

October 27, 2025

Jovita Hood
Currituck County Planning & Community Development
153 Courthouse Rd, Suite. 110
Currituck, NC 27929

Re: Coastal Roofing & Siding – Major Site Plan Rolling TRC Comments
TRC Comments Submittal Response

Jovita,

We hope this letter finds you well. We are writing this in response to the TRC comments sent by the county on August 14, 2025, for the above referenced project that was submitted as a rolling TRC. Along with this letter please find the following attachments:

- 1- PDF digital copy of all revised documents and plans:
 - Plans:
 1. Site Plan
 2. Stormwater Plan
 3. Construction Details
 4. Landscape Plan,
 5. Landscape Legend & Notes
 6. Landscape Details
 - Documents:
 7. Major Stormwater Plan Form (SW-002)
 8. Major Site Plan Application
 9. Fire Flow Calculations
 10. Sketch showing backflow preventer location inside the building

The responses to the county TRC comments from August 14, 2025 are as follows in blue color:

Planning, Jovita Hood

Reviewed - No comments

Currituck County Building Inspections & Fire, Rick Godsey

Approved

1. Fire flow to be determined by ISO method.
2. Hydrant must be within 400 feet of all points of building.

Fire flow calculations included

Hydrant requirement reviewed and reflected as such on the updated Site plan.

Stormwater Review, (McAdams, Stormwater Consultant)

Comments forwarded to applicant 8/5/25.

Stormwater development review comments: Please provide complete copies of:

- Minor Stormwater Plan form SW-001
- Minor Site Plan Application
- Minor Subdivision Application
- Major Stormwater Plan Form SW-002
- Major Site Plan Application
- Major Subdivision Application

Please find attached the major Stormwater Plan Form (SW-002) and Major Site Plan Application, as these are the applicable documents for the referenced project.

Design drawings:

1. Per Section 7.3.4.A.(8) of the UDO, please provide building pad elevations (BPE) on stormwater plans. If the building pad elevation is the same as the finish elevation (FFE), please indicate such on the plans

Comment noted. Reviewed and reflected as such on updated Stormwater Plan and Site Plan indicating building pad elevations to be same as proposed finished floor elevation.

General

2. Approval of this development is conditional upon validation that the permit renewal was granted by NCDEQ

The owner intends to proceed under the at-risk route as allowed by 160D-1110.1. Upon completion of construction, the state stormwater permit renewal will then be submitted to NCDEQ for approval.

Currituck Fire and Emergency Medical Services

Reviewed

EMS Service Demand Projection: The application indicates that the development continues a Contractor Services use, with no new residential units. Therefore, no additional EMS call volume is projected based on residential demand.

However, EMS may still experience incremental increases in service calls due to employee activity, commercial vehicle-related injuries, or medical events among site occupants. These types of calls are unpredictable but do occur in light industrial settings. This risk is low but should be acknowledged in service planning.

Additional Notes: The site is located in Powells Point, served by Lower Currituck Volunteer Fire Department. While fire suppression response is outside the EMS scope, users and occupants should be aware that fire response may be inconsistent due to volunteer staffing.

Comment noted.

Currituck County Water/Backflow, Joseph Elliot

Reviewed

I do not see any plans for a back flow preventer. All commercial buildings are required to have an assemble to protect Currituck County water system.

Fire hydrant added to Site Plan.

Fire flow calculations added to submittal

Back Flow preventer location shown in Sketch Plan attached, inside building.

Currituck County GIS, Harry Lee

Reviewed

Please use Parcel Identification Number: 0123000092C0000

Address assignment:

Unit 1: 8179-A Caratoke Hwy

Unit 2: 8179-B Caratoke Hwy Future

Unit 3: 8179-C Caratoke Hwy Future

Unit 4: 8179-D Caratoke Hwy

Comment noted. Reviewed and reflected as such on the updated Site Plan

Currituck County Parks and Recreation, Jason Weeks

No comment.

If you have any questions, please do not hesitate to contact us at (252) 261-4151. Thank you for your assistance with the progress of this project.

Sincerely,



Valeria Gonzalez-Alarcon for Carlos Gomez, PE, PLS
Civil Designer
Coastal Engineering & Surveying, Inc.



Major Site Plan Review Process

Contact Information

Currituck County
Planning and Inspections Department
153 Courthouse Road, Suite 110
Currituck, NC 27929

Phone: 252-232-3055

Website: <http://www.currituckcountync.gov/planning-zoning/>

Email: cpz@currituckcountync.gov

General

Major site plan approval is required for any non-residential, multi-family, or mixed-use development that:

- Is 5,000 square feet or greater of building gross floor area, impervious surface, disturbed land area, and other use area.

Step 1: Pre-application Conference

The purpose of a pre-application conference is to provide an opportunity for the applicant to determine the submittal requirements and the procedures and standards applicable to an anticipated development application. A pre-application conference is also intended to provide an opportunity for county staff to become familiar with, and offer the applicant preliminary comments about, the scope, features, and impacts of the proposed development, as it relates to the standards in the Unified Development Ordinance (UDO).

The applicant shall submit conceptual drawings that show the location, general layout, and main elements of the proposed development as part of the application to the Development Services Department at least three business days before the pre-application conference.

Step 2: Application Submittal and Acceptance

The applicant must submit a complete application packet on or before the application submittal deadline date, which is usually the fourth Thursday of each month. A complete application packet consists of the following:

- Completed Currituck County Major Site Plan Application.
- Site plan drawn to scale. The plan shall include the items listed in the major site plan design standards checklist.
- Landscape plan drawn to scale. The plan shall include the items listed in the major site plan design standards checklist.
- Exterior lighting plan drawn to scale. The plan shall include the items listed in the major site plan design standards checklist.
- Stormwater Review Fee (see fee schedule) and Major Stormwater Plan and Form SW-002.
- Architectural elevations illustrating the design and character of the proposed structures, if applicable.

- ARHS site evaluation(s) OR if connecting to existing wastewater system, a letter of commitment from centralized sewer provider and letter from DWQ indicating the existing plant has sufficient capacity to serve the development at the time of site plan approval.
- NCDEQ, DWQ stormwater permit application (if 10,000sf or more of built upon area).
- NCDEQ, Land Quality, Erosion and Sedimentation Control permit application (if one acre or more of land disturbance).
- NCDOT Street and Driveway Access Permit Application and Encroachment Agreement.

Applicable Fee:

\$.15 per square foot of gross floor area or \$500 minimum

Upon receiving an application, staff shall, within ten business days, determine whether the application is complete or incomplete. A complete application contains all the information and materials listed above and is in sufficient detail to evaluate and determine whether it complies with appropriate review standards. If an application is determined to be incomplete, the applicant may correct the deficiencies and resubmit the application for completeness determination. Failure to resubmit a complete application within 45 calendar days after being determined incomplete will result in the application being considered withdrawn. Applicants may submit applications for a site plan and building permit concurrently.

Step 3: Staff Review and Action

Once an application is determined complete, it will be distributed to the Technical Review Committee (TRC) and placed on the TRC meeting agenda. TRC shall review and prepare a written report that will include any outstanding concerns with the application. TRC shall approve, approve subject to conditions or disapprove the application. Conditions of approval shall be limited to those deemed necessary to ensure compliance with the standards of the UDO.

An application for a site plan shall be approved on a finding the applicant has demonstrated the proposed development:

- Is consistent with the Land Use Plan or other officially adopted plan;
- Complies with the applicable district, use-specific, development, environmental, and infrastructure design standards of the UDO;
- Complies with the Currituck County Stormwater Manual and all other applicable standards of the UDO and the County Code of Ordinances; and
- Complies with all standards or conditions of any prior applicable development permits or approvals.



Major Site Plan Application

Contact Information

APPLICANT:

Name: Coastal Engineering and Surveying

Address: 4425 N. Croatan Hwy

Telephone: 252-261-4151

E-Mail Address: cgomez@coastales.com

PROPERTY OWNER:

Name: Frasca Holdings LLC

Address: 2401 Colington Rd
Kill Devil Hills, NC 27948

Telephone: 252-256-1814

E-Mail Address: coastalrands@hotmail.com

LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER: Engineer

Property Information

Physical Street Address: 8179 Caratoke Hwy, Powells Point, NC 27966

Location: _____

Parcel Identification Number(s): 9838-32-7281

Total Parcel(s) Acreage: 1.92

Existing Land Use of Property: Contractor Services

Request

Project Name: Coastal Roofing and Siding

Proposed Use of the Property: Contractor Services

Deed Book/Page Number and/or Plat Cabinet/Slide Number: P.C. "K", SL. 3

Total square footage of land disturbance activity: 22,080 sf ft.

Total lot coverage: 36,867 sf. ft.

Total vehicular use area: 18,965 sf/. ft.

Existing gross floor area: 7700

Proposed gross floor area: 7700

I hereby authorize county officials to enter my property for the purpose of determining zoning compliance. All information submitted and required as part of this process shall become public record.

Applicant [Signature]

Property Owner(s) [Signature]

10/17/25
Date

10-15-25
Date

*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Major Site Plan Design Standards Checklist

The table below depicts the design standards of the major site plan application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Major Site Plan Design Standards Checklist

Date Received: _____

TRC Date: _____

Project Name: Coastal Roofing and Siding

Applicant/Property Owner: _____

Site Plan Design Standards Checklist		
General		
1	Property owner name, address, phone number, and e-mail address.	✓
2	Site address and parcel identification number.	✓
3	North arrow and scale to be 1" = 100' or larger.	✓
4	Vicinity map showing property's general location in relation to streets, railroads, and waterways.	✓
5	Existing zoning classification and zoning setback lines of the property.	✓
6	Scaled drawing showing existing and proposed site features : Property lines, acreage, adjacent use types, streets (right-of-ways), easements, buildings and accessory structures (including square feet and use), parking layout, vehicular use areas, driveways (including opposing driveways), loading spaces, refuse collection facilities (dumpsters), outdoor storage areas, ground based utility equipment, fences and walls, and sidewalks and pedestrian circulation. And location and size of existing and proposed infrastructure : Water mains (including and water taps), water meter details, backflow prevention details, wells, sewer mains or on-site septic systems (including repair area), electrical service, fire hydrants, detail of fire apparatus access to buildings, and any other public utility within all adjacent public right-of-ways and easements.	✓
7	Approximate location of all designated Areas of Environmental Concern or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.	✓
8	Sight distance triangles.	✓
9	Proposed common areas, open space set-asides, and required buffers.	✓
Landscape Plan		
10	All existing and proposed planting areas and vegetation that will be used to comply with the landscaping requirements, including the species, caliper, and spacing of all vegetation.	✓
11	Existing and proposed physical barriers to be used to comply with the bufferyard and screening requirements.	✓
12	Heritage tree inventory and proposed tree protection zones.	N/A
13	Adjoining property lines, zoning, and names and address of adjoining property owners.	✓
Exterior Lighting Plan		
14	Location, height, and type of all proposed exterior lighting including but not limited to site, street, building, and security lighting.	✓
15	Footcandle measurements of the entire site including lot lines, or light fixture documentation when minimal lighting is proposed.	N/A
Major Stormwater Management Plan		
16	Major Stormwater Plan and Form SW-002	✓

Architectural Elevations		
17	Architectural drawings and/or sketches illustrating the design, character, height, and materials of the proposed buildings.	
Flood Damage Prevention, if Applicable		
18	Proposed elevation of all structures and utilities.	✓
19	Location, dimensions, and use of: Development and disturbance, existing and proposed structures and utility systems grading and pavement areas, fill materials, storage areas, drainage facilities, and other development.	✓
20	Boundary of Special Flood Hazard Area (SFHA), floodway, Coastal Barrier Resource System (CBRS) Area, water course relocation, or a statement that the entire lot is within a specific SFHA.	N/A
21	Flood zone designation as determined on the County's Flood Insurance Rate Maps (FIRM).	✓
22	Design Flood Elevation (Base Flood Elevation plus two-foot freeboard).	
23	Plans and/or details for the protection of public facilities and utilities (sewer, gas, electrical, and water systems) from inundation of flood waters up to Design Flood Elevation.	N/A
24	Water course alteration or relocation: Description of alteration or relocation, report on effects of proposed project on the flood carrying capacity of the water course, and effects to properties located up and downstream.	✓
25	Fill – plans for non-structural fill (if being utilized in VE zone).	

Major Site Plan Submittal Checklist

Staff will use the following checklist to determine the completeness of your application within ten business days of submittal. Please make sure all of the listed items are included. Staff shall not process an application for further review until it is determined to be complete.

Major Site Plan Submittal Checklist

Date Received: _____

TRC Date: _____

Project Name: Coastal Roofing and Siding

Applicant/Property Owner: _____

Major Site Plan Submittal Checklist		
1	Complete Major Site Plan application	✓
2	Site plan	✓
3	Landscape plan	✓
4	Exterior Lighting plan	
5	Stormwater Review Fee Deposit (see fee schedule) and Major Stormwater Management plan and Form SW-002	
6	Architectural elevations, if applicable	
7	ARHS site evaluation(s) OR if connecting to existing wastewater system, a letter of commitment from owner of centralized sewer provider and letter from DWQ indicating the existing plant has sufficient capacity to serve the development at the time of site plan approval.	✓
8	NCDEQ stormwater permit application (if 10,000 sf or more of built upon area).	✓
9	NCDEQ Erosion and Sedimentation Control permit application (if one acre or more of land disturbance).	
10	NCDOT Street and Driveway Access Permit Application and Encroachment Agreement	
11	Application fee (\$.15 per square foot of gross floor area or \$500 minimum)	

For Staff Only

Pre-application Conference

Pre-application Conference was held on _____ and the following people were present:

Comments



Major Stormwater Plan Form SW-002

Review Process

Contact Information

Currituck County
Planning and Inspections Department
153 Courthouse Road, Suite 110
Currituck, NC 27929

Phone: 252-232-3055

Website: <http://www.currituckcountync.gov/planning-zoning/>

Email: ccpz@currituckcountync.gov

General

Major stormwater plan approval is required for:

- Major subdivisions.
- Major site plans - development or expansion on a nonresidential, multi-family, or mixed use lot by 5,000 square feet or more of impervious coverage or resulting in 10% or more total impervious coverage.

Step 1: Application Submittal

The applicant must submit a complete application packet consisting of the following:

Submitted on a USB flash drive or a compact disc (CD):

- Completed Currituck County Major Stormwater Plan Form SW-002.
- Completed Rational Method Form SW-003 or NRCS Method Form SW-004.
- Stormwater management plan drawn to scale. The plan shall include the items listed in the major stormwater plan design standards checklist.
- Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable.
- NCDENR permit applications, if applicable.
- Stormwater Review Fee (see fee schedule)

On receiving an application, staff shall determine whether the application is complete or incomplete. A complete application contains all the information and materials listed above and is in sufficient detail to evaluate and determine whether it complies with appropriate review standards. An application for major stormwater plan must be submitted and approved prior altering an existing drainage system, performing any land disturbing activity or, before construction documents are approved.

Step 2: Staff Review and Action

Once an application is determined complete staff shall approve, approve subject to conditions or disapprove the application.



Major Stormwater Plan

Form SW-002

OFFICIAL USE ONLY:

Permit Number: _____

Date Filed: _____

Date Approved: _____

Contact Information

APPLICANT:

Name: Coastal Engineering and Surveying

Address: 4425 N. Croatan Hwy

Kitty Hawk, NC 27949

Telephone: 252-261-4151

E-Mail Address: cgomez@coastales.com

PROPERTY OWNER:

Name: Frasca Holdings LLC

Address: 2401 Colington Rd

Kill Devil Hills, NC 27948

Telephone: 252-256-1814

E-Mail Address: coastalrands@hotmail.com

Property Information

Physical Street Address: 8181 Caratoke Hwy

Parcel Identification Number(s): 9838-32-7281

FEMA Flood Zone Designation: Zone X

Request

Project Description: New Building and Parking on site with existing building and parking

Total land disturbance activity: 22,080 sf

Calculated volume of BMPs: 5,233 cft → See note 10.

Maximum lot coverage: 40,685 sf

Proposed lot coverage: 36,867 sf Stormwater & Grading Plan

TYPE OF REQUEST

- ☐ Major subdivision (10-year, 24-hour rate)
☒ Major site plan (5-year, 24-hour rate)

METHOD USED TO CALCULATE PEAK DISCHARGE

- ☐ Rational Method
☐ NRCS Method (TR-55 and TR-20)
☒ Simple volume calculation for small sites (less than 10 acres)
☐ Alternative stormwater runoff storage analysis
☐ Downstream drainage capacity analysis

I hereby authorize county officials to enter my property for the purpose of determining compliance. All information submitted and required as part of this process shall become public record.

Applicant

Property Owner(s)

Date

Date

*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Major Stormwater Plan Design Standards Checklist

The table below depicts the design standards of the major stormwater plan application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Major Stormwater Plan Design Standards Checklist

Date Received: _____

Project Name: 8181 Caratoke Hwy

Applicant/Property Owner: Coastal Engineering and Surveying / Frasca Holdings LLC

Minor Stormwater Plan Design Standards Checklist		
General		
1	Property owner name and address.	☒
2	Site address and parcel identification number.	☒
3	North arrow and scale to be 1" = 100' or larger.	☒
Site Features		
4	Scaled drawing showing existing and proposed site features: Property lines with dimensions, acreage, streets, easements, structures (dimensions and square footage), fences, bulkheads, septic area (active and repair), utilities, vehicular use areas, driveways, and sidewalks.	☒
5	Approximate location of all designated Areas of Environmental Concern (AEC) or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.	☒
6	Existing and proposed ground elevations shown in one foot intervals. All elevation changes within the past six months shall be shown on the plan.	☒
8	Limits of all proposed fill, including the toe of fill slope and purpose of fill.	☒
9	Square footage of all existing and proposed impervious areas (structures, sidewalks, walkways, vehicular use areas regardless of surface material), including a description of surface materials.	☒
10	Existing and proposed drainage patterns, including direction of flow.	☒
11	Location, capacity, design plans (detention, retention, infiltration), and design discharge of existing and proposed stormwater management features.	☒
12	Elevation of the seasonal high water level as determined by a licensed soil scientist.	☐
13	Plant selection.	☒
Permits and Other Documentation		
14	NCDENR stormwater permit application (if 10,000sf or more of built upon area).	☒
15	NCDENR erosion and sedimentation control permit application (if one acre or more of land disturbance).	☐
16	NCDENR coastal area management act permit application, if applicable.	☐
17	Stormwater management narrative with supporting calculations.	☒
18	Rational Method Form SW-003 or NRCS Method Form SW-004	☒
19	Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable	☐
20	Design spreadsheets for all BMPs (Appendix F – Currituck County Stormwater Manual).	☐
21	Detailed maintenance plan for all proposed BMPs.	☒

Certificate	
22	The major stormwater plan shall contain the following certificate: I, _____, owner/agent hereby certify the information included on this and attached pages is true and correct to the best of my knowledge. On the plan entitled _____, stormwater drainage improvements shall be installed according to these plans and specifications and approved by Currituck County. Yearly inspections are required as part of the stormwater plan. The owner is responsible for all maintenance required. Currituck County assumes no responsibility for the design, maintenance, or performance of the stormwater improvements. Date: _____ Owner/Agent: _____

Major Stormwater Plan Submittal Checklist

Staff will use the following checklist to determine the completeness of your application. Please make sure all the listed items are included. Staff shall not process an application for further review until it is determined to be complete.

Major Stormwater Plan Form SW-002 Submittal Checklist

Date Received: _____

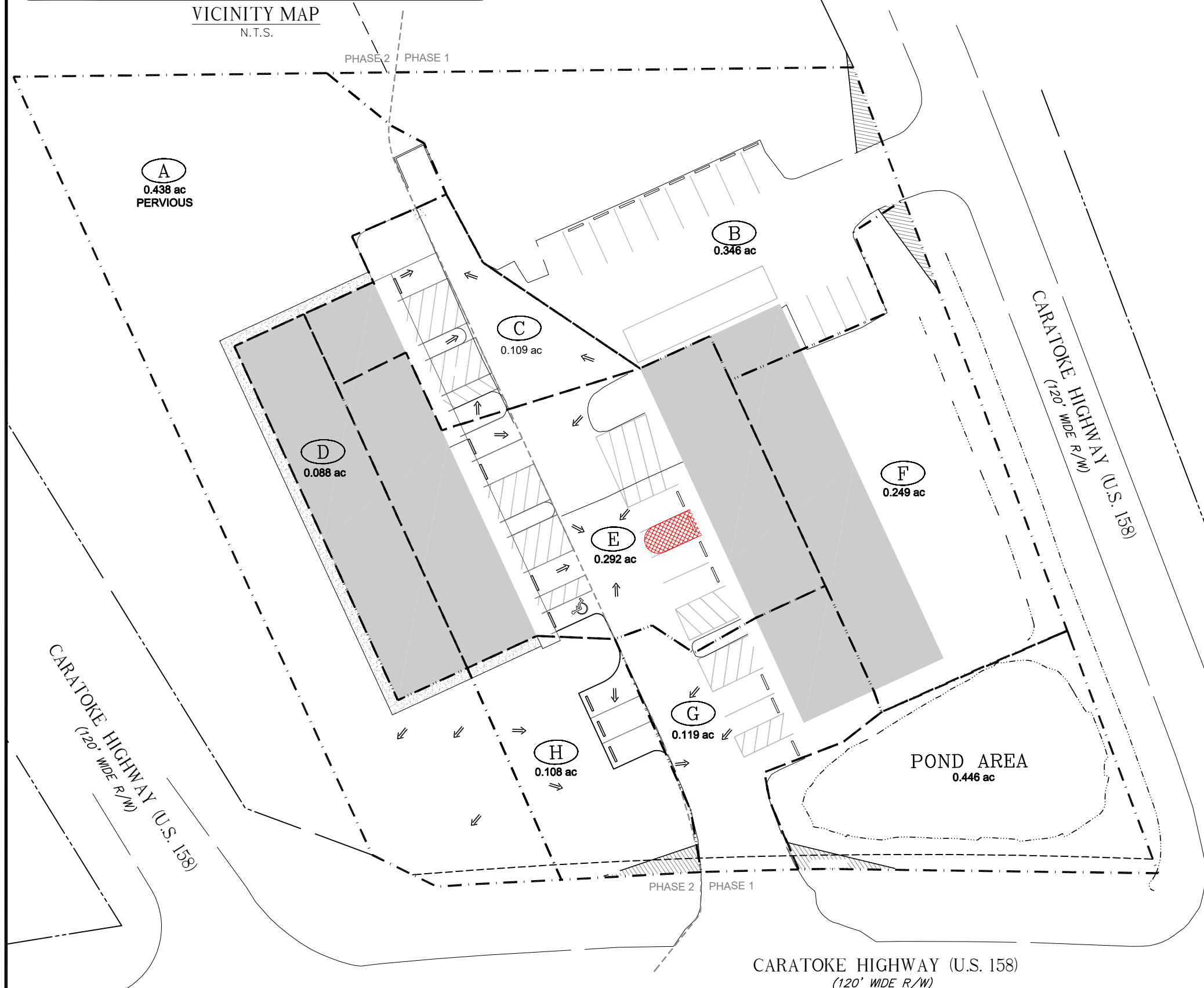
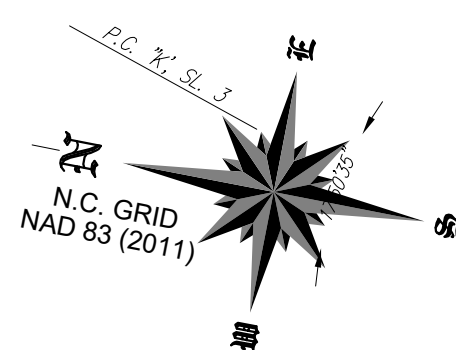
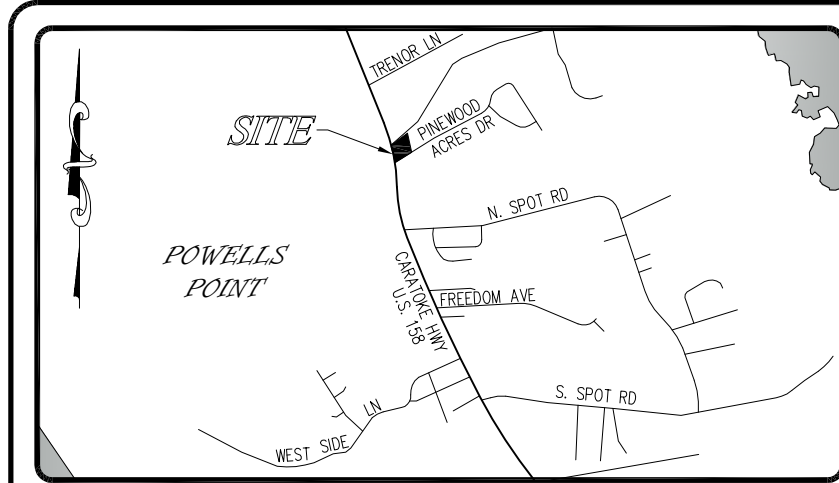
Project Name: _____

Applicant/Property Owner: _____

Major Stormwater Plan Form SW-002 Submittal Checklist – Documents provided on USB flash drive or CD		
1	Completed Major Stormwater Plan Form SW-002	☐
2	Completed Rational Method Form SW-003 or NRCS Method Form SW-004	☐
3	Stormwater plan	☐
4	NCDENR permit applications, if applicable	☐

Comments

There is an existing NCDEQ Stormwater Permit SW7050838, that has allotted for the proposed additional coverage.



LEGEND

- EXISTING CONCRETE MONUMENT
- EXISTING IRON ROD
- EXISTING IRON PIPE
- SET IRON ROD
- CALCULATED POINT
- UTILITY POLE
- EXISTING WATER METER
- PROPOSED WATER METER
- FIRE HYDRANT
- TRANSFORMER
- TELEPHONE PEDESTAL
- EDGE OF PAVEMENT
- R/W
- RIGHT OF WAY
- OVERHEAD UTILITY
- MINIMUM BUILDING LINE
- EX. GROUND ELEVATION
- PROP. GROUND ELEVATION
- SILT FENCE
- FORCE MAIN
- LIMITS OF DISTURBANCE
- ROOF GUTTER
- SWALE
- TRENCH DRAIN
- DRAINAGE AREA BOUNDARY
- VALLEY GUTTER
- EX. RIP RAP
- PROP. RIP RAP
- PFFE
- PROP. FINISHED FLOOR ELEVATION

DRAINAGE AREAS VIEW

1"=40'

DRAINAGE AREA SUMMARY		
DRAINAGE AREA	DIRECTED TO POND / AREA (ac)	
POND AREA	NO	0.177
A	NO	0.446
B	YES	0.346
C	YES	0.099
D	YES	0.088
E	YES	0.292
F	YES	0.249
G	YES	0.119
H	YES	0.108
TOTAL AREA TO BE TREATED (ac)		1.301
TOTAL PARCEL AREA (ac)		1.924

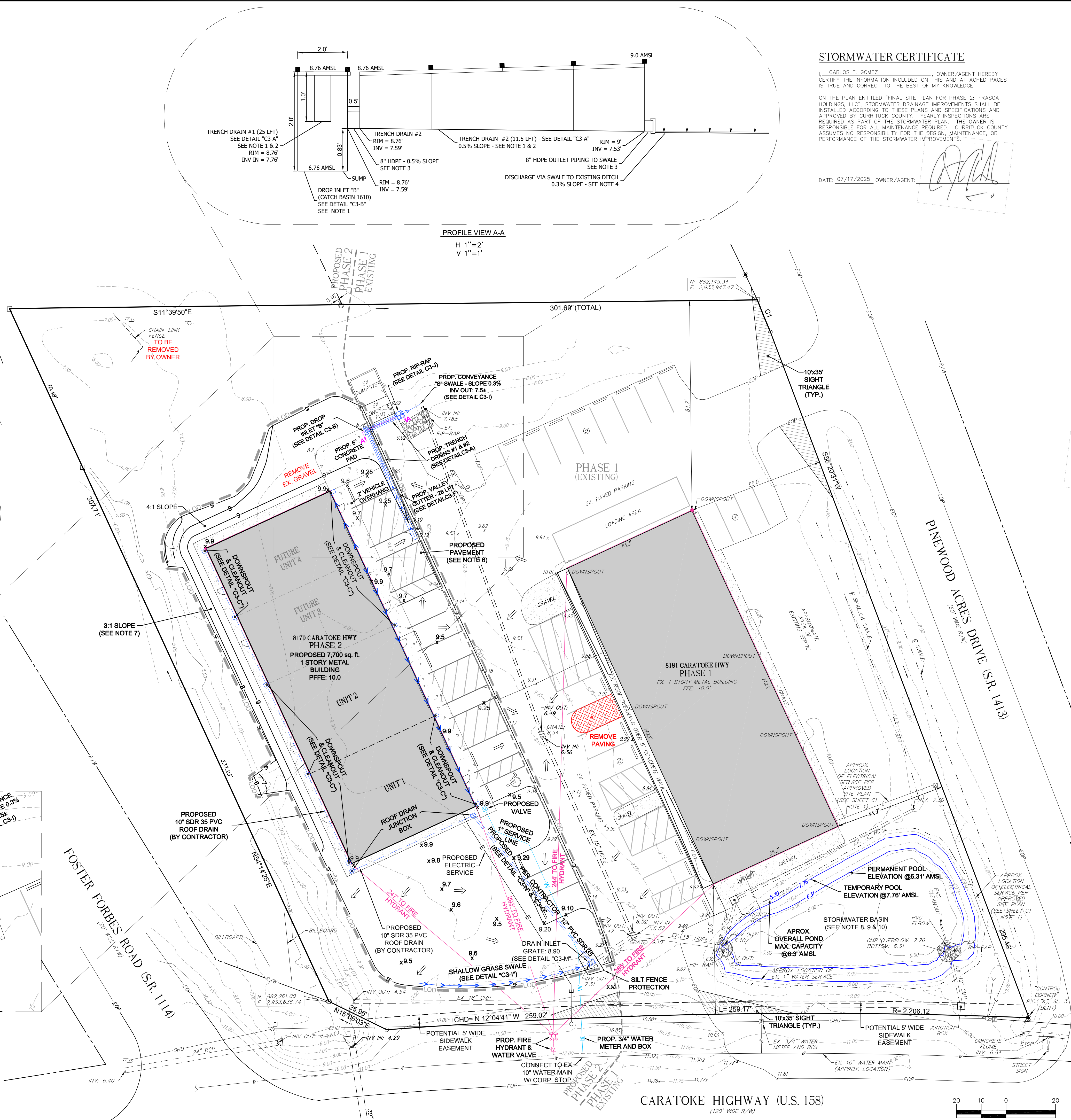
STORMWATER AND GRADING NOTES

- PROPOSED TRENCH DRAINS #1 AND #2 AND DROP INLET "B" SHALL BE INSTALLED PER DETAILS "C3-A" AND "C3-B", OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INSTALLATION AND FOLLOW THE "TRENCH FORMER - TXF" - TRENCH LOCK INSTALLATION GUIDE - A.B.T. INC. A MINIMUM OF 6" CONCRETE SHALL BE PROVIDED ON BOTH SIDES, WITH EXPANSION JOINTS BETWEEN THE CONCRETE AND ANY ADJACENT ASPHALT PAVEMENT, AS SHOWN IN THE REFERENCED DETAILS.
- PROP. TRENCH DRAIN #1 (26 LF) TO FOLLOW EXISTING GROUND SLOPE TOWARD CATCH BASIN. PROP. TRENCH DRAIN #2 (11.5 LF) TO BE INSTALLED WITH 0.5% SLOPE TOWARD EX. DITCH DUE TO REVERSE GRADING.
- LOCATE AND ALIGN INLET AND OUTLET PIPES FOLLOWING "TRENCH FORMER - TXF" - TRENCH LOCK INSTALLATION GUIDE - A.B.T. INC.
- CONTRACTOR SHALL PERFORM GRADING ADJUSTMENTS AS NEEDED TO ENSURE FREE AND ADEQUATE FLOW OUTLET TO EXISTING DITCH. PROVIDE RIP RAP OUTLET PROTECTION AT PIPE DISCHARGE PER DETAIL "C3-J".
- CONTRACTOR SHALL ENSURE ALL TRANSITIONS INVOLVING CONCRETE AND DRAINAGE STRUCTURES ARE PROPERLY TROWELED AND FINISHED TO ACHIEVE SMOOTH, CONTINUOUS SURFACES.
- CONTRACTOR SHALL PROPERLY TREAT ALL JOINTS BETWEEN EXISTING AND PROPOSED PAVEMENT MATERIALS INCLUDING ASPHALT-TO-ASPHALT AND ASPHALT-TO-CONCRETE TRANSITIONS AS SHOWN IN DETAIL "C3-G", TO PREVENT WATER INFILTRATION THAT MAY CAUSE FROST OR PAVEMENT FAILURE OVER TIME.
- FOR 3:1 FILL SLOPE NORTH OF BUILDING, SLOPE STABILIZATION ND RIP-RAP BASE IS REQUIRED.
- THE STORMWATER BASIN WAS INITIALLY CERTIFIED BY DESIGNER AND APPROVED BY THE NORTH CAROLINA STORMWATER SECTION UNDER PERMIT NUMBER "SW7050838", AN APPLICATION FOR RENEWAL OF THIS CERTIFICATION WILL BE SUBMITTED TO MAINTAIN COMPLIANCE WITH STATE REQUIREMENTS.
- THE EXISTING STORMWATER POND SHALL BE MAINTAINED IN ACCORDANCE WITH THE APPROVED OPERATION AND MAINTENANCE PLAN FOR STATE STORMWATER PERMIT NO. SW7050838. THE PERMITTEE IS RESPONSIBLE FOR ONGOING MAINTENANCE TO ENSURE THE STORMWATER SYSTEM OPERATES AT OPTIMUM EFFICIENCY. MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO: SEDIMENT REMOVAL, MOWING AND REVEGETATION OF SLOPES AND THE VEGETATED FILTER IMMEDIATE REPAIR OF ERODED AREAS.
- MAINTENANCE OF ALL SLOPES IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS. DEBRIS REMOVAL NO LOGGING OF THE OUTLET STRUCTURE, ORIFICE DEVICE, FLOW SPREADER, CATCH BASINS, AND PIPING AND ACCESS TO THE OUTLET STRUCTURE MUST BE AVAILABLE AT ALL TIMES.
- NO MODIFICATIONS TO THE EXISTING POND ARE PROPOSED, AS THE RENEWAL OF THE CURRENT STATE STORMWATER PERMIT WILL BE PURSUED TO MAINTAIN THE EXISTING CERTIFIED CONFIGURATION, AS PER CONVERSATION WITH THE NORTH CAROLINA STORMWATER SECTION, THE AS-BUILT PERMANENT POOL ELEVATION OF 6.31' AMSL WILL BE ACCEPTED, AS THE TEMPORARY POOL VOLUME EQUALS OR EXCEEDS THE VOLUME APPROVED IN THE PERMITTED PLAN SW7050838 (4,785 CFT). ACCORDING TO THE TOPOGRAPHIC SURVEY, THE ACTUAL VOLUME UP TO ELEVATION 7.76' AMSL (TOP OF RISER) IS 5,233 CFT - EXCEEDING THE PERMITTED VOLUME BY 448 CFT. SEE FOLLOWING TABLE FOR REFERENCE.
- BUILDING PAD ELEVATIONS TO BE SAME AS PROPOSED FINISHED FLOOR ELEVATION (PFFE)

PERMANENT POOL ELEVATION	ELEVATION (FT)	SURFACE AREA (SQ FT)	EX. TOTAL VOLUME (CFT)	VOLUME APPROVED (CFT)
6.31	6.31	454	5233	4785
TEMPORARY POOL ELEVATION	7.76	454	5233	4785
OVERFLOW ELEV.	9.36	454	7717	4785

DRAINAGE AREA "C" VIEW

1"=20'



STORMWATER CERTIFICATE

CARLOS F. GOMEZ, OWNER/AGENT HEREBY CERTIFY THE INFORMATION INCLUDED ON THIS AND ATTACHED PAGES IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

ON THE PLAN ENTITLED "FINAL SITE PLAN FOR PHASE 2: FRASCA HOLDINGS, LLC", STORMWATER DRAINAGE IMPROVEMENTS SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS AND APPROVED BY CURRITUCK COUNTY. YEARLY INSPECTIONS ARE REQUIRED AS PART OF THE STORMWATER PLAN. THE OWNER IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED. CURRITUCK COUNTY ASSUMES NO RESPONSIBILITY FOR THE DESIGN, MAINTENANCE, OR PERFORMANCE OF THE STORMWATER IMPROVEMENTS.

DATE: 07/17/2025 OWNER/AGENT:

[Signature]

P.O. Box 1129
Kitty Hawk, NC 27949
(252) 281-1333
(252) 281-1333
Civil - Structural
Site Development

Coastal
ENGINEERING & SURVEYING, INC.
C-0856

CURRITUCK COUNTY
NORTH CAROLINA
POPULAR BRANCH TOWNSHIP

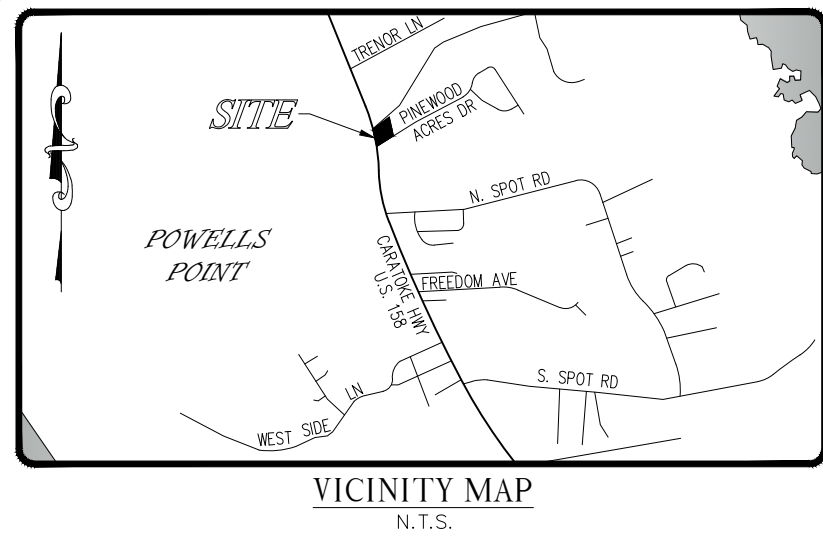
FRASCA HOLDINGS, LLC
FINAL STORMWATER & GRADING PLAN
FOR PHASE 2:
8179 CARATOKE HIGHWAY

DATE: 7/10/25
CHECKED: CFG
PROJECT NO: P1121.24
CAD FILE: P1121 SITE PLAN
SHEET: C2/C3

SCALE: 1"=20'
DRAWN: JCB/YGA

REVISIONS

NO.	DATE	BY	REVISION
1	7/10/25	JCB	MODIFY TO APPROVED SITE PLAN DATED 6/28/24
2	7/10/25	JCB	UNIT 3 & 4 OPTIONS, 2:1 SLOPE FILL
3	7/10/25	JCB	SEPTIC TANK & REPAIR
4	7/10/25	JCB	REVISED SPECIFIC SYSTEMS
5	7/10/25	JCB	REVISED SPECIFIC SYSTEMS
6	7/10/25	JCB	STORMWATER ELEMENT ACTION
7	7/10/25	JCB	FIRE HYDRANT ACTION



- LEGEND**
- EXISTING CONCRETE MONUMENT
 - EXISTING IRON ROD
 - EXISTING IRON PIPE
 - SET IRON ROD
 - CALCULATED POINT
 - UTILITY POLE
 - EXISTING WATER METER
 - PROPOSED WATER METER
 - FIRE HYDRANT
 - TRANSFORMER
 - TELEPHONE PEDESTAL
 - PROPOSED WALL PACK LIGHT (BY ARCHITECT)
 - EDGE OF PAVEMENT
 - RIGHT OF WAY
 - OVERHEAD UTILITY
 - MINIMUM BUILDING LINE
 - FORCE MAIN
 - LIMITS OF DISTURBANCE

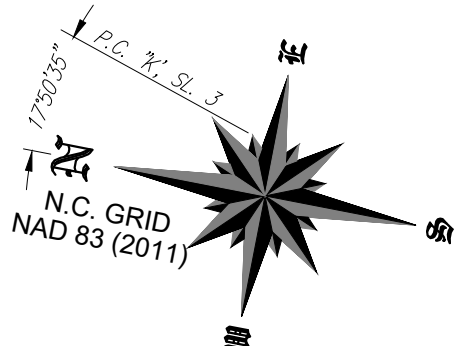
- NOTES**
- SITE PLAN SHOWN HEREON FOR PHASE 2 IS BASED ON A SITE PLAN DRAWN BY HYMAN & ROBOY, PC THAT WAS APPROVED BY CURRITUCK COUNTY ON MAY 4, 2006.
 - PROPERTY ADDRESS: 8181 CARATOKE HIGHWAY
 - PARCEL ID: 012300000920000; PIN: 8838-32-7281
 - CURRITUCK COUNTY ZONING: GB (GENERAL BUSINESS)
 - LOT AREA: 83,801 sq. ft. or 1.924 acres
 - AREA CALCULATED BY COORDINATE METHOD.
 - BOUNDARY AS RECORDED IN P.C. "K", SL. 3, CURRITUCK COUNTY REGISTRY.
 - THIS PARCEL MAY BE SUBJECT TO EASEMENTS NOT SHOWN HEREON.
 - LOT MAY BE IN AN AREA OF ENVIRONMENTAL CONCERN. INDIVIDUAL PERMITS MAY BE REQUIRED.
 - PROPERTY IS LOCATED IN F.I.R.M. ZONE X; MAP NO. 3720983800K, DATED DECEMBER 21, 2018. USE OF LAND WITHIN THE FLOODWAY OR FLOODPLAIN AND FLOOD ZONES SUBJECT TO CHANGE BY FEMA. ELEVATIONS SHOWN HEREON PER NAVD 88 DATUM.
 - FOR 3:1 FILL SLOPE NORTH OF BUILDING, SLOPE STABILIZATION AND RIP-RAP BASE IS REQUIRED.

REFERENCE NOTES SCHEDULE

PHOTO	SYMBOL	CODE	DESCRIPTION	QTY
Rock				
		K-101	4-6" RIVER COBBLES (LIGHT) @ 3" WITH UNDERLAYMENT	13.1 CY



CURVE	RADIUS	LENGTH	BEARING	CHORD
C1	288.53'	14.04'	S56°56'53"W	14.04'



SHEET INDEX

CIVIL SHEETS
SHEET C1 - FINAL SITE & SEPTIC PLAN
SHEET C2 - FINAL STORMWATER & GRADING PLAN
SHEET C3 - CONSTRUCTION DETAILS
LANDSCAPE DESIGN
SHEET L1 - LANDSCAPE DESIGN
SHEET L2 - LANDSCAPE LEGEND & NOTES
SHEET L3 - LANDSCAPE DETAILS

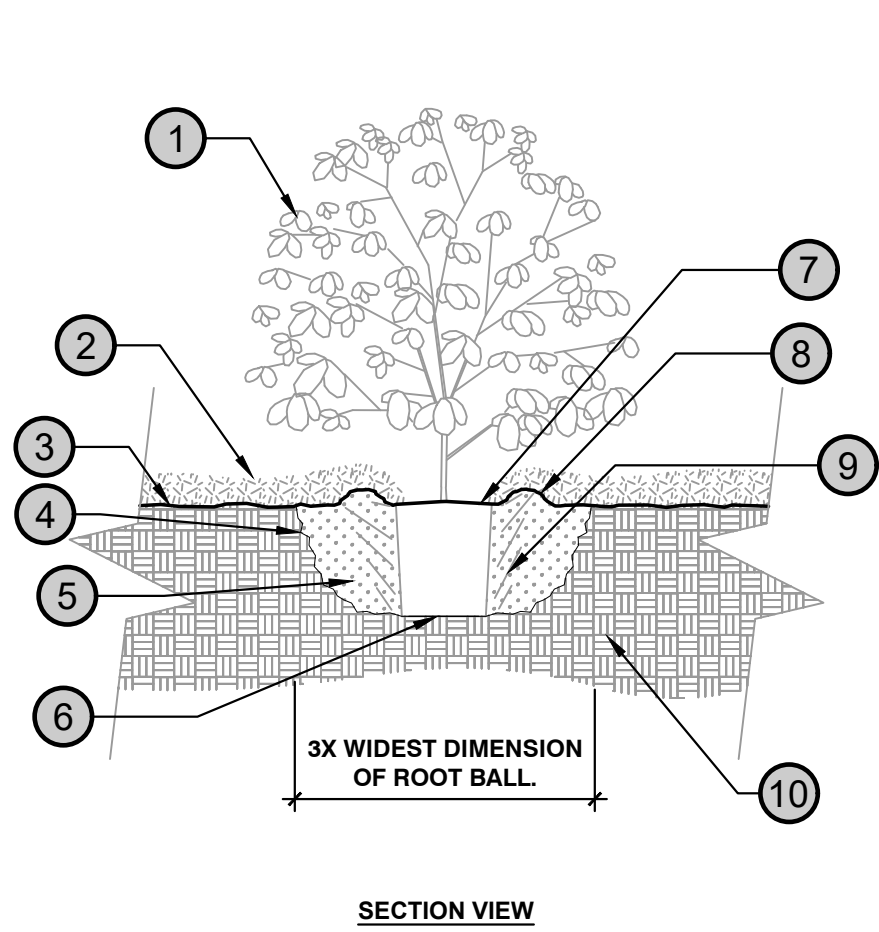
LANDSCAPE DESIGN FOR:
FRASCA HOLDINGS, LLC
NORTH CAROLINA
CURRITUCK COUNTY
POPULAR BRANCH TWP.
8181 CARATOKE HIGHWAY

DATE: 4/29/25	SCALE: 1"=20'
CHECKED: CFG	DRAWN: NDG
PROJECT NO: P1121.24	
CAD FILE: P1121 LS	
SHEET: L1 OF L3	

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Coastal
ENGINEERING & SURVEYING, INC.
C-0836

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4472 Highway 229
Kitty Hawk, NC 27949
(252) 261-1151
(252) 261-1333
Civil - Structural
Site Development

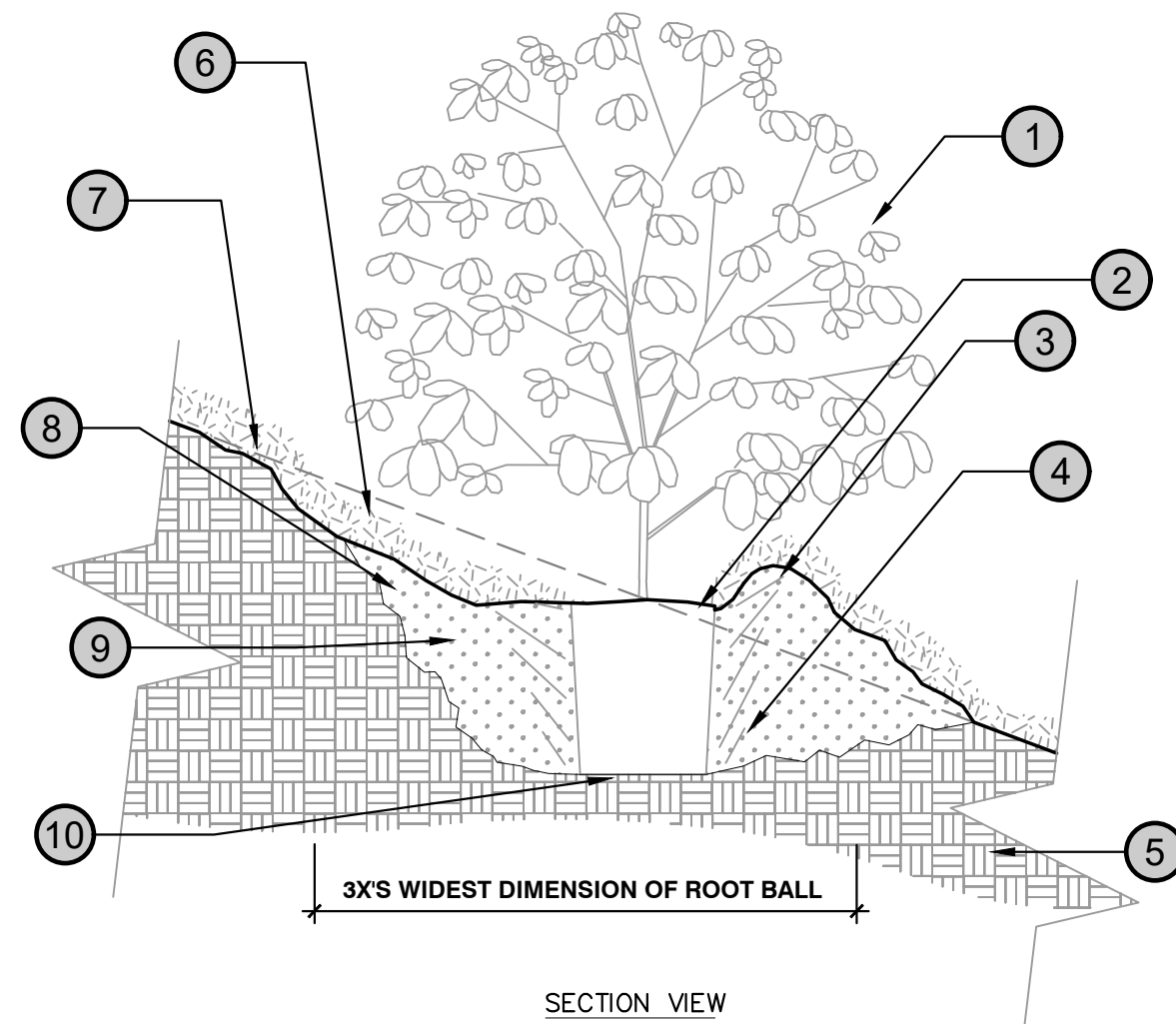


NOTES:
1- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.

2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

URBAN TREE FOUNDATION ©2014
OPEN SOURCE FREE TO USE

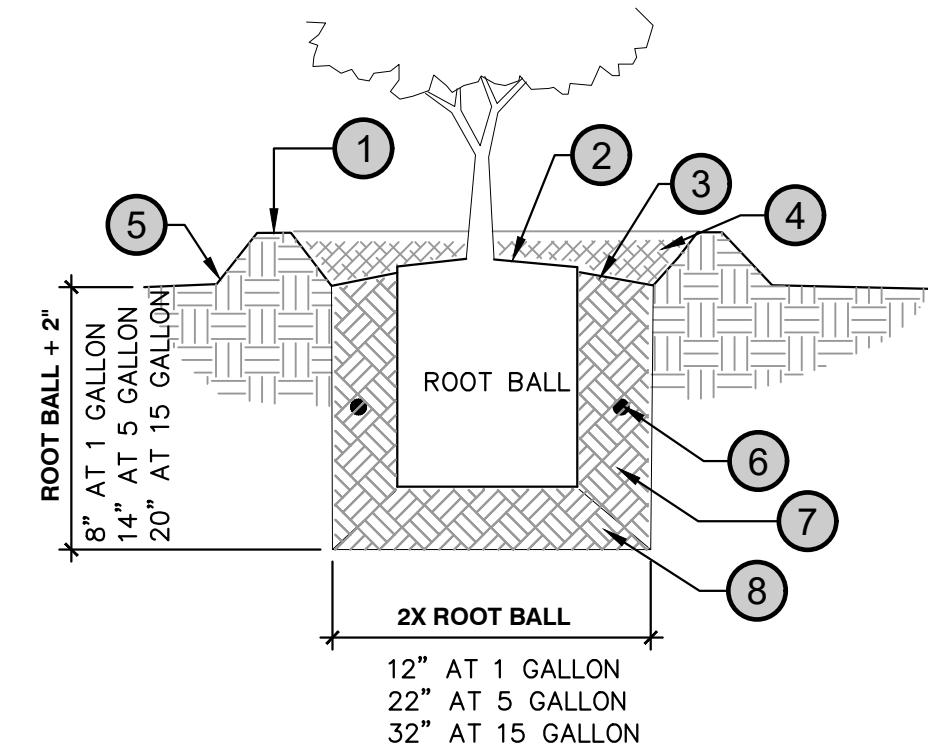
1 SHRUB - UNMODIFIED SOIL
1/2" = 1'-0"
DETAIL-FILE



- 1 SHRUB
- 2 ROOTBALL
- 3 ROUND - TOPPED SOIL BERM 4" HIGH AND 8"WIDE ABOVE ROOT BALL SURFACE SHALL BE CENTERED ON THE DOWNHILL SIDE OF THE ROOT BALL FOR 240". BERM SHALL BEGIN AT THE ROOT BALL PERIPHERY.
- 4 PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER THE COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR THE WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- 5 EXISTING SOIL
- 6 4" LAYER OF MULCH. NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL. (SEE SPECIFICATIONS FOR MULCH).
- 7 ORIGINAL SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK MEETS SUBSTRATE/SOIL.
- 8 SLOPE SIDES OF LOOSENED SOIL.
- 9 LOOSEN THE SOIL. DIG AND TURN THE SOIL TO REDUCE THE COMPACTION TO THE AREA AND DEPTH SHOWN.
- 10 BOTTOM OF ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL.

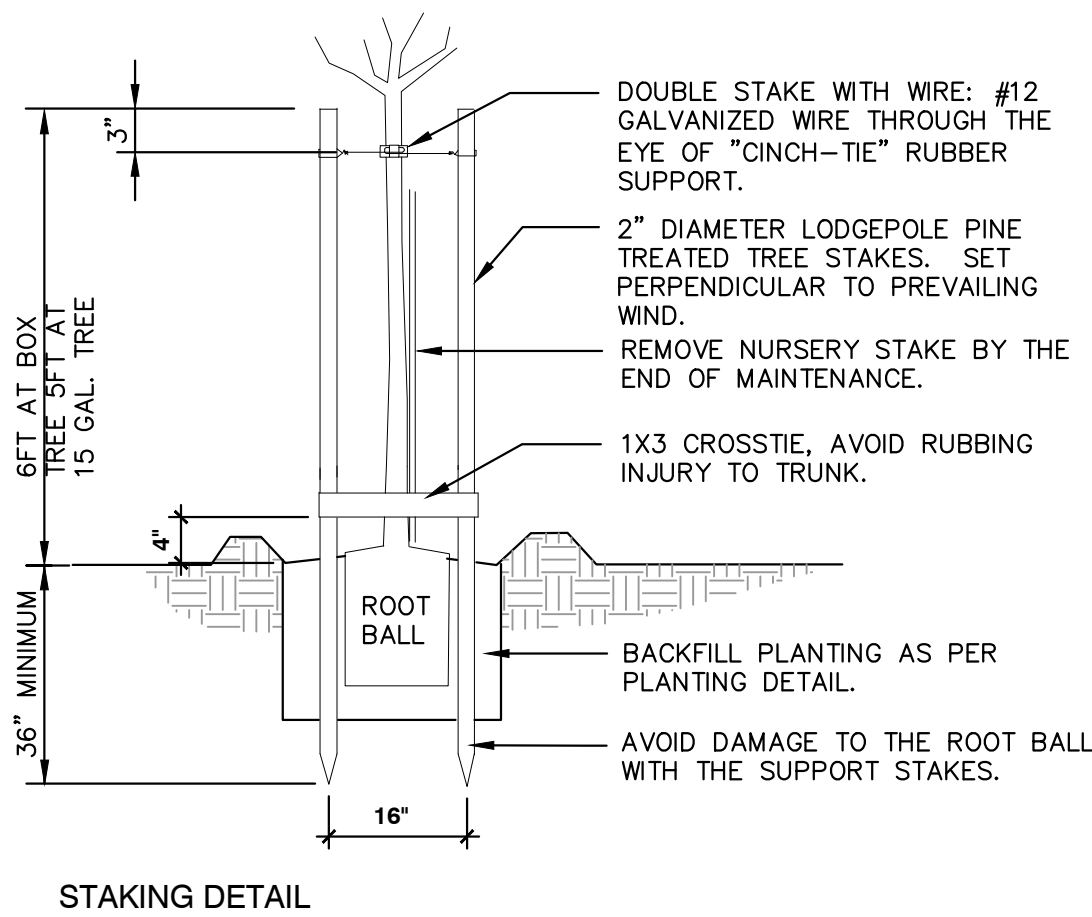
URBAN TREE FOUNDATION ©2014
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2 SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - UNMODIFIED SOIL
3/4" = 1'-0"
DETAIL-FILE

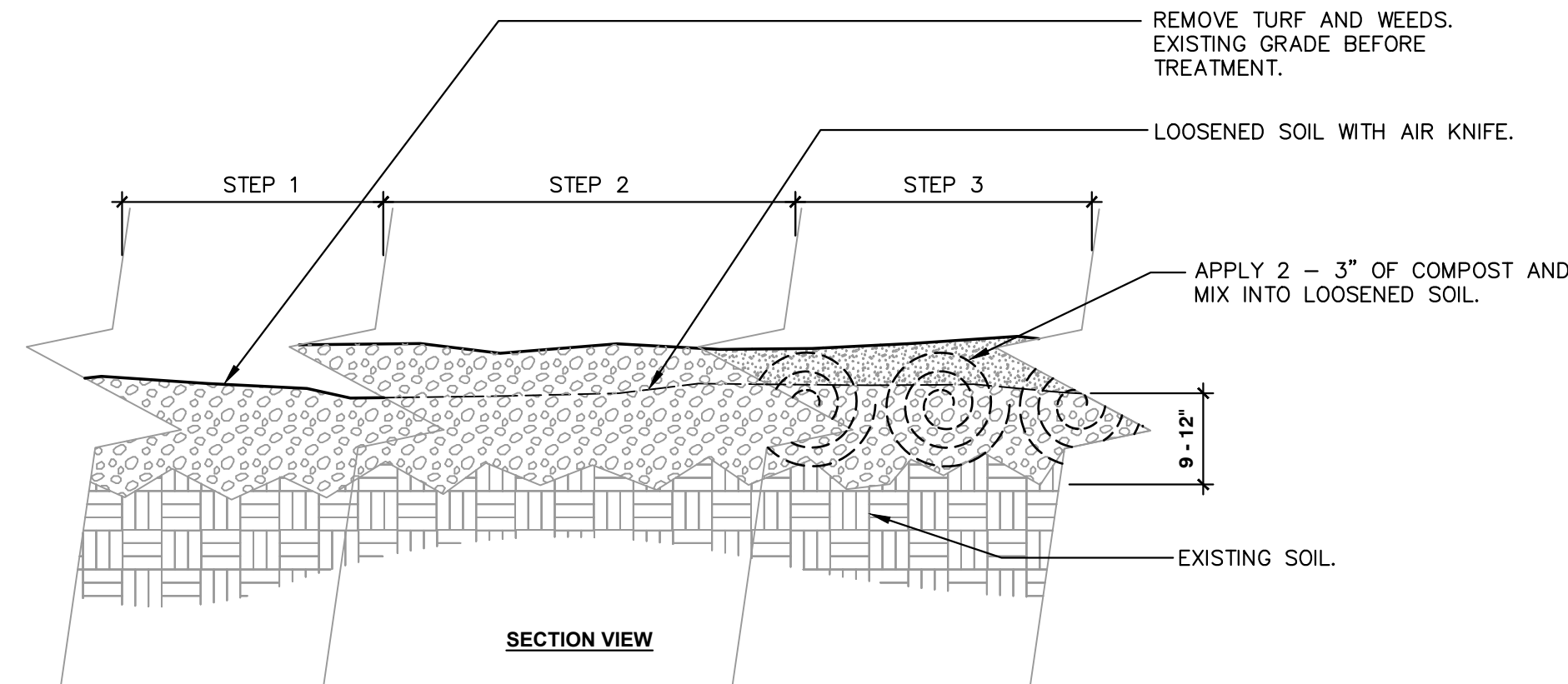


- 1 WATER WELL: 4" HIGH AT SHRUB, NO WATER WELL AT LAWN AREA.
- 2 SET ROOT BALL CROWN 1" HIGHER THAN SURROUNDING FINISHED GRADE.
- 3 SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOT BALL.
- 4 MULCH TO 2" DEPTH AT WATER WELL.
- 5 FINISHED GRADE.
- 6 PLANT TABLETS AS NOTED OR SPECIFIED.
- 7 BACKFILL MIX. SEE NOTES AND SPECIFICAIONS.
- 8 NATIVE SOIL MIX FIRMLY COMPACTED.

3 SHRUB PLANTING
1" = 1'-0"
DETAIL-FILE



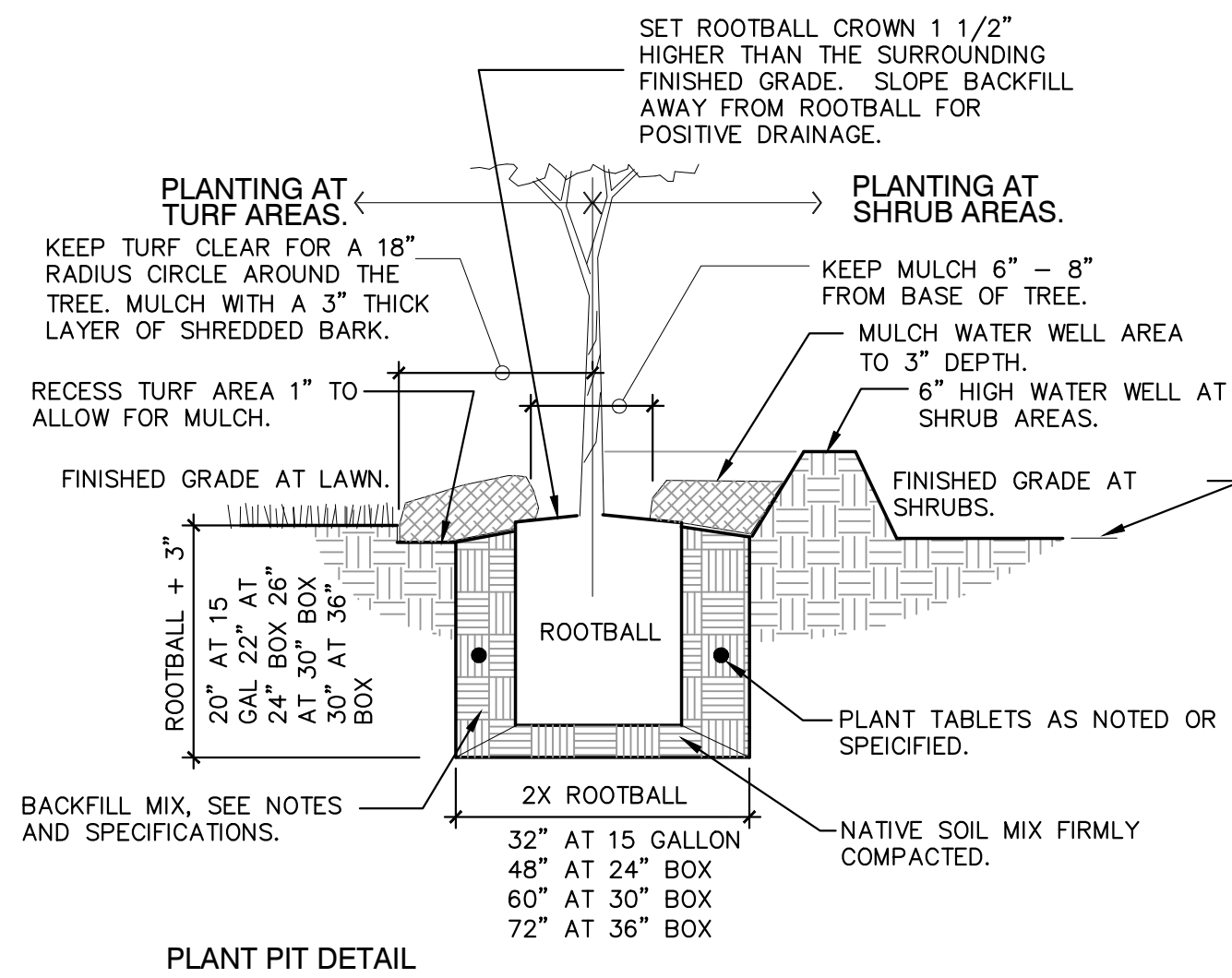
STAKING DETAIL



- NOTES:
1- PRIOR TO THE START OF WORK REMOVE ALL THATCH, SOD, AND/OR WEEDS.
2- LOOSEN SOIL WITH AIR KNIFE OR APPROVED EQUAL TO A DEPTH OF 9 - 12" AND WORK AROUND ENCOUNTERED ROOTS.
3- APPLY 2 - 3" OF COMPOST OVER LOOSENED SOIL. USING AN AIR KNIFE MIX COMPOST INTO LOOSENED SOIL.
4- WATER ENTIRE ROOT ZONE AT END OF EACH WORK DAY.
5- SEE PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

URBAN TREE FOUNDATION ©2014
OPEN SOURCE FREE TO USE

5 MODIFIED EXISTING SOIL - COMPACTED SOIL IN TREE DRIPLIN
3/4" = 1'-0"
FX-PLNT-FX-PREP-SOIL-12



PLANT PIT DETAIL

4 TREE PLANTING DOUBLE STAKE
1" = 1'-0"
DETAIL-FILE

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2018
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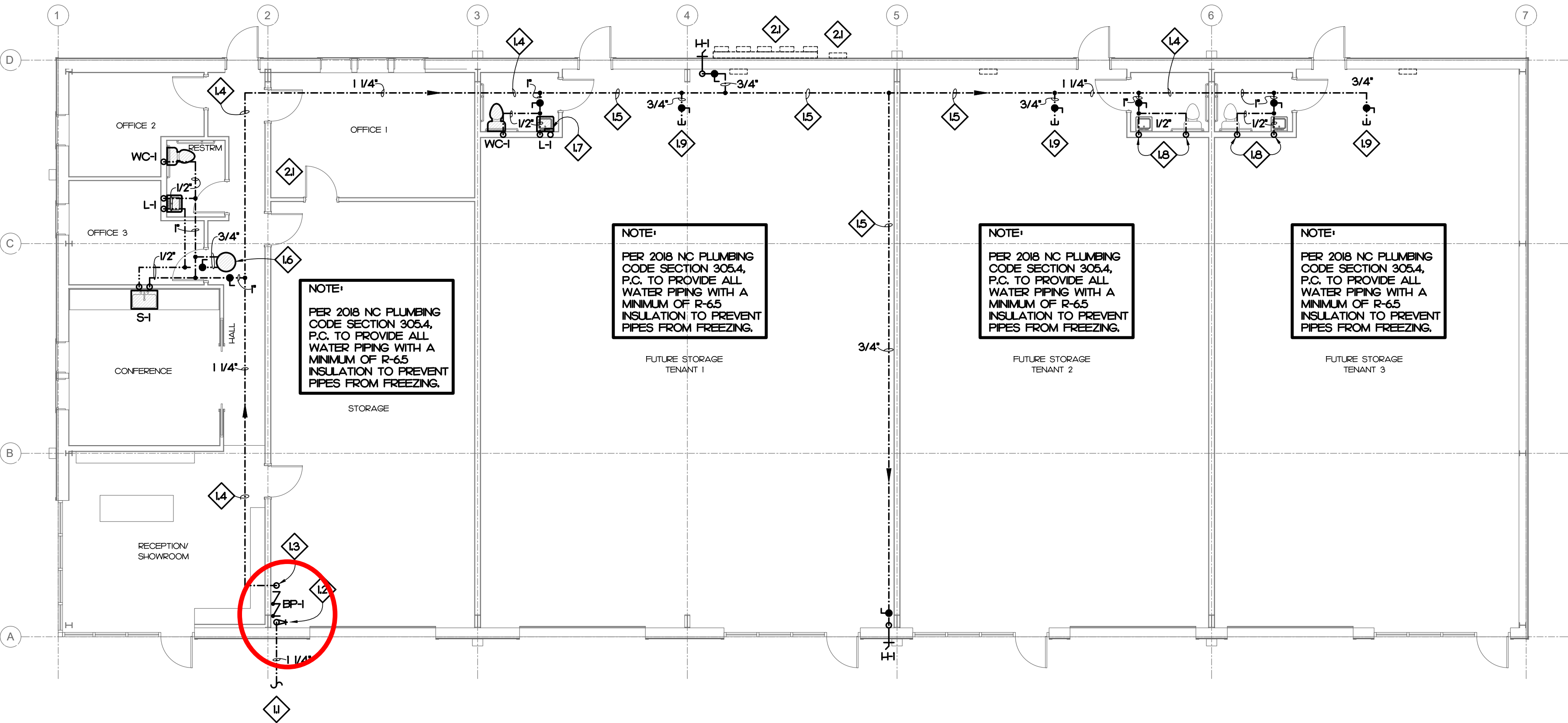
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	5/20/25	REVS. PER COUNTY COMMENTS	NDG
2	7/22/25	REVS. PER COUNTY COMMENTS & SITE PLAN REVS	NDG

LANDSCAPE DETAILS FOR:
FRASCA HOLDINGS, LLC
NORTH CAROLINA
CURRITUCK COUNTY
POPLAR BRANCH TWP.
8181 CARATOKE HIGHWAY

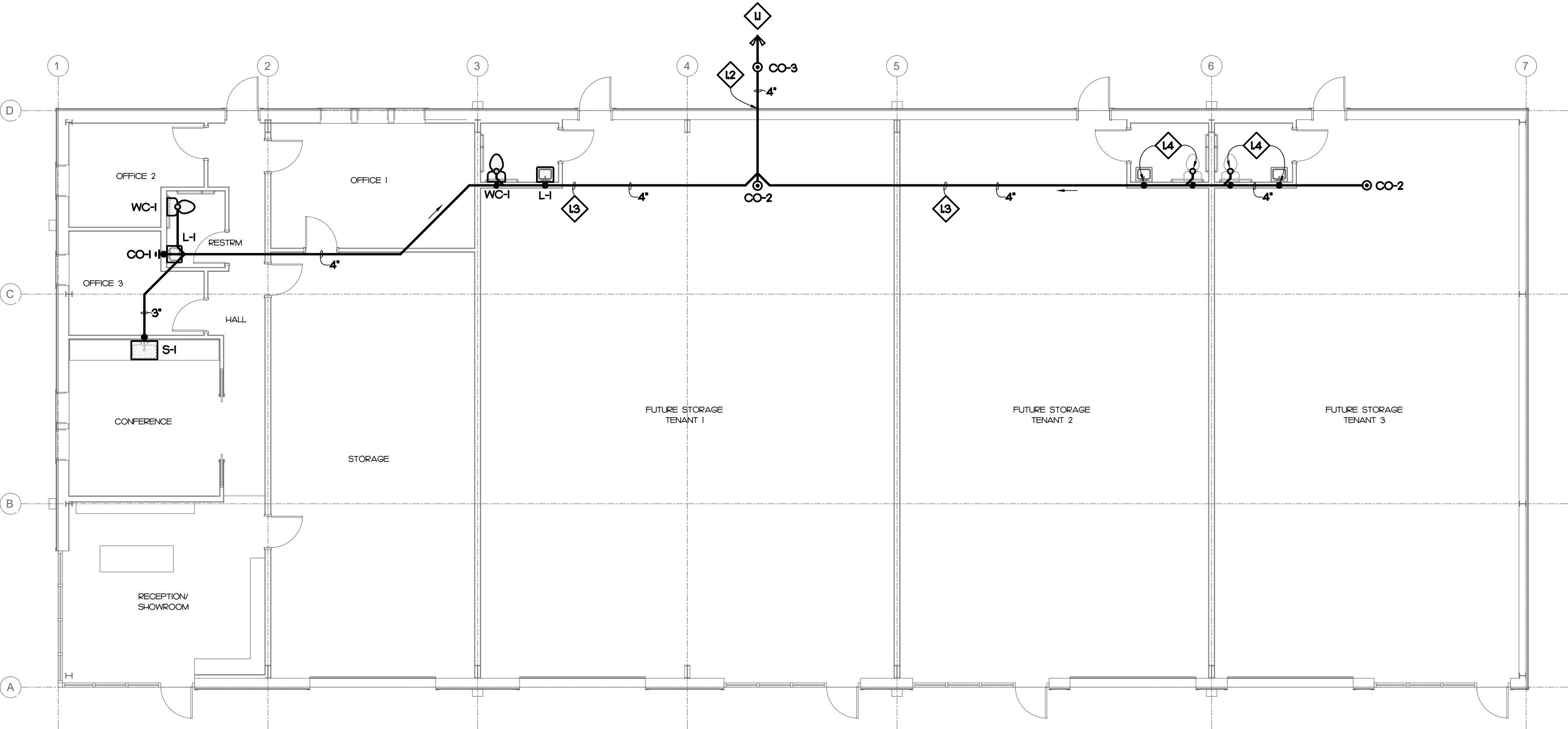
4/25/25	SCALE: 1"=20'
CHECKED: CFG	DRAWN: NDG
PROJECT NO: P1121.24	
CAD FILE: P1121 LS	
SHEET: L3 OF L3	

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Kitty Hawk, NC 27949
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ENGINEERING & SURVEYING, INC.
C-0836



1 WATER PIPING PLAN
SCALE: 1/8" = 1'-0"



2 WASTE PIPING PLAN
SCALE: 1/8" = 1'-0"

PLUMBING KEY NOTES

- 1 1/4" COLD WATER PIPE BELOW FINISHED GRADE. PLUMBING CONTRACTOR'S WORK BEGINS 5'-0" OUTSIDE BUILDING. SEE SITE PLAN FOR CONTINUATION.
- 12 MAIN SHUT OFF VALVE.
- 13 RISE UP TO ABOVE FINISHED CEILING.
- 14 WATER PIPING ABOVE FINISHED CEILING. COORDINATE LOCATION WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- 15 WATER PIPING AT CEILING. COORDINATE LOCATION WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- 16 WATER HEATER (WH-1) LOCATED ABOVE FINISHED CEILING.
- 17 WATER HEATER (WH-2) LOCATED ON WALL BELOW LAVATORY.
- 18 STUB OUT AND CAP 1/2" WATER AT WALL FOR FUTURE USE.
- 19 STUB OUT AND CAP 3/4" WATER AT CEILING FOR FUTURE USE.
- 21 ELECTRICAL EQUIPMENT BY ELECTRICAL CONTRACTOR.

PLUMBING KEY NOTES

- 1 4" SANITARY SEWER PIPE BELOW FINISHED GRADE. PLUMBING CONTRACTOR'S WORK EXTENDS 5'-0" OUTSIDE BUILDING. SEE SITE PLAN FOR CONTINUATION TO SEPTIC TANK.
- 12 INVERT ELEVATION IS TO BE 2.75' BELOW FINISHED FLOOR.
- 13 SANITARY SEWER PIPE BELOW FINISHED FLOOR.
- 14 STUB AND CAP WASTE PIPE FOR FUTURE USE.

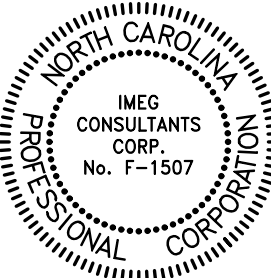
cahoon + kasten

ARCHITECTS

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E. office@obxarchitects.com

ATLANTEC
ENGINEERS, P.A.
IMEG

3221 BLUE RIDGE ROAD, SUITE 113
RALEIGH, NC 27612
P. 919.571.1111
25089



Project: Coastal Roofing Bldg 2

Project No: 25019

Location: 8179 Caratoke Hwy.

Powells Point, NC

Title: PLUMBING PLANS

Date: September 19, 2025

Scale: As Indicated

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

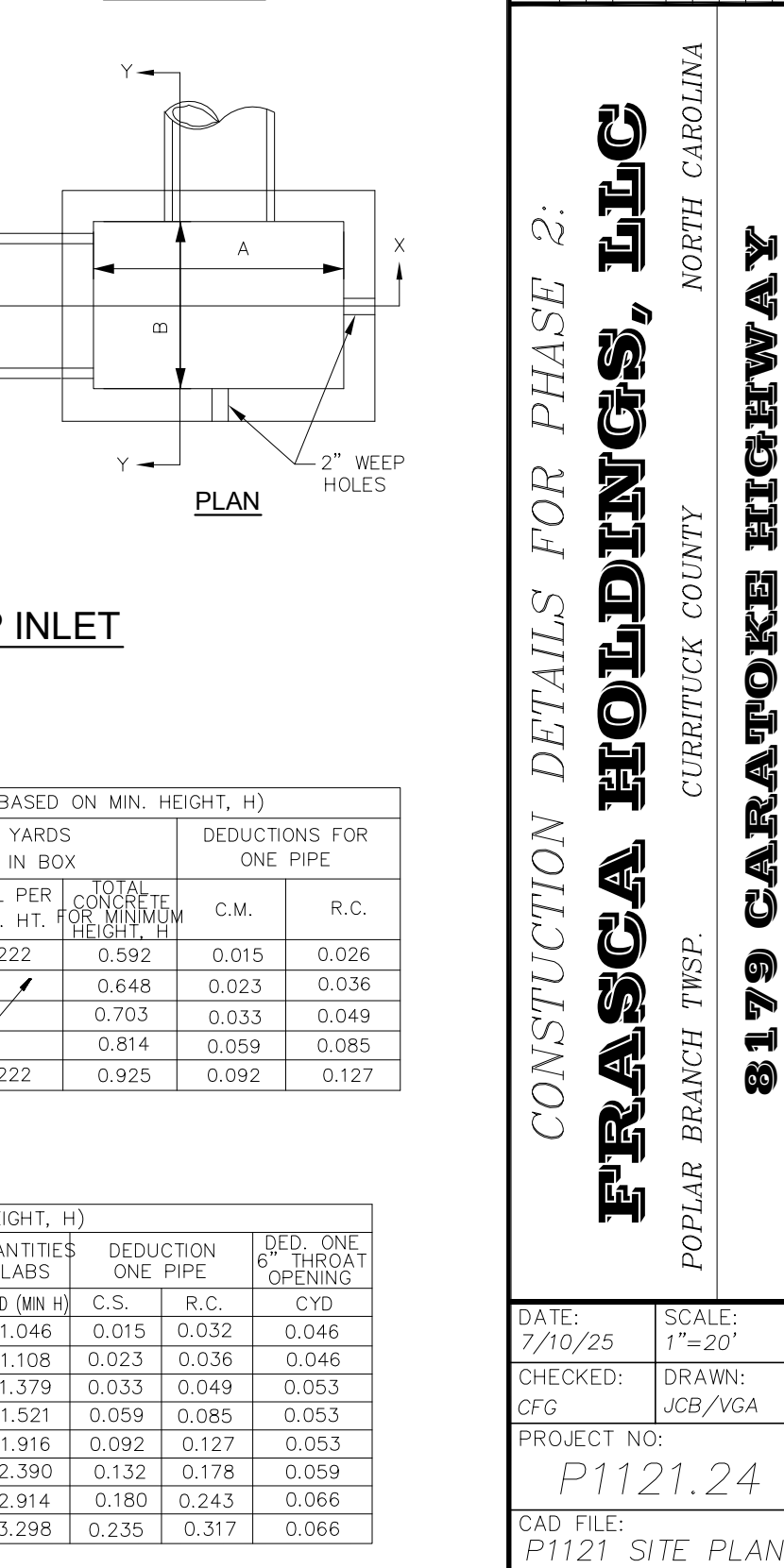
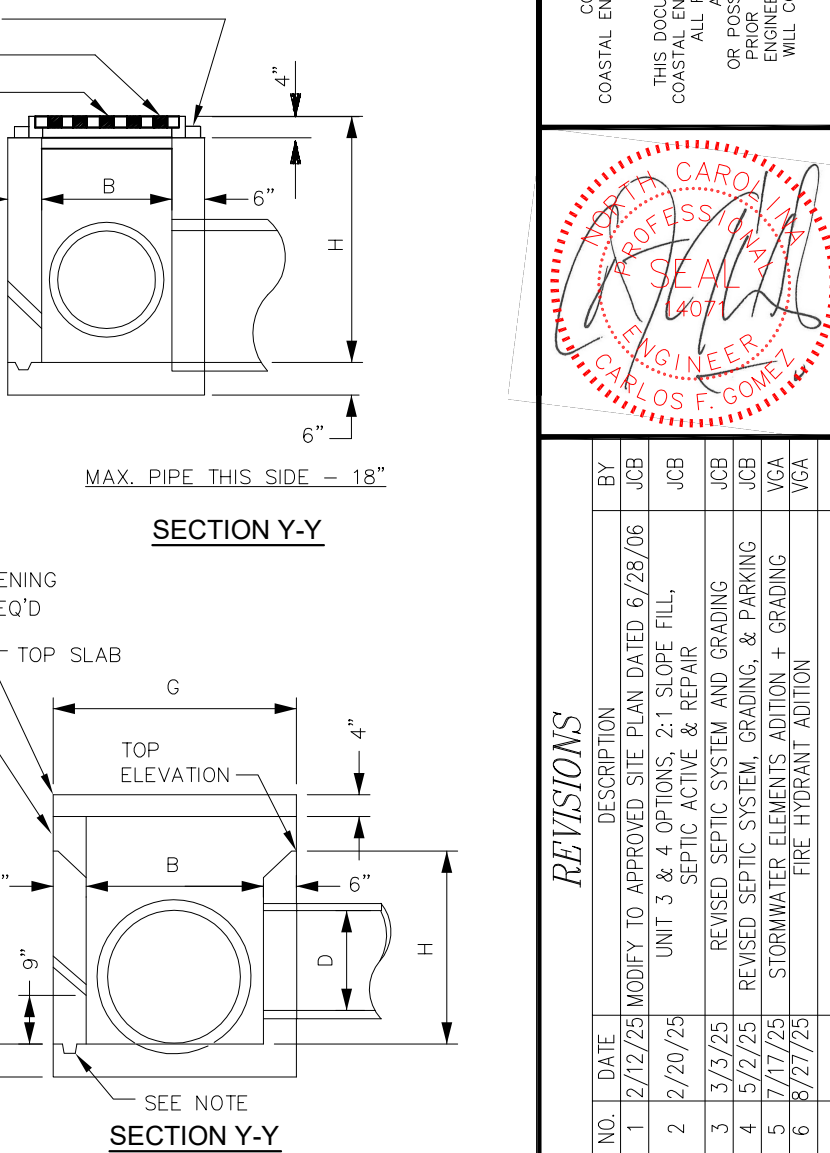
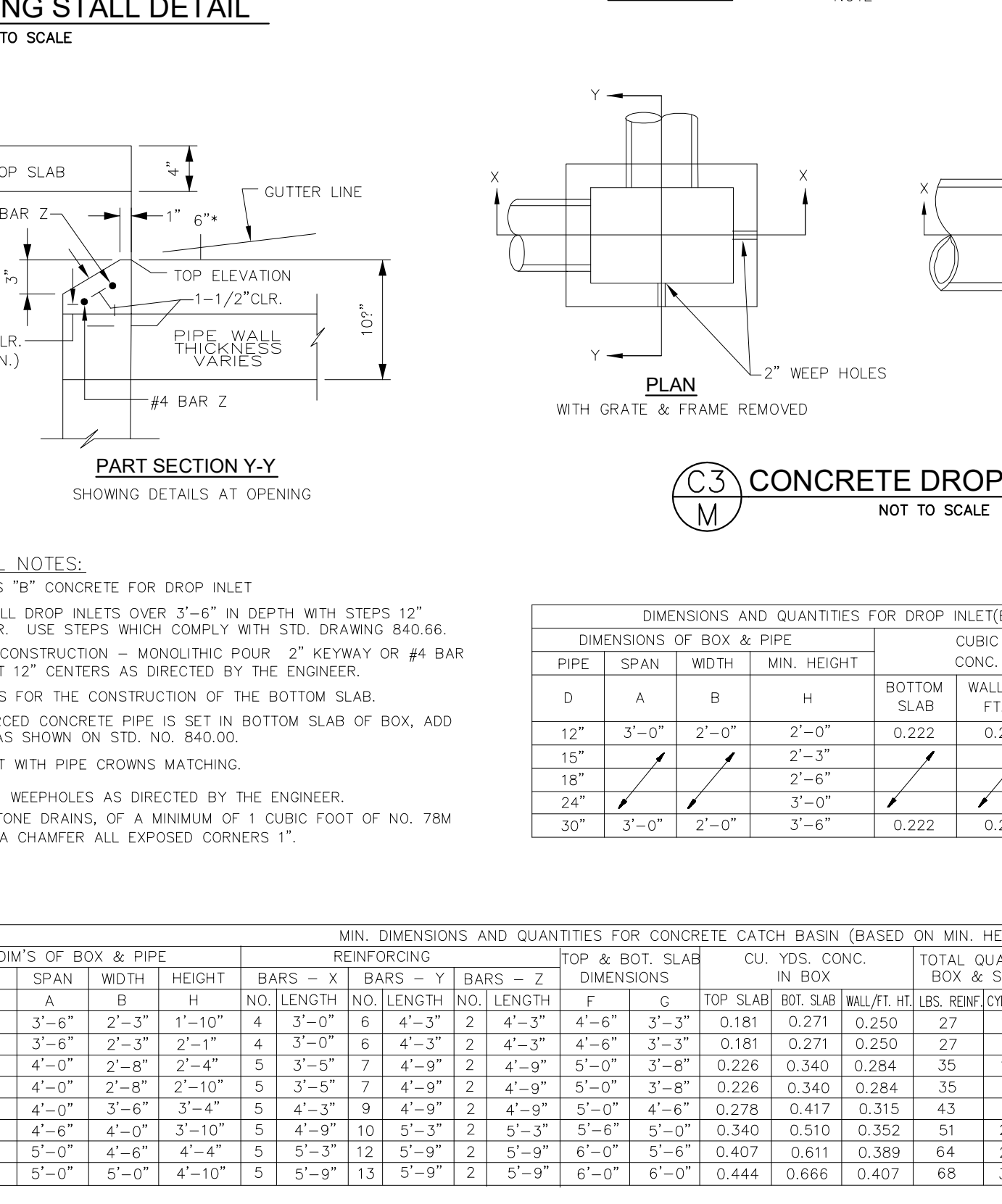
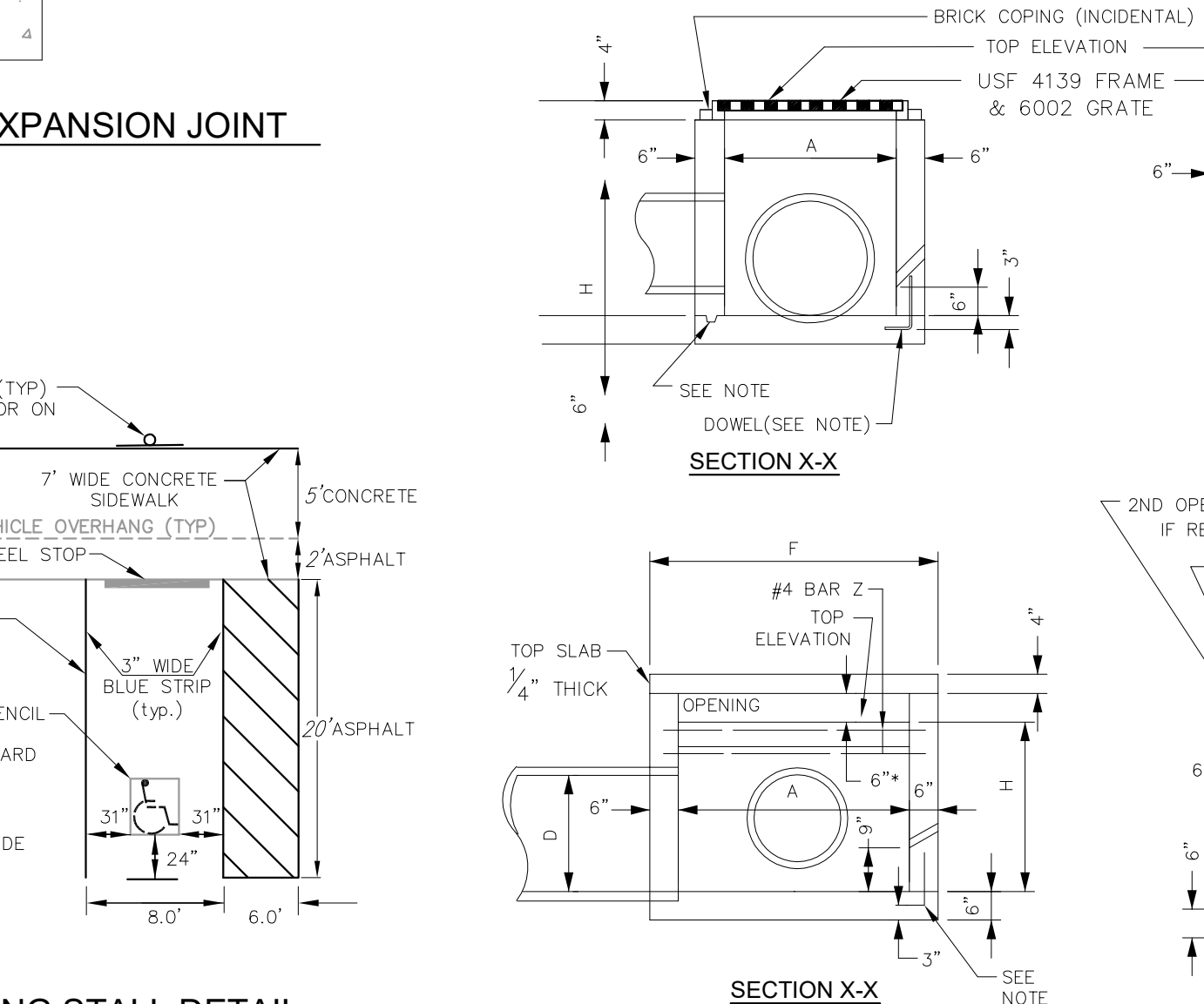
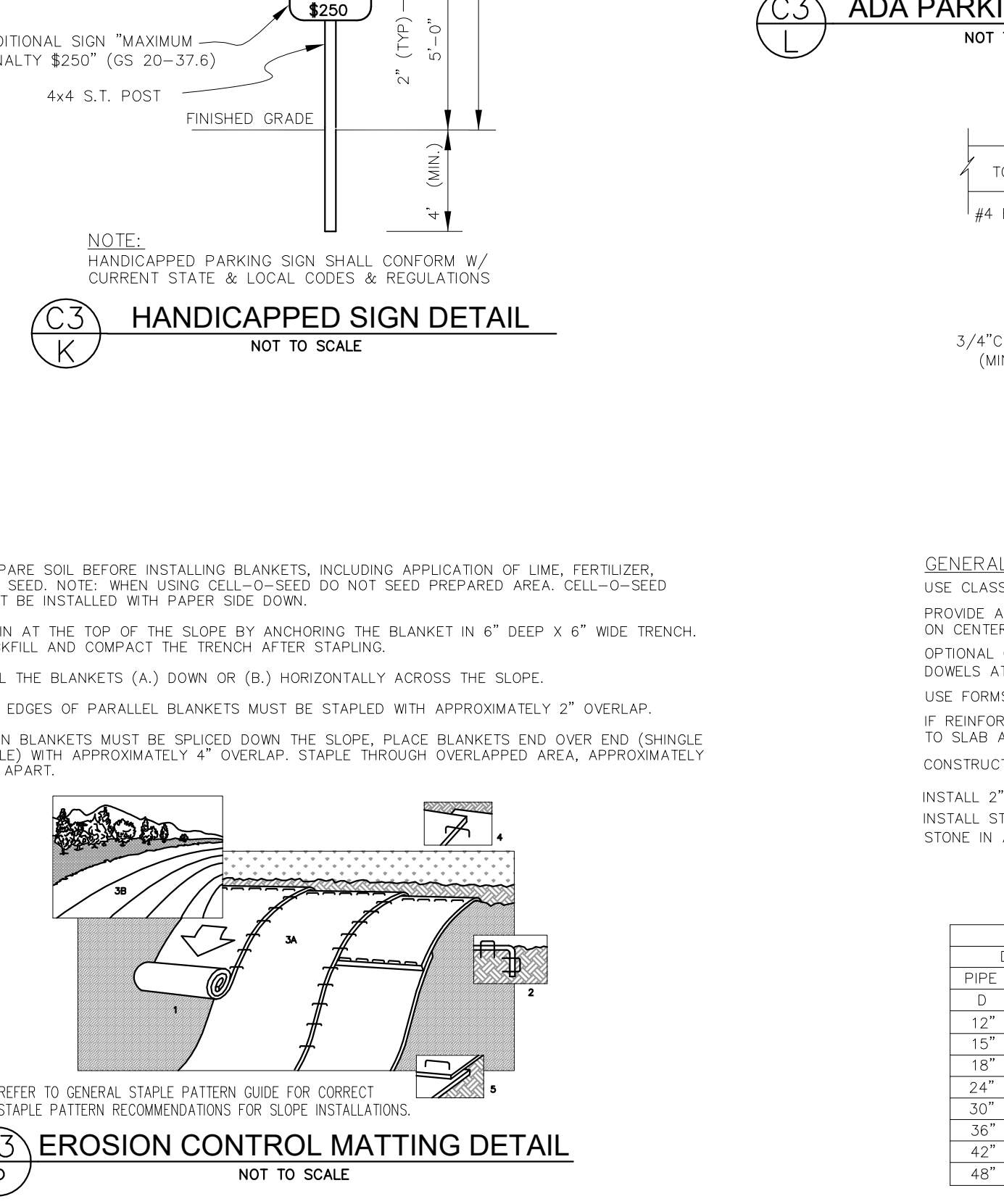
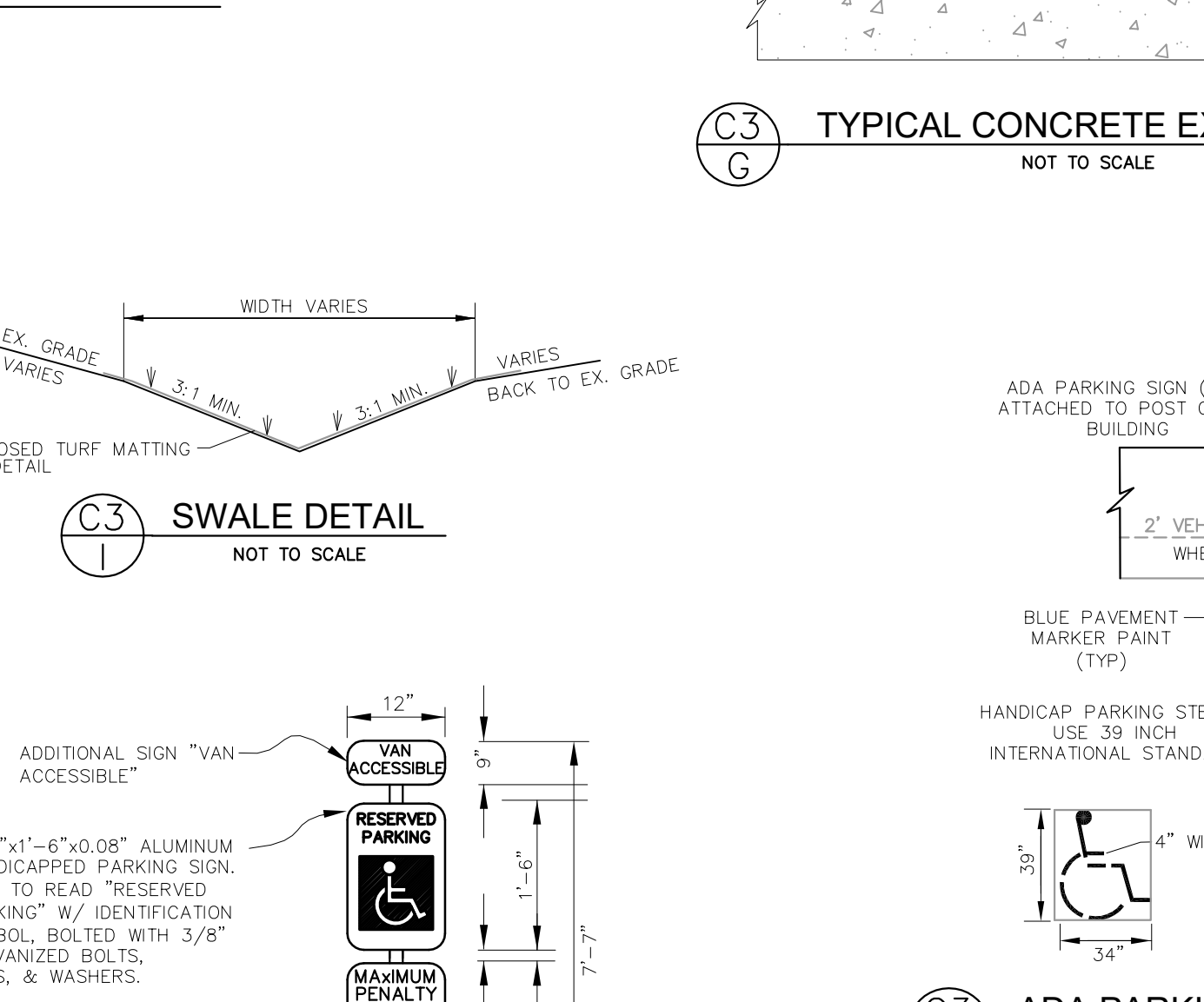
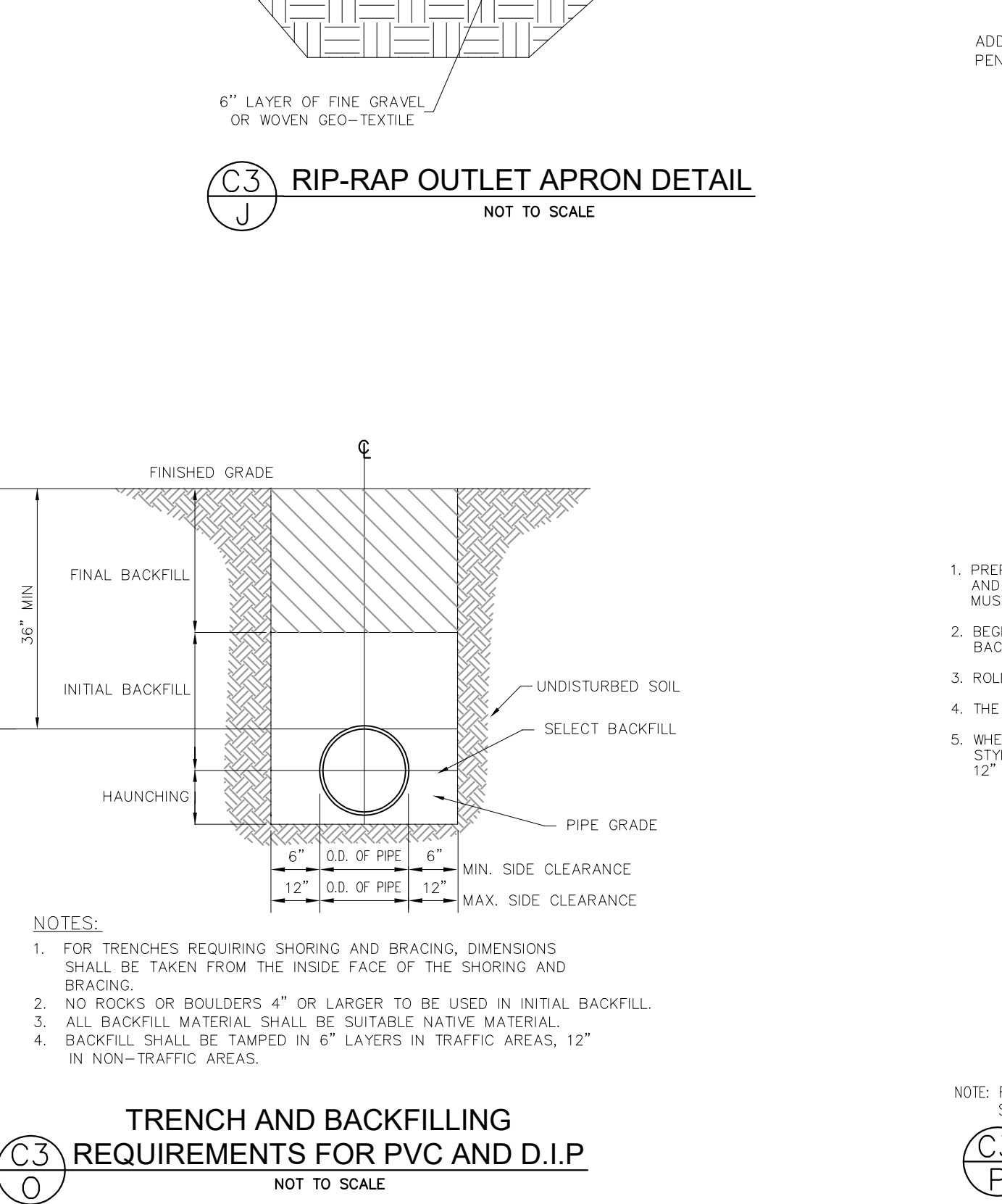
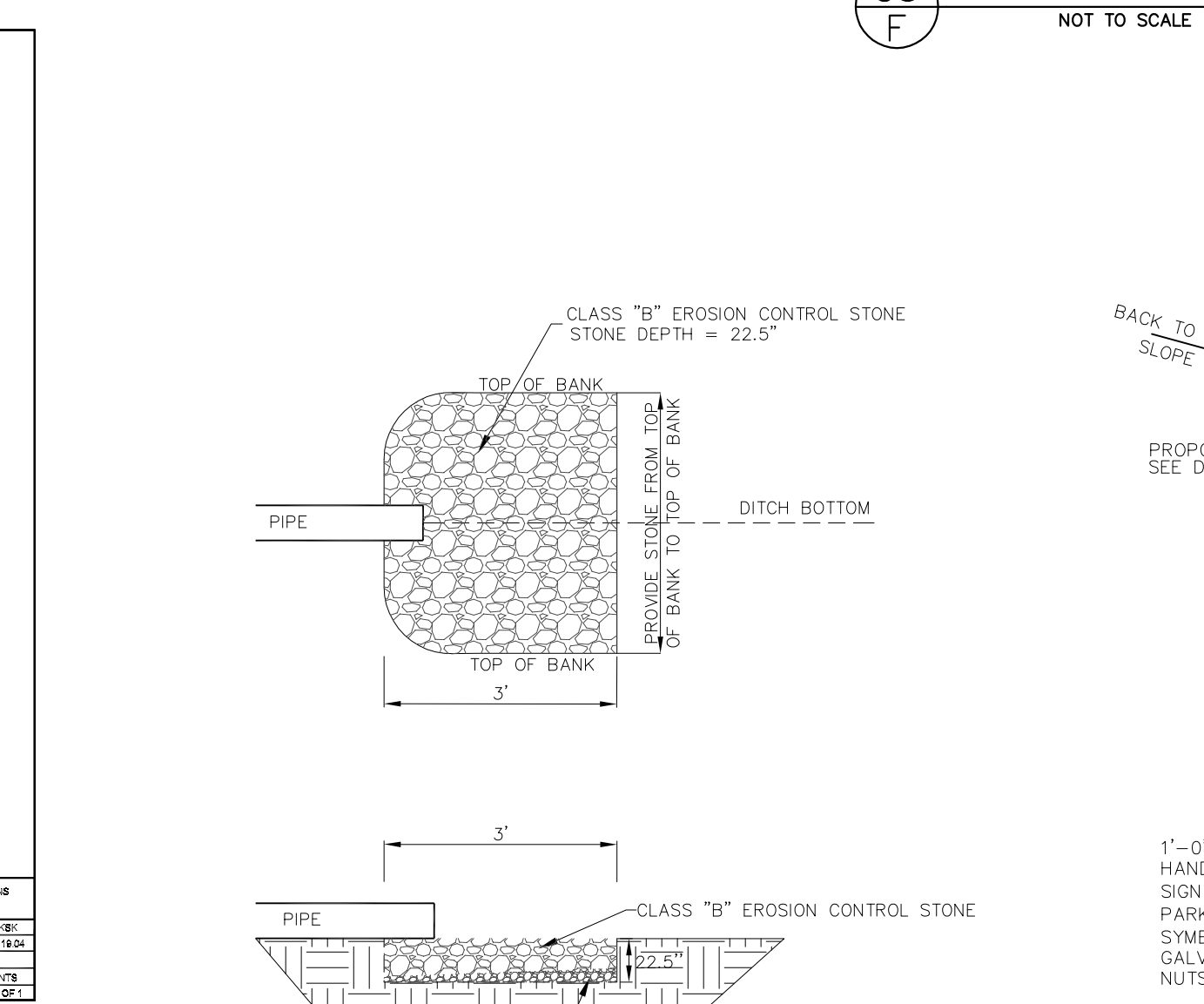
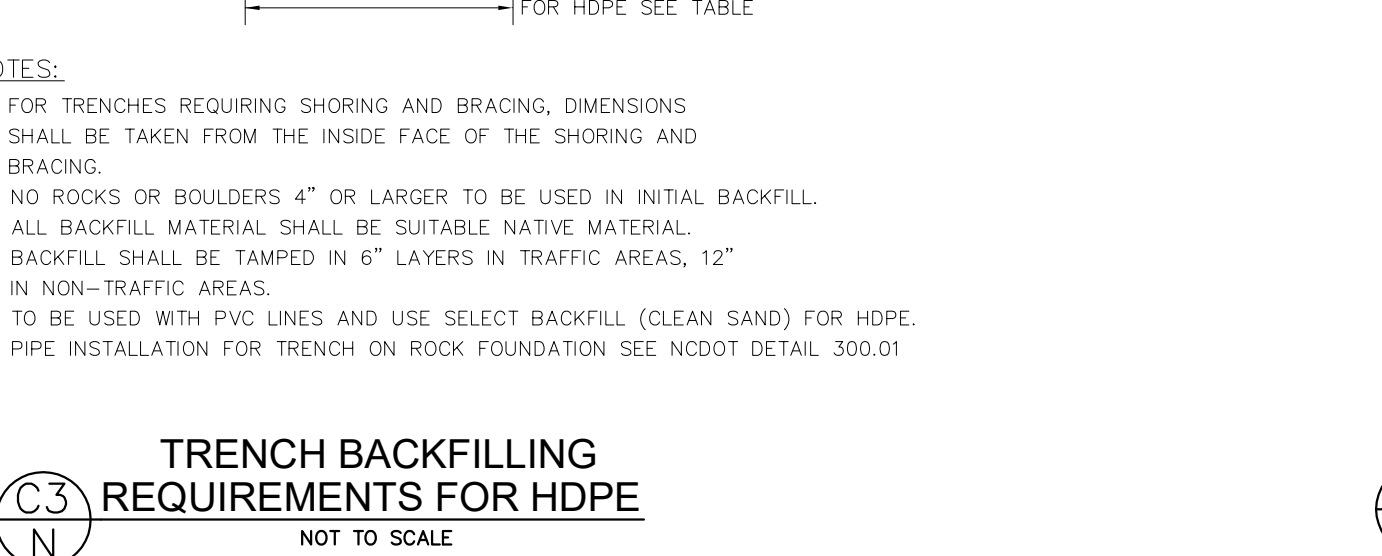
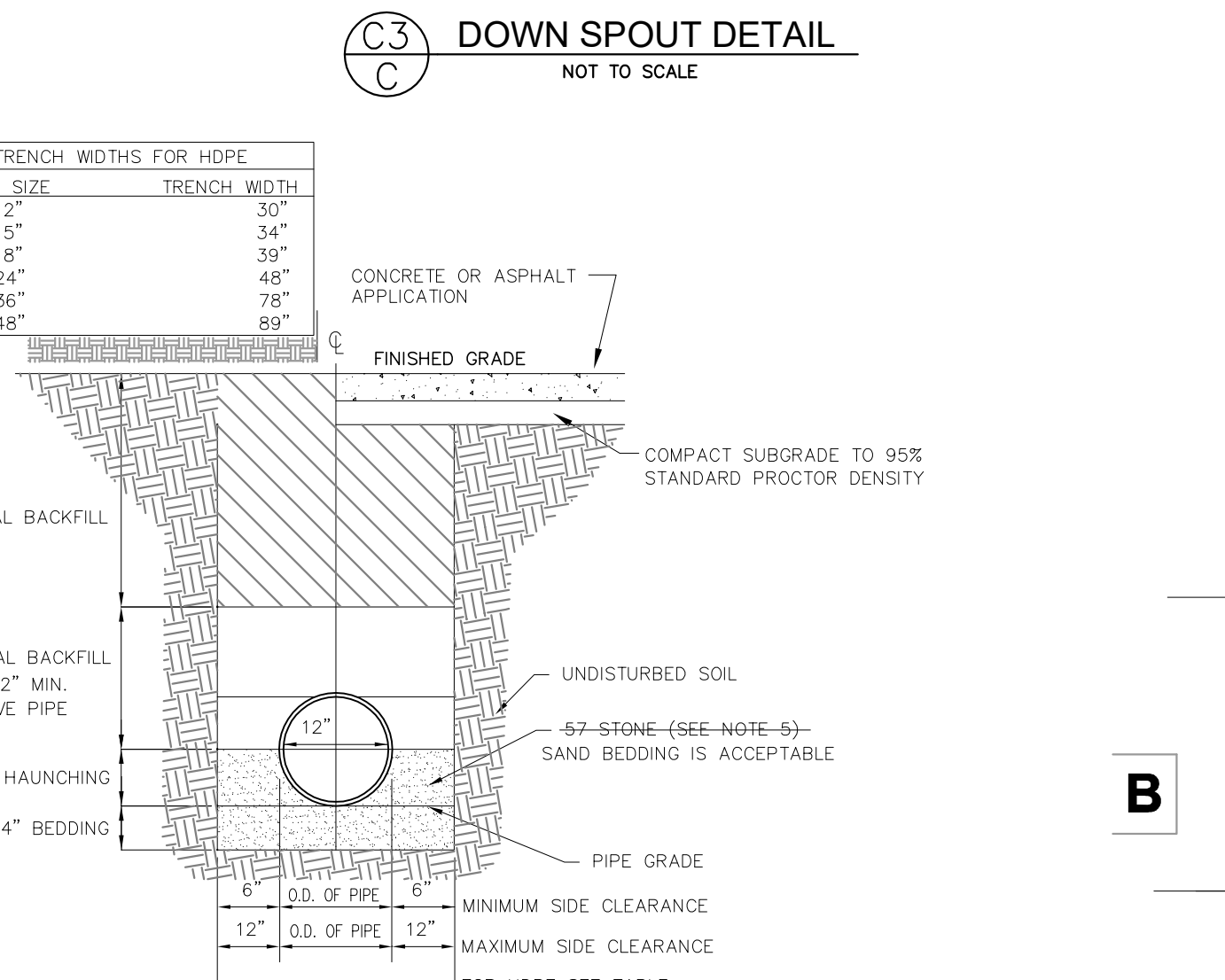
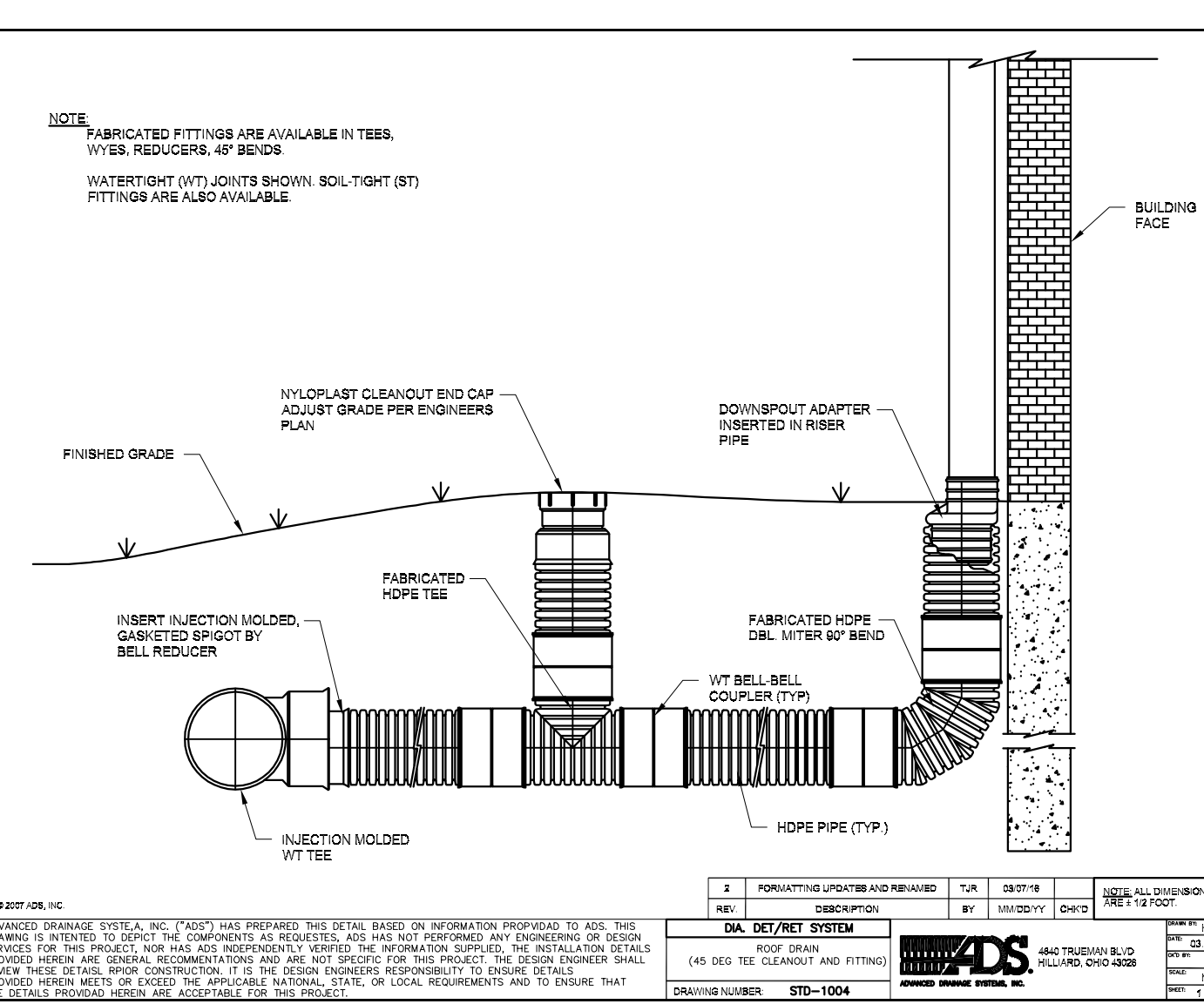
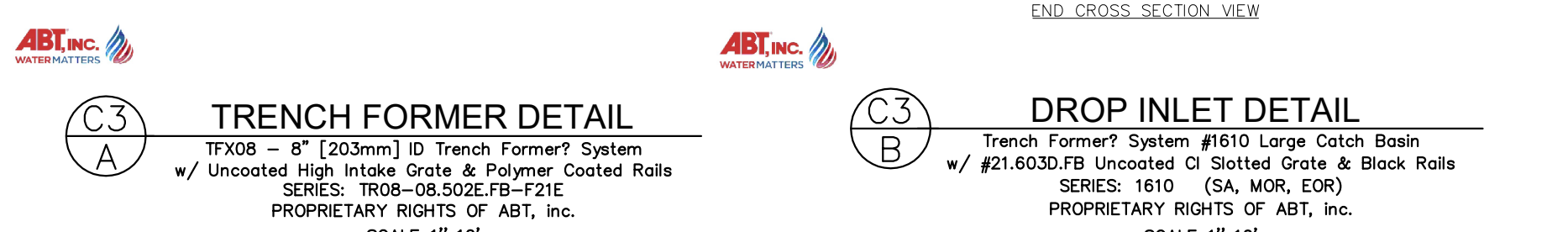
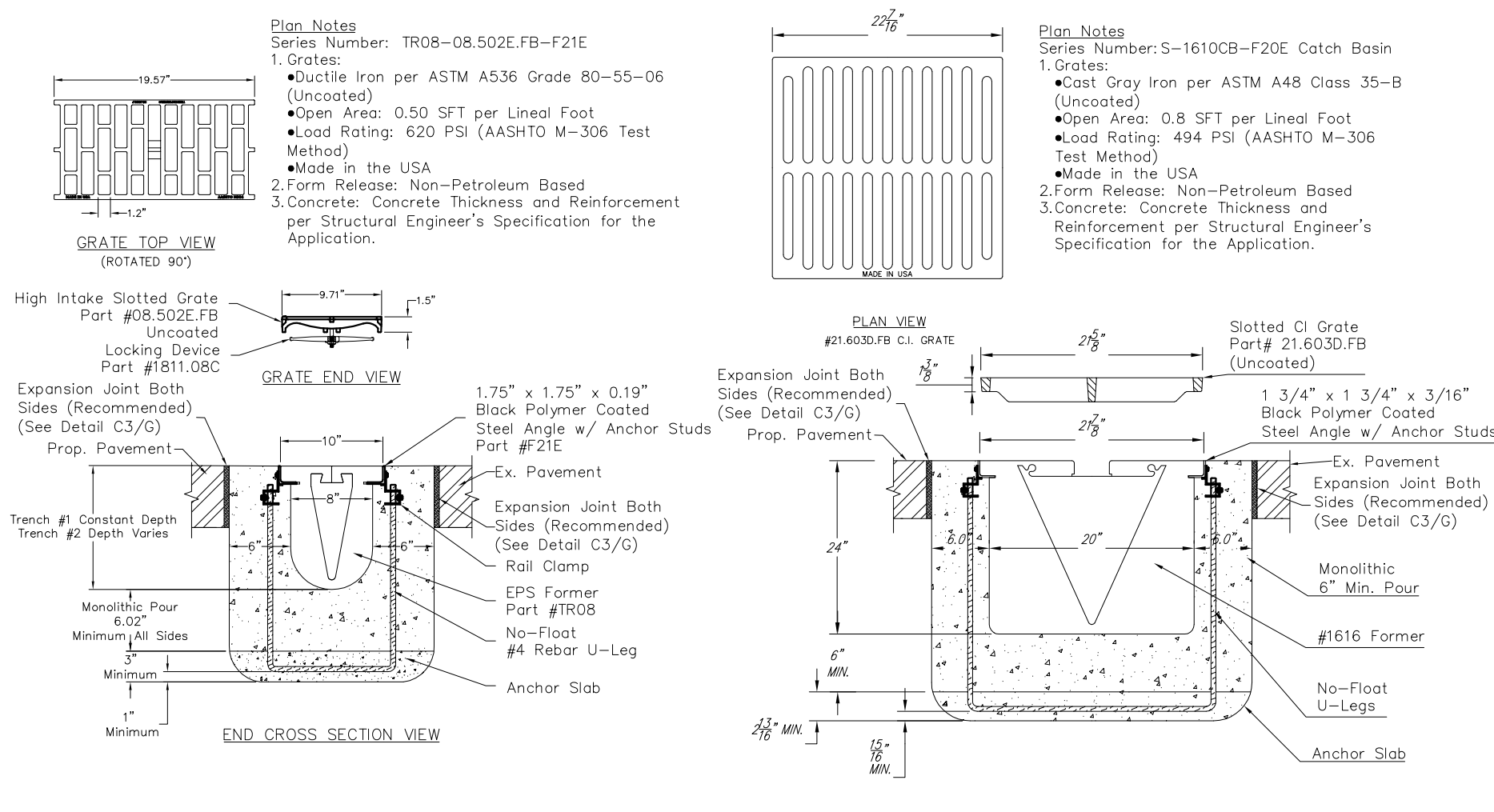
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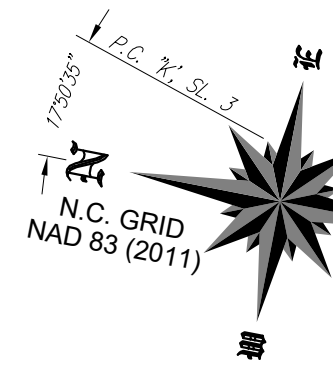
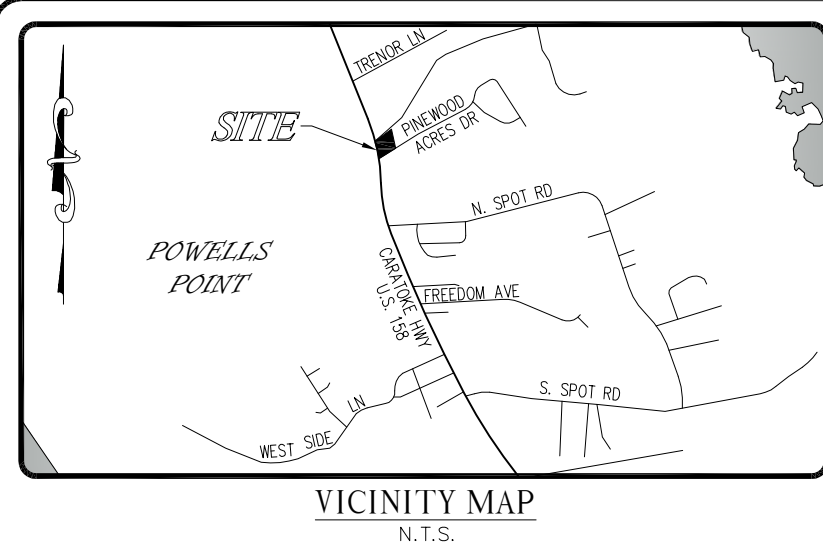
No.	Description	Date

Designed: DRD
Drawn: DRD
Reviewed: JBD
Cad File:

P100

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RALEIGH, NC 27612
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North Carolina Design Registration #F-1507
REF. SCALE IN INCHES PROJECT # 25089





N.P.
JULIO NICOLAS CASTILLO
D.B. 1463, PG. 329
PARCEL ID. 01230000930000
ZONING = AG
BUFFER YARD "A"
REQUIRED

N.P.
ROBERT R. WOTING, JR. &
PAMELA A. WOTING
LOT 18
PINEWOOD ACRES
PHASE 1
P.C. "X", SL. 392
PARCEL ID. 12300000180000
ZONING = SSM
BUFFER YARD "B"
REQUIRED

LEGEND

- EXISTING CONCRETE MONUMENT
- EXISTING IRON ROD
- EXISTING IRON PIPE
- SET IRON ROD
- CALCULATED POINT
- UTILITY POLE
- EXISTING WATER METER
- PROPOSED WATER METER
- FIRE HYDRANT
- TRANSFORMER
- TELEPHONE PEDESTAL
- PROPOSED LITHONIA AFF EXIT LIGHT ABOVE DOORS (BY ARCHITECT)
- COOPER LIGHTING WP WALL PACK (BY ARCHITECT)
- CODE OF PAVEMENT
- R/W - RIGHT OF WAY
- OHU - OVERHEAD UTILITY
- M.B.L. - MINIMUM BUILDING LINE
- X9.09 - EX. GROUND ELEVATION
- X9.00 - PROP. GROUND ELEVATION
- SILT FENCE
- FORCE MAIN
- LIMITS OF DISTURBANCE
- ROOF GUTTER
- SWALE
- TRENCH DRAIN
- VALLEY GUTTER
- EX. RIP RAP
- PROP. RIP RAP
- PROP. FINISHED FLOOR ELEVATION

SEPTIC RATIONAL

ACTIVE SYSTEM

DESIGNED FOR A TOTAL FUTURE 4 UNIT BUILDING, Q=100 G.P.D. PER UNIT

$Q = 100 \times 4 = 400$ G.P.D.

LTAR = 0.6 G.P.D. / S.F.

DRAINFIELD AREA FOR CONVENTIONAL SYSTEM

$A = 400 = 666.7$ S.F.

$666.7 = 222.2$ L.F.

USE (5) 45 L.F. LINES FOR 225 L.F. TOTAL LENGTH @ 9' O.C.

REPAIR SYSTEM (CONVENTIONAL)

$400 \text{ G.P.D.} = 666.7$ S.F.

$666.7 = 222.2$ L.F.

USE (4) 56 L.F. LINES FOR 224 L.F. TOTAL LENGTH @ 9' O.C.

EX. LOT COVERAGE - PHASE 1 ONLY

BUILDING = 8,389 sq. ft.

PAVED PARKING = 16,165 sq. ft.

CONCRETE WALK = 123 sq. ft.

DUMPSTER PAD = 237 sq. ft.

TOTAL COVERAGE = 24,916 sq. ft. or 29.7%

NEW LOT COVERAGE - PHASE 2

BUILDING = 7,700 sq. ft.

PAVED PARKING = 2,800 sq. ft.

CONCRETE WALK = 1,015 sq. ft.

CONCRETE PAD = 436 sq. ft.

TOTAL COVERAGE = 11,951 sq. ft. or 14.3%

PROP. LOT COVERAGE - PHASES 1 & 2

BUILDINGS = 16,089 sq. ft.

PAVED PARKING = 18,965 sq. ft.

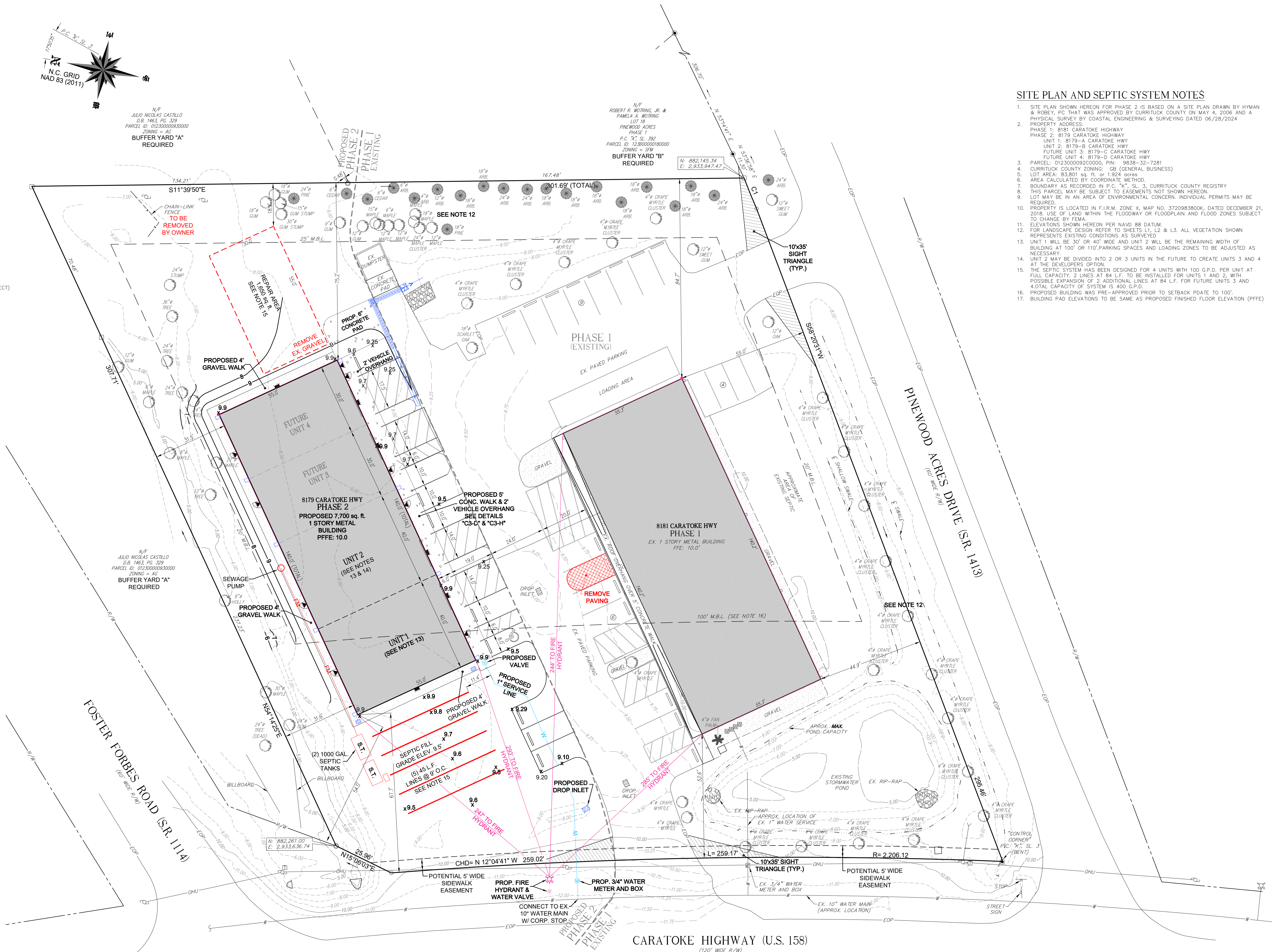
CONCRETE WALK = 1,140 sq. ft.

DUMPSTER PAD = 237 sq. ft.

CONCRETE PAD = 436 sq. ft.

TOTAL COVERAGE = 36,867 sq. ft. or 43.9%

CURVE	RADIUS	LENGTH	BEARING	CHORD
C1	288.53'	14.04'	S56°56'53"W	14.04'



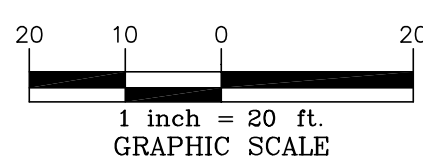
SITE PLAN AND SEPTIC SYSTEM NOTES

- SITE PLAN SHOWN HEREON FOR PHASE 2 IS BASED ON A SITE PLAN DRAWN BY HYMAN & ROBEY, PC THAT WAS APPROVED BY CURRITUCK COUNTY ON MAY 4, 2006 AND A PHYSICAL SURVEY BY COASTAL ENGINEERING & SURVEYING DATED 06/28/2024
- PROPERTY ADDRESS:
PHASE 1: 8181 CARATOKE HIGHWAY
UNIT 1: 8179-A CARATOKE HWY
UNIT 2: 8179-B CARATOKE HWY
UNIT 3: 8179-C CARATOKE HWY
UNIT 4: 8179-D CARATOKE HWY
PARCEL: 01230000920000, PIN: 9838-32-7281
- CURRITUCK COUNTY ZONING: GB (GENERAL BUSINESS)
- LOT AREA: 83,801 sq. ft. or 1,924 acres
- AREA CALCULATED BY COORDINATE METHOD
- BOUNDARY AS RECORDED IN P.O. "X", SL. 3, CURRITUCK COUNTY REGISTRY
- THIS PARCEL MAY BE SUBJECT TO EASEMENTS NOT SHOWN HEREON
- LOT MAY BE IN AN AREA OF ENVIRONMENTAL CONCERN, INDIVIDUAL PERMITS MAY BE REQUIRED
- PROPERTY IS LOCATED IN F.I.R.M. ZONE X, MAP NO. 3720983800K, DATED DECEMBER 21, 2016. USE OF LAND WITHIN THE FLOODWAY OR FLOODPLAIN AND FLOOD ZONES SUBJECT TO CHANGE BY FEMA
- ELEVATIONS SHOWN HEREON PER NAVD 88 DATUM
- FOR LANDSCAPE DESIGN REFER TO SHEETS L1, L2 & L3. ALL VEGETATION SHOWN REPRESENTS EXISTING CONDITIONS AS SURVEYED
- UNIT 1 WILL BE 30' OR 40' WIDE AND UNIT 2 WILL BE THE REMAINING WIDTH OF BUILDING AT 100' OR 100' PARKING SPACES AND LOADING ZONES TO BE ADJUSTED AS NECESSARY
- UNIT 2 MAY BE DIVIDED INTO 2 OR 3 UNITS IN THE FUTURE TO CREATE UNITS 3 AND 4 AT THE DEVELOPER'S OPTION
- THE SEPTIC SYSTEM HAS BEEN DESIGNED FOR 4 UNITS WITH 100 G.P.D. PER UNIT AT FULL CAPACITY. 2 LINES AT 84 L.F. TO BE INSTALLED FOR UNITS 1 AND 2, WITH POSSIBLE EXPANSION OF 2 ADDITIONAL LINES AT 84 L.F. FOR FUTURE UNITS 3 AND 4. TOTAL CAPACITY OF SYSTEM IS 400 G.P.D.
- PROPOSED BUILDING WAS PRE-APPROVED PRIOR TO SETBACK POATE TO 100'
- BUILDING PAD ELEVATIONS TO BE SAME AS PROPOSED FINISHED FLOOR ELEVATION (PFFE)

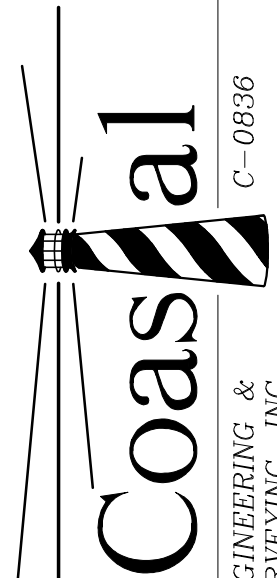
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SHEET C1 - FINAL SITE & SEPTIC PLAN
SHEET C2 - FINAL STORMWATER & GRADING PLAN
SHEET C3 - CONSTRUCTION DETAILS

LANDSCAPE DESIGN
SHEET L1 - LANDSCAPE DESIGN
SHEET L2 - LANDSCAPE LEGEND & NOTES
SHEET L3 - LANDSCAPE DETAILS



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Civil - Structural
Site Development



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NO.	DATE	REVISIONS	BY
1	2/12/24	MODIFY TO APPROVED SITE PLAN DATED 6/28/06	ACH
2	2/20/24	UNIT 3 & 4 OPTIONS, 2:1 SLOPE FILL	ACH
3	2/20/24	SEPTIC ACTIVE & REPAIR	ACH
4	2/20/24	REVISED SEPTIC SYSTEM	ACH
5	2/20/24	REVISED SEPTIC SYSTEM GRADINGS & PARKING	ACH
6	2/20/24	STORMWATER ELEMENTS ACTION & GRADING	VGA
7	2/20/24	FIRE HYDRANT ACTION	VGA

FINAL SITE & SEPTIC PLAN FOR PHASE 2:
FRASCA HOLDINGS, LLC
POPLAR BRANCH TNSP. CURRITUCK COUNTY NORTH CAROLINA
8179 CARATOKE HIGHWAY

DATE: 7/10/25
CHECKED: CTG
PROJECT NO: P1121.24
CAD FILE: P1121 SITE PLAN
SHEET: C1/C3

FIRE & RESCUE			Page 1/3																					
ISO Fire Flow Worksheet																								
Needed Fire Flow Work Sheet (ISO formulas)			NFF = (Ci)(Oi)(Xi+Pi) C=18F(Ai)^0.5																					
Address:	8181 Caratoke Hwy, Powells Point, NC																							
Project Name:	Coastal Roofing	Occupancy Type:																						
Construction Type:	Non-Combustible	Number of Stories:	1																					
STEP 1																								
Take the area, which is 100% sq. ft. of the first floor plus the following percentage of the total area of the other floors.																								
First Floor Area in Sq. Ft	7700	Sq. Ft. @ 100%																						
Additional Floors																								
Enter total area in sq. ft for all other floors	0																							
Total Area Entire Building	7700																							
STEP 2																								
F = Coefficient related to the class of construction as determined by using the construction type found in SBCCI																								
<table border="1"> <thead> <tr> <th>Construction Type</th> <th>Class</th> <th>F Value</th> </tr> </thead> <tbody> <tr> <td>Frame</td> <td>1</td> <td>1.5</td> </tr> <tr> <td>Joist Masonry</td> <td>2</td> <td>1</td> </tr> <tr> <td>Non-combustible</td> <td>3</td> <td>0.8</td> </tr> <tr> <td>Heavy Timber</td> <td>4</td> <td>0.8</td> </tr> <tr> <td>Modified fire resistance</td> <td>5</td> <td>0.6</td> </tr> <tr> <td>Fire resistive</td> <td>6</td> <td>0.6</td> </tr> </tbody> </table>				Construction Type	Class	F Value	Frame	1	1.5	Joist Masonry	2	1	Non-combustible	3	0.8	Heavy Timber	4	0.8	Modified fire resistance	5	0.6	Fire resistive	6	0.6
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Construction Class	3																							
Square Root of the Area x F x 18	1250	= C Value																						

FIRE & RESCUE		Page 2/3
ISO Fire Flow Worksheet		
Needed Fire Flow Work Sheet (ISO formulas)		
STEP 3	Multiply result of rounded off GPM by the Occupancy Factor (Oi)	Occupancy Factor
	Noncombustible (C-1) = No active fuel loads such as storage of asbestos, clay, glass, marble, stone, or metal products.	0.75
	Limited - Combustible (C-2) = Limited fuel loads such as airports, apartments, art studios, auto repair, auto showroom, aviaries, banks, barber shops, beauty shops, churches, clubs, cold storage warehouses, day care center, educational occupancies, gas stations, green houses, health clubs, hospitals, jails, libraries, medical labs, motels, museums, nursing homes, offices, radio stations, recreation centers, and rooming houses.	0.85
	Combustible (C-3) = Moderate fuel loads such as auto part stores, auto repair training center, bakery, bookstores, bowling centers, casinos, commercial laundries, contractor equipment storage, dry cleaners with no flammable fluids, leather processing, municipal storage buildings, nursery sales stores, pavilions, pet shops, photographic supplies, printers, restaurants, shoe repair, supermarkets, theaters, vacant buildings, and most wholesale & retail sales occupancies.	1.0
	Free-Burning (C-4) = Active fuel loads such as aircraft hangers, cabinet making, combustible metals, dry cleaners using flammable fluids, feed stores, furniture stores, kennels, lumber, packaging and crating, paper products manufacturing, petroleum bulk distribution centers, tire manufacturers, tire recapping or retreading, wax products, and wood working shops.	1.15
	Rapid-Burning (C-5) = Contents that burn with great intensity, spontaneously ignite, have flammable or explosive vapors, or large quantities of dust such as ammunition, feed mills, fireworks, flammable compressed gases, flammable liquids, flour mills, highly flammable solids, matches, mattress factories, nitrocellulose-based products, rag storage, upholstery shops, & waste paper storage.	1.25
Occupancy Class Selected (1 thru 5)	3	
GPM x Oi	1250	

ISO Fire Flow Worksheet

Needed Fire Flow Work Sheet (ISO formulas)

STEP 4

Now consider the exposure factor (Xi) - (Separation between buildings)

Distance (feet to the exposed building)	Xi	>3 stories
0-10	0.22	0.47
11-30	0.18	0.43
31-60	0.13	0.38
61-100	0.09	0.34

Distance, in feet, to the exposed building 101

Xi (from table) 0

Multiply GPM from step 4 by (1+Xi)

Total From Step 4 1250

STEP 5

Approved Fire Sprinkler System? (Y or N) n

Take fire flow from step 5 and multiply by sprinkler credit of 0.25

Sprinkler credit 0

Now subtract sprinkler credit from fire flow in step 4

NEEDED FIRE FLOW

1250 GPM