

SITE DATA:

1. OWNER/DEVELOPER
HOWARD LAND DEVELOPMENT, INC.
2854 A CARATOKE HIGHWAY
CURRITUCK, NC 27929
252-202-3500
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION
PIN: 0094000161G0000
POPLAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 778
P.C. R, SLD, 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD, 778
P.C. R, SLD, 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW
P.C. R, SLD, 936
ZONING: SFM
0.18 AC
EXISTING USE: RW
PROPOSED USE: RW

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

5. SITE AREA: 1,003,994 SF / 23.04 AC

LOT AREA: 500,018 SF / 11.47 AC (49.80%)
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE:

CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS
G2 = 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20

OWNERSHIP AND DEDICATION CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAN AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAN AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE _____ OWNER _____

I, _____, A NOTARY PUBLIC OF _____ COUNTY,

NORTH CAROLINA, DO HEREBY CERTIFY THAT _____ PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE

I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAN ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE _____ OWNER _____

AIRPORT OVERLAY DISTRICT STATEMENT

ALL OR A PORTION OF THIS PROPERTY LIES WITHIN THE AIRPORT OVERLAY DISTRICT. PERSONS ON THE PREMISES MAY BE EXPOSED TO NOISE AND OTHER EFFECTS AS MAY BE INHERENT IN AIRPORT OPERATIONS. CURRITUCK COUNTY HAS PLACED CERTAIN RESTRICTIONS ON DEVELOPMENT AND USE OF PROPERTY WITHIN THIS OVERLAY.

EASEMENT ESTABLISHMENT STATEMENT

A 10 FOOT EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 25 FOOT EASEMENT ALONG THE FRONT PROPERTY LINE IS HEREBY ESTABLISHED.

FLOODWAY/FLOODPLAIN STATEMENT

USE OF LAND WITHIN A FLOODWAY OR FLOODPLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.

INTERCONNECTIVITY STATEMENT

THIS SUBDIVISION CONTAINS A RIGHT-OF-WAY THAT IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHT-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT

A PAYMENT-IN-LIEU OF RECREATION AND PARK AREA DEDICATION HAS BEEN PROVIDED IN ACCORDANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENTS-IN-LIEU RECEIVED BY THE COUNTY SHALL BE USED ONLY FOR THE ACQUISITION OR DEVELOPMENT OF RECREATION AND PARK AREAS, AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTES SECTION 193A-331.

STORMWATER STATEMENT

NO MORE THAN 8,000 SF OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY.

WETLANDS STATEMENT

PROPERTY ON THIS PLAN MAY CONTAIN 404 WETLANDS AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.

APPROVAL CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAN IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAN HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE _____ ADMINISTRATOR _____

ENVIRONMENTAL CONCERN CERTIFICATE

THIS SUBDIVISION (OR PORTIONS THEREOF) IS LOCATED WITHIN AN AREA OF ENVIRONMENTAL CONCERN.

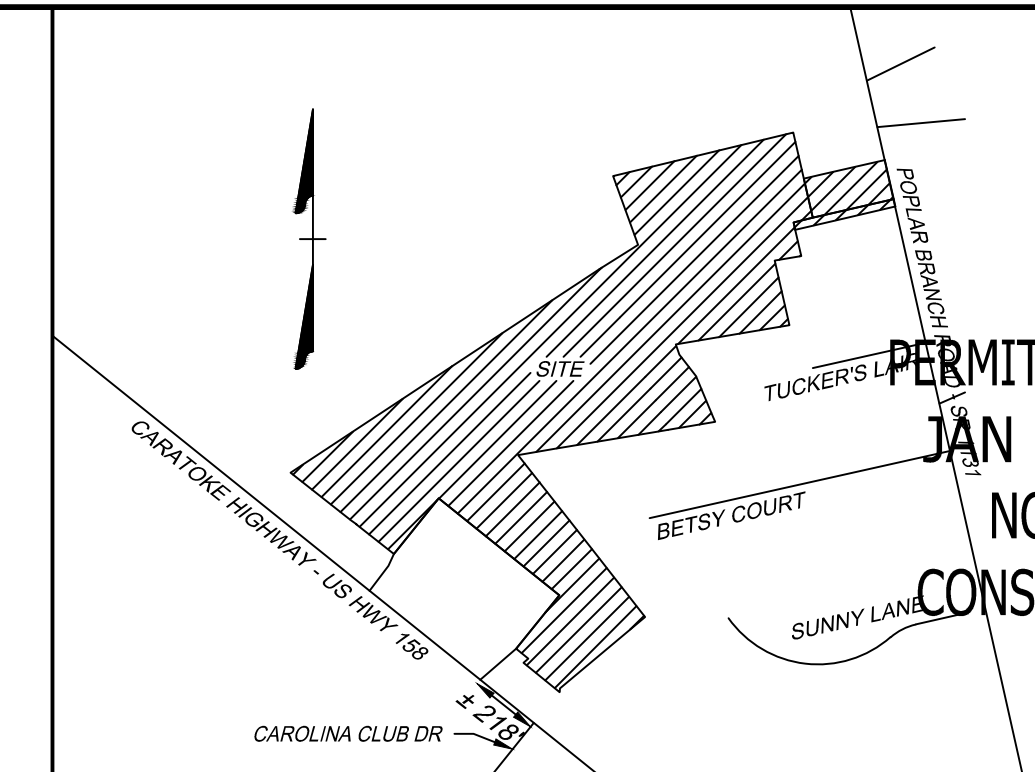
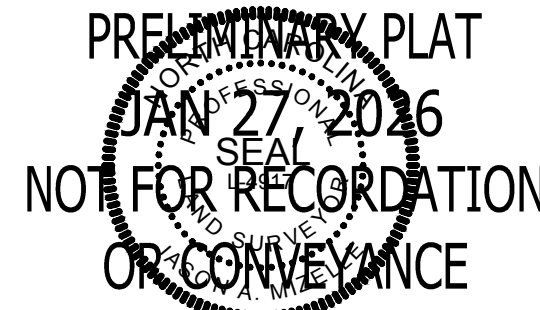
DATE _____ LOCAL PERMIT OFFICER _____

IMPROVEMENTS CERTIFICATE

I HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE TIMMONS GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.

DATE _____ REGISTERED LAND SURVEYOR/ENGINEER _____

REGISTRATION NUMBER _____



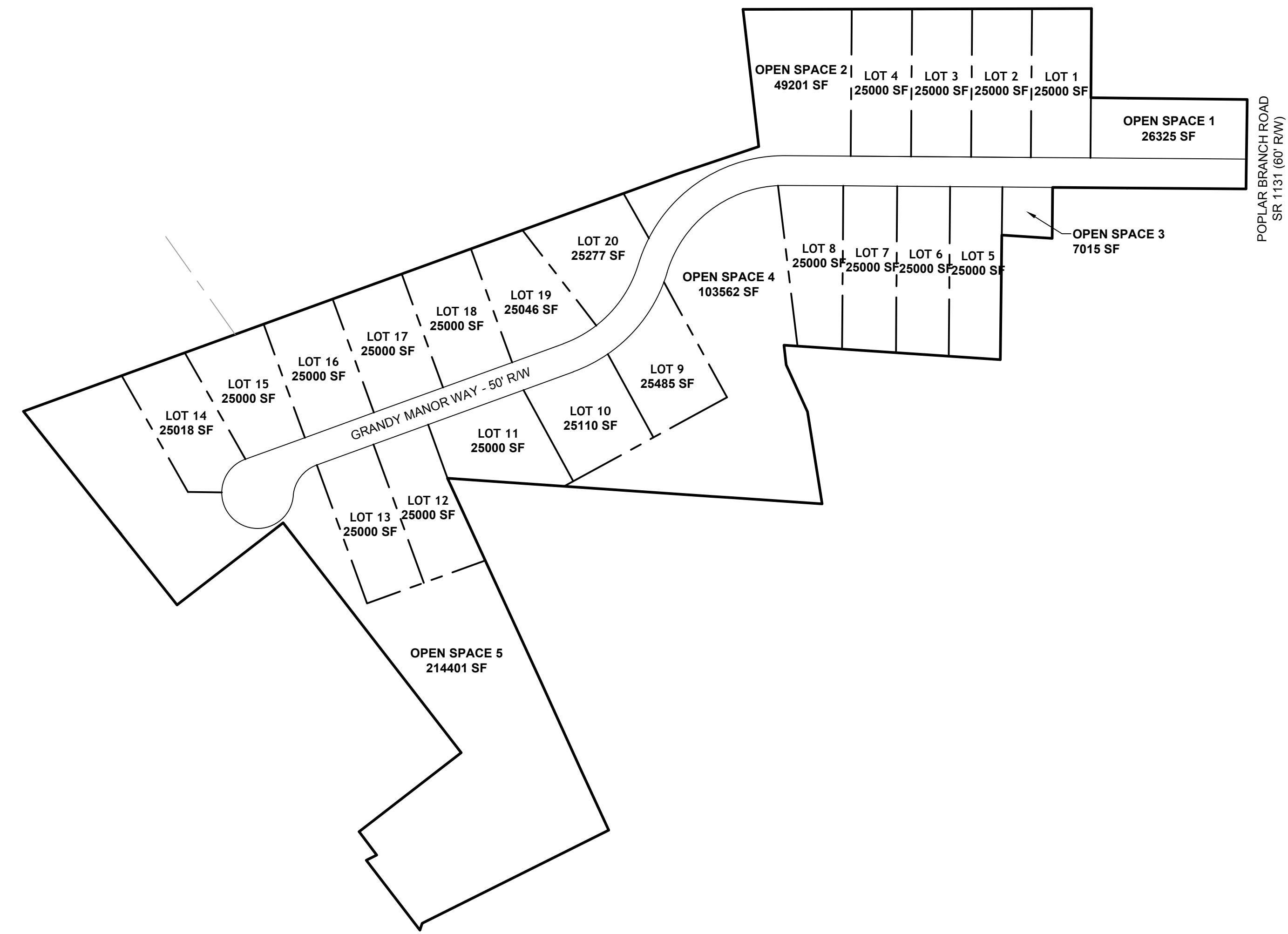
VICINITY MAP
NO SCALE



PERMIT DRAWINGS
JAN 27, 2026
NOT FOR CONSTRUCTION

ADJACENT ACTIVE FARMLAND STATEMENT

AS OF THE RECORDED DATE OF THIS PLAT, SOME PORTIONS OF THIS DEVELOPMENT ADJOIN LAND USED FOR ACTIVE AGRICULTURE PURPOSES THAT IS ANTICIPATED TO GENERATE NOISE, LIGHT, DUST, OR VIBRATION AS PART OF ITS NORMAL OPERATION.



TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
COVER

THIS DRAWING PREPARED AT THE
ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.3030 FAX 252.392.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
01/27/2026	

DRAWN BY
KTY
DESIGNED BY
N/A
CHECKED BY
KDH
SCALE
1" = 60'

JOB NO.
56469
SHEET NO.
C0.0



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EXISTING 24' RW
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- SITE AREA: 1,003,994 SF / 23.04 AC

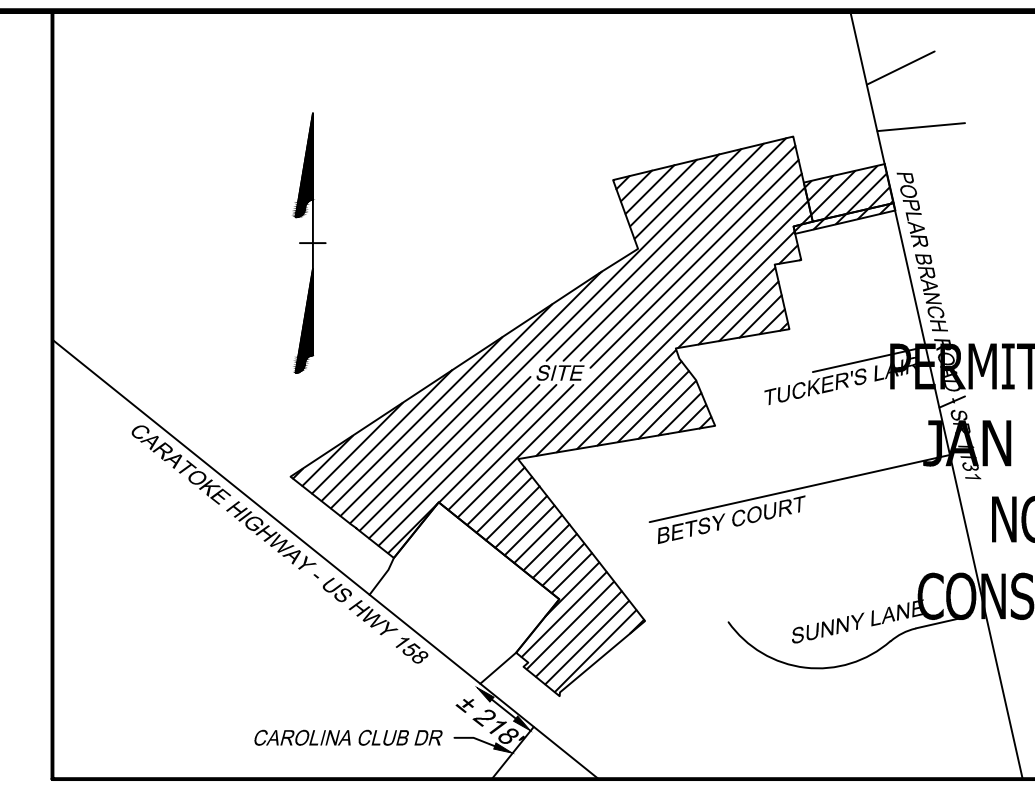
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CONSERVATION THEME: WOODLANDS AND OPEN SPACE:

CONSERVATION AREA REQUIRED:
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0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
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TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 ± 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1.880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEQE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEQE.
- SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

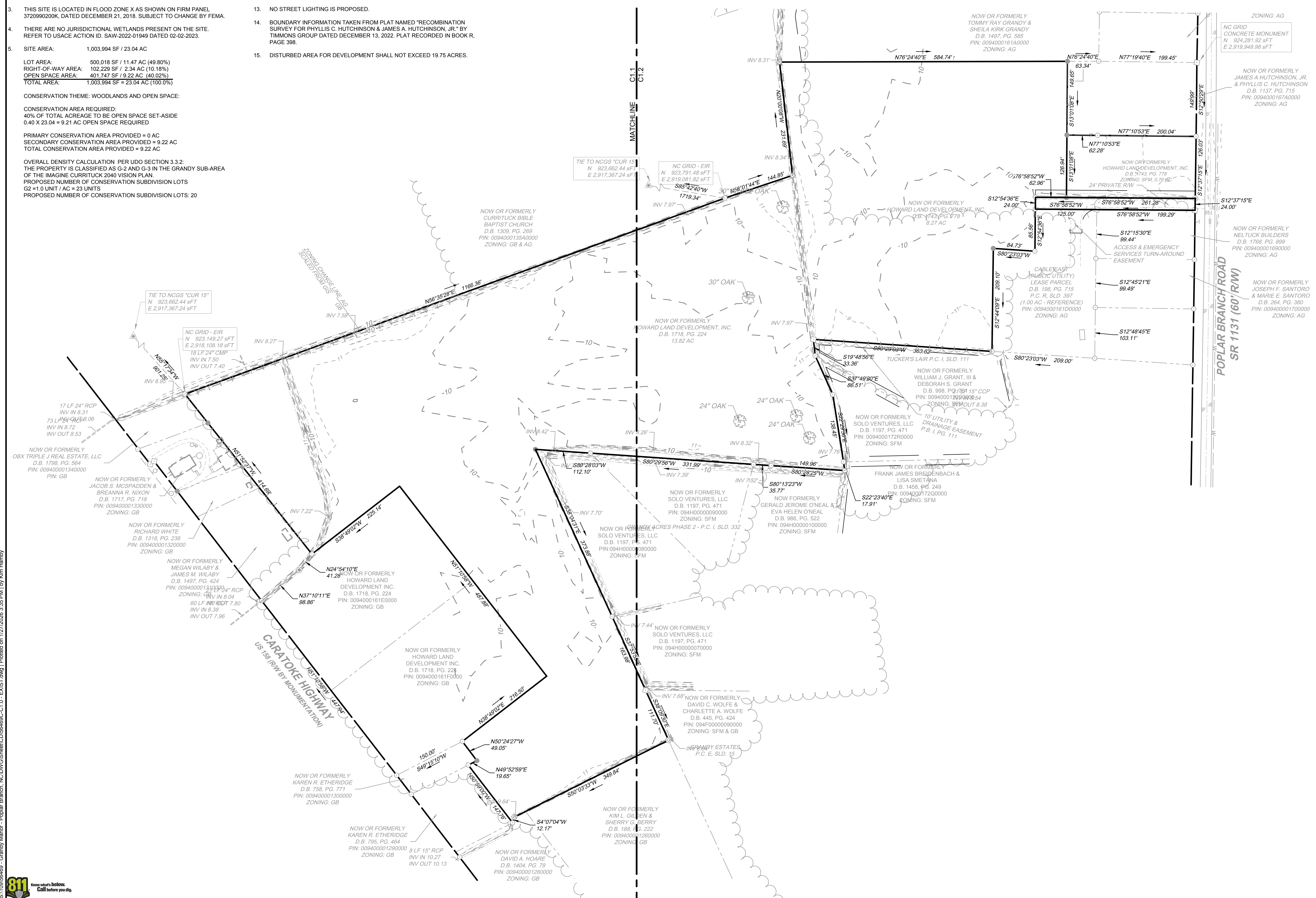
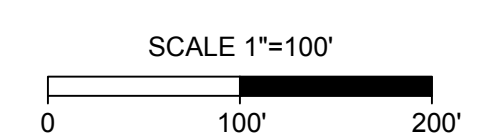


PERMIT DRAWINGS
JAN 27, 2026
NOT FOR
CONSTRUCTION

VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
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- PROP FENCE
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- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	N/A
CHECKED BY	KDH
SCALE	1" = 100'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
EXISTING CONDITIONS OVERVIEW

JOB NO.	56469
SHEET NO.	C1.0

S:\109\56469 - Grandy Manor - Poplar Branch, NC\DWG\Sheet\CD\56469-C1.0 - EXIST.dwg | Printed on 1/27/2026 3:35 PM | by Kim Hamby

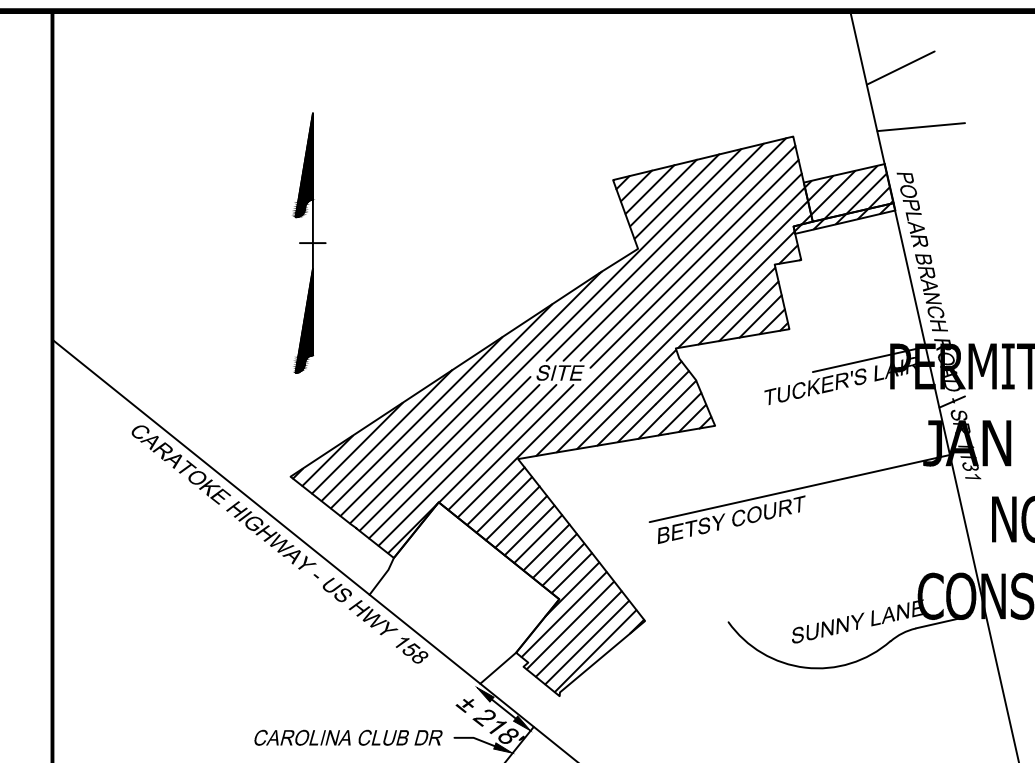


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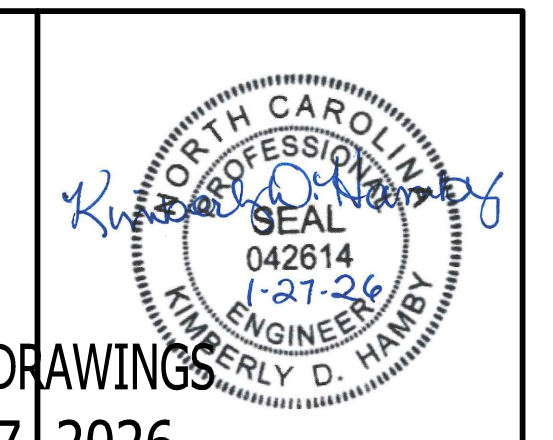
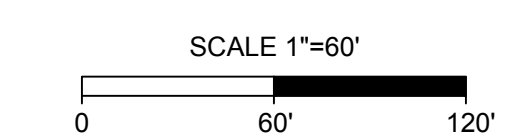
- IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
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VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
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- CALCULATED POINT
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JAN 27, 2026
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CONSTRUCTION

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1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.3030 FAX 252.392.0974 www.timmons.com

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DESIGNED BY	N/A
CHECKED BY	KDH
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SHEET NO.	C1.1



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SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
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14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

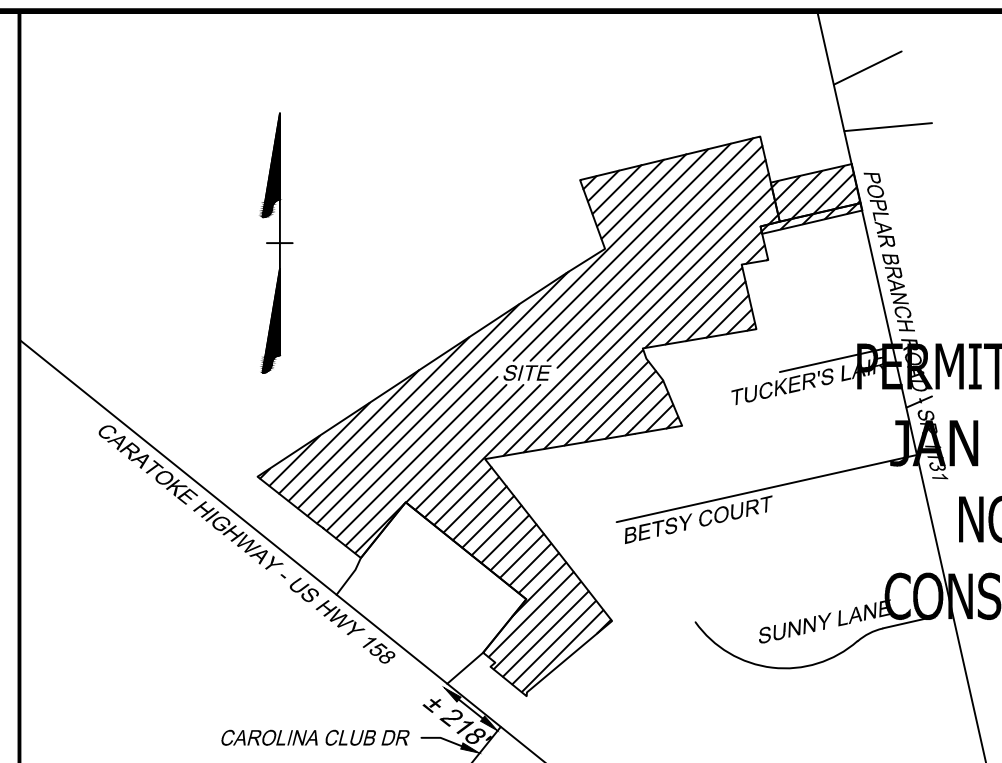
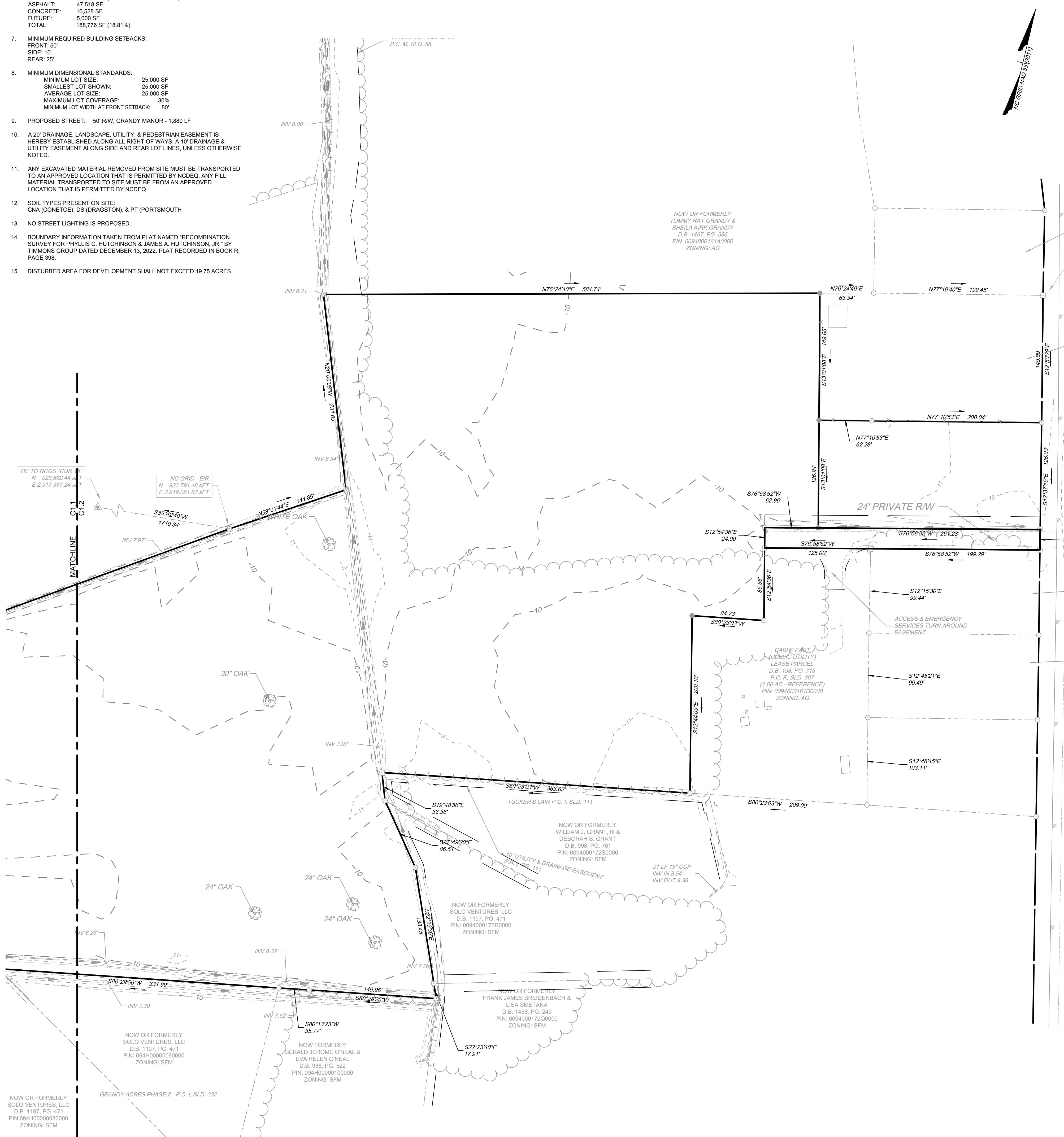
5. SITE AREA: 1,003,994 SF / 23.04 AC

LOT AREA: 500,018 SF / 11.47 AC (49.80%)
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE:
CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

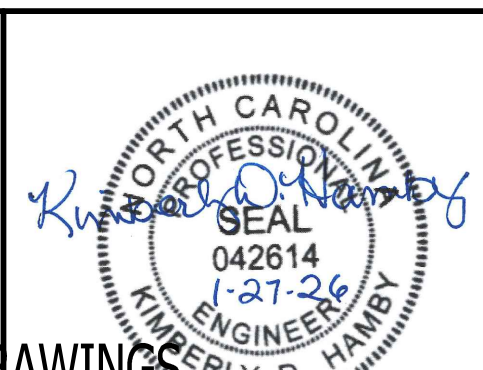
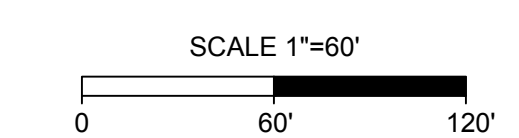
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PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS
G2 = 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
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- RIGHT OF WAY
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PERMIT DRAWINGS
JAN 27, 2026
NOT FOR
CONSTRUCTION

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TEL 252.621.3030 FAX 252.392.0574 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
01/27/2026

DRAWN BY
KTY

DESIGNED BY
N/A

CHECKED BY
KDH

SCALE
1" = 60'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

EXISTING CONDITIONS

JOB NO.
56469

SHEET NO.
C1.2



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HOWARD LAND DEVELOPMENT, INC.
2854 A CARATOKE HIGHWAY
CURRITUCK, NC 27929
252-202-3500
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION
PIN: 00940001610000
POPLAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 778
P.C. R, SLD, 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PIN: 00940001680000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD, 778
P.C. R, SLD, 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW
P.C. R, SLD, 936
ZONING: SFM
0.18 AC
EXISTING USE: RW
PROPOSED USE: RW
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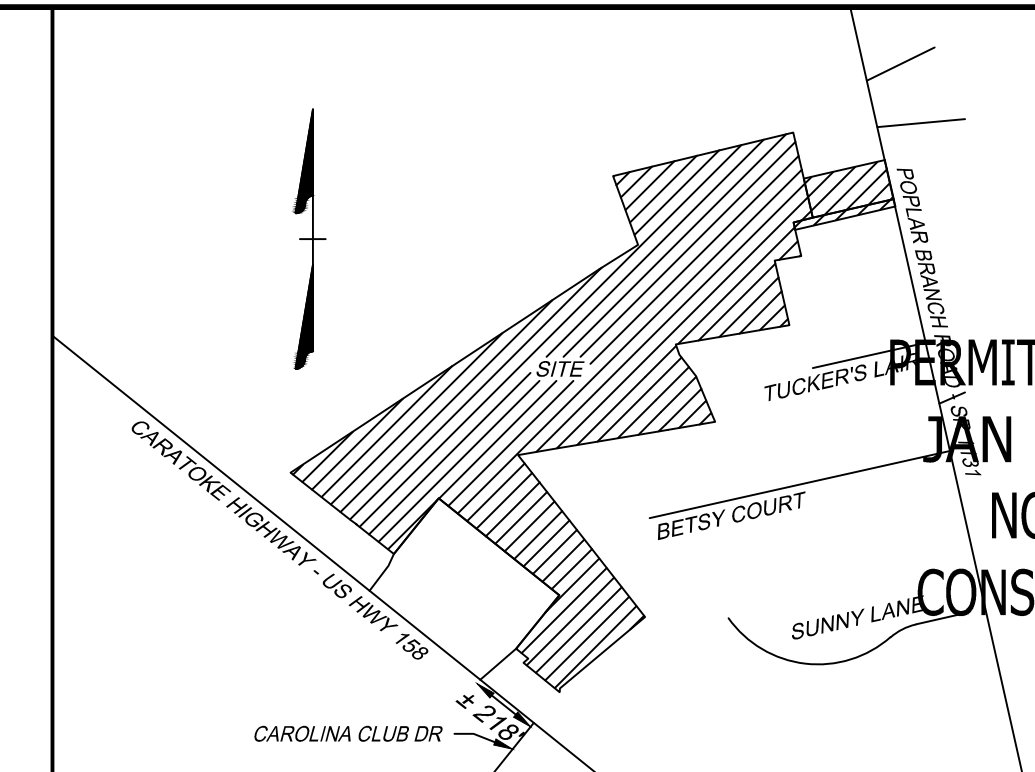
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ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
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JAN 27, 2026
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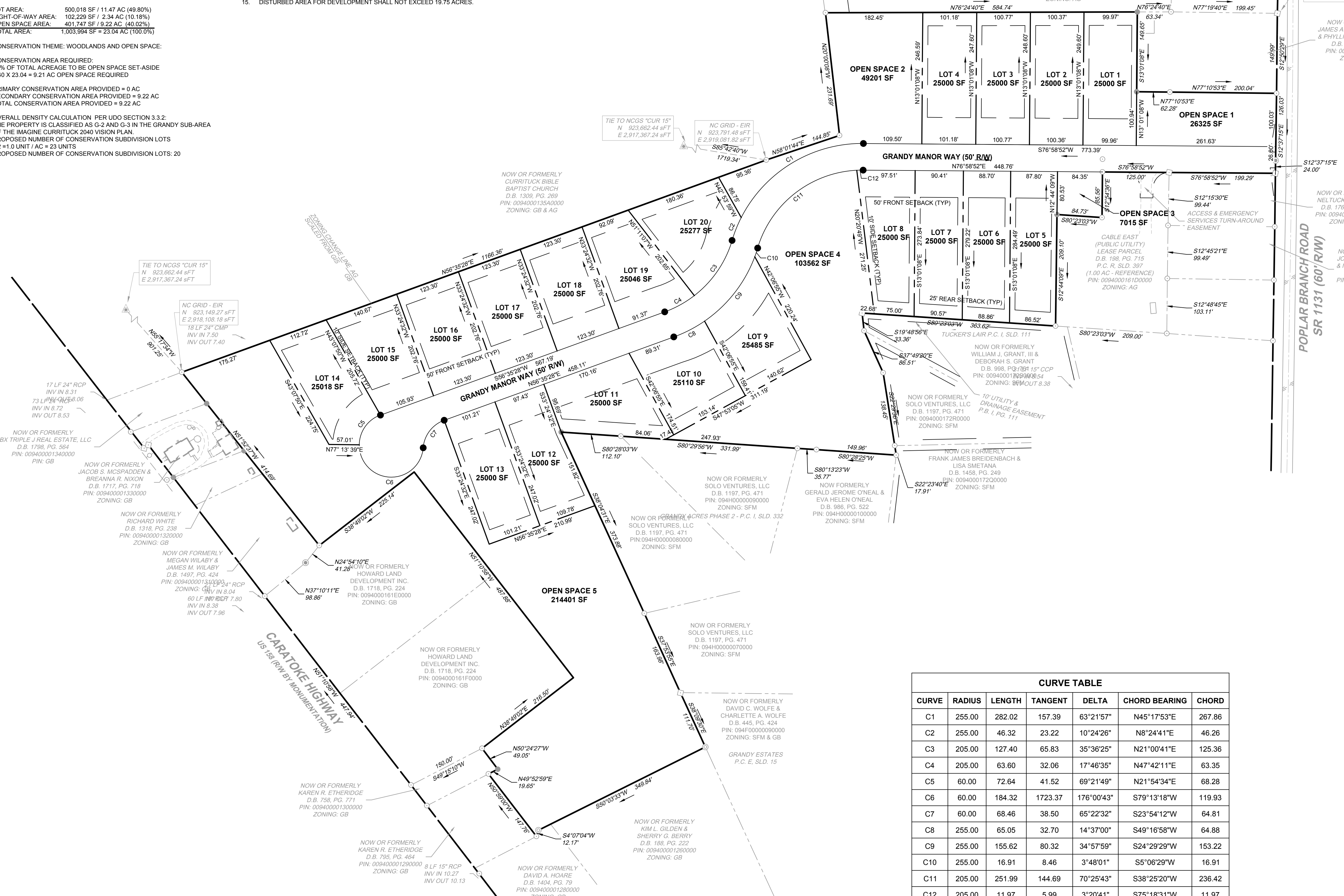
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1805 West City Drive, Unit E | Elizabeth City, NC 27809
TEL 252.621.3030 FAX 252.621.0974 www.timmons.com

PROFESSIONAL SEAL
042614
2-27-26
KIMBERLY D. HANBY
REGISTERED PROFESSIONAL ENGINEER

VICINITY MAP
NO SCALE

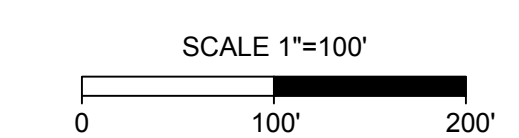
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- PROP SWALE
- PROP SPOT GRADE



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	255.00	282.02	157.39	63°21'57"	N45°17'53"E	267.86
C2	255.00	46.32	23.22	10°24'26"	N8°24'41"E	46.26
C3	205.00	127.40	65.83	35°36'25"	N21°00'41"E	125.36
C4	205.00	63.60	32.06	17°46'35"	N47°42'11"E	63.35
C5	60.00	72.64	41.52	69°21'49"	N21°54'34"E	68.28
C6	60.00	184.32	1723.37	176°00'43"	S79°13'18"W	119.93
C7	60.00	68.46	38.50	65°22'32"	S23°54'12"W	64.81
C8	255.00	65.05	32.70	14°37'00"	S49°16'58"W	64.88
C9	255.00	155.62	80.32	34°57'59"	S24°29'29"W	153.22
C10	255.00	16.91	8.46	3°48'01"	S5°06'29"W	16.91
C11	205.00	251.99	144.69	70°25'43"	S38°25'20"W	236.42
C12	205.00	11.97	5.99	3°20'41"	S75°18'31"W	11.97



TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
PRELIMINARY PLAT

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026
DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 100'
JOB NO.	56469
SHEET NO.	C2.0

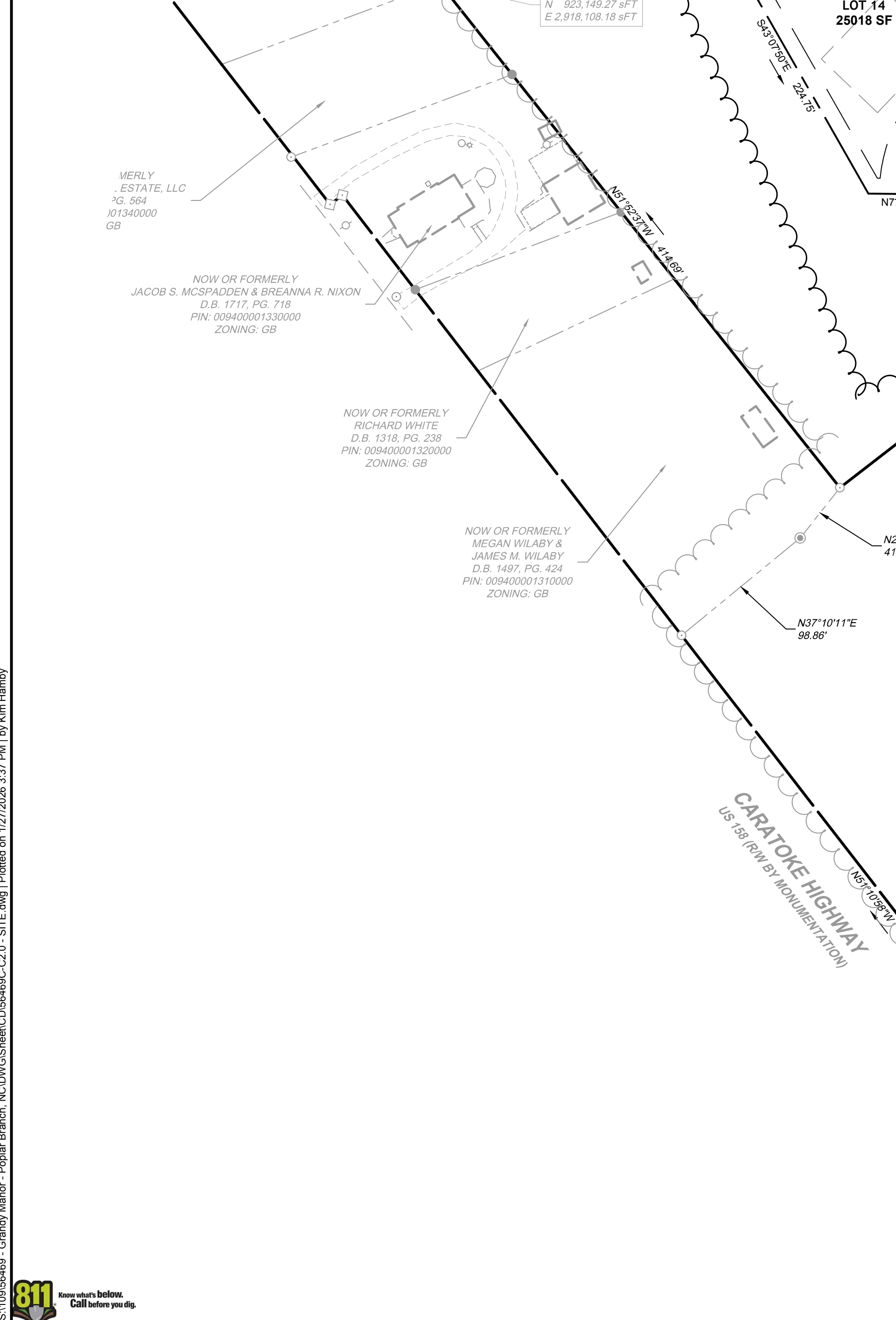


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22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL
PIN: 009400016800000
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PROPOSED USE: OPEN SPACE & RW
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LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
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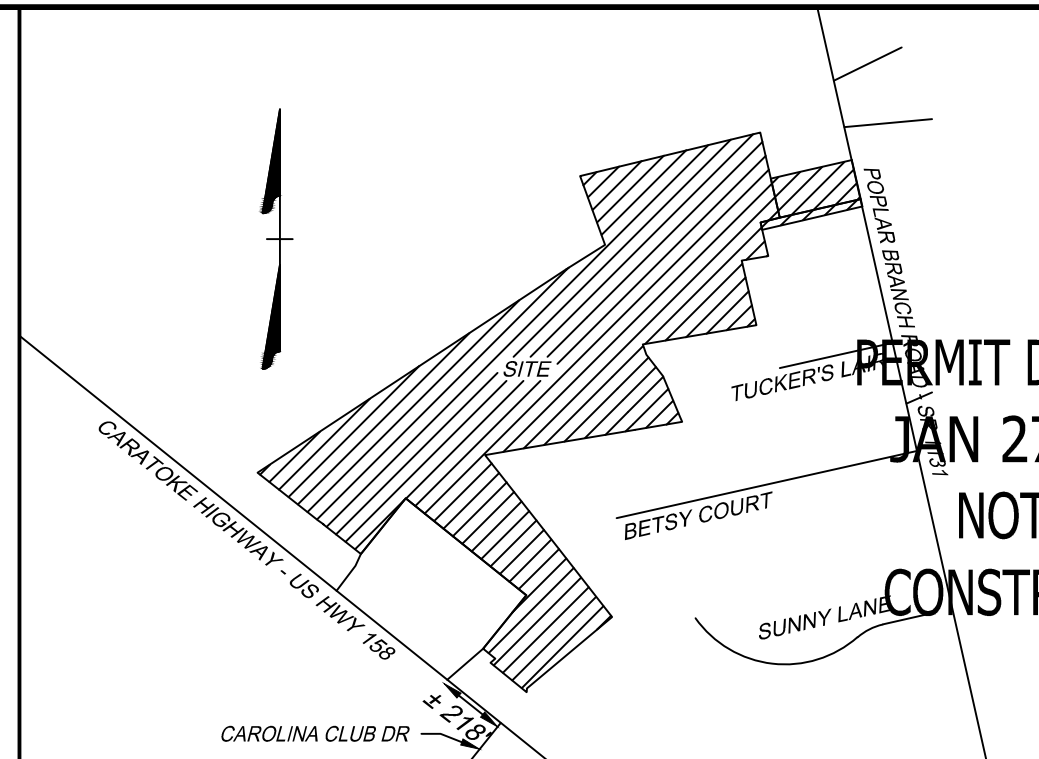


TIE TO NCGS CURRITUCK
N 923,662.44 sFT
E 2,917,367.24 sFT

NC GRID - EIR
N 923,791.48 sFT
E 2,919,081.62 sFT

NO PARKING!

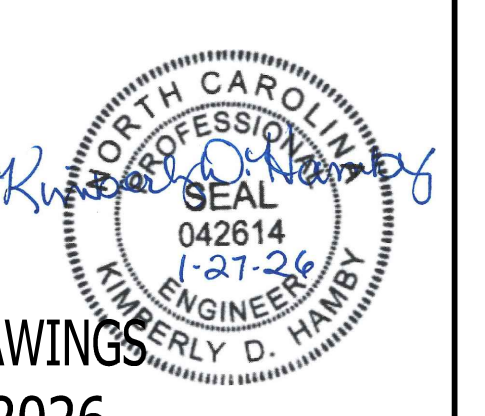
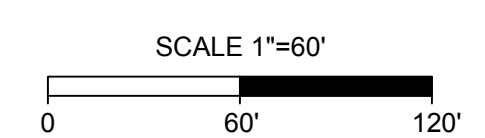
NC GRID (M.D. 8/20/17)



VICINITY MAP
NO SCALE

LEGEND

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SITE PLAN

JOB NO.
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SHEET NO.
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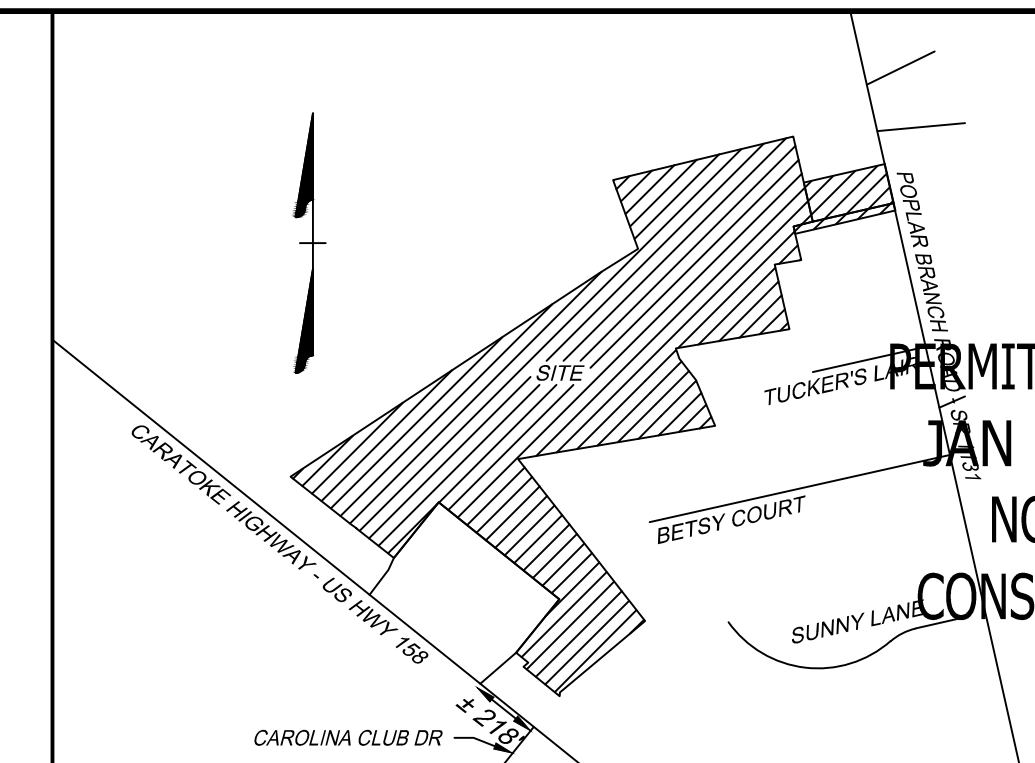
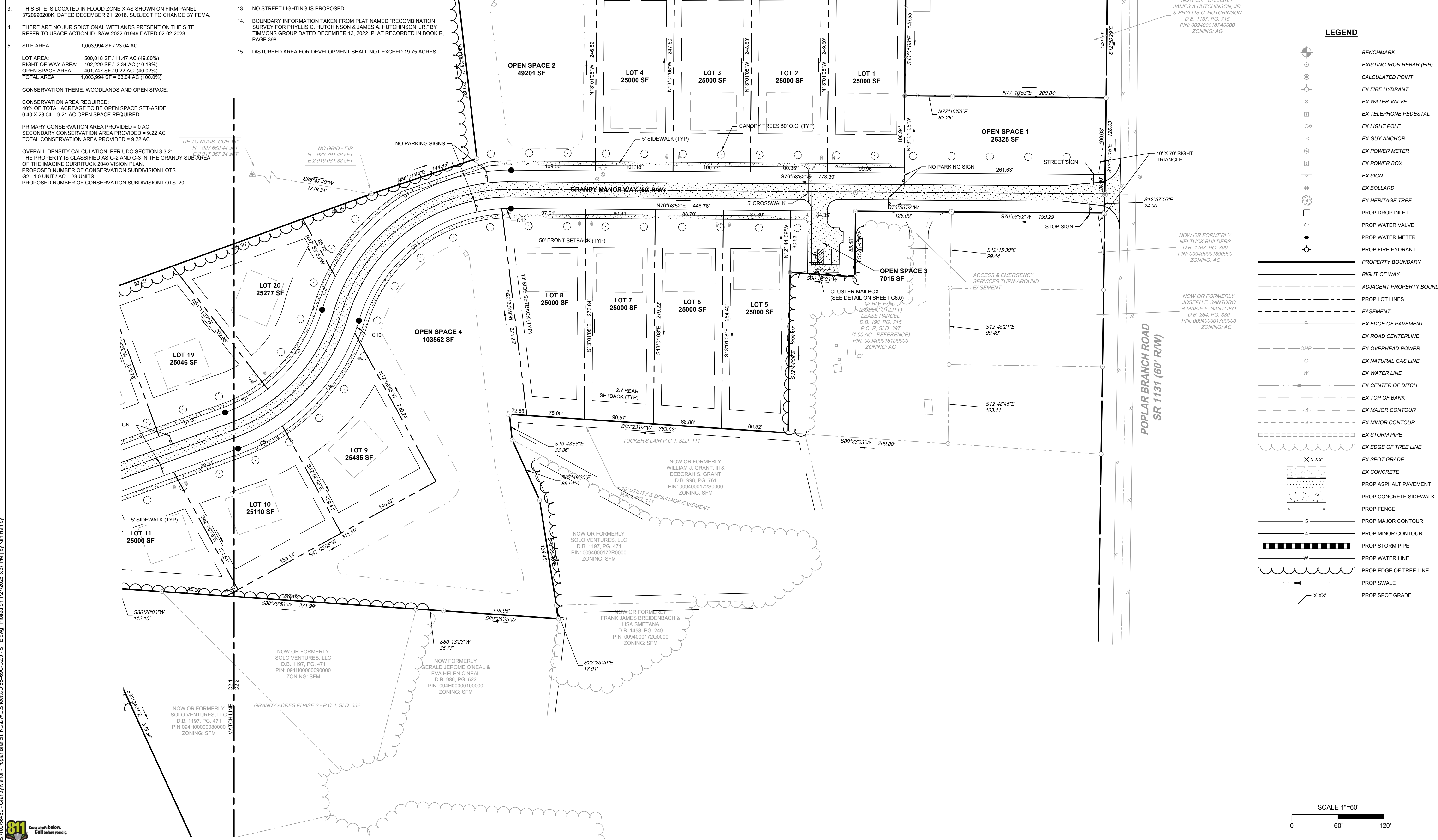
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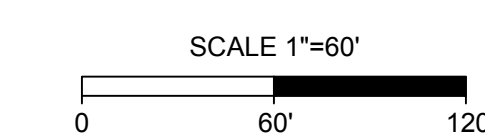
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AVERAGE LOT SIZE: 25,000 SF
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MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ.
- SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



VICINITY MAP
NO SCALE

- LEGEND**
- BENCHMARK
 - EXISTING IRON REBAR (EIR)
 - CALCULATED POINT
 - EX FIRE HYDRANT
 - EX WATER VALVE
 - EX TELEPHONE PEDESTAL
 - EX LIGHT POLE
 - EX GUY ANCHOR
 - EX POWER METER
 - EX POWER BOX
 - EX SIGN
 - EX BOLLARD
 - EX HERITAGE TREE
 - PROP DROP INLET
 - PROP WATER VALVE
 - PROP WATER METER
 - PROP FIRE HYDRANT
 - PROPERTY BOUNDARY
 - RIGHT OF WAY
 - ADJACENT PROPERTY BOUNDARY
 - PROP LOT LINES
 - EASEMENT
 - EX EDGE OF PAVEMENT
 - EX ROAD CENTERLINE
 - EX OVERHEAD POWER
 - EX NATURAL GAS LINE
 - EX WATER LINE
 - EX CENTER OF DITCH
 - EX TOP OF BANK
 - EX MAJOR CONTOUR
 - EX MINOR CONTOUR
 - EX STORM PIPE
 - EX EDGE OF TREE LINE
 - EX SPOT GRADE
 - EX CONCRETE
 - PROP ASPHALT PAVEMENT
 - PROP CONCRETE SIDEWALK
 - PROP FENCE
 - PROP MAJOR CONTOUR
 - PROP MINOR CONTOUR
 - PROP STORM PIPE
 - PROP WATER LINE
 - PROP EDGE OF TREE LINE
 - PROP SWALE
 - PROP SPOT GRADE



PERMIT DRAWINGS
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YOUR VISION ACHIEVED THROUGH OURS.

DATE
01/27/2026

DRAWN BY
KTY

DESIGNED BY
KTY

CHECKED BY
KDH

SCALE
1" = 60'

JOB NO.
56469

SHEET NO.
C2.2

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
SITE PLAN

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SITE DATA:

- OWNER/DEVELOPER
HOWARD LAND DEVELOPMENT, INC.
2854 A CARATOKE HIGHWAY
CURRITUCK, NC 27929
252-202-3500
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION
PIN: 0094000161G0000
POPLAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 778
P.C. R. SLD. 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD. 778
P.C. R. SLD. 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW

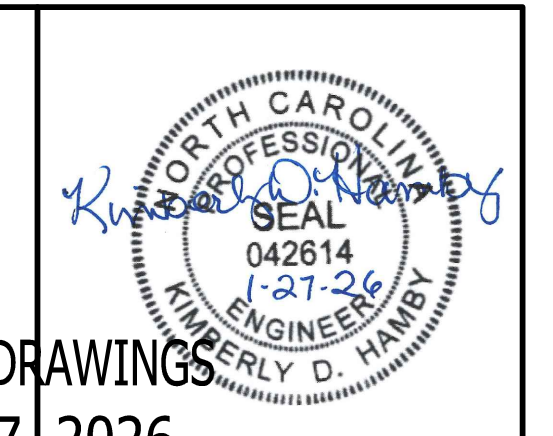
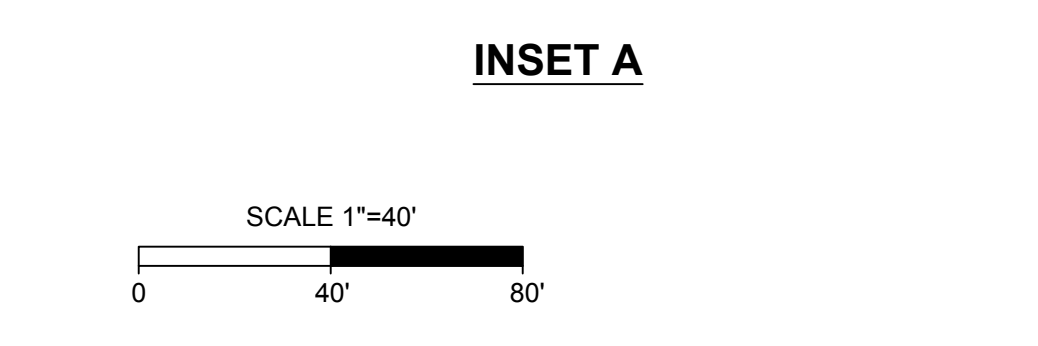
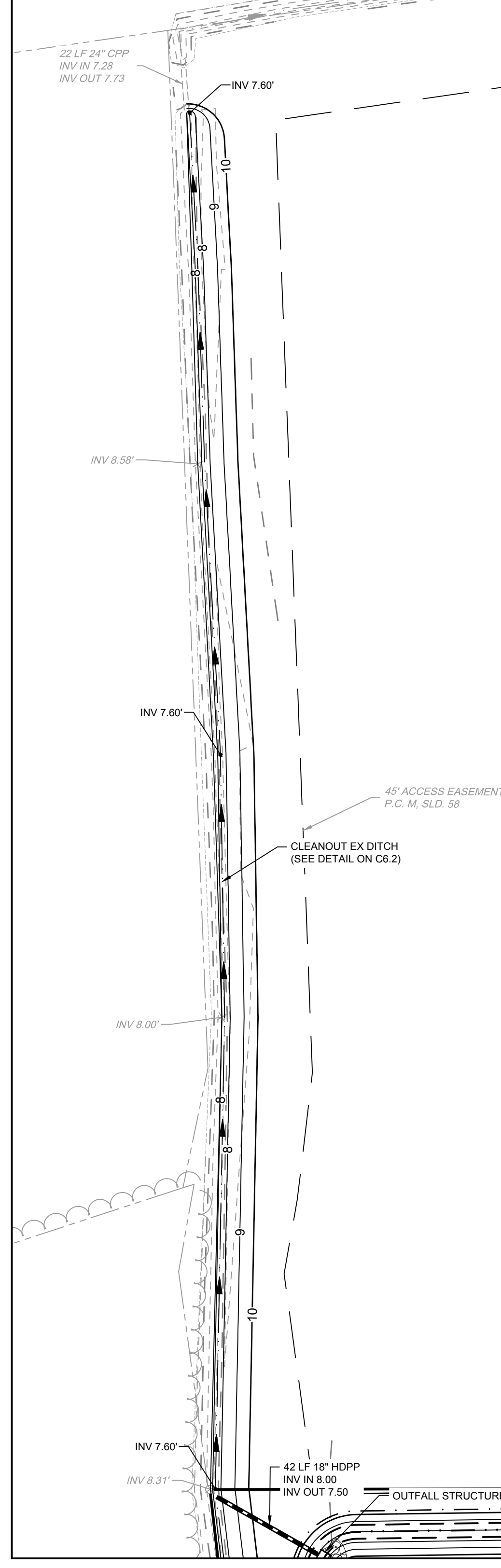
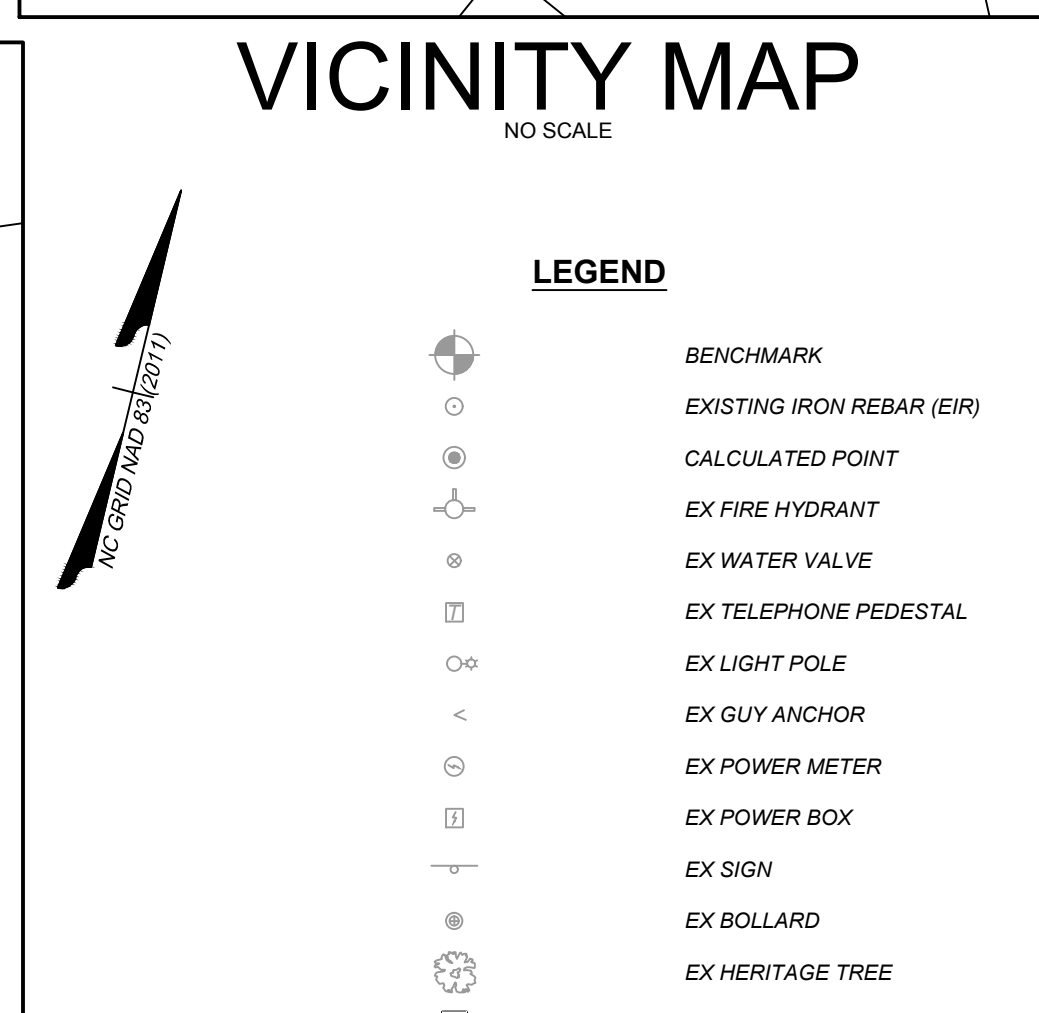
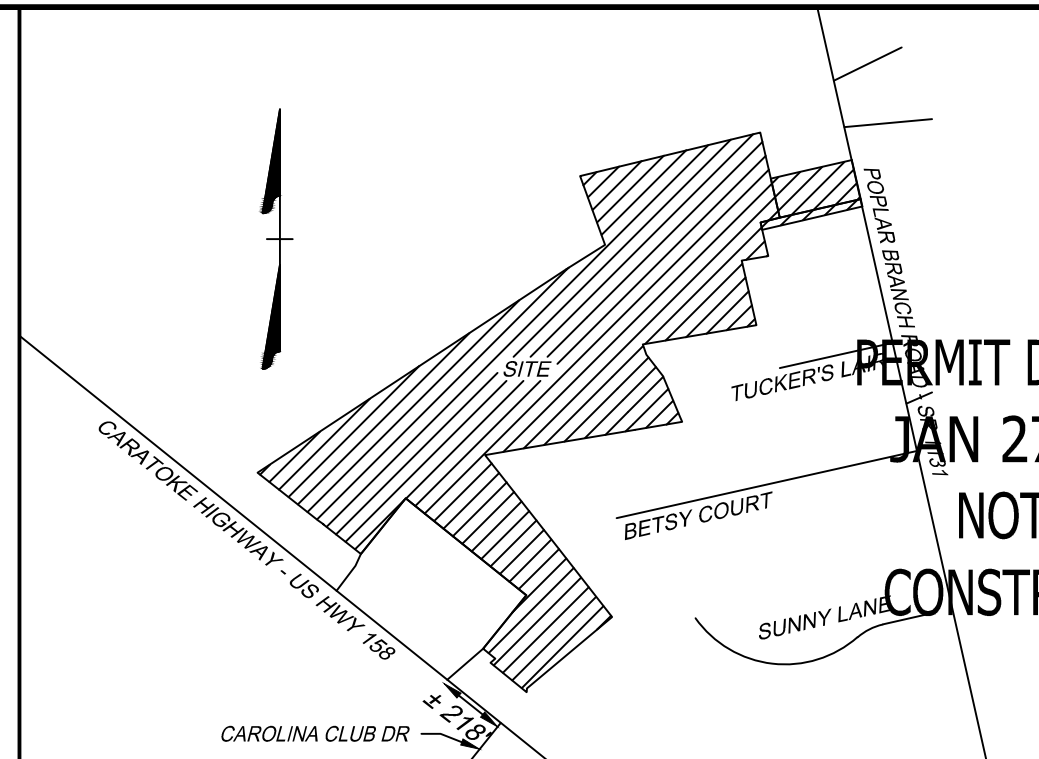
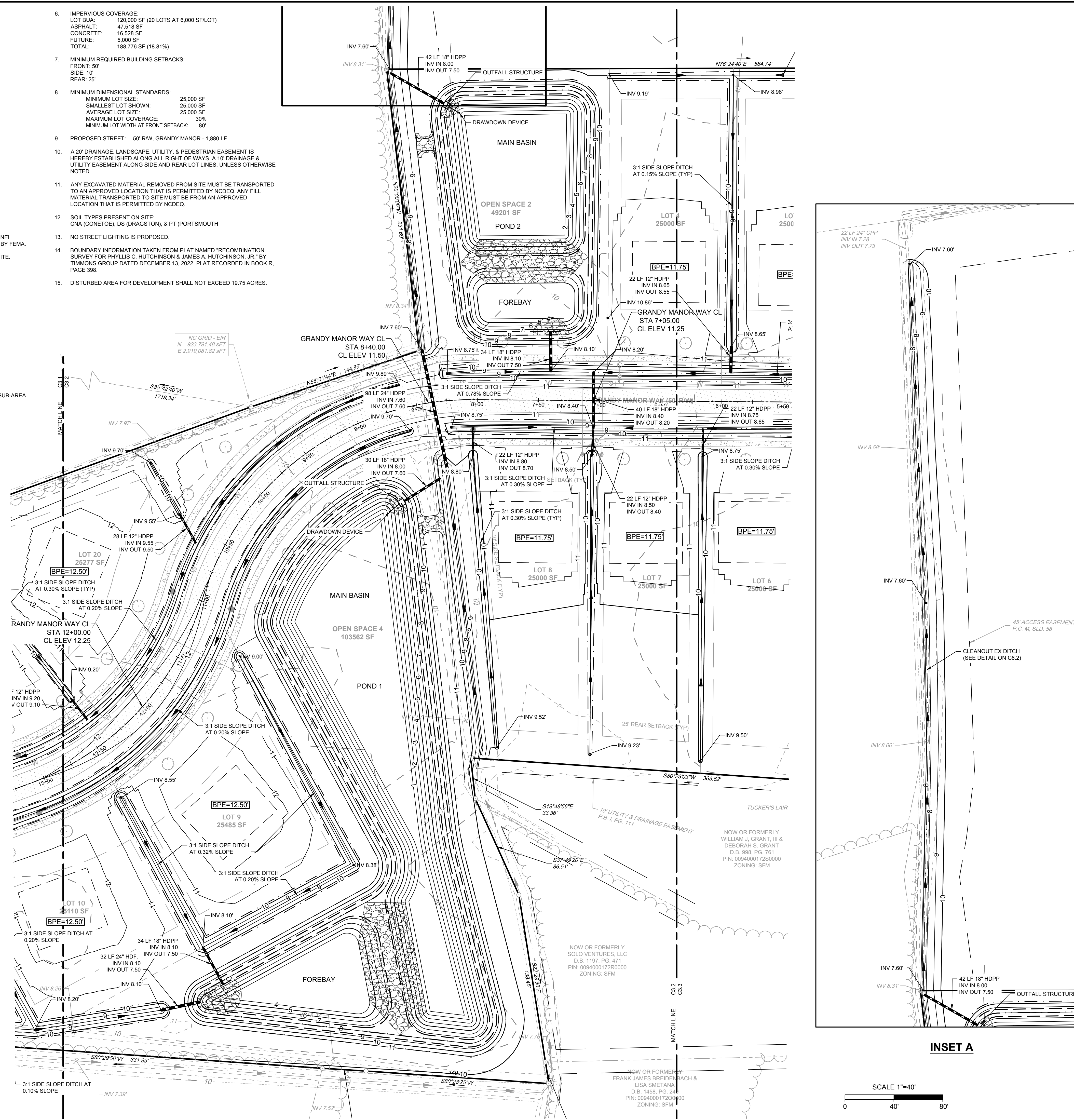
EXISTING 24' RW
P.C. R. SLD. 936
ZONING: SFM
0.18 AC
EXISTING USE: RW
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC
LOT AREA: 500,018 SF / 11.47 AC (49.80%)
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE

CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 @ 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDOT. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDOT.
- SOIL TYPES PRESENT ON SITE:
CNA (CONCRETE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED "RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR." BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



PERMIT DRAWINGS
JAN 27, 2026
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TEL 252.621.3030 FAX 252.392.0974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	BCD
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 40'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING & DRAINAGE PLAN

JOB NO.	56469
SHEET NO.	C3.2

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2854 A CARATOKE HIGHWAY
CURRITUCK, NC 27929
252-202-3500
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION
PIN: 0094000161G0000
POPLAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 778
P.C. R. SLD. 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL
PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD. 778
P.C. R. SLD. 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW
EXISTING 24" RW
P.C. R. SLD. 936
ZONING: SFM
0.18 AC
EXISTING USE: RW
PROPOSED USE: RW

6. IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
7. MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
8. MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ.
12. SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
13. NO STREET LIGHTING IS PROPOSED.
14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED "RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR." BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

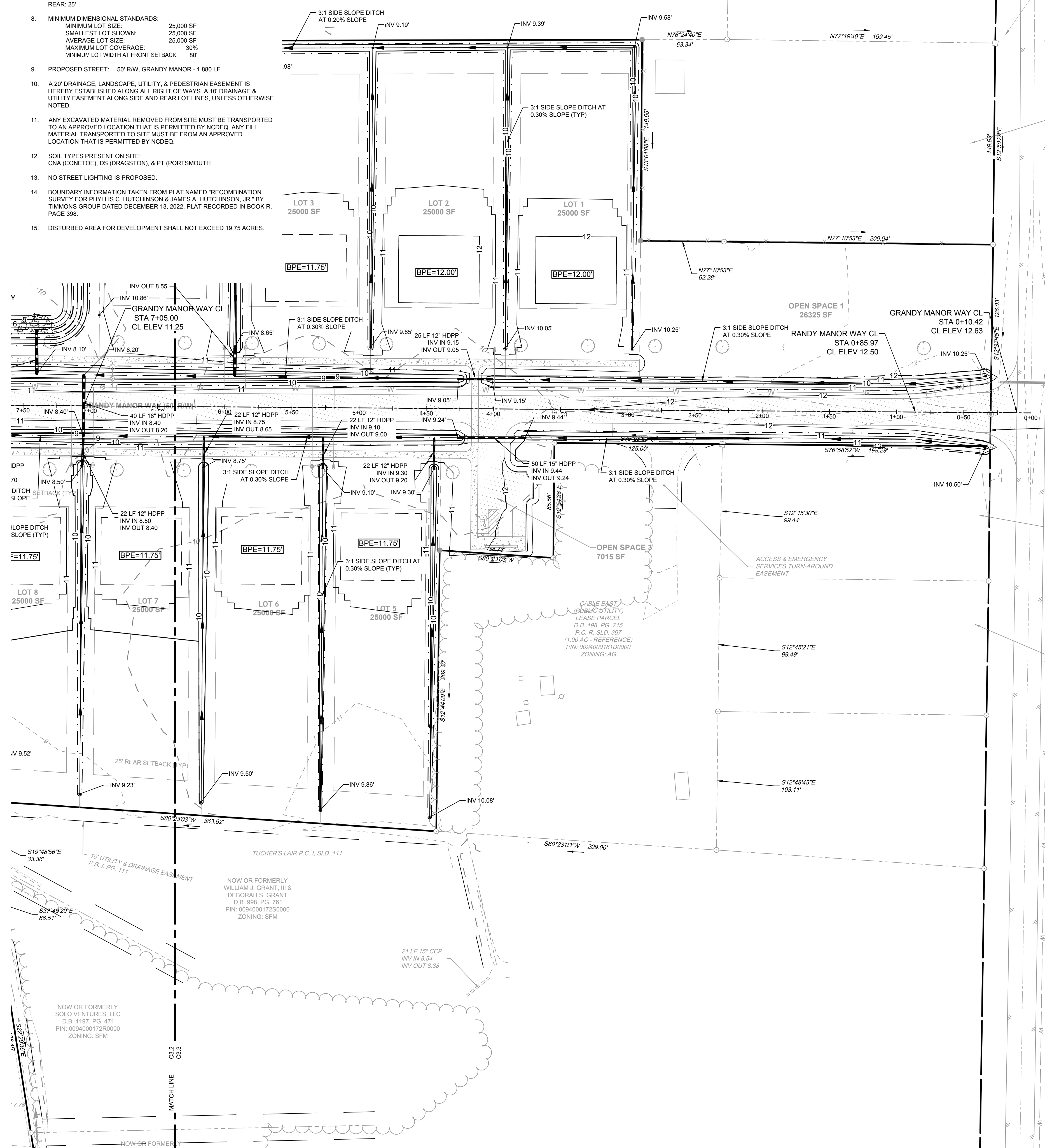
5. SITE AREA: 1,003,994 SF / 23.04 AC
LOT AREA: 500,018 SF / 11.47 AC (49.80%)
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE:
CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 @ 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20

D.B. 1497, PG. 585
PIN: 0094000161A0000
ZONING: AG



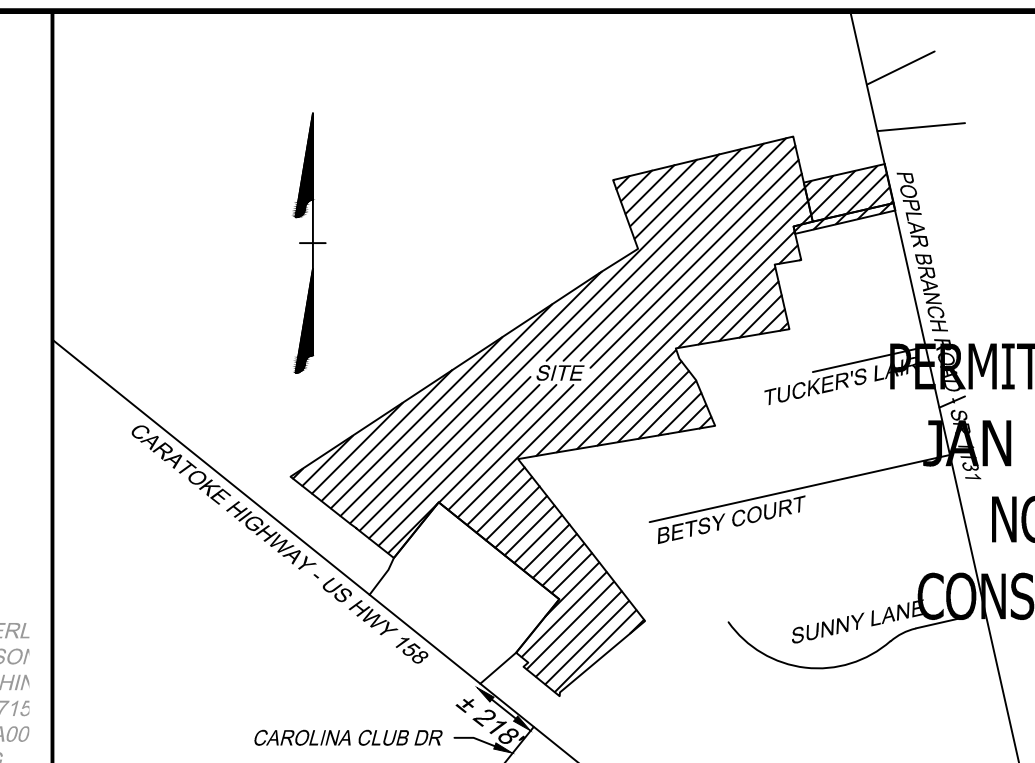
NC GRID
CONCRETE MONUMENT
N 924,281.92 FT
E 2,919,949.99 FT

NOW OR FORMERLY
JAMES A HUTCHINSON
& PHYLIS C. HUTCHINSON
D.B. 1137, PG. 715
PIN: 0094000167A00
ZONING: AG

NOW OR FORMERLY
WELTUCK BUILDERS
D.B. 1788, PG. 899
PIN: 009400001690000
ZONING: AG

NOW OR FORMERLY
JOSEPH & MAR
D.B. PIN: 01

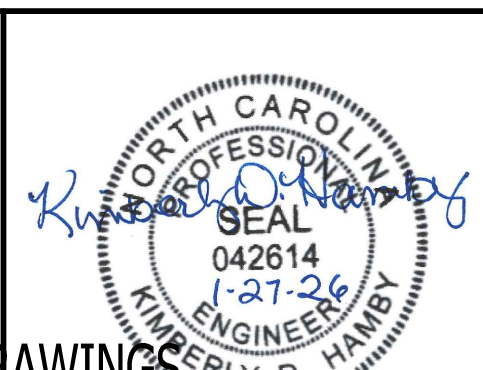
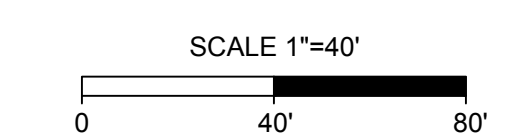
NOW OR FORMERLY
SOLO VENTURES, LLC
D.B. 1197, PG. 471
PIN: 009400017290000
ZONING: SFM



VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROP LOT LINES
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE



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JAN 27, 2026
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YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	01/27/2026

DRAWN BY
BCD

DESIGNED BY
KDH

CHECKED BY
KDH

SCALE
1" = 40'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING & DRAINAGE PLAN

JOB NO.	SHEET NO.
56469	C3.3

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CURRITUCK, NC 27929
252-202-3500
CAHOWARDJR@HOTMAIL.COM
- SITE INFORMATION
PIN: 0094000161G0000
POPLAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 178
P.C. R, SLD, 398
ZONING: SFM
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD, 778
P.C. R, SLD, 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW
P.C. R, SLD, 936
ZONING: SFM
0.18 AC
EXISTING USE: RW
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC

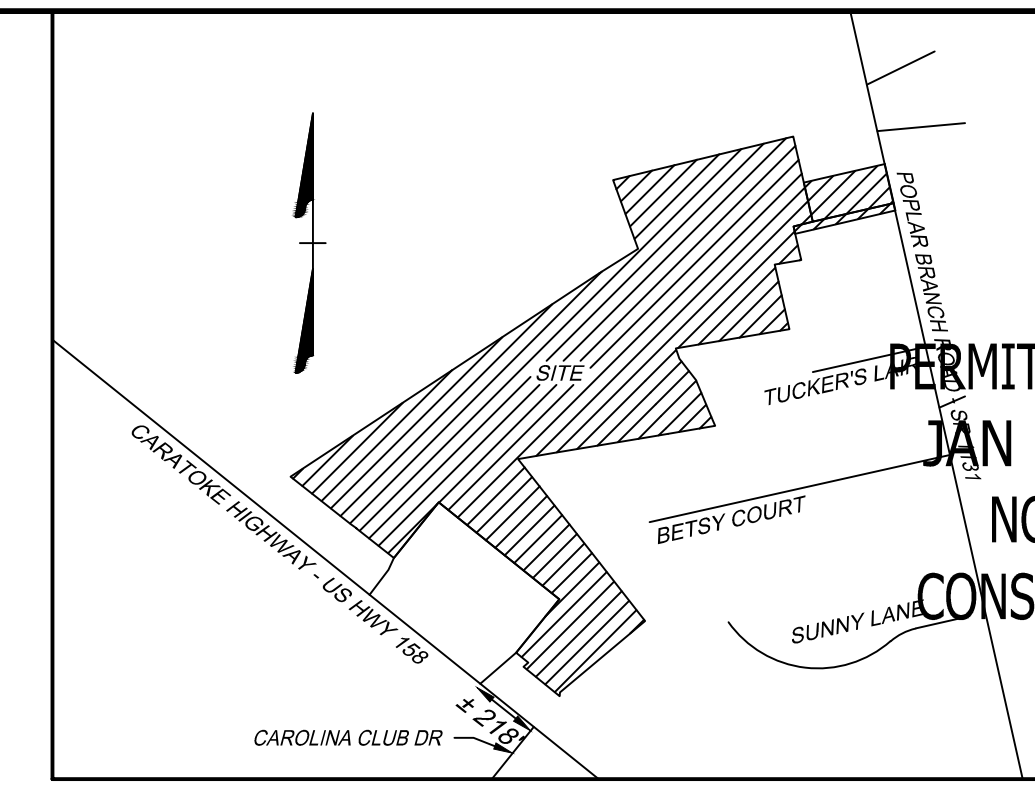
LOT AREA: 500,018 SF / 11.47 AC (49.80%)
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CONSERVATION THEME: WOODLANDS AND OPEN SPACE

CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 23
G2 = 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE.
- SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED "RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR." BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.



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REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY
KTY

DESIGNED BY
KDH

CHECKED BY
KDH

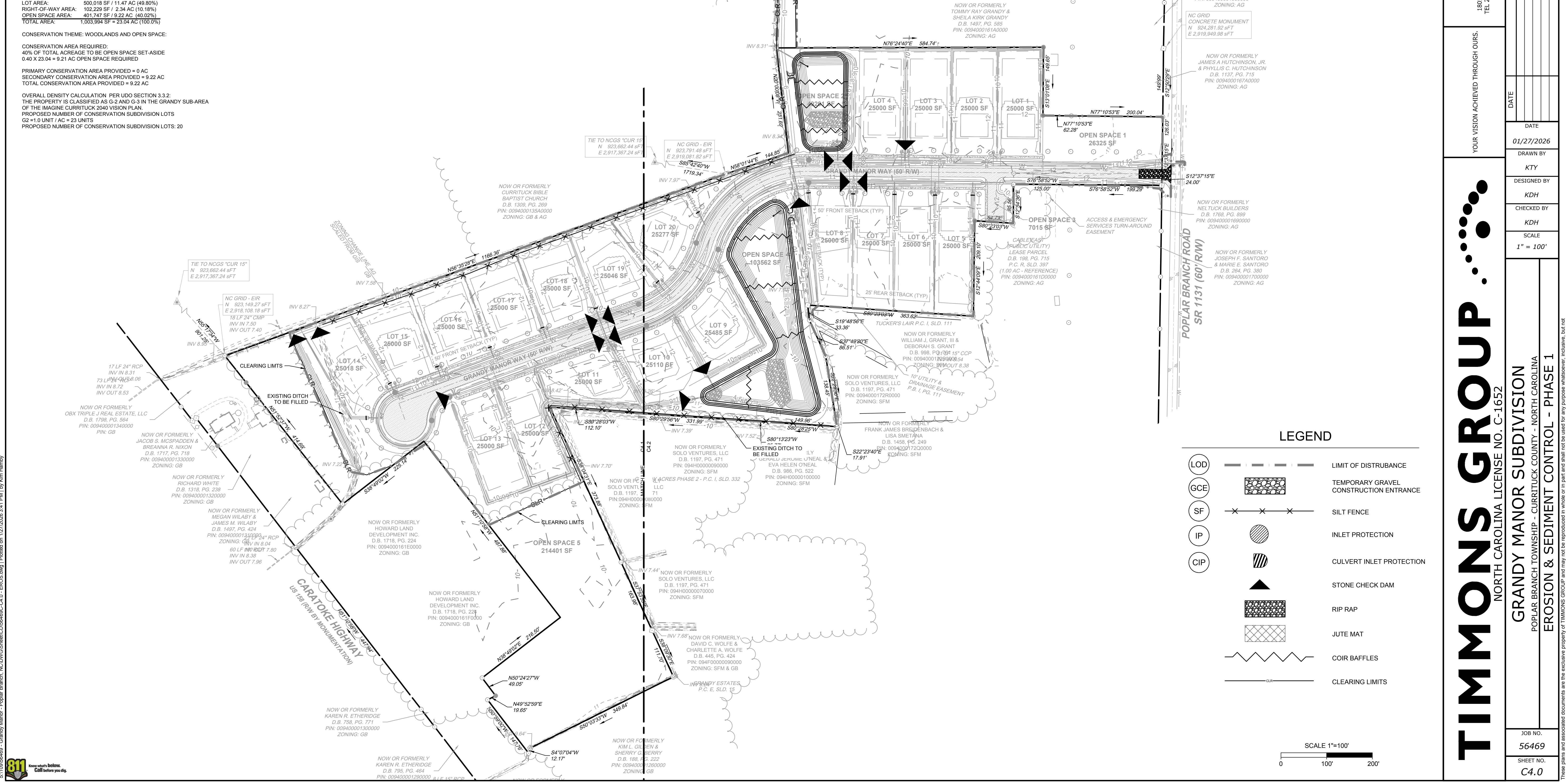
SCALE
1" = 100'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION & SEDIMENT CONTROL - PHASE 1

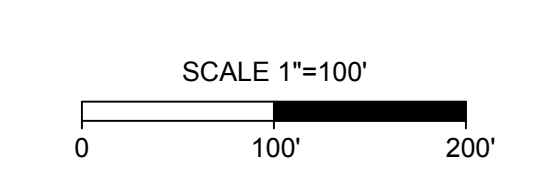
JOB NO.
56469

SHEET NO.
C4.0



LEGEND

(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	X-X-X	SILT FENCE
(IP)	[Pattern]	INLET PROTECTION
(CIP)	[Pattern]	CULVERT INLET PROTECTION
	[Symbol]	STONE CHECK DAM
	[Pattern]	RIP RAP
	[Pattern]	JUTE MAT
	[Symbol]	COIR BAFFLES
	---	CLEARING LIMITS

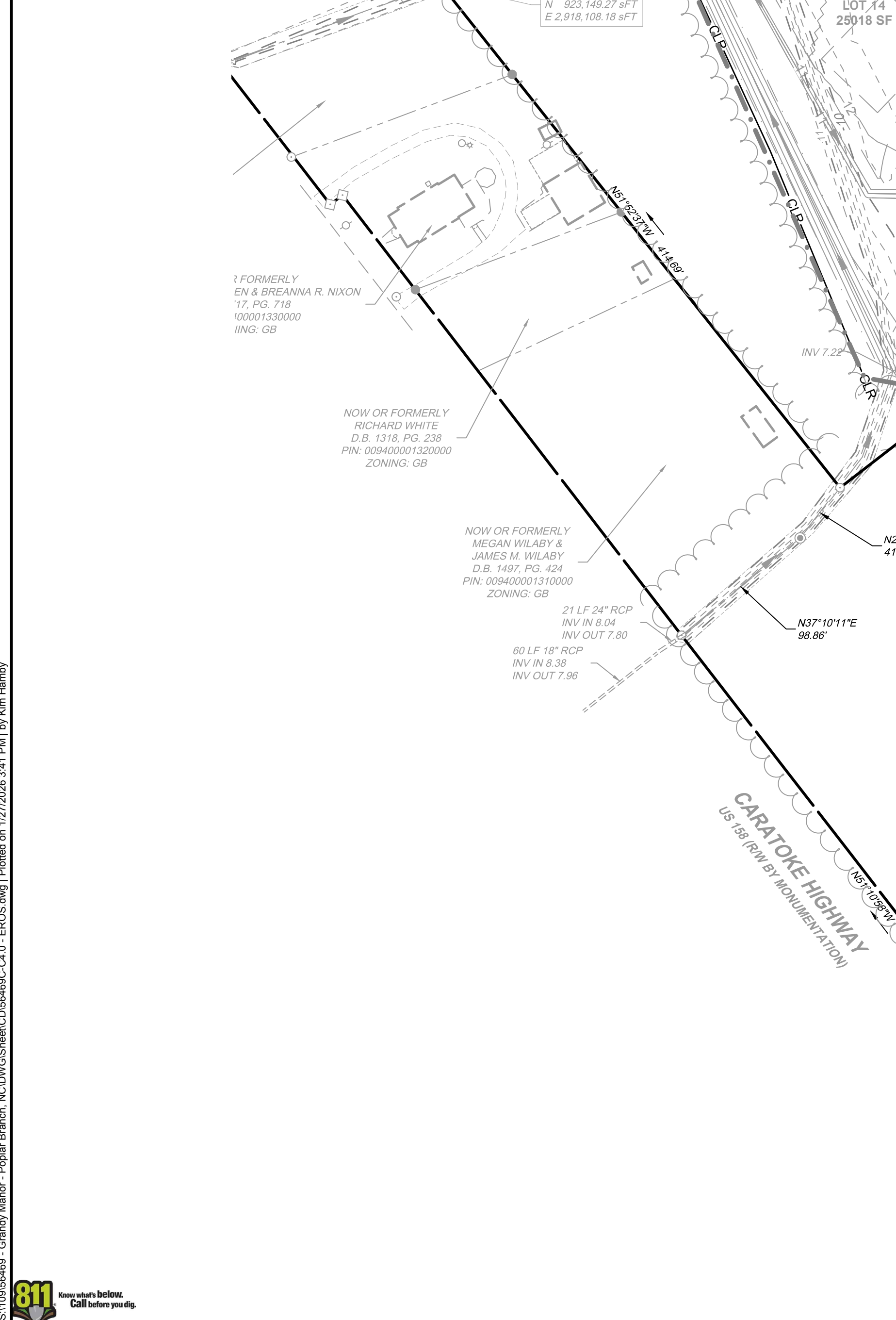


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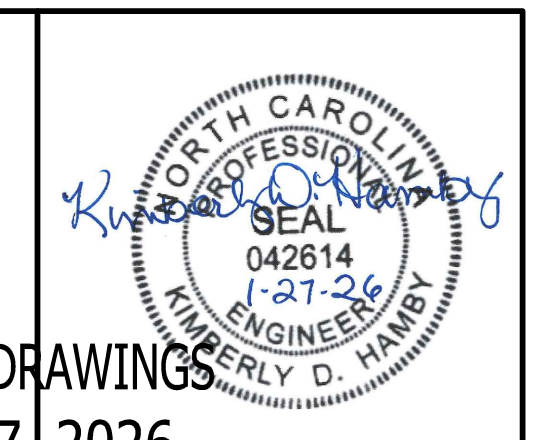
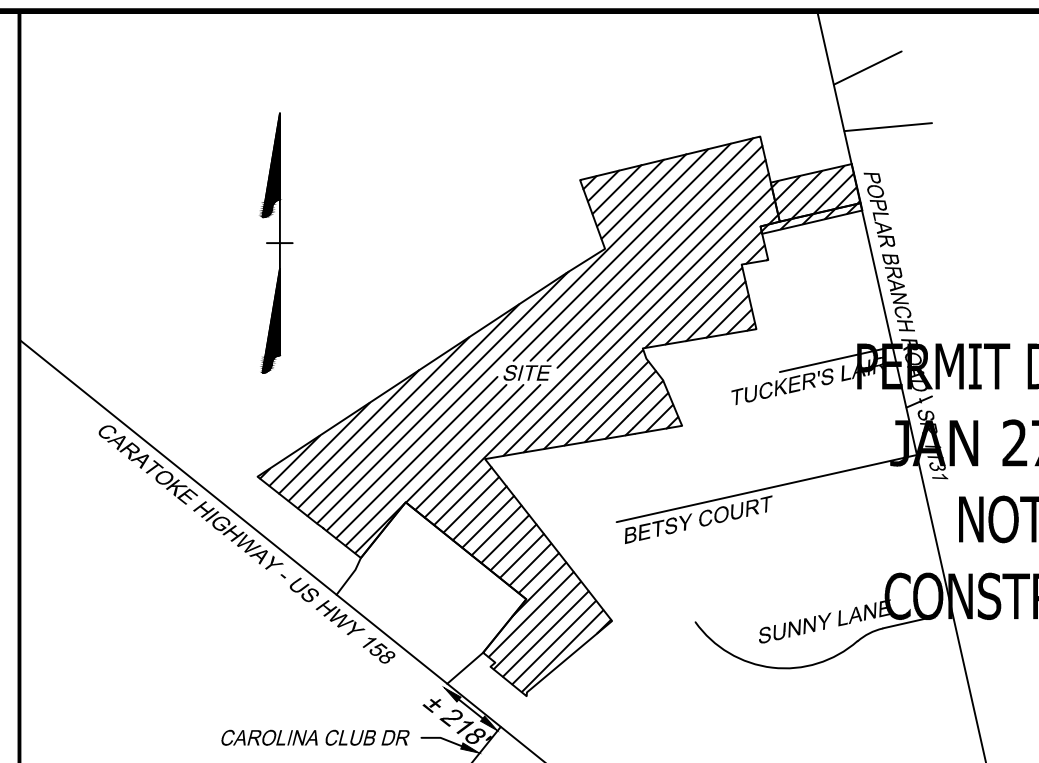
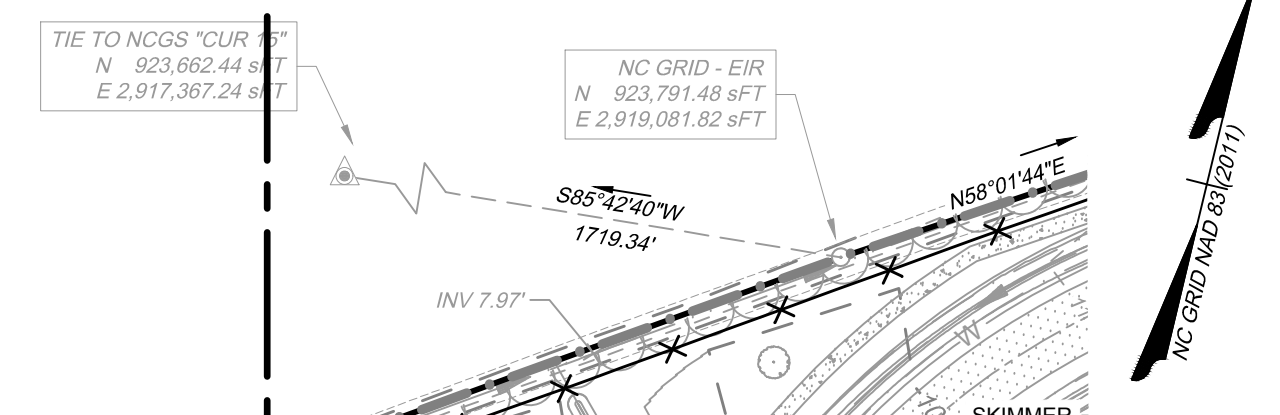
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PIN: 009400016100000
POPULAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 778
P.C. R. SLD. 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL
PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD. 778
P.C. R. SLD. 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW
EXISTING 24' RW
P.C. R. SLD. 936
ZONING: SFM
0.18 AC
EXISTING USE: RW
PROPOSED USE: RW
- THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372099200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.
- THERE ARE NO JURISDICTION WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.
- SITE AREA: 1,003,994 SF / 23.04 AC
LOT AREA: 500,018 SF / 11.47 AC (49.80%)
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)
CONSERVATION THEME: WOODLANDS AND OPEN SPACE
CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED
PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC
OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS
G2 = 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ.
- SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

CONSERVATION THEME: WOODLANDS AND OPEN SPACE
CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED
PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC
OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
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PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS
G2 = 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



S:\10945469 - Grandy Manor - Popular Branch, NC\DWGS\Sheet\CD\6466C-C4.0 - EROS.dwg | Plotted on 1/27/2026 3:41 PM | by Kim Hamby



PERMIT DRAWINGS
JAN 27, 2026
NOT FOR
CONSTRUCTION

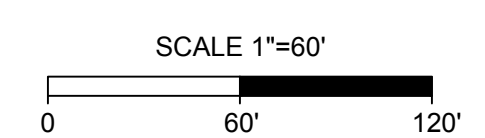
THIS DRAWING PREPARED AT THE
ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.3030 FAX 252.592.0974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 60'

LEGEND

- (LOD) --- LIMIT OF DISTURBANCE
- (GCE) [Pattern] TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- (SF) [Symbol] SILT FENCE
- (IP) [Symbol] INLET PROTECTION
- (CIP) [Symbol] CULVERT INLET PROTECTION
- [Symbol] STONE CHECK DAM
- [Symbol] RIP RAP
- [Symbol] JUTE MAT
- [Symbol] COIR BAFFLES
- [Symbol] CLEARING LIMITS



TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPULAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION & SEDIMENT CONTROL PLAN - PHASE 2

JOB NO.	56469
SHEET NO.	C4.1

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SITE DATA:

1. OWNER/DEVELOPER
HOWARD LAND DEVELOPMENT, INC.
2854 A CARATOKE HIGHWAY
CURRITUCK, NC 27929
252-202-3500
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION
PIN: 0094000161G0000
POPLAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 778
P.C. R, SLD, 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD, 778
P.C. R, SLD, 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW
P.C. R, SLD, 936
ZONING: SFM
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EXISTING USE: RW
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ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
7. MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
8. MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
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11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEQ.
12. SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
13. NO STREET LIGHTING IS PROPOSED.
14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 3720990200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

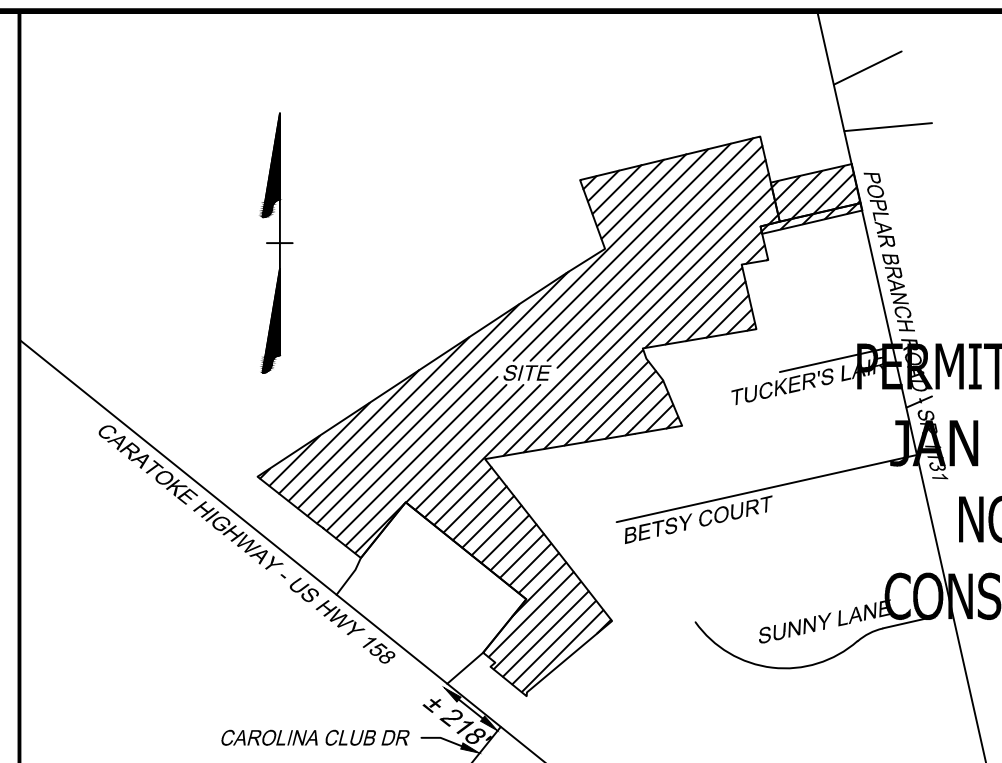
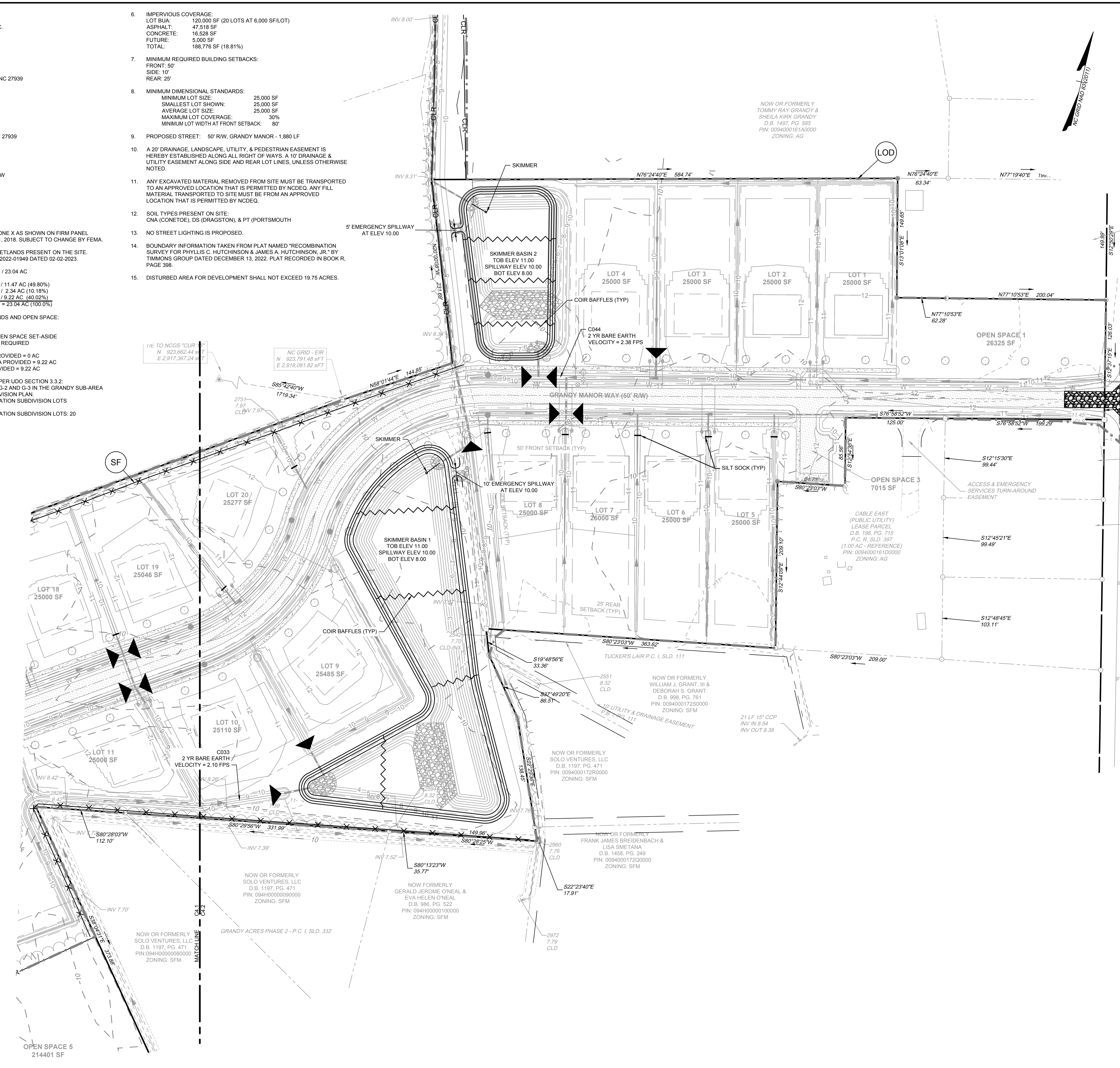
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OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE
CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
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PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: C2 = 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



PERMIT DRAWINGS
JAN 27, 2026
NOT FOR CONSTRUCTION

PROFESSIONAL SEAL
042614
1-27-26
KIMBERLY D. HAMBY
REGISTERED PROFESSIONAL ENGINEER

THIS DRAWING PREPARED AT THE
ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.3030 FAX 252.352.0574 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	01/27/2026

DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 60'

TIMMONS GROUP

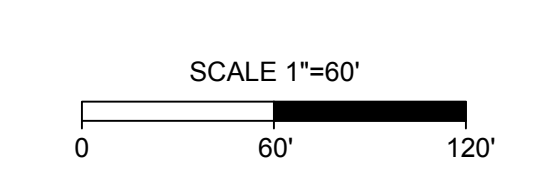
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPULAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION & SEDIMENT CONTROL PLAN - PHASE 2

JOB NO. 56469
SHEET NO. C4.2

LEGEND

(LOD)	---	LIMIT OF DISTURBANCE
(GCE)	▨	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
(SF)	---x---	SILT FENCE
(IP)	○	INLET PROTECTION
(CIP)	▨	CULVERT INLET PROTECTION
	▲	STONE CHECK DAM
	▨	RIP RAP
	▨	JUTE MAT
	~	COIR BAFFLES
	---	CLEARING LIMITS



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D.B. 1743, PG. 778
P.C.R. SLD, 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD, 778
P.C.R. SLD, 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW

EXISTING 24' RW
P.C.R. SLD, 936
ZONING: SFM
0.18 AC
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- SITE AREA: 1,003,994 SF / 23.04 AC

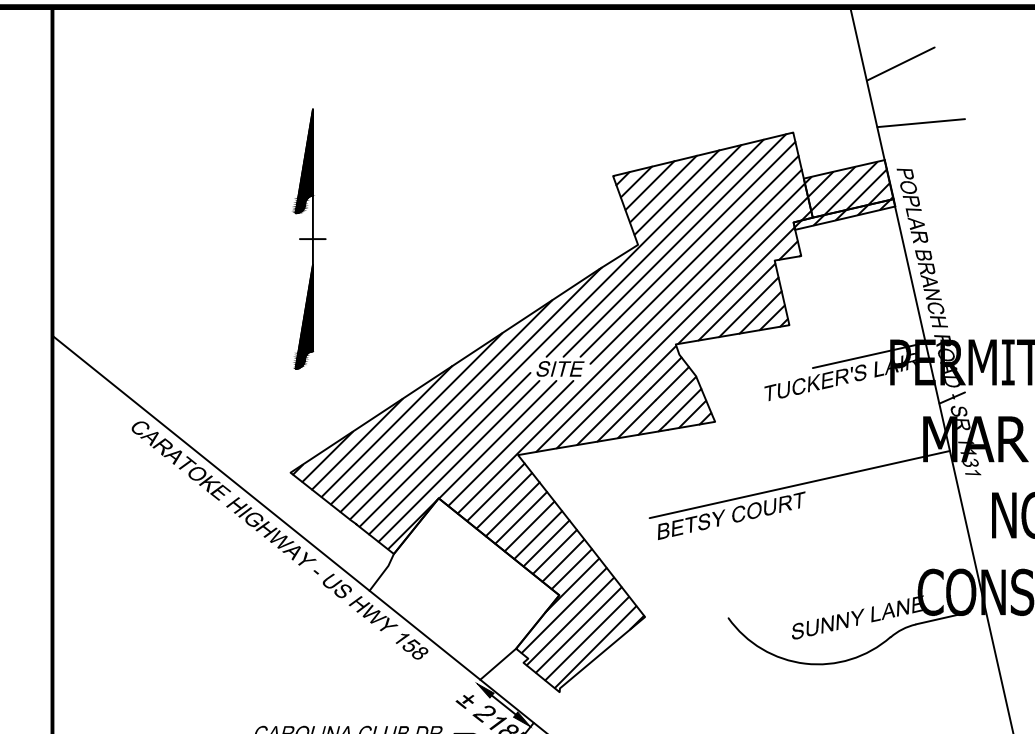
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TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE

CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.22 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 23
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCEDE.
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CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
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PERMIT DRAWINGS
MAR 31, 2026
NOT FOR
CONSTRUCTION

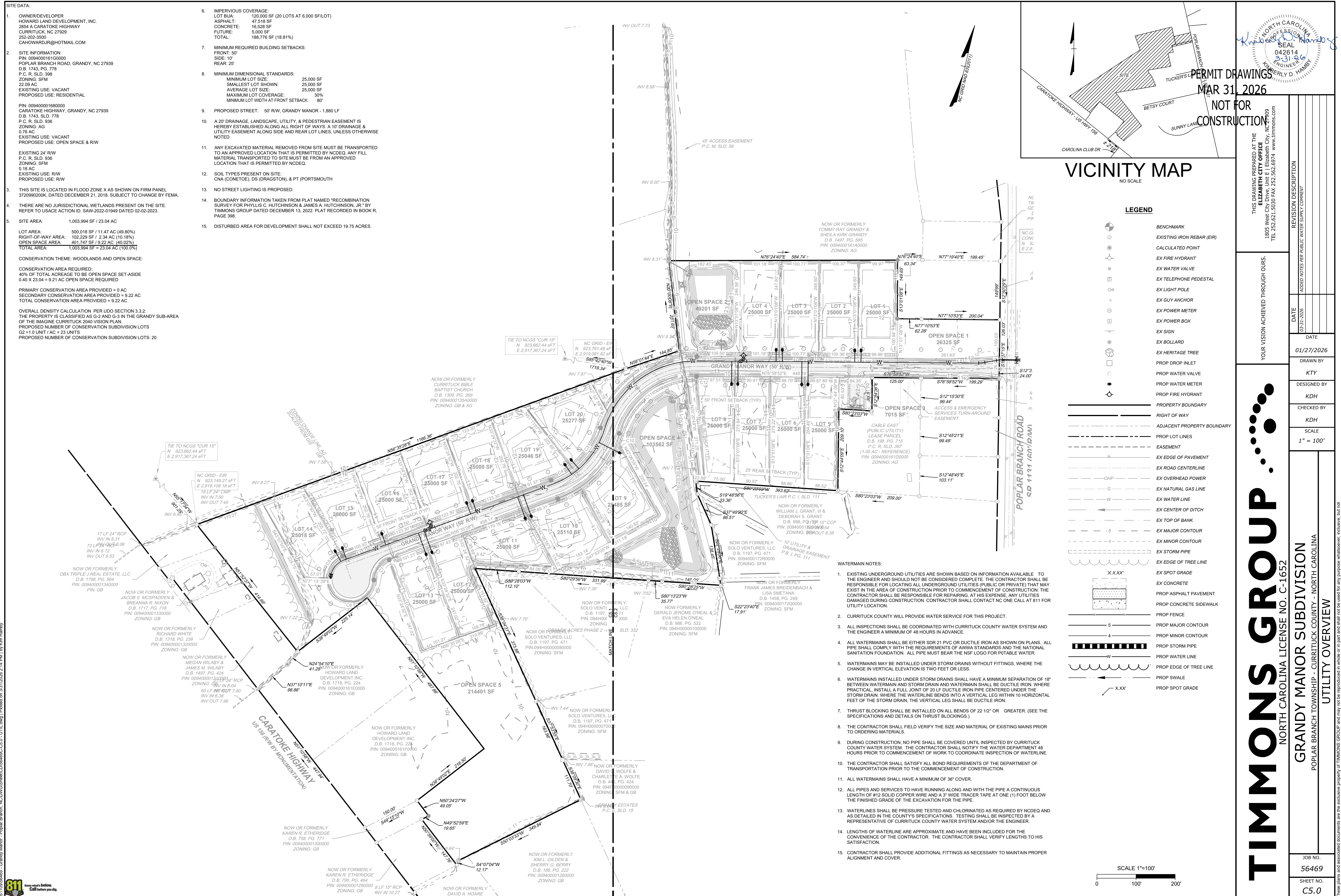
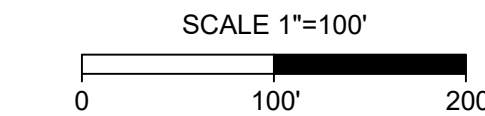
VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
- EX GUY ANCHOR
- EX POWER METER
- EX POWER BOX
- EX SIGN
- EX BOLLARD
- EX HERITAGE TREE
- PROP DROP INLET
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROP LOT LINES
- EASEMENT
- EX EDGE OF PAVEMENT
- EX ROAD CENTERLINE
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- EX SPOT GRADE
- EX CONCRETE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE SIDEWALK
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE
- PROP SPOT GRADE

WATERMAIN NOTES:

- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL AT 811 FOR UTILITY LOCATION.
- CURRITUCK COUNTY WILL PROVIDE WATER SERVICE FOR THIS PROJECT.
- ALL INSPECTIONS SHALL BE COORDINATED WITH CURRITUCK COUNTY WATER SYSTEM AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
- ALL WATERMAINS SHALL BE EITHER SDR 21 PVC OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF AWWA STANDARDS AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER.
- WATERMAINS MAY BE INSTALLED UNDER STORM DRAINS WITHOUT FITTINGS, WHERE THE CHANGE IN VERTICAL ELEVATION IS TWO FEET OR LESS.
- WATERMAINS INSTALLED UNDER STORM DRAINS SHALL HAVE A MINIMUM SEPARATION OF 18" BETWEEN WATERMAIN AND STORM DRAIN AND WATERMAIN SHALL BE DUCTILE IRON. WHERE PRACTICAL, INSTALL A FULL JOINT OF 20 LF DUCTILE IRON PIPE CENTERED UNDER THE STORM DRAIN. WHERE THE WATERLINE BENDS INTO A VERTICAL LEG WITHIN 10 HORIZONTAL FEET OF THE STORM DRAIN, THE VERTICAL LEG SHALL BE DUCTILE IRON.
- THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2" OR GREATER. (SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING MAINS PRIOR TO ORDERING MATERIALS.
- DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY CURRITUCK COUNTY WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION OF WATERLINE.
- THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL WATERMAINS SHALL HAVE A MINIMUM OF 36" COVER.
- ALL PIPES AND SERVICES TO HAVE RUNNING ALONG AND WITH THE PIPE A CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
- WATERLINES SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY NCEDE AND AS DETAILED IN THE COUNTY'S SPECIFICATIONS. TESTING SHALL BE INSPECTED BY A REPRESENTATIVE OF CURRITUCK COUNTY WATER SYSTEM AND/OR THE ENGINEER.
- LENGTHS OF WATERLINE ARE APPROXIMATE AND HAVE BEEN INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY LENGTHS TO HIS SATISFACTION.
- CONTRACTOR SHALL PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO MAINTAIN PROPER ALIGNMENT AND COVER.



TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
UTILITY OVERVIEW

DATE	REVISION DESCRIPTION
03-31-2026	ADDED NOTES PER PUBLIC WATER SUPPLY COMMENT

YOUR VISION ACHIEVED THROUGH OURS.

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
01/27/2026	KTY	KDH	KDH

SCALE
1" = 100'

JOB NO.
56469

SHEET NO.
C5.0

S:\10954689 - Grandy Manor - Poplar Branch, NC\DWG\Sheet\CD\064689C-C5.0 - UTILITY.dwg | Plotted on 3/31/2026 2:14 PM | by Kim Henry



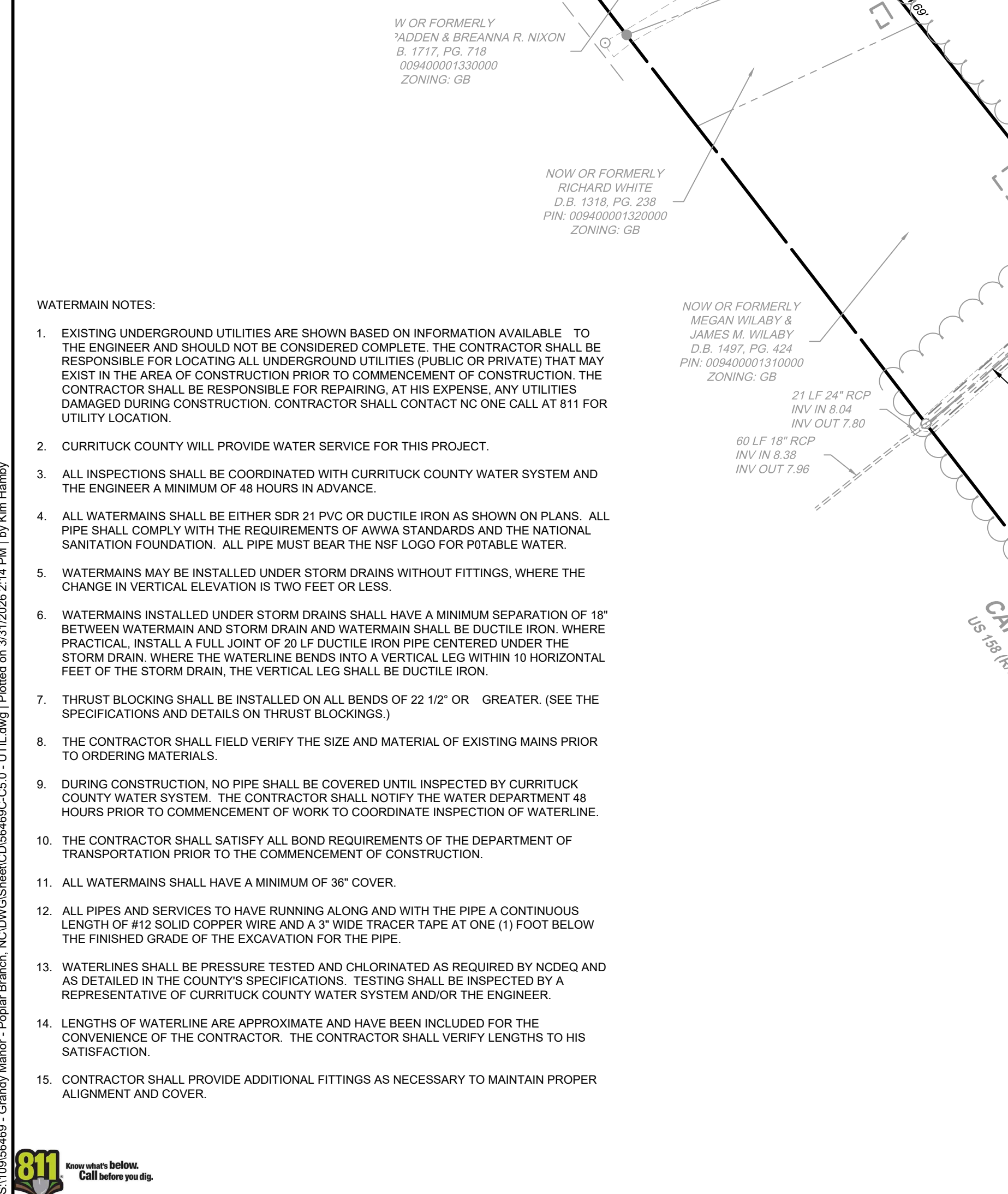
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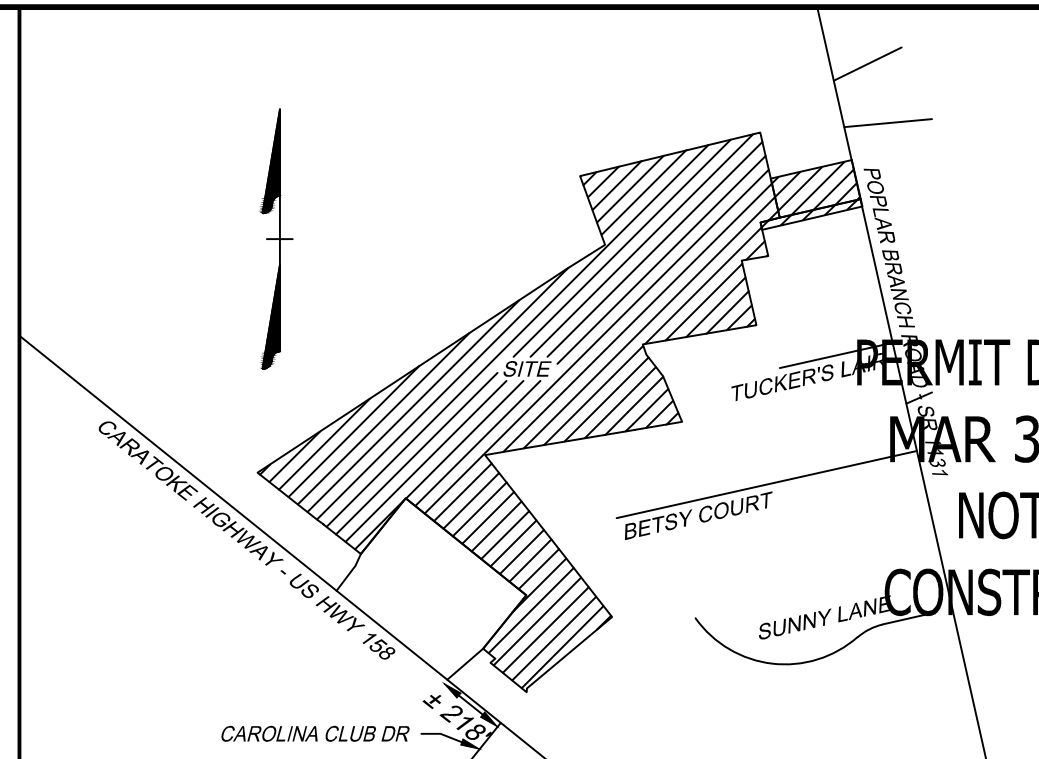
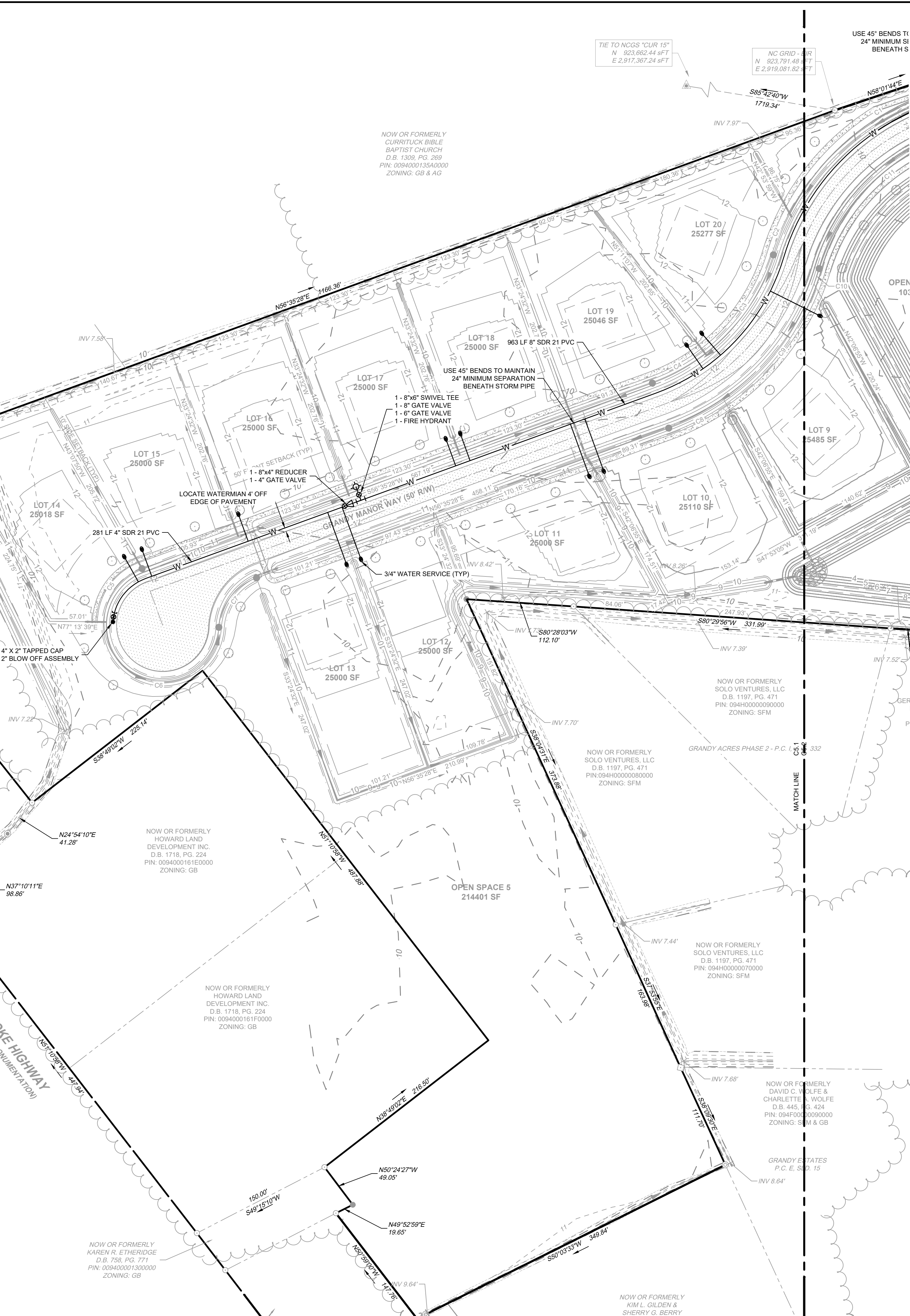
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- SITE INFORMATION
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CONSERVATION AREA REQUIRED:
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THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 ± 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20
- IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)
- MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'
- MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'
- PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF
- A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.
- ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ.
- SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)
- NO STREET LIGHTING IS PROPOSED.
- BOUNDARY INFORMATION TAKEN FROM PLAT NAMED "RECOMBINATION SURVEY FOR PHYLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR." BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.
- DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES.

CONSERVATION THEMES: WOODLANDS AND OPEN SPACE
CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED
PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC
OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2:
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 02 ± 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20

WATERMAIN NOTES:
1. EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL AT 811 FOR UTILITY LOCATION.
2. CURRITUCK COUNTY WILL PROVIDE WATER SERVICE FOR THIS PROJECT.
3. ALL INSPECTIONS SHALL BE COORDINATED WITH CURRITUCK COUNTY WATER SYSTEM AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
4. ALL WATERMANS SHALL BE EITHER SDR 21 PVC OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF AWWA STANDARDS AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER.
5. WATERMANS MAY BE INSTALLED UNDER STORM DRAINS WITHOUT FITTINGS, WHERE THE CHANGE IN VERTICAL ELEVATION IS TWO FEET OR LESS.
6. WATERMANS INSTALLED UNDER STORM DRAINS SHALL HAVE A MINIMUM SEPARATION OF 18" BETWEEN WATERMAIN AND STORM DRAIN AND WATERMAIN SHALL BE DUCTILE IRON. WHERE PRACTICAL, INSTALL A FULL JOINT OF 20 LF DUCTILE IRON PIPE CENTERED UNDER THE STORM DRAIN. WHERE THE WATERLINE BENDS INTO A VERTICAL LEG WITHIN 10 HORIZONTAL FEET OF THE STORM DRAIN, THE VERTICAL LEG SHALL BE DUCTILE IRON.
7. THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2" OR GREATER. (SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
8. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING MAINS PRIOR TO ORDERING MATERIALS.
9. DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY CURRITUCK COUNTY WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION OF WATERLINE.
10. THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
11. ALL WATERMANS SHALL HAVE A MINIMUM OF 36" COVER.
12. ALL PIPES AND SERVICES TO HAVE RUNNING ALONG AND WITH THE PIPE A CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
13. WATERLINES SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY NCDEQ AND AS DETAILED IN THE COUNTY'S SPECIFICATIONS. TESTING SHALL BE INSPECTED BY A REPRESENTATIVE OF CURRITUCK COUNTY WATER SYSTEM AND/OR THE ENGINEER.
14. LENGTHS OF WATERLINE ARE APPROXIMATE AND HAVE BEEN INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY LENGTHS TO HIS SATISFACTION.
15. CONTRACTOR SHALL PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO MAINTAIN PROPER ALIGNMENT AND COVER.



811
Know what's below.
Call before you dig.



VICINITY MAP
NO SCALE

- LEGEND
- BENCHMARK
 - EXISTING IRON REBAR (EIR)
 - CALCULATED POINT
 - EX FIRE HYDRANT
 - EX WATER VALVE
 - EX TELEPHONE PEDESTAL
 - EX LIGHT POLE
 - EX GUY ANCHOR
 - EX POWER METER
 - EX POWER BOX
 - EX SIGN
 - EX BOLLARD
 - EX HERITAGE TREE
 - PROP DROP INLET
 - PROP WATER VALVE
 - PROP WATER METER
 - PROP FIRE HYDRANT
 - PROPERTY BOUNDARY
 - RIGHT OF WAY
 - ADJACENT PROPERTY BOUNDARY
 - PROP LOT LINES
 - EASEMENT
 - EX EDGE OF PAVEMENT
 - EX ROAD CENTERLINE
 - EX OVERHEAD POWER
 - EX NATURAL GAS LINE
 - EX WATER LINE
 - EX CENTER OF DITCH
 - EX TOP OF BANK
 - EX MAJOR CONTOUR
 - EX MINOR CONTOUR
 - EX STORM PIPE
 - EX EDGE OF TREE LINE
 - EX SPOT GRADE
 - EX CONCRETE
 - PROP ASPHALT PAVEMENT
 - PROP CONCRETE SIDEWALK
 - PROP FENCE
 - PROP MAJOR CONTOUR
 - PROP MINOR CONTOUR
 - PROP STORM PIPE
 - PROP WATER LINE
 - PROP EDGE OF TREE LINE
 - PROP SWALE
 - PROP SPOT GRADE

DATE	REVISION DESCRIPTION
03-31-2026 <td>ADDED NOTES PER PUBLIC WATER SUPPLY COMMENT </td>	ADDED NOTES PER PUBLIC WATER SUPPLY COMMENT

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 01/27/2026
DRAWN BY: KTY
DESIGNED BY: KDH
CHECKED BY: KDH
SCALE: 1" = 60'

JOB NO. 56469
SHEET NO. C5.1



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MAR 31, 2026
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TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

UTILITY PLAN

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SITE DATA:

1. OWNER/DEVELOPER
HOWARD LAND DEVELOPMENT, INC.
2854 A CARATOKE HIGHWAY
CURRITUCK, NC 27929
252-202-3500
CAHOWARDJR@HOTMAIL.COM

2. SITE INFORMATION
PIN: 0094000161G0000
POPLAR BRANCH ROAD, GRANDY, NC 27939
D.B. 1743, PG. 778
P.C. R. SLD. 398
ZONING: SFM
22.09 AC
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PIN: 009400016800000
CARATOKE HIGHWAY, GRANDY, NC 27939
D.B. 1743, SLD. 778
P.C. R. SLD. 936
ZONING: AG
0.76 AC
EXISTING USE: VACANT
PROPOSED USE: OPEN SPACE & RW

EXISTING 24" RW
P.C. R. SLD. 936
ZONING: SFM
0.18 AC
EXISTING USE: RW
PROPOSED USE: RW

6. IMPERVIOUS COVERAGE:
LOT BUA: 120,000 SF (20 LOTS AT 6,000 SF/LOT)
ASPHALT: 47,518 SF
CONCRETE: 16,528 SF
FUTURE: 5,000 SF
TOTAL: 188,776 SF (18.81%)

7. MINIMUM REQUIRED BUILDING SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 25'

8. MINIMUM DIMENSIONAL STANDARDS:
MINIMUM LOT SIZE: 25,000 SF
SMALLEST LOT SHOWN: 25,000 SF
AVERAGE LOT SIZE: 25,000 SF
MAXIMUM LOT COVERAGE: 30%
MINIMUM LOT WIDTH AT FRONT SETBACK: 80'

9. PROPOSED STREET: 50' RW, GRANDY MANOR - 1,880 LF

10. A 20' DRAINAGE, LANDSCAPE, UTILITY, & PEDESTRIAN EASEMENT IS HEREBY ESTABLISHED ALONG ALL RIGHT OF WAYS, A 10' DRAINAGE & UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES, UNLESS OTHERWISE NOTED.

11. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION THAT IS PERMITTED BY NCDEQ.

12. SOIL TYPES PRESENT ON SITE:
CNA (CONETOE), DS (DRAGSTON), & PT (PORTSMOUTH)

13. NO STREET LIGHTING IS PROPOSED.

14. BOUNDARY INFORMATION TAKEN FROM PLAT NAMED 'RECOMBINATION SURVEY FOR PHYLLIS C. HUTCHINSON & JAMES A. HUTCHINSON, JR.' BY TIMMONS GROUP DATED DECEMBER 13, 2022. PLAT RECORDED IN BOOK R, PAGE 398.

15. DISTURBED AREA FOR DEVELOPMENT SHALL NOT EXCEED 19.75 ACRES

3. THIS SITE IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM PANEL 372090200K, DATED DECEMBER 21, 2018. SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO JURISDICTIONAL WETLANDS PRESENT ON THE SITE. REFER TO USACE ACTION ID. SAW-2022-01949 DATED 02-02-2023.

5. SITE AREA: 1,003,994 SF / 23.04 AC

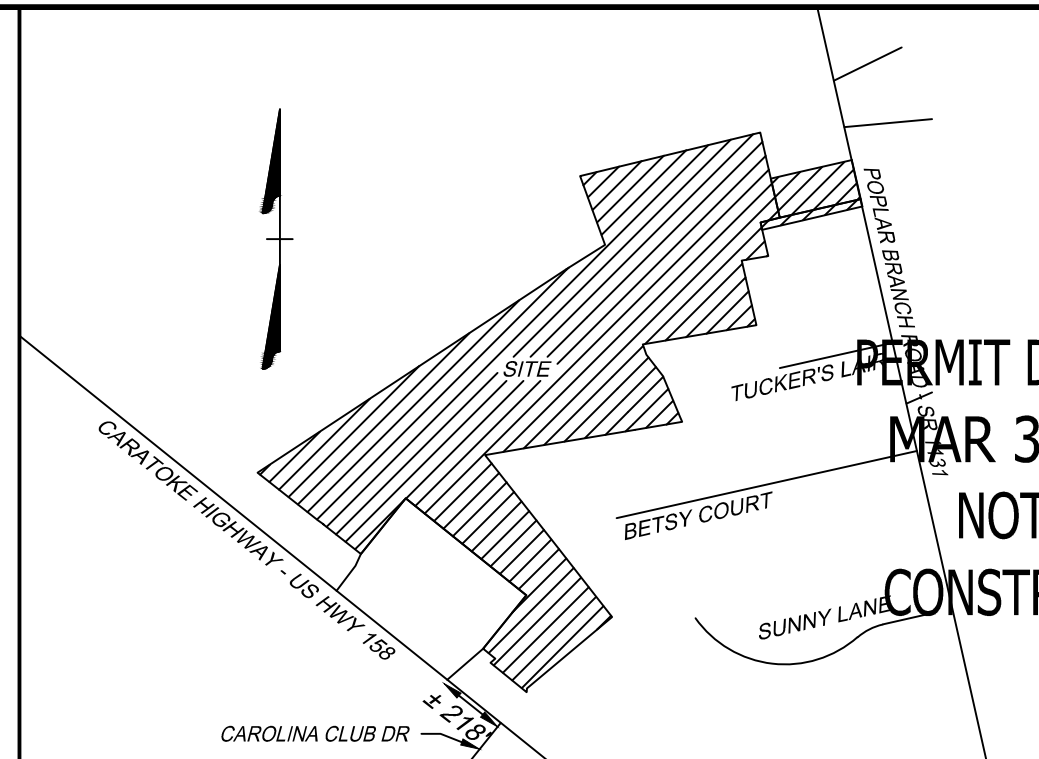
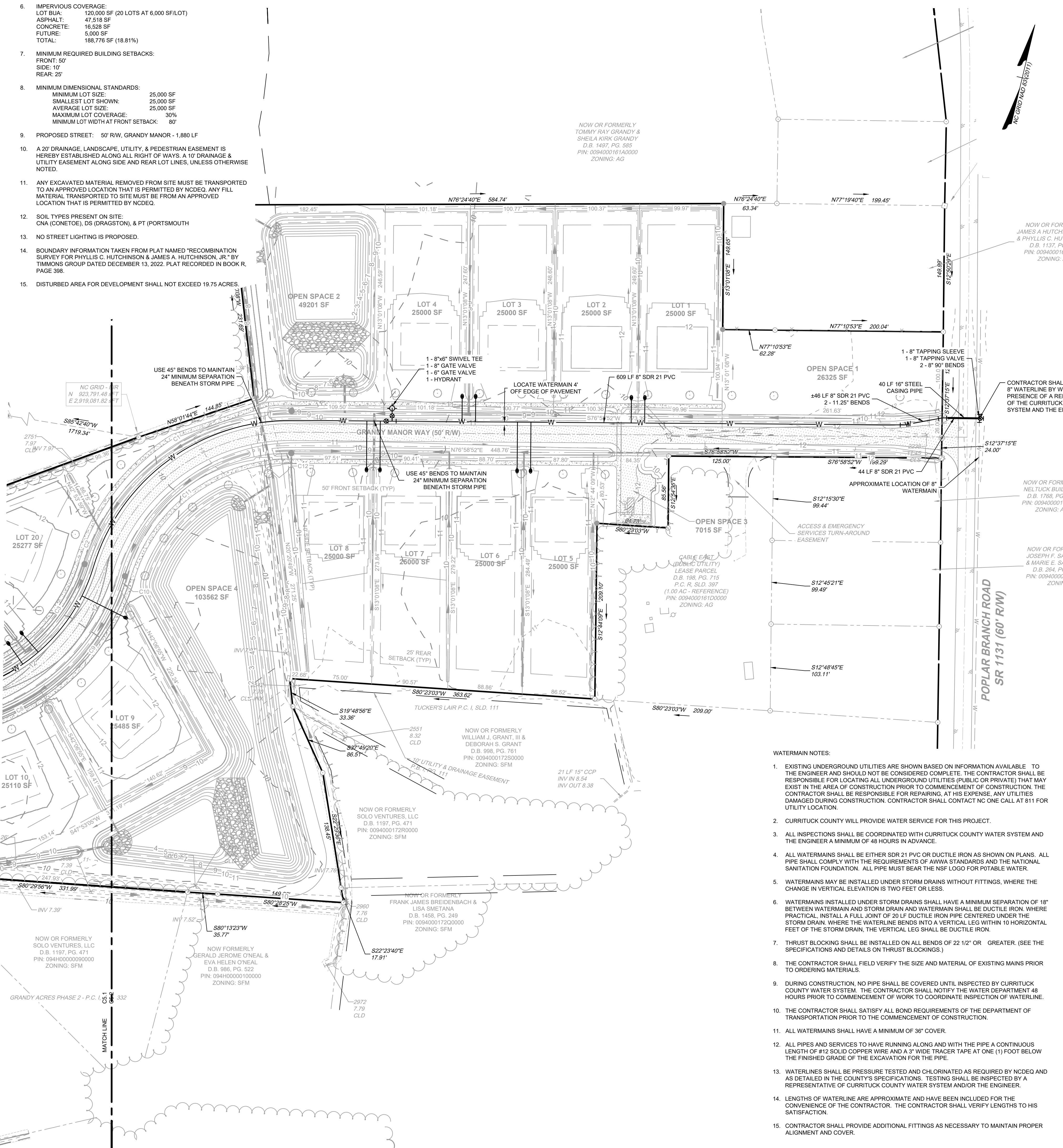
LOT AREA: 500,018 SF / 11.47 AC (49.80%)
RIGHT-OF-WAY AREA: 102,229 SF / 2.34 AC (10.18%)
OPEN SPACE AREA: 401,747 SF / 9.22 AC (40.02%)
TOTAL AREA: 1,003,994 SF = 23.04 AC (100.0%)

CONSERVATION THEME: WOODLANDS AND OPEN SPACE

CONSERVATION AREA REQUIRED:
40% OF TOTAL ACREAGE TO BE OPEN SPACE SET-ASIDE
0.40 X 23.04 = 9.21 AC OPEN SPACE REQUIRED

PRIMARY CONSERVATION AREA PROVIDED = 0 AC
SECONDARY CONSERVATION AREA PROVIDED = 9.22 AC
TOTAL CONSERVATION AREA PROVIDED = 9.22 AC

OVERALL DENSITY CALCULATION PER UDO SECTION 3.3.2
THE PROPERTY IS CLASSIFIED AS G-2 AND G-3 IN THE GRANDY SUB-AREA OF THE IMAGINE CURRITUCK 2040 VISION PLAN.
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS
G2 = 1.0 UNIT / AC = 23 UNITS
PROPOSED NUMBER OF CONSERVATION SUBDIVISION LOTS: 20



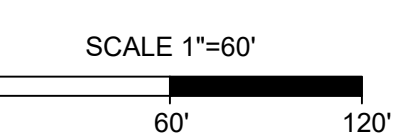
VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX TELEPHONE PEDESTAL
- EX LIGHT POLE
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WATERMAIN NOTES:

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15. CONTRACTOR SHALL PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO MAINTAIN PROPER ALIGNMENT AND COVER.



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DATE
01/27/2026

DRAWN BY
KTY

DESIGNED BY
KDH

CHECKED BY
KDH

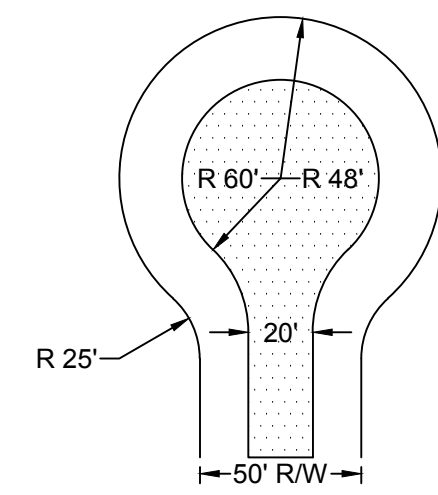
SCALE
1" = 60'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
UTILITY PLAN

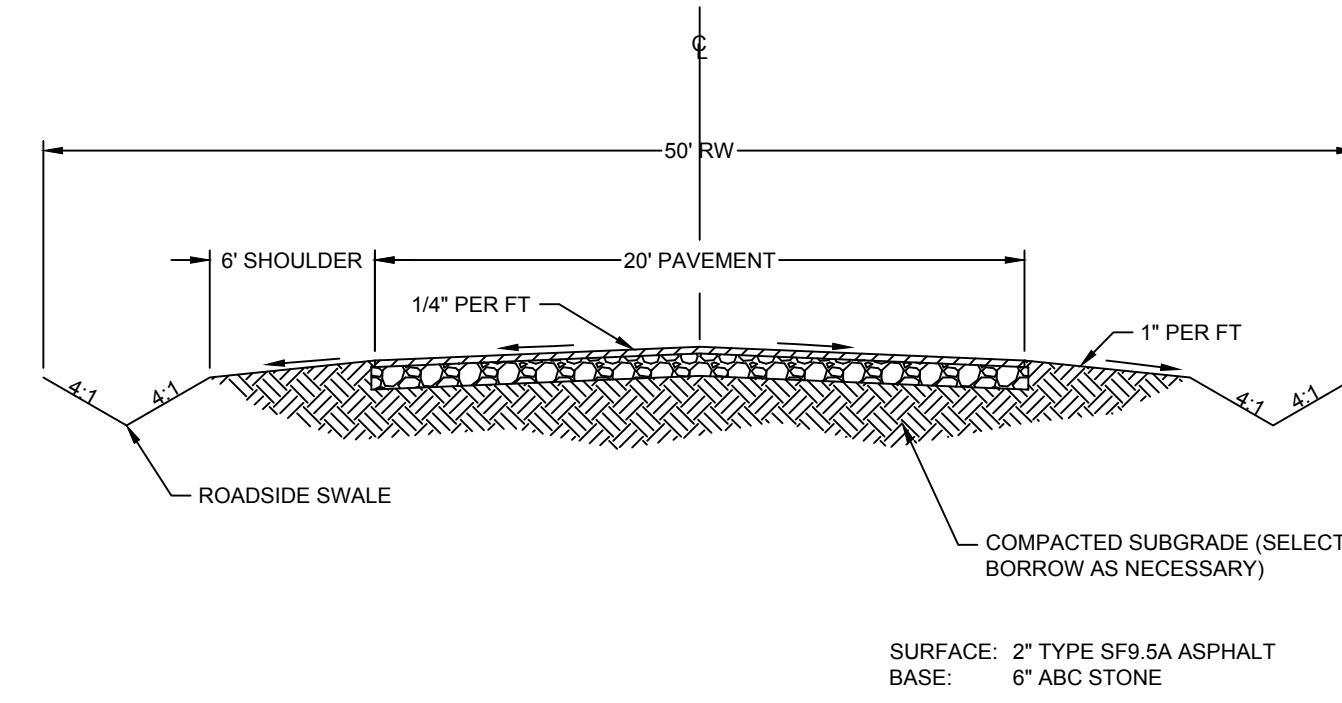
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56469

SHEET NO.
C5.2

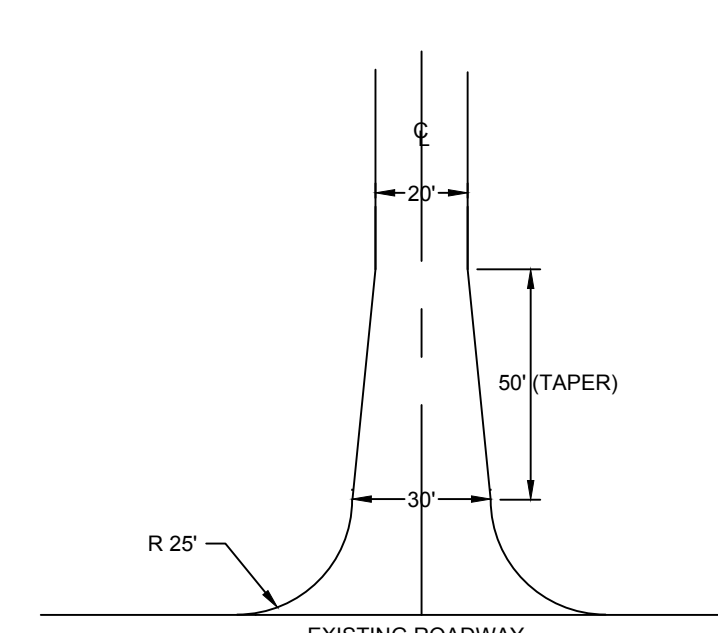




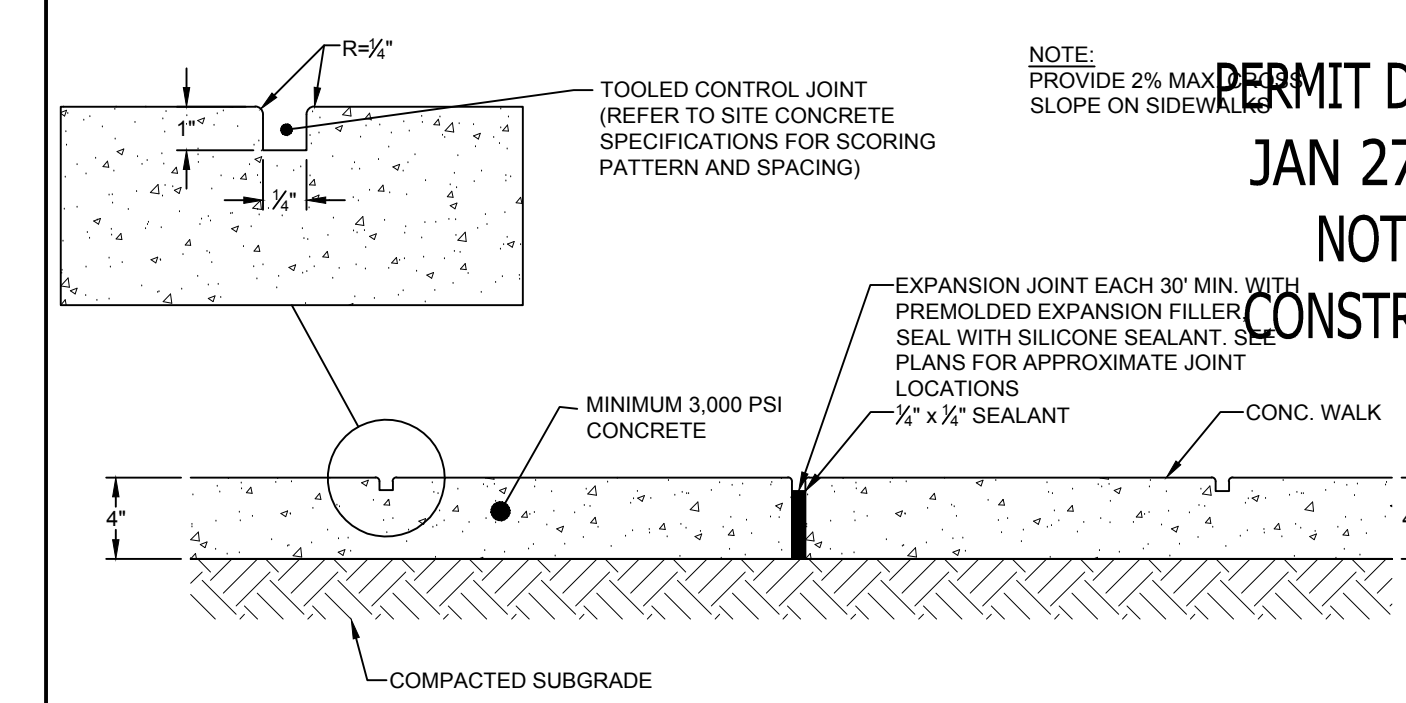
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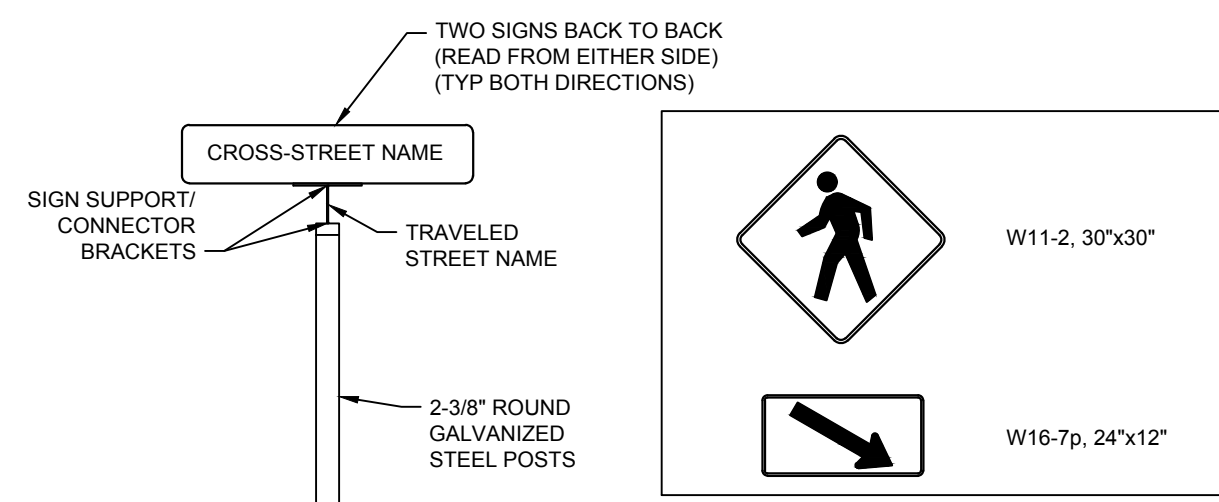
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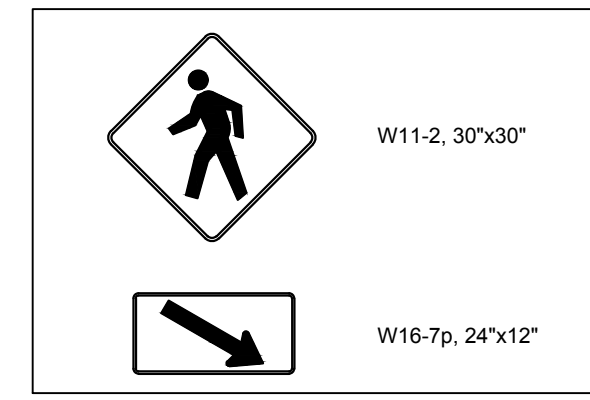
ENTRANCE ROAD DETAIL
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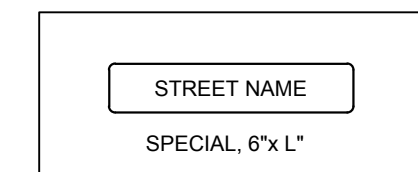
CONCRETE SIDEWALKS
NO SCALE



STREET NAME POSTS



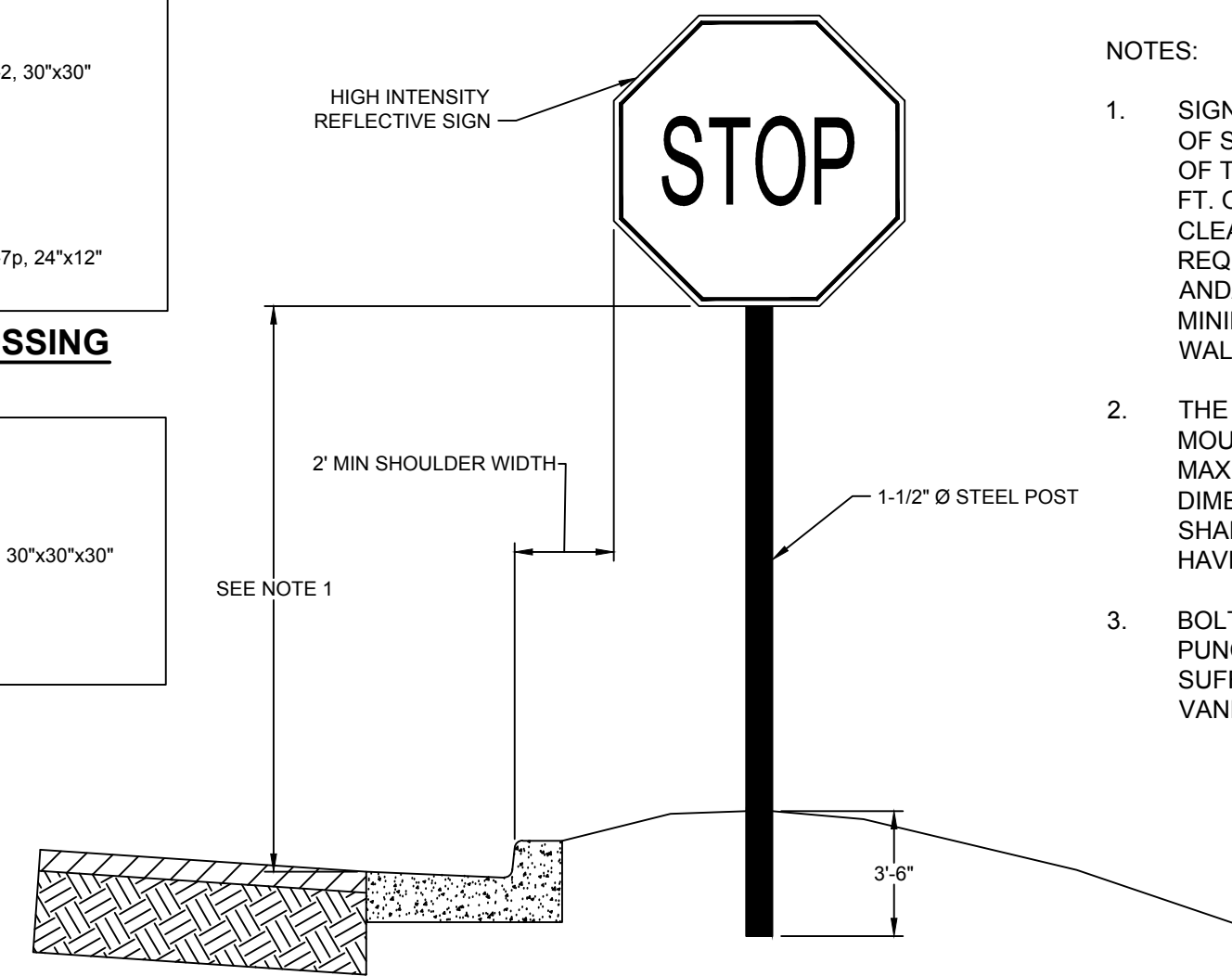
PEDESTRIAN CROSSING



STREET NAME SIGNS



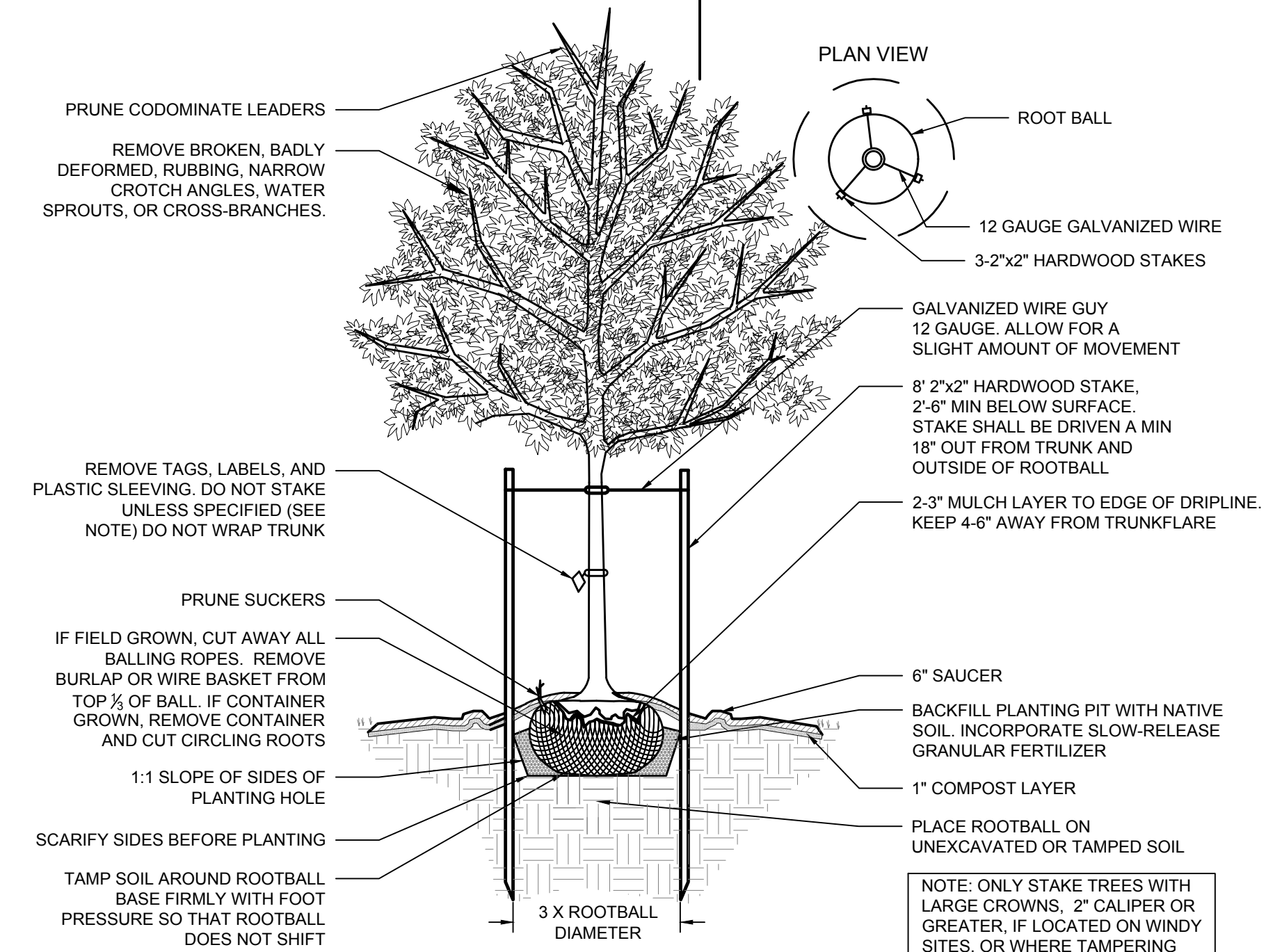
STOP



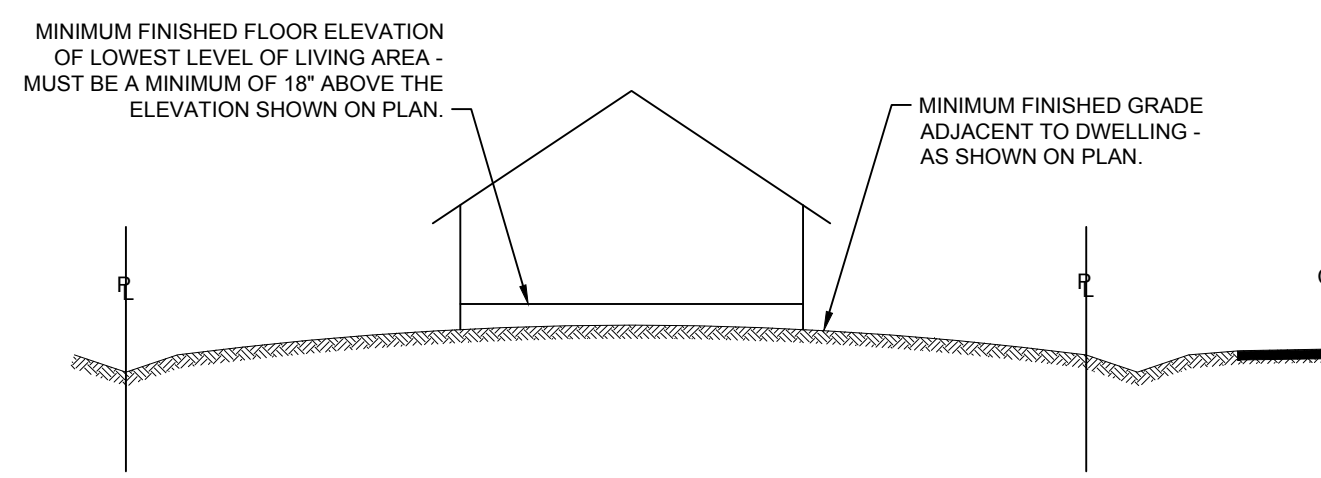
TYPICAL SIGN DETAIL
NO SCALE

NOTES:

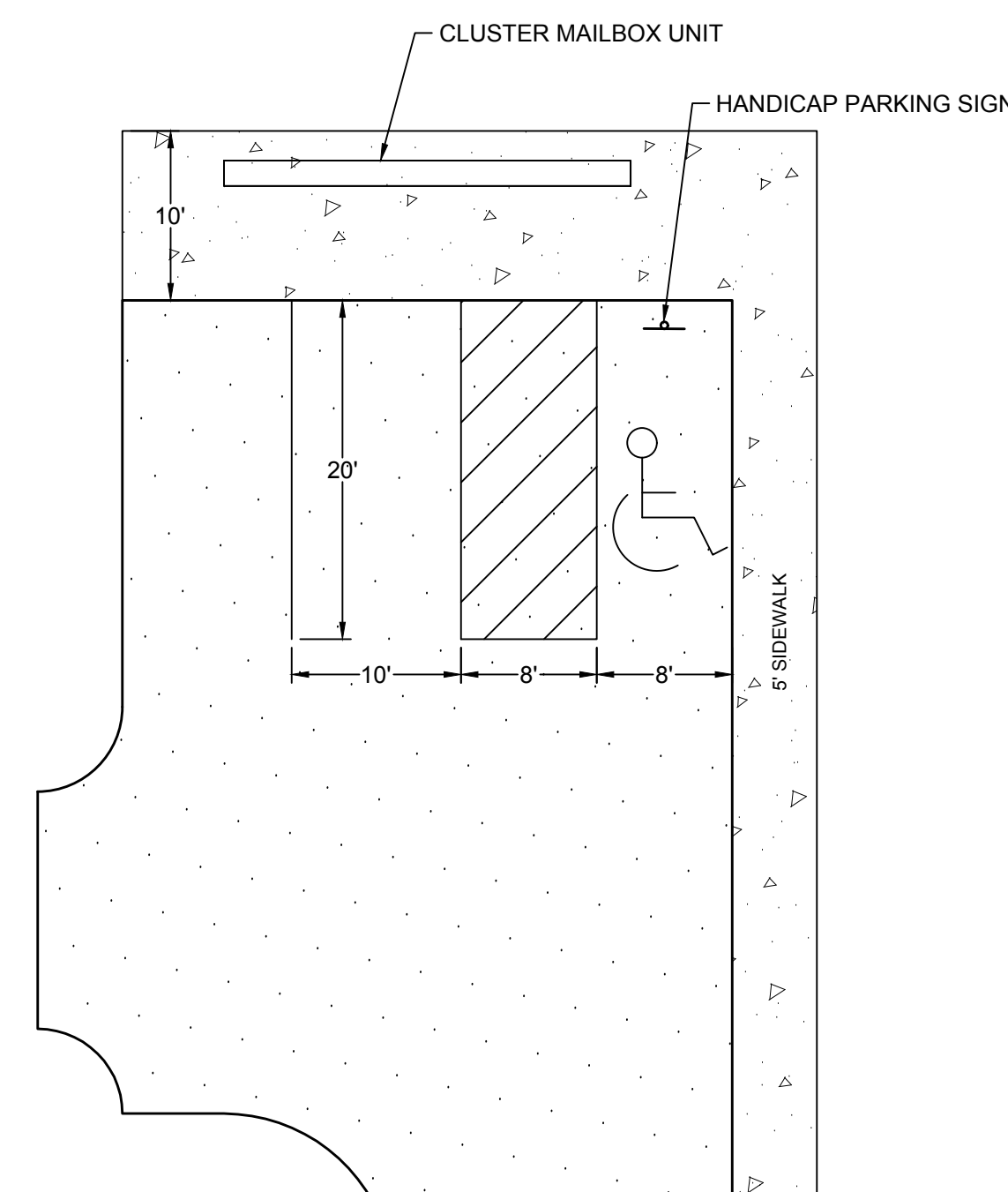
1. SIGN SHALL BE ERECTED WITH THE BOTTOM OF SIGN ASSEMBLY 6 FT. ABOVE THE EDGE OF THE TRAVEL LANE ON FREEWAYS AND 5 FT. ON OTHER ROUTES. THE VERTICAL CLEARANCE SHALL BE 7 FT. WHERE REQUIRED FOR PEDESTRIAN TRAFFIC AND/OR PARKED VEHICLES, OR A 6 FT. +, MINIMUM CLEARANCE TO THE SIDEWALK OR WALKING SURFACE.
2. THE VERTICAL DIMENSIONS BETWEEN MOUNTING HOLE CENTERS SHALL BE 30" MAXIMUM. THE VERTICAL AND HORIZONTAL DIMENSIONS BETWEEN MOUNTING HOLES SHALL BE TO THE WHOLE INCH. SIGN SHALL HAVE A MINIMUM OF 2 BOLTS PER SUPPORT.
3. BOLT THREADS SHALL BE DEFORMED WITH PUNCH AND CHISEL AFTER INSTALLATION SUFFICIENTLY TO REDUCE REMOVAL BY VANDALS.



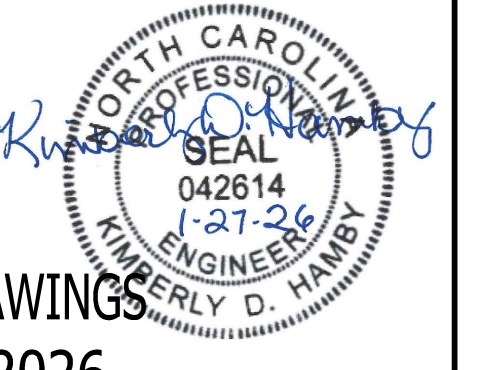
CANOPY TREE DETAIL
NO SCALE



LOT CROSS-SECTION
NO SCALE



CLUSTER MAILBOX DETAIL
NO SCALE



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JAN 27, 2026

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DATE
01/27/2026

DRAWN BY
KTY

DESIGNED BY
N/A

CHECKED BY
KDH

SCALE
NO SCALE

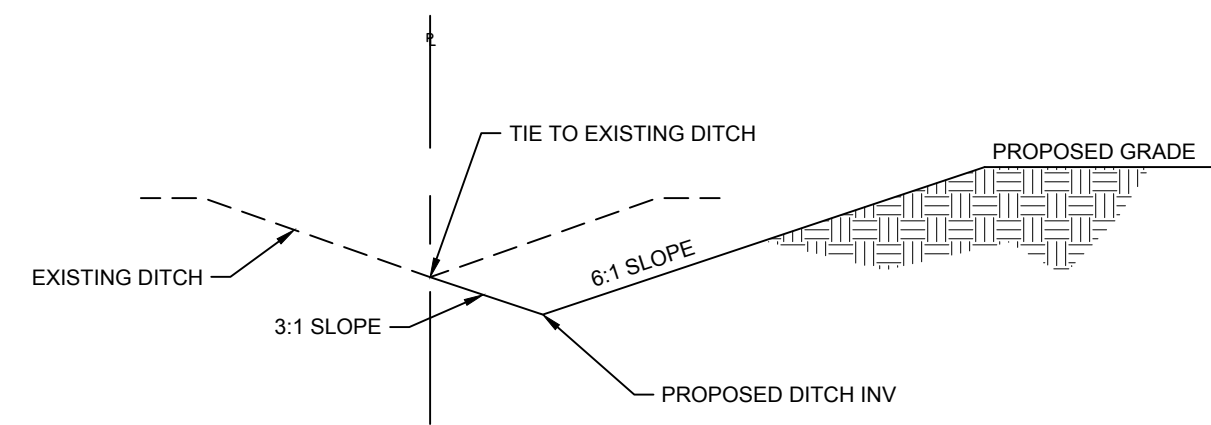
TIMMONS GROUP

GRANDY MANOR SUBDIVISION
NORTH CAROLINA LICENSE NO. C-1652
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

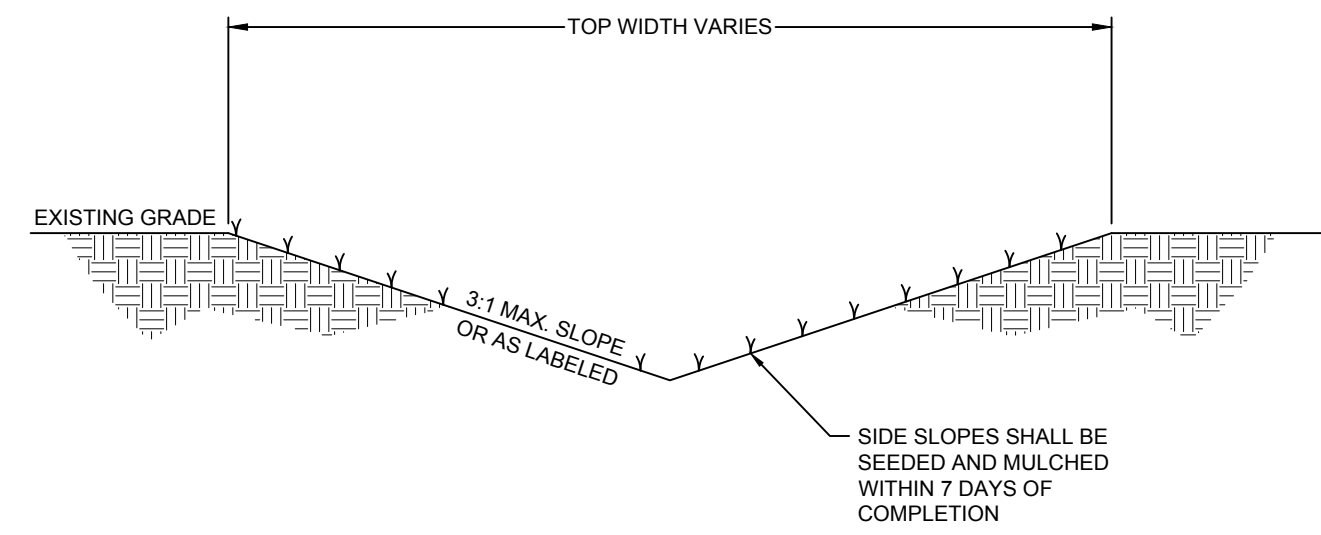
JOB NO.
56469

SHEET NO.
C6.0

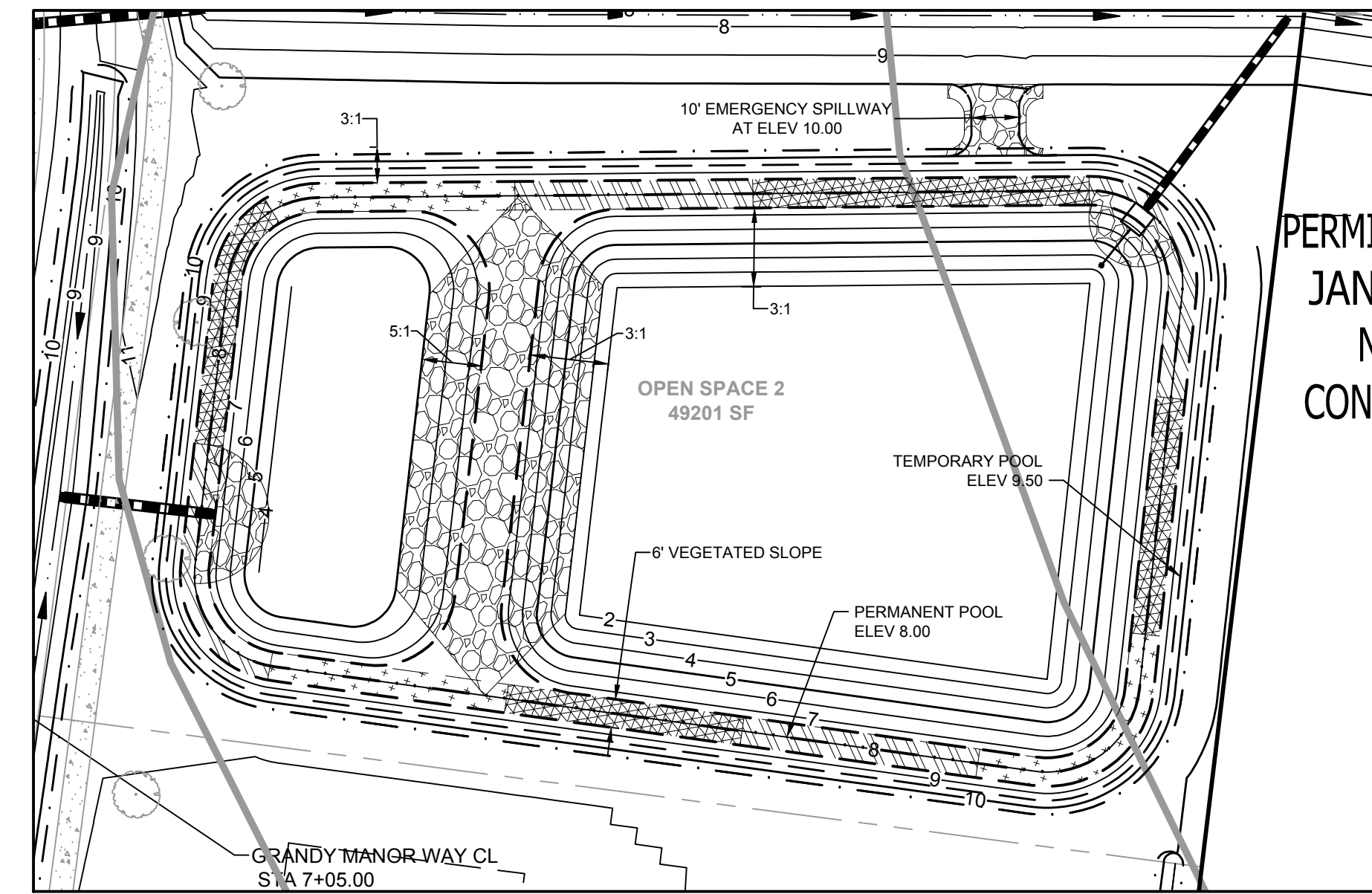
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ONE SIDE DITCH CLEANOUT
NO SCALE



TYPICAL DITCH/SWALE
NO SCALE



STORMWATER POND 1 DETAIL
SCALE: 1" = 30'



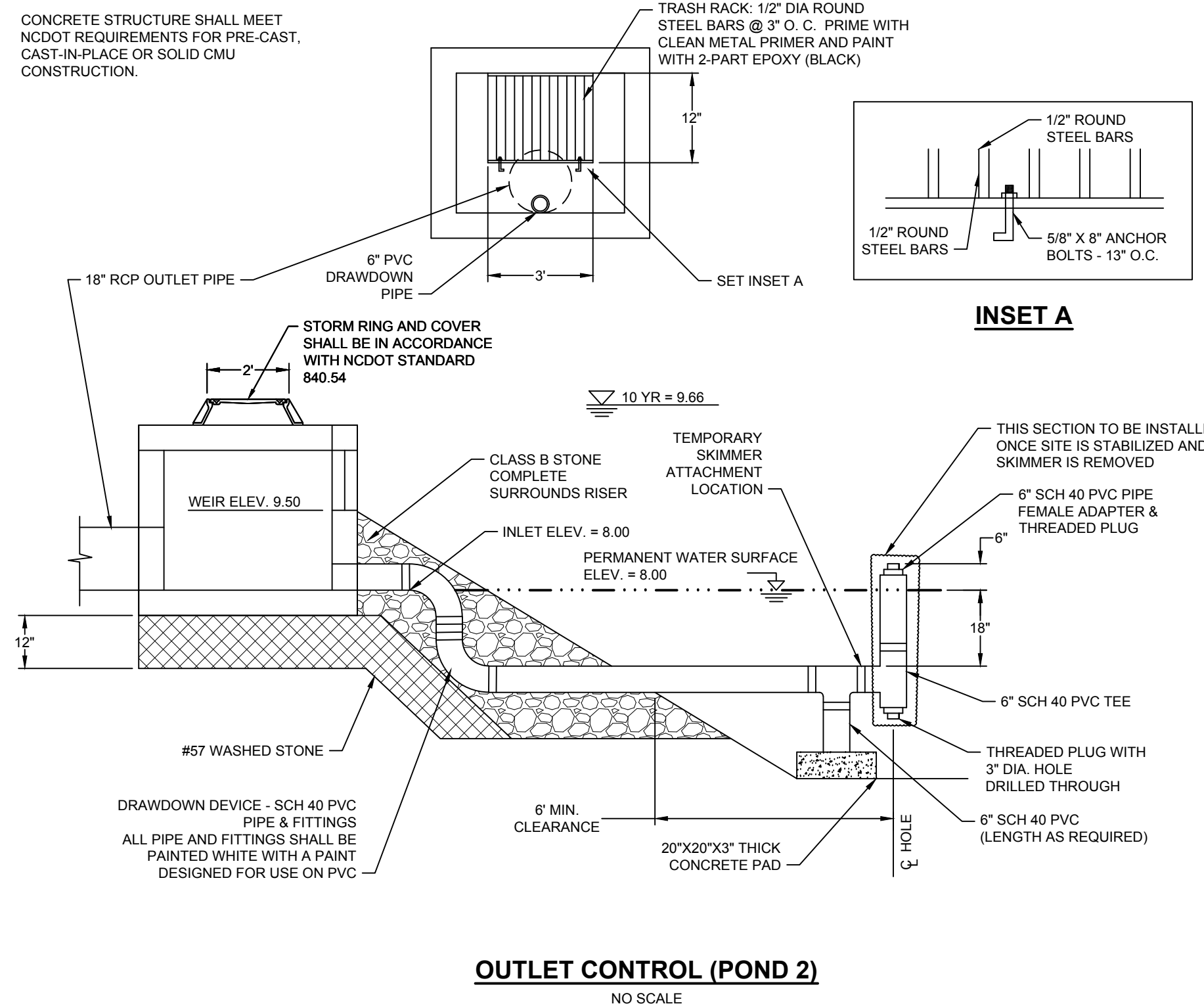
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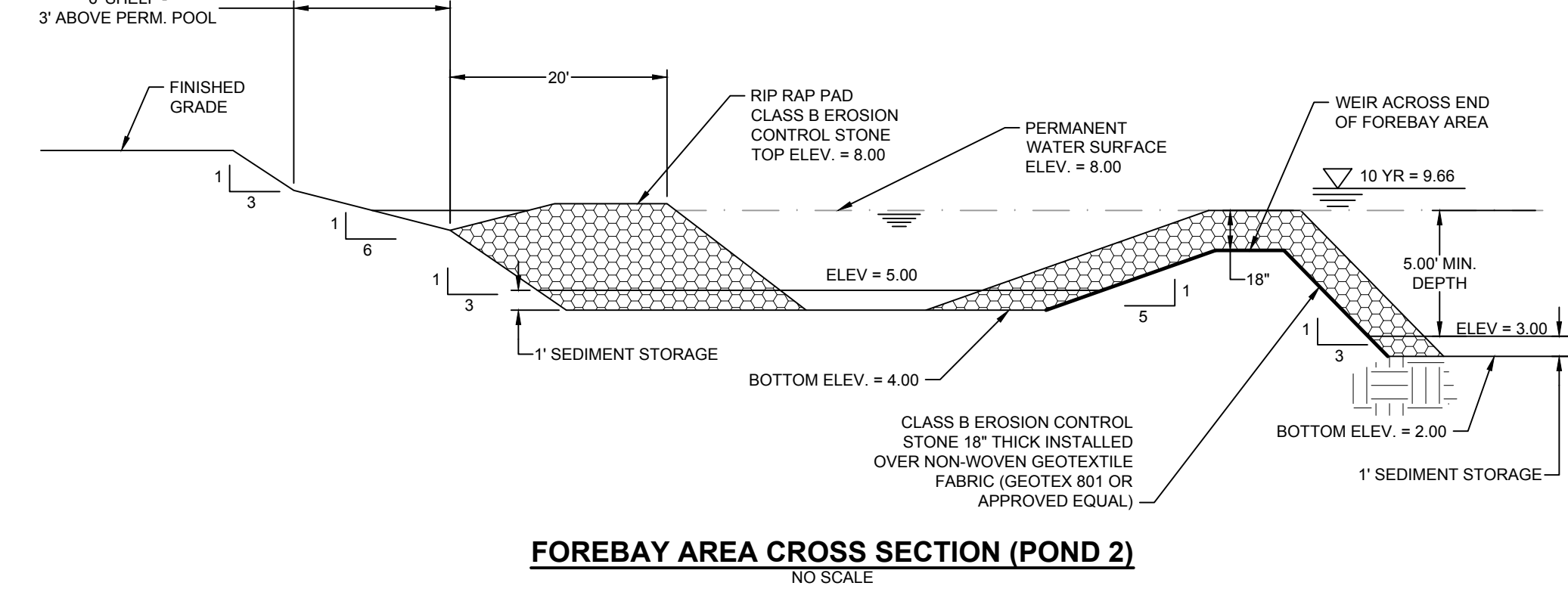
REVISION DESCRIPTION

DATE	DESCRIPTION

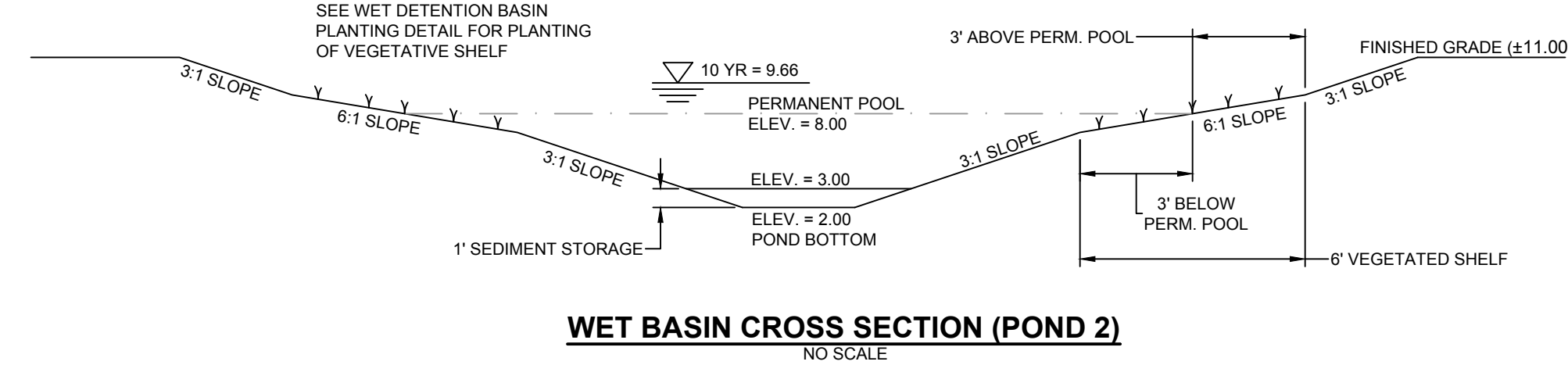
DATE	01/27/2026
DRAWN BY	KTY
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	NO SCALE



OUTLET CONTROL (POND 2)
NO SCALE



FOREBAY AREA CROSS SECTION (POND 2)
NO SCALE



WET BASIN CROSS SECTION (POND 2)
NO SCALE

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA

STORMWATER DETAILS

JOB NO.	56469
SHEET NO.	C6.2

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed 7 days for slopes greater than 50' in length and with slopes steeper than 4:1 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	10 days for Falls Lake Watershed 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 10 days for Falls Lake Watershed unless there is zero slope
(e) Areas with slopes flatter than 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roll-on erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roll-on erosion control products with grass seed

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
 - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
 - Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
 - Provide ponding area for containment of treated stormwater before discharging offsite.
 - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

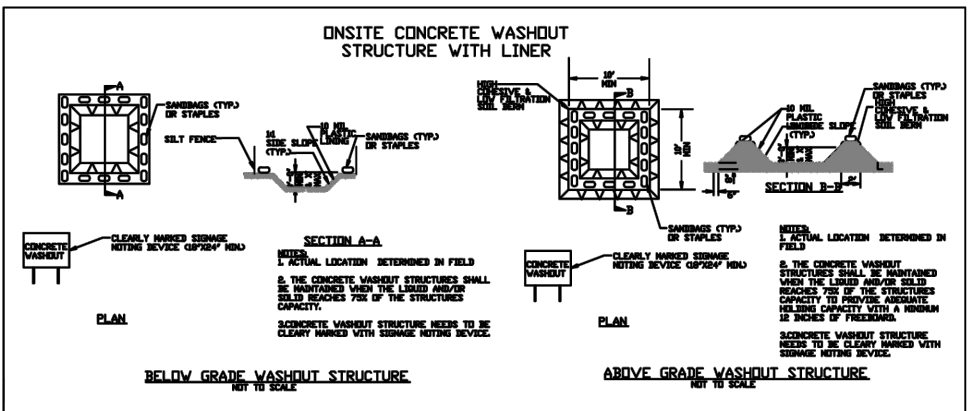
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

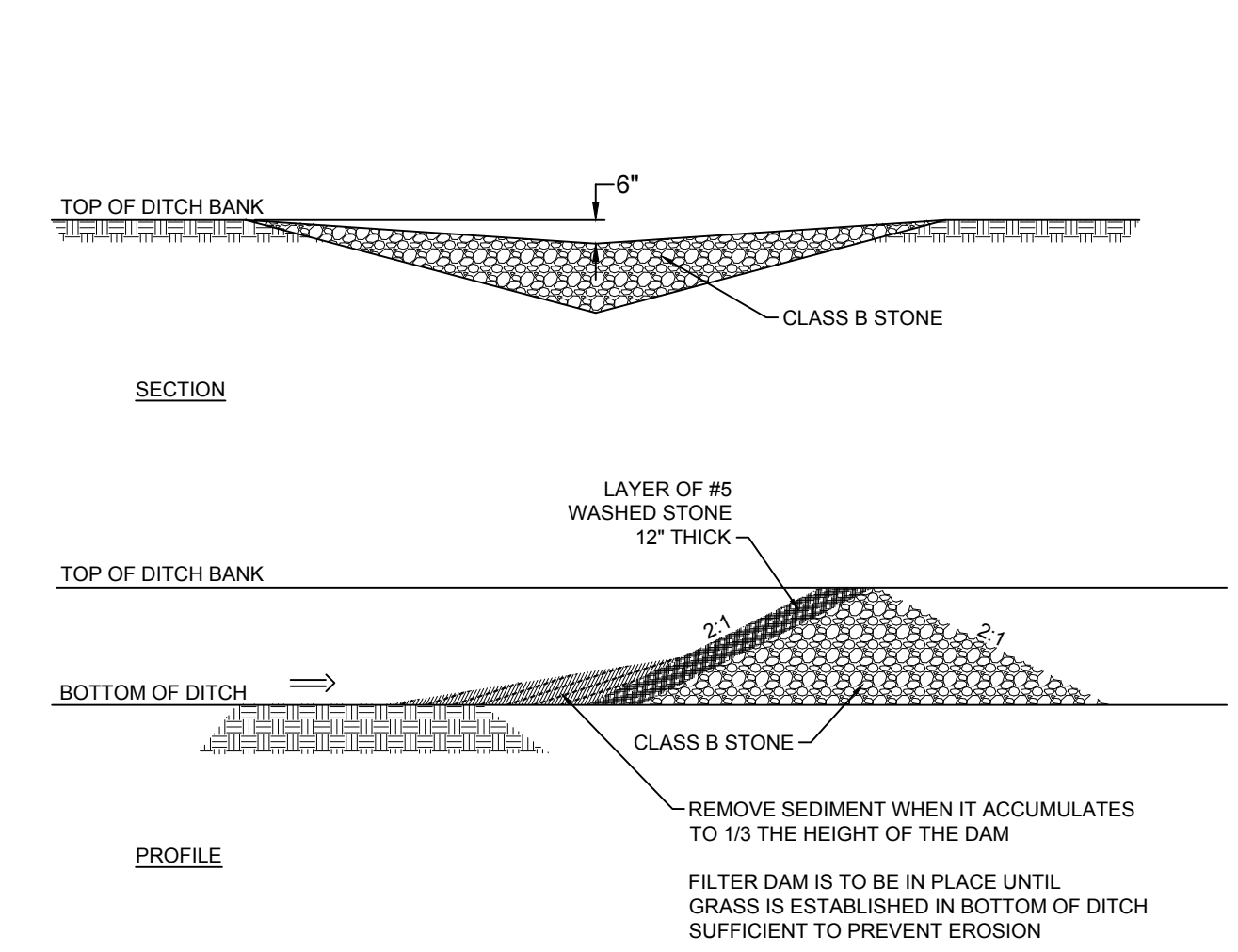
- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mixer trucks in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

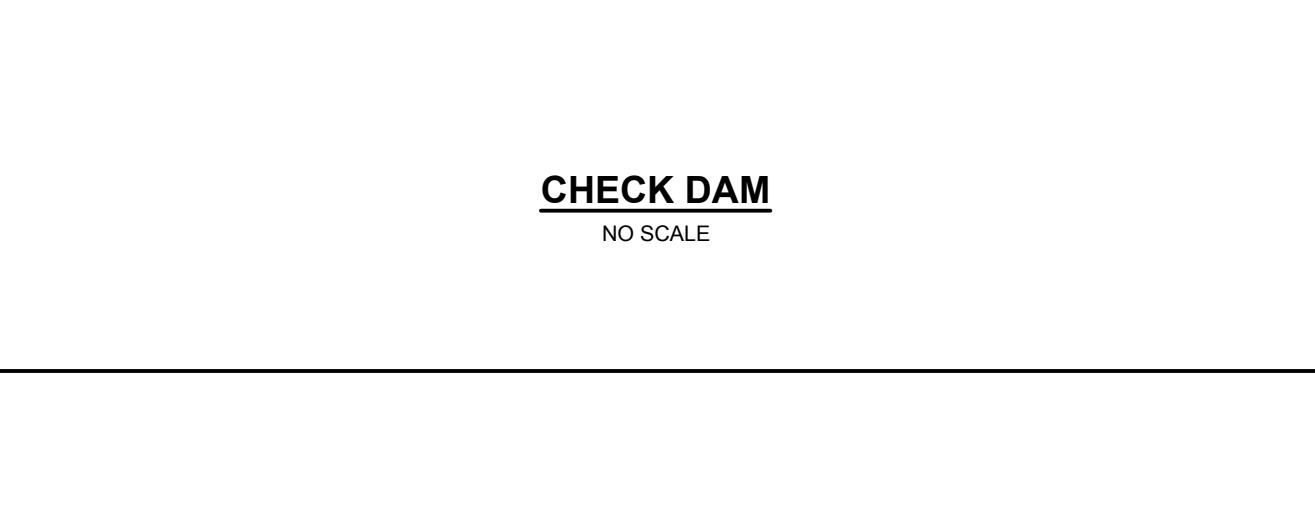
HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

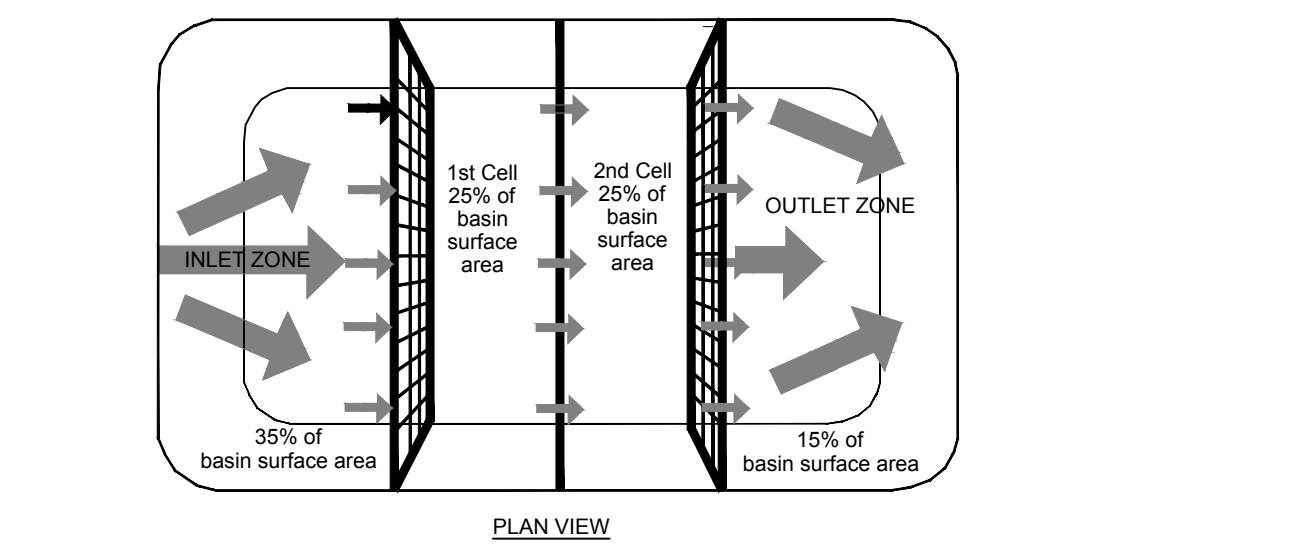


SEEDBED PREPARATION

- CONSTRUCTION SPECIFICATIONS
- PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEED USING TILLAGE AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL COMPACTED SOIL, AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - SOIL SHALL RECEIVE LIME, FERTILIZER AND/OR SUPERPHOSPHATE UNIFORMLY AS NEEDED PER RECOMMENDATIONS FROM NORTH CAROLINA DEPARTMENT OF AGRICULTURE OR OTHER COMMERCIAL LABORATORY.
 - SEED ON A FRESHLY PREPARED SEEDBED AND ENSURE SEED IS LIGHTLY COVERED FOLLOWING INSTALLATION.
 - MULCH IMMEDIATELY AFTER SEEDING.
 - CONTRACTOR SHALL SEED ALL AREAS THAT ARE DISTURBED WITHIN TWO DAYS. INSPECT ALL SEEDED AREAS AND MAKE SURE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF POSSIBLE, AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETE, AN INSPECTION WILL BE COMPLETED TO DETERMINE IF ADDITIONAL SEEDING WILL BE REQUIRED.
- *APPLY: FERTILIZER, LIME, AND MULCH SHALL BE APPLIED AT RATES RECOMMENDED BY NCDA (OR OTHERS), OTHERWISE, APPLY AS DESCRIBED BELOW.
- AGRICULTURAL LIMESTONE - 1-1.5 TONS/ACRE ON COARSE TEXTURED SOILS AND 2-3 TONS/ACRE IN FINE-TEXTURED SOILS. SOILS WITH PH OF 6 OR HIGHER NEED NOT BE LIMED.
FERTILIZER - 700/1000 LBS/ACRE (10-10-10)
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE



CHECK DAM
NO SCALE



COIR BAFFLES
NO SCALE

- MAINTENANCE**
INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.
- REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on-site or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, record the following: 1. Description, evidence and date of corrective actions taken, and 2. Record of any record of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (Installation of perimeter E&S measures, clearing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S plan.	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measures or if the E&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S measures.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous two months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

- Permittees shall report the following occurrences:
- Visible sediment deposition in a stream or wetland.
 - Oil spills if:
 - They are 25 gallons or more.
 - They are less than 25 gallons but cannot be cleaned up within 24 hours.
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
 - Release of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
 - Anticipated bypasses and unanticipated bypasses.
 - Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)(c) above	<ul style="list-style-type: none"> Anticipated bypasses [40 CFR 122.41(m)(3)] Within 24 hours, an oral or electronic notification. A report at least 10 days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass. Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6). Division staff may waive the requirement for a written report on a case-by-case basis.
(c) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6). Division staff may waive the requirement for a written report on a case-by-case basis.
(d) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(f)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6). Division staff may waive the requirement for a written report on a case-by-case basis.



PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

PERMIT DRAWINGS
JAN 27, 2026

NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE
ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.3030 FAX 252.692.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

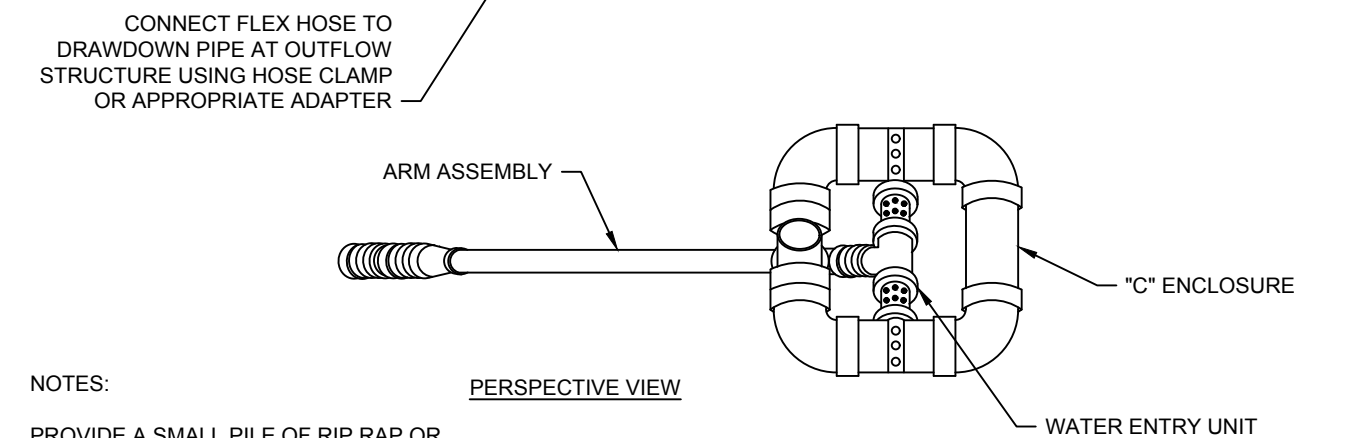
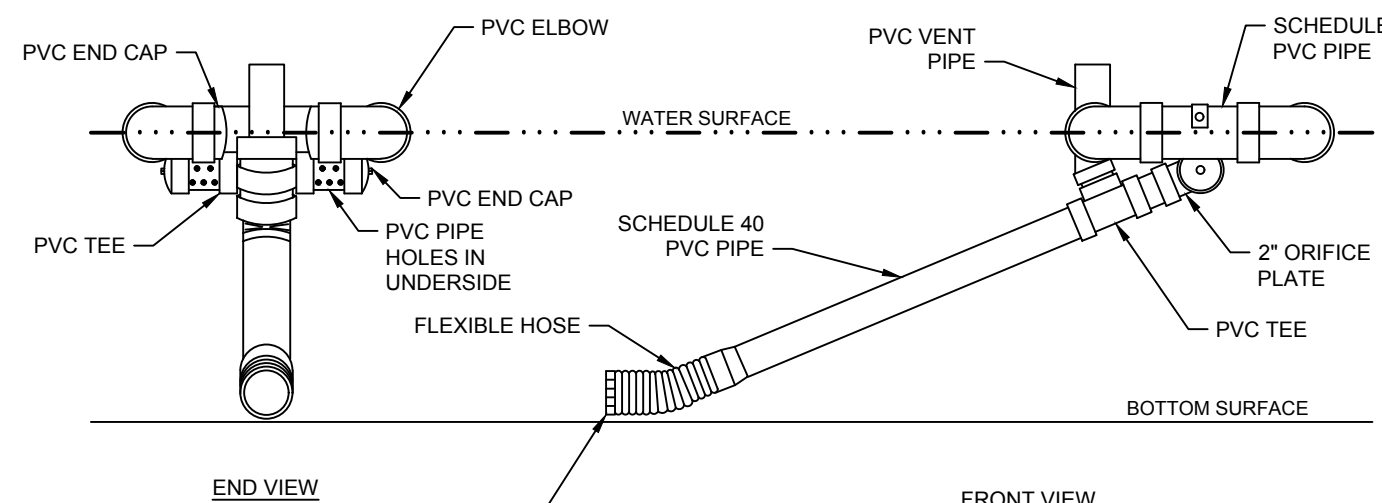
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TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
GRANDY MANOR SUBDIVISION
POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION & SEDIMENT CONTROL DETAILS

JOB NO.
56469
SHEET NO.
C6.3

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NOTES:
 PROVIDE A SMALL PILE OF RIP RAP OR CONCRETE MASONRY BLOCK DIRECTLY BELOW SKIMMER TO PREVENT SKIMMER FROM RESTING ON SOIL.
 ALL SCHEDULE 40 PVC PIPE & FITTINGS SHALL BE 4" (SKIMMER BASIN 1) AND 3" (SKIMMER BASIN 2) MIN. DIA.
 SKIMMER TO BE TETHERED

SEE N.C. DENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR CONDITIONS WHERE PRACTICE APPLIES; PLANNING CONSIDERATION & DESIGN CRITERIA.

SKIMMER
NO SCALE

PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN

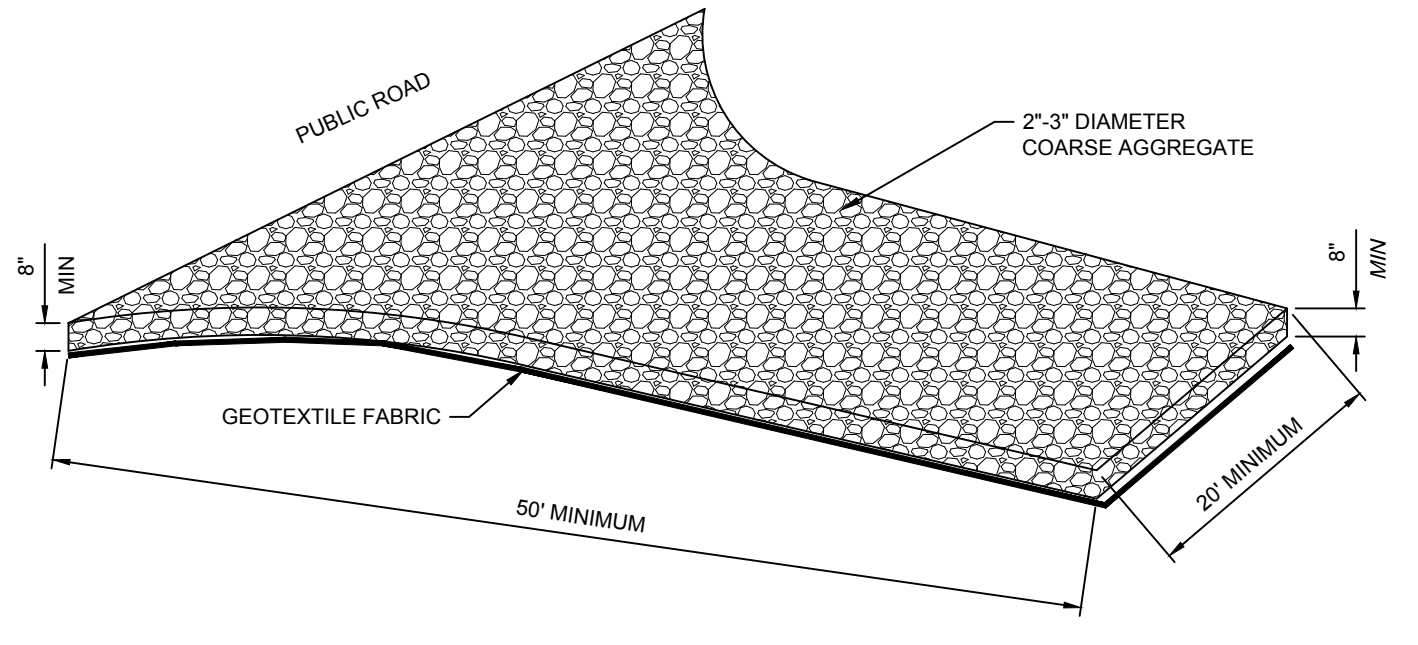
DATE	TYPE	BROADCAST SEEDING RATES
SEP 1 - MAR 31	COMMON BERMUUDA 'SAHARA' (UNHULLED) REBEL II FESCUE	130 LBS/ACRE 175 LBS/ACRE
APR 1 - AUG 31	COMMON BERMUUDA 'SAHARA' (HULLED) REBEL II FESCUE	90 LBS/ACRE 175 LBS/ACRE
AUG 15 - APR 30	PERENNIAL RYE (AS A NURSE PLANT)	40 LBS/ACRE IN ADDITION TO OTHER SEED TYPES

TEMPORARY SEEDING SCHEDULE

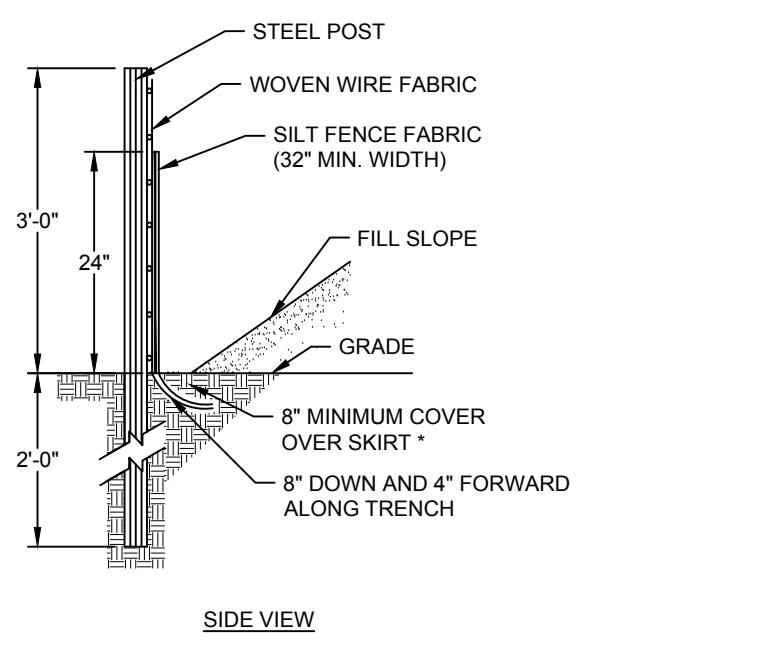
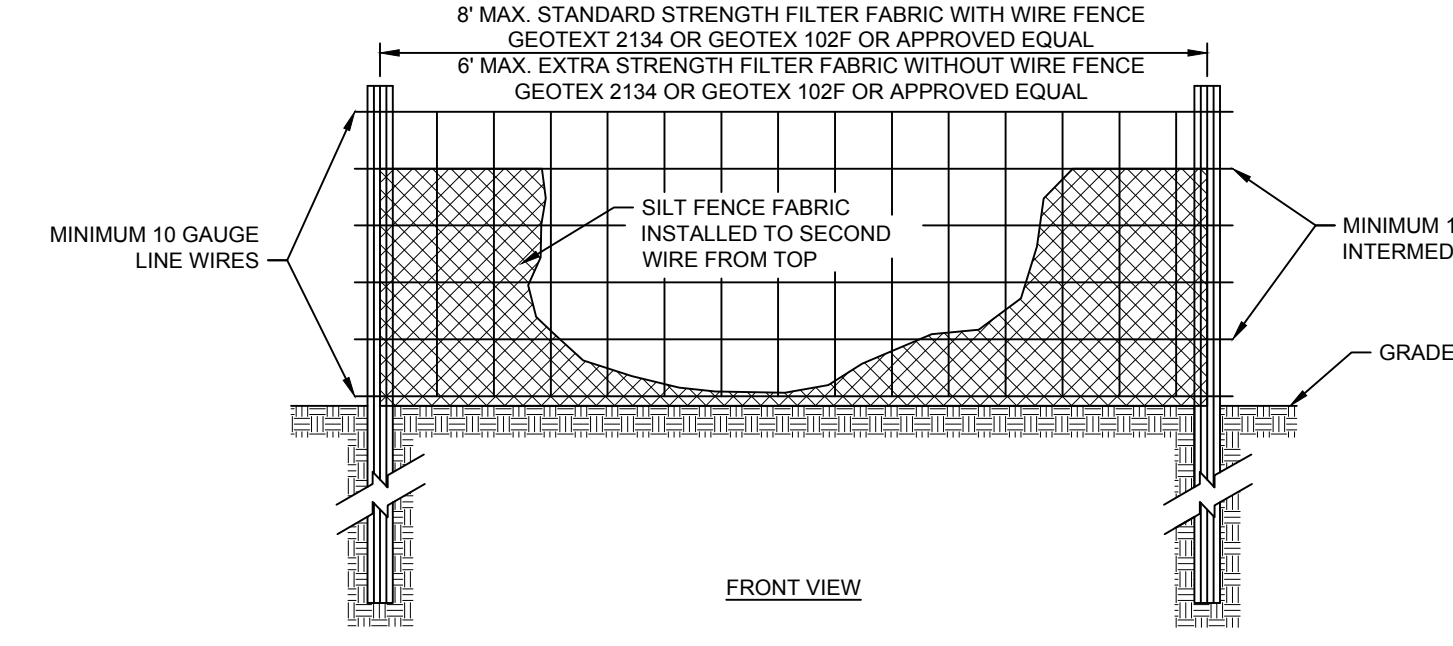
DATE	TYPE	PLANTING RATES
APR 15 - AUG 15	GERMAN MILLET	40 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	120 LBS/ACRE

CONSTRUCTION SPECIFICATIONS:
 1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, AND PROPERLY GRADE IT.
 2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLAN.
 3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
 4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

MAINTENANCE
 MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TWO-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
NO SCALE



CONSTRUCTION SPECIFICATIONS
 1. USE SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6481.
 2. SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0-120 DEGREES F.
 3. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.33 LB/LF STEEL WITH A MINIMUM LENGTH OF 5'. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.
 4. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 14 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

MAINTENANCE
 1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE
NO SCALE

DATE:

- NOTES:**
- Install temporary sediment basins to the approved design. If the basin will eventually be converted to a permanent SCM device, the basin must function as a temporary sediment basin and meet the following parameters until completion of the project:
 - Maximum Drainage Area: 100 acres
 - Minimum Sediment Storage Volume: 1800 cubic feet per acre of disturbed area
 - Minimum Surface Area: 435 square feet per cfs of Q_{10} peak inflow
 - Minimum dewatering time: 48 hours
 - Clear, grub, and strip topsoil from areas under the embankment to remove trees, vegetation, roots, and other objectionable material. Delay clearing the pool area until the dam is complete. Stockpile all topsoil or soil containing organic matter for use on the outer shell of the embankment to facilitate vegetative establishment.
 - Place temporary sediment control measures below the basin and stockpile as needed.
 - Excavate a cut-off trench along the center line of the earth fill embankment. Cut trench to stable soil material, but in no case make it less than 2 feet deep with maximum side slopes no steeper than 1:1. Compaction requirements are the same as those for the embankment.
 - Extend the cut-off trench into both abutments to at least the elevation of the riser crest.
 - Keep the trench dry during backfilling and compaction operations.
 - Fill material should be clean mineral soil, free of roots, woody vegetation, rocks, and other objectionable material. Areas of approved fill should be shown on the plans.
 - Scarify areas on which fill is to be placed prior to placing. Ensure that fill material contains sufficient moisture so it can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction.
 - Place fill material in 6 to 8 inch continuous layers over the entire length of fill area and compact.
 - Construct the embankment to an elevation 10% higher than the design height to allow for settling.
 - Securely attach the riser to the barrel or barrel stub to make a watertight structural connection. All connections should be made using approved watertight assemblies.
 - If no riser structure is to be used, couple the skimmer arm directly into the embankment 1 foot from the bottom of the basin.
 - The arm pipe connecting the skimmer to the riser shall have a minimum length of 6 feet.
 - Place barrel and riser on a firm, smooth foundation of impervious soil.
 - Do not use porous material such as sand, gravel, or crushed stone as backfill around the pipe or anti-seep collars.
 - Place fill material around the pipe spillway in 4-inch layers, and compact it under and around the pipe to at least the same density as the adjacent embankment.
 - Place a minimum depth of 2 feet of compacted backfill over the pipe spillway before crossing it with any construction equipment.
 - Anchor riser in place by concrete or other satisfactory means to prevent flotation.
 - In no case should the pipe conduit be installed by cutting a trench through the dam after the embankment is complete.
 - Install the emergency spillway in undisturbed soil.
 - Discharge water into the basin in a manner to prevent erosion.
 - Construct basin so that the disturbed area is minimized, divert surface water from bare areas and complete the embankment before the area is cleared.
 - Stabilize the emergency spillway embankment and all other disturbed area above the crest of the principal spillway immediately after construction.
 - Seed and place matting for erosion control on interior and exterior side slopes.
 - Install Porous Baffles as specified on following sheets.

- MAINTENANCE:**
- Inspect all measures at least weekly and after each rainfall of 1.0 inch or greater. Make any repairs immediately.
 - Remove sediment and restore basin to its original dimensions when it accumulates to one-half the design depth.
 - Place removed sediment in an area with sediment control measures to ensure no loss of sediment off-site.
 - Check the embankment, spillways, and outlet for erosion damage, and inspect the embankment for piping and settlement.
 - Remove all trash and other debris from the riser and pool area.



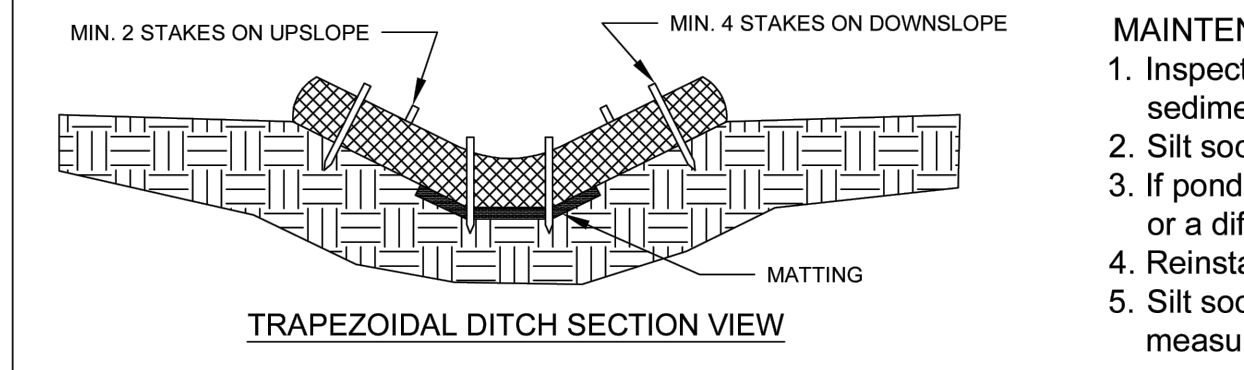
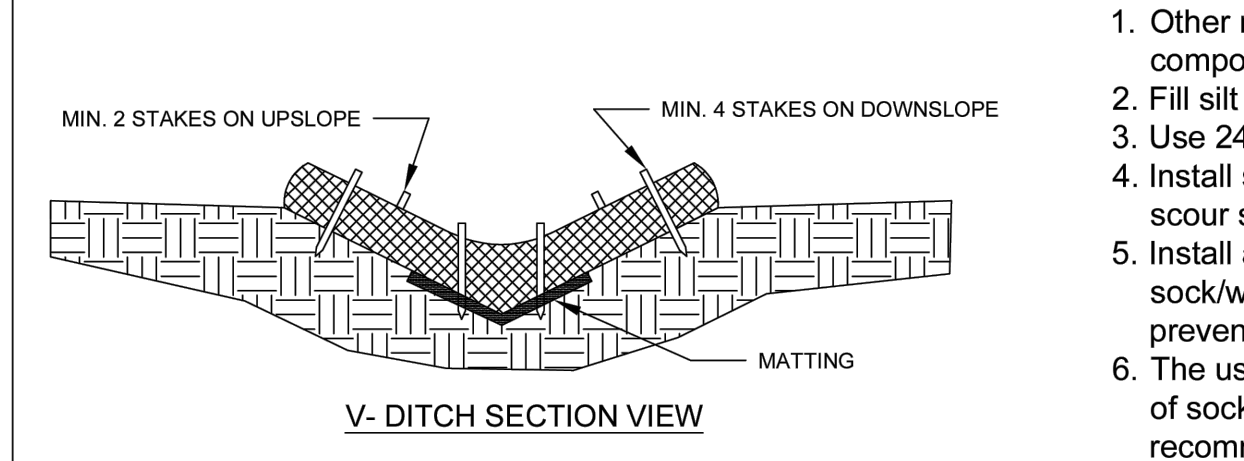
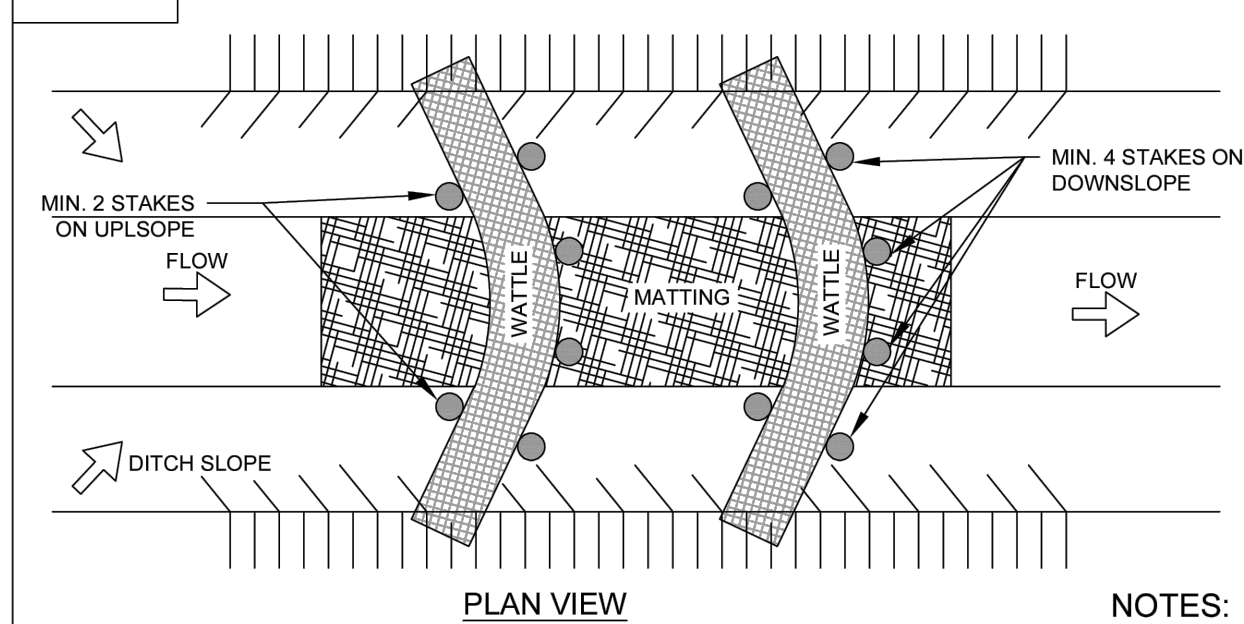
SEDIMENT BASIN

Acceptable Dimensions for Basin Embankment

Fill Height	Minimum Top Width
Less than 10.0 ft	8.0 ft
10.0 ft to 15.0 ft	10.0 ft

Effective Date: 9/1/2023
 In accordance with the 2013 Design Manual Updates

DATE:

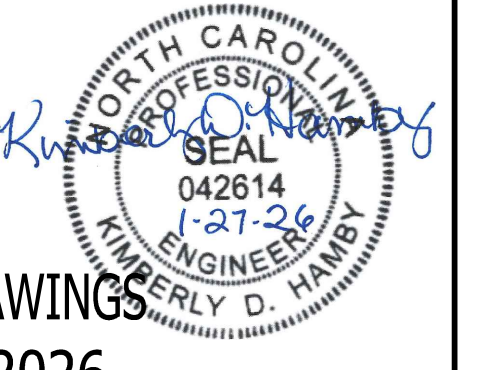


SILT SOCK / WATTLE FOR CHECK DAM

- NOTES:**
- Other materials providing equivalent protection against erosive velocities may be substituted for compost use in silt socks or wattles.
 - Fill silt sock/wattle netting uniformly to the desired length such that logs do not deform.
 - Use 24 inch long wooden stakes with a 2 inch x 2 inch nominal cross section.
 - Install silt sock/wattle(s) to a height on slope so flow will not wash around silt sock/wattle and scour slopes, or as directed.
 - Install a minimum of two up-slope stakes and four down-slope stakes at an angle to wedge silt sock/wattle to ground at bottom ditch. Use staples to secure silt sock/wattle to the ground to prevent undermining.
 - The use of flocculants such as Polyacrylamide (PAM) is recommended. Apply flocculants on top of sock/wattle and to matting on either side of sock/wattle according to manufacturer recommended rates. Reapply after each 1.0 inch rainfall.

- MAINTENANCE:**
- Inspect all measures weekly and after each rainfall of 1.0 inch or greater. Remove accumulated sediment and any debris.
 - Silt sock/Wattle(s) must be replaced if clogged or torn.
 - If ponding becomes excessive, the silt sock/wattle may need to be replaced with a larger diameter or a different measure.
 - Reinstall if damaged or dislodged.
 - Silt socks/Wattles shall be inspected until land disturbance is complete and the area above the measure is permanently stabilized.

Effective Date: 9/1/2023
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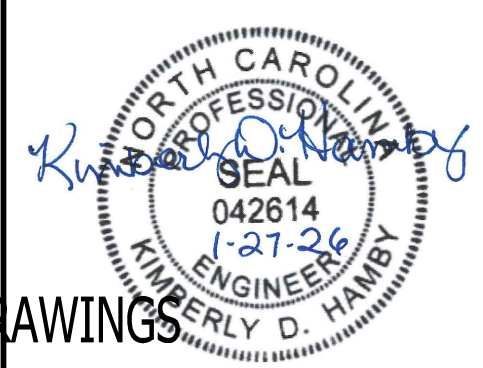
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	DESIGNED BY KDH
	CHECKED BY KDH
	SCALE NO SCALE

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652

GRANDY MANOR SUBDIVISION
 POPLAR BRANCH TOWNSHIP - CURRITUCK COUNTY - NORTH CAROLINA
 EROSION & SEDIMENT CONTROL DETAILS

JOB NO. 56469
 SHEET NO. C6.4

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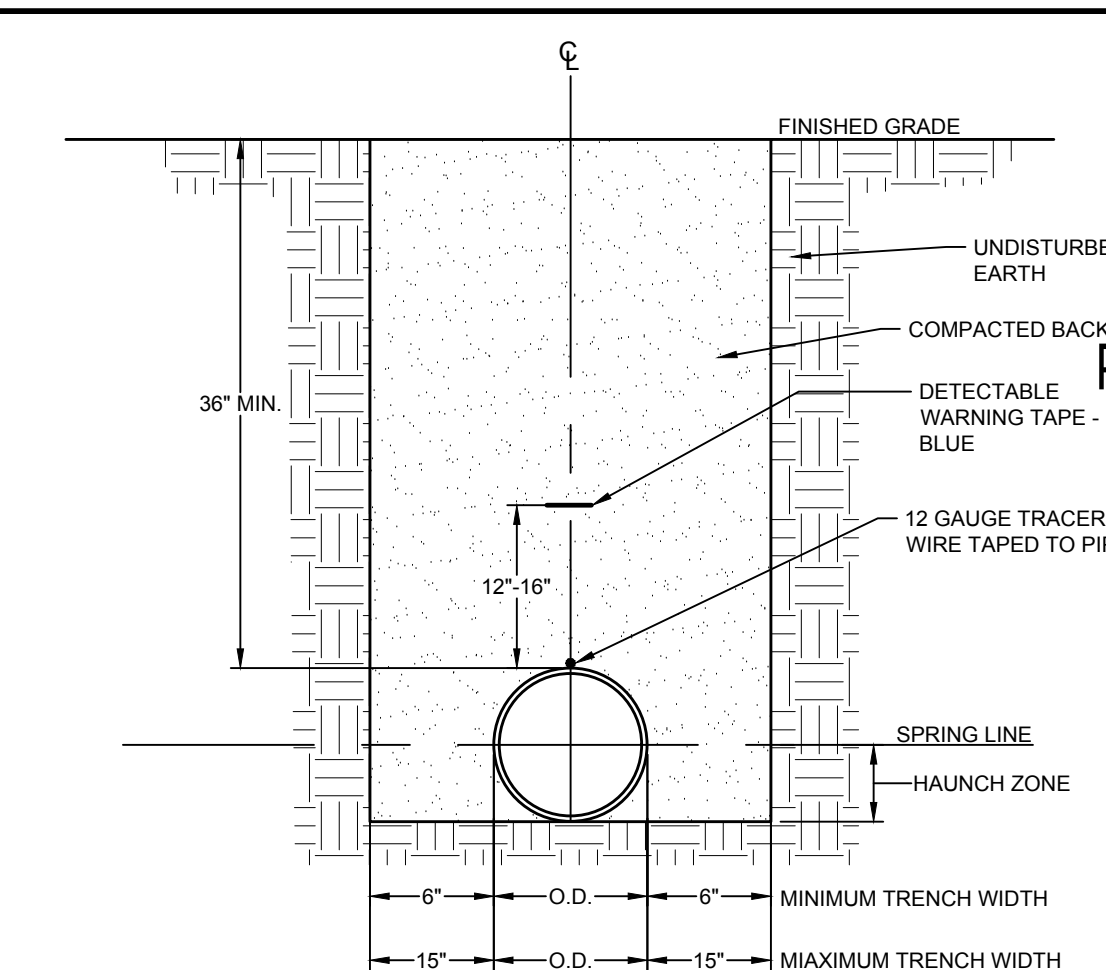
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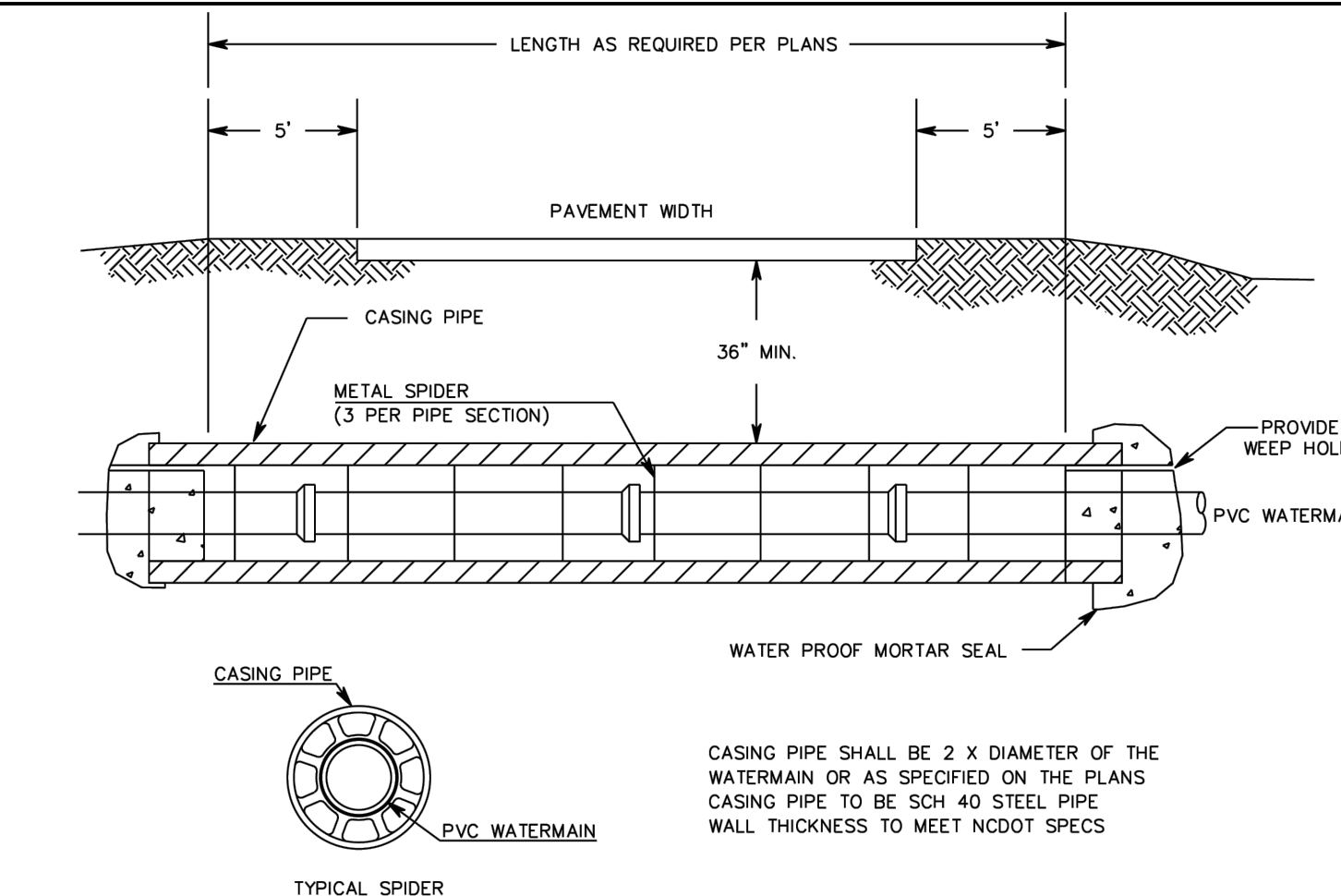
SHEET NO.
 C6.5

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 UTILITY DETAILS



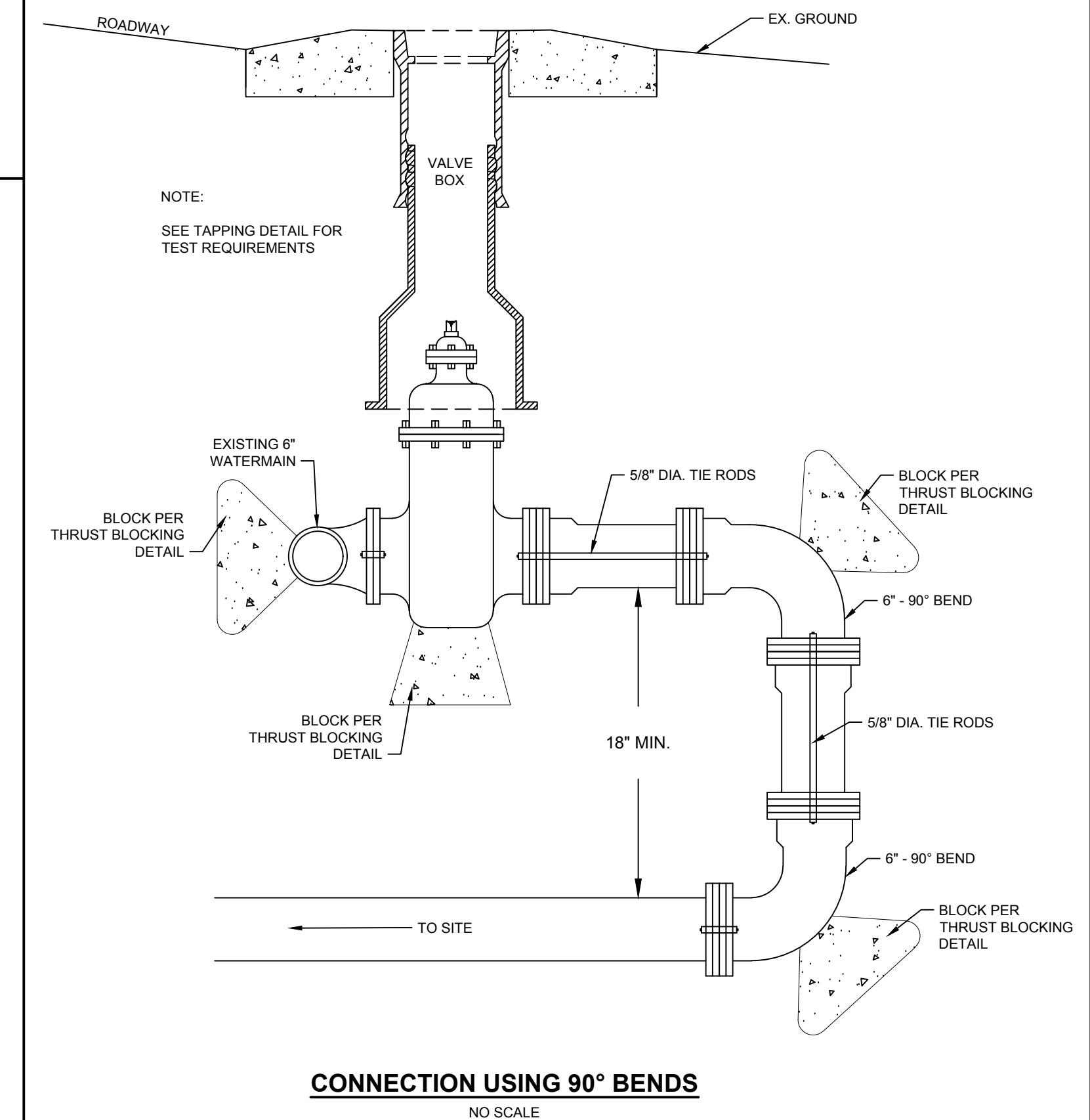
- FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND THE BRACINGS.
- BACKFILL IN AREAS TO REMAIN GRASSED MAY BE NATIVE MATERIAL. BACKFILL IN AREAS TO RECEIVE PAVEMENT OR BUILDING FOUNDATIONS SHALL BE SUITABLE NATIVE MATERIAL OR SELECT OFF-SITE MATERIAL.
- BACKFILL SHALL BE TAMPED IN 6" LAYERS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
- BEDDING MATERIAL BENEATH TYPICAL TRENCH SHALL BE INSTALLED ONLY AS NECESSARY WHEN NATIVE SOILS ARE UNSTABLE.

TYPICAL WATERLINE TRENCH DETAIL
 NO SCALE

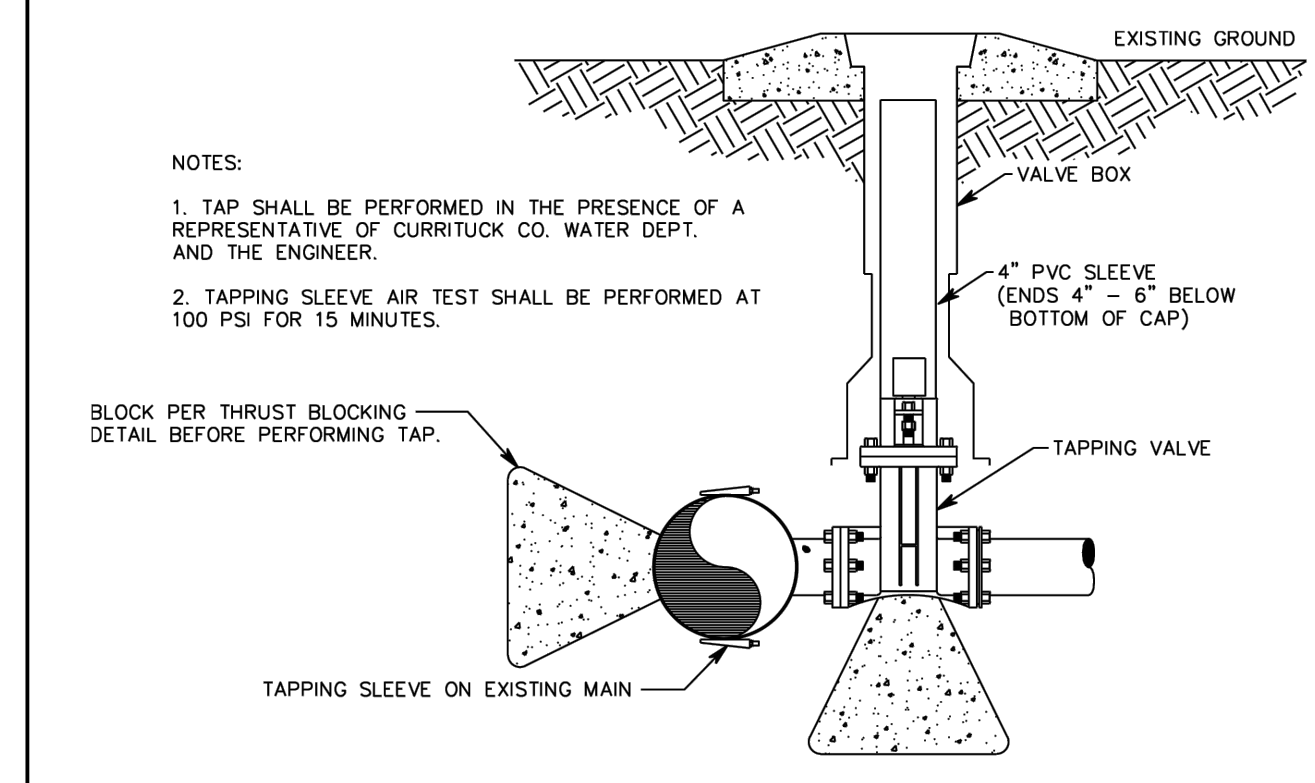


CASING PIPE SHALL BE 2 X DIAMETER OF THE WATERMAIN OR AS SPECIFIED ON THE PLANS. CASING PIPE TO BE SCH 40 STEEL PIPE WALL THICKNESS TO MEET NCDOT SPECS.

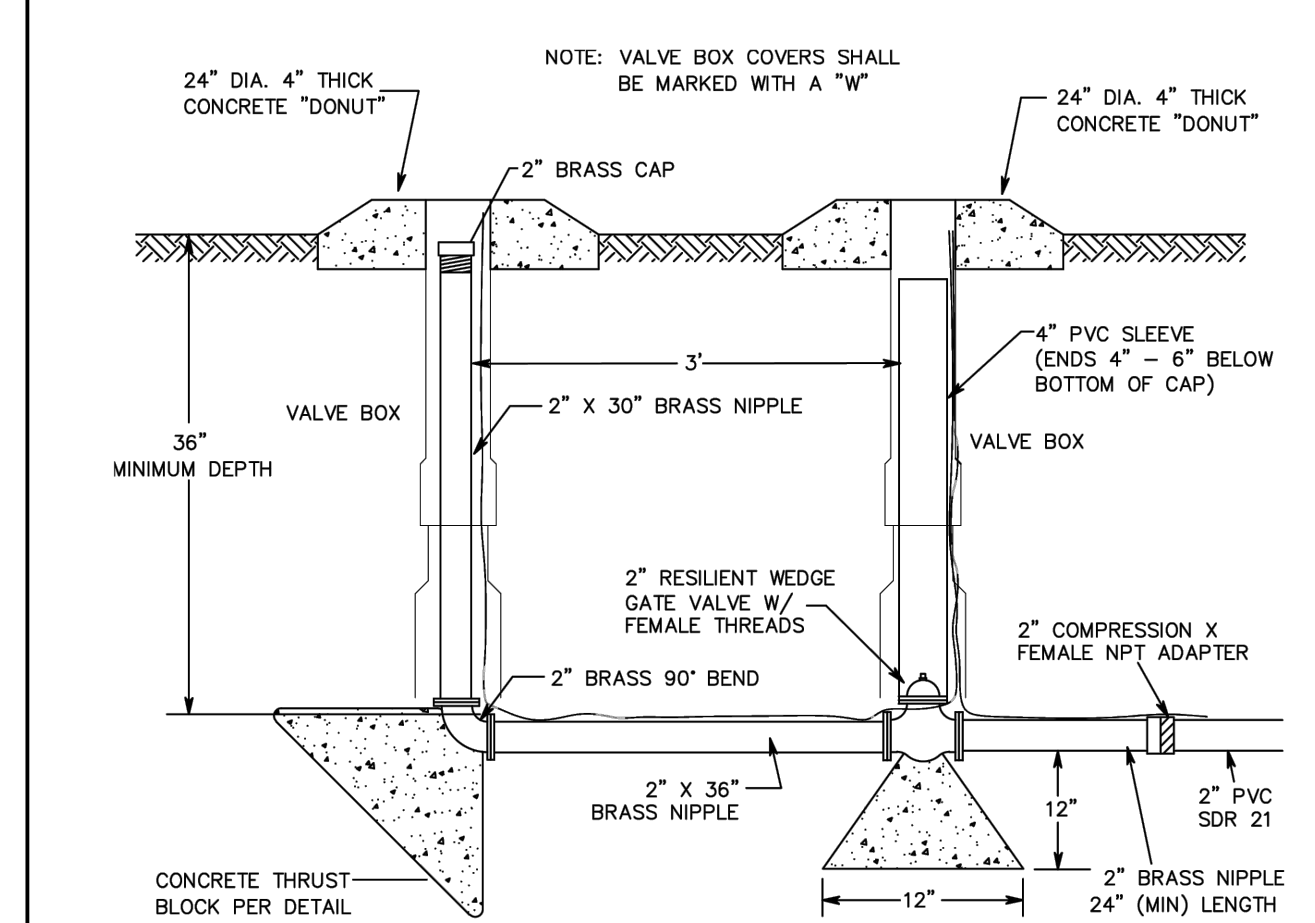
ROAD BORE DETAIL
 NTS



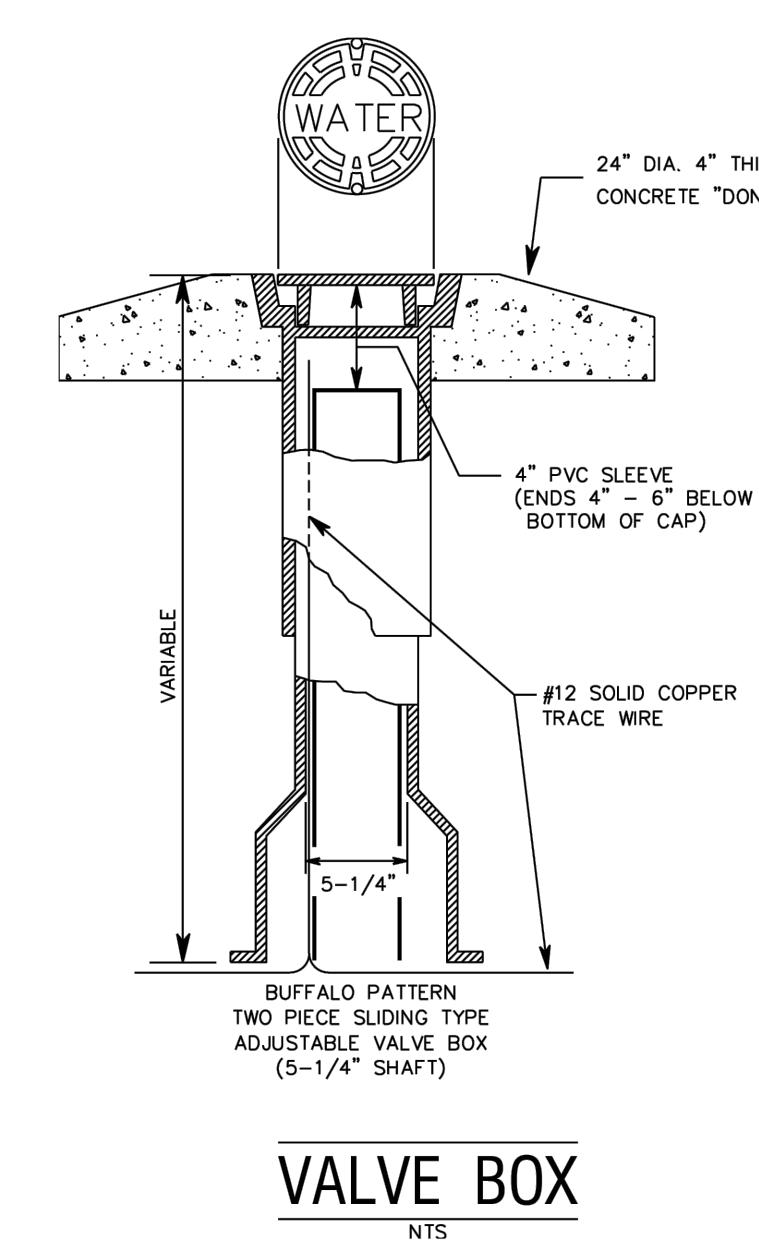
CONNECTION USING 90° BENDS
 NO SCALE



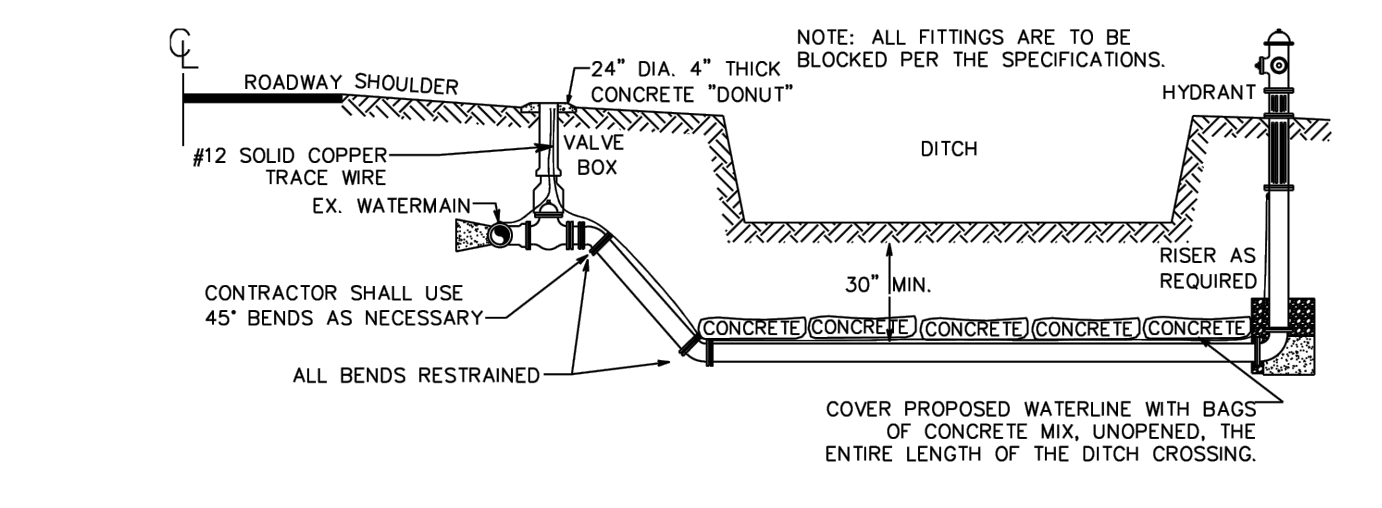
TAPPING DETAIL
 NTS



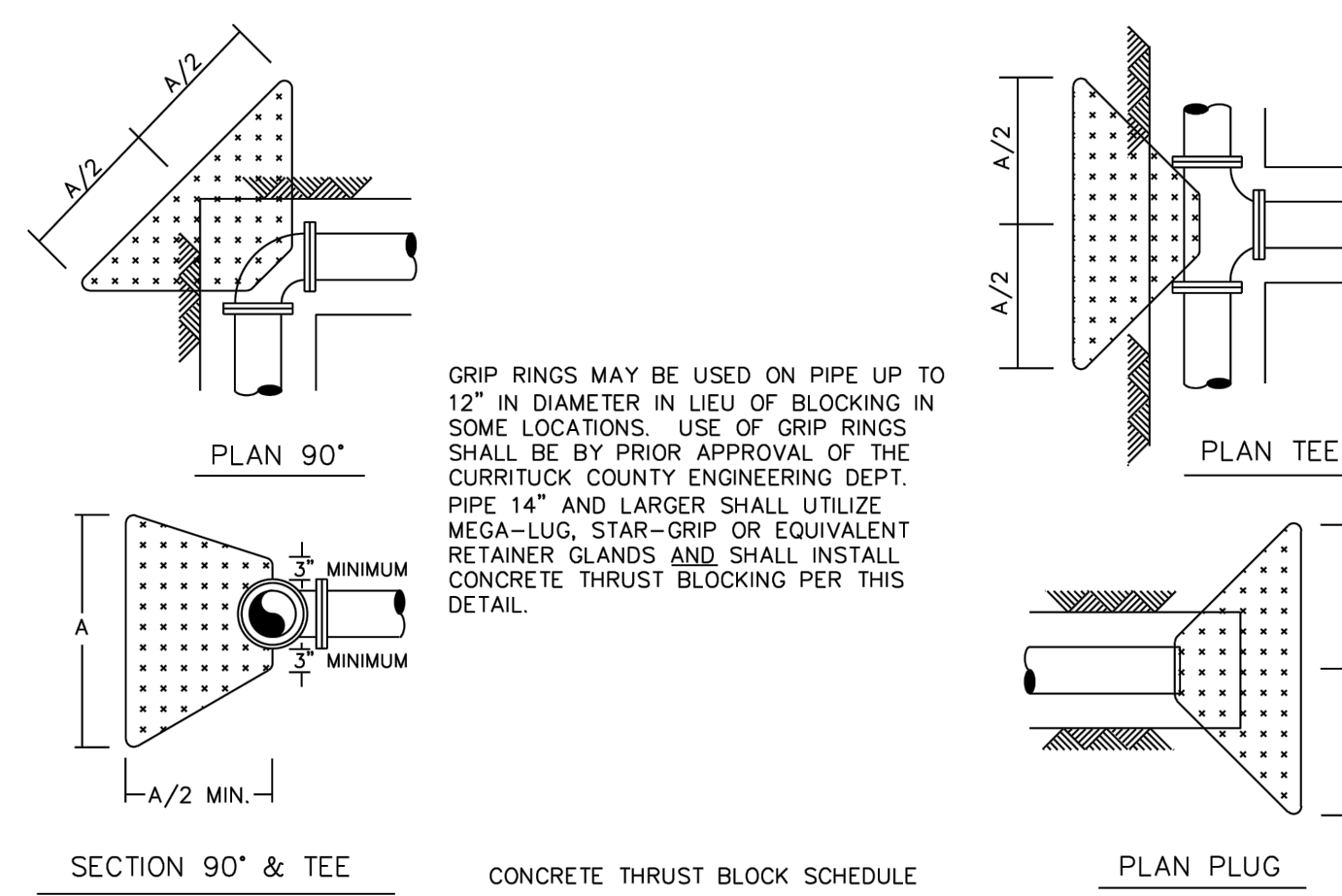
2" BLOW-OFF DETAIL
 NTS



VALVE BOX
 NTS



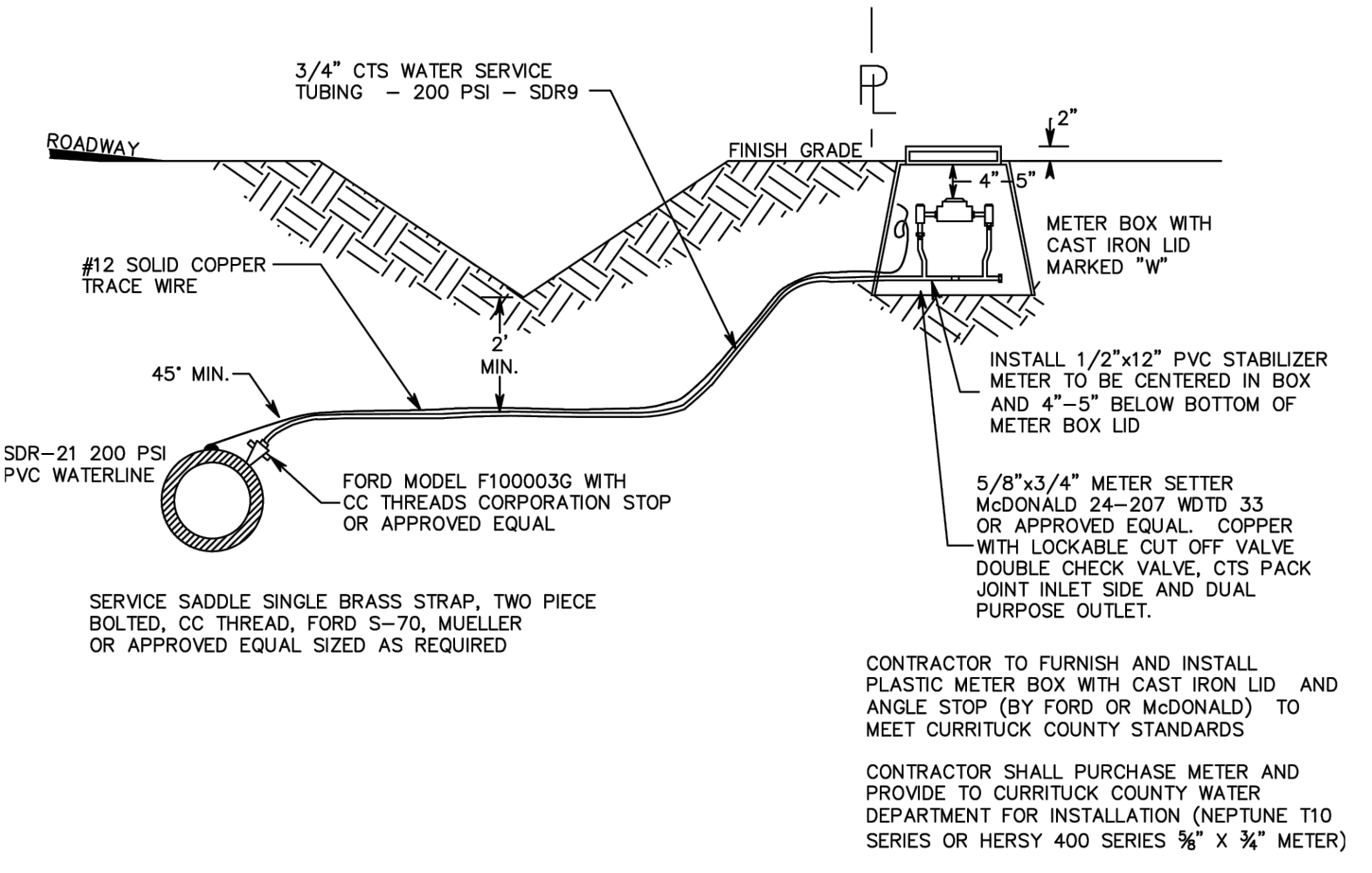
DITCH CROSSING DETAIL
 NTS



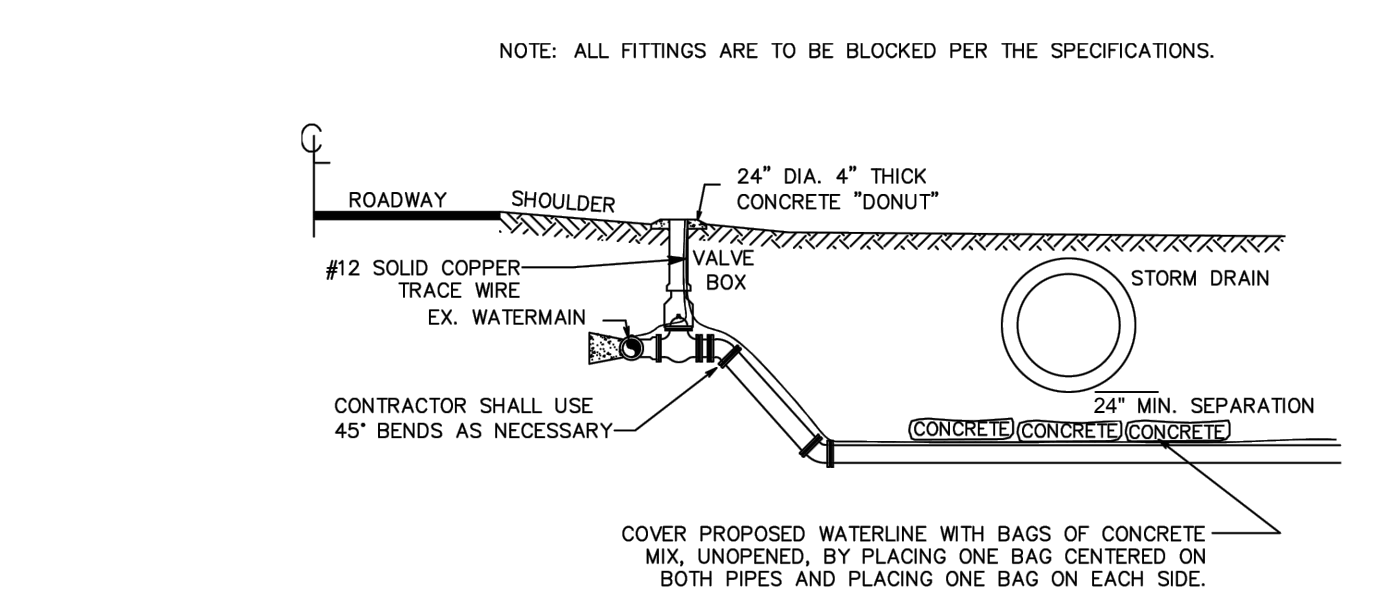
FITTING	PIPE SIZE (NOM. DIA. IN INCHES)									
	2"	4"	6"	8"	10"	12"	16"	18"	20"	24"
TEE	1.6	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
90° BEND	1.5	1.9	2.8	3.8	4.7	5.9	7.5	8.5	9.4	11.3
45° BEND	1.0	1.4	2.1	2.8	3.5	4.3	5.5	6.2	6.9	7.7
22 1/2° BEND	.8	1.0	1.5	2.0	2.5	3.1	4.0	4.5	4.9	5.5

TABLE "A" DIMENSIONS (IN FEET)

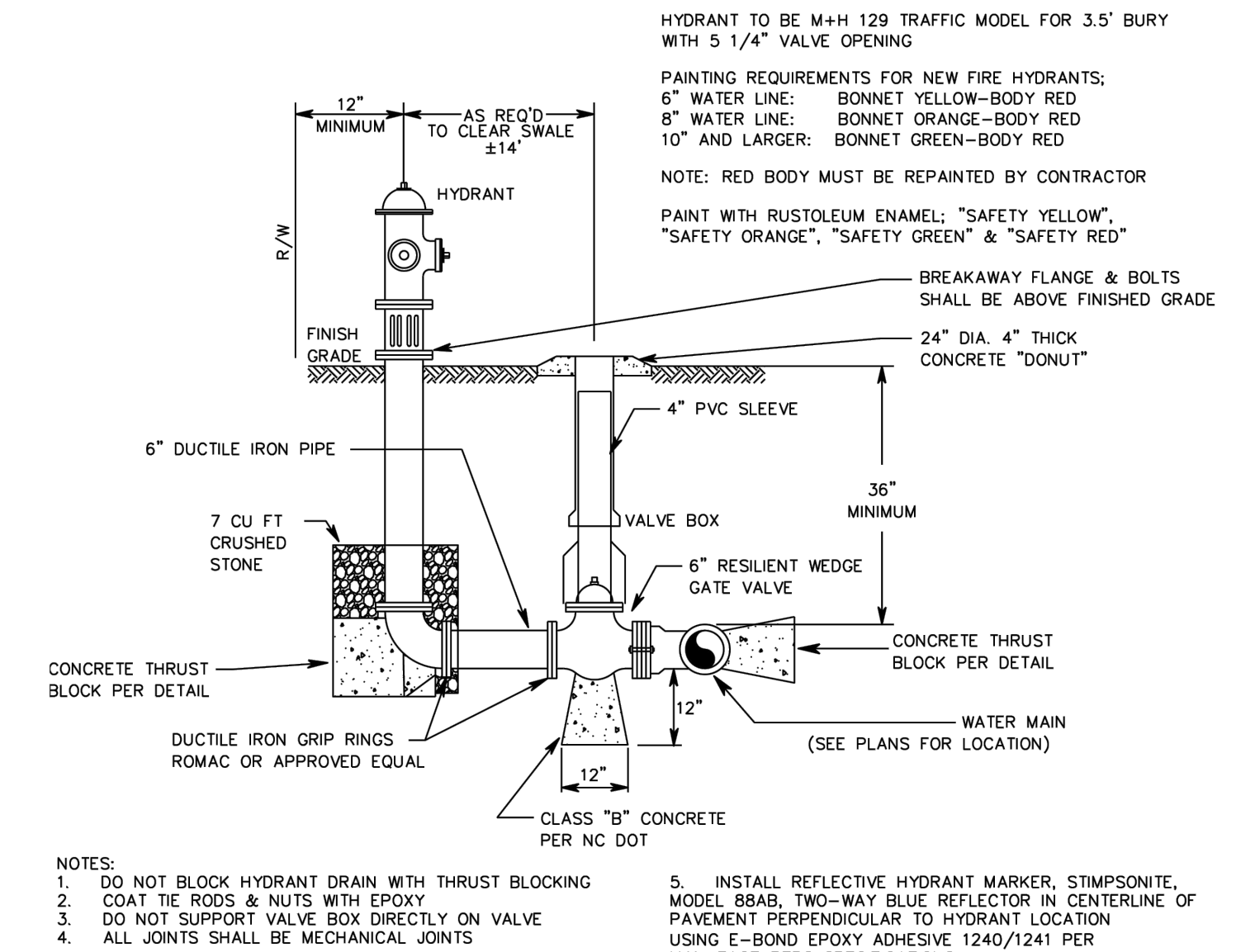
THRUST BLOCK DETAIL
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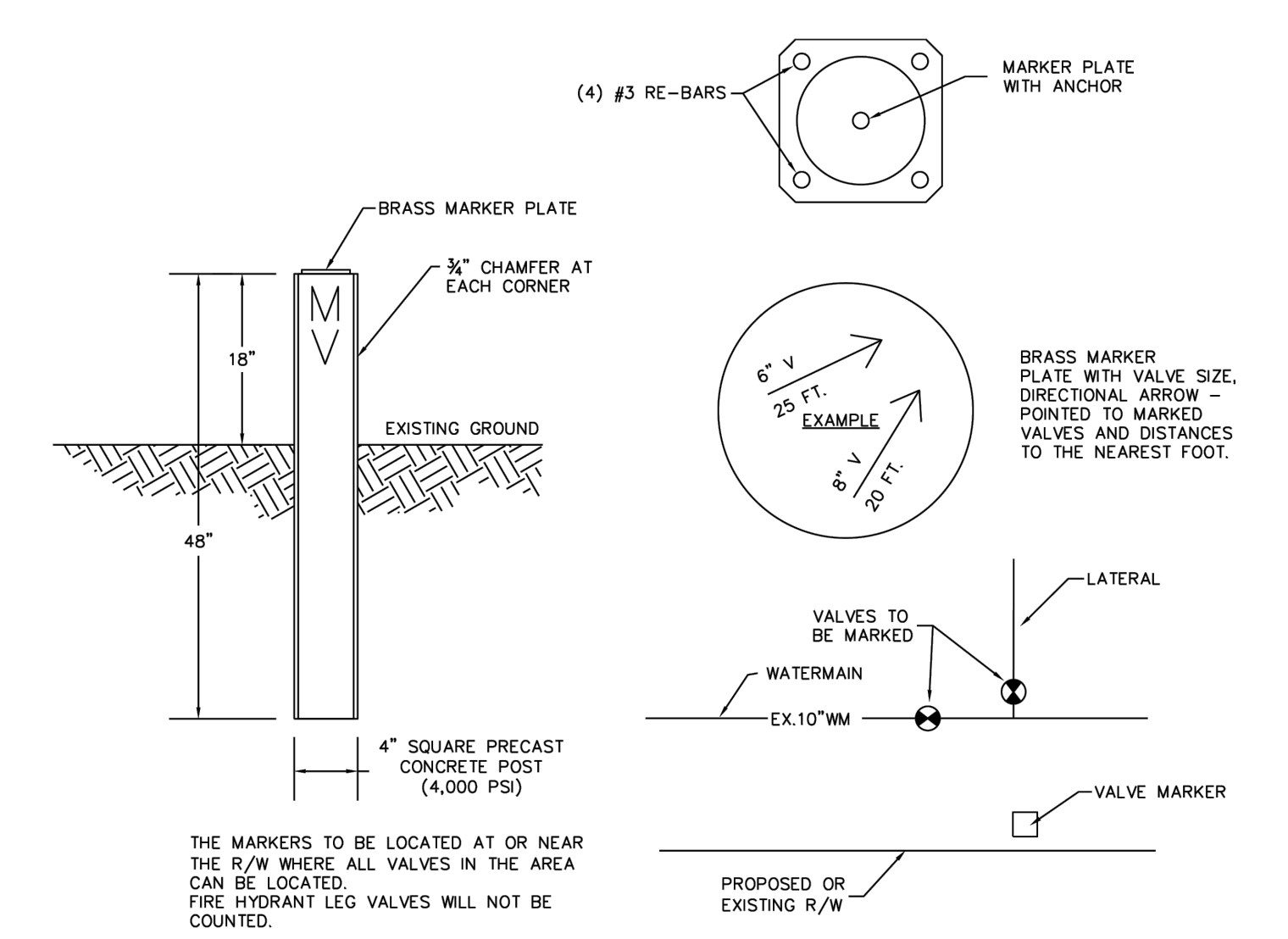
3/4" WATER SERVICE LATERAL DETAIL
 NTS



CULVERT CROSSING DETAIL
 NTS



FIRE HYDRANT DETAIL
 NTS



VALVE MARKER DETAIL
 NTS

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