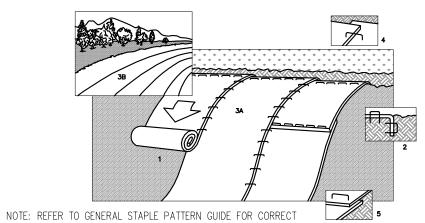


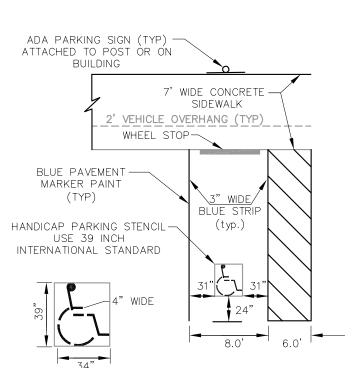
SWALE DETAIL

- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL—O—SEED DO NOT SEED PREPARED AREA. CELL—O—SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- 5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

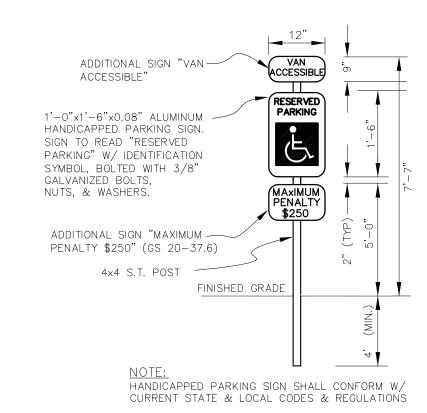


STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS. **EROSION CONTROL MATTING DETAIL** NOT TO SCALE



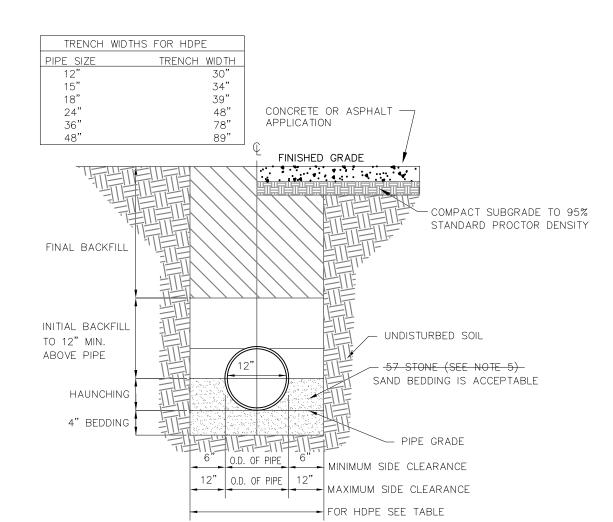


ADA PARKING STALL DETAIL NOT TO SCALE



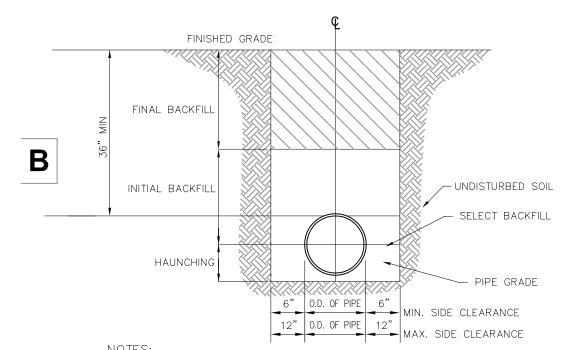
HANDICAPPED SIGN DETAIL

NOT TO SCALE



- 1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND
- BRACING.
- 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
- 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL. 4. BACKFILL SHALL BE TAMPED IN 6" LAYERS IN TRAFFIC AREAS, 12"
- IN NON-TRAFFIC AREAS. 5. TO BE USED WITH PVC LINES AND USE SELECT BACKFILL (CLEAN SAND) FOR HDPE.
- 6. PIPE INSTALLATION FOR TRENCH ON ROCK FOUNDATION SEE NCDOT DETAIL 300.01

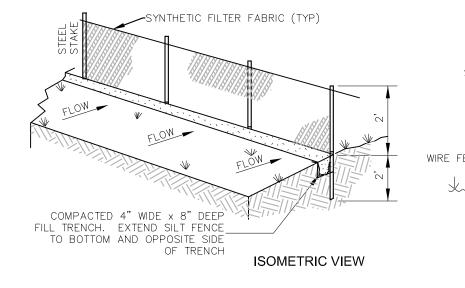
TRENCH BACKFILLING REQUIREMENTS FOR HDPE NOT TO SCALE

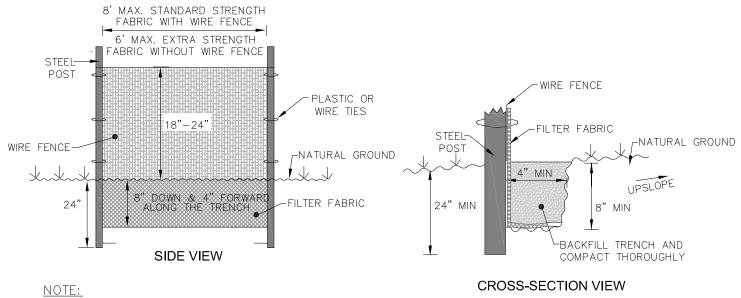


1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND

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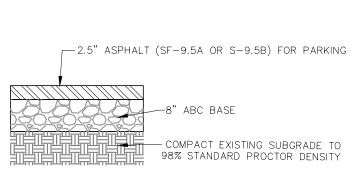
TRENCH AND BACKFILLING REQUIREMENTS FOR PVC AND D.I.P NOT TO SCALE



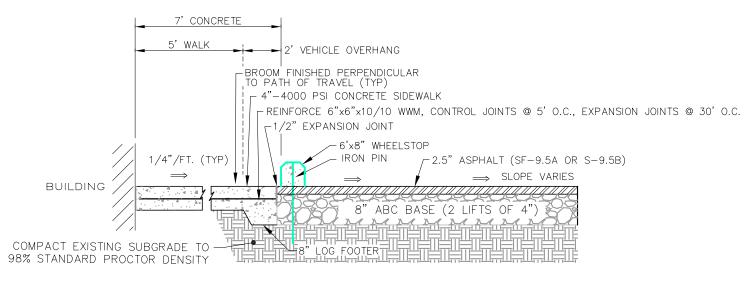


NOTE:
PLACE SILT FENCE 1' BEYOND LIMIT OF DISTURBANCE (LOD)

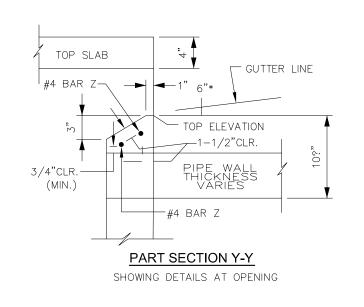
SILT FENCE DETAIL NOT TO SCALE

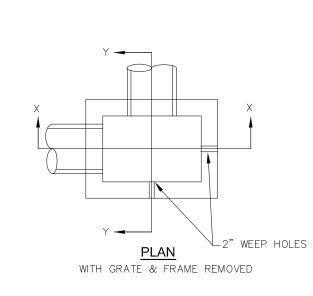


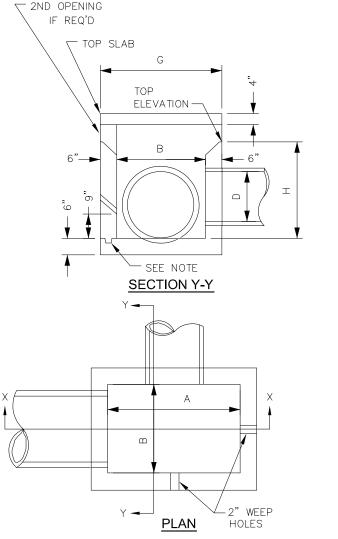
ASPHALT SECTION FOR PARKING NOT TO SCALE



TYPICAL CONCRETE WALK AND ASPHALT PARKING SECTION W/ WHEEL STOPS NOT TO SCALE







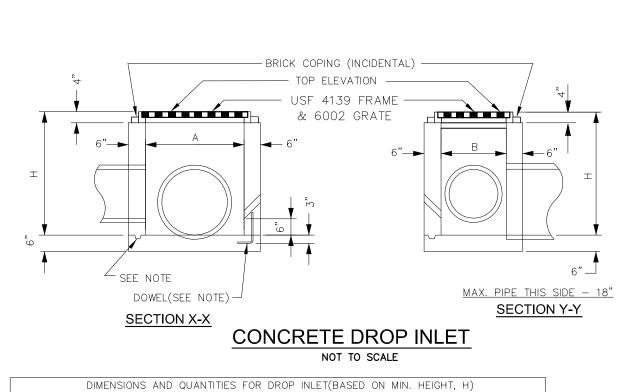
#4 BAR Z —

ELEVATION

SECTION X-X

TOP SLAB —

1/4" THICK



CUBIC YARDS DEDUCTIONS FOR ONE PIPE CONC. IN BOX BOTTOM WALL PER CONCRETE SLAB FT. HT. FOR MINIMUM C.M. R.C. Н

12	J -0	2 -0	2 0	0.222	0.222	0.592	0.015	0.020				
15"	1	1	2'-3"	1	1	0.648	0.023	0.036				
18"			2'-6"			0.703	0.033	0.049				
24"	/	/	3'-0"	1	F	0.814	0.059	0.085				
30"	3'-0"	2'-0"	3'-6"	0.222	0.222	0.925	0.092	0.127				
NERAL NOTES: CLASS "B" CONCRETE FOR DROP INLET												
OVIDE ALL DROP INLETS OVER 3'-6" IN DEPTH WITH STEPS 12" CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.												
ONAL CONSTRUCTION — MONOLITHIC POUR 2" KEYWAY OR #4 BAR DOWELS AT CENTERS AS DIRECTED BY THE ENGINEER.												

IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00. CONSTRUCT WITH PIPE CROWNS MATCHING. INSTALL 2" WEEPHOLES AS DIRECTED BY THE ENGINEER. INSTALL STONE DRAINS, OF A MINIMUM OF 1 CUBIC FOOT OF NO. 78M STONE IN A CHAMFER ALL EXPOSED CORNERS 1".

USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.

DIM'S OF BOX & PIPE REINFORCING									TOP & BOT. SLAB CU. YDS. CONC.			TOTAL QUANTITIES		DEDUCTION		DED. ONE 6" THROAT			
PIPE	SPAN	WIDTH	HEIGHT	BA	RS – X	BΑ	RS - Y	ВА	RS – Z	DIMENSIONS		IN BOX		BOX & SLABS		ONE PIPE		OPENING	
D	Α	В	Н	NO.	LENGTH	NO.	LENGTH	NO.	LENGTH	F	G	TOP SLAB	BOT. SLAB	WALL/FT. HT	LBS. REINF.	CYD (MIN H)	C.S.	R.C.	CYD
12"	3'-6"	2'-3"	1'-10"	4	3'-0"	6	4'-3"	2	4'-3"	4'-6"	3'-3"	0.181	0.271	0.250	27	1.046	0.015	0.032	0.046
15"	3'-6"	2'-3"	2'-1"	4	3'-0"	6	4'-3"	2	4'-3"	4'-6"	3'-3"	0.181	0.271	0.250	27	1.108	0.023	0.036	0.046
18"	4'-0"	2'-8"	2'-4"	5	3'-5"	7	4'-9"	2	4'-9"	5'-0"	3'-8"	0.226	0.340	0.284	35	1.379	0.033	0.049	0.053
24"	4'-0"	2'-8"	2'-10"	5	3'-5"	7	4'-9"	2	4'-9"	5'-0"	3'-8"	0.226	0.340	0.284	35	1.521	0.059	0.085	0.053
30"	4'-0"	3'-6"	3'-4"	5	4'-3"	9	4'-9"	2	4'-9"	5'-0"	4'-6"	0.278	0.417	0.315	43	1.916	0.092	0.127	0.053
36"	4'-6"	4'-0"	3'-10"	5	4'-9"	10	5'-3"	2	5'-3"	5'-6"	5'-0"	0.340	0.510	0.352	51	2.390	0.132	0.178	0.059

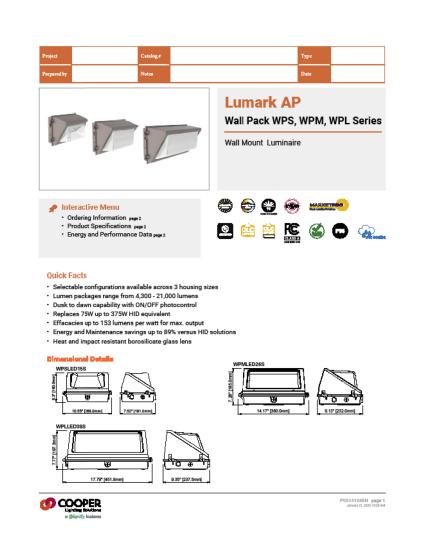
MIN. DIMENSIONS AND QUANTITIES FOR CONCRETE CATCH BASIN (BASED ON MIN. HEIGHT, H)
 42"
 5'-0"
 4'-6"
 4'-4"
 5
 5'-3"
 12
 5'-9"
 2
 5'-9"
 6'-0"
 5'-6"
 0.407
 0.611
 0.389
 64
 2.914
 0.180
 0.243
 0.066

 48"
 5'-0"
 5'-0"
 4'-10"
 5
 5'-9"
 13
 5'-9"
 2
 5'-9"
 6'-0"
 0.444
 0.666
 0.407
 68
 3.298
 0.235
 0.317
 0.066

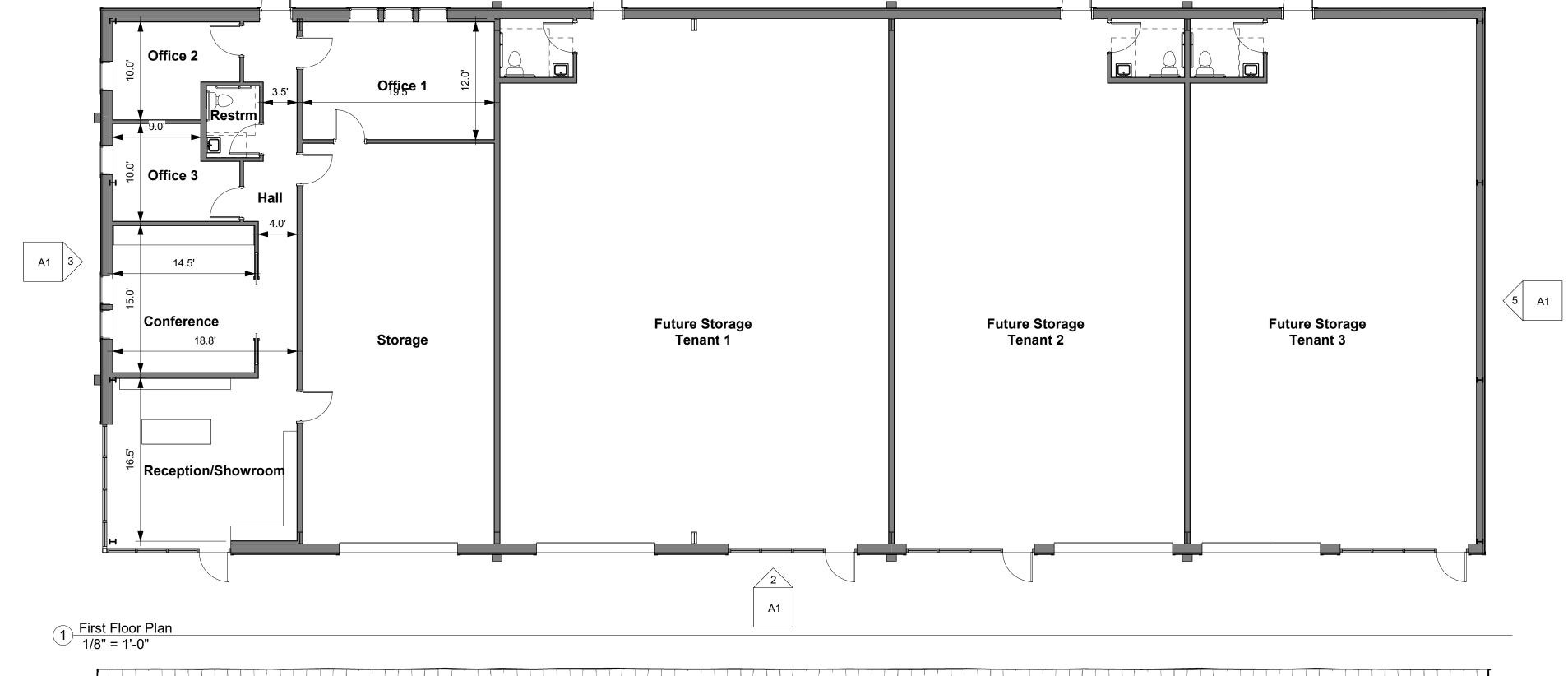
G

CHECKED: DRAWN: JCB ROJECT NO: P1121 SITE PLAN







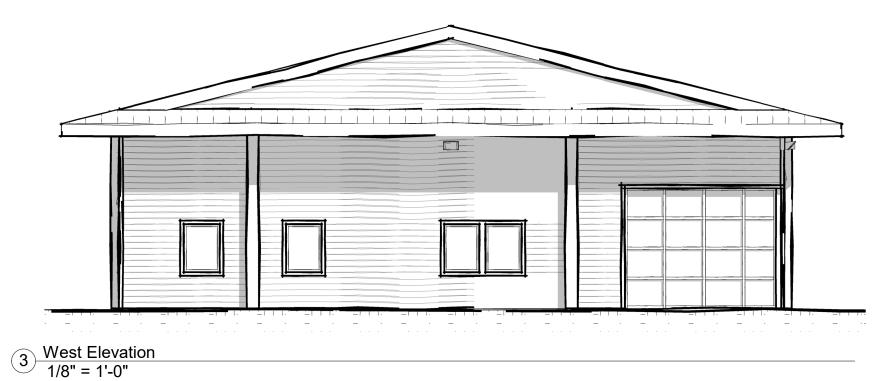


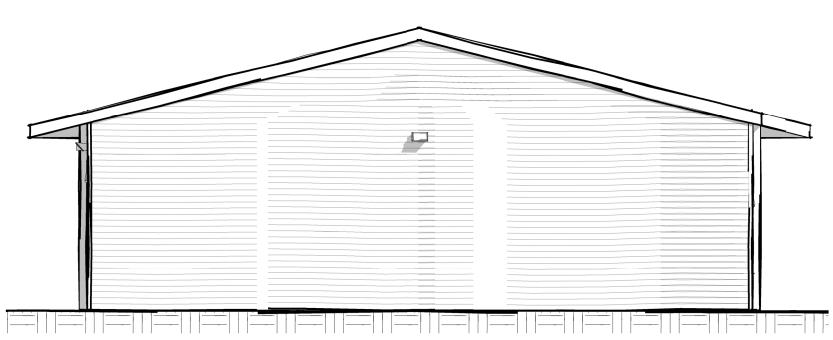
COOPER LIGHTING WP WALL PACK (TYP.)

LITHONIA AFF EXIT LIGHT

ABOVE DOORS (TYP.)

4





5 East Elevation 1/8" = 1'-0"

2 South Elevation 1/8" = 1'-0" $4 \frac{\text{North Elevation}}{1/8" = 1'-0"}$

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the

Project: Coastal Roofing Bldg 2

Location: 8179 Caratoke Hwy.

Preliminary

July 6, 2025

As indicated

Powells Point, NC

Project No: **25019**

Date:

cahoon+kasten

118 West Woodhill Drive

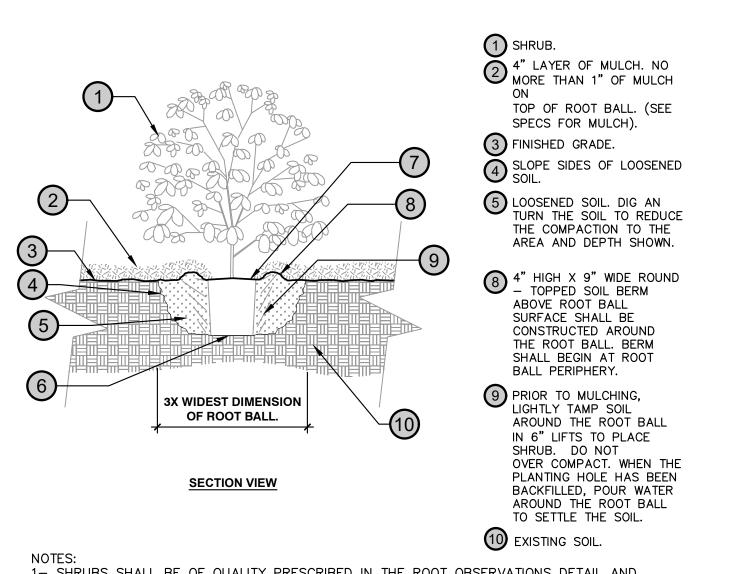
Nags Head, North Carolina 27959 P. 252.441.0271 F. 252.441.8724 E. office@obxarchitects.com



Revisions:

10013101		
No.	Description	Date
D 1	Danima	
Designed:	Designer	

Reviewed: Checker

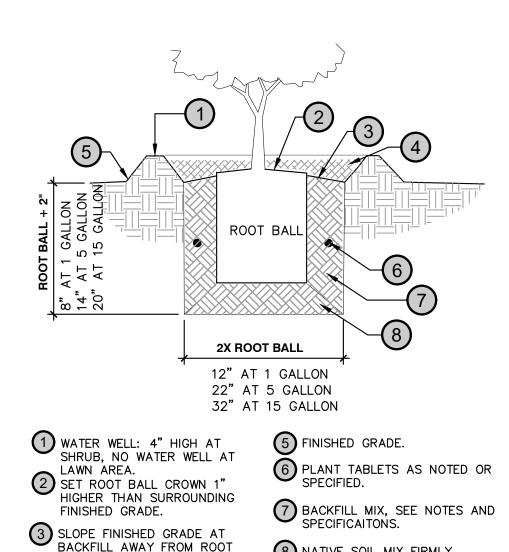


1- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.

2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL. URBAN TREE FOUNDATION © 2014 SHRUB — UNMODIFIED SOIL

DETAIL-FILE

1 SHRUB 2 ROOTBALL 3 ROUND - TOPPED SOIL BERM 4" HIGH AND 8"WIDE ABOVE ROOT BALL SURFACE SHALL BE CENTERED ON THE DOWNHILL SIDE OF THE ROOT BALL FOR 240°. BERM SHALL BEGIN AT THE ROOT BALL PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER THE COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR THE WATER AROUND THE ROOT BALL TO SETTLE THE SOIL. 5 EXISTING SOIL 6 4" LAYER OF MULCH. NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL. (SEE SPECIFICATIONS FOR ORIGINAL SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK MEETS SUBSTRATE/SOIL. 8 SLOPE SIDES OF LOOSENED SOIL. 9 LOOSEN THE SOIL. DIG AND TURN THE SOIL TO REDUCE THE COMPACTION TO THE AREA AND DEPTH 3X'S WIDEST DIMENSION OF ROOT BALL BOTTOM OF ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL. SECTION VIEW URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - UNMODIFIED SOIL DETAIL-FILE



3 SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOT 4 MULCH TO 2" DEPTH AT

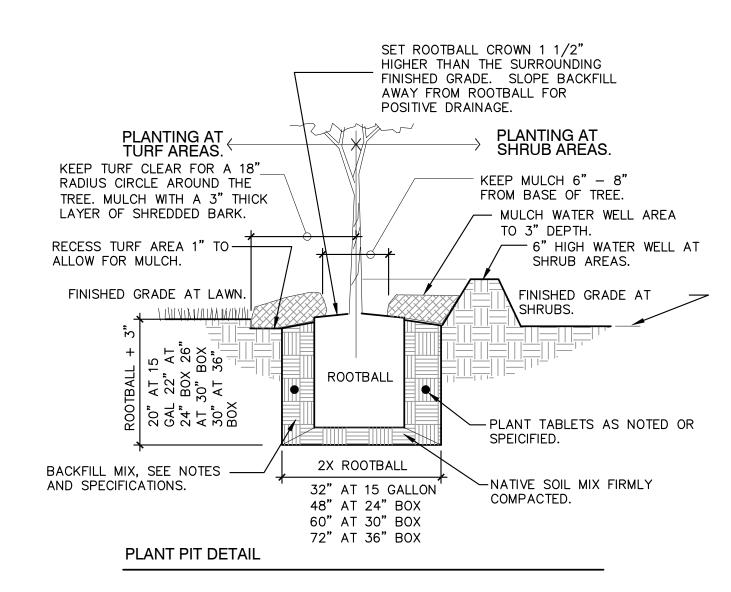
8 NATIVE SOIL MIX FIRMLY COMPACTED.

WATER

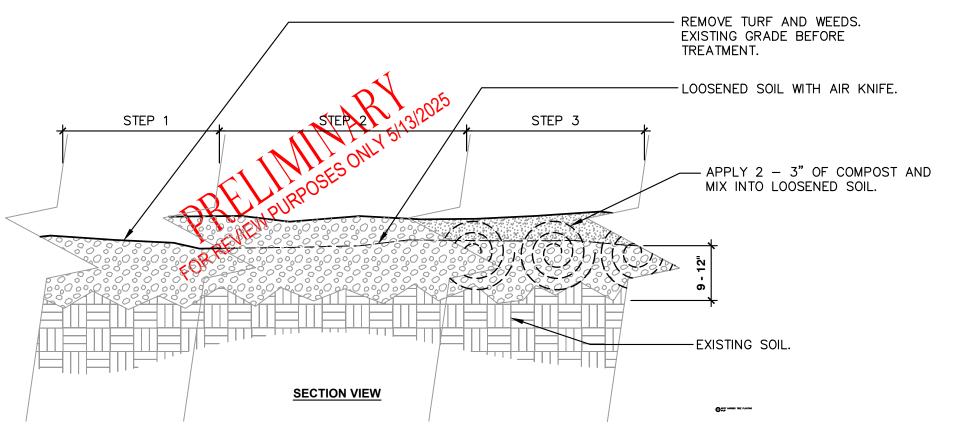
SHRUB PLANTING

DETAIL-FILE

DOUBLE STAKE WITH WIRE: #12
GALVANIZED WIRE THROUGH THE EYE OF "CINCH-TIE" RUBBER 2" DIAMETER LODGEPOLE PINE TREATED TREE STAKES. SET PERPENDICULAR TO PREVAILING - REMOVE NURSERY STAKE BY THE END OF MAINTENANCE. 1X3 CROSSTIE, AVOID RUBBING INJURY TO TRUNK. — BACKFILL PLANTING AS PER PLANTING DETAIL. - AVOID DAMAGE TO THE ROOT BALL WITH THE SUPPORT STAKES. STAKING DETAIL



TREE PLANTING DOUBLE STAKE DETAIL-FILE



1- PRIOR TO THE START OF WORK REMOVE ALL THATCH, SOD, AND/OR WEEDS.

2- LOOSEN SOIL WITH AIR KNIFE OR APPROVED EQUAL TO A DEPTH OF 9 - 12" AND WORK AROUND ENCOUNTERED

3- APPLY 2 - 3" OF COMPOST OVER LOOSENED SOIL. USING AN AIR KNIFE MIX COMPOST INTO LOOSENED SOIL.

4- WATER ENTIRE ROOT ZONE AT END OF EACH WORK DAY.

5- SEE PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE

MODIFIED EXISTING SOIL - COMPACTED SOIL IN TREE DRIPLIN 3/4" = 1'-0"

FX-PLNT-FX-PREP-SOIL-

P.O. B 4425 N. C Kitty Hawk, (252)-

C

G

HECKED: DRAWN: ROJECT NO: AD FILE: P1121 LS

L3 of L3

X	PLANT SCHEDULE																
		SYMBOL	CODE	BOTANICAL / COMMON NAME				SIZE	CONTAINER	QTY	BUFFER YARD "A-1"	BUFFER YARD "A-2"	BUFFER YARD "B"	SITE	STREETSCAPE	DETAIL	REMARKS
С	TREES		ACE RB3	ACER RUBRUM / RED MAPLE				12" DB	H EXISTING	5			5				
С			ACE RBR	ACER RUBRUM / RED MAPLE				15" DB	H EXISTING	3		2	1				
С			ACE RB4	ACER RUBRUM / RED MAPLE				18" DB		1			1				
С			ACE RB2	ACER RUBRUM / RED MAPLE				6" DBH		2		1	1				
С				ACER RUBRUM / RED MAPLE													
		المن	ACE RB5	ACER RUBRUM / RED MAPLE	8" DBH	EXISTING			1								
U		3	AME GRA	AMELANCHIER X GRANDIFLORA 'AUTUMN	BERRY 15 GAL	РОТ	4	4						1-1/2" DBH - MATCHED			
U			BET DUR	BETULA NIGRA `BNMTF` / DURA HEAT® R	RIVER BIRCH			15 GAL	POT	9		5	3	1			1-1/2" DBH - MATCHED
С			ILE CH8	ILEX CHINENSIS / HOLLY				8" DBH	EXISTING	1		1					
C/U	70		LAG WII	LAGERSTROEMIA INDICA `WHIT II` / DYNA	AMITE® CRAPE I	MYRTLE		15 GAL	РОТ	8				8			2" DBH - MATCHED
C/U			LAG TO2	LAGERSTROEMIA INDICA X FAURIEI TONT	O' / TONTO CRA	APE MYRTLE MULTI-	-TRUNK	15 GAL	POT	3					3		MATCHED
C/U			LAG TON	LAGERSTROEMIA INDICA X FAURIEI TONT	O' / TONTO CRA	APE MYRTLE MULTI-	-TRUNK	4" DBH	EXISTING	22			1	8	13		
С		$\overline{(\cdot)}$	LIQ ST6	LIQUIDAMBAR STYRACIFLUA / SWEET GUI	12" DB	H EXISTING	1			1				EXISITNG			
С		$\overline{(\cdot)}$	LIQ STY	LIQUIDAMBAR STYRACIFLUA / SWEET GUN	M			12" DB	H EXISTING	3		2		1			
С		$\overline{(\cdot)}$	LIQ ST2	LIQUIDAMBAR STYRACIFLUA / SWEET GUN	M			18" DB	H EXISTING	2	2						
С		$\overline{(\cdot)}$	LIQ ST4	LIQUIDAMBAR STYRACIFLUA / SWEET GUI	M			24" DB	H EXISTING	2		2					EXISTING
С		$\overline{(\cdot)}$	LIQ ST3	LIQUIDAMBAR STYRACIFLUA / SWEET GUN	M			9" DBH	EXISTING	1	1						
С		000000000000000000000000000000000000000	PIN TA2	PINUS TAEDA / LOBLOLLY PINE				18" DB	H EXISTING	1			1				
С		00000000000000000000000000000000000000	PIN TAE	PINUS TAEDA / LOBLOLLY PINE				24" DB	H EXISTING	1	1						
С		7-000000	QUE CO2	QUERCUS COCCINEA / SCARLET OAK				12" DB	H EXISTING	1					1		
С		(·)	QUE COC	QUERCUS COCCINEA / SCARLET OAK				18" DB	H EXISTING	1				1			
С		$\overline{(\cdot)}$	THU IB3	THUJA X 'GREEN GIANT' / GREEN GIANT A	RBORVITAE			12" DB	H EXISTING	1			1				
С		$\overline{(\cdot)}$	THU IB2	THUJA X 'GREEN GIANT' / GREEN GIANT A	RBORVITAE			18" DB	H EXISTING	9			9				
С		$\overline{(\cdot)}$	THU IBI	THUJA X 'GREEN GIANT' / GREEN GIANT A	RBORVITAE			24" DB	H EXISTING	3			3				
С		$\overline{(\cdot)}$	THU IB5	THUJA X 'GREEN GIANT' / GREEN GIANT A	RBORVITAE			4" DBH	EXISTING	1			1				
С		$\overline{(\cdot)}$	THU IB4	THUJA X 'GREEN GIANT' / GREEN GIANT A	RBORVITAE			6" DBH	EXISTING	3	1		2				
U			ROB	WASHINGTONIA ROBUSTA / MEXICAN FAN	N PALM			4" DBH	EXISTING	1				1			EXISTING
SHRUBS												1	<u> </u>				
		<u>()</u>	CHA EYF	CHAMAECYPARIS PISIFERA 'KING'S GOLD' / KING'S GOLD THREADLEAF SAWARA CYPRESS					РОТ	19			7	3	9		MATCHED
			RHA SNO	RHAPHIOLEPIS X DELACOURII 'CORLEYSO	3 GAL.	РОТ	29			5	5	19		MATCHED			
	QTY EXISTING		RYARD D			UNDERSTORY IN DBH	IN DBH	SHRUBS 3GAL									CANOPY TREE
	5		B	12 REDMAPLE 15 REDMAPLE	60 15		60 15								U = DE	NOTES (INDERSTORY TRE
	1	F	В	18 RED MAPLE	18	3	18		\(\frac{1}{2}\)	Г	OTT DE		NI I-	TOTA:	DDLI I IVIDOS		
	1		В	6 REDMAPLE	6	6l	6		QTY		SITE DE	SH DESCRIPTIO	71 N	IOIAL	DBH UNDERSI		CANOPY SHRUE

Q I I	BILLIAE	ושט	DESCRIPTION	101/2001		3 1101 1	1 4 1 6000
EXISTING					IN DBH	IN DBH	3GAL
5	В	12	REDMAPLE	60		60	
1	В	15	REDMAPLE	15		15	
1	В	18	REDMAPLE	18		18	
1	В	6	REDMAPLE	6		6	
1	В	4	CRAPEMYRTLE	4	4		
1	В	12	SWEETGUM	12		12	
1	В	9	SWEETGUM	9		9	
1	В	18	PINE	18	N/A	N/A	
1	В	12	ARBORMTAE	12		12	
9	В	18	ARBORMTAE	162		162	
3	В	24	ARBORMTAE	72		72	
1	В	4	ARBORMTAE	4		4	
2	В	6	ARBORMTAE	12		12	
PROVIDED				TOTAL:	4	382	0
REQUIREME	ENTS				8	6	12
PROPOSED					4.5	GOOD:. 0	12
		•					
QTY	BUFFER YARD	DBH	DESCRIPTION	TOTALDBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					INIDRH	INIDRH	3CAI

QTY	BUFFER YARD	DBH	DESCRIPTION	TOTALDBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					IN DBH	IN DBH	3GAL
2	A1	18	SWEET GUM	36		36	
1	A1	9	SWEETGUM	9		9	
1	A1	24	PINE	24	N/A	N/A	
1	A1	6	ARBORMTAE	6		6	
PROVIDED				TOTAL:	0	51	0
REQUIREME	ENTS				4	4	0
PROPOSED					6	GOOD:: 0	0

QTY	BUFFER YARD	DBH	DESCRIPTION	TOTALDBH	UNDERSTORY	CANOPY	SHRUB
EXISTING					IN DBH	IN DBH	3GAL
2	A2	15	REDMAPLE	30		30	
1	A2	6	REDMAPLE	6		6	
1	A2	8	REDMAPLE	8		8	
1	A2	8	HOLLY	8		8	
PROVIDED				TOTAL:	0	52	0
REQUIREME	ENTS				9	9	0
PROPOSED					9	GOOD:. 0	0

االح	SIL	ווטטון	DESCRIPTION			CANOLL	
EXISTING					IN DBH	IN DBH	3GAL
13		4	CRAPEMYRTLE	52	52		
1		12	OAK	12		12	
PROVIDED				TOTAL:	52	12	0
REQUIREME	ENTS				5.5	10	13
PROPOSED					GOOD:. 0	GOOD:. 0	13
YTÇ	STREETSCAPE	DBH	DESCRIPTION	TOTAL DBH	UNDERSTORY	CANOPY	SHRUBS
EXISTING					IN DBH	IN DBH	3GAL
8		4	CRAPEMYRTLE	32	32		
1		12	SVETCINI	12		10	

QTY	STREETSCAPE	DBH	DESCRIPTION	TOTAL DBH	UNDERSTORY	CANOPY	SHRUE
EXISTING					IN DBH	IN DBH	3GAL
8		4	CRAPEMYRTLE	32	32		
1		12	SWEETGUM	12		12	
1		4	PALM	4	4		
PROVIDED				TOTAL:	36	12	
REQUIREME	ENTS				50%	50%	14
PROPOSED					GOOD:: 0	10.5	15
* DBH=DI	AMETER BREST H	EG HTIN I	NCHES		-		

PART 1 - GENERAL

DESCRIPTION:

PROVIDE TREES, SHRUBS, GROUND COVERS, HYDROSEEDING AND PERENNIALS/GRASSES AS SHOWN AND SPECIFICED ON THIS

1. SOIL PREPARATION 2. TREES, SHRUBS, GROUND COVERS, HYDROSEEDING, PERNNIALS AND GRASSES

3. PLANTING MIXES

6. DECORATIVE STONE

QUALITY ASSURANCE

PLANT NAMES INDICATED. PLANTS NAMES SHALL CONFORM TO THE 'INTERNATIONAL CODE OF NOMENCLATURE (ICN) FOR ALGAE, FUNGI, AND PLANTS. PLANT CULTIVARS SHALL CONFORM TO THE INTERNATIONAL CODE OF NOMENCLATURE FOR CULTIVATED PLANTS" (ICNCP).

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK' A PLANT

SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A

NURSERY STOCK FURNISHED SHALL BE A LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL

SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL OR CHANGES IN PLANT MATERIAL SIZE PRIOR TO THE LANDSCAPE

COST. AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED BEFORE SUBMITTING A BID/QUOTE. THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUANTITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE DESIGNER/ARCHITECT

CONTRACTOR SUBMITTING A BID. DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD GRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AND APPROVED 'ANTI-DESICCANT' IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK, PROTECT ALL PLANTS FROM DRYING OUT, IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL. WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE DESIGNER/ARCHITECT. WATER HEELED-IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

PROJECT CONDITIONS

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZE, QUANTITIES AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWING. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST. THE PLANTING PLANS SHALL GOVERN.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTH AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER THE COMPLETION AND FINAL ACCEPTANCE OF ENTIRE PROJECT, UNLESS IRRIGATION IS NOT PROVIDED

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, ARE IN AN UNHEALTHY, OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR OTHER CAUSES WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OR TREES, PLANTS OR GROUND COVERS BY FIRES, FLOODS, FREEZING RAINS, LIGHTENING STORMS, WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVER WINDER CONDITIONS NOT TYPICAL OF THE PLANTING AREA AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON PART OF THE OWNER.

REMOVED AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION. MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE. 1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND

UPON ACCPETANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

PLANT MATERIALS ARE ALIVE AND IN A HEALTHY. VIGOROUS CONDITION

CODES. PERMITS AND FEES OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.

THE ENTIRE INSTALLATION SHALL FULLY COMPLY WILL ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO: ALSO AS DEPICTED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET PART 2 - PRODUCTS

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY; WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALED INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WRAPPED WITH BURLAP, TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE 'AMERICAN STANDARD FOR NURSERY STOCK'. CRACKED OR MUSHROOMED BALLS OR

SIGNS OF CIRCLING ROOTS ARE NOT ACCEPTABLE. 2. CONTAINER - GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE A DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE. A. NO PLANTS SHALL BE LOOSE IN A CONTAINER.

B. CONTAINER STOCK SHALL NOT BE POT BOUND 3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM

4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE DESIGNER/ARCHITECT.

A. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE 5. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH SHALL NO BE LESS THAN THE MINIMUM SIZE DESIGNATED ON THE PLANT LIST. 6. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.

7. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OF AS SPECIFIED IN PLANT LIST 8. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST. A. THE MEASUREMENT FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.

B. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED. $\hbox{C. SIDE BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND.}\\$

D. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, TREE FROM DEAD WOOD, BRUISES, OR THEIR ROOT OR BRANCH

TOPSOIL: SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLE FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STICKS

AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8 NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES BUILDING MATERIAL,

ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL. 1. SOD AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH. 2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOPSOIL AND RAKE SMOOTH. 3. LANDSCAPE ISLANDS/MEDIANS: FRACTURE/LOOSEN EXISTING SUB-GRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY

SUB-GRADE UNSUITABLE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE AND SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUB-GRADE IS CLEAN OF DEBRIS AND LOOSENED, ADD TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING. 4. ANNUAL / PERENNIAL BED AREAS: ADD A MINIMUM OF 4" ORGANIC MATTER AND TILL A MINIMUM 12" DEPTH.

MULCH: TYPE SELECTED DEPENDENT ON REGION AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MULCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS. 1. HARDWOOD: 6 MONTH OLD WELL ROTTED TRIPLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND 2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST. INSTALL MINIMUM DEPTH OF 3". 2. PINE STRAW: PINE STRAW TO BE FRESH HARVEST, FREE OF DEBRIS, BRIGHT IN COLOR. BALES TO BE WIRED AND TIGHTLY BOUND. NEEDLES TO BE DRY. INSTALL MINIMUM DEPTH OF 3". 3. RIVER ROCK: (COLOR) LIGHT TAN TO DARK BROWN, WASHED RIVER ROCK, 1"-3" IN SIZE. INSTALL IN SHRUB BEDS TO AN EVEN DEPTH OF 3". WEED CONTROL BARRIER TO BE INSTALLED UNDER ALL ROCK MULCH AREAS. USE CAUTION DURING INSTALLATION NOT TO DAMAGE THE PLANT MATERIAL

4. MINI NUGGETS: INSTALL TO A MINIMUM DEPTH OF 2"-3" AT ALL LOCATION OF ANNUAL AND PERENNIAL BEDS. LIFT THE STEMS AND LEAVES OF THE ANNUALS AND CAREFULLY SPREAD THE MULCH TO AVOID INJURING THE PLANTS. GENTLY BRUSH THE MULCH OFF THE

1. ARBORTIE: GREEN (OR WHITE) STAKING AND GUYING MATERIAL TO BE FLAT, WOVEN, POLYPROPYLENE MATERIAL. 7" WIDE 900 LB. BREAK STRENGH. ARBORTIE SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE PERMITS TREE MOVEMENT AND 2. REMOVE GUYING/STAKING AFTER ONE YEAR FROM PLANTING.

TREE WRAP: TREE WRAPS SHOULD BE USED ON YOUNG, NEWLY PLANTED THIN-BARKED TREES (CHERRY, CRABAPPLE, HONEY LOCUST, LINDEN, MAPLE, MOUNTAIN ASH, PLUM) THAT ARE MOST SUSCEPTIBLE TO SUN SCALE/SUNBURN, STANDARD WATERPROOFED TREE WRAPPING PAPER, 2-1/2" WIDE, MADE OF 2 LAYERS OF CREPE DRAFT PAPER WEIGHING NOT LESS THAN 30LBS. PER REAM, CEMENTED TOGETHER WITH ASPHALT. WRAP THE TREE IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINDER AND EARLY SPRING. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE THE TREE DEVELOP CORKY BARK.

LANDSCAPE CERTIFICATION

1.I, BILL FRASCA (FRASCA HOLDINGS, LLC) OWNER, HEREBY CERTIFY THE ATTACHED PAGES IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

ON THE LANDSCAPE PLAN ENTITLED, LANDSCAPE PLAN FOR FRASCA HOLDINGS, LANDSCAPE IMPROVEMENTS SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS AND APPROVED BY THE COUNTY OF CURRITUCK. APPROPRIATE MAINTENANCE IS REQUIRED AS PART OF THE LANDSCAPE PLAN. THE OWNER IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED AS PER TOWN

UDO 5.2.10 (MAINTENANCE).

OWNER / AGENT

PART 3 - EXECUTION

PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB-GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATION, IRRIGATION, APPROVE TOP SOIL AND OBSERVE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKERS FAMILIAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAKING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTION ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS. DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND APPROVED BY THE LANDSCAPE DESIGNER/ARCHITECT; SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLAN PITS WITH VERTICAL SIDES EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS PROVIDE SHRUB PITS AT LEAST 2X GREATER THAN THE DIAMETER OF THE ROOT SYSTEM. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM. PROVIDE UNDISTURBED SUB-GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 2"-3" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH TOPSOIL MIX AND EXCAVATED MATERIAL. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MUDDLE PLANTING AND SOIL MIXTURE AROUND BASES OF BALLS AND FILL 1. REMOVE ALL BURLAP, ROPES AND WIRES FROM THE TOP 1/3 OF THE ROOT BALL

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF THE EDGE OF BED.

1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL (SEE LANDSCAPE PLAN FOR MULICH TYPE) : DEPTH OF MULICH AS TO NOTED ON PLAN LIST. HOLD MULICH BACK 3" AWAY FROM TREE TRUNKS AND SHRUB STEMS.

THOROUGHLY WATER MULCHED AREAS. AFTER WATERING RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

DECORATIVE STONE (WHERE INDICATED ON LANDSCAPE PLAN) 1. INSTALL WEED CONTROL BARRIER OVER SUB-GRADE PRIOR TO INSTALLING STONE. LAP 5" ON ALL SIDES.

2. PLACE STONE WITHOUT DAMAGING WEED BARRIER 3. ARRANGE STONES FOR BEST APPEARANCE AND TO COVER ALL WEED BARRIER FABRIC AND TO DEPTH SPECIFIED IN

1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATION AND IMPROPER PRUNING BEFORE WRAPPING 2. STAKE/GUY ALL TREES IMMEDIATELY AFTER LAWN SODDING/SEEDING OPERATIONS AND PRIOR TO ACCEPTANCE.

3 STAKE DECIDUOUS TREES 2" CALIPER AND LESS, STAKE EVERGREEN TREES LINDER 7' TALL A. STAKES ARE PLACED IN LINE WITH PREVAILING WIND DIRECTION AND DRIVEN INTO UNDISTURBED SOIL B. TIES ARE ATTACHED TO TREE, USUALLY AT LOWEST BRANCH

4. GUY DECIDUOUS TREES OVER 2" CALIPER. GUY EVERGREEN TREES 7' TALL AND OVER. A. GUY WIRES TO BE ATTACHED TO THREE STAKES DRIVEN INTO UNDISTURBED SOIL WITH ONE STAKE PLACED IN THE DIRECTION OF THE PREVAILING WIND.

B. TIES ARE ATTACHED TO THE TREE AS HIGH AS PRACTICAL C. THE AXIS OF THE STAKE SHOULD BE 90 DEGREE ANGLE TO THE AXIS NON THE PULL OF THE GUY WIRE

5. REMOVE ALL GUYING AND STAKING AFTER ONE YEAR FROM PLANTING.

DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS ALL AREAS SHALL BE KEPT NEAT AND CLEAN, PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURE. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATION, OCCUPANTS AND PEDESTRIANS.

UPON COMPLETION OF INSTALLATION OPERATIONS ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTER MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PREVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE THE ON-SITE TRASH RECEPTACLE(S). SWEEP PARKING AND WALKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHANGE TO THE OWNER.

CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATION, WEEDING, WATERING AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWNS FREE OF INSECTS AND DISEASI 1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL. 2. REPAIR GUY WIRES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND GUY WIRES AFTER 1 YEAR

3. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON 4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING AND NOT LESS THAN TWICE

NO IRRIGATION PROPOSED THUS, OWNER AND INSTALLER TO DISCUSS A MAINTENANCE PLAN IN ACCORDANCE WITH CURRITUCK COUNTY UDO ORDINANCE #

LANDSCAPE NOTES Cont...

- Landscape Contractor to read and understand all Landscape Notes and Specifications Contractor is responsible for locating and protecting all underground utilities prior to digging.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final All tree protection areas are to be protected from sedimentation.
- No parking, storage or other construction activities are to occur within the tree protection
- All plants shall equal or exceed measurements indicated in the plant list which are minimum acceptable sizes. All planting areas shall be cleaned of construction debris prior to adding and spreading of topsoil.
- General Contractor is responsible for adding a min. of 4" clean friable topsoil in all planting bed and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. Names of plants indicated conform to those in L.H. Bailey's Hortus Third, 1976 Edition, Names of varieties not included conform generally with names accepted in the nursery trade. Verify that all plants have a habit of growth normal for their species and be healthy and vigorous, with well developed root systems and free from insect pests, plant disease and injuries. Verify that trees have single trunks, except where otherwise indicated and that all shrubs are healthy, vigorous and of good color. Only
- prune damaged or broken branches of plan material and do such at time of planting. Do not prune the central leader of the plant. 11. Any deviations from approved set of plans are to be approved by Owner or Owner's Representative.
- 12. All planting beds adjacent to building, to achieve positive drainage 13. Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod and planting. 15. Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant
- material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- 17. Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- 18. Water thoroughly twice in the first 24 hours and apply mulch material immediately. 19. The Landscape Contractor shall guarantee all plants install for one full year from the date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications Warranty requirements/expectations. All replacements to meet original size and species
- requirements unless expressly noted by Owner or Owners Representative. 20. Any plant that is determined dead/dying or in an unhealthy unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Specifications of Warranty requirements/expectations.
- Stake all evergreen and deciduous trees as shown in the planting detail. 23. Remove and stakes and guying after one year from planting.
- 24. Plant as indicated except where permanent obstructions are encountered or where approved deviations from the drawings prevent such. Make necessary adjustments only after approval by Owner or Owners Representative. Exercise reasonable care to dig planting pits and prepare soil prior to moving plants to their location to ensure that they will not be unnecessarily exposed to drying or physical damage.
- 25. Verify quantities on planting plan view to those on planting schedule. Use the quantities on the plan where 26. Plant all plants upright and rotated to give the best side view for appropriate location and to give a favorable
- appearance. Spread roots in their normal position. Plants with rootbound or circular roots will no be accepted. 27. Conduct planting operations under favorable weather conditions during the next season or seasons that are
- favorable for such work. 28. Use a dry slow release fertilizer containing at least 25%-50% water insoluble-Nitrogen and have a low adjusted salt index to prevent burning. Verify that the necessary N-P-K reveals the necessary leaves of agronimic soils test. Mix the fertilizer into the backfill soil of the tree pits and for shrubs mix the fertilizer into the shrub bed area. Provide adequate moisture when fertilizing so that the fertilizer dissolves into the soil solution for root uptake and
- Use pesticides when necessary to treat an outbreak of harmful pest or disease problems. Notify the Owner and Owners Representative with 24 hours prior to the application of pesticide.
- 30. Submit written request to the Owner and Owners Representative for a substantial completion inspection of plantings and landscape work at least 10 days prior to acceptance date. Correct all deficiencies noted before
- requesting follow-up inspection and subsequent written acceptance. 31. Seed all areas within the limits of construction that are not otherwise covered by buildings, pavement and sidewalks
- wooded areas and planting/mulched bed or otherwise indicated. 32. Seed using the one of the following mixture(s) at the rates indicated below for the turf areas corresponding to the specified dates listed below.

Type of Grass 2 lbs. / 1000 sq. ft. (Hulled Seed)

7 lbs. / 1000 sq. ft. (Unhulled Seed) All others and 5 lbs. / 1000 sq. ft Winter Rye (Lollium Multiflorum)

33. Verify all seed mixtures conform to the latest edition the North Carolina Turfgrass Variety recommendations published by the North Carolina Cooperative Extension 34. Maintain positive surface drainage in all areas at all times unless deliberate limited ponding is indicated for

stormwater management detaining or retention and in those cases only to the degree indicated and for the purposes indicated. 35. Clean all storm drainage pipes, drop inlets, manholes, and curb inlets to remove debris and eroded materials as needed throughout the project closeout.

ROJECT NO:

