



- ### LEGEND

- SEPTIC RATIONAL

## ACTIVE SYSTEM

USE (5) 45 L.F. LINES FOR 225 L.F. TOTAL LENGTH @ 9' O.C.

## REPAIR SYSTEM (CONVENTIONAL)

USE (4) 56 L.F. LINES FOR 224 L.F. TOTAL LENGTH @ 9' O.C.

## EX. LOT COVERAGE - PHASE 1 ONLY

BUILDING =	8,389 sq. ft.
PAVED PARKING =	16,165 sq. ft.
CONCRETE WALK =	125 sq. ft.
DUMPSTER PAD =	237 sq. ft.
TOTAL COVERAGE =	24,916 sq. ft. or 29.7%

## NEW LOT COVERAGE - PHASE 2

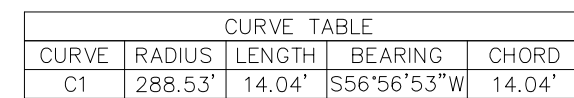
BUILDING	=	7,700	sq. ft.
PAVED PARKING	=	2,800	sq. ft.
CONCRETE WALK	=	1,015	sq. ft.
TOTAL COVERAGE	=	11,515	sq. ft. or 13.7%

## PROP. LOT COVERAGE - PHASES 1 &amp; 2

BUILDINGS =	16,089 sq. ft.
PAVED PARKING =	18,965 sq. ft.
CONCRETE WALK =	1,140 sq. ft.
DUMPSTER PAD =	237 sq. ft.
TOTAL COVERAGE =	36,431 sq. ft. or 43.5%

**PRELIMINARY**  
**FOR REVIEW PURPOSES ONLY 5/2/2025**

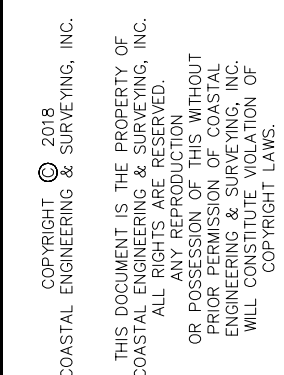
N/  
ROBERT R. WIG  
PAMELA A.  
LOTT  
PINWOOD  
PHAS3



SHEET INDEX

CIVIL SHEETS  
SHEET C1 - FINAL SITE PLAN & GRADING PLAN  
SHEET C2 - CONSTRUCTION DETAILS

LANDSCAPE DESIGN  
SHEET L1 - LANDSCAPE DESIGN  
SHEET L2 - LANDSCAPE LEGEND & NOTES  
SHEET L3 - LANDSCAPE DETAILS



REVISIONS			DATE	DESCRIPTION	BY
1	2/12/25	MODIFY TO APPROVED SITE PLAN DATED 6/28/06			JOB
2	2/20/25	UNIT 3 & 4 OPTIONS, 2-1/2" FILL, SEPTIC ACTIVE & REPAIR			JOB
3	3/3/25	REVISED SEPTIC SYSTEM AND GRADING			JOB
4	5/12/25	REVISED SEPTIC SYSTEM, GRADING, & PARKING			JOB

FINAL SITE & GRADING PLAN FOR PHASE 2:  
FRASCA HOLDINGS, LLC  
CLAR BRANCH TNSP. CURRITUCK COUNTY NORTH CAROLINA  
8179 CARATOKE HIGHWAY

DATE: 6/11/24	SCALE: 1"=20'
CHECKED: EJG	DRAWN: JCB
PROJECT NO: P1121.24	
CAD FILE: P1121 SITE PLAN	
SHEET:	

C1

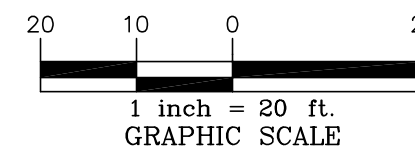
STORMWATER CERTIFICATE

\_\_\_\_\_, OWNER/AGENT HEREBY CERTIFY THE INFORMATION INCLUDED IN THIS AND ATTACHED PAGES IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

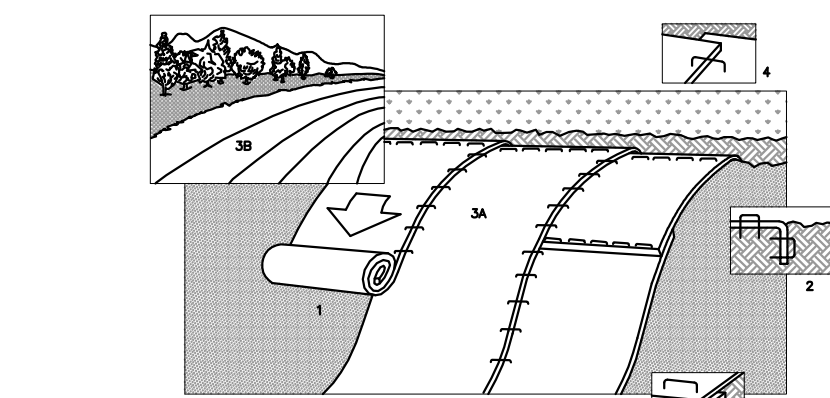
ON THE PLAN ENTITLED "FINAL SITE PLAN FOR PHASE 2: FRASCA HOLDINGS, LLC", STORMWATER DRAINAGE IMPROVEMENTS SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS AND APPROVED BY CURRIKUTT COUNTY. YEARLY INSPECTIONS ARE REQUIRED AS PART OF THE STORMWATER PLAN. THE OWNER IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED. CURRIKUTT COUNTY ASSUMES NO RESPONSIBILITY FOR THE DESIGN, MAINTENANCE, OR PERFORMANCE OF THE STORMWATER IMPROVEMENTS.

DATE: \_\_\_\_\_ OWNER/AGENT: \_\_\_\_\_

**PRELIMINARY**  
FOR REVIEW PURPOSES ONLY 5/2/2025



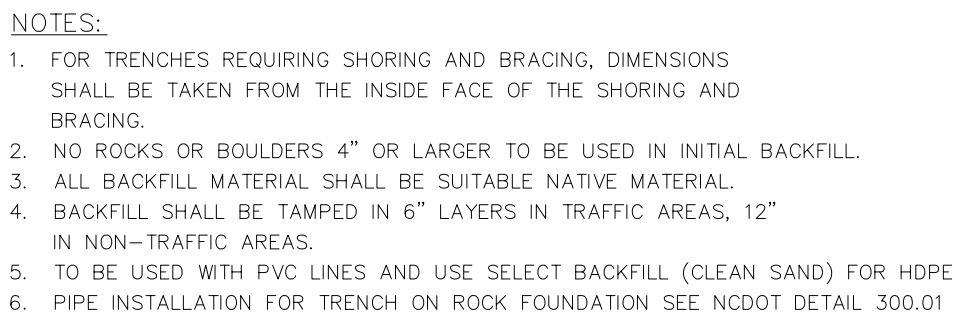




NOTE: HANDICAPPED PARKING SIGN SHALL CONFORM W/ CURRENT STATE & LOCAL CODES & REGULATIONS

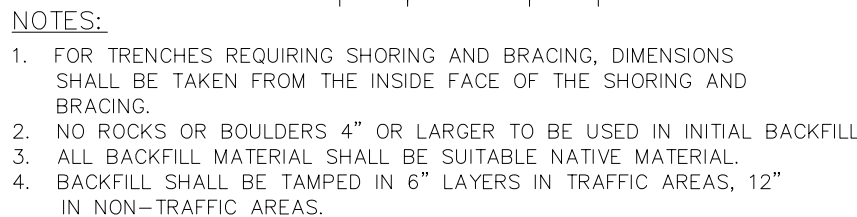
**HANDICAPPED SIGN DETAIL**

NOT TO SCALE



FOR HDPE,  
MAIL 300.01

**PRELIMINARY**  
FOR REVIEW PURPOSES ONLY 5/2/2025

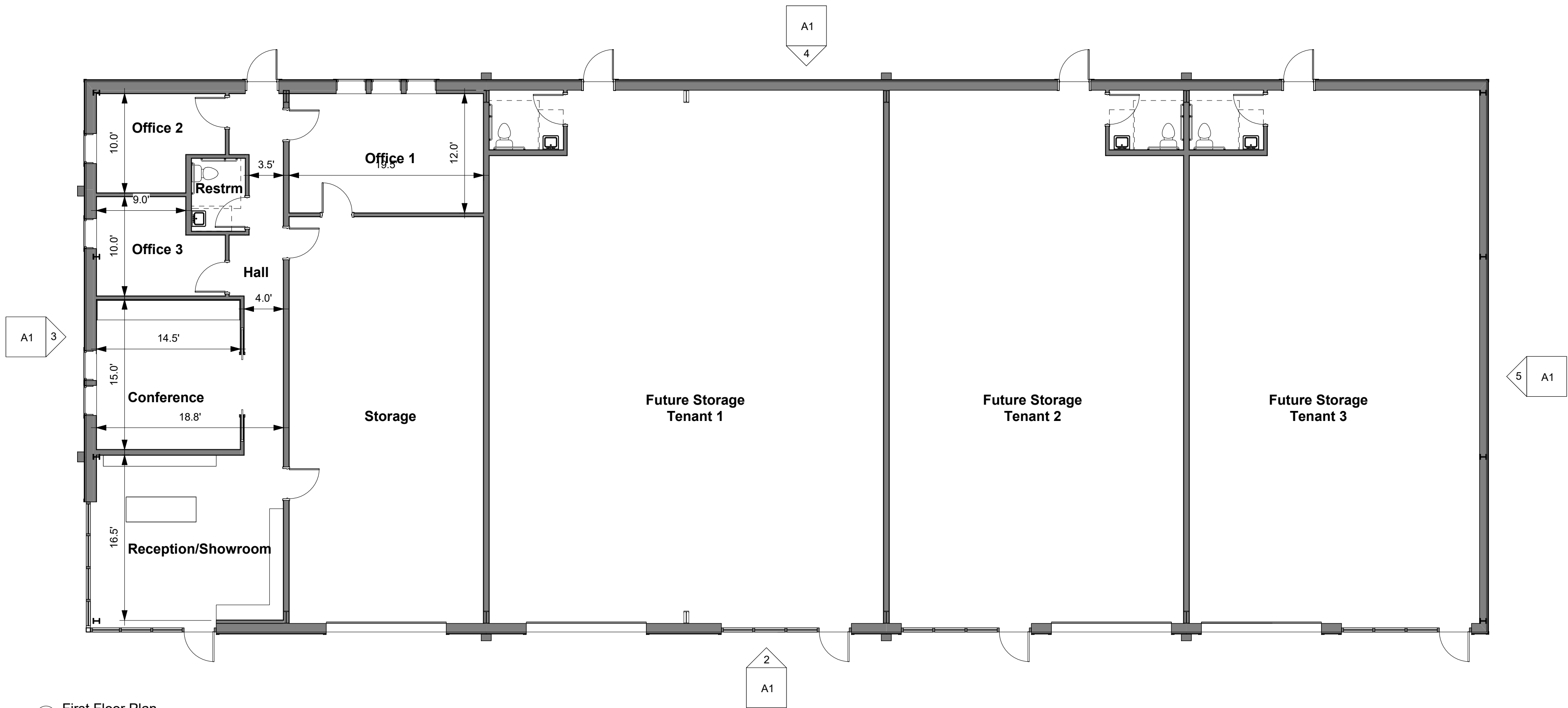
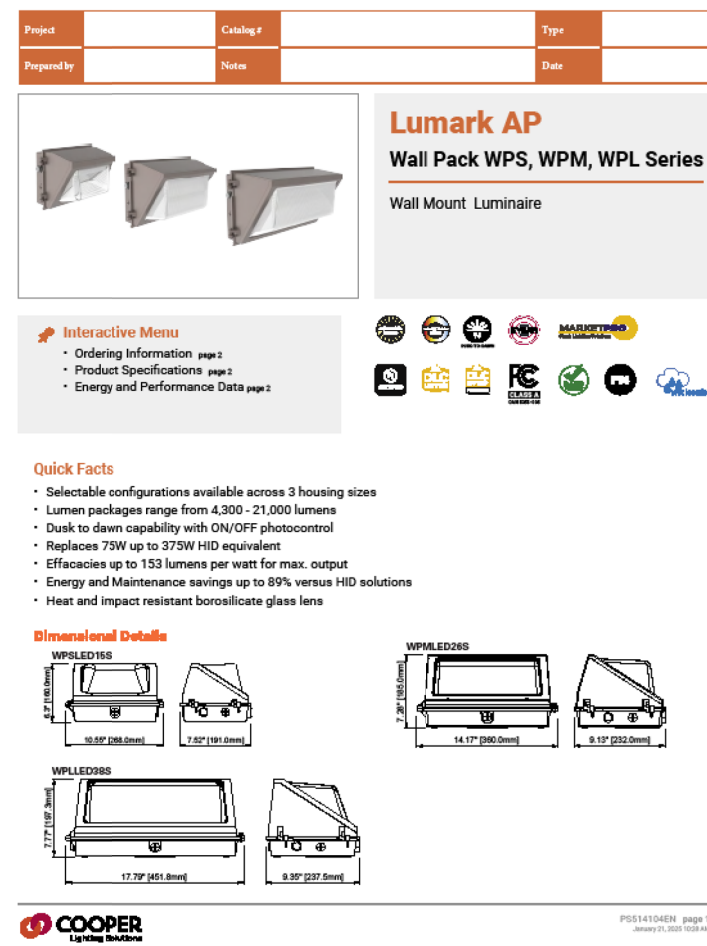
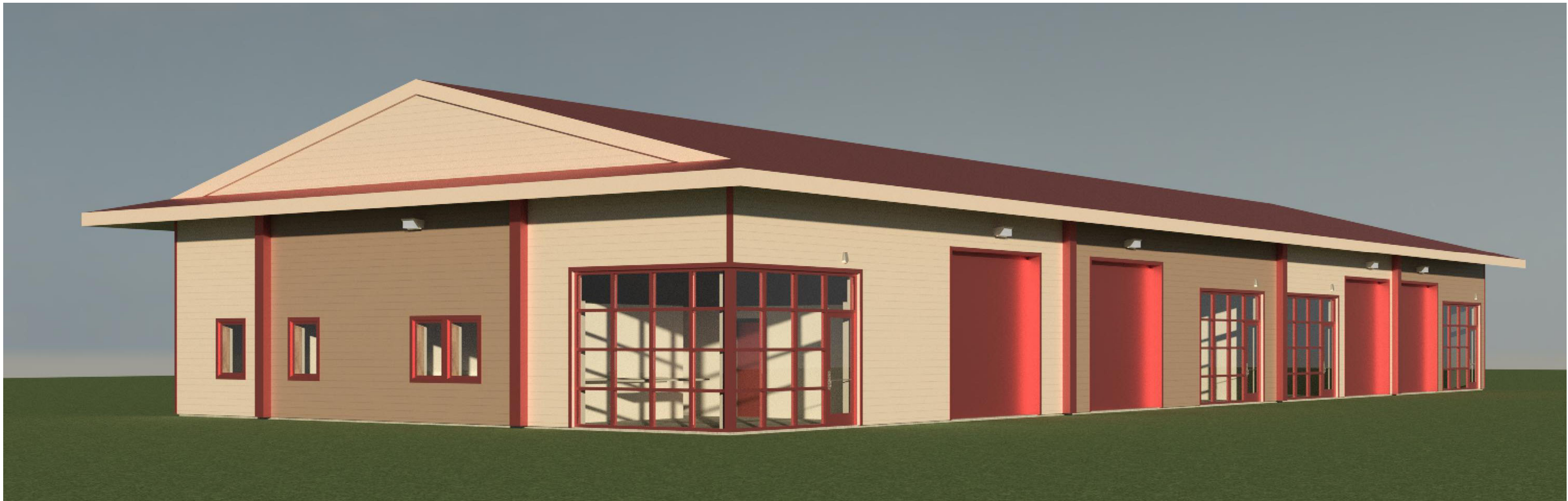


**GENERAL NOTES:**  
USE CLASS "B" CONCRETE FOR DROP INLET  
PROVIDE ALL DROP INLETS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS KICHWA WITH STD. DRAWING 840.66.  
OPTIONAL CONSTRUCTION -- MONOLITHIC PUMP 12" KEYWAY OR #4 BAR DOWELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.  
USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.  
IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.01.  
CONSTRUCT WITH PIPE CROWNS MATCHING.  
INSTALL 2" WEEDFOES AS DIRECTED BY THE ENGINEER.  
INSTALL STONE DRAINS, OF A MINIMUM OF 1 CUBIC FOOT OF NO. 78M STONE IN A CHAMFER ALL EXPOSED CORNERS 1".

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CHAMFER ALL EXPOSED CORNERS 1".





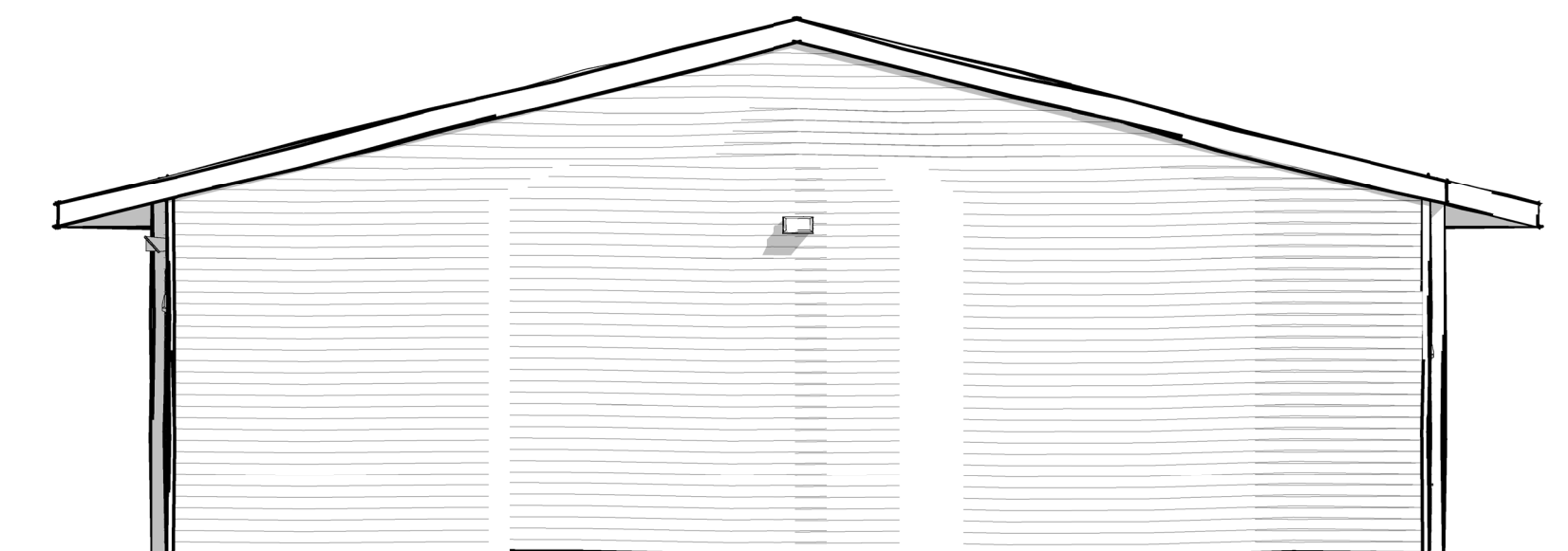
1 First Floor Plan  
1/8" = 1'-0"



2 South Elevation  
1/8" = 1'-0"



3 West Elevation  
1/8" = 1'-0"



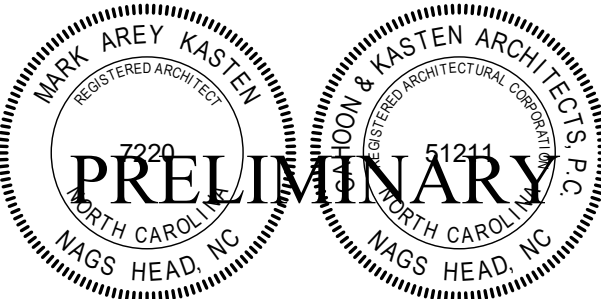
5 East Elevation  
1/8" = 1'-0"



4 North Elevation  
1/8" = 1'-0"

Project: Coastal Roofing Bldg 2  
Project No: 25019  
Location: 8179 Caratoke Hwy.  
Powells Point, NC  
Title: Preliminary  
Date: July 6, 2025  
Scale: As indicated

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



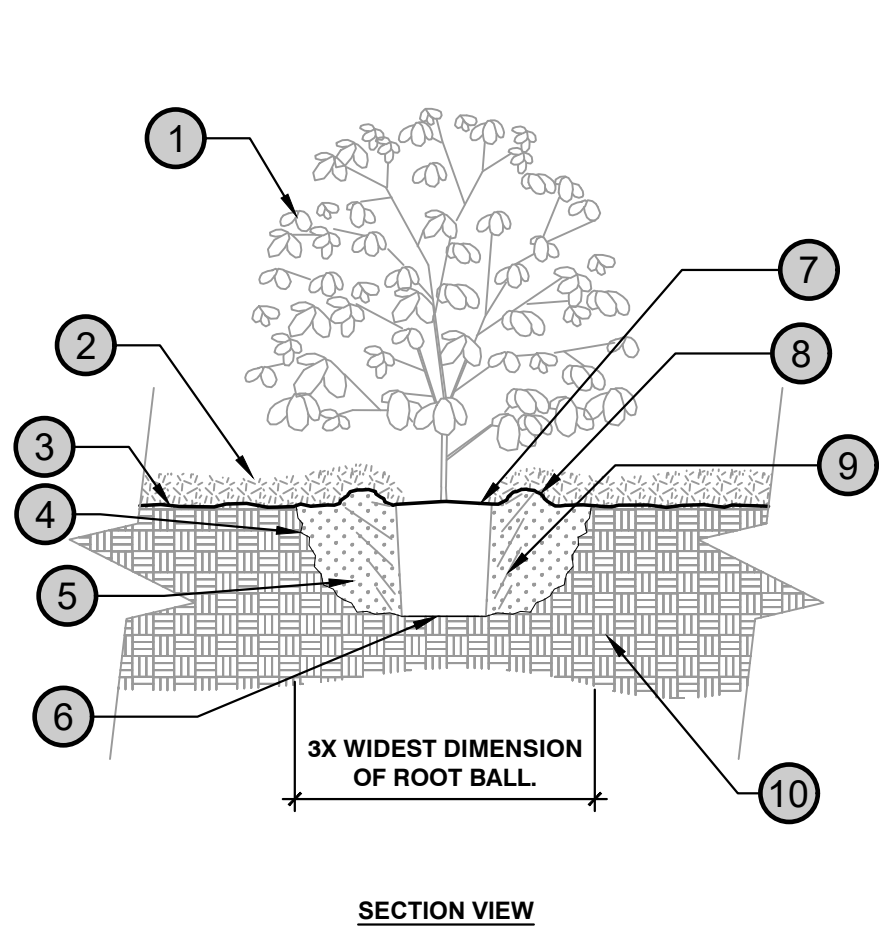
Revisions:

No.	Description	Date

Designed: Designer  
Drawn: Author  
Reviewed: Checker  
Cad File:

A1





NOTES:  
1- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.

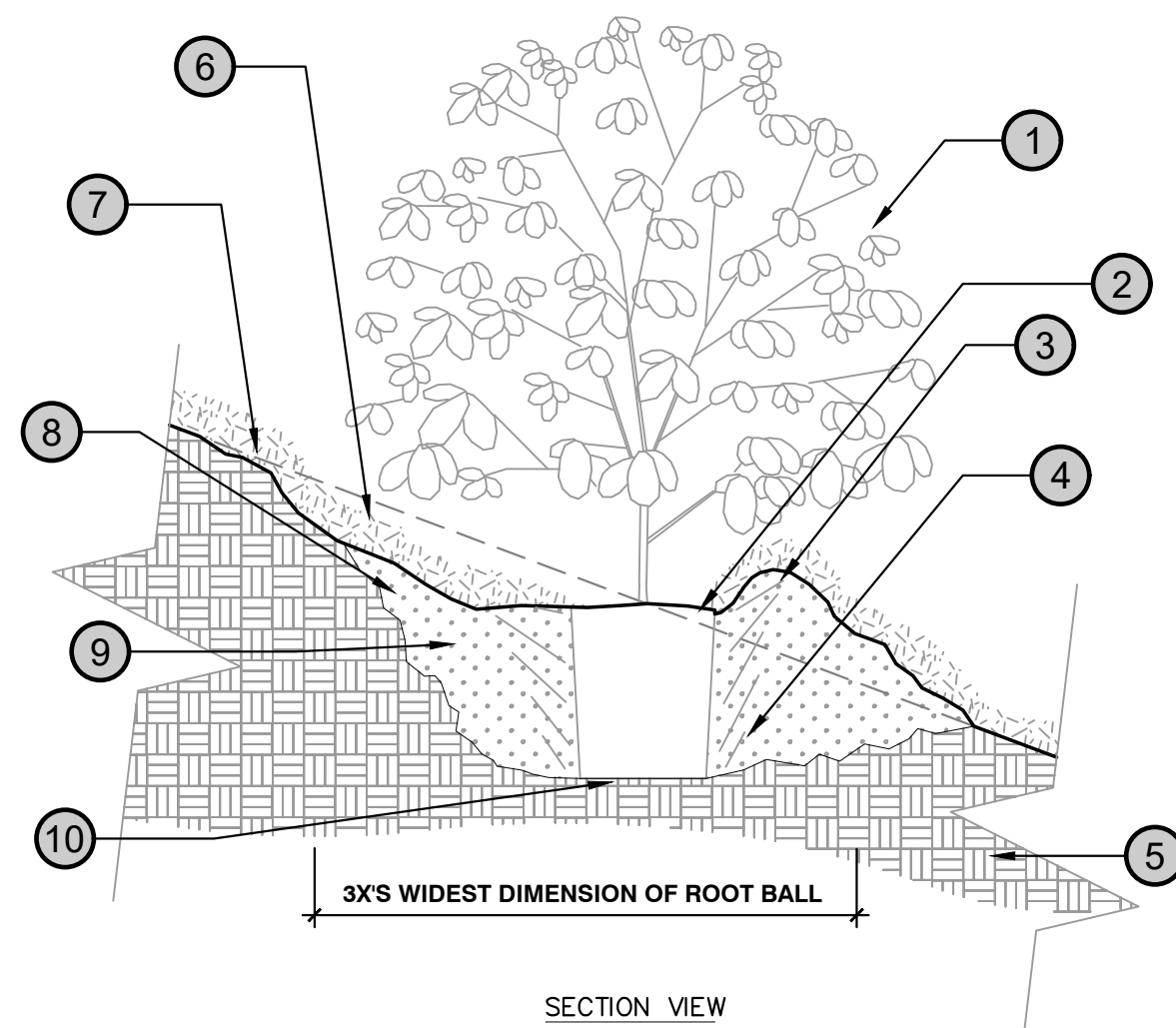
2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

URBAN TREE FOUNDATION ©2014  
OPEN SOURCE FREE TO USE

1 SHRUB - UNMODIFIED SOIL

1/2" = 1'-0"

DETAIL-FILE



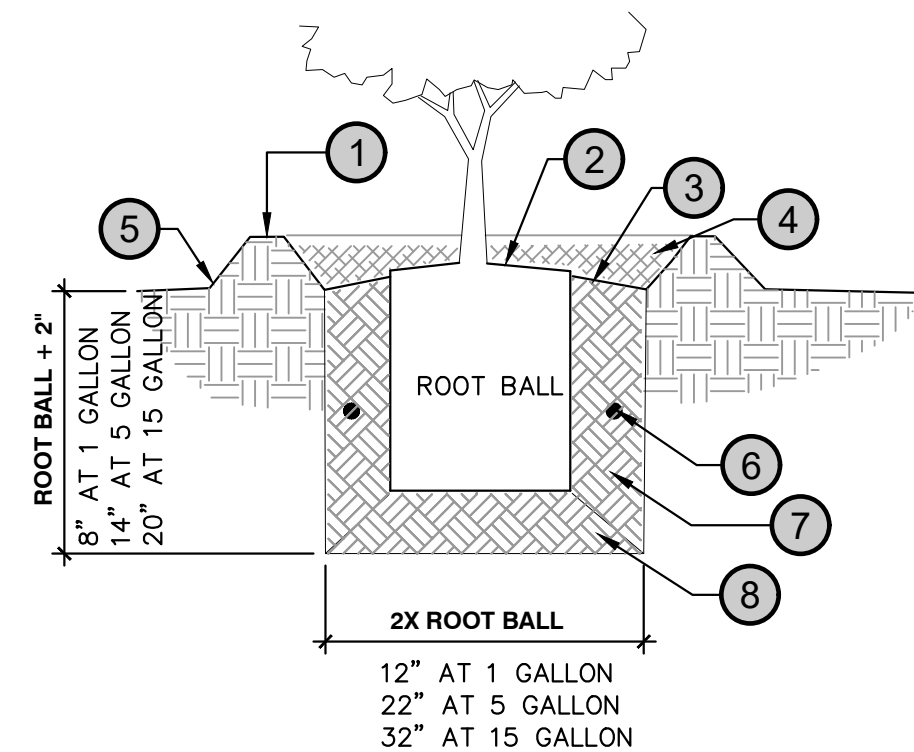
- 1 SHRUB
- 2 ROOTBALL
- 3 ROUND - TOPPED SOIL BERM 4" HIGH AND 8"WIDE ABOVE ROOT BALL SURFACE SHALL BE CENTERED ON THE DOWNHILL SIDE OF THE ROOT BALL FOR 240°. BERM SHALL BEGIN AT THE ROOT BALL PERIPHERY.
- 4 PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER THE COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR THE WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- 5 EXISTING SOIL
- 6 4" LAYER OF MULCH. NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL. (SEE SPECIFICATIONS FOR MULCH).
- 7 ORIGINAL SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK MEETS SUBSTRATE/SOIL.
- 8 SLOPE SIDES OF LOOSENED SOIL.
- 9 LOOSEN THE SOIL. DIG AND TURN THE SOIL TO REDUCE THE COMPACTION TO THE AREA AND DEPTH SHOWN.
- 10 BOTTOM OF ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL.

URBAN TREE FOUNDATION ©2014  
OPEN SOURCE FREE TO USE

2 SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - UNMODIFIED SOIL

3/4" = 1'-0"

DETAIL-FILE

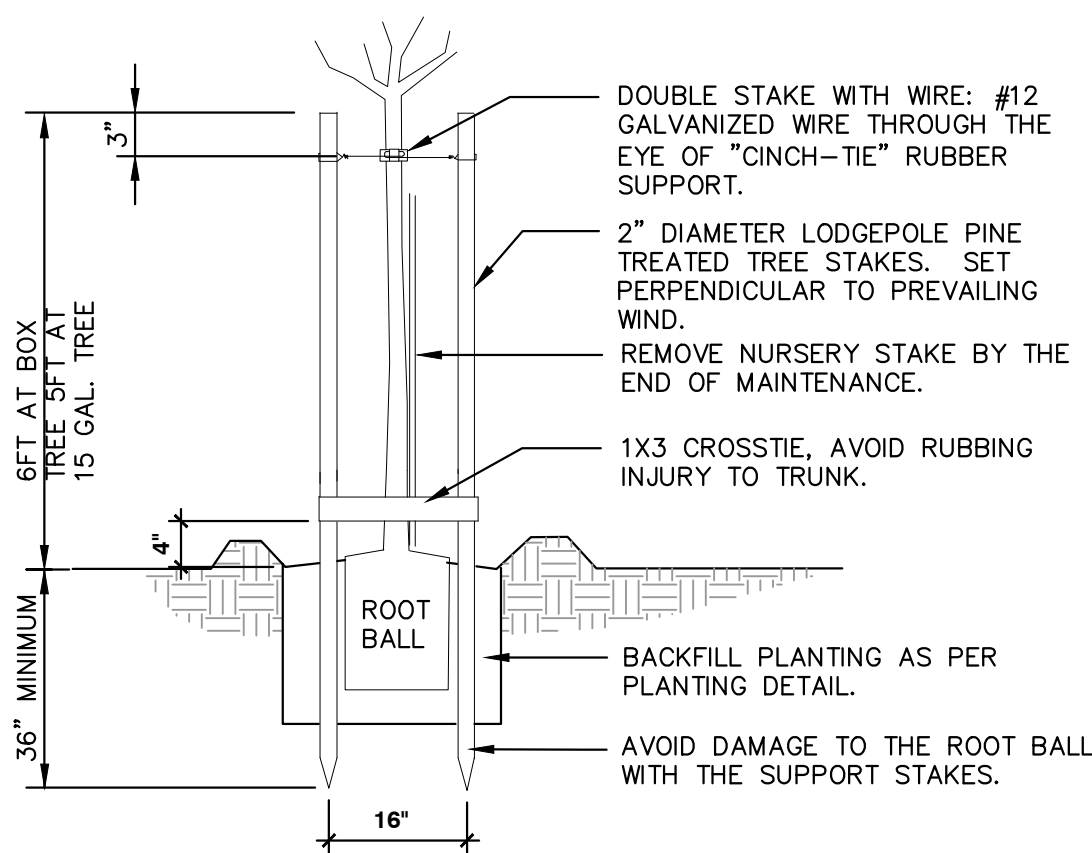


- 1 WATER WELL: 4" HIGH AT SHRUB, NO WATER WELL AT LAWN AREA.
- 2 SET ROOT BALL CROWN 1" HIGHER THAN SURROUNDING FINISHED GRADE.
- 3 SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOT BALL.
- 4 MULCH TO 2" DEPTH AT WATER WELL.
- 5 FINISHED GRADE.
- 6 PLANT TABLETS AS NOTED OR SPECIFIED.
- 7 BACKFILL MIX, SEE NOTES AND SPECIFICATIONS.
- 8 NATIVE SOIL MIX FIRMLY COMPACTED.

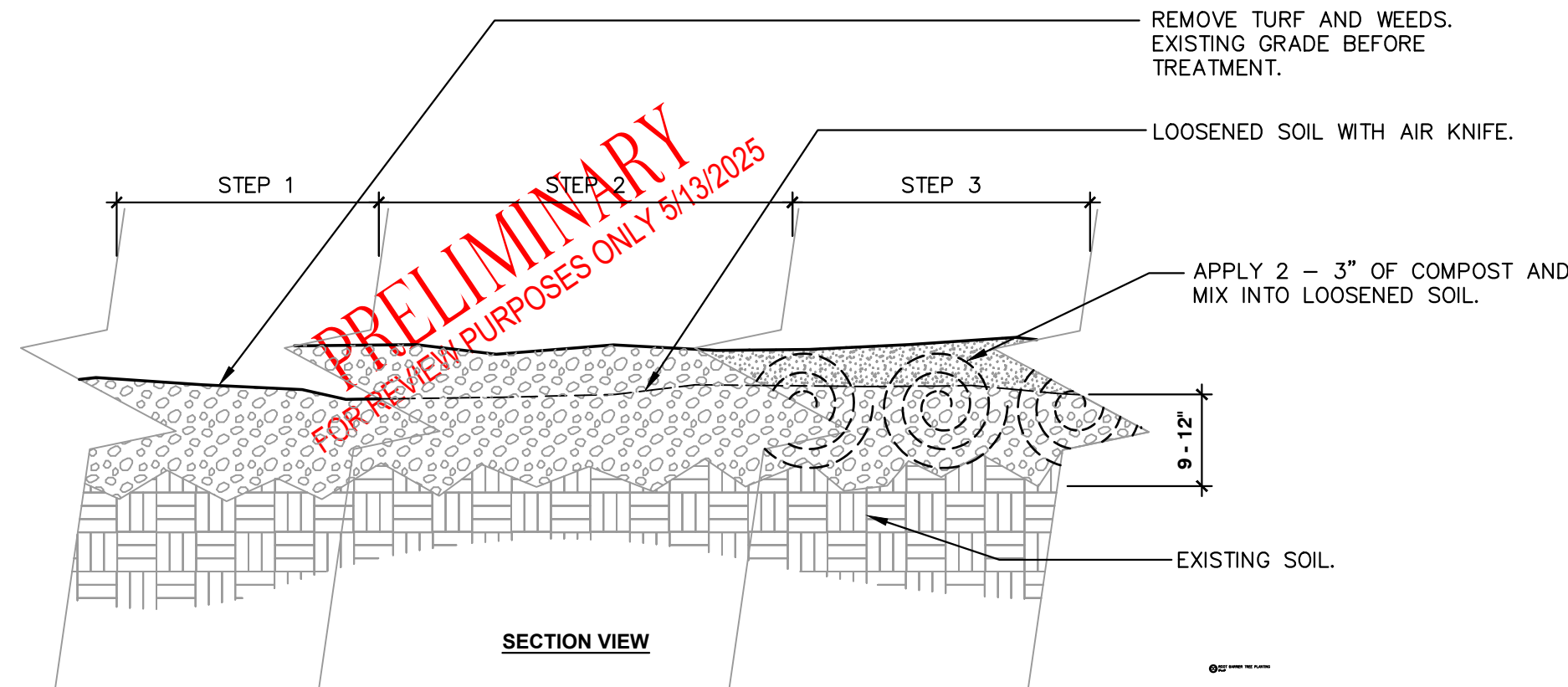
3 SHRUB PLANTING

1" = 1'-0"

DETAIL-FILE



STAKING DETAIL



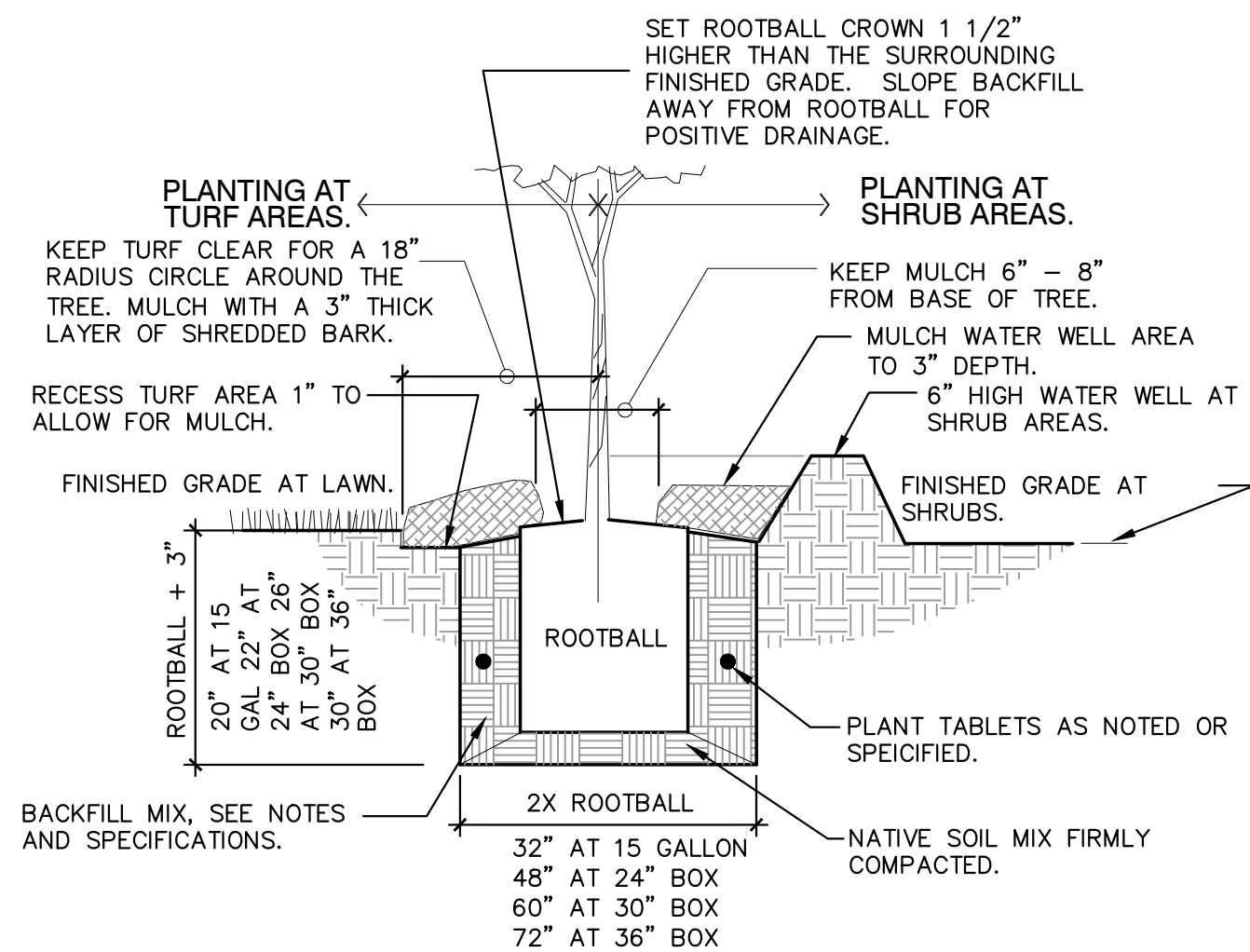
- NOTES:
- 1- PRIOR TO THE START OF WORK REMOVE ALL THATCH, SOD, AND/OR WEEDS.
  - 2- LOOSEN SOIL WITH AIR KNIFE OR APPROVED EQUAL TO A DEPTH OF 9 - 12" AND WORK AROUND ENCOUNTERED ROOTS.
  - 3- APPLY 2 - 3" OF COMPOST OVER LOOSENED SOIL. USING AN AIR KNIFE MIX COMPOST INTO LOOSENED SOIL.
  - 4- WATER ENTIRE ROOT ZONE AT END OF EACH WORK DAY.
  - 5- SEE PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

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5 MODIFIED EXISTING SOIL - COMPACTED SOIL IN TREE DRIPLIN

3/4" = 1'-0"

FX-PLNT-FX-PREP-SOIL-12



PLANT PIT DETAIL

4 TREE PLANTING DOUBLE STAKE

1" = 1'-0"

DETAIL-FILE



































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2018  
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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	5/20/25	REVS. PER COUNTY COMMENTS	NDG
2	7/22/25	REVS. PER COUNTY COMMENTS & SITE PLAN REVS	NDG

LANDSCAPE DETAILS FOR:  
**FRASCA HOLDINGS, LLC**  
NORTH CAROLINA  
CURRITUCK COUNTY  
POPLAR BRANCH TWP.  
**8181 CARATOKE HIGHWAY**

4/25/25	SCALE: 1"=20'
CHECKED: CFG	DRAWN: NDG
PROJECT NO: P1121.24	CAD FILE: P1121 LS
SHEET: L3 OF L3	



PLANT SCHEDULE																					
	PHOTO	SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	BUFFER YARD "A-1"	BUFFER YARD "A-2"	BUFFER YARD "B"	SITE	STREETSCAPE	DETAIL	REMARKS							
TREES																					
C			ACE RB3	ACER RUBRUM / RED MAPLE	12" DBH	EXISTING	5			5											
C			ACE RBR	ACER RUBRUM / RED MAPLE	15" DBH	EXISTING	3		2	1											
C			ACE RB4	ACER RUBRUM / RED MAPLE	18" DBH	EXISTING	1			1											
C			ACE RB2	ACER RUBRUM / RED MAPLE	6" DBH	EXISTING	2		1	1											
C			ACE RB5	ACER RUBRUM / RED MAPLE	8" DBH	EXISTING	1		1												
U			AME GRA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	15 GAL.	POT	4	4						1-1/2" DBH - MATCHED							
U			BET DUR	BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH	15 GAL.	POT	9		5	3	1			1-1/2" DBH - MATCHED							
C			ILE CH8	ILEX CHINENSIS / HOLLY	8" DBH	EXISTING	1		1												
C/U			LAG W1	LAGERSTROEMIA INDICA 'WHIT II' / DYNAMITE® CRAPE MYRTLE	15 GAL.	POT	8				8			2" DBH - MATCHED							
C/U			LAG T02	LAGERSTROEMIA INDICA X FAURIEI 'TONT0' / TONTO CRAPE MYRTLE MULTI-TRUNK	15 GAL.	POT	3					3		MATCHED							
C/U			LAG T0N	LAGERSTROEMIA INDICA X FAURIEI 'TONT0' / TONTO CRAPE MYRTLE MULTI-TRUNK	4" DBH	EXISTING	22			1	8	13									
C			LIQ ST6	LIQUIDAMBAR STYRACIFLUA / SWEET GUM	12" DBH	EXISTING	1			1				EXISTING							
C			LIQ STY	LIQUIDAMBAR STYRACIFLUA / SWEET GUM	12" DBH	EXISTING	3		2		1										
C			LIQ ST2	LIQUIDAMBAR STYRACIFLUA / SWEET GUM	18" DBH	EXISTING	2	2													
C			LIQ ST4	LIQUIDAMBAR STYRACIFLUA / SWEET GUM	24" DBH	EXISTING	2		2					EXISTING							
C			LIQ ST3	LIQUIDAMBAR STYRACIFLUA / SWEET GUM	9" DBH	EXISTING	1	1													
C			PIN TA2	PINUS TAEDA / LOBLOLLY PINE	18" DBH	EXISTING	1			1											
C			PIN TAE	PINUS TAEDA / LOBLOLLY PINE	24" DBH	EXISTING	1	1													
C			QUE CO2	QUERCUS COCCINEA / SCARLET OAK	12" DBH	EXISTING	1					1									
C			QUE COC	QUERCUS COCCINEA / SCARLET OAK	18" DBH	EXISTING	1				1										
C			THU IB3	THUJA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	12" DBH	EXISTING	1			1											
C			THU IB2	THUJA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	18" DBH	EXISTING	9			9											
C			THU IB1	THUJA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	24" DBH	EXISTING	3			3											
C			THU IB5	THUJA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	4" DBH	EXISTING	1			1											
C			THU IB4	THUJA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	6" DBH	EXISTING	3	1		2											
U			WASH ROB	WASHINGTONIA ROBUSTA / MEXICAN FAN PALM	4" DBH	EXISTING	1				1			EXISTING							
SHRUBS																					
			CHA EYF	CHAMAECYPARIS SISIFERA KING'S GOLD / KING'S GOLD THREADLEAF SAWARA CYPRESS	3 GAL.	POT	19			7	3	9		MATCHED							
			RHA SNO	RHAPHIOLEPIS X DELACOURII 'CORLEYSOURII' / SNOWCAP® INDIAN HAWTHORN	3 GAL.	POT	29			5	5	19		MATCHED							

QTY	BUFFER YARD	DBH	DESCRIPTION	TOTAL DBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					IN DBH	IN DBH	3 GAL.
5	B	12	RED MAPLE	60		60	
1	B	15	RED MAPLE	15		15	
1	B	18	RED MAPLE	18		18	
1	B	6	RED MAPLE	6		6	
1	B	4	CRAPE MYRTLE	4	4		
1	B	12	SWEET GUM	12		12	
1	B	9	SWEET GUM	9		9	
1	B	18	PINE	18	N/A	N/A	
1	B	12	ARBORMTAE	12		12	
9	B	18	ARBORMTAE	162		162	
3	B	24	ARBORMTAE	72		72	
1	B	4	ARBORMTAE	4		4	
2	B	6	ARBORMTAE	12		12	
PROVIDED REQUIREMENTS PROPOSED				TOTAL:	4	382	0
					8	6	12
					4.5	GOOD::	0

QTY	BUFFER YARD	DBH	DESCRIPTION	TOTAL DBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					IN DBH	IN DBH	3 GAL.
2	A1	18	SWEET GUM	36		36	
1	A1	9	SWEET GUM	9		9	
1	A1	24	PINE	24	N/A	N/A	
1	A1	6	ARBORMTAE	6		6	
PROVIDED REQUIREMENTS PROPOSED				TOTAL:	0	51	0
					4	4	0
					6	GOOD::	0

QTY	BUFFER YARD	DBH	DESCRIPTION	TOTAL DBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					IN DBH	IN DBH	3 GAL.
2	A2	15	RED MAPLE	30		30	
1	A2	6	RED MAPLE	6		6	
1	A2	8	RED MAPLE	8		8	
1	A2	8	HOLLY	8		8	
PROVIDED REQUIREMENTS PROPOSED				TOTAL:	0	52	0
					9	9	0
					9	GOOD::	0

QTY	SITE	DBH	DESCRIPTION	TOTAL DBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					IN DBH	IN DBH	3 GAL.
13		4	CRAPE MYRTLE	52	52		
1		12	OAK	12		12	
PROVIDED REQUIREMENTS PROPOSED				TOTAL:	52	12	0
					5.5	10	13
					GOOD::	0	13

QTY	STREETSCAPE	DBH	DESCRIPTION	TOTAL DBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					IN DBH	IN DBH	3 GAL.
8		4	CRAPE MYRTLE	32	32		
1		12	SWEET GUM	12		12	
1		4	PALM	4	4		
PROVIDED REQUIREMENTS PROPOSED				TOTAL:	36	12	
					50%	50%	14
					GOOD::	0	15

\* DBH = DIAMETER BREST HEIGHT IN INCHES

#### PART 1 - GENERAL

##### DESCRIPTION:

PROVIDE TREES, SHRUBS, GROUND COVERS, HYDROSEEDING AND PERENNIALS/GRASSES AS SHOWN AND SPECIFIED ON THIS LANDSCAPE PLAN. THE WORK INCLUDES:  
1. SOIL PREPARATION  
2. TREES, SHRUBS, GROUND COVERS, HYDROSEEDING, PERNNIALS AND GRASSES  
3. PLANTING MIXES  
4. MAINTENANCE  
6. DECORATIVE STONE

##### QUALITY ASSURANCE

PLANT NAMES INDICATED. PLANT NAMES SHALL CONFORM TO THE 'INTERNATIONAL CODE OF NOMENCLATURE (ICN) FOR ALGAE, FUNGI, AND PLANTS. PLANT CULTIVARS SHALL CONFORM TO THE INTERNATIONAL CODE OF NOMENCLATURE FOR CULTIVATED PLANTS' (ICNCP).

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK' A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATE CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

NURSERY STOCK FURNISHED SHALL BE A LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED.

BEFORE SUBMITTING A BID/QUOTE, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUANTITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE DESIGNER/ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL OR CHANGES IN PLANT MATERIAL, SIZE PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

##### DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD GRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AND APPROVED ANTI-DESICCANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK. PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE DESIGNER/ARCHITECT. WATER HEED-IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

##### PROJECT CONDITIONS

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZE, QUANTITIES AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWING. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY  
WARRANTY PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER THE COMPLETION AND FINAL ACCEPTANCE DATE OF THE PROJECT, UNLESS IRRIGATION IS NOT PROVIDED.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR ARE IN AN UNHEALTHY, OR UNSUITABLE CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR OTHER CAUSES WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OR TREES, PLANTS OR GROUND COVERS BY FIRES, FLOODS, FREEZING RAINS, LIGHTENING STORMS, WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINDY CONDITIONS NOT TYPICAL OF THE PLANTING AREA AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON PART OF THE OWNER.

REMOVED AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION.

MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANCE  
INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.  
1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION  
UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES, PERMITS AND FEES  
OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.

THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERE TO, ALSO AS DEPICTED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET.

#### PART 2 - PRODUCTS

##### MATERIALS

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED AND OPEN SHAPED PLANTS PLANTED ON STORAGE WILL BE REJECTED. THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WIRED WITH BURLAP, TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE 'AMERICAN STANDARD FOR NURSERY STOCK'. CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCLING ROOTS ARE NOT ACCEPTABLE.  
A. NO PLANTS SHALL BE LOOSE IN A CONTAINER.  
B. CONTAINER STOCK SHALL NOT BE POT BOUND.

3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM.  
A. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.

5. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH SHALL NO BE LESS THAN THE MINIMUM SIZE DESIGNATED ON THE PLANT LIST.

6. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.

7. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND AS SPECIFIED IN PLANT LIST.

8. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.

A. THE MEASUREMENT FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL, TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.

B. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED.

C. SIDE BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND.

D. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, TREE FROM DEAD WOOD, BRUISES, OR THEIR ROOT OR BRANCH INJURIES.

ACCESSORIES  
TOPSOIL SHALL BE FERTILE, FRABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMXTURE OF SUBSOIL MATERIAL. OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLE FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STICKS AND OTHER FOREIGN MATERIALS, WITH A MINIMUM RANGE OF BETWEEN PH 6.0 AND 6.8.

NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES BUILDING MATERIAL, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.

1. SOIL AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.

2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOPSOIL, AND RAKE SMOOTH.

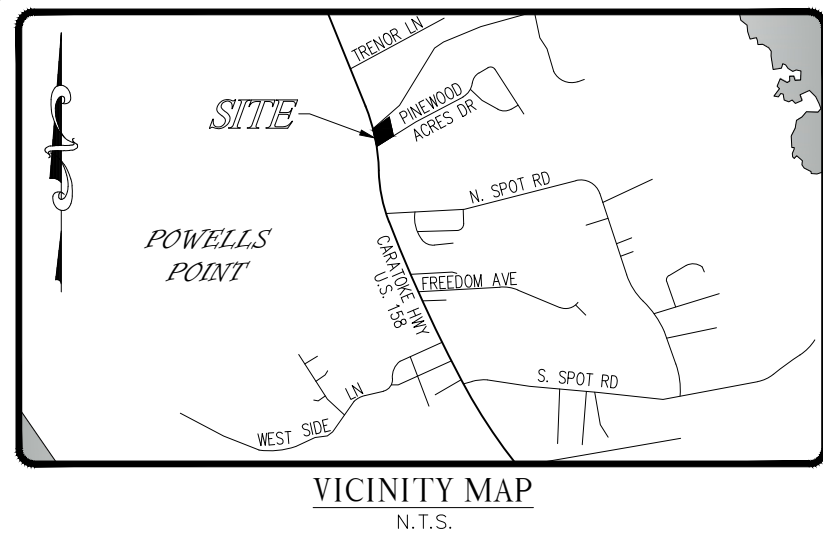
3. LANDSCAPE ISLANDS/MEDIAN: FRACTURE/ALSO EXISTING SUB-GRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY SUB-GRADE UNSUITABLE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE AND SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUB-GRADE IS CLEAN OF DEBRIS AND LOOSEND, AND TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING.

4. ANNUAL / PERENNIAL BED AREAS: ADD A MINIMUM OF 4" ORGANIC MATTER AND TILL A MINIMUM 12" DEPTH.

MULCH: TYPE SELECTED DEPENDENT ON REGION AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MULCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS.

1. HARDWOOD: 8 MONTH OLD, ROTTED TRIPLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND 2" IN WIDTH. FREE OF WOOD CHIPS AND SAWDUST





- LEGEND**
- EXISTING CONCRETE MONUMENT
  - EXISTING IRON ROD
  - EXISTING IRON PIPE
  - SET IRON ROD
  - CALCULATED POINT
  - UTILITY POLE
  - EXISTING WATER METER
  - PROPOSED WATER METER
  - FIRE HYDRANT
  - TRANSFORMER
  - TELEPHONE PEDESTAL
  - PROPOSED WALL PACK LIGHT (BY ARCHITECT)
  - EDGE OF PAVEMENT
  - RIGHT OF WAY
  - OVERHEAD UTILITY
  - MINIMUM BUILDING LINE
  - FORCE MAIN
  - LIMITS OF DISTURBANCE

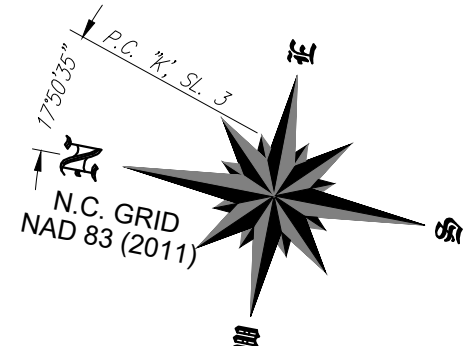
- NOTES**
- SITE PLAN SHOWN HEREON FOR PHASE 2 IS BASED ON A SITE PLAN DRAWN BY HYMAN & ROBOY, PC THAT WAS APPROVED BY CURRITUCK COUNTY ON MAY 4, 2006.
  - PROPERTY ADDRESS: 8181 CARATOKE HIGHWAY
  - PARCEL ID: 01230000930000, PIN: 8838-32-7281
  - CURRITUCK COUNTY ZONING: GB (GENERAL BUSINESS)
  - LOT AREA: 83,801 sq. ft. or 1.924 acres
  - AREA CALCULATED BY COORDINATE METHOD.
  - BOUNDARY AS RECORDED IN P.C. "K", SL. 3, CURRITUCK COUNTY REGISTRY.
  - THIS PARCEL MAY BE SUBJECT TO EASEMENTS NOT SHOWN HEREON.
  - LOT MAY BE IN AN AREA OF ENVIRONMENTAL CONCERN. INDIVIDUAL PERMITS MAY BE REQUIRED.
  - PROPERTY IS LOCATED IN F.I.R.M. ZONE X, MAP NO. 3720983800K, DATED DECEMBER 21, 2018, USE OF LAND WITHIN THE FLOODWAY OR FLOODPLAIN AND FLOOD ZONES SUBJECT TO CHANGE BY FEMA. ELEVATIONS SHOWN HEREON PER NAVD 88 DATUM.
  - FOR 3:1 FILL SLOPE NORTH OF BUILDING, SLOPE STABILIZATION AND RIP-RAP BASE IS REQUIRED.

**REFERENCE NOTES SCHEDULE**

PHOTO	SYMBOL	CODE	DESCRIPTION	QTY
Rock				
		K-101	#1 GRAVEL MULCH @ 3" WITH UNDERLAYMENT	13.1 CY



CURVE	RADIUS	LENGTH	BEARING	CHORD
C1	288.53'	14.04'	S56°56'53"W	14.04'

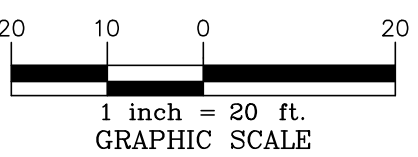


**PRELIMINARY**  
FOR PERMITTING ONLY - NOT FOR CONSTRUCTION



**SHEET INDEX**  
CIVIL SHEETS  
SHEET C1 - FINAL SITE & SEPTIC PLAN  
SHEET C2 - FINAL STORMWATER & GRADING PLAN  
SHEET C3 - CONSTRUCTION DETAILS  
LANDSCAPE DESIGN  
SHEET L1 - LANDSCAPE DESIGN  
SHEET L2 - LANDSCAPE LEGEND & NOTES  
SHEET L3 - LANDSCAPE DETAILS

CARATOKE HIGHWAY (U.S. 158)  
(120' WIDE R/W)



P.O. Box 1129  
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Kitty Hawk, NC 27949  
(252) 261-1151  
(252) 261-1333

Civil - Structural  
Site Development

**Coastal**  
ENGINEERING &  
SURVEYING, INC.

C-0836

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**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK
1	5/20/25	REVIS. PER COUNTY COMMENTS	NDG	NDG
2	7/22/25	REVIS. PER COUNTY COMMENTS & SITE PLAN REVISIONS	NDG	NDG

LANDSCAPE DESIGN FOR:  
**FRASCA HOLDINGS, LLC**  
NORTH CAROLINA  
CURRITUCK COUNTY  
POPULAR BRANCH TWP.  
**8181 CARATOKE HIGHWAY**

DATE: 4/29/25  
CHECKED: CFG  
PROJECT NO: P1121.24  
CAD FILE: P1121.LS  
SHEET: L1 OF L3

SCALE: 1"=20'  
DRAWN: NDG