. NO STREET LIGHTING IS PROPOSED.

14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.

15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

5. SITE AREA: 1,003,994 SF / 23.04 AC

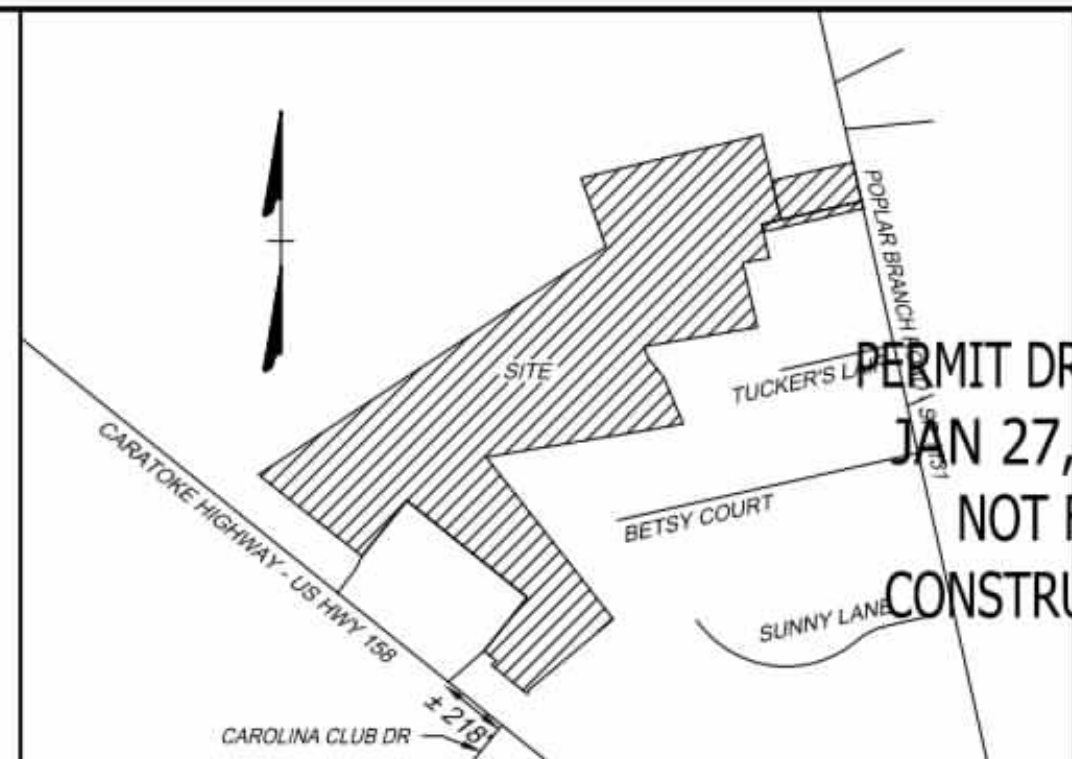
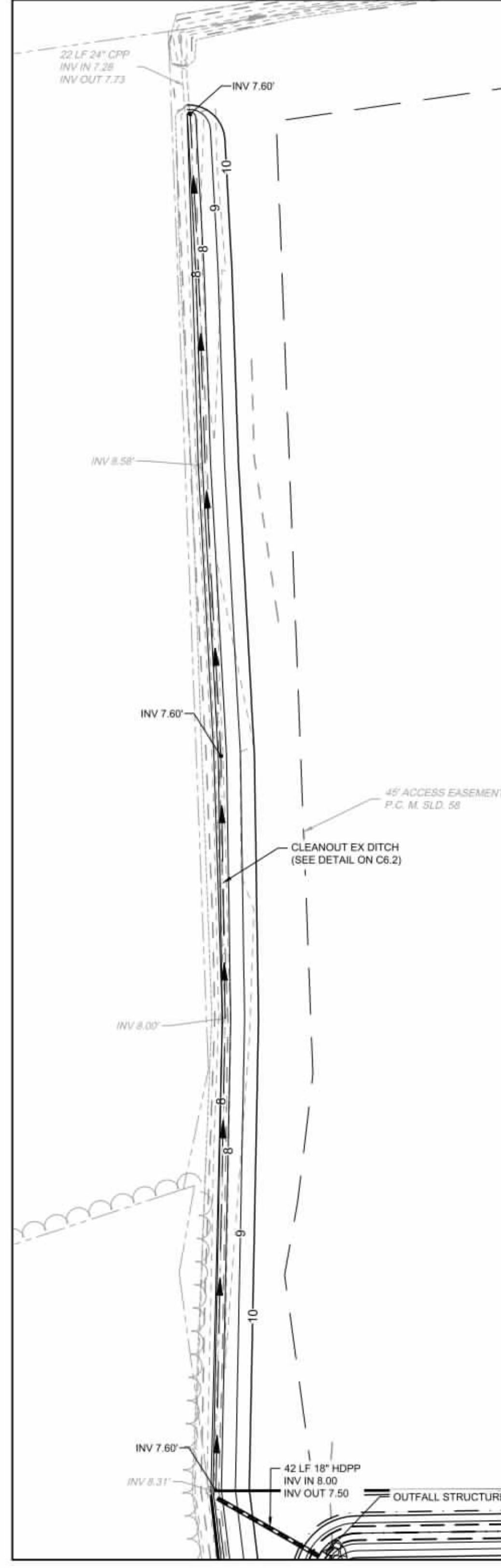
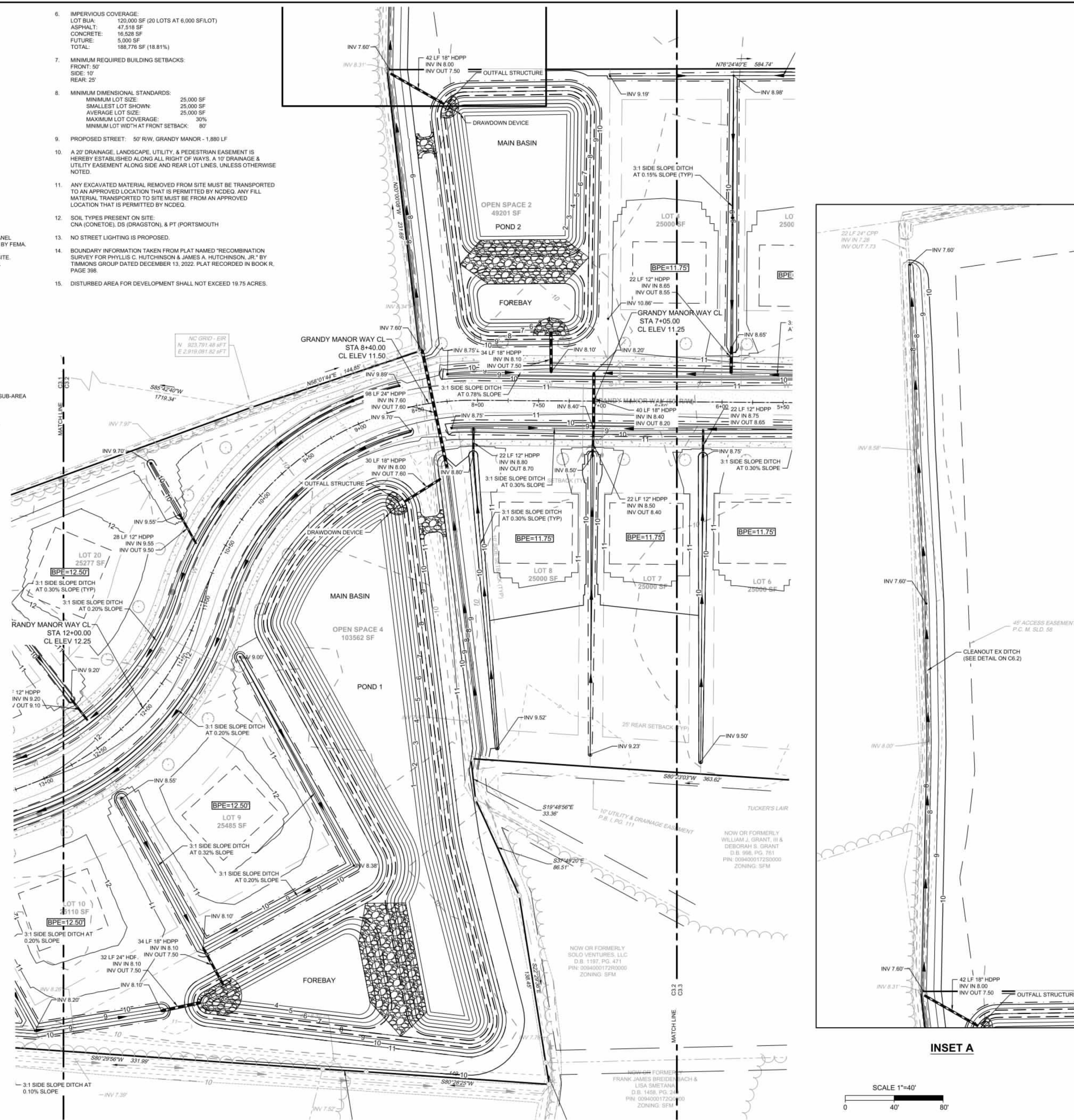
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TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE

CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 +1.0 UNIT / AC = 23 UNITS  
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VICINITY MAP  
NO SCALE

LEGEND

	BENCHMARK
	EXISTING IRON REBAR (EIR)
	CALCULATED POINT
	EX FIRE HYDRANT
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	EX TELEPHONE PEDESTAL
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REVISION DESCRIPTION	DATE
	01/27/2026

DRAWN BY	BCD
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 40'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING & DRAINAGE PLAN

JOB NO.	56469
SHEET NO.	C3.2

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S:\109156489 - Grandy Manor - Poplar Branch, NCDIV\GIS\Sheet\CD\56469C3.2 - GRAD.dwg | Printed on 1/27/2026 3:38 PM | by Kim Hamby

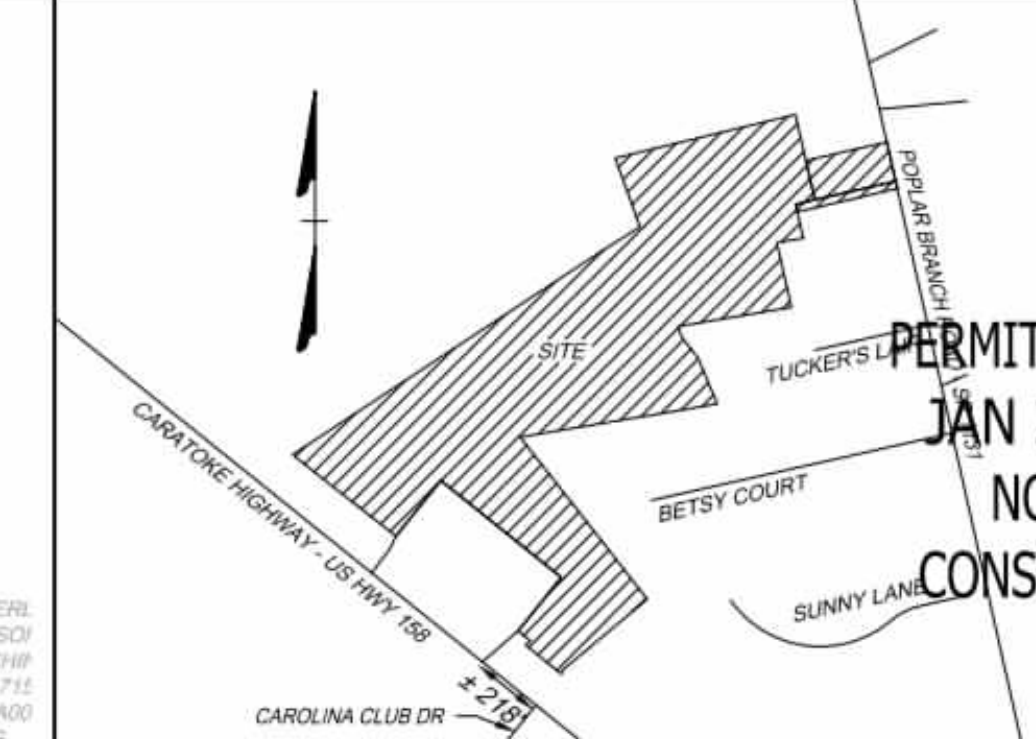
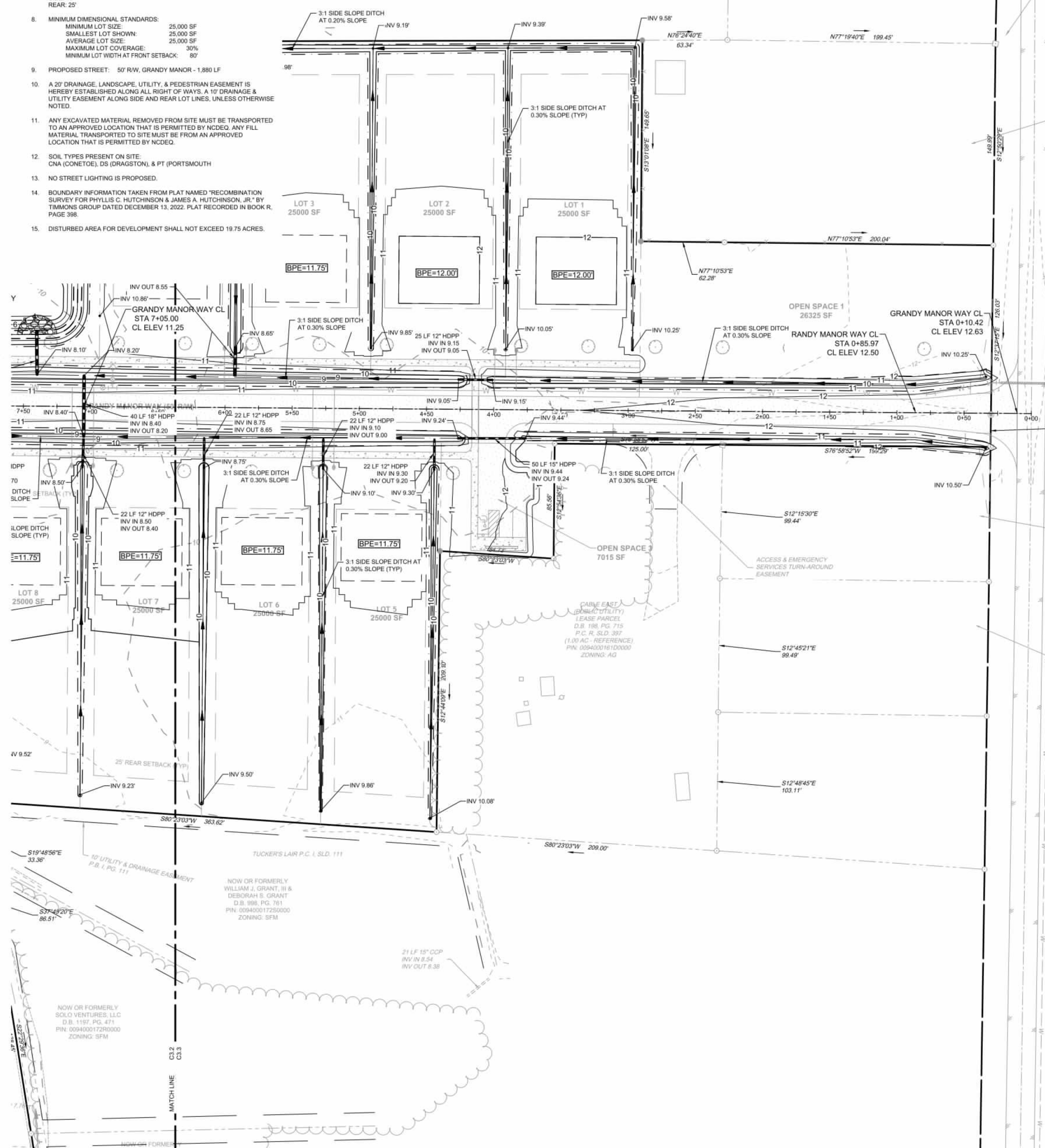


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ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
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SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
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SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

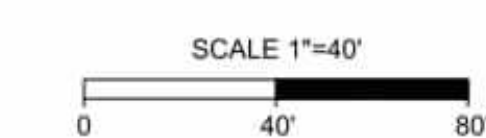
D.B. 1497, PG. 585  
PIN: 00940001610000  
ZONING: AG



VICINITY MAP  
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROP LOT LINES
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



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TEL 252.621.3939 FAX 252.562.9574 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE

DATE	01/27/2026
DRAWN BY	BCD
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 40'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING & DRAINAGE PLAN

JOB NO.	56469
SHEET NO.	C3.3

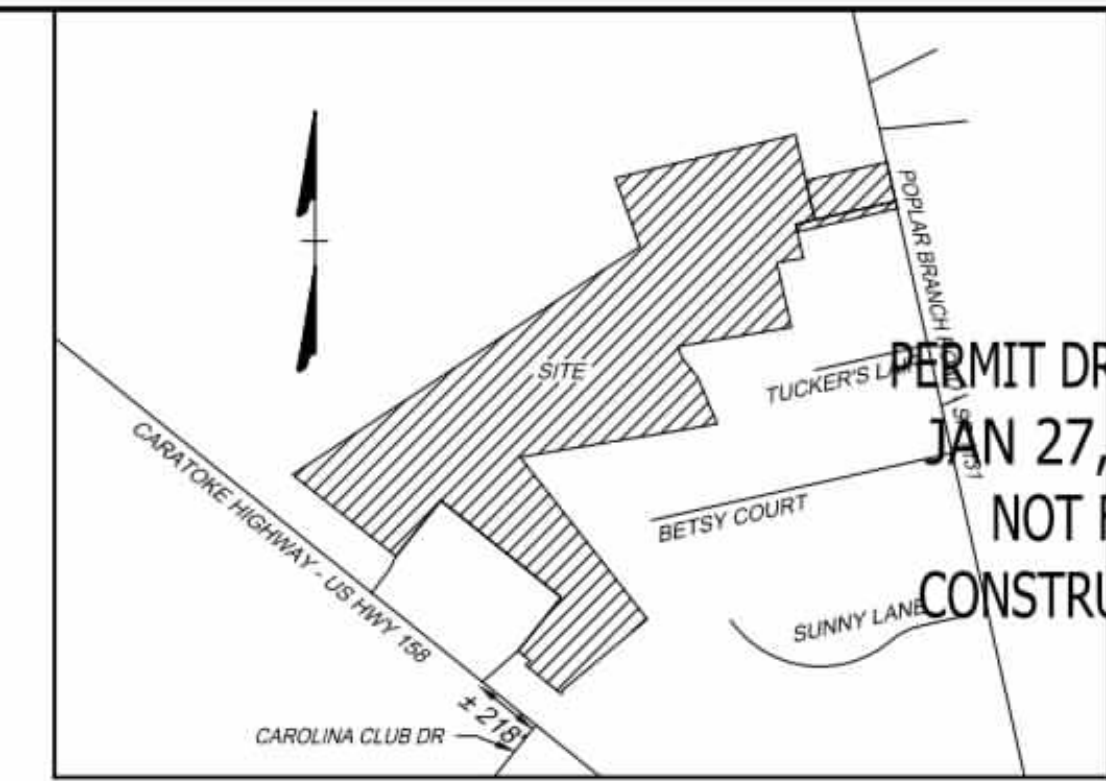
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SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 0094000161G0000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, P.G. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 0094000168G0000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE:  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 + 11.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
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- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
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TEL 252.621.3030 FAX 252.562.0974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

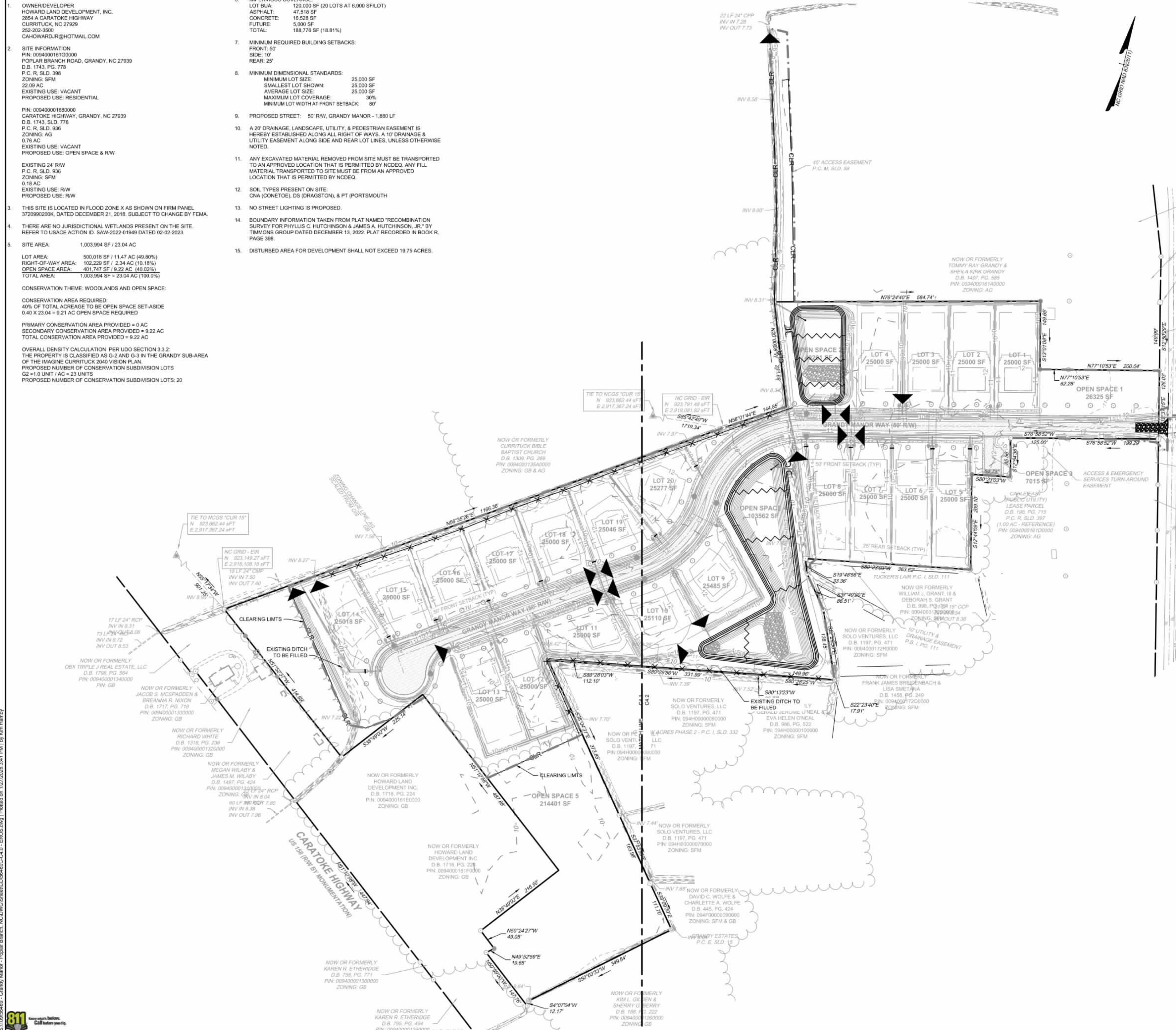
DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 100'

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

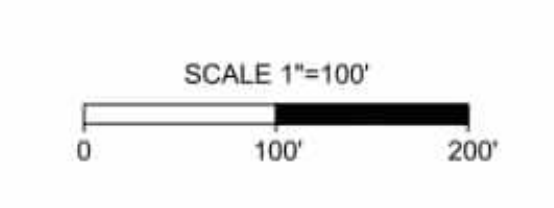
**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**EROSION & SEDIMENT CONTROL - PHASE 1**

JOB NO.	56469
SHEET NO.	C4.0



### LEGEND

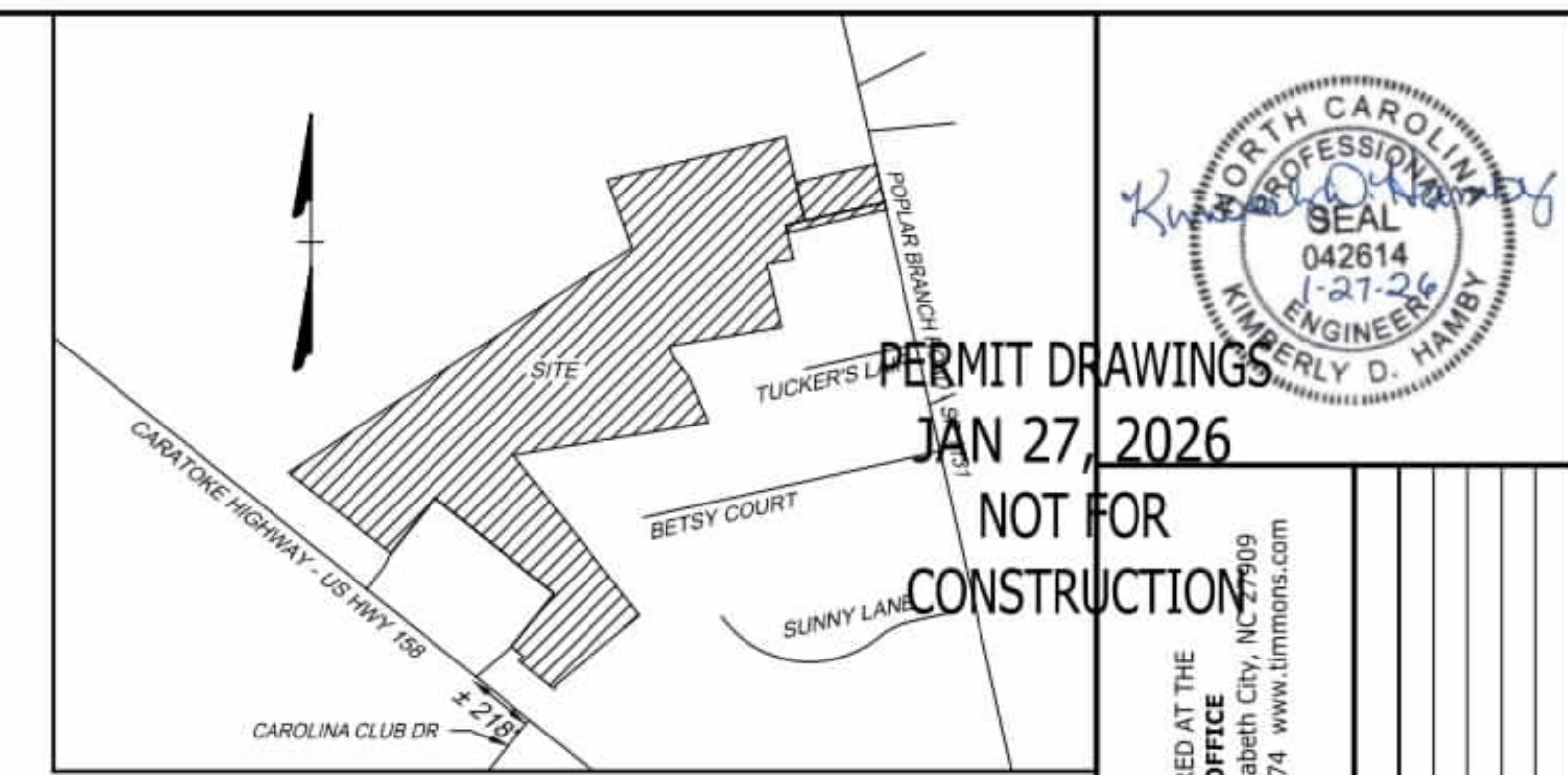
(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	X X X	SILT FENCE
(IP)	[Pattern]	INLET PROTECTION
(CIP)	[Pattern]	CULVERT INLET PROTECTION
	[Symbol]	STONE CHECK DAM
	[Pattern]	RIP RAP
	[Pattern]	JUTE MAT
	[Symbol]	COIR BAFFLES
	---	CLEARING LIMITS



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SITE DATA:

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HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 009400016100000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
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LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
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TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
PRIMARY CONSERVATION AREA PROVIDED = 9.22 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION: PER LUDO SECTION 3.3.2  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA  
OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS  
G2 = 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
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- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP  
NO SCALE



PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

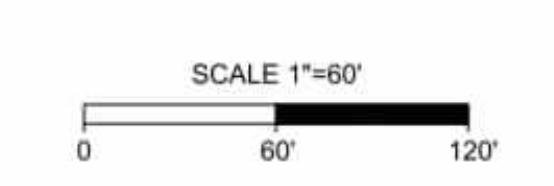
THIS DRAWING PREPARED AT THE  
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TEL 252.621.3030 FAX 252.562.6974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 60'

LEGEND

(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	---x---x---	SILT FENCE
(IP)	[Symbol]	INLET PROTECTION
(CIP)	[Symbol]	CULVERT INLET PROTECTION
	[Symbol]	STONE CHECK DAM
	[Pattern]	RIP RAP
	[Pattern]	JUTE MAT
	[Symbol]	COIR BAFFLES
	---	CLEARING LIMITS



**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
EROSION & SEDIMENT CONTROL PLAN - PHASE 2

JOB NO. 56469  
SHEET NO. C4.1

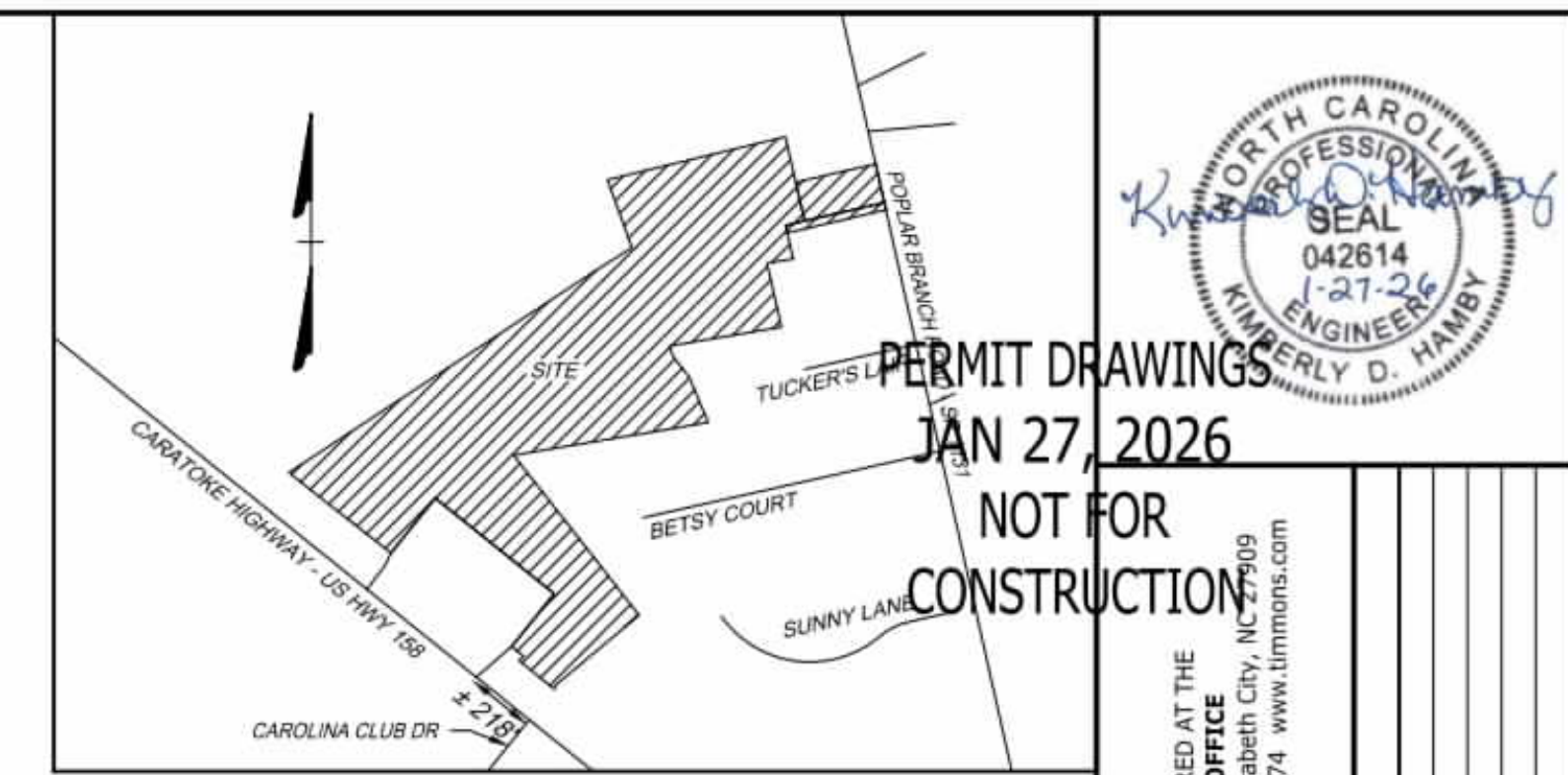
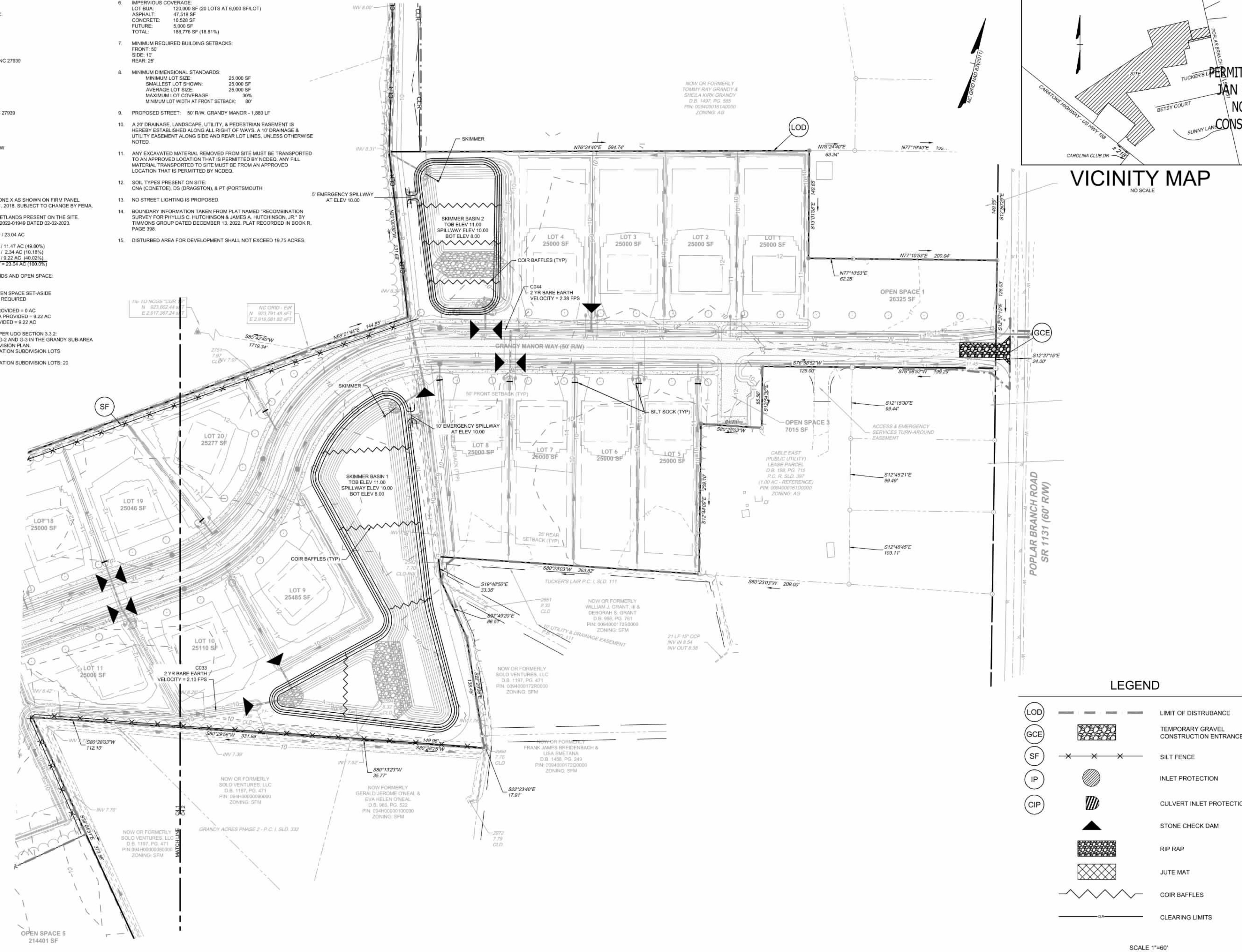
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SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 0094000161G0000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
PIN: 009400016800000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
EXISTING 24' RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
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LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
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OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.216 AC OPEN SPACE REQUIRED  
PRIMARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
OVERALL DENSITY CALCULATION: PER LUDO SECTION 3.3.2  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 2  
C2 #1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
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PERMIT DRAWINGS  
JAN 27, 2026  
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1805 West City Drive, Unit E | Elizabeth City, NC 27909  
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DATE	REVISION DESCRIPTION
01/27/2026 <td>YOUR VISION ACHIEVED THROUGH OURS.</td>	YOUR VISION ACHIEVED THROUGH OURS.

DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 60'

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

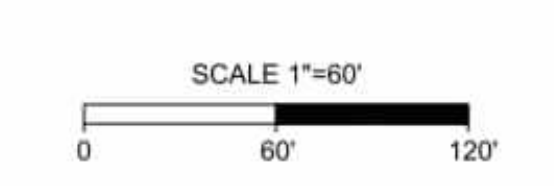
## GRANDY MANOR SUBDIVISION

POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

### EROSION & SEDIMENT CONTROL PLAN - PHASE 2

LEGEND

(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	---x---	SILT FENCE
(IP)	[Pattern]	INLET PROTECTION
(CIP)	[Pattern]	CULVERT INLET PROTECTION
	[Symbol]	STONE CHECK DAM
	[Pattern]	RIP RAP
	[Pattern]	JUTE MAT
	[Symbol]	COIR BAFFLES
	---	CLEARING LIMITS

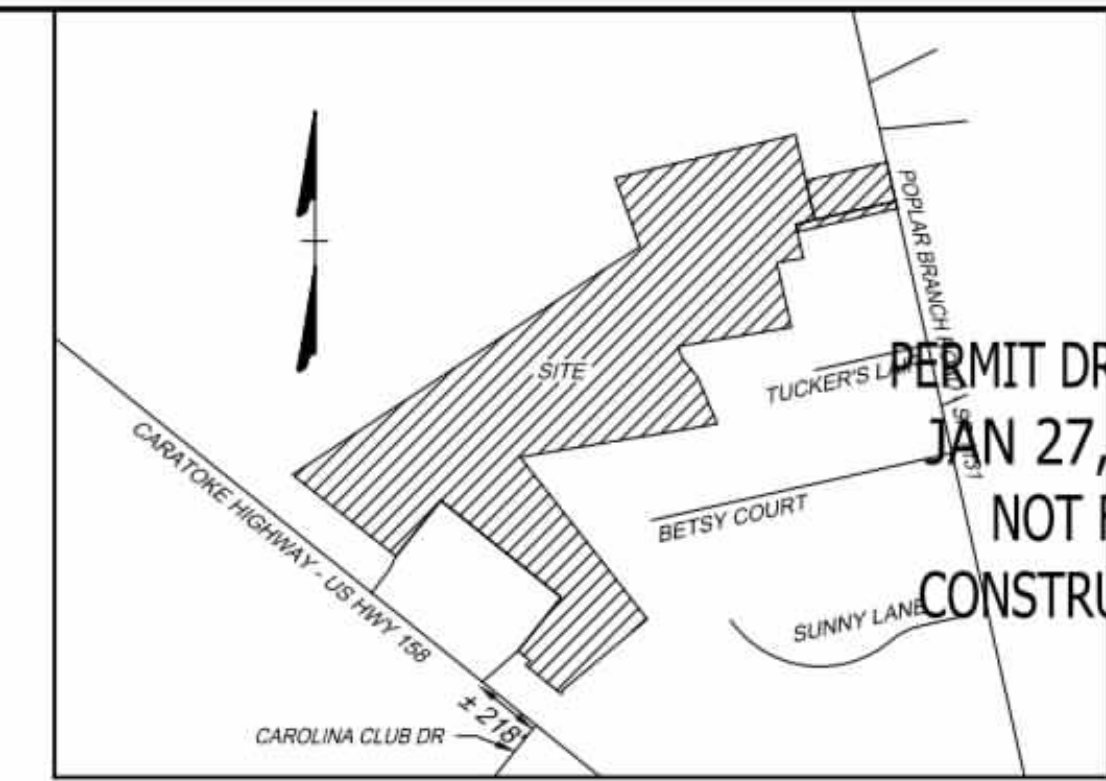


S:\10915489 - Grandy Manor - Poplar Branch, NCDWS\SheetCD\5489C-C4.0 - EROS.dwg | Printed on 1/27/2026 3:41 PM | by Kim Hamby



SITE DATA:

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2854 A CARATOKE HIGHWAY  
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252-202-3500  
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- SITE INFORMATION  
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POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, PG. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24' RW  
P.C. R. SLD. 936  
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CONSERVATION AREA REQUIRED:  
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0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
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OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
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PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 ± 1.0 UNIT / AC = 23 UNITS  
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:  
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)  
ASPHALT: 47,518 SF  
CONCRETE: 16,528 SF  
FUTURE: 5,000 SF  
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:  
FRONT: 50'  
SIDE: 10'  
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:  
MINIMUM LOT SIZE: 25,000 SF  
SMALLEST LOT SHOWN: 25,000 SF  
AVERAGE LOT SIZE: 25,000 SF  
MAXIMUM LOT COVERAGE: 30%  
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEOE.
- SOIL TYPES PRESENT ON SITE:  
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP  
NO SCALE

PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION



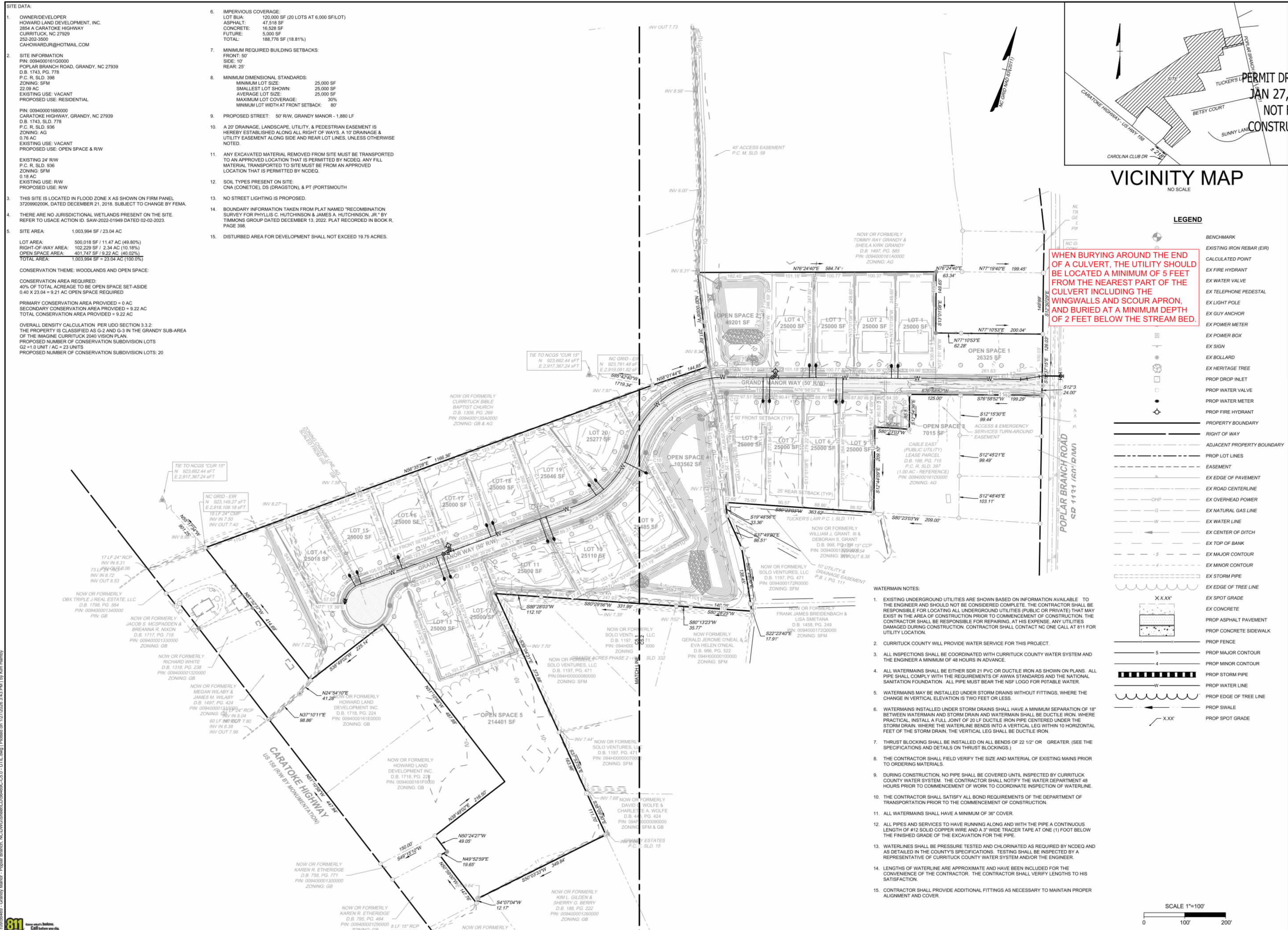
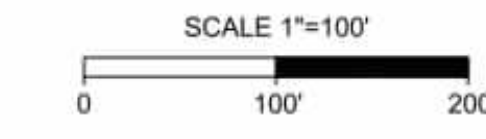
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LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
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- EX EDGE OF PAVEMENT
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- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE

WHEN BURYING AROUND THE END OF A CULVERT, THE UTILITY SHOULD BE LOCATED A MINIMUM OF 5 FEET FROM THE NEAREST PART OF THE CULVERT INCLUDING THE WINGWALLS AND SCOUR APRON, AND BURIED AT A MINIMUM DEPTH OF 2 FEET BELOW THE STREAM BED.

- WATERMAIN NOTES:
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL AT 811 FOR UTILITY LOCATION.
  - CURRITUCK COUNTY WILL PROVIDE WATER SERVICE FOR THIS PROJECT.
  - ALL INSPECTIONS SHALL BE COORDINATED WITH CURRITUCK COUNTY WATER SYSTEM AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
  - ALL WATERMANS SHALL BE EITHER SDR 21 PVC OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF AWWA STANDARDS AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER.
  - WATERMANS MAY BE INSTALLED UNDER STORM DRAINS WITHOUT FITTINGS, WHERE THE CHANGE IN VERTICAL ELEVATION IS TWO FEET OR LESS.
  - WATERMANS INSTALLED UNDER STORM DRAINS SHALL HAVE A MINIMUM SEPARATION OF 18" BETWEEN WATERMAIN AND STORM DRAIN AND WATERMAIN SHALL BE DUCTILE IRON. WHERE PRACTICAL, INSTALL A FULL JOINT OF 20 LF DUCTILE IRON PIPE CENTERED UNDER THE STORM DRAIN. WHERE THE WATERLINE BENDS INTO A VERTICAL LEG WITHIN 10 HORIZONTAL FEET OF THE STORM DRAIN, THE VERTICAL LEG SHALL BE DUCTILE IRON.
  - THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2" OR GREATER. (SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
  - THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING MAINS PRIOR TO ORDERING MATERIALS.
  - DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY CURRITUCK COUNTY WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION OF WATERLINE.
  - THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - ALL WATERMANS SHALL HAVE A MINIMUM OF 36" COVER.
  - ALL PIPES AND SERVICES TO HAVE RUNNING ALONG AND WITH THE PIPE A CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
  - WATERLINES SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY NCEOE AND AS DETAILED IN THE COUNTY'S SPECIFICATIONS. TESTING SHALL BE INSPECTED BY A REPRESENTATIVE OF CURRITUCK COUNTY WATER SYSTEM AND/OR THE ENGINEER.
  - LENGTHS OF WATERLINE ARE APPROXIMATE AND HAVE BEEN INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY LENGTHS TO HIS SATISFACTION.
  - CONTRACTOR SHALL PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO MAINTAIN PROPER ALIGNMENT AND COVER.



YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
01/27/2026 <td></td>	

DATE: 01/27/2026  
DRAWN BY: KTY  
DESIGNED BY: KDH  
CHECKED BY: KDH  
SCALE: 1" = 100'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
UTILITY OVERVIEW

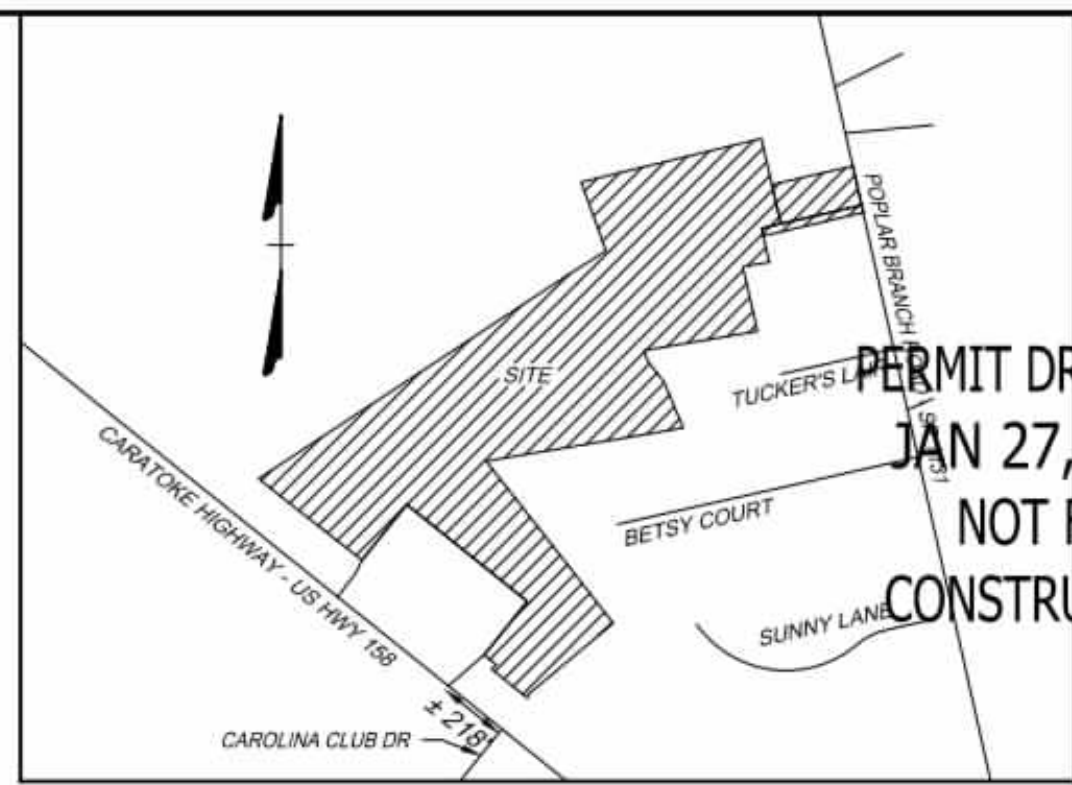
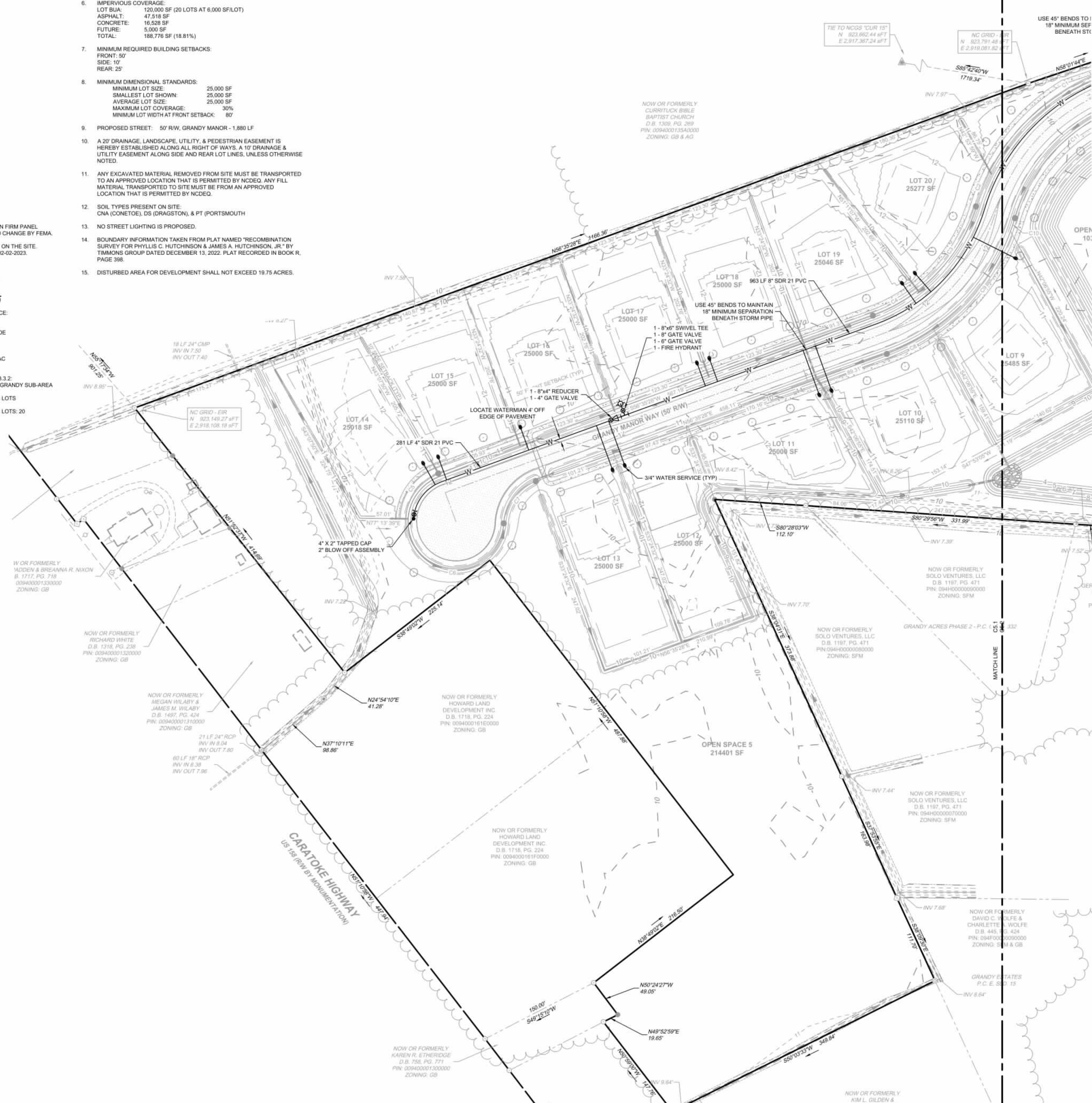
JOB NO. 56469  
SHEET NO. C5.0



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SITE DATA:

- OWNER/DEVELOPER  
HOWARD LAND DEVELOPMENT, INC.  
2854 A CARATOKE HIGHWAY  
CURRITUCK, NC 27929  
252-202-3500  
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION  
PIN: 00940001610000  
POPLAR BRANCH ROAD, GRANDY, NC 27939  
D.B. 1743, PG. 778  
P.C. R. SLD. 398  
ZONING: SFM  
22.09 AC  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
  
PIN: 00940001680000  
CARATOKE HIGHWAY, GRANDY, NC 27939  
D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW  
  
EXISTING 24" RW  
P.C. R. SLD. 936  
ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC  
LOT AREA: 500,018 SF / 11.47 AC (49.80%)  
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)  
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)  
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)  
  
CONSERVATION THEME: WOODLANDS AND OPEN SPACE  
CONSERVATION AREA REQUIRED:  
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE  
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED  
  
PRIMARY CONSERVATION AREA PROVIDED = 0 AC  
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC  
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC  
  
OVERALL DENSITY CALCULATION PER LUDO SECTION 3.3.2:  
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.  
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C2 = 1.0 UNIT / AC = 23 UNITS  
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- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
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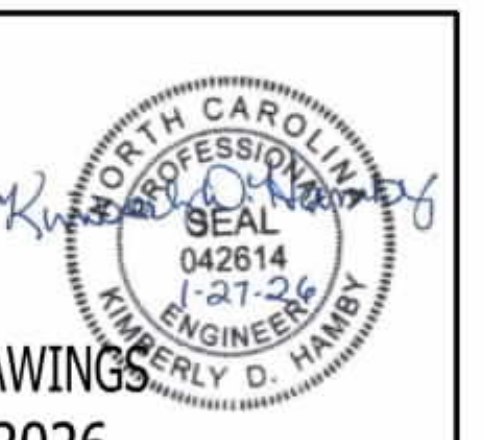
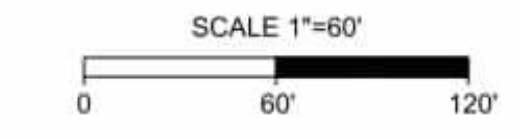


VICINITY MAP  
NO SCALE



LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
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REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 60'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
UTILITY PLAN

JOB NO. 56469  
SHEET NO. C5.1



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P.C. R. SLD. 398  
ZONING: SFM  
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EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL

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D.B. 1743, SLD. 778  
P.C. R. SLD. 936  
ZONING: AG  
0.76 AC  
EXISTING USE: VACANT  
PROPOSED USE: OPEN SPACE & RW

EXISTING 24" RW  
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ZONING: SFM  
0.18 AC  
EXISTING USE: RW  
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4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

5. SITE AREA: 1,003,994 SF / 23.04 AC

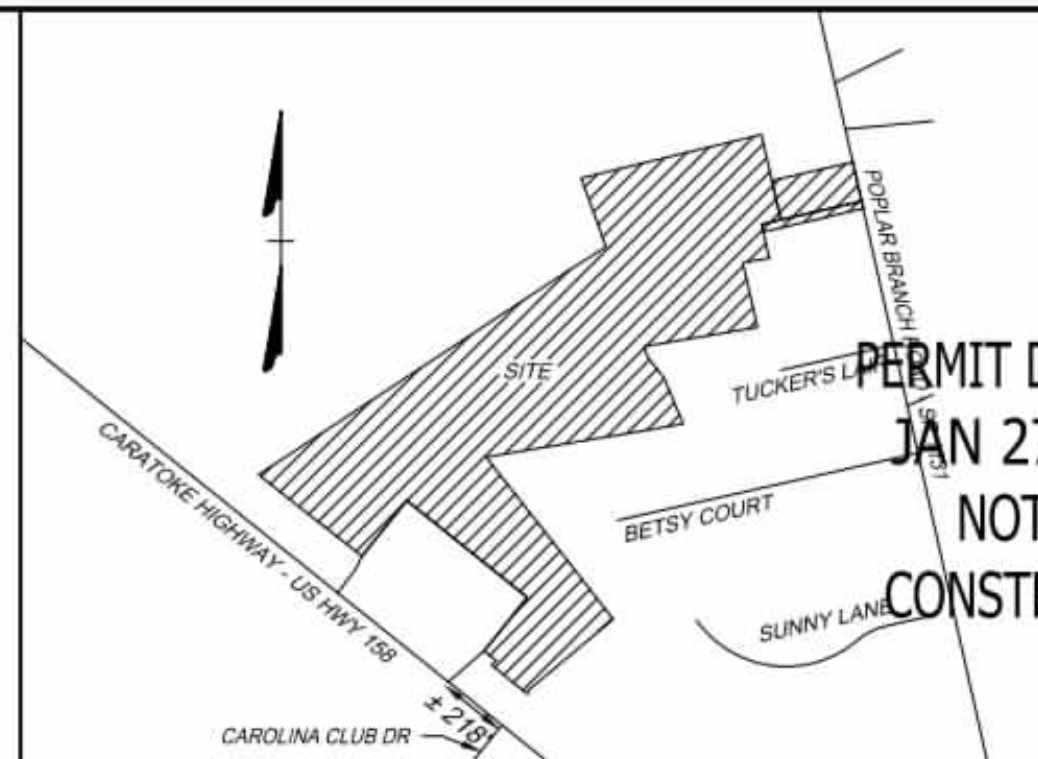
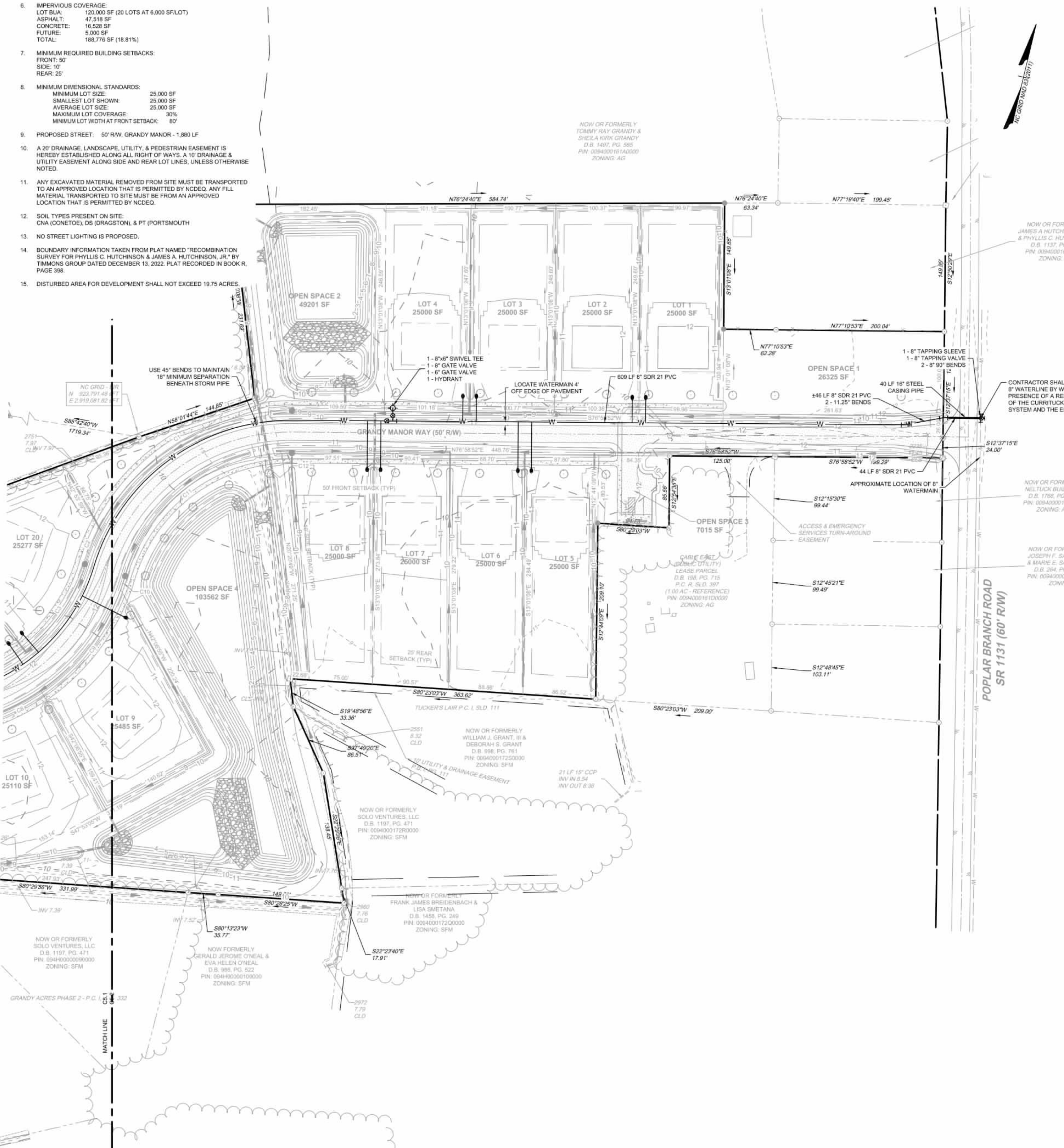
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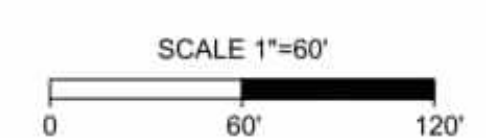
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NOT FOR  
CONSTRUCTION

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YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

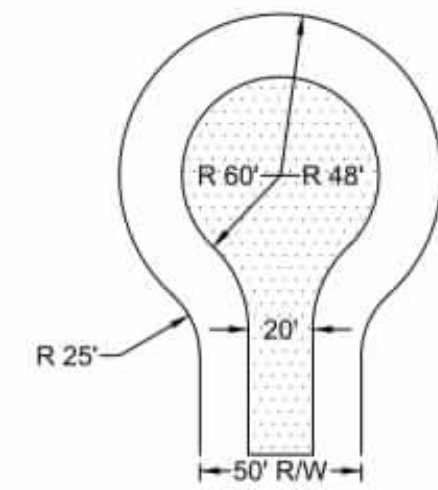
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SCALE: 1" = 60'

# TIMMONS GROUP

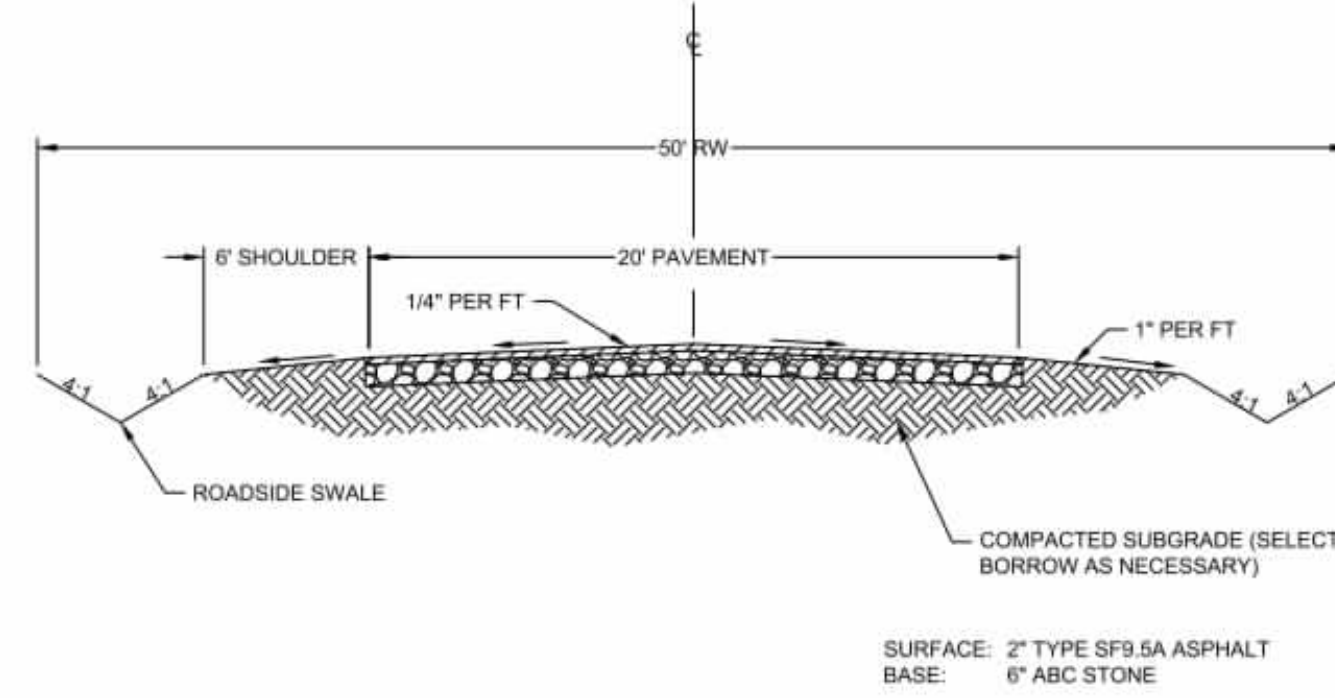
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POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
UTILITY PLAN

JOB NO.	56469
SHEET NO.	C5.2





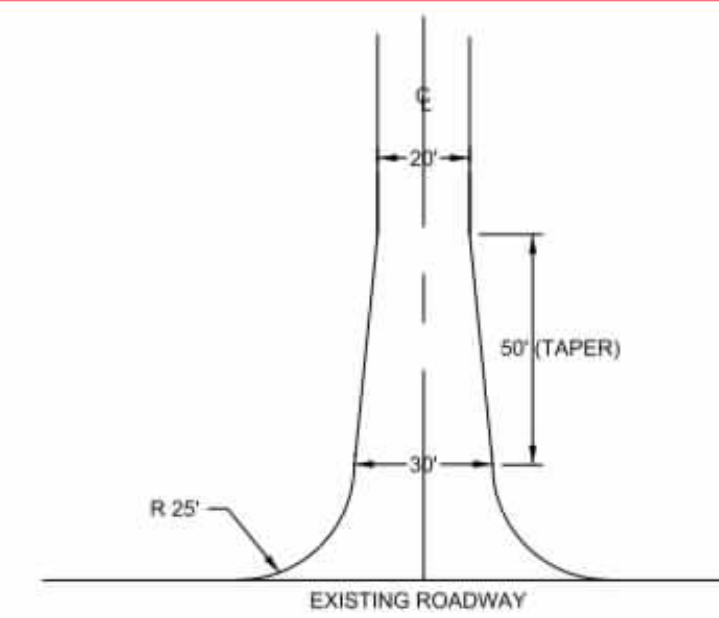
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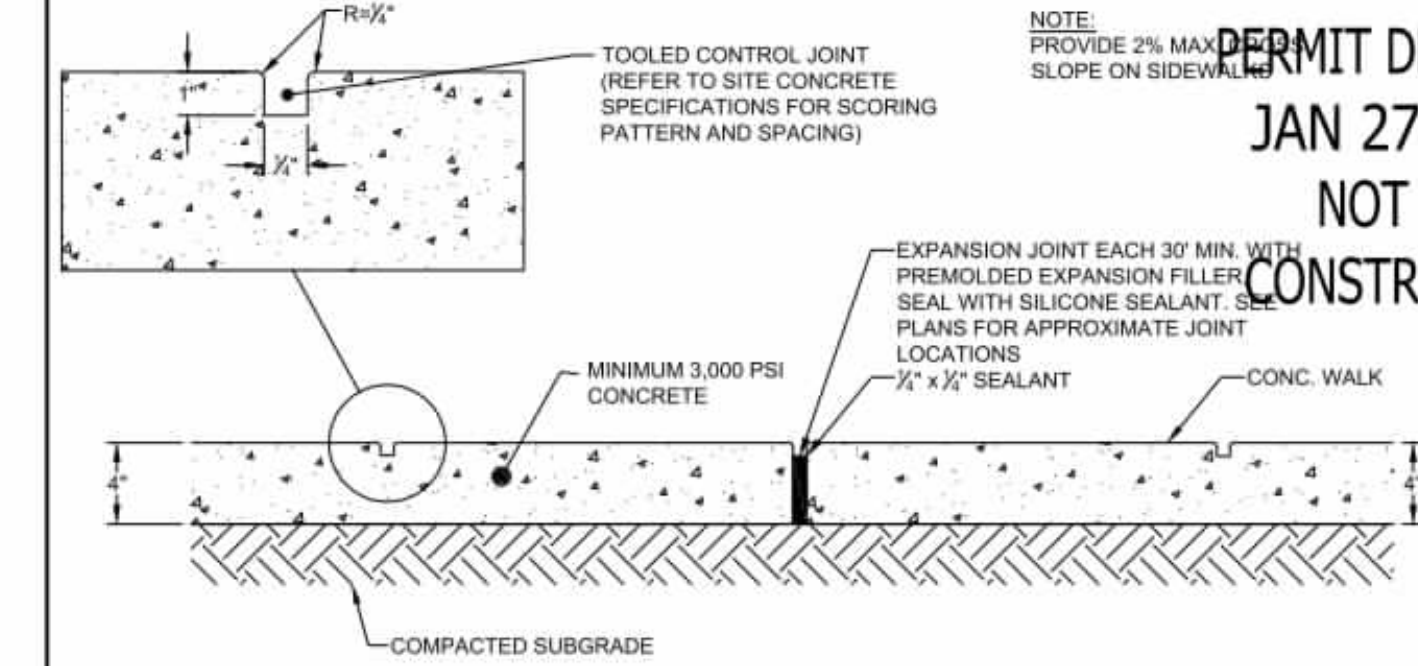
**STREET SECTION**  
NO SCALE

THE EDGE OF PAVEMENT RADIUS FOR STREET CONNECTIONS SHOULD BE 30' MINIMUM

THE EDGE OF PAVEMENT RADIUS FOR THE ENTRANCE TO CUL-DE-SACS AND AROUND CUL-DE SACS SHOULD BE 35' MINIMUM



**ENTRANCE ROAD DETAIL**  
NO SCALE

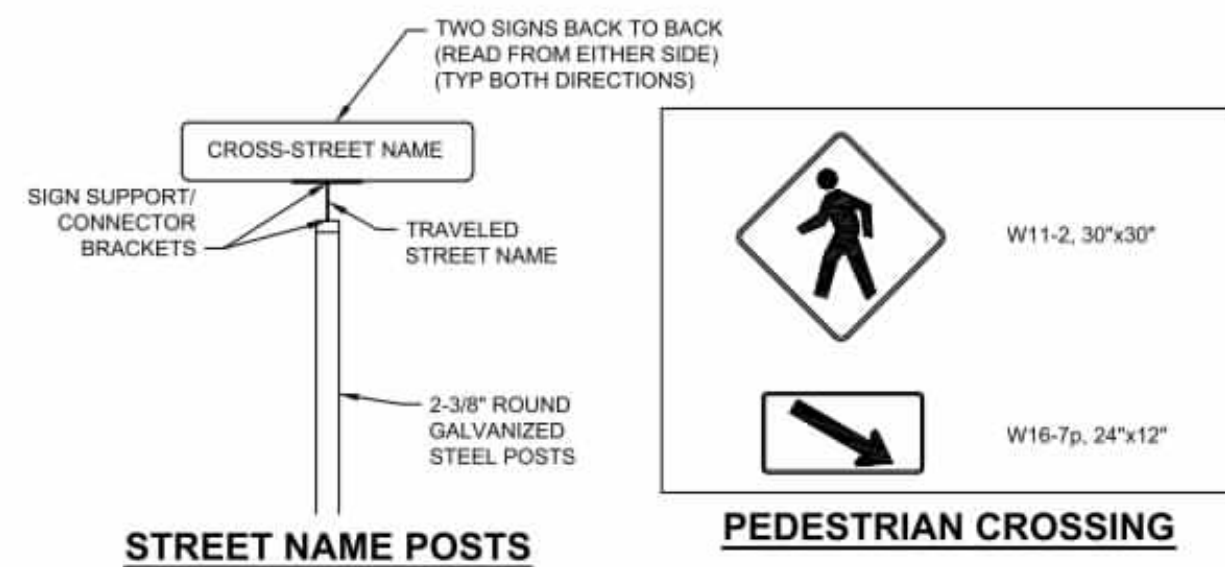


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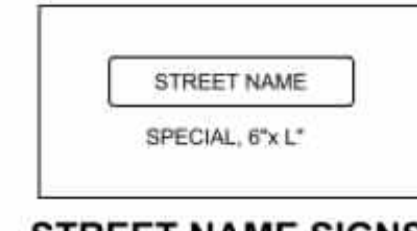
PERMIT DRAWINGS  
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**STREET NAME POSTS**



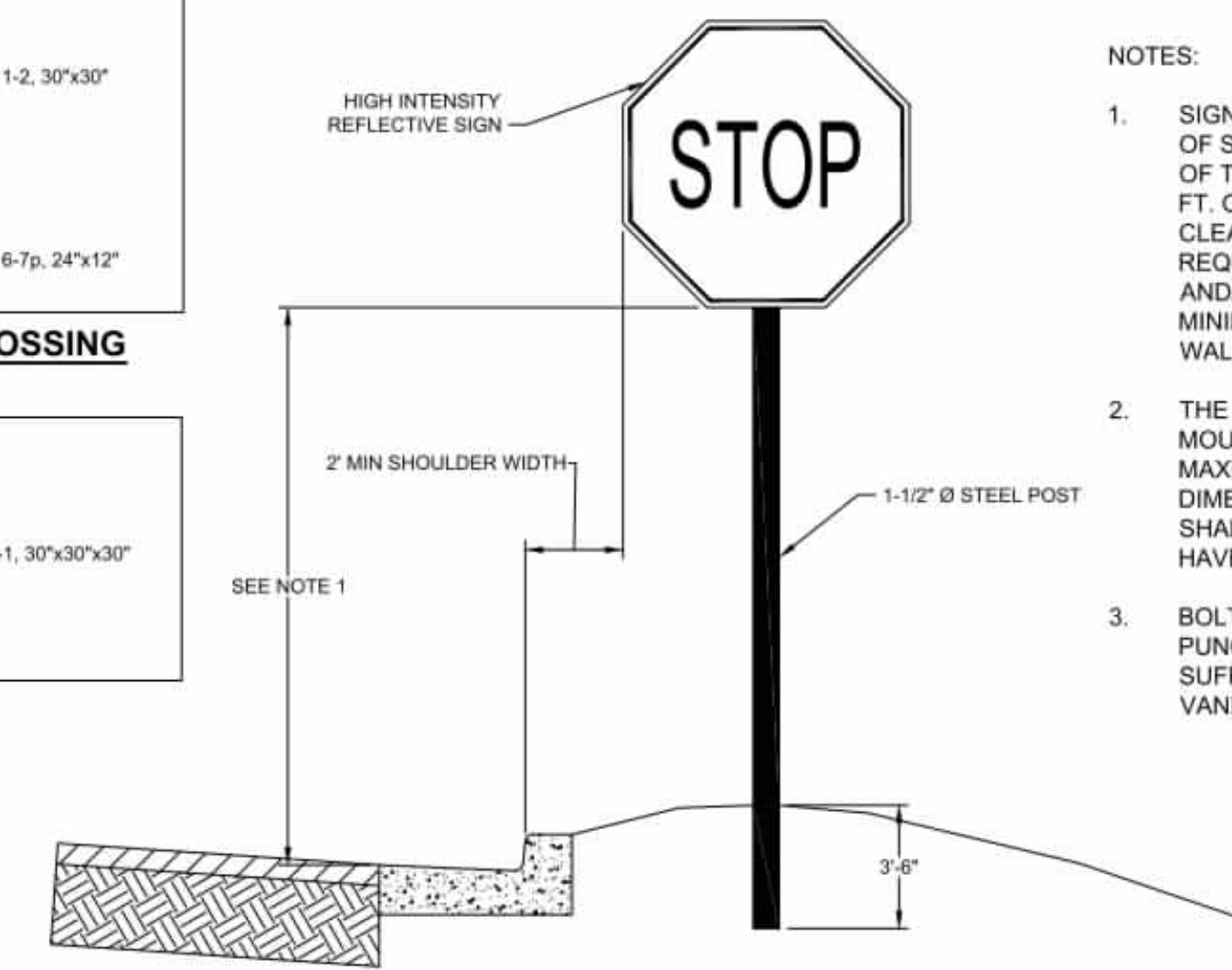
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**PEDESTRIAN CROSSING**

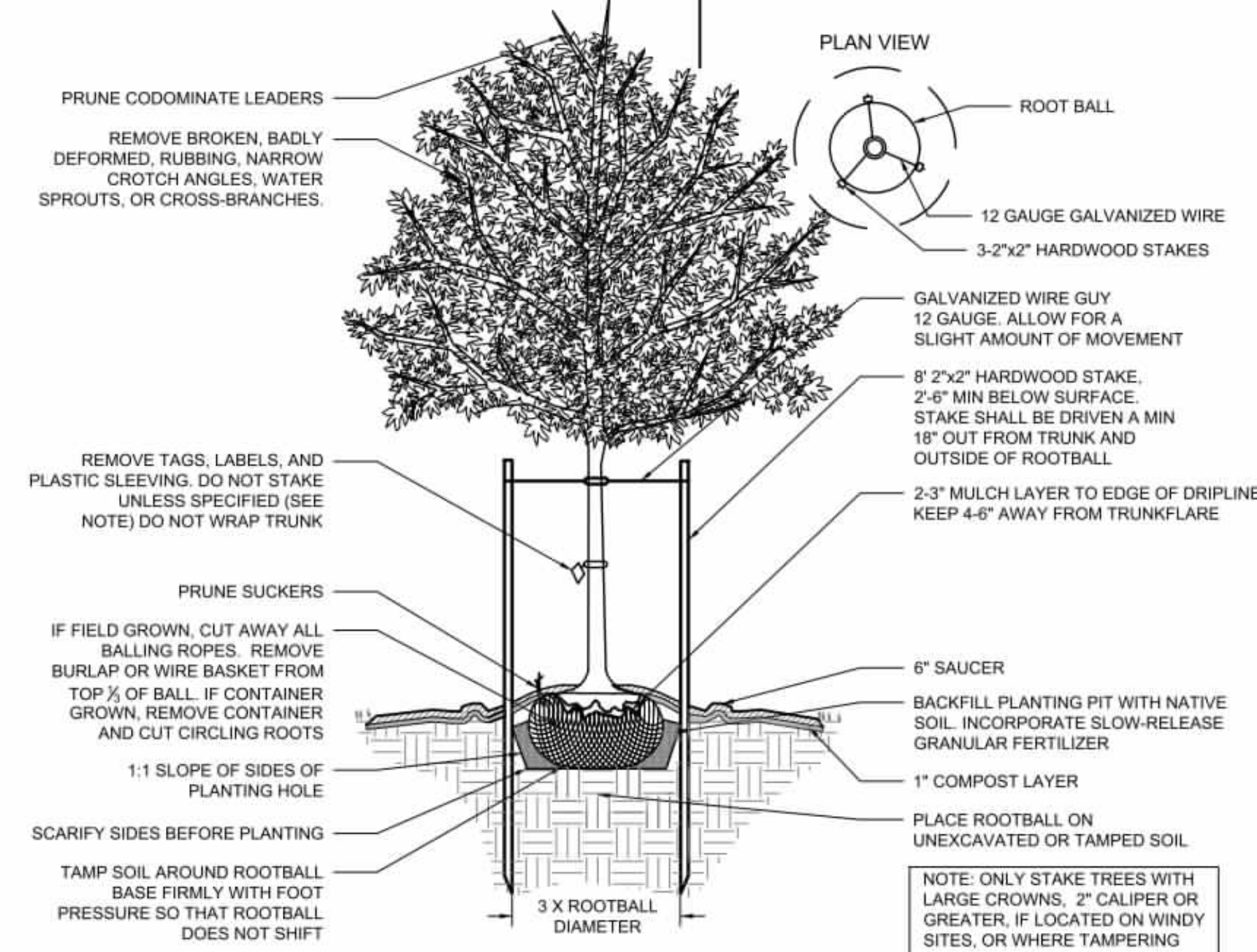


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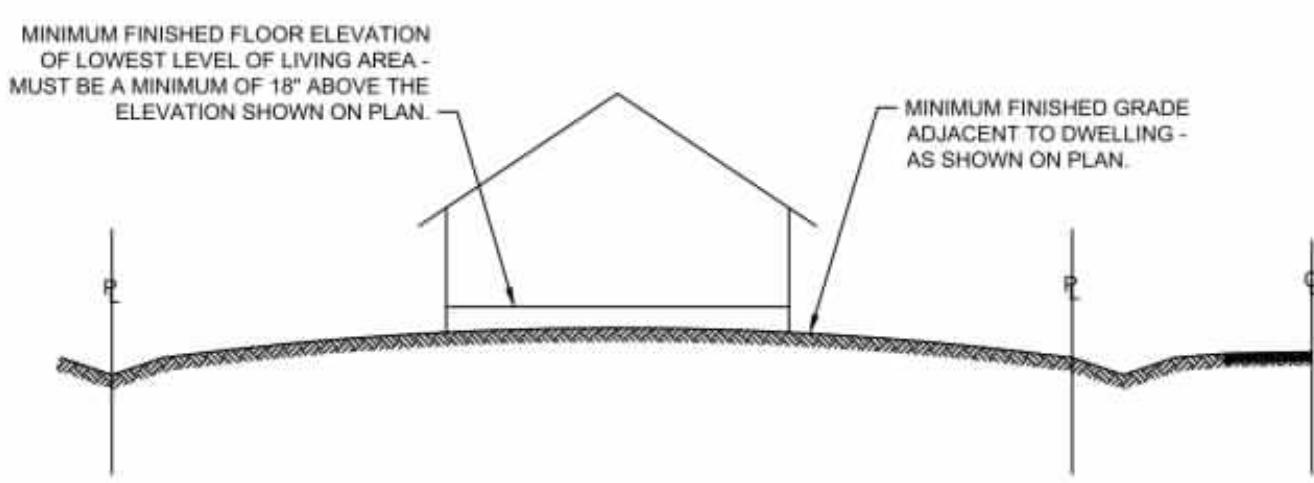


**TYPICAL SIGN DETAIL**  
NO SCALE

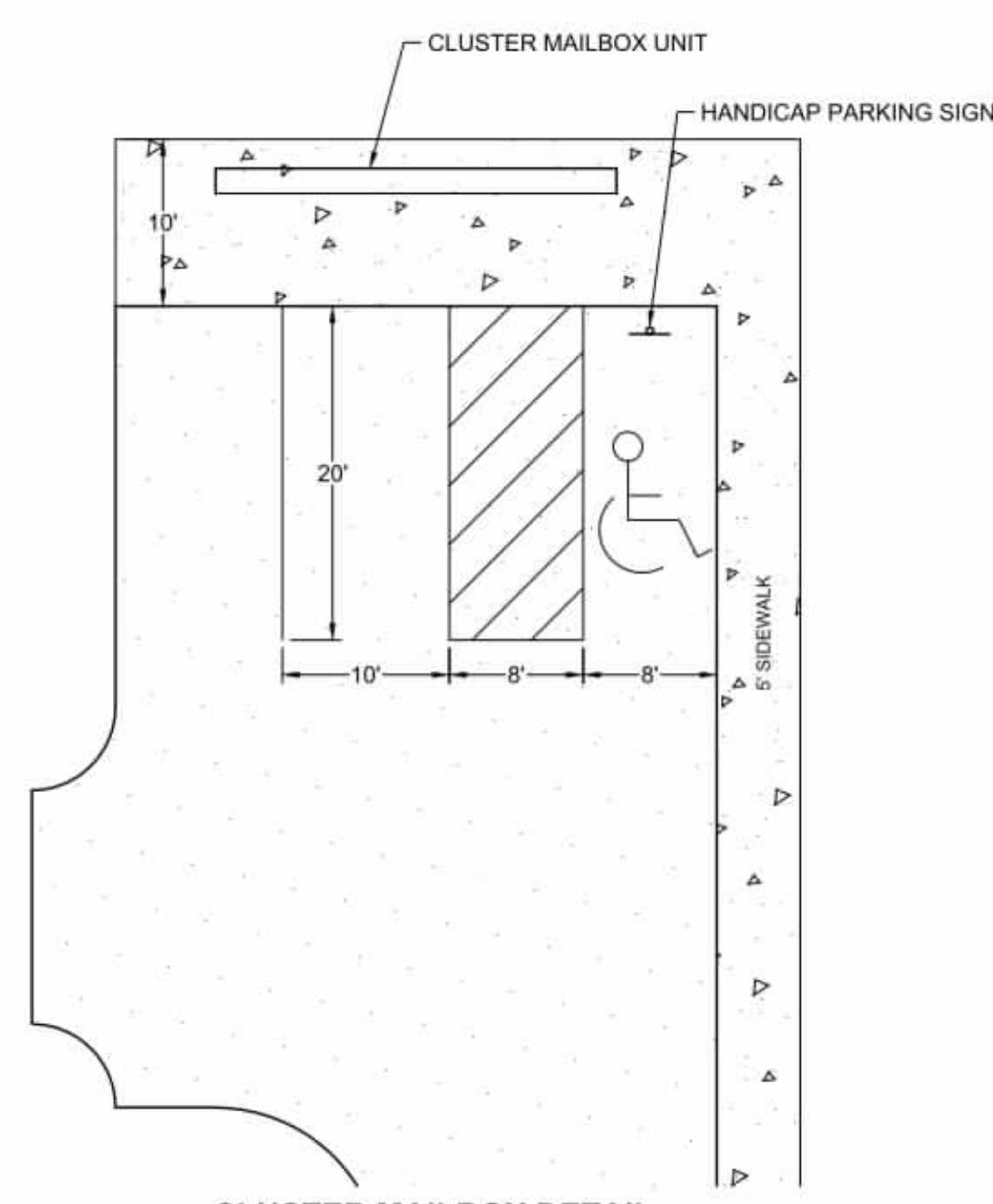
- NOTES:
- SIGN SHALL BE ERECTED WITH THE BOTTOM OF SIGN ASSEMBLY 6 FT. ABOVE THE EDGE OF THE TRAVEL LANE ON FREEWAYS AND 5 FT. ON OTHER ROUTES. THE VERTICAL CLEARANCE SHALL BE 7 FT. WHERE REQUIRED FOR PEDESTRIAN TRAFFIC AND/OR PARKED VEHICLES, OR 6 FT. +, MINIMUM CLEARANCE TO THE SIDEWALK OR WALKING SURFACE.
  - THE VERTICAL DIMENSIONS BETWEEN MOUNTING HOLE CENTERS SHALL BE 30" MAXIMUM. THE VERTICAL AND HORIZONTAL DIMENSIONS BETWEEN MOUNTING HOLES SHALL BE TO THE WHOLE INCH. SIGN SHALL HAVE A MINIMUM OF 2 BOLTS PER SUPPORT.
  - BOLT THREADS SHALL BE DEFORMED WITH PUNCH AND CHISEL AFTER INSTALLATION SUFFICIENTLY TO REDUCE REMOVAL BY VANDALS.



**CANOPY TREE DETAIL**  
NO SCALE



**LOT CROSS-SECTION**  
NO SCALE



**CLUSTER MAILBOX DETAIL**  
NO SCALE

YOUR VISION ACHIEVED THROUGH OURS.

DATE	DATE
	01/27/2026
DRAWN BY	KTY
DESIGNED BY	N/A
CHECKED BY	KDH
SCALE	NO SCALE

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

**SITE DETAILS**

JOB NO.	56469
SHEET NO.	C6.0



PERMIT DRAWINGS  
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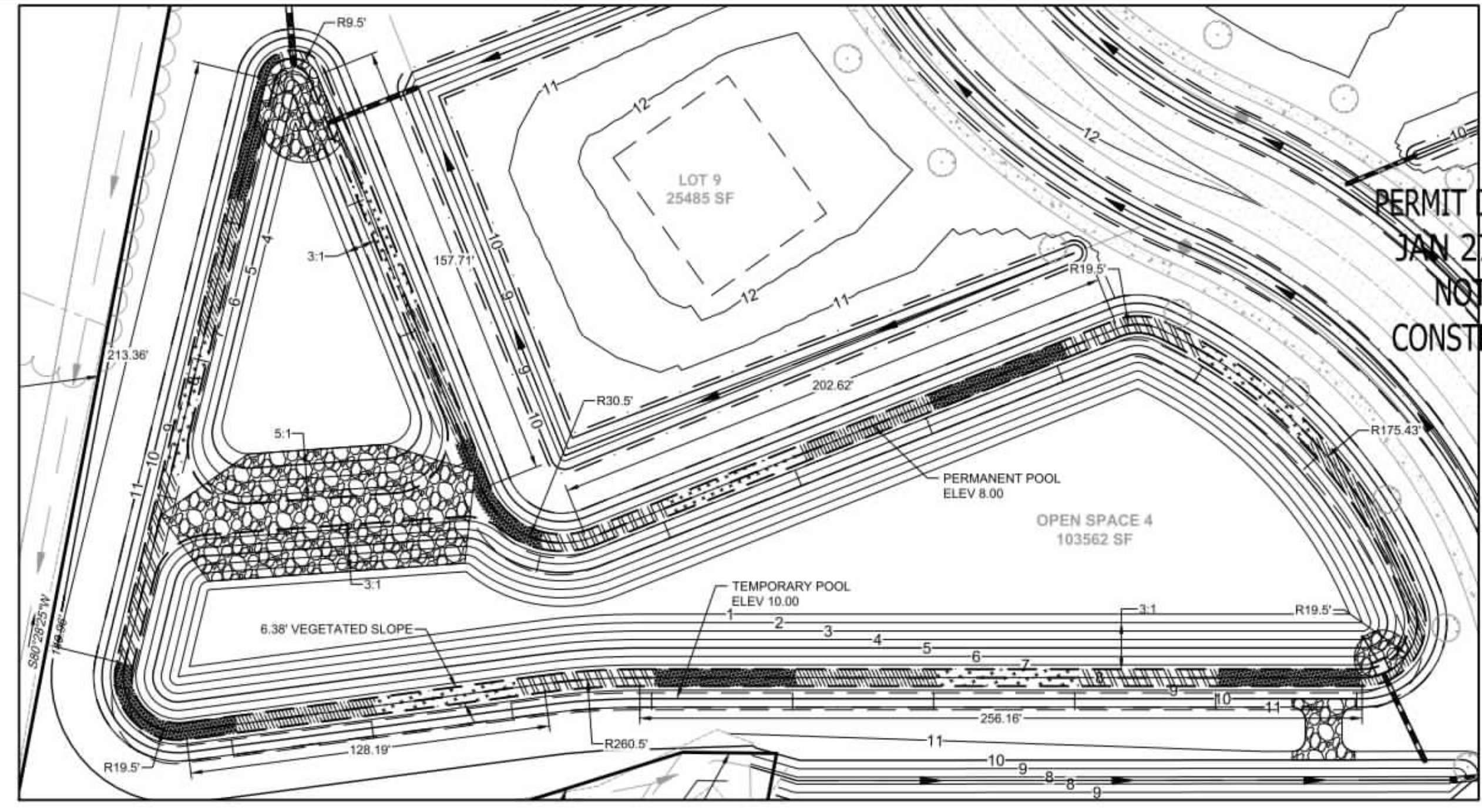
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DATE	DESCRIPTION
01/27/2026	

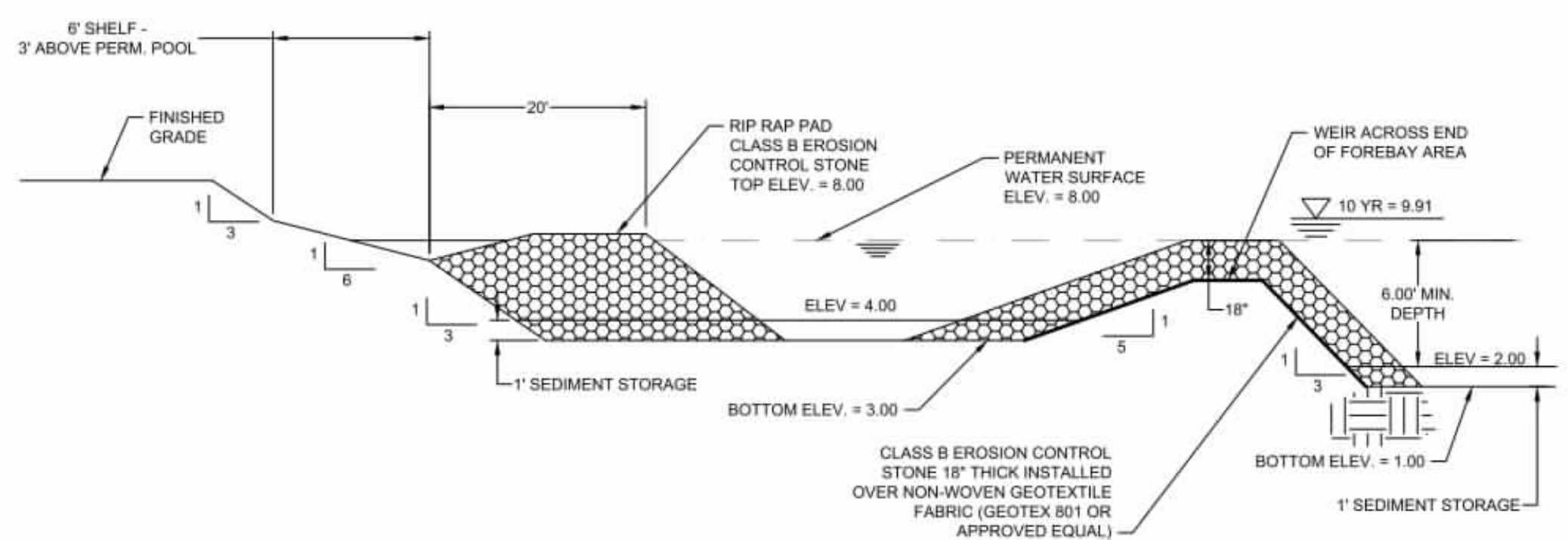
**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

**GRANDY MANOR SUBDIVISION**  
 POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
**STORMWATER DETAILS**

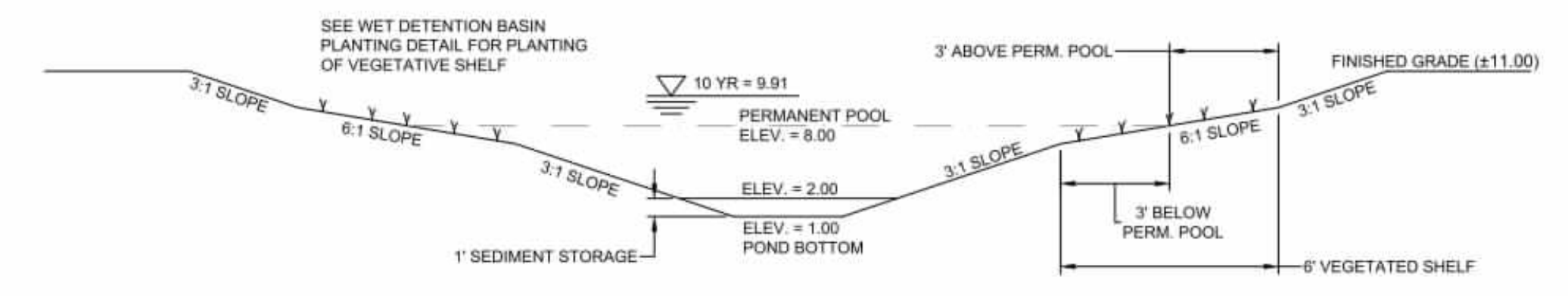
JOB NO.	SHEET NO.
56469	C6.1



**STORMWATER POND 1 DETAIL**  
 SCALE: 1" = 40'



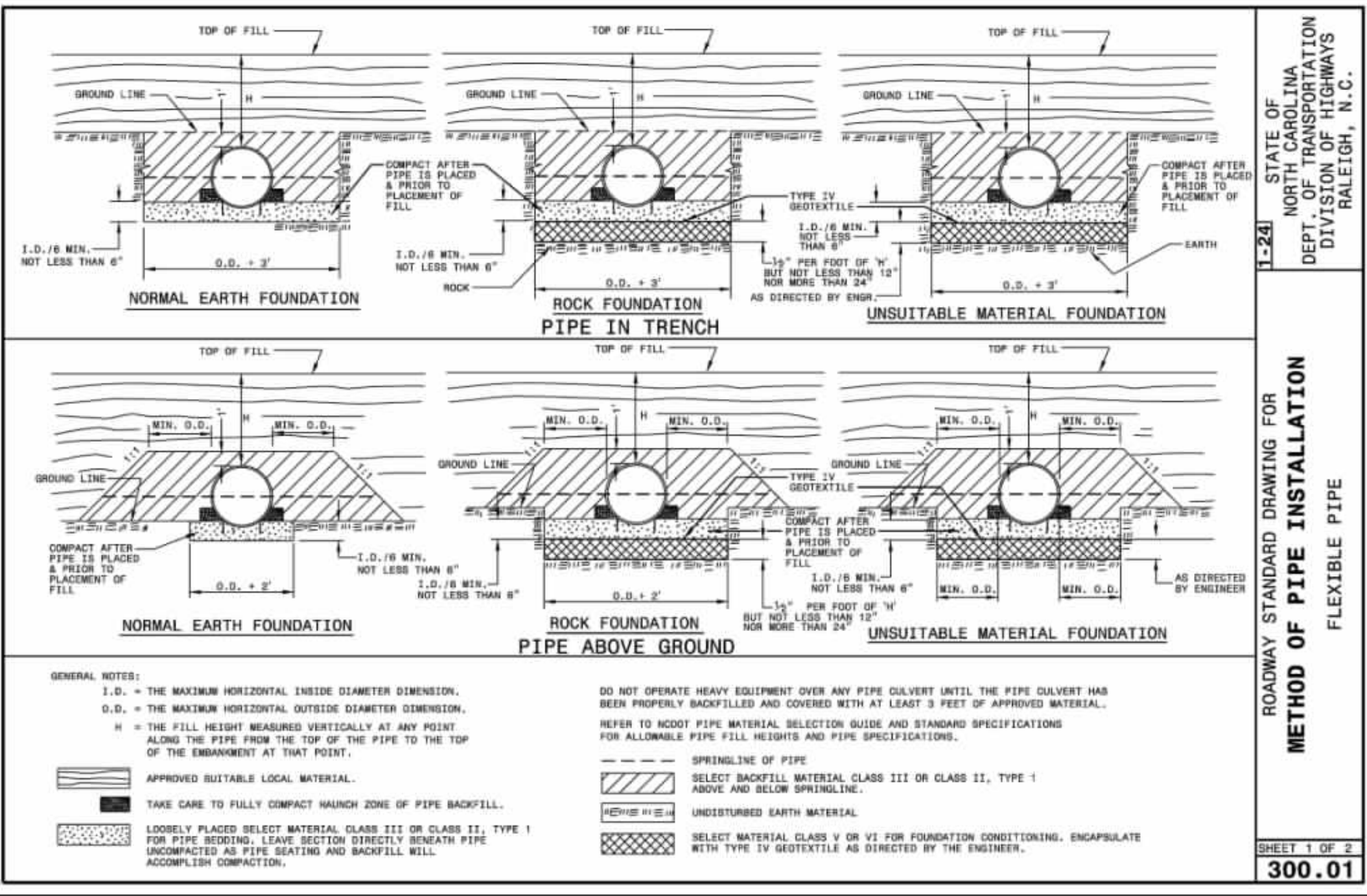
**FOREBAY AREA CROSS SECTION (POND 1)**  
 NO SCALE



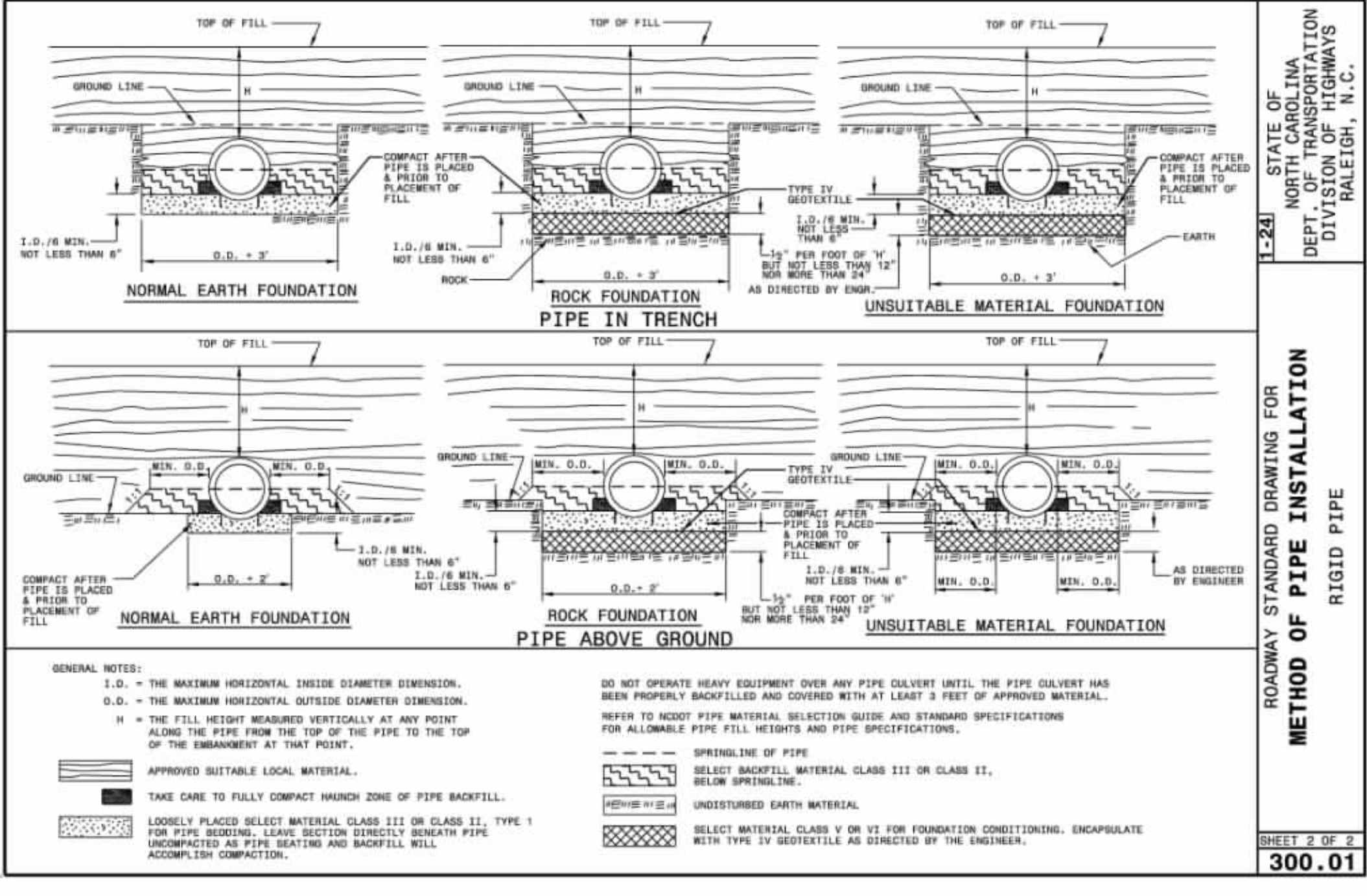
**WET BASIN CROSS SECTION (POND 1)**  
 NO SCALE

- PRE-CONSTRUCTION**
- VERIFY ALL PLANT QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
  - PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 (AMERICAN STANDARD FOR NURSERY STOCK), IF SPECIFIED. PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ENGINEER, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
  - PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
  - THE CONTRACTOR SHALL OVER-EXCAVATE THE VEGETATED SHELF BY 12".
  - THE VEGETATED SHELF SHALL BE BROUGHT TO GRADE BY PLACEMENT OF 12" AMENDED SOIL. SOIL SHALL BE AMENDED AND TESTED TO VERIFY THAT SOIL PH IS BETWEEN 5.5 AND 6.5 WITH A MINIMUM OF 5-10% ORGANIC MATTER. SOIL PH CAN BE INCREASED BY ADDING LIME OR DECREASED BY ADDING IRON SULFITE. COMPOST CAN BE ADDED TO INCREASE ORGANIC MATTER. USE OF PEAT MOSS IS NOT RECOMMENDED. TESTING CAN USUALLY BE PERFORMED THROUGH THE LOCAL COOPERATIVE EXTENSION OFFICE.
  - IMMEDIATELY UPON COMPLETION OF GRADING ACTIVITIES, INSTALL EXCEL SIOR EROSION CONTROL MATTING AND PLANTINGS. IF SITE IS NOT COMPLETELY STABILIZED, INSTALL SILT FENCE AROUND UPLAND PERMETER AS NECESSARY TO PROTECT THE POND FROM RUNOFF FROM UNSTABILIZED AREAS.
  - CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECT THE GUARANTEE.
- PLANT INSTALLATION**
- PLANTS SHALL BE INSTALLED WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES WHEN PLANTING DATES CORRESPOND. FOR BEST RESULTS, SHALLOW WATER PLANTINGS SHOULD BE INSTALLED BETWEEN APRIL 1ST AND JULY 15TH. AT NO TIME SHOULD SHALLOW WATER PLANTS BE INSTALLED BETWEEN OCTOBER 1ST AND MARCH 15TH. A PARTIAL CERTIFICATION CAN BE FILED WITH NCDOE WITHOUT INSTALLATION OF THE SHALLOW WATER PLANTS TO INSURE THAT THEY ARE PLANTED AT THE PROPER TIMES.
  - PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANT SCHEDULE AND PLANT LAYOUT PROVIDED. IF THE SPECIES SPECIFICALLY CALLED FOR IN THE PLANT SCHEDULE ARE NOT AVAILABLE, THE FOLLOWING ARE ACCEPTABLE RECOMMEND SPECIES:
    - CLADLIUM JAMACENSE (SAWGRASS)
    - ECHINODORUS SUBCORDATUS (CREEPING BURHEAD)
    - PELTANDRA VIRGINICA (ARROW ARUM)
    - SAGITTARIA LANCIIFOLIA (BULL TONGUE)
    - SAGITTARIA LATIFOLIA (DUCK POTATO)
    - SCHOPENECTUS TABERNAMONTANI (SOFTSTEM BULRUSH)
    - SCIRPUS AMERICANUS AND ALLIES (THREE-SQUARE)
    - ZIZANIOPSIS MILACEA (WATER MILLET)
    - PONTEDERIA CORDATA (PICKEREL WEED)
  - APPLY A SLOW RELEASE FERTILIZER TO EACH PLANT AS IT IS INSTALLED. DO NOT BROADCAST FERTILIZERS OR FERTILIZER AFTER INSTALLATION IN THE AREA OF THE VEGETATED SHELF. SLOW RELEASE FERTILIZERS SHOULD FEED PLANTINGS FOR A MINIMUM OF 8-9 MONTHS. 12-14 MONTHS IS PREFERRED. A 17-5-11 FORMULA IS RECOMMENDED, BUT CAN VARY. PHOSPHORUS CONTENT SHALL BE LESS THAN 10%.
- INSPECTION**
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE ENGINEER.
  - ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ALL ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
  - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
  - THE PROPERTY OWNER SHALL INSURE THAT THE WET DETENTION BASIN IS MAINTAINED ACCORDING TO THE OPERATION AND MAINTENANCE AGREEMENT FILED WITH NCDOE. TO INSURE THE SURVIVABILITY OF THE WETLAND VEGETATION, SPECIAL ATTENTION SHOULD BE PAID TO THE OUTFLOW STRUCTURE AND BRANDDOWN OFFICE. CLOGGING OF THESE DEVICES WILL CAUSE WATER SURFACE ELEVATIONS TO BE ELAVATED FOR EXTENDED PERIODS OF TIME CAUSING INUNDATION LEVELS THAT ARE UNACCEPTABLE FOR THE SPECIFIED PLANTS.
  - WEEDING SHALL TAKE PLACE WITHIN THE FIRST TWO YEARS TO ASSURE THE BASIN ISNT OVERRUN BY SUCH UNDESIRABLE VEGETATION AS CATTAILS.
  - FOR TWO YEARS AFTER PLANTING, DURING THE OPTIMAL PLANTING SEASON OF APRIL 1ST AND JULY 15TH, ANY PLANT THAT DID NOT SURVIVE THE PREVIOUS WINTER SHALL BE REPLACED.

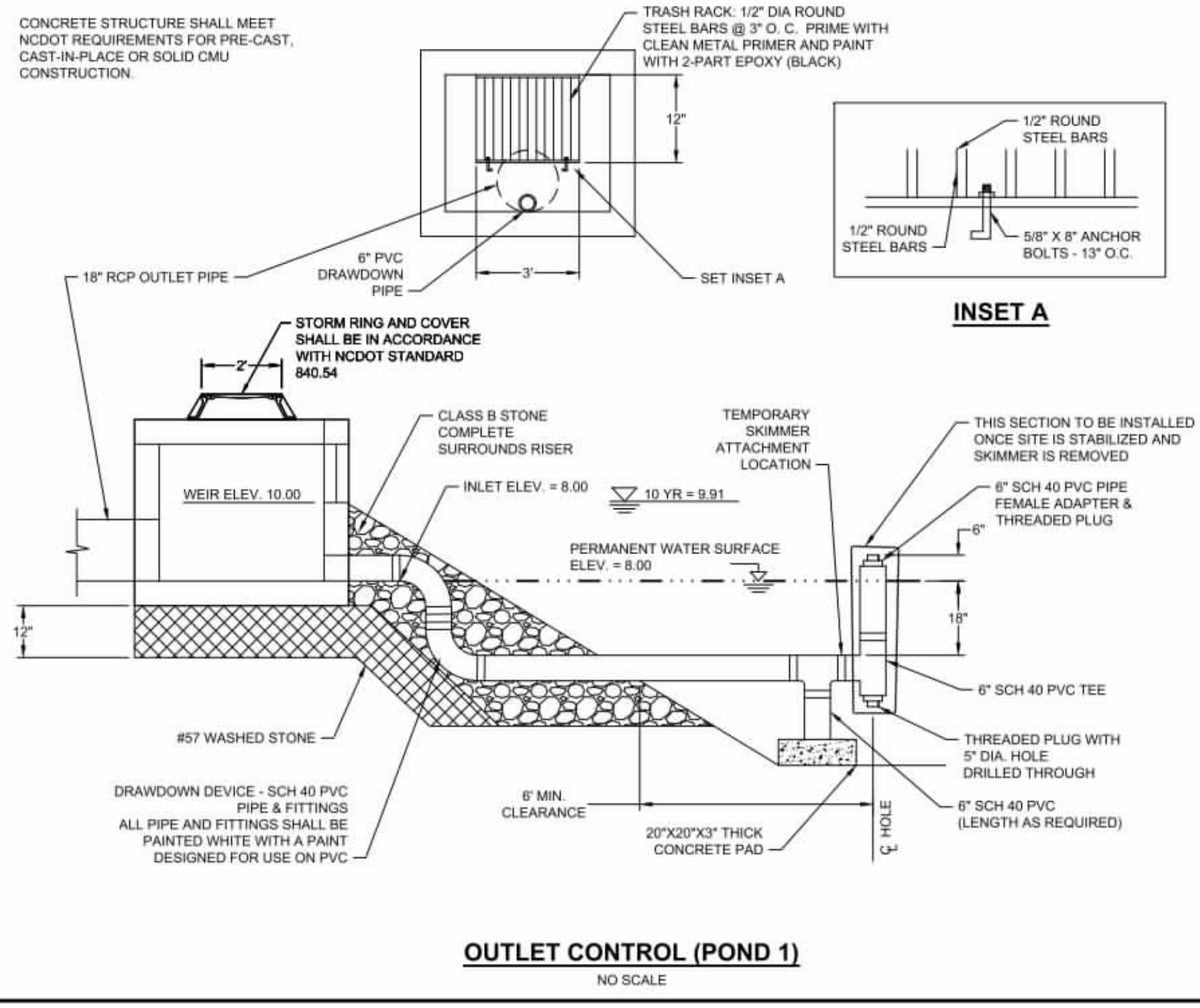
PLANT SCHEDULE						
POND PLANTINGS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	
AG	ANDROPOGON GLOMERATUS	BUSHY BEARDGRASS	6" HT	PLUG	24" OC	
CC	CONOCLINIUM COELESTINUM	BLUE MISTFLOWER	6" HT	PLUG	24" OC	
HC	HIBISCUS COCCINEUS	SCARLET ROSEMALLOW	6" HT	PLUG	24" OC	
PV	PELTANDRA VIRGINICA	ARROW ARUM	6" HT	PLUG	24" OC	
PC	PONTEDERIA CORDATA	PICKEREL WEED	6" HT	PLUG	24" OC	
SC	SAURURUS CERNUUS	LIZARD TAIL	6" HT	PLUG	24" OC	



**300.01**

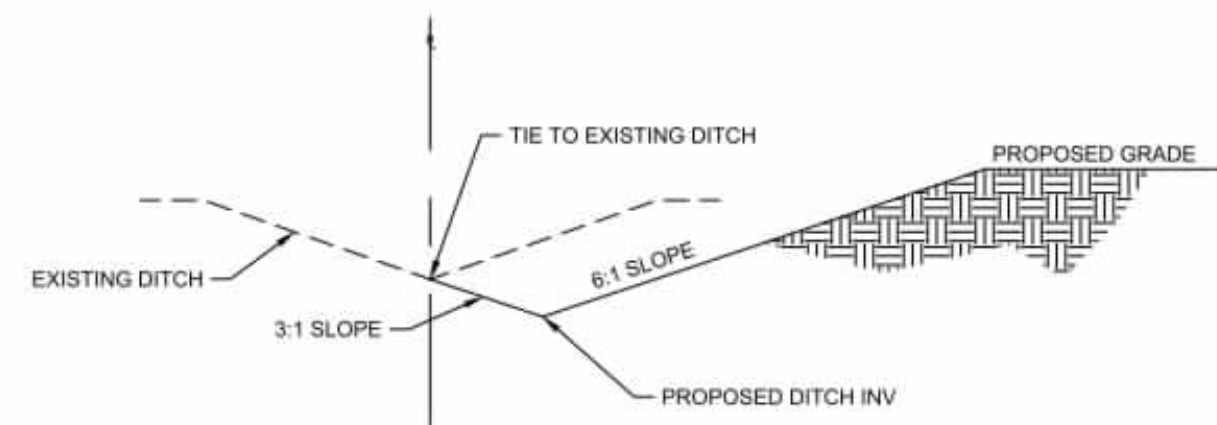


**300.01**

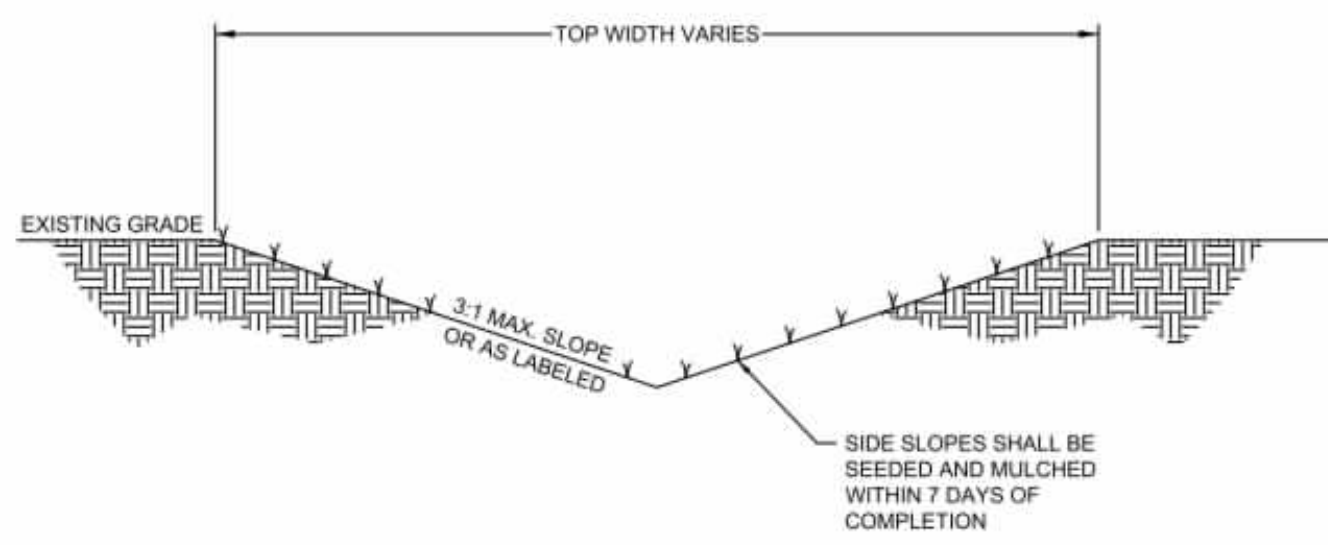


**OUTLET CONTROL (POND 1)**  
 NO SCALE

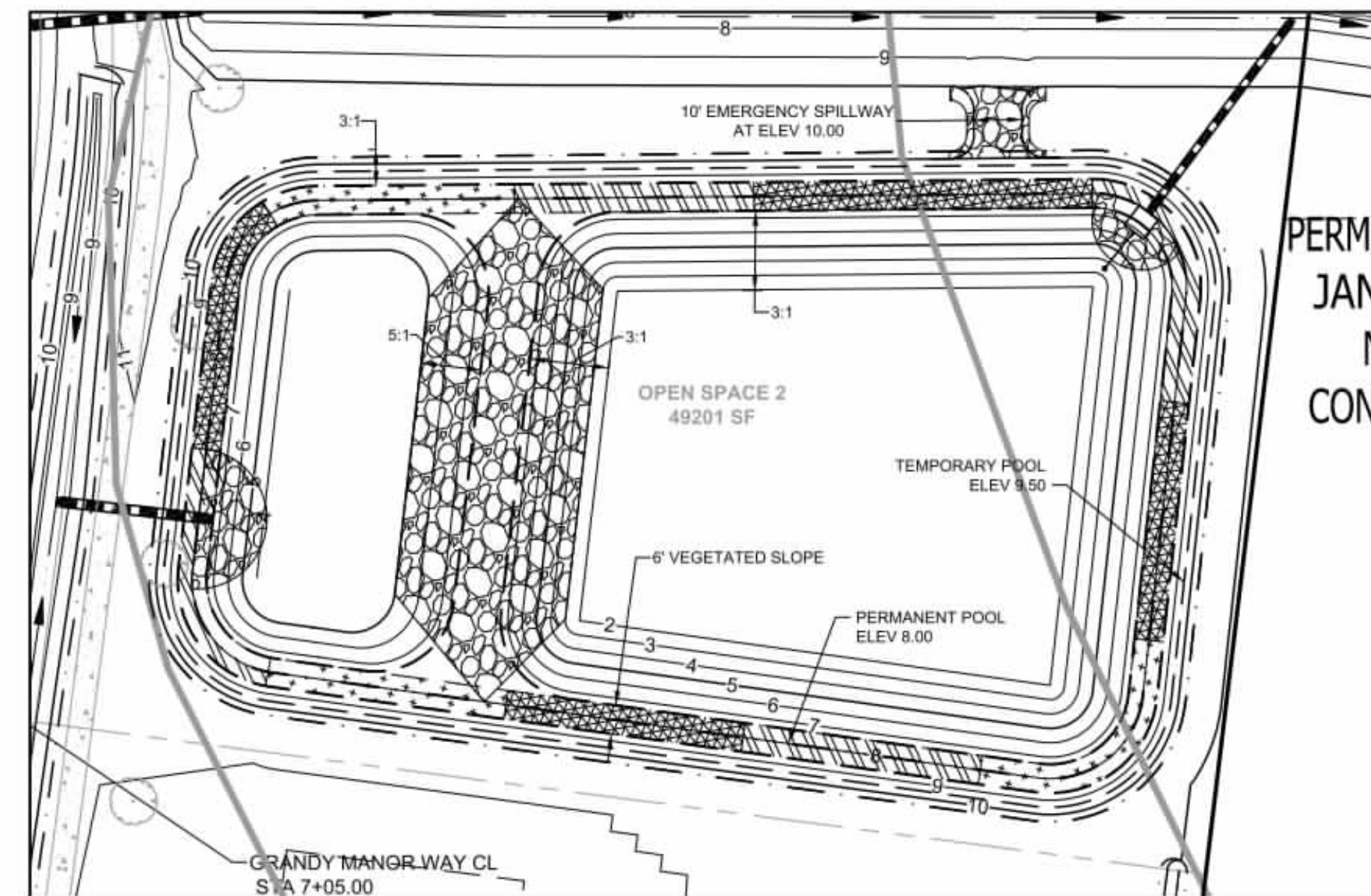
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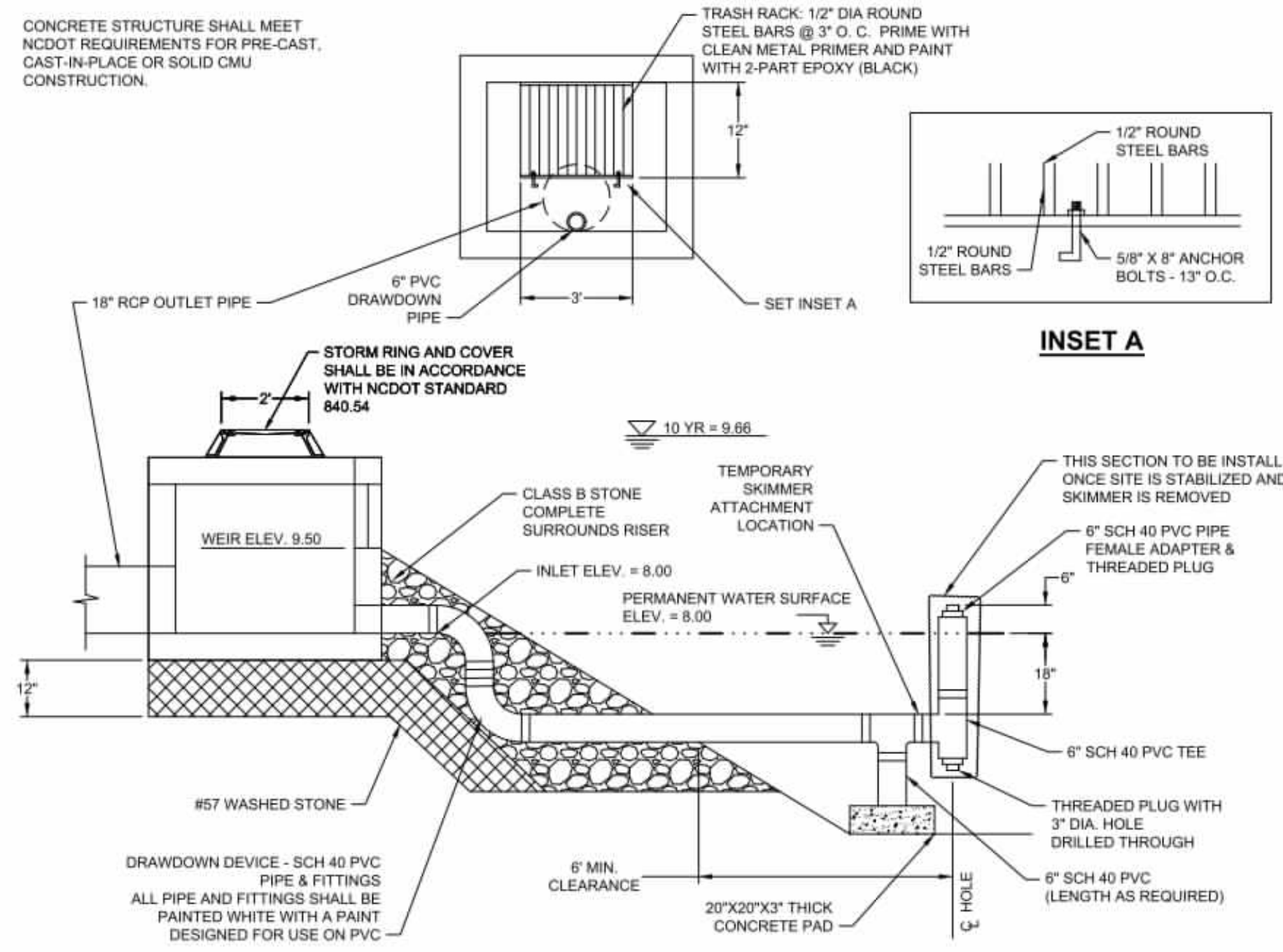
**ONE SIDE DITCH CLEANOUT**  
NO SCALE



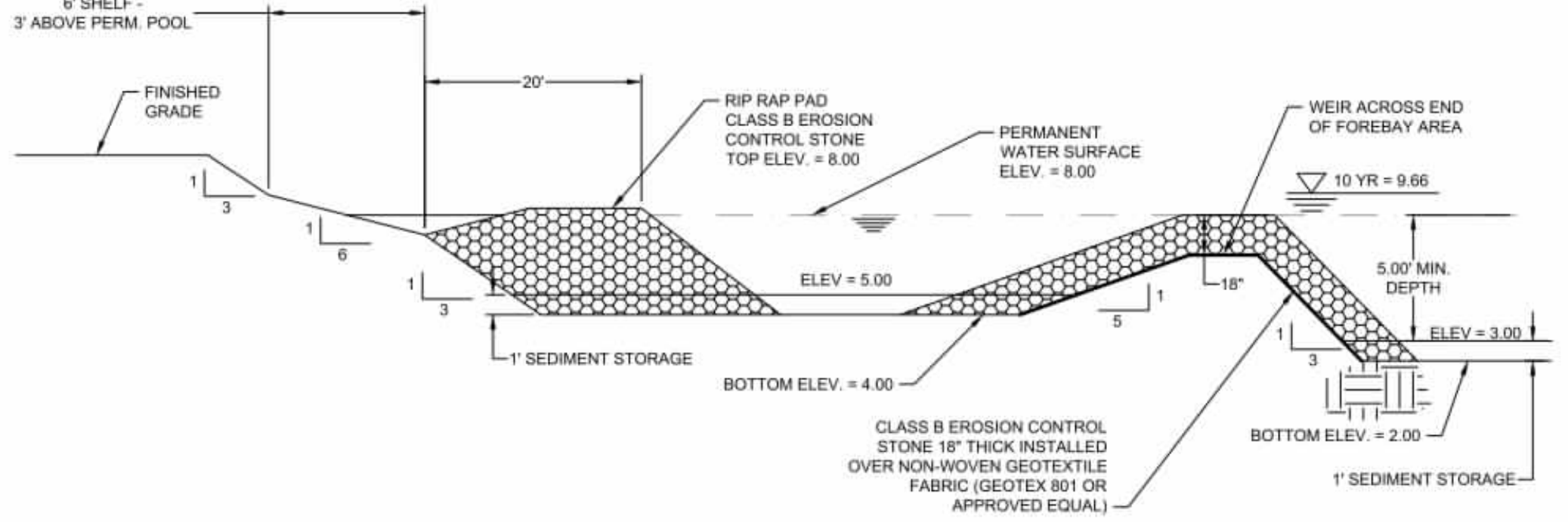
**TYPICAL DITCH/SWALE**  
NO SCALE



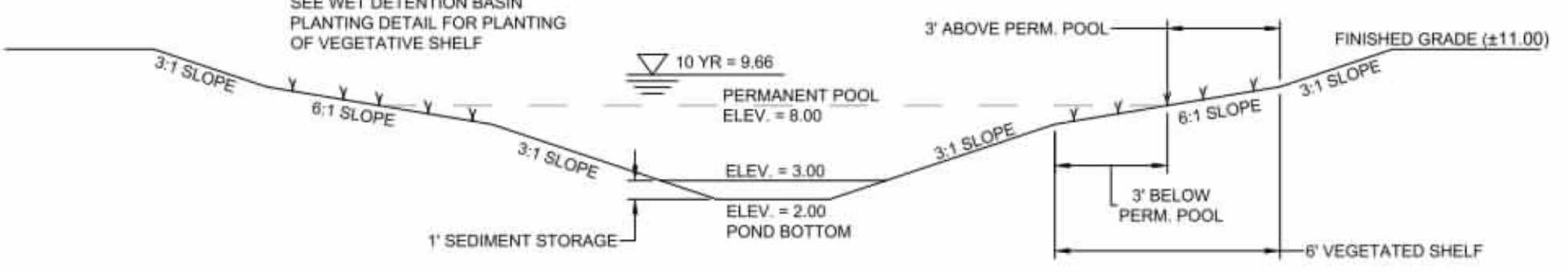
**STORMWATER POND 1 DETAIL**  
SCALE: 1" = 30'



**OUTLET CONTROL (POND 2)**  
NO SCALE



**FOREBAY AREA CROSS SECTION (POND 2)**  
NO SCALE



**WET BASIN CROSS SECTION (POND 2)**  
NO SCALE



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REVISION DESCRIPTION	DATE

DATE	01/27/2026
DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	NO SCALE

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
STORMWATER DETAILS

JOB NO.	56469
SHEET NO.	C6.2

S:\109\56469 - Grandy Manor - Poplar Branch, NCDWG\Sheet\CD\56469C-C6.1 - DT\STRM.dwg | Plotted on 1/27/2026 3:15 PM | by Kim Hamby

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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, Timeframe variations. Rows include Perimeter dikes, High Quality Water (HQW) Zones, Slopes steeper than 3:1, Slopes 3:1 to 4:1, and Areas with slopes flatter than 4:1.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable...

Table with 2 columns: Temporary Stabilization, Permanent Stabilization. Lists various methods like hydroseeding, mulch, and geotextiles.

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS
1. Select flocculants that are appropriate for the soils being exposed during construction...
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.

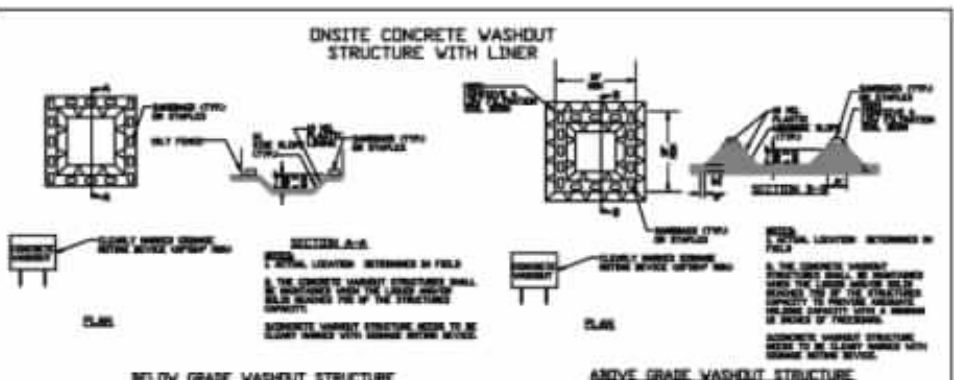
- EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.

- PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.

- PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.

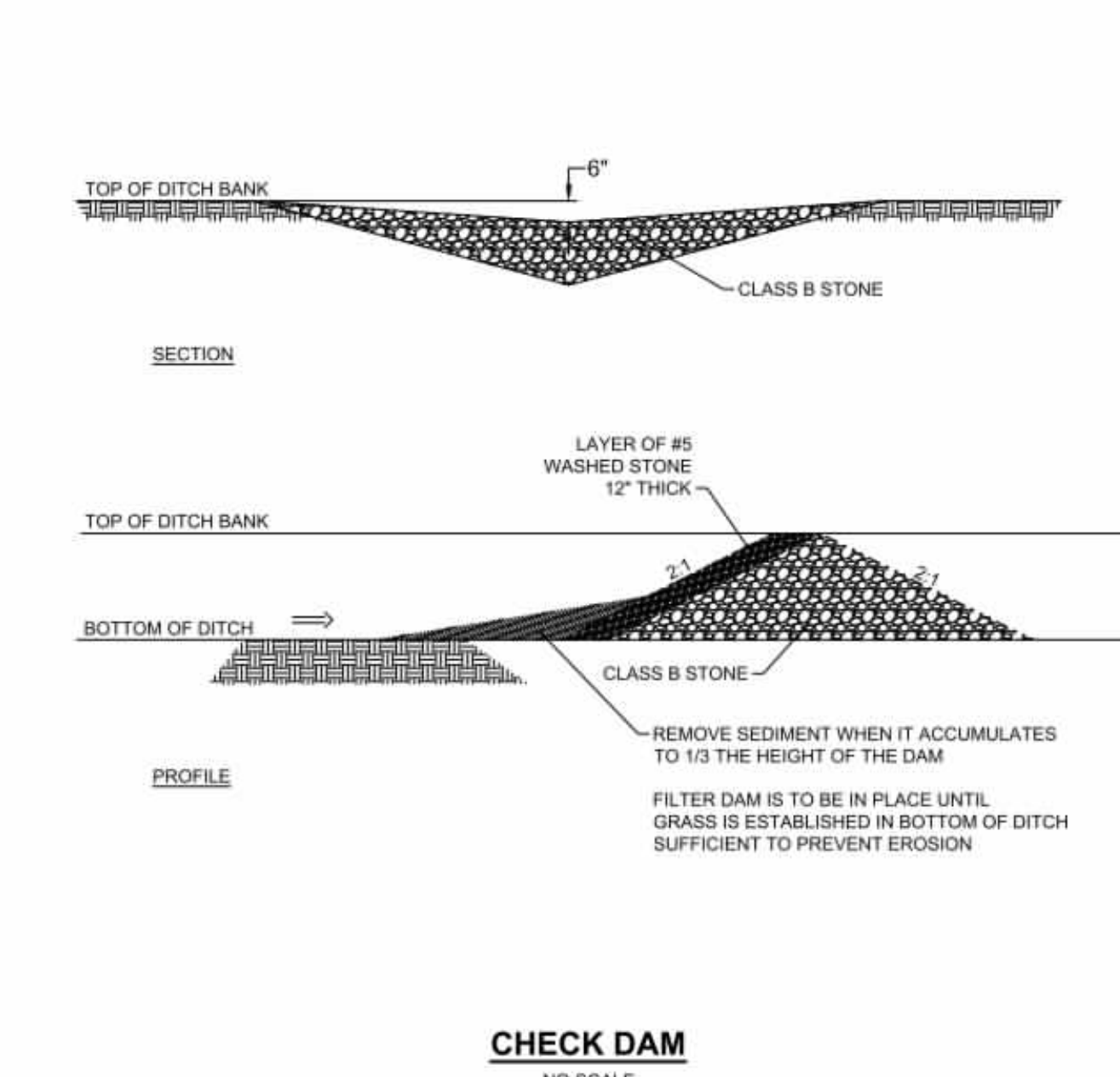
- EARTHEN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.



- CONCRETE WASHOUTS
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.

- HERBICIDES, PESTICIDES AND RODENTICIDES
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.

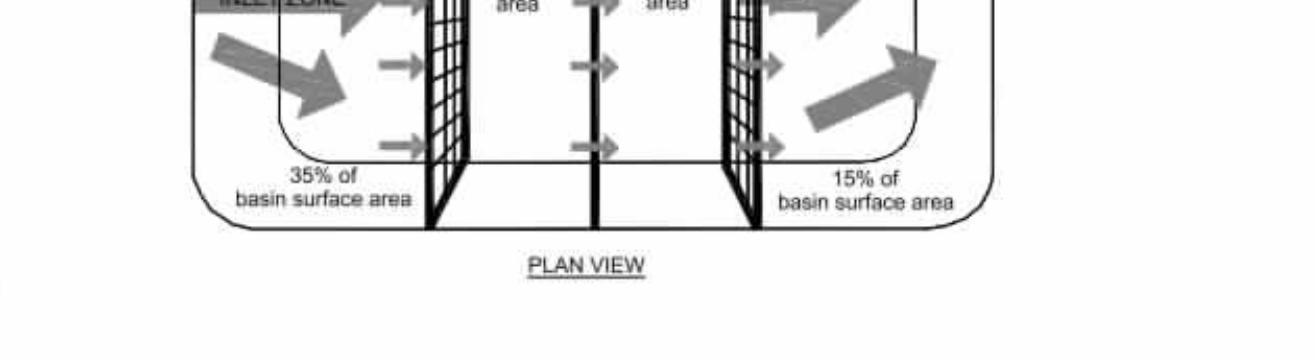
- HAZARDOUS AND TOXIC WASTE
1. Create designated hazardous waste collection area on-site.
2. Place hazardous waste containers under cover or in secondary containment.



CHECK DAM NO SCALE



COIR BAFFLES NO SCALE



COIR BAFFLES NO SCALE

- SEEDBED PREPARATION
CONSTRUCTION SPECIFICATIONS
1. PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEEDING MATERIAL AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL COMPACTED AND SPREAD TOPSOIL, 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.

- NOTES:
1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE 1ST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.

COIR BAFFLES NO SCALE

EROSION CONTROL MEASURES NO SCALE

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection...

Table with 3 columns: Inspect, Frequency, Inspection records must include. Rows include Rain gauge, E&S Measures, Stormwater discharge outfalls (SDCs), Preventer of site, Streams or wetlands inside or adjacent to the site, and Ground stabilization measures.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING
1. E&S Plan Documentation
The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit.

Table with 3 columns: Item to Document, Documentation Requirements, Reporting. Rows include E&S plan documentation, grading, ground cover, maintenance, corrective actions, and site stabilization.

2. Additional Documentation to be kept on Site
In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours...

3. Documentation to be Retained for Three Years
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING
1. Occurrences that Must be Reported
Permittees shall report the following occurrences:
(a) Visible sediment deposition in a stream or wetland.

- (b) Oil spills if:
• They are 25 gallons or more.
• They are less than 25 gallons but cannot be cleaned up within 24 hours.
• They cause sheen on surface waters (regardless of volume), or
• They are within 100 feet of surface waters (regardless of volume).

- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref. 40 CFR 302.4) or G.S. 143-215.85.

- (d) Anticipated bypasses and unanticipated bypasses.

- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below.

Table with 3 columns: Occurrence, Reporting Timeframes (After Discovery) and Other Requirements. Rows include Visible sediment deposition, Anticipated bypasses, Oil spills and release of hazardous substances, Unanticipated bypasses, Noncompliance with conditions, and Anticipated bypasses.



PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible.

- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur.
(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2(c) and (d) of this permit.

11/09/04/09 - Grandy Manor - Poplar Branch, NCDIV05SheetCD-06480C-C6.3 - DEPOS.DWG (Printed on 1/27/2026 8:15 PM) by Kim Heubly

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

CONSTRUCTION SEQUENCING

- 1. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS. (SEE DETAIL)
2. INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS AND ALL SILT FENCE TO PREVENT OFF SITE SEDIMENTATION. PERFORM LIMITED CLEARING AS NECESSARY TO INSTALL SILT FENCE AND SKIMMER BASINS.
3. UPON COMPLETION OF SKIMMER BASINS, COMPLETE CLEARING DEMOLITION WORK.

EROSION CONTROL MEASURES

- 1. PROVIDE GROUNDCOVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY FOR SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH.
2. PROVIDE GROUNDCOVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOR SLOPES STEEPER THAN 3:1 OR SLOPES 3:1 OR FLATTER GREATER THAN 50' IN LENGTH.
3. PROVIDE GROUNDCOVER (TEMPORARY OR PERMANENT) ON ALL EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND, A PERMANENT GROUNDCOVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

EROSION CONTROL MEASURES NO SCALE



PERMIT DRAWINGS JAN 27, 2026 NOT FOR CONSTRUCTION

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Table with 2 columns: DATE, DRAWN BY. Row 1: 01/27/2026, KTY.

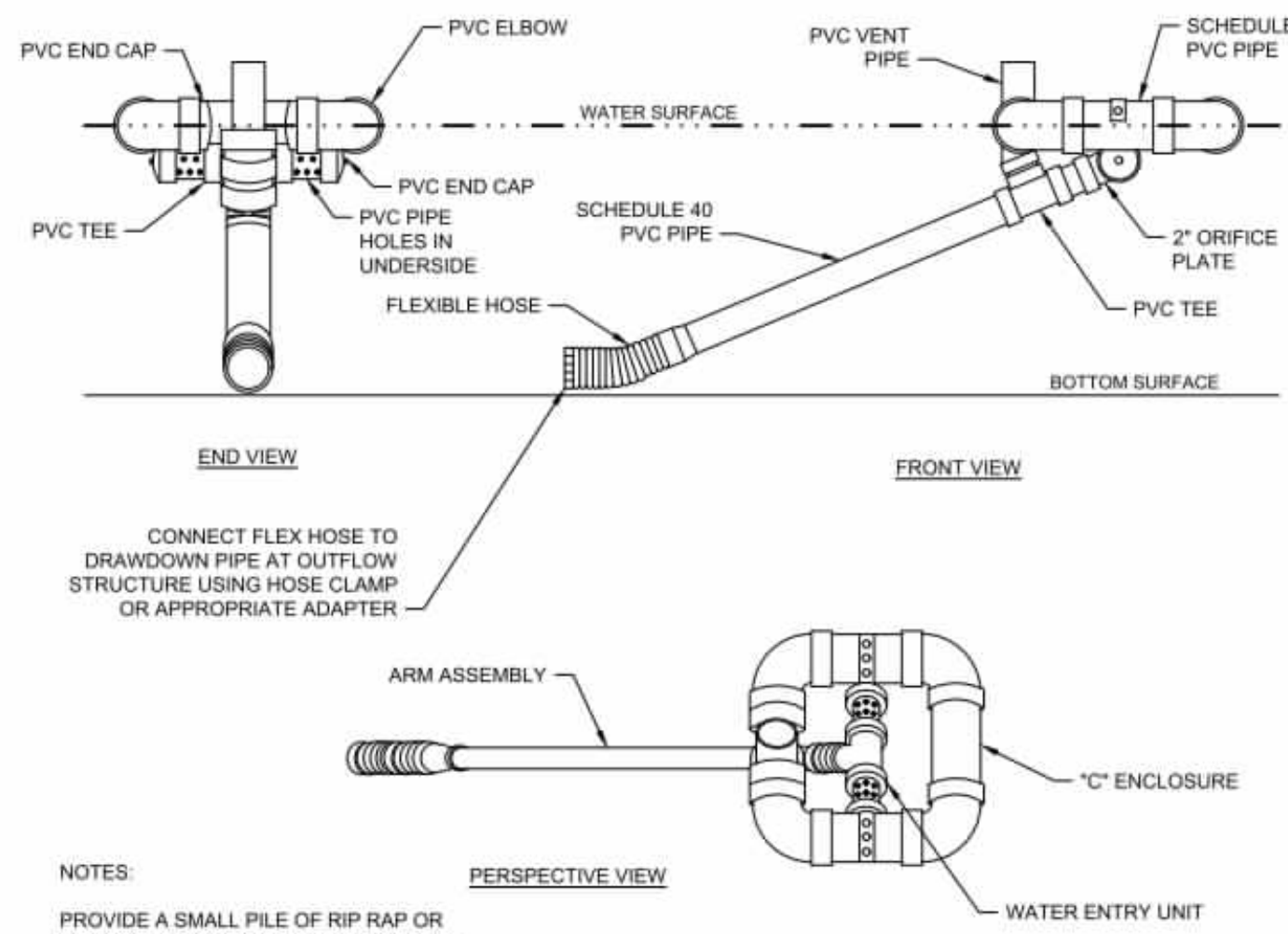
Table with 2 columns: DESIGNED BY, CHECKED BY. Row 1: KDH, KDH.

Table with 2 columns: SCALE, NO SCALE.

TIMMONS GROUP NORTH CAROLINA LICENSE NO. C-1652 GRANDY MANOR SUBDIVISION POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA EROSION & SEDIMENT CONTROL DETAILS

Table with 2 columns: JOB NO., SHEET NO. Row 1: 56469, C6.3.

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NOTES:  
 PROVIDE A SMALL PILE OF RIP RAP OR CONCRETE MASONRY BLOCK DIRECTLY BELOW SKIMMER TO PREVENT SKIMMER FROM RESTING ON SOIL.  
 ALL SCHEDULE 40 PVC PIPE & FITTINGS SHALL BE 4" (SKIMMER BASIN 1) AND 3" (SKIMMER BASIN 2) MIN. DIA.  
 SKIMMER TO BE TETHERED.  
 SEE N.C. DENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR CONDITIONS WHERE PRACTICE APPLIES, PLANNING CONSIDERATION & DESIGN CRITERIA.

**SKIMMER**  
NO SCALE

**PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN**

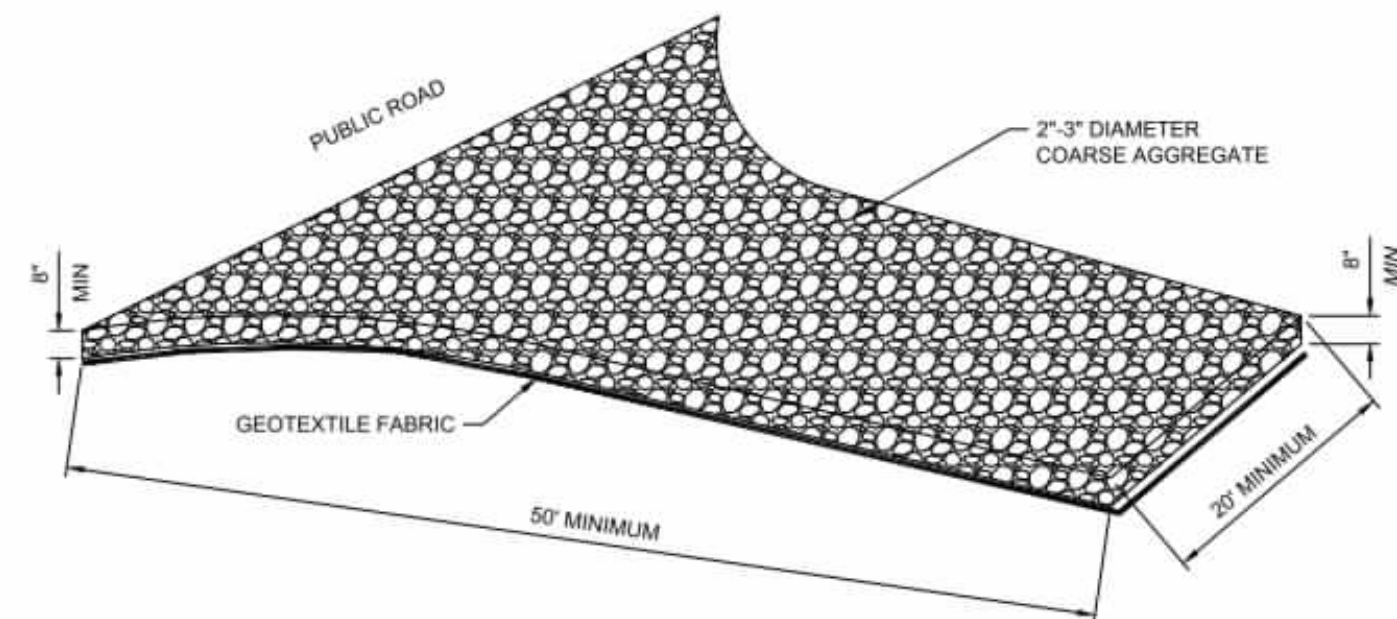
DATE	TYPE	BROADCAST SEEDING RATES
SEP 1 - MAR 31	COMMON BERMUDA 'SAHARA' (UNHILLED) REBEL II FESCUE	130 LBS/ACRE 175 LBS/ACRE
APR 1 - AUG 31	COMMON BERMUDA 'SAHARA' (HILLED) REBEL II FESCUE	90 LBS/ACRE 175 LBS/ACRE
AUG 15 - APR 30	PERENNIAL RYE (AS A NURSE PLANT)	40 LBS/ACRE IN ADDITION TO OTHER SEED TYPES

**TEMPORARY SEEDING SCHEDULE**

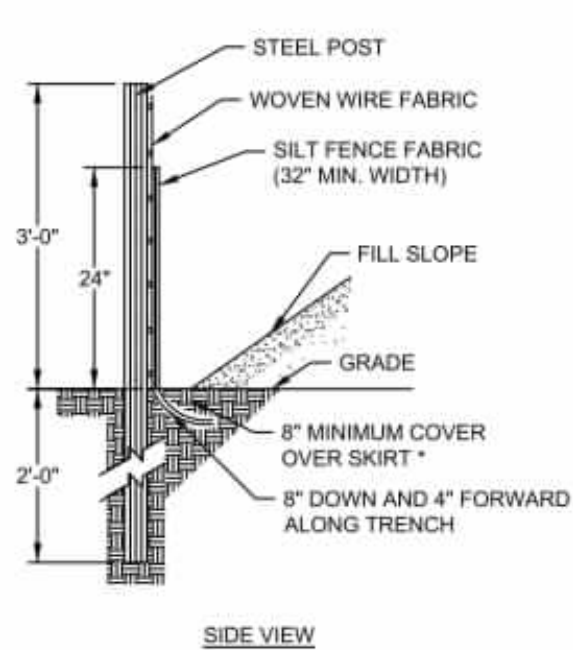
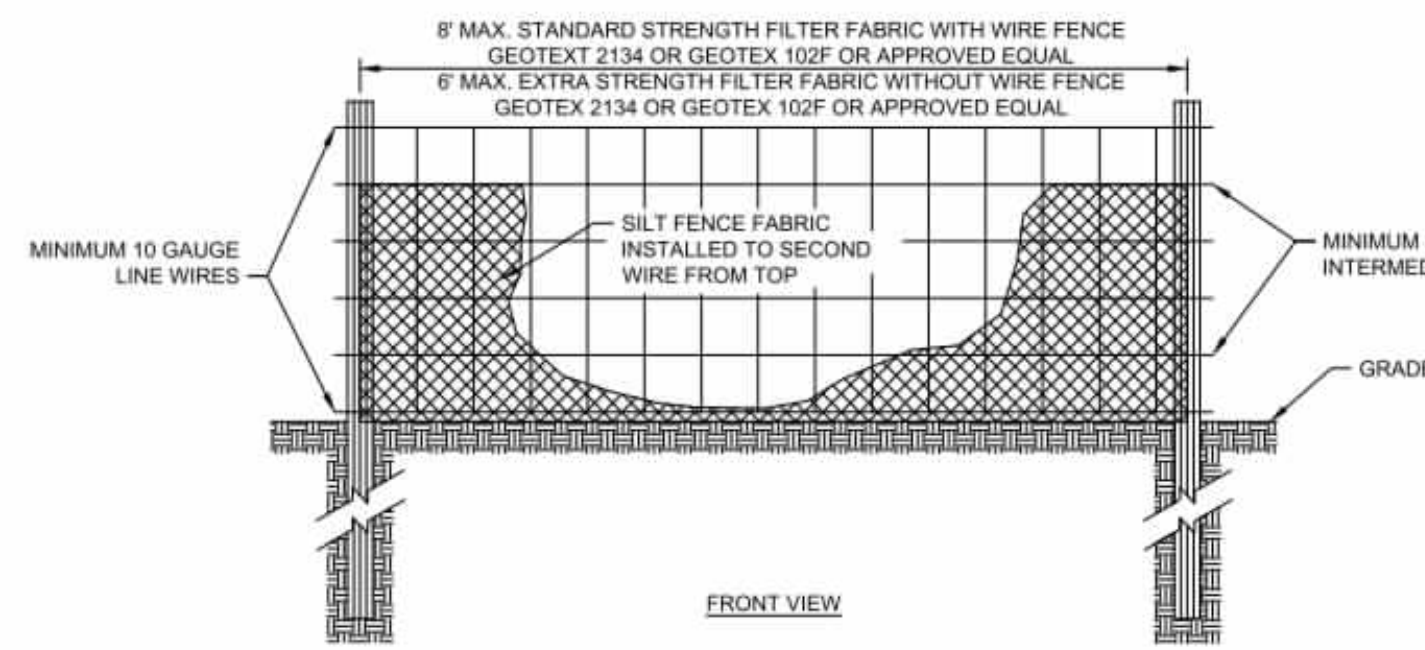
DATE	TYPE	PLANTING RATES
APR 15 - AUG 15	GERMAN MILLET	40 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	120 LBS/ACRE

**CONSTRUCTION SPECIFICATIONS:**  
 1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, AND PROPERLY GRADE IT.  
 2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLAN.  
 3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.  
 4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

**MAINTENANCE:**  
 MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TWO-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**  
NO SCALE



**CONSTRUCTION SPECIFICATIONS:**  
 1. USE SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461.  
 2. SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0-120 DEGREES F.  
 3. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.33 LB/LF STEEL WITH A MINIMUM LENGTH OF 5'. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.  
 4. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 14 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

**MAINTENANCE:**  
 1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.  
 2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.  
 3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.  
 4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**SILT FENCE**  
NO SCALE

DATE:

- NOTES:**
1. Install temporary sediment basins to the approved design. If the basin will eventually be converted to a permanent SCM device, the basin must function as a temporary sediment basin and meet the following parameters until completion of the project:
    - Maximum Drainage Area: 100 acres
    - Minimum Sediment Storage Volume: 1800 cubic feet per acre of disturbed area
    - Minimum Surface Area: 435 square feet per cfs of  $Q_{10}$  peak inflow
    - Minimum dewatering time: 48 hours
  2. Clear, grub, and strip topsoil from areas under the embankment to remove trees, vegetation, roots, and other objectionable material. Delay clearing the pool area until the dam is complete. Stockpile all topsoil or soil containing organic matter for use on the outer shell of the embankment to facilitate vegetative establishment.
  3. Place temporary sediment control measures below the basin and stockpile as needed.
  4. Excavate a cut-off trench along the center line of the earth fill embankment. Cut trench to stable soil material, but in no case make it less than 2 feet deep with maximum side slopes no steeper than 1:1. Compaction requirements are the same as those for the embankment.
  5. Extend the cut-off trench into both abutments to at least the elevation of the riser crest.
  6. Keep the trench dry during backfilling and compaction operations.
  7. Fill material should be clean mineral soil, free of roots, woody vegetation, rocks, and other objectionable material. Areas of approved fill should be shown on the plans.
  8. Scarify areas on which fill is to be placed prior to placing. Ensure that fill material contains sufficient moisture so it can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction.
  9. Place fill material in 6 to 8 inch continuous layers over the entire length of fill area and compact.
  10. Construct the embankment to an elevation 10% higher than the design height to allow for settling.
  11. Securely attach the riser to the barrel or barrel stub to make a watertight structural connection. All connections should be made using approved watertight assemblies.
  12. If no riser structure is to be used, couple the skimmer arm directly into the embankment 1 foot from the bottom of the basin.
  13. The arm pipe connecting the skimmer to the riser shall have a minimum length of 6 feet.
  14. Place barrel and riser on a firm, smooth foundation of impervious soil.
  15. Do not use porous material such as sand, gravel, or crushed stone as backfill around the pipe or anti-seep collar.
  16. Place fill material around the pipe spillway in 4-inch layers, and compact it under and around the pipe to at least the same density as the adjacent embankment.
  17. Place a minimum depth of 2 feet of compacted backfill over the pipe spillway before crossing it with any construction equipment.
  18. Anchor riser in place by concrete or other satisfactory means to prevent flotation.
  19. In no case should the pipe conduit be installed by cutting a trench through the dam after the embankment is complete.
  20. Install the emergency spillway in undisturbed soil.
  21. Discharge water into the basin in a manner to prevent erosion.
  22. Construct basin so that the disturbed area is minimized, divert surface water from bare areas and complete the embankment before the area is cleared.
  23. Stabilize the emergency spillway embankment and all other disturbed area above the crest of the principal spillway immediately after construction.
  24. Seed and place matting for erosion control on interior and exterior side slopes.
  25. Install Porous Baffles as specified on following sheets.

- MAINTENANCE:**
1. Inspect all measures at least weekly and after each rainfall of 1.0 inch or greater. Make any repairs immediately.
  2. Remove sediment and restore basin to its original dimensions when it accumulates to one-half the design depth.
  3. Place removed sediment in an area with sediment control measures to ensure no loss of sediment off-site.
  4. Check the embankment, spillways, and outlet for erosion damage, and inspect the embankment for piping and settlement.
  5. Remove all trash and other debris from the riser and pool area.



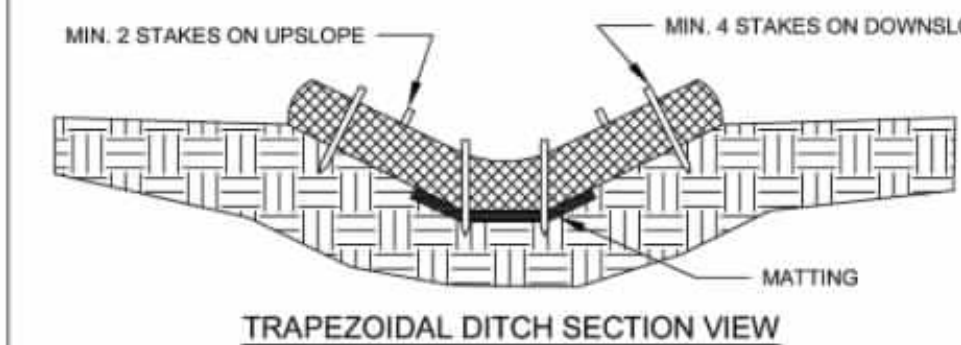
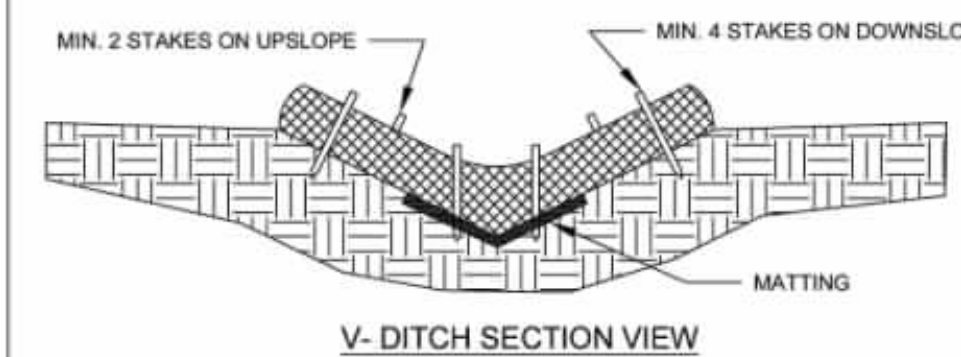
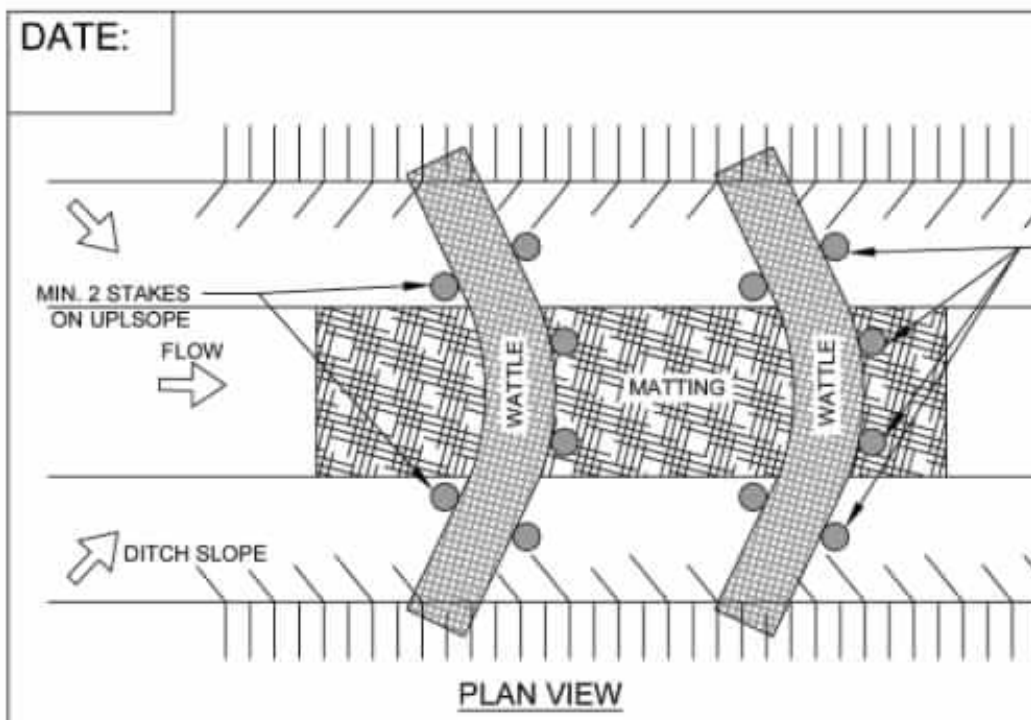
**SEDIMENT BASIN**

**Acceptable Dimensions for Basin Embankment**

Fill Height	Minimum Top Width
Less than 10.0 ft	8.0 ft
10.0 ft to 15.0 ft	10.0 ft

Effective Date: 9/1/2023  
 In accordance with the 2013 Design Manual Updates

DATE:



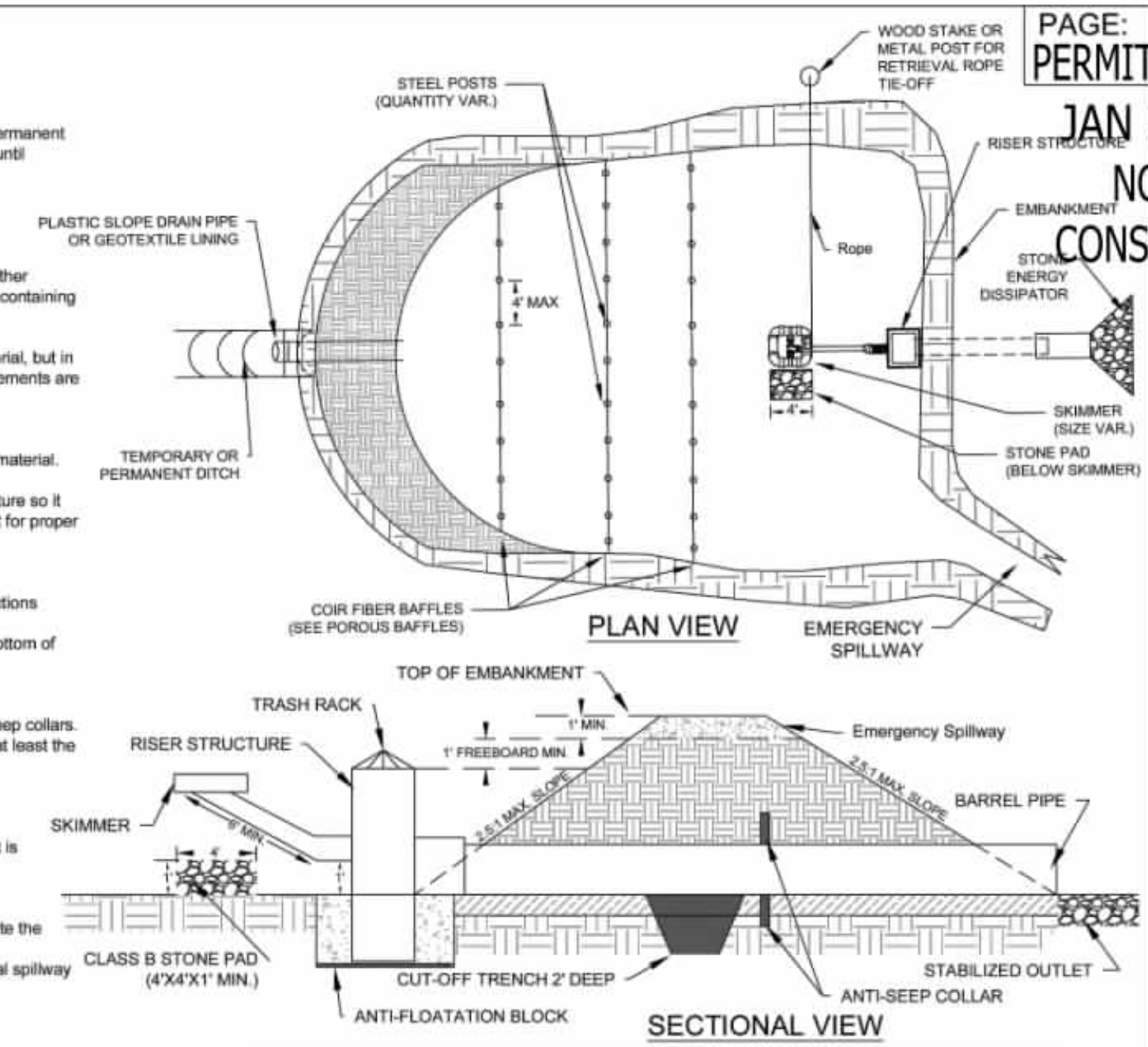
- NOTES:**
1. Other materials providing equivalent protection against erosive velocities may be substituted for compost use in silt socks or wattles.
  2. Fill silt sock/wattle netting uniformly to the desired length such that logs do not deform.
  3. Use 24 inch long wooden stakes with a 2 inch x 2 inch nominal cross section.
  4. Install silt sock/wattle(s) to a height on slope so flow will not wash around silt sock/wattle and scour slopes, or as directed.
  5. Install a minimum of two up-slope stakes and four down-slope stakes at an angle to wedge silt sock/wattle to ground at bottom ditch. Use staples to secure silt sock/wattle to the ground to prevent undermining.
  6. The use of flocculants such as Polyacrylamide (PAM) is recommended. Apply flocculants on top of sock/wattle and to matting on either side of sock/wattle according to manufacturer recommended rates. Reapply after each 1.0 inch rainfall.

- MAINTENANCE:**
1. Inspect all measures weekly and after each rainfall of 1.0 inch or greater. Remove accumulated sediment and any debris.
  2. Silt sock/Wattle(s) must be replaced if clogged or torn.
  3. If ponding becomes excessive, the silt sock/wattle may need to be replaced with a larger diameter or a different measure.
  4. Reinstall if damaged or dislodged.
  5. Silt socks/Wattles shall be inspected until land disturbance is complete and the area above the measure is permanently stabilized.



**SILT SOCK / WATTLE FOR CHECK DAM**

Effective Date: 9/1/2023  
 In accordance with the 2013 Design Manual Updates



PAGE: PERMIT DRAWINGS

JAN 27, 2026

NOT FOR CONSTRUCTION



THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
 1805 West City Drive, Unit E, Elizabeth City, NC 28599  
 TEL 252.621.3930 FAX 252.562.6974 www.timmons.com

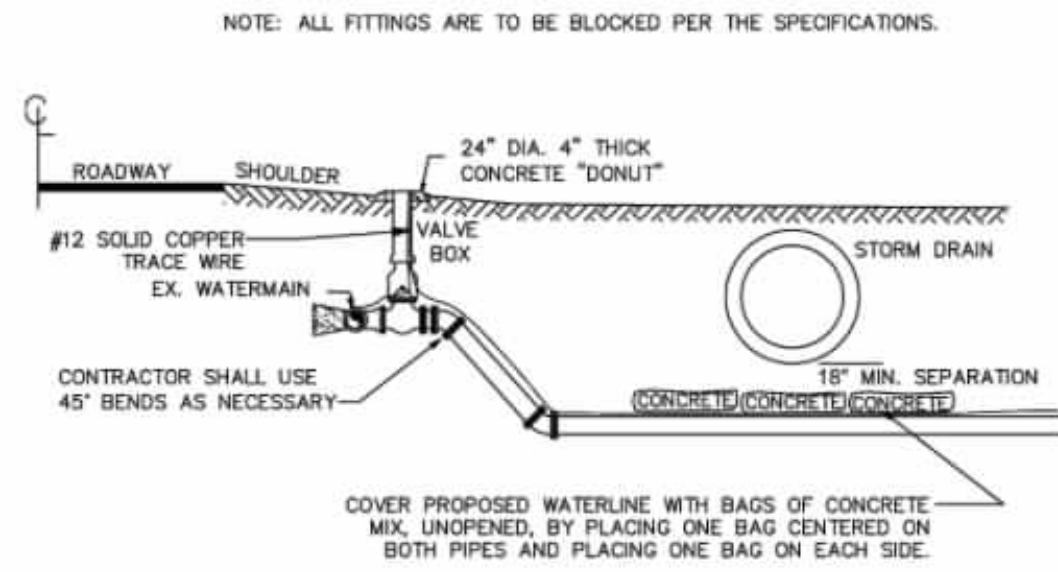
YOUR VISION ACHIEVED THROUGH OURS.

DATE	DESCRIPTION
01/27/2026	DRAWN BY KTY
	DESIGNED BY KDH
	CHECKED BY KDH
	SCALE NO SCALE

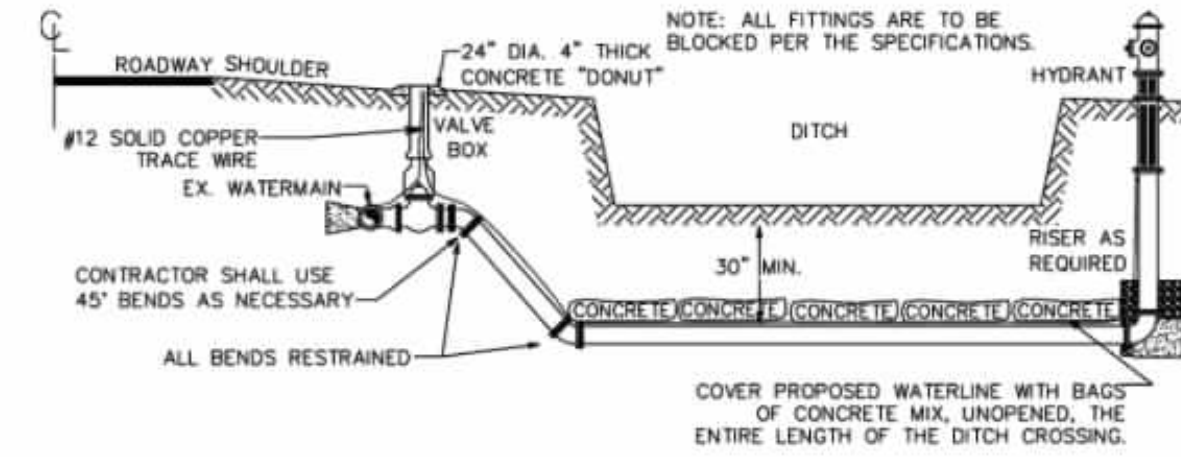
**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652  
 GRANDY MANOR SUBDIVISION  
 POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
 EROSION & SEDIMENT CONTROL DETAILS

JOB NO.	56469
SHEET NO.	C6.4

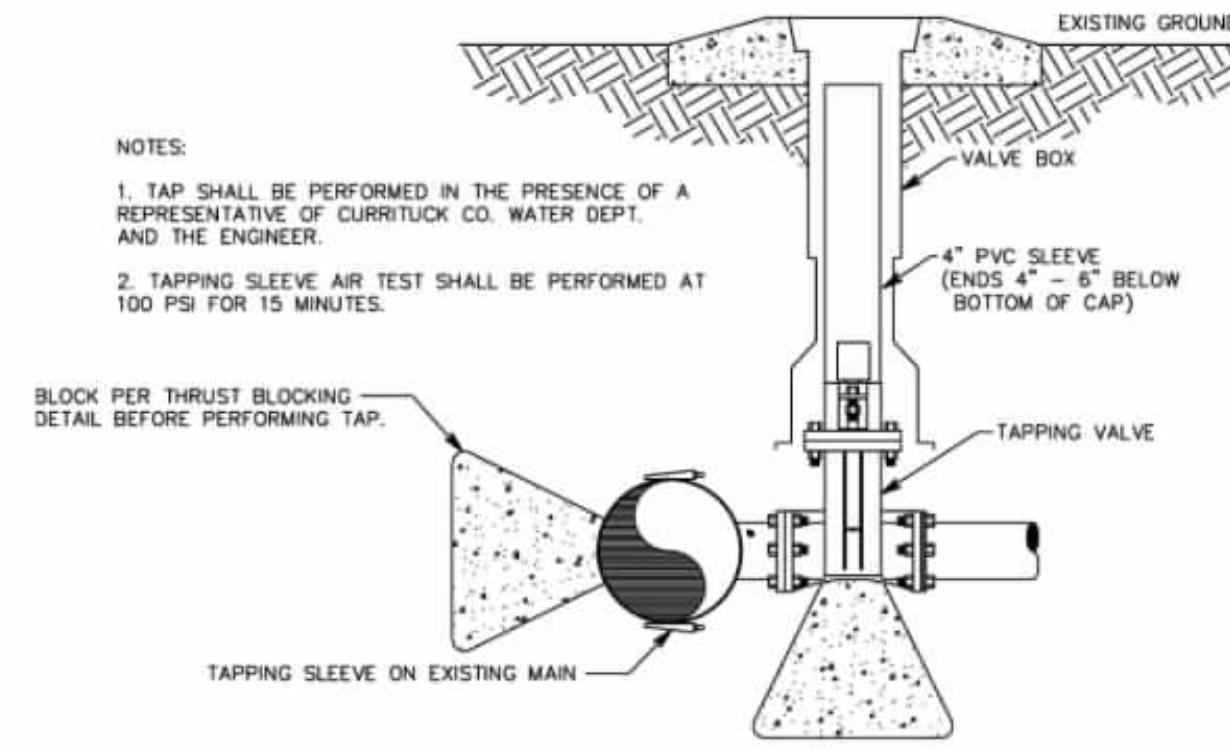
S:\109\56469 - Grandy Manor - Poplar Branch, NCDIV\Sheet\CD\56469C-C6.3 - DEROS.dwg | Plotted on 1/27/2026 3:15 PM | by Kim Hamby



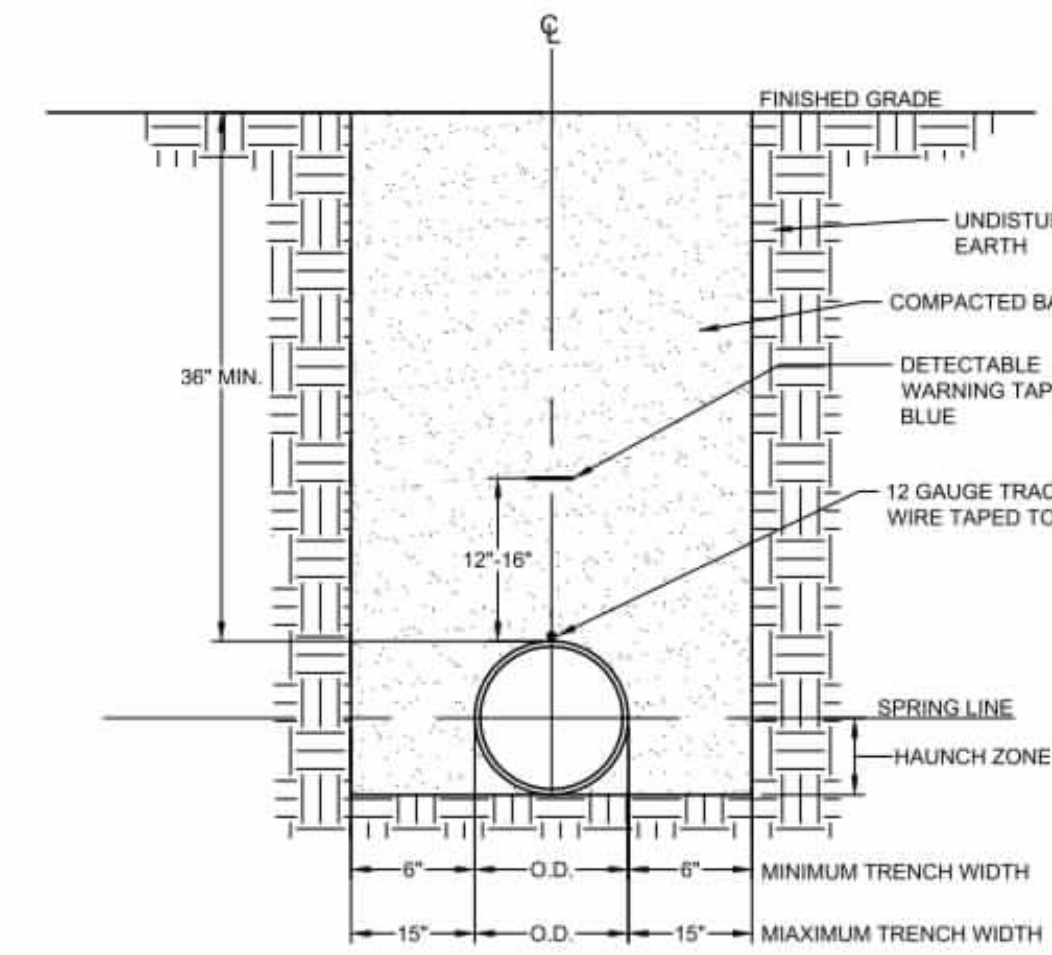
**CULVERT CROSSING DETAIL**  
NTS



**DITCH CROSSING DETAIL**  
NTS



**TAPPING DETAIL**  
NTS



**TYPICAL WATERLINE TRENCH DETAIL**  
NO SCALE

PERMIT DRAWINGS  
JAN 27, 2026  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3930 FAX 252.562.6974 www.timmons.com

REVISION DESCRIPTION

YOUR VISION ACHIEVED THROUGH OURS.

DATE	DATE
	01/27/2026

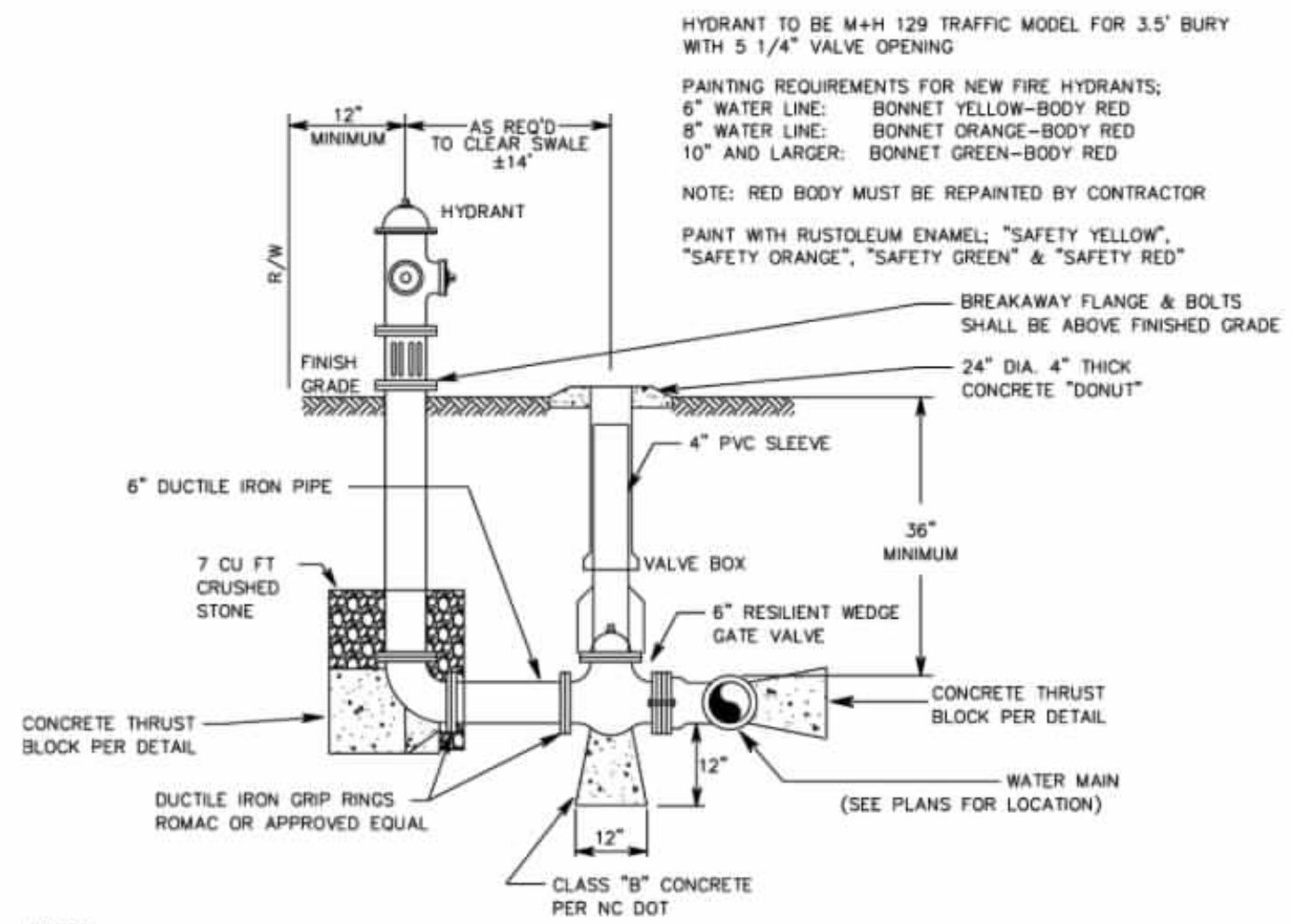
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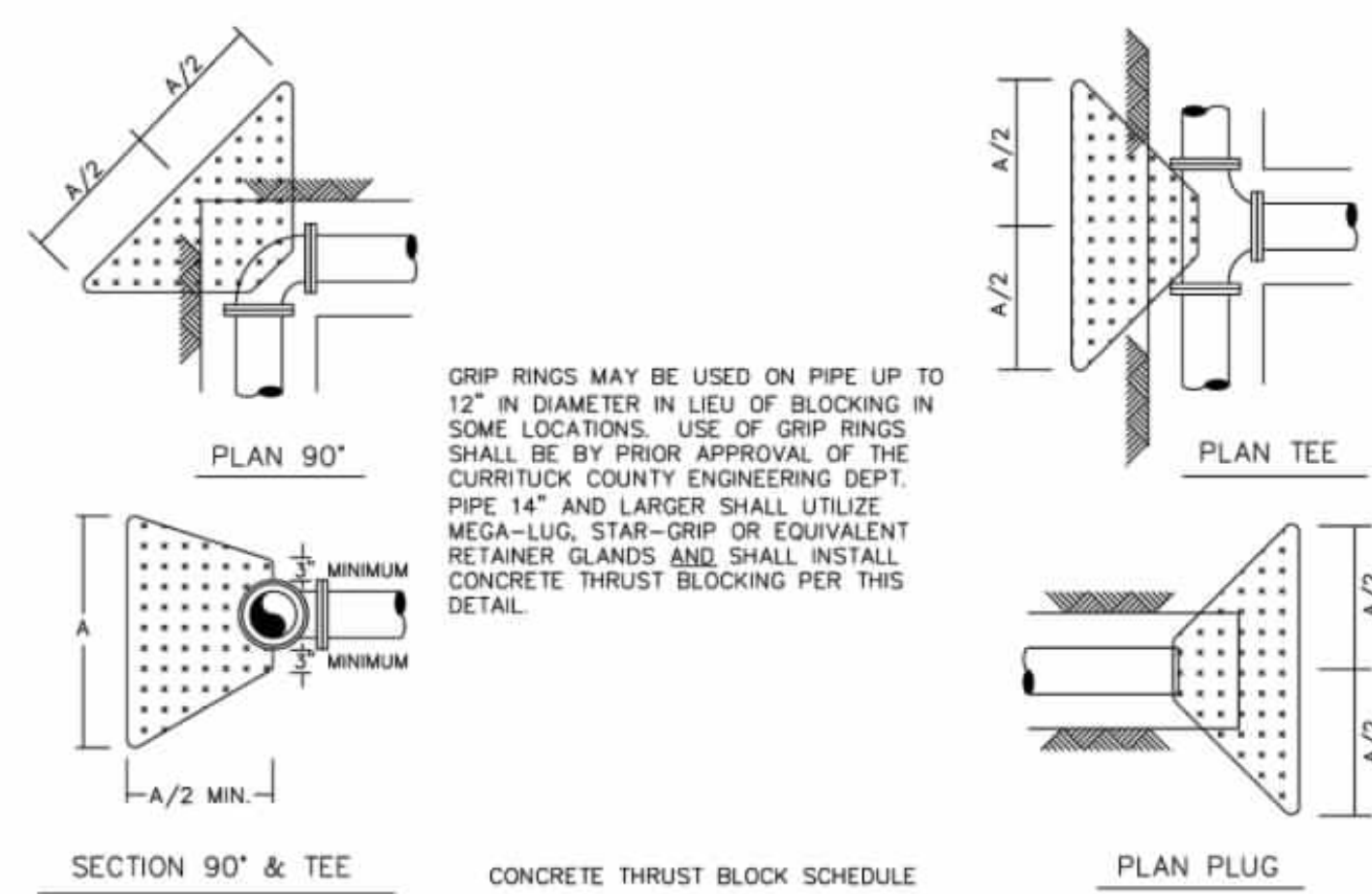
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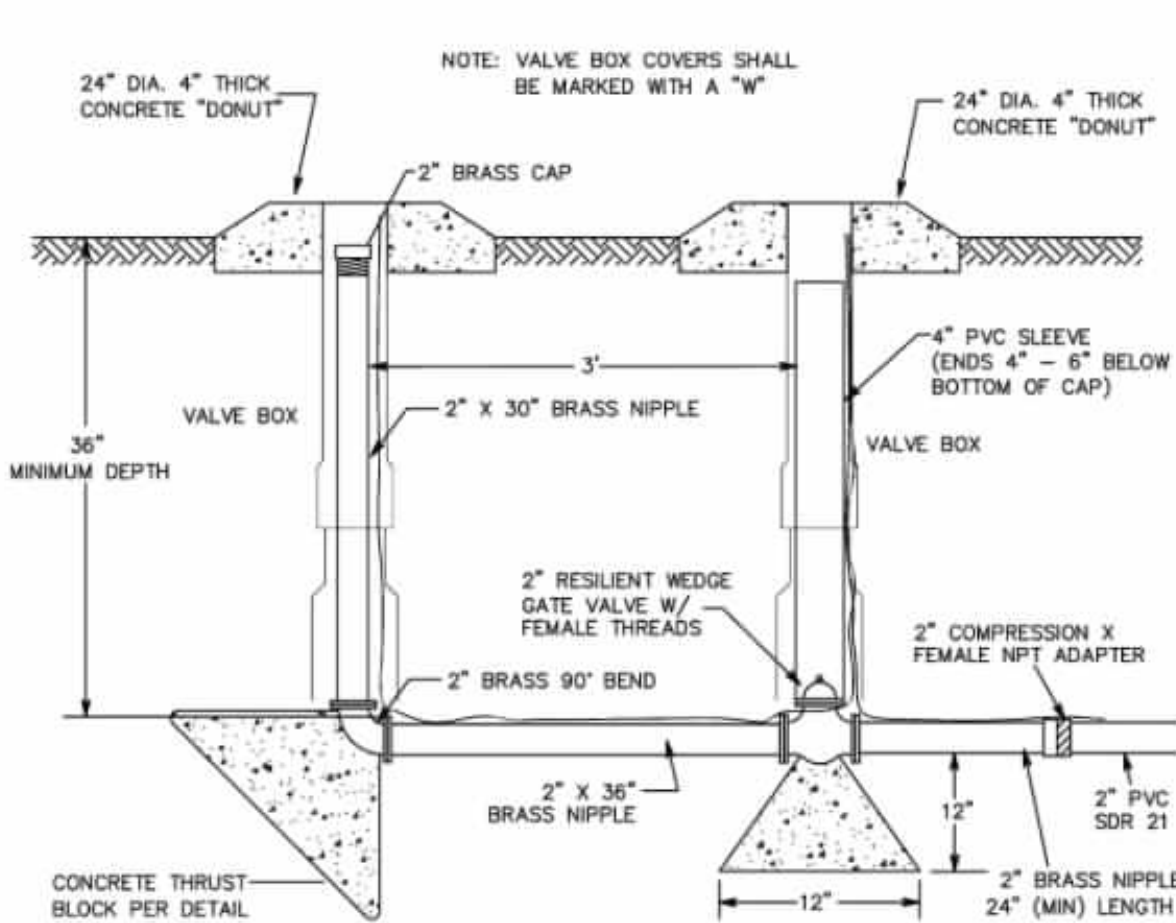
**FIRE HYDRANT DETAIL**  
NTS



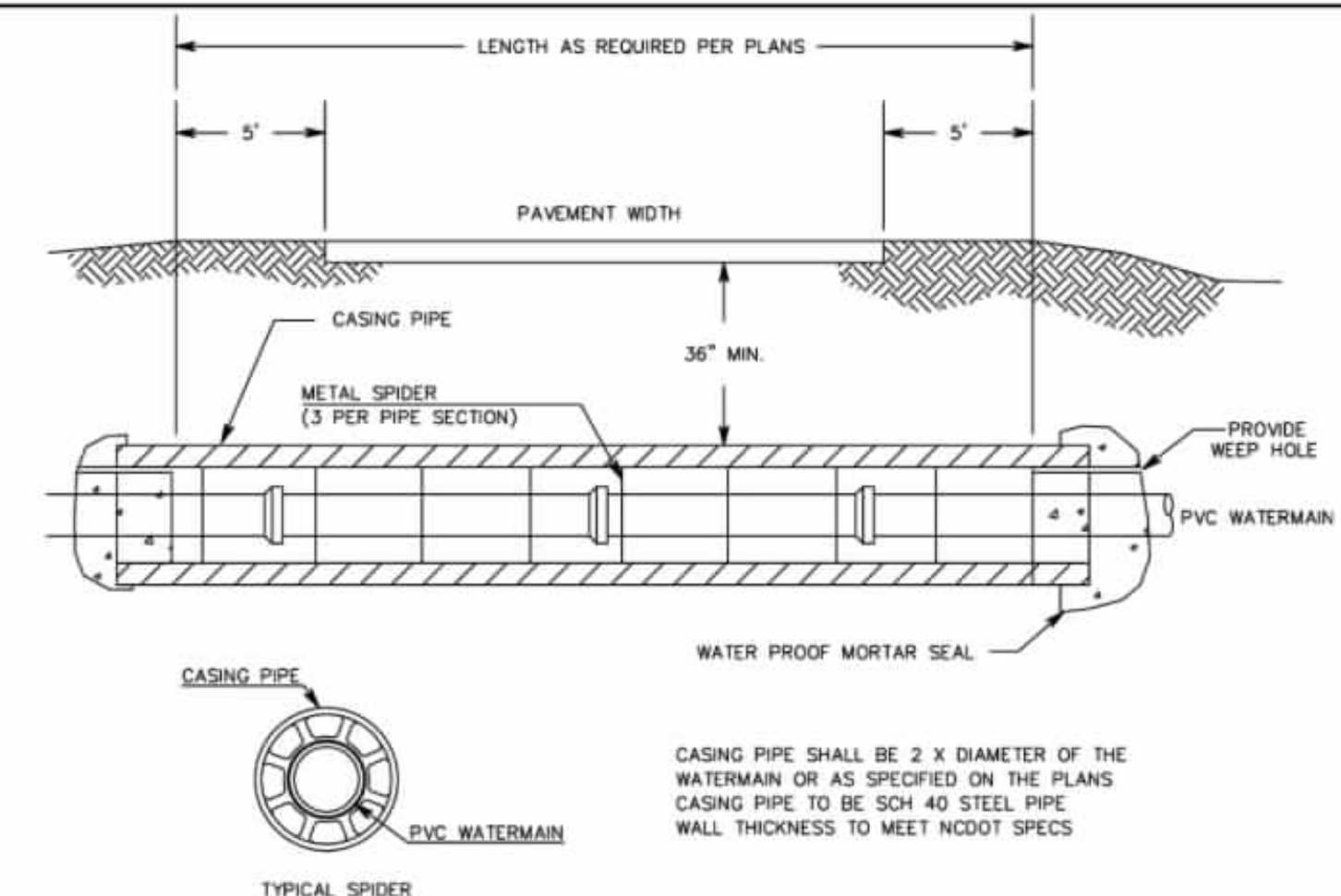
**THRUST BLOCK DETAIL**  
NTS

FITTING	PIPE SIZE (NOM. DIA. IN INCHES)									
	2"	4"	6"	8"	10"	12"	16"	18"	20"	24"
TEE	1.6	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
90° BEND	1.5	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
45° BEND	1.0	1.4	2.1	2.8	3.5	4.3	5.5	6.2	6.9	7.7
22 1/2° BEND	.8	1.0	1.5	2.0	2.5	3.1	4.0	4.5	4.9	5.5

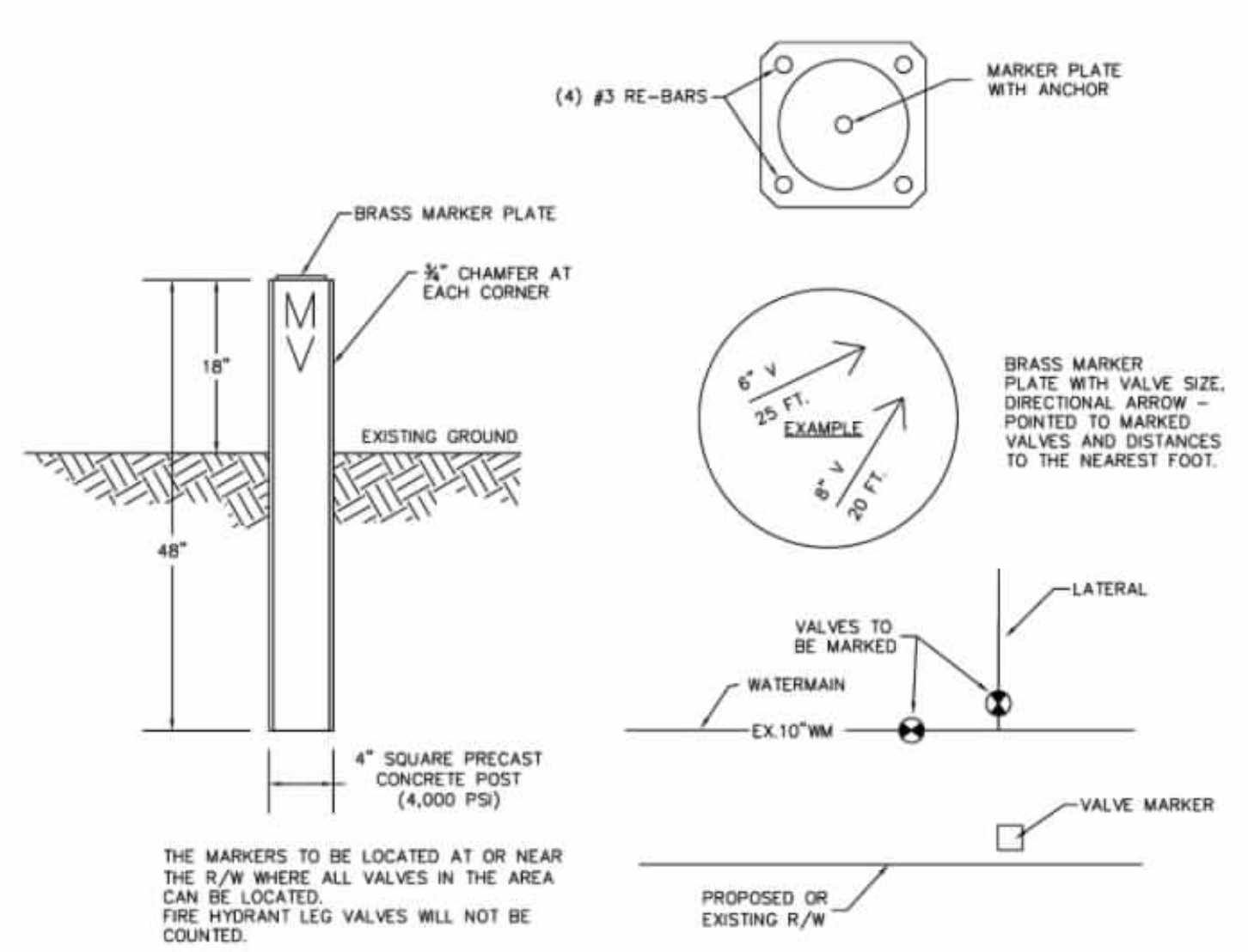
TABLE "A" DIMENSIONS (IN FEET)



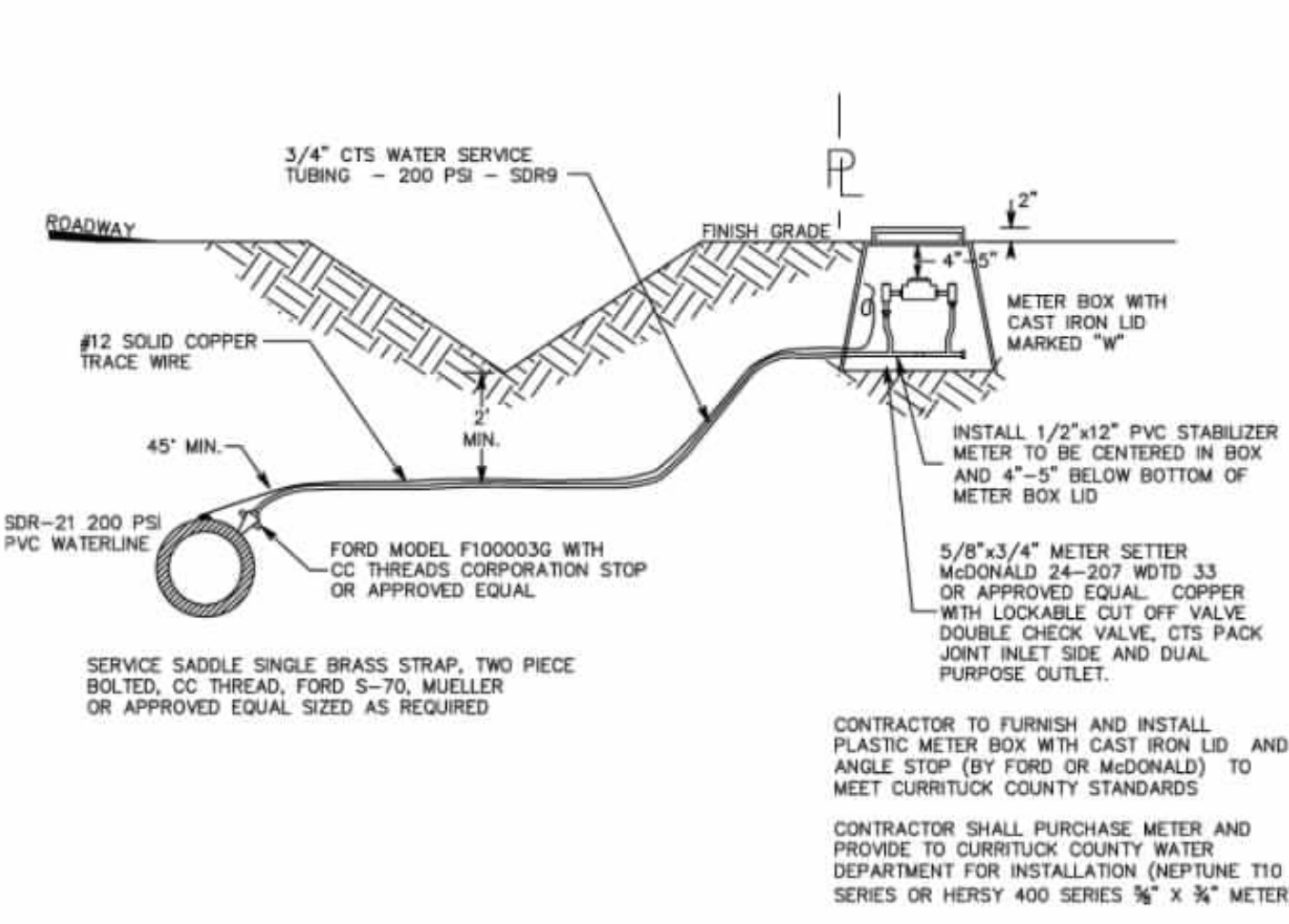
**2" BLOW-OFF DETAIL**  
NTS



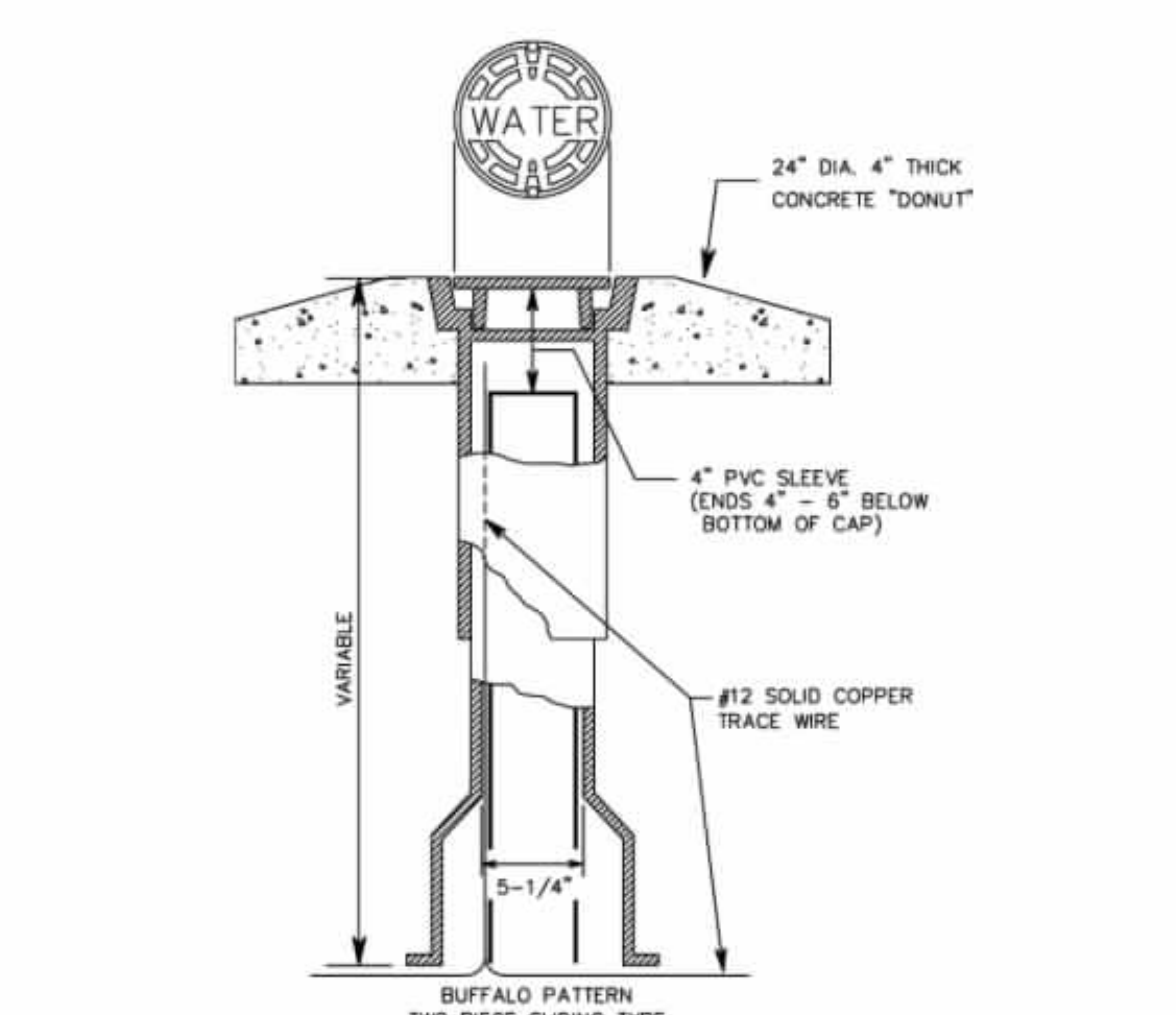
**ROAD BORE DETAIL**  
NTS



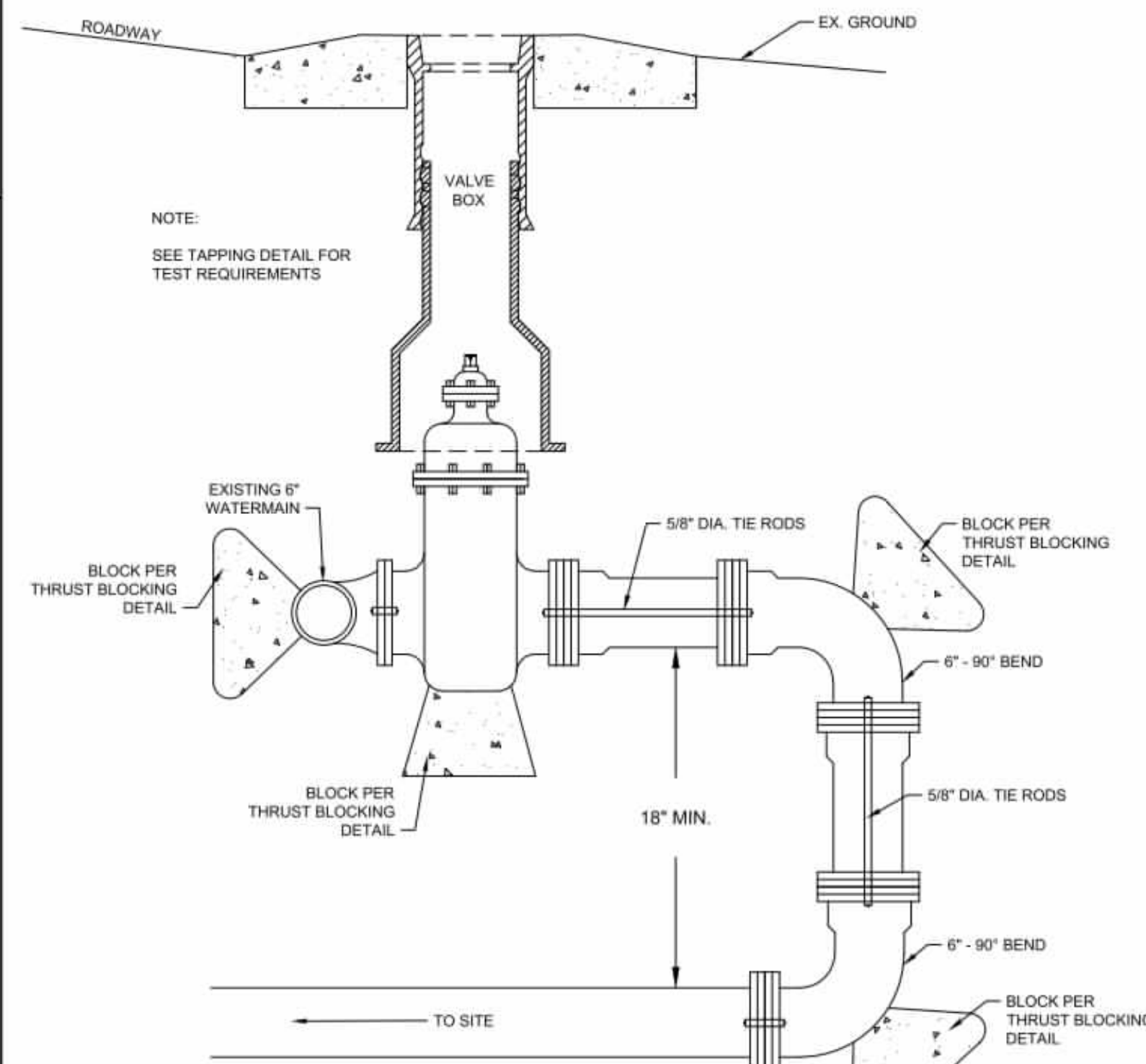
**VALVE MARKER DETAIL**  
NTS



**3/4" WATER SERVICE LATERAL DETAIL**  
NTS



**VALVE BOX**  
NTS



**CONNECTION USING 90° BENDS**  
NO SCALE

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
GRANDY MANOR SUBDIVISION  
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA  
UTILITY DETAILS

JOB NO.	SHEET NO.
56469	C6.5

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1805 West City Drive  
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February 4, 2026

Ms. Caitlin A. Spear, ~~Asst.~~ District Engineer  
N. C. Department of Transportation  
1929 North Road Street  
Elizabeth City, NC 27909


RE: Encroachment Agreement 16.1  
Grandy Manor  
Timmons Project No. 56469

Dear Ms. Spear:

Please accept this request for an encroachment agreement for connection to the existing watermain located in the NCDOT right-of-way.

Thank you for your attention to this project. If you have any questions concerning this submission, please do not hesitate to contact me at (252) 621-5029.

Sincerely,  
Timmons Group

  
Kimberly D. Hamby, PE  
Sr. Project Manager

cc: file  
Howard Land Development, LLC

JOSH STEIN  
Governor

D. REID WILSON  
Secretary

WILLIAM E. TOBY VINSON, JR.  
Director



03-20-2026

## LETTER OF APPROVAL

Howard Land Development, Inc.  
2854 A Caratoke Hwy  
Currituck, North Carolina 27929

RE: Project Name: Grandy Manor  
Permit Number: CURRI-2026-0157  
Acres Approved: 19.75  
County: Currituck  
City: Grandy  
Address: Poplar Branch Rd  
River Basin: Pasquotank  
Stream Classification: SC: Aquatic Life, Secondary Contact Recreation, Tidal Salt Water  
Plan Type: New Plan (residential subdivision)

Dear Howard Land Development, Inc.,

This office has received and reviewed the subject erosion and sedimentation control plan. We find the plan to be acceptable and hereby issue this Letter of Approval. The enclosed Certificate of Approval must be posted at the job site. This plan shall expire three (3) years following the date of approval, if no land disturbing activity has been undertaken, as is required by Title 15A NCAC 4B .0129.

As of April 1, 2019, all new construction activities are required to complete and submit an electronic Notice of Intent (eNOI) form requesting a COC under the NCG010000 Construction Stormwater General Permit. You must apply for coverage by submitting a "Construction Stormwater – NCG01 (Subject to the SPCA) in the [AccessDEQ Portal](#). Once your application is complete, you will receive an invoice for the \$127 annual permit fee and can submit payment through the AccessDEQ Portal. Once the fee is processed and the application approved, you will receive the COC via email. As the Financially Responsible Party shown on the FRO form submitted for this project, you MUST obtain the COC prior to commencement of any land disturbing activity. Please direct questions about the eNOI form to the [Stormwater Program staff](#) in the Raleigh central office. If the owner/operator of this project changes in the future, the new responsible party must obtain a new COC.



North Carolina Department of Environmental Quality  
Division of Energy, Mineral and Land Resources  
512 North Salisbury Street | 1612 Mail Service Center  
Raleigh, North Carolina 27699-1612

Title 15A NCAC 4B .0118(a) and the NCG01 permit require that the following documentation be kept on file at the job site:

1. The approved E&SC plan as well as any approved deviation.
2. The NCG01 permit and the COC, once it is received.
3. Records of inspections made during the previous 12 months.

Also, this letter gives the notice required by G.S. 113A-61.1(a) of our right of periodic inspection to ensure compliance with the approved plan.

North Carolina's Sedimentation Pollution Control Act is performance-oriented, requiring protection of existing natural resources and adjoining properties. If, following the commencement of this project, the erosion and sedimentation control plan is inadequate to meet the requirements of the Sedimentation Pollution Control Act of 1973 (North Carolina General Statute 113A-51 through 66), this office may require revisions to the plan and implementation of the revisions to ensure compliance with the Act.

Acceptance and approval of this plan is conditioned upon your compliance with Federal and State water quality laws, regulations, and rules. In addition, local city or county ordinances or rules may also apply to this land-disturbing activity. This approval does not supersede any other permit or approval.

Please note that this approval is based in part on the accuracy of the information provided in the Financial Responsibility Form and on the plan, which you provided. You are requested to file an amended form if there is any change in the information included on the form.

Your cooperation is appreciated.

Sincerely,

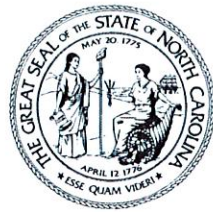
*Samir Dumper*

Land Quality Section

**General Comments**

1. This permit allows for a land disturbance, as called for on the application plan, not to exceed **19.75 acres**. Exceeding that acreage will be a violation of this permit and would require a revised plan and additional application fee. Any addition in impervious surface, over that already noted on the approved plan, would also require a revised plan to verify the appropriateness of the erosion control measures and stormwater retention measures (NCGS 113A-54.1(b)).
2. Additional measures may be required - the applicant is responsible for the control of sediment on-site. If the approved erosion and sedimentation control measures prove insufficient, the applicant must take those additional steps necessary to stop sediment from leaving this site (NCGS 113A-57(3); 15A NCAC 4B .0115). Each sediment storage device must be inspected after each storm event (NCGS 113A54.1(e)). Maintenance and/or clean out is necessary anytime the device is at 50% capacity. All sediment storage measures will remain on site and functional until all grading and final landscaping of the project is complete (15A NCAC 04B .0113).
3. The applicant is responsible for obtaining any and all permits and approvals necessary for the development of this project prior to the commencement of this land disturbing activity. This could include our agency's Stormwater regulations and the Division of Water Resources' enforcement requirements within Section 401 of the Clean Water Act, the U.S. Army Corps of Engineers' jurisdiction of Section 404 of the Clean Water Act, the Division of Coastal Management's CAMA requirements, the Division of Solid Waste Management's landfill regulations, the Environmental Protection Agency and/or The U.S. Army Corps of Engineers jurisdiction of the Clean Water Act, local County or Municipalities' ordinances, or others that may be required. This approval cannot supersede any other permit or approval; however, in the case of a Cease-and-Desist Order from the Corps of Engineers, that Order would only apply to wetland areas. All highlands would still have to be in compliance with the N.C. Sedimentation Pollution Control Act.
4. If any area on site falls within the jurisdiction of Section 401 or 404 of the Clean Water Act, the applicant is responsible for compliance with the requirements of the Division of Water Resources (DWR), the Corps of Engineers and the Environmental Protection Agency (EPA) respectively. Any erosion control measures that fall within jurisdictional wetland areas must be approved by the aforementioned agencies prior to installation. The Land Quality Section must be notified of a relocation of the measures in question to the transition point between the wetlands and the uplands to assure that the migration of sediment will not occur. If that relocation presents a problem or contradicts any requirements of either DWR, the Corps, or the EPA, it is the responsibility of the applicant to inform the Land Quality Section regional office so that an adequate contingency plan can be made to assure sufficient erosion control remains on site. Failure to do so will be considered a violation of this approval (NCGS 113A-54.1(b)).
5. Any off-site borrow and waste required for this project must come from a site with an approved erosion control plan, a site regulated under the Mining Act of 1971, or a landfill regulated by the Division of Solid Waste Management. Trash/debris from demolition activities or generated by any activities on site must be disposed of at a facility regulated by the Division of Solid Waste Management or per Division of Solid Waste Management or Division of Water Resources rules and regulations. [15A NCAC 4B .0110]

6. If sediment traps and basins are shown on the plan as the primary sedimentation and erosion control devices on this project, it is necessary that the traps and basins and their collection systems be installed before any other grading takes place on site, and that every structure that receives more than one acre of drainage is built so that each dewater only from the surface (NCG010000). If that proves to be impractical, a revised plan must be submitted and approved that addresses erosion and sediment control needs during the interim period until the traps and basins are fully functioning (113A-54.1(b)).
7. Any and all existing ditches on this project site are assumed to be left undisturbed by the proposed development unless otherwise noted. The removal of vegetation within any existing ditch or channel is prohibited unless the ditch or channel is to be regraded with side slopes of 2 horizontal to 1 vertical or less steep (15A NCAC 04B .0124 (d)). Bank slopes may be mowed but stripping of vegetation is considered new earth work and is subject to the same erosion control requirements as new ditches (NCGS-113A52(6)).
8. As a condition of the NPDES General Stormwater Permit (NCG010000), the financially responsible party shall comply with the NCG01 Ground Stabilization and Materials Handling requirements that became effective April 1, 2019. The NCG01 Ground Stabilization and Materials Handling standard detail can be printed from the [deq.nc.gov/NCG01website](http://deq.nc.gov/NCG01website).
9. As a condition of the NPDES General Stormwater Permit (NCG010000), the financially responsible party shall comply with the NCG01 Self-Inspection, Recordkeeping and Reporting requirements that became effective April 1, 2019. The NCG01 Self-Inspection, Recordkeeping and Reporting standard details can be printed from the [deq.nc.gov/NCG01 website](http://deq.nc.gov/NCG01website).
10. As a part of routine monitoring of the approved land-disturbing activity, the financially responsible party shall assure inspections of the area covered by the approved plan after each phase of the plan has been completed and after establishment of temporary ground cover in accordance with North Carolina General Statute 113A-54.1(e).
11. The NCG01 has a \$127 yearly fee and our office often receives closure inspection requests days prior to yearly NCG01 fee payment due dates. Be advised the project requires a closure inspection report by DEMLR prior to filing the Notice of Termination (NOT) to terminate NCG01 coverage. The closure inspection should not be requested until after the site has achieved full vegetative stabilization and measures have been removed. The removal of temporary ESC measures, including basins, requires prior approval. Often, a full growing season is necessary between initial seeding/mulching and removal of measures. Please plan your construction accordingly to avoid contacting our office prematurely for a closure inspection. Also be advised that you may be asked for representative site pictures prior to a close-out inspection.



NORTH CAROLINA  
Environmental Quality

JOSH STEIN

Governor

D. REID WILSON

Secretary

WILLIAM E. TOBY VINSON, JR

Director

March 6, 2026

Howard Land Development, Inc.  
Attn: C A Howard, Jr.  
2854A Caratoke Highway  
Currituck, NC 27929

**Subject: State Stormwater Management Permit No. SW7260201  
Grandy Manor  
Low Density Subdivision Project  
Currituck County**

Dear Stuart Innes:

The Washington Regional Office received a complete State Stormwater Management Permit Application for the subject project on February 4, 2026. Staff review of the plans and specifications has determined that the project, as proposed, complies with the Stormwater Regulations set forth in 15A NCAC 2H.1000 amended on January 1, 2017 (2017 Rules). We are hereby forwarding Permit No. SW7260201 dated March 6, 2026, for the construction of the built-upon areas (BUA) and vegetated conveyances associated with the subject project.

This permit shall be effective from the date of issuance until rescinded and the project shall be subject to the conditions and limitations as specified therein and does not supersede any other agency permit that may be required. Failure to comply with these requirements will result in future compliance problems. Please note that this permit is not transferable except after notice to and approval by the Division.

This cover letter, attachments, and all documents on file with DEMLR shall be considered part of this permit and is herein incorporated by reference.

If any parts, requirements, or limitations contained in this permit are unacceptable, you have the right to request an adjudicatory hearing by filing a written petition with the Office of Administrative Hearings (OAH). The written petition must conform to Chapter 150B of the North Carolina General Statutes and must be filed with the OAH within thirty (30) days of receipt of this permit. You should contact the OAH with all questions regarding the filing fee (if a filing fee is required) and/or the details of the filing process at 6714 Mail Service Center, Raleigh, NC 27699-6714, or via telephone at 919-431-3000, or visit their website at [www.NCOAH.com](http://www.NCOAH.com). Unless such demands are made this permit shall be final and binding.

If you have any questions concerning this permit, please contact Denis Hyska in the Washington Regional Office, at (252) 948-3973 or [denis.hyska@deq.nc.gov](mailto:denis.hyska@deq.nc.gov).

Sincerely,

Denis Hyska, CAPM  
Division of Energy, Mineral and Land Resources

Enclosures: Attachment A – Designer's Certification Form  
Application Documents

cc: Kim Hamby, PE – Timmons Group. ([kim.hamby@timmons.com](mailto:kim.hamby@timmons.com))  
Currituck County – Jennie Turner ([jennie.turner@CurrituckCountyNC.gov](mailto:jennie.turner@CurrituckCountyNC.gov))  
Washington Regional Office



North Carolina Department of Environmental Quality | Division of Energy, Mineral and Land Resources  
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**STATE OF NORTH CAROLINA**  
**DEPARTMENT OF ENVIRONMENTAL QUALITY**  
**DIVISION OF ENERGY, MINERAL AND LAND RESOURCES**

**STATE STORMWATER MANAGEMENT PERMIT**

**LOW DENSITY SUBDIVISION DEVELOPMENT**

In compliance with the provisions of Article 21 of Chapter 143, General Statutes of North Carolina as amended, and other applicable Laws, Rules, and Regulations promulgated and adopted by the North Carolina Environmental Management Commission, including 15A NCAC 02H.1000 amended on January 1, 2017 (2017 Rules), the "stormwater rules"),

PERMISSION IS HEREBY GRANTED TO

Howard Land Development, Inc

*Grandy Manor*

*732 Poplar Branch Road*

*Grandy, Currituck County*

FOR THE

construction, management, operation and maintenance of built-upon area (BUA) for a 24% low density subdivision project (the "low density area") discharging to Class SC waters as outlined in the application, approved stormwater management plans, supplements, calculations, operation and maintenance agreement, recorded documents, specifications, and other supporting data (the "approved plans and specifications") as attached and/or on file with and approved by the Division of Energy, Mineral and Land Resources (the "Division" or "DEMLR"). The project shall be constructed, operated and maintained in accordance with these approved plans and specifications. The approved plans and specifications are incorporated by reference and are enforceable parts of this permit.

This permit shall be effective from the date of issuance until rescinded and shall be subject to the following specified conditions and limitations. The permit issued shall continue in force and effect until the permittee files a request with the Division for a permit modification, transfer, or rescission; however, these actions do not stay any condition. The issuance of this permit does not prohibit the Director from reopening and modifying the permit, revoking and reissuing the permit, or terminating the permit for cause as allowed by the laws, rules, and regulations contained in 15A NCAC 2H.1000 and NCGS 143-215.1 et.al.

1. BUA REQUIREMENTS. The maximum amount of BUA allowed for the entire project is 188,776 square feet. The BUA requirements and allocations for this project are as follows:
  - a. LOW DENSITY AREA BUA LIMITS. The low-density area, in the approved plans and specifications, must not exceed 24% per the requirements of the stormwater rules. Within this low-density area, this permit approves a percent BUA of 18.81% and the construction of a total of 188,776 square feet of BUA. This permit does provide an allocation of 5,000 square feet of BUA for future development within this low-density area.
  - b. BUA FOR INDIVIDUAL LOTS. Each of the twenty (20) lots are limited to a maximum of BUA of 6,000 square feet, as indicated in the approved plans and specifications. **The maximum BUA assigned to each lot via this permit and the recorded deed restrictions and protective covenants may not be increased or decreased by either the individual lot owner or the permittee unless and until the permittee notifies the Division and obtains written approval from the Division.**
2. PERVIOUS AREA IMPROVEMENTS. At this time, none of the pervious area improvements listed in G.S. 143-214.7(b2) or the Stormwater Design Manual have been proposed for this project. Pervious area improvements will be allowed in this project if documentation is provided demonstrating those improvements meet the requirements of the stormwater rule.
3. LOW DENSITY AREA REQUIREMENTS. The low-density area requirements for this project are as follows:
  - a. LOW DENSITY AND CONVEYANCE DESIGN. The low-density area is permitted based on the design criteria presented in the sealed, signed and dated supplement and as shown in the approved plans and specifications. This low-density area and conveyances must be provided and maintained at the design condition.
  - b. PIPING. Other than the piping shown on the approved plans, only minimal amounts of piping under driveways and roads is allowed within the low-density area when it cannot be avoided. No additional piping is allowed.
  - c. DISPERSED FLOW. The low-density area has maximized dispersed flow of stormwater runoff through vegetated areas and minimized the channelization of flow.
  - d. VEGETATED CONVEYANCES. Stormwater runoff that could not be released as dispersed flow may be transported by vegetated conveyances with minimum side slopes of 3:1 (H:V) designed to not erode during the peak flow from the 10-year storm event as defined in the stormwater rules and approved by the Division
4. NON-ENFORCEABLE SCMS. The two wet ponds shown on the plans are **not** required by the Division and have not been demonstrated to meet the Minimum Design Criteria and therefore are not considered a part of the approved stormwater treatment system. These additional measures are incorporated only by reference and are not enforceable parts of the permit.

5. **VEGETATED SETBACKS.** A 50-foot wide vegetative setback must be provided and maintained in grass or other vegetation adjacent to all surface waters as shown on the approved plans. The setback is measured horizontally from the normal pool elevation of impounded structures, from the top of bank of each side of streams or rivers, and from the mean high waterline of tidal waters, perpendicular to the shoreline.
  - a. **RELEASE OF STORMWATER NOT TREATED IN A STORMWATER CONTROL MEASURE (SCM).** Stormwater that is not treated in an SCM, such as in the low-density area (including roof drains), must be released at the edge of the vegetated setback and allowed to flow through the setback as dispersed flow.
  
6. **RECORDED DOCUMENT REQUIREMENTS.** The stormwater rules require the following documents to be recorded with the Office of the Register of Deeds prior to the sale of individual lots or groups of lots:
  - a. **ACCESS AND/OR EASEMENTS.** The entire stormwater conveyance system and maintenance accesses must be located in public rights-of-way, dedicated common areas that extend to the nearest public right-of-way, and/or permanent recorded easements that extend to the nearest public right-of-way for the purpose of inspection, operation, maintenance, and repair.
  - b. **OPERATION AND MAINTENANCE AGREEMENT.** The operation and maintenance agreement must be recorded with the Office of the Register of Deeds.
  - c. **FINAL PLATS.** The final recorded plats must reference the operation and maintenance agreement and must also show all public rights-of-way, dedicated common areas, and/or permanent drainage easements, in accordance with the approved plans.
  - d. **DEED RESTRICTIONS AND PROTECTIVE COVENANTS.** Recorded deed restrictions and protective covenants must include, at a minimum, the following statements related to stormwater management:
    - i. The following covenants are intended to ensure ongoing compliance with State Stormwater Management Permit Number SW7251103, as issued by the Division of Energy, Mineral and Land Resources (the "Division") under 15A NCAC 02H.1000, effective January 1, 2017.
    - ii. The State of North Carolina is made a beneficiary of these covenants to the extent necessary to maintain compliance with the Stormwater Management Permit.
    - iii. These covenants are to run with the land and be binding on all persons and parties claiming under them.
    - iv. The covenants pertaining to stormwater may not be altered or rescinded without the express written consent of the Division.
    - v. Alteration of the drainage as shown on the approved plans may not take place without the concurrence of the Division.
    - vi. The maximum built-upon area (BUA) per lot is **8,000** square feet. This allotted amount includes any BUA constructed within the lot property boundaries, and that portion of the right-of-way between the front lot line and the edge of the pavement not shown on the approved plans. BUA has the same meaning as G.S. 143-214.7, as amended.
    - vii. The maximum allowable BUA shall not be exceeded on any lot until the permit is modified to ensure compliance with the stormwater rules, permit, and the approved plans and specifications.
    - viii. Filling in, piping or altering any vegetated conveyances (ditches, swales, etc.) associated with the development, except for average driveway crossings, is prohibited by any persons.

- ix. A 50-foot wide vegetative setback must be provided and maintained adjacent to all surface waters in accordance with 15A NCAC 02H.1003(4) and the approved plans.
  - x. All roof drains shall be released no closer than at the edge of the 50-foot wide vegetated setback and allowed to flow through the setback as dispersed flow. At no time shall stormwater runoff be piped into or through the setback.
  - xi. Any individual or entity found to be in noncompliance with the provisions of a stormwater management permit or the requirements of the stormwater rules is subject to enforcement procedures as set forth in NCGS 143, Article 21.
- e. DEEDS FOR INDIVIDUAL LOTS. The permittee shall record deed restrictions and protective covenants prior to the issuance of a certificate of occupancy to ensure the permit conditions and the approved plans and specifications are maintained in perpetuity.
7. CONSTRUCTION. During construction, erosion shall be kept to a minimum and any eroded areas of the on-site stormwater system will be repaired immediately.
- a. PROJECT CONSTRUCTION, OPERATION AND MAINTNEANCE. During construction, all operation and maintenance for the project and stormwater system shall follow the Erosion Control Plan requirements until the Sediment-Erosion Control devices are no longer needed.
  - b. FINAL GRADING. The vegetated areas and vegetated conveyances shall be entirely constructed and vegetated. Once the final grading is completed and the site is stabilized, the permittee shall provide and perform the operation and maintenance as outlined in the applicable section below.
8. MODIFICATIONS. No person or entity, including the permittee, shall alter any component shown in the approved plans and specifications, except for minimum driveway crossings. Prior to the construction of any modification to the approved plans, the permittee shall submit to the Director, and shall have received approval for modified plans, specifications, and calculations including, but not limited to, those listed below. For changes to the project that impact the certifications, a new or updated certification(s), as applicable, will be required and a copy must be submitted to the appropriate DEQ regional office upon completion of the modification.
- a. Any modification to the approved plans and specifications, regardless of size including the BUA, details, etc.
  - b. Redesign or addition to the approved amount of BUA.

- c. Further development, subdivision, acquisition, lease or sale of any, all or part of the project and/or property area as reported in the approved plans and specifications.
  - d. The construction of any permeable pavement, #57 stone area, public trails, or landscaping material within the common areas to be considered a permeable surface that were not included in the approved plans and specifications.
  - e. Altering, modifying, removing, relocating, redirecting, regarding, or resizing of any component of the approved stormwater collection system and/or vegetative conveyance shown on the approved plan, except for minimum driveway crossings within the low density area.
  - f. The construction of any allocated future BUA.
  - g. Adding the option to use permeable pavement or #57 stone within the lots as a permeable surface. The request may require a proposed amendment to the deed restrictions and protective covenants for the subdivision to be submitted and recorded.
  - h. Other modifications as determined by the Director.
9. DESIGNER'S CERTIFICATION. Upon completion of the project, the permittee shall determine if the project is in compliance with the approved plans and take the necessary following actions:
- a. If the permittee determines that the project is in compliance with the approved plans, then within 45 days of completion, the permittee shall submit to the Division one hard copy and one electronic copy of the following:
    - i. The completed and signed Designer's Certification provided in Attachment A noting any deviations from the approved plans and specifications. Deviations may require approval from the Division.
    - ii. A copy of the recorded operation and maintenance agreement.
    - iii. Unless already provided, a copy of the recorded deed restrictions and protective covenants; and
    - iv. A copy of the recorded plat delineating the public rights-of-way, dedicated common areas and/or permanent recorded easements, when applicable.
  - b. If the permittee determines that the project is not in compliance with the approved plans, the permittee shall submit an application to modify the permit within 30 days of completion of the project or provide a plan of action, with a timeline, to bring the site into compliance.

10. OPERATION AND MAINTENANCE. The permittee shall provide and perform the operation and maintenance necessary, as listed in the signed operation and maintenance agreement to assure that all components of the permitted on-site stormwater system are maintained at the approved design condition. The approved operation and maintenance agreement must be followed in its entirety and maintenance must occur at the scheduled intervals.
  - a. CORRECTIVE ACTIONS REQUIRED. In the event that the low-density area fails to meet the requirements of low density, the permittee shall take immediate corrective actions. This includes actions required by the Division and the stormwater rules such as the construction of additional or replacement on-site stormwater systems. These additional or replacement measures shall receive a permit from the Division prior to construction.
  - b. MAINTENANCE RECORDS. Records of maintenance activities must be kept and made available upon request to authorized personnel of the Division. The records will indicate the date, activity, name of person performing the work and what actions were taken.
11. CURRENT PERMITTEE NAME OR ADDRESS CHANGES. The permittee shall submit a completed Permit Information Update Application Form to the Division within 30 days to making any one or more of the following changes:
  - a. A name change of the current permittee;
  - b. A name change of the project;
  - c. A mailing address change of the permittee.
12. TRANSFER. This permit is not transferable to any person or entity except after notice to and approval by the Director. Neither the sale of the project and/or property, in whole or in part, nor the conveyance of common area to a third party constitutes an approved transfer of the permit.
  - a. TRANSFER REQUEST. The transfer request must include the appropriate application, documentation and the processing fee as outlined in 15A NCAC 02H.1045(2) and must be submitted upon occurrence of any one or more of the following events:
    - i. The sale or conveyance of the project and/or property area in whole or in part, except in the case of an individual residential lot sale that is made subject to the recorded deed restrictions and protective covenants;
    - ii. The assignment of declarant rights to another individual or entity;
    - iii. The sale or conveyance of the common areas to a Homeowner's or Property Owner's Association, subject to the requirements of NCGS 143-214.7(c2);
    - iv. Dissolution of the partnership, corporate, or LLC entity, subject to NCGS 55-14-05 or NCGS 57D-6-07 and 08;
    - v. Bankruptcy.
    - vi. Foreclosure, subject to the requirements of Session Law 2013-121;
  - b. TRANSFER INSPECTION. Prior to transfer of the permit, a file review and site inspection will be conducted by Division personnel to ensure the permit conditions have been met and that the project and the on-site stormwater system complies with the permit conditions. Records of maintenance activities performed to date may be requested. Projects not in compliance with the permit will not be transferred until all permit and/or general statute conditions are met.

13. **COMPLIANCE.** The permittee is responsible for complying with the terms and conditions of this permit and the approved plans and specifications until the Division approves the transfer request.
- a. **REVIEWING AND MONITORING EACH LOT FOR COMPLIANCE.** The permittee is responsible for verifying that the proposed BUA on each individual lot, within each drainage area and for the entire project does not exceed the maximum amount allowed by this permit. The permittee shall review all individual lot plans for new construction and all subsequent modifications and additions for compliance. The plans reviewed must include all proposed BUA, grading, and driveway pipe placement. The permittee shall not approve any lot plans where the maximum allowed BUA limit has been exceeded or where modifications are proposed to the grading and/or to the stormwater collection system and/or to the vegetated conveyance unless and until a permit modification has been approved by the Division. The permittee shall review and routinely monitor the project and each lot to ensure continued compliance with the conditions of the permit, the approved plans and specifications, and the recorded deed restrictions and protective covenants. The permittee shall notify any lot owner that is found to be in noncompliance with the conditions of this permit in writing and shall require timely resolution.
  - b. **ARCHITECTURAL REVIEW BOARD (ARB) OR COMMITTEE (ARC).** The permittee may establish an ARB or ARC to conduct individual lot reviews. However, any approval given by the ARB or ARC on behalf of the permittee does not relieve the permittee of the responsibility to maintain compliance with the conditions of the permit and the approved plans and specifications.
  - c. **APPROVED PLANS AND SPECIFICATIONS.** A copy of this permit, approved plans, application, supplements, operation and maintenance agreement, all applicable recorded documents, and specifications shall be maintained on file by the permittee at all times.
  - d. **MAINTENANCE ACCESS.** SCMs, stormwater collection systems, and vegetated conveyances must be accessible for inspection, operation, maintenance and repair as shown on the approved plans.
  - e. **DIVISION ACCESS.** The permittee grants Division Staff permission to enter the property during normal business hours to inspect all components of the permitted project.
  - f. **ENFORCEMENT.** Any individual or entity found to be in noncompliance with the provisions of a stormwater management permit or the requirements of the stormwater rules is subject to enforcement procedures as set forth in NCGS 143 Article 21.
  - g. **ANNUAL CERTIFICATION.** The permittee shall electronically submit to the Division an annual certification completed by either the permittee or their designee confirming the projects conformance with permit conditions.
  - h. **OBTAINING COMPLIANCE.** The Director may notify the permittee when the permitted site does not meet one or more of the minimum requirements of the permit. Within the time frame specified in the notice, the permittee shall submit a written time schedule to the Director for modifying the site to meet minimum requirements. The permittee shall provide copies of modified plans and certification in writing to the Director that the changes have been made.

- i. OTHER PERMITS. The issuance of this permit does not preclude the permittee from obtaining and complying with any and all other permits or approvals that are required for this development to take place, as required by any statutes, rules, regulations, or ordinances, which are imposed by any other Local, State or Federal government agency having jurisdiction. Any activities undertaken at this site that cause a water quality violation or undertaken prior to receipt of the necessary permits or approvals to do so are considered violations of NCGS 143-215.1, and subject to enforcement procedures pursuant to NCGS 143-215.6.

The permit was issued this the 6th day of March 2026.

NORTH CAROLINA ENVIRONMENTAL MANAGEMENT COMMISSION



For William E. Toby Vinson, Director  
Division of Energy, Mineral and Land Resources  
By Authority of the Environmental Management Commission

**Permit Number SW7260201**

## **Attachment A**

### Certification Forms

The following blank Designer Certification forms are included and specific for this project:

- As-Built Permittee Certification
- As-Built Designer's Certification for Low Density Projects

*A separate certification is required for each SCM. These blank certification forms may be copied and used, as needed, for each SCM and/or as a partial certification to address a section or phase of the project.*

## AS-BUILT PERMITTEE CERTIFICATION

I hereby state that I am the current permittee for the project named above, and I certify by my signature below, that the project meets the below listed Final Submittal Requirements found in NCAC 02H.1042(4) and the terms, conditions and provisions listed in the permit documents, plans and specifications on file with or provided to the Division.

- Check here if this is a partial certification. Section/phase/SCM #? \_\_\_\_\_
- Check here if this is part of a Fast Track As-built Package Submittal.

Printed Name \_\_\_\_\_ Signature \_\_\_\_\_

I, \_\_\_\_\_, a Notary Public in the State of \_\_\_\_\_

County of \_\_\_\_\_, do hereby certify that \_\_\_\_\_

personally appeared before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

and acknowledge the due execution of this as-built certification. (SEAL)

Witness my hand and official seal

\_\_\_\_\_  
My commission expires \_\_\_\_\_

Permittee's Certification NCAC .1042(4)	Completed / Provided	N/A
<b>A. DEED RESTRICTIONS / BUA RECORDS</b>		
1. The deed restrictions and protective covenants have been recorded and contain the necessary language to ensure that the project is maintained consistent with the stormwater regulations and with the permit conditions.	Y or N	
2. A copy of the recorded deed restrictions and protective covenants has been provided to the Division.	Y or N	
3. Records which track the BUA on each lot are being kept. (See Note 1)	Y or N	
<b>B. MAINTENANCE ACCESS</b>		
1. The SCMs are accessible for inspection, maintenance and repair.	Y or N	
2. The access is a minimum of 10 feet wide.	Y or N	
3. The access extends to the nearest public right-of-way.	Y or N	
<b>C. EASEMENTS</b>		
1. The SCMs and the components of the runoff collection / conveyance system are located in recorded drainage easements.	Y or N	
2. A copy of the recorded plat(s) is provided.	Y or N	
<b>D. SINGLE FAMILY RESIDENTIAL LOTS - Plats for residential lots that have an SCM include the following:</b>	Y or N	
1. The specific location of the SCM on the lot.	Y or N	
2. A typical detail for the SCM.	Y or N	

3. A note that the SCM is required to meet stormwater regulations and that the lot owner is subject to enforcement action as set forth in NCGS 143 Article 21 if the SCM is removed, relocated or altered without prior approval.	Y or N	
<b>E. OPERATION AND MAINTENANCE AGREEMENT</b>	Y or N	
1. The O&M Agreement is referenced on the final recorded plat.	Y or N	
2. The O&M Agreement is recorded with the Register of Deeds and appears in the chain of title.	Y or N	
<b>F. OPERATION AND MAINTENANCE PLAN</b> – maintenance records are being kept in a known set location for each SCM and are available for review.	Y or N	
<b>G. DESIGNER'S CERTIFICATION FORM</b> – has been provided to the Division.	Y or N	

Note 1- Acceptable records include ARC approvals, as-built surveys, and county tax records.

Provide an explanation for every requirement that was not met, and for every "N/A" below. Attach additional sheets as needed.

## AS-BUILT DESIGNER'S CERTIFICATION FOR LOW DENSITY PROJECTS

I hereby state that I am a licensed professional and I certify by my signature and seal below, that I have observed the construction of the project named above to the best of my abilities with all due care and diligence, and that the project meets all of the MDC found in 15A NCAC 02H.1003, in accordance with the permit documents, plans and specifications on file with or provided to the Division, except as noted on the "AS-BUILT" drawings, such that the intent of the stormwater rules and the general statutes has been preserved.

- Check here if this is a partial certification. Section or phase \_\_\_\_\_
- Check here if this is part of a Fast-Track As-Built Package Submittal per 15A NCAC 02H .1044(3).
- Check here if the Designer did not observe the construction but is certifying the project.
- Check here if pictures of the project are provided.

Printed Name \_\_\_\_\_ Signature \_\_\_\_\_

NC Registration Number \_\_\_\_\_ Date \_\_\_\_\_

<u>SEAL:</u>
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Consultant's Mailing Address:

\_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: (\_\_\_\_) \_\_\_\_\_

Consultant's Email address:

- ① Circle N if the as-built value differs from the Plan/permit. If N is circled, provide an explanation on page 3.  
 ② N/E = Not Evaluated (provide explanation on page 2). ③ N/A = Not Applicable to this project/plan.

Consultant's Certification (MDC 15A NCAC 02H .1003)			
Project Density and Built-Up Area	①As-built	②N/E	③N/A
1. The project has areas of high density based on natural drainage area boundaries, variations in land use or construction phasing.	Y or N		
2. The project's built-upon area does not exceed the maximum limit specified in the permit.	Y or N		
Dispersed Flow	①As-built	②N/E	③N/A
1. The project maximizes dispersed flow through vegetated areas and minimizes channelized flow.	Y or N		

<b>Vegetated Conveyances</b>	①As-built	②N/E	③N/A
1. Stormwater that is not released as dispersed flow is transported by vegetated conveyances.	Y or N		
2. The project has a minimal amount of non-vegetated conveyances to reduce erosion.	Y or N		
3. Other than minimal piping under driveways and roads, no piping has been added beyond what is shown on the approved plans.	Y or N		
4. Side slopes are no steeper than 3H:1V.	Y or N		
5. The conveyance does not erode in response to the peak flow from the 10-year storm.	Y or N		
<b>Curb outlet systems (if applicable)</b>	①As-built	②N/E	③N/A
1. The swale or vegetated area can carry the peak flow from the 10-year storm at a non-erosive velocity.	Y or N		
2. The longitudinal slope of the swale or vegetated areas does not exceed 5%.	Y or N		
3. The swale has a trapezoidal cross-section and a minimum bottom width of two feet.	Y or N		
4. The minimum length of the swale or vegetated area is 100 feet.	Y or N		
5. Side slopes are no steeper than 3H:1V.	Y or N		
6. The project utilizes treatment swales designed per Section .1061 in lieu of the curb outlet system requirements.	Y or N		
<b>Vegetated Setbacks (if applicable)</b>	①As-built	②N/E	③N/A
1. The width of the vegetated setback is at least 50'.	Y or N		
2. The width of the vegetated setback has been measured from the normal pool of impounded waters, the MHW line of tidal waters, or the top of bank of each side of rivers or streams.	Y or N		
3. The vegetated setback is maintained in grass or other vegetation.	Y or N		
4. BUA that meets the requirements of NCGS 143-214.7(b2)(2) is located in the setback.	Y or N		
5. BUA that does NOT meet the requirements of NCGS 143-214.7(b2)(2) located within the setback and is limited to: <ul style="list-style-type: none"> <li>• Publicly-funded linear projects (road, greenway, or sidewalk)</li> <li>• Water dependent structures</li> <li>• Minimal footprint uses such as poles, signs, utility appurtenances, and security lights.</li> </ul>	Y or N		
6. The amount of BUA within the setback is minimized, and channeling of the runoff from the BUA has been avoided.	Y or N		

7. Stormwater is not discharged (via swale or pipe) through a vegetated setback. Stormwater is released at the edge of the setback and allowed to flow through the setback as dispersed flow.	Y or N		
<b>Outlets</b>	①As-built	②N/E	③N/A
1. Stormwater outlets do not cause erosion downslope of the discharge point during the peak flow from the 10-year storm.	Y or N		
<b>Variations</b>	①As-built	②N/E	③N/A
1. The project has variations from the MDC that were not previously approved. (Modification may be required.)	Y or N		
<b>Deed restrictions (if applicable)</b>	①As-built	②N/E	③N/A
1. Deed restrictions are recorded and ensure that the project and the BUA will be maintained in perpetuity consistent with the permit, approved plans, and specifications.	Y or N		
<b>For Subdivisions Only (Residential or Commercial)</b>	①As-built	②N/E	③N/A
1. The number of platted lots is consistent with the approved plans.	Y or N		
2. The project area is consistent with the approved plans.	Y or N		
3. The layout of the lots and streets is consistent with the approved plan.	Y or N		
4. The width / radius of streets, paved accesses, cul-de-sacs and sidewalk is consistent with the approved plan.	Y or N		
5. No piping, other than those minimum amounts needed under a driveway or under a road, has been added.	Y or N		
6. The lot grading, road grading, vegetated conveyances, piping, inverts, and elevations are consistent with the approved plans.	Y or N		

Provide an explanation for every requirement that was not met, and for every "N/A" below. Attach additional sheets as needed.