



Quible & Associates, P.C.

ENGINEERING • ENVIRONMENTAL SCIENCES • PLANNING • SURVEYING
SINCE 1959

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April 24, 2024

Ms. Jennie Turner
Assistant Planning Director
Currituck County Planning and Community Development
153 Courthouse Rd., Suite 110
Currituck, NC 27929

RE: Amendment to Master Plan PD-M Application
Planned Development – University Park Townhomes
PIN# 013100097A0000
Harbinger, Currituck County, NC

Ms. Turner,

Thank you for the TRC review comments for the Planned Development Amendment Application submittal package for the University Park – Phase IIA project dated April 11, 2024. On behalf of University Park, LLC, Quible & Associates, P.C. hereby submits for your review and approval, the following enclosed documentation:

1. (1) Electronic copy of the revised Terms and Conditions;
2. (1) Electronic copy of the revised Master Plan;
3. (1) Electronic copy of the Building Elevations.
4. (1) Electronic copy of the revised Master Plan and all associated documents.

Please find our responses listed below in [blue](#) to your review comments.

Planning (Jennie Turner, 252-232-6031, Anna Cherry, 252-232-6066)

1. Please provide a comprehensive request of changes to the terms and conditions (a strike through and underline would be an option) including the additional density on Phase IIB and the proposed connection to West Mobile Road and the storage building.
 - a. [Acknowledged. Please refer to the enclosed, revised Terms and Conditions which has been struck through and updated to reflect proposed changes to the Planned Development including density, connection to West Mobile Road, storage building, etc.](#)
2. Please include a Total Planned Development – Mixed (PD-M) area or district area on plan.
 - a. [Acknowledged. Please refer to note 13 on the enclosed revised Master Plan.](#)
3. The zoning of PD-M allows for 3 dwelling units/acre and up to 35% of district total. It appears request exceeds the maximum allowable density for this project. Staff's calculations result in a maximum potential density of 78 total units. 39 townhomes have been constructed; this means that maximum of 39 additional units may be requested in accordance with the UDO.
 - a. [Acknowledged. Please refer to the revised Master Plan that proposes 39 units.](#)

4. Please clearly show on the master plan the areas designated as commercial, residential, and open space areas along with associated area calculations that show conformance with the zoning district standards. Include existing and proposed development.
 - a. Acknowledged. Please refer to the enclosed revised Master Plan that breaks down each phase's maximum allowed commercial and residential area and the required amount of open space.
5. A UDO amendment approved after the original PD-M zoning approval increased the minimum acreage requirements from 10 to 50 acres for the PD-M district. This request will be reviewed based on the procedures and standards for its original approval.
 - a. Acknowledged.
6. Please provide building elevations for the proposed townhomes and storage building.
 - a. Acknowledged. Please refer to the enclosed Building Elevations. Please acknowledge that the townhome buildings will be constructed to match the existing already constructed, and the storage building will match the prior constructed storage building.
7. The property is located in the G-3 Transect area of the Imagine Currituck 2040 Vision Plan Future Land Use Map. The following policies, goals and actions of the plan may apply to the request:

G-3: Mixed-Use Centers and Corridors Transect

The G-3 classification is supported by major transportation networks, public water and wastewater infrastructure, and a community greenway system that links neighborhoods to mixed use areas. This sector provides for a wide range of uses including mixed residential subdivisions with a variety of housing types and mixed use developments that maximize the efficient use of space. Attractive mixed use development can be achieved by incentivizing multi-story buildings that comply with design standards that emphasize building form, orientation, and architecture.

Appropriate Land Uses and Development Types:

- » Mixed residential developments that provide a variety of housing types
- » Horizontal and vertical mixed-use development
- » Multi-family development
- » Office and institutional
- » Light industrial facilities
- » Regional commercial centers with national brands
- » Medium to high residential densities, commercial and compatible industrial uses are encouraged to locate within the G-3 transect areas where both water and wastewater services are available.

LC-ACT-9 Promote mixed-use development that includes family entertainment and tourism-supporting businesses south of the waterpark in Lower Currituck.

LC-ACT-10 Promote the development of a mixed use village in Grandy with higher residential density and 2-3 story buildings constructed to architectural design standards.

LC-ACT-11 Encourage and consider incentives for development of a variety of housing.

The project is located in the Lower Currituck subarea which was included in the Economic Development Opportunity Assessment for Lower Currituck which was conducted in 2016, and states the following actions:

» Expand the diversity of housing options by revisiting minimum lot size requirements to allow closer clustering of housing and increasing the availability of multi-tenant construction.

Vibrant Villages: Concentrating future residential and commercial development in localized full-service districts preserves distinctive natural and cultural heritage landscapes, strengthens communities and minimizes public service costs.

Sustainable Development: Provide a range of housing opportunities and choices to meet the needs of both seasonal and permanent residents.

- a. Acknowledged. The Master Plan has been designed in accordance with the Imagine Currituck 2040 Vision Plan. Each individual phase will also be designed in accordance with the Imagine Currituck 2040 Vision Plan.

Currituck County Building and Fire Inspections (Richard Godsey, 252-232-6020)

1. Needed Fire Flow for construction is determined by the ISO method.
 - a. Acknowledged. Needed Fire Flow will be determined using the ISO method during each individual phase's site planning.
2. No new construction can occur that creates a Needed Fire Flow greater than the available fire flow on site.
 - a. Acknowledged. Site Plan design will ensure the Needed Fire Flow is not greater than the available fire flow on site.
3. Knox Box provided on proposed 30x30 building (Coordinate location with the local VFD for building and order the box at Knox website to order search for Currituck Co Fire-EMS at <http://www.knoxbox.com> for Knox Box location and setup of box call Chris Bailey 252-435-8120.
 - a. Acknowledged. Knox Box Location will be provided on the Site Pan and confirmed with the local volunteer fire department.

4. Soil and compaction testing for footings.
 - a. Acknowledged. Soil and compaction testing will occur during the site plan design and included within the building permit application package.
5. Mark any new fire hydrant locations in the center of road/street with blue reflectors per UDO.
 - a. Acknowledged. Blue reflectors will be provided at all fire hydrant locations.
6. Cluster mailbox units must be accessible (accessible route, reach ranges).
 - a. Acknowledged. All cluster mailbox units will be located adjacent to the existing cluster mailbox units (near pool) which are in an accessible location and will be clearly shown on the site plan design.

Currituck County Public Utilities – Water, and Wastewater (Will Rumsey, 252-232-6065)

1. Reviewed, no comments.
 - a. Acknowledged.

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

2. Reviewed, no comments.
 - a. Acknowledged.

No comments received:

- Currituck Fire and Emergency Medical Services (Chief Ralph Melton, 252-232-7746)
- NC Division of Coastal Management (Ron Renaldi, 252-264-3901)
- NC DOT (Caitlyn Spear, 252-331-4737)
- Albemarle Regional Health Services (Kevin Carver, 252-232-6603)
- Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)
- US Army Corps of Engineers (Anthony Scarbraugh, 910-251-4619)
- Currituck County Public Utilities – Water/Backflow (Chas Sawyer 252-202-1692)
- Currituck County Public Utilities - Water (Brian Cafferello, 252-232-4152)
- Currituck County GIS (Harry Lee 252-232-4039)

At your earliest convenience, please review and do not hesitate to contact me at 252-491-8147 or mstrader@quible.com with any questions and/or concerns.

We appreciate you time and efforts.

Sincerely,
Quible & Associates, P.C.



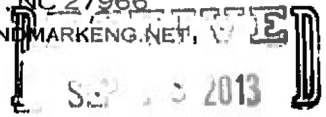
Michael W. Strader Jr., PE
Cc: University Park, LLC

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LANDMARK ENGINEERING & ENVIRONMENTAL, P.C.

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TERMS AND CONDITIONS DOCUMENT University Park Elan Vacations, Inc, Planned Development, Mixed

Project Narrative
Revised July 28, 2013

Revision #2 April 24, 2024

The above referenced project is a planned phased development of a of a 26 acre tract located off of Caratoke Highway and adjacent to West Mobile Road, in Harbinger, Currituck County, North Carolina. The planning objectives of this planned development is to provide both high quality commercial development and infrastructure as well as clustered/open space multifamily residential development and/or single family development in the areas away from Caratoke Highway for both Currituck County and in particular, this area in Lower Currituck. There is limited commercial infrastructure in this area, and this development will provide needed business and services to the community, while providing quality and cost effective housing for the residents of Currituck County in this area. Additionally the some of the residential housing may provide short term rentals in this area of Currituck, a market that is not provided currently. The property is currently zoned ~~General Business~~ by Currituck County, and is in the ~~Limited Service~~ District. The allowable residential density for this district is ~~1.5~~ units per acre, which currently yields an allowable maximum density of ~~39~~ residential units for this planned development. ~~If in the future, this site is placed in the Full Service District, or other land use designation that allows an increase in density, allowable residential density could increase accordingly. However, if allowable residential density were to increase as detailed above, no additional multi-family units would be allowed unless approved by the Currituck County Board of Commissioners.~~

Planned Development-Mixed (PD-M)

Full

3 units per acre

78 Residential Units

All commercial areas shall provide pedestrian-oriented amenities such as plazas and outdoor seating to promote internal pedestrian connectivity.

Since previous approval, allowed residential density has increased from 1.5 units per acre to 3.0 units per acre. Additional multi-family units must be approved by the Currituck County Board of Commissioners.

Conceptual Development Phases and Uses

The following is a presumed chronological order of development. However, aside from Phase I, the actual development order may change due to market demand.

Phase I

Phase I has been completed

2.54

The first phase of the development will be Phase I, the northern most parcel adjacent to Caratoke Highway. This parcel is shown on the Master Sketch Plan as ~~2.38~~ acres in size. Development on this parcel, which will be the first parcel to be developed, will consist of a 6,000 square foot office building (two story, frame construction), and an approximately 4,875 square foot metal warehouse building to serve Elan Vacations, Inc.. The metal warehouse building would have a facade on all four sides of hardiplank or better, in order not to detract from the overall development.

Provisions for future expansion on this parcel are also shown on the Master Sketch plan and include an additional 4,032 square foot single story office/ retail building. Also shown on the Master Sketch plan is an additional 4,875 square foot expansion to the warehouse. However, market demand and client needs may warrant substituting a detached commercial building for office or retail use instead of the warehouse expansion shown on the Master Sketch Plan. Due to building separation requirements, if this option was pursued the building size would be approximately 3,600 square feet, which would reduce the overall Commercial Floor Area Ratio. At the ultimate build out of this parcel, it is envisioned that there will be just under 20,000 square feet of commercial buildings on this parcel, which is well below the 41,513 square feet allowable based on a commercial Floor Area Ratio, (FAR) of 0.400. Conceptual infrastructure is also shown on the Master Sketch Plan, which may be modified during site plan review process.

Phase IIA has been completed

Phase IIA

39

The Master sketch plan shows a conceptual layout of ~~38~~ two-story townhome condominium units, ~~plus an additional managers unit located on the second story of the clubhouse for the residential parcel. The developer reserves the right to relocate the managers apartment to a townhouse unit, which would increase one of the four unit buildings shown to a five unit building, but leave the overall density unchanged.~~ Construction of the Townhome buildings will be phased according to market demand, with two buildings slated for construction initially. Although it is the intention of the developer to retain ownership of these initial condominiums, they will be able to be sold, and if market conditions warrant subsequent buildings may be constructed for sale. Amenities are also shown for the residential development, including the aforementioned clubhouse, a community pool, tennis and basketball courts. Additional amenities such as a playground may be added, but are not shown on the Master Sketch Plan. Sidewalks are shown to allow residents pedestrian access to the commercial portions of the development. The amenity package is essential to providing the quality of development the developer wishes, and will be installed as soon as possible, with completion of construction of all the amenities by the time half of the townhome units receive certificate of occupancy from the building inspector. This timeline is mainly due to the cost of operation and maintenance of commercial pool.

Conceptual areas of parking, wastewater treatment, stormwater management for the residential area are also shown on the Master Sketch Plan. Building elevations of the residential development shall be submitted for administrative approval during the site planning phase, and shall meet all requirements of the Currituck County Unified Development Ordinance. Buffering from adjacent properties outside of the planned development shall conform to all requirements of the Currituck County Unified Development Ordinance unless otherwise specified on the approved Master Sketch Plan, and/or the buffering and landscape sections of this Terms and Conditions document. Buffering and landscaping from commercial uses inside the Planned Development as well as site lighting will be finalized during the site planning phase of the residential development located in this phase, but should closely follow the intent of the requirements specified by the Currituck County Unified Development Ordinance, unless otherwise specified on the approved Master Sketch Plan, or the respective sections of this Terms and Conditions document.

Phase IIIA

2.31 → Phase IIIA is shown on the Master Sketch Plan as Commercial and consists of approximately 3.97 acres. This parcel fronts Caratoke Highway. Commercial development of this phase would consist of any allowable commercial uses listed for the ~~General Business Zone~~ in the Currituck County Unified Development Ordinance, with the exceptions of those uses listed in the excluded uses section of this Terms and Conditions Document. Commercial development would adhere to setbacks, coverages and densities as listed on the Master Sketch Plan. Based on an allowable commercial FAR of 0.400 a maximum of 69,101 square feet of commercial buildings could be constructed on this parcel. However, due to coverage, setback, and infrastructure limitations, the actual square footage of commercial building area for this parcel will most likely not approach the allowable area based on FAR calculations. This parcel may be further subdivided based on market demand, development needs and or uses. PD-M

40,188

Phase IIIB

4.29 → Phase IIIB is shown on the Master Sketch Plan as Commercial and consists of approximately 5.37 acres. This parcel fronts both Caratoke Highway and West Mobile Road. Commercial development of this phase would consist of any allowable commercial uses listed for the ~~General Business Zone~~ in the Currituck County Unified Development Ordinance, with the exceptions of those uses listed in the excluded uses section of this Terms and Conditions Document. Setbacks for commercial development would adhere to setbacks, coverages and densities as listed on the Master Sketch Plan. Based on an allowable commercial FAR of 0.400 a maximum of 93,604 square feet of commercial buildings could be constructed on this parcel. However, due to coverage, setback, and infrastructure limitations, the actual square footage of commercial building area for this parcel will most likely not approach the allowable area based on FAR calculations. This parcel may be further subdivided based on market demand, development needs and or uses. PD-M 74,822

74,822

Phase IIB

As per the PD-M zoning district the allowable density is 3.0 residential units per acre. Phase IIB proposes 39 residential units.

9.32
acres

Phase IIB is shown on the Master Sketch Plan as Commercial/Residential and consists of approximately 5.69 acres. This parcel fronts West Mobile Road. ~~As per the Current Currituck County Land Use Plan, this parcel would not be allowed to be developed as residential due to the allowable density restriction of 1.5 residential units per acre for the Limited Service District. This allowable density is planned to be utilized by the residential development detailed in Phase IIA. However, this parcel is listed as Commercial/Residential due to the possibility that this planned development may in the future be placed in the Full Service District, or other land use designation that would allow an increase in residential density, allowing additional residential units to be placed in this phase, according to those changes. If this were to occur, the developer would like to have the flexibility to expand the Townhome units as shown in Phase IIA into this parcel, as allowed by the allowable density changes or other residential housing (ie. Patio, single family, etc.) in this phase according to market demand. However, if allowable residential density were to increase as detailed above, no additional multi-family units units would be allowed unless approved by the Currituck County Board of Commissioners~~

PD-M

The developer will

In addition to residential housing, a storage building is also proposed. There is also a proposed connection to West Mobile Road via the proposed Amherst Drive Extension.

Commercial development of this phase would consist of any allowable commercial uses listed for the ~~General Business~~ Zone in the Currituck County Unified Development Ordinance, with the exceptions of those uses listed in the excluded uses section of this Terms and Conditions Document. Commercial development would adhere to setbacks, coverages and densities as listed on the Master Sketch Plan. Based on an allowable commercial FAR of 0.400 a maximum of 99,096 square feet of commercial buildings could be constructed on this parcel. However, due to coverage, setback, and infrastructure limitations, the actual square footage of commercial building area for this parcel will most likely not approach the allowable area based on FAR calculations. This parcel may be further subdivided based on market demand, development needs and or uses.

162,388

Architectural Standards

Architectural standards shall meet the minimum requirements of the Currituck County UDO. Additionally, any metal warehouse buildings shall have a facade of Hardiplank or better on all sides, in order not to detract from the rest of the development. Elevations of all buildings in this planned development will be compatible in design and appearance, in order to provide an aesthetically pleasing development. Building elevations shall be submitted for review and approval by the Currituck County Planning department during the respective site planning phases.

Development Standards

Community Form, non residential design as well as multi family design shall meet the minimum requirements of the Currituck County UDO as listed in sections 5.6, 5.7 and 5.8 respectively.

An additional community meeting was held on March 12th, 2024 at 4:00 pm at the conference room of Quible & Associates, P.C.. Quible & Associates, P.C. provided a full community meeting report to Currituck County.

Community Meeting

A community meeting was held at the Lower Currituck County Senior Center. Property owners and/or residents attended as well as the developer, Engineer and a representative of the Currituck County Planning Dept. Concerns were voiced by the property owners and/or residents about:

The effect of the development on their property values:

Staff in their review of this development has concluded that the development would not result in significant adverse impacts to land values in the surrounding area. Based on the design standards required and proposed amenities for both the commercial and residential areas, it is the opinion of the Engineer and Developer that this Planned Development will provide a higher quality development than if the property was developed under the regulations for the current General Business zoning designation.

The type of tenants that could be living in the residential units:

Although this development is intended to provide cost effective housing for, as Policy HN5 states, "young families, workers of modest income, senior citizens and others." The residential portion of this development will not be used as subsidized or low income housing. It is unfortunate that some citizens view the term "affordable housing" this way. It is the intent of the developer to provide the highest quality housing while not making the cost so high that the market it is intended to serve can not afford to rent or purchase the townhomes.

The traffic generated by the development. Specifically as it related to access out of West Mobile road turning North, which was stated to be a dangerous intersection:

Planning staff required a connection onto West Mobile Road. One of the reasons for this is because of the limited sight distance at the intersection of West Mobile Road and Caratoke Highway, it is a dangerous intersection. By providing a road into the development form West Mobile Road, an access to Caratoke Highway is provided with much better sight distance, increasing safety.

Trip generation counts from the Institute of Traffic Engineers, show that for Townhome condominiums, traffic generation for the residential phase would be 36.4% of what would

be expected if that same phase were developed as retail commercial. Therefore this planned development will actually reduce potential traffic as compared to the current zoning designation of General Business. Potential signalization of the West Mobile Road or one of the accesses proposed in the development is determined by the N.C.D.O.T. During the site planning of each phase They may require traffic studies to determine if signalization is warranted, prior to allowing road connections to Caratoke Highway or West Mobile Road.

Infrastructure

Wastewater

All phases of proposed development are envisioned to be served by on-site wastewater treatment systems. These systems may incorporate pretreatment and/or advanced treatment depending on wastewater volume, specifics of the wastewater generated soil conditions and disposal area. All wastewater treatment systems will be approved by the appropriate governmental agency prior to the start of construction of the respective development phase. A conceptual master plan study to address wastewater generation, treatment and disposal has been performed by a Professional Engineer.

Water

Water is to be supplied by Currituck County, both for potable water supply, and fire protection as required. Water main extensions will be required for all phases of the project.

Stormwater

Stormwater generated by the project will be detained and treated on site. A Stormwater Management Plan shall be submitted for approval and permitting by the ~~NCDE&NR Division of Water Quality~~. Whether the plan is permitted for the entire project area or for individual phases with inter-connectivity between phases will be determined during the site planning phase The Stormwater Management Plan will also be submitted for review and approval by the County Engineer during the site planning process.

NCDEQ Division of Energy, Minerals and Land Resources.

A state stormwater permit has already been obtained for Phase I & IIA.

Sedimentation and Erosion Control

A Sedimentation and erosion Control Plan shall be prepared for each development phase and shall be submitted for review and approval by the ~~NCDE&NR Division of Land Quality~~.

NCDEQ Division of Energy, Minerals and Land Resources.

Access

Access to the project from Caratoke Highway is as shown on the Master Sketch plan. All necessary permits from Currituck County and NCDOT shall be obtained prior to construction of these access roads. Interior access and circulation shall be designed during the site planning and permitting phase of each development phase Traffic studies may be required as part of this process. ~~The access to and from West Mobile Road was removed as per the Currituck County Board of Commissioners approval, and would only be made if required by N.C.D.O.T.~~

There will be a connection to West Mobile Road via Amherst Drive as a part of Phase IIB which will require all necessary permits from Currituck County and NCDOT prior to construction.

Buffering/Landscaping

Buffering and Landscaping shall meet the intent minimum requirements of the Currituck County Unified Development Ordinance. The goal of the alternative landscaping plan is to:

- 1.) Utilize existing vegetation wherever possible for both exterior buffers and interior landscaping to the maximum extent practical. The property currently has significant vegetation that will be incorporated to meet the landscaping and buffering requirements. It is the intent of the developer to leave each phase in its natural state as much as possible until the development of that corresponding phase.
- 2.) The developer wants to ensure allowing clustering of shrubs/trees where vehicular traffic patterns would shine light onto other interior uses.
- 3.) The developer wants to allow small existing trees which can be saved during development to be credited towards the shrub requirement for both interior street landscaping and exterior buffers.
- 4.) Exterior Buffer Yards will be Type A at a minimum, and may be greater as determined during the site planning process, based on the development type and intensity.
- 5.) Interior Buffer Yards are not required between phases of commercial development, but are allowed based on the development type and intensity.
- 6.) Interior Buffer Yards between residential and commercial development inside the development shall be Type A at a minimum, and may be greater as determined during the site planning process, based on the development type and intensity.
- 7.) The developer would like to include ~~5-unit~~ residential buildings to be exempt from Streetscape requirements from Caratoke Highway. This would exempt the residential portion of the development from those requirements, which currently state in the UDO that 4 unit residential buildings are exempt. It is thought that the commercial streetscape requirements from Caratoke Highway as well as the interior buffer between the residential and commercial uses should provide sufficient screening of the residential phases from Caratoke Highway.

- 8.) Individual buffering/landscape plans shall be reviewed and approved administratively by the County during the site planning phase of each development phase.
- 9.) Section 3.5 on Planting Standards in the UDO administrative manual is to be incorporated into all buffering/landscaping plans for the development.
- 10.) Buffer yards along West Mobile Road shall use clustering of landscaping materials to reduce the potential impacts of vehicular lights accessing/exiting commercial uses from the adjacent residential uses on South side of West Mobile Road.
- 11.) As per the Currituck County Board of Commissioners approval, a 25 foot undisturbed buffer will be provided along the western property line of the PD-M.

Fencing/Security

The developer proposes to allow varying fencing styles, (if used at all) between phases of development to suit individual uses if the fencing styles are not incompatible, and would not detract from the overall aesthetics of the development. The existing fence around Cellular Tower should be exempt, for the requirements set forth in the UDO, even if in addition to landscaping around it, mesh is installed to further screen it or if barbed wire or other means for security of the tower is deemed necessary by the lease holder.

Site Lighting

Site lighting shall meet the minimum requirements of the Currituck County Unified Development Ordinance, with the exception of light structure and color shall be consistent throughout the development for streets. Individual phases may utilize different styles, structures and colors (for example Sodium Halide vs. Mercury Vapor vs. Halogen, LED, etc.) as long as they are not incompatible, and/or detract from the overall aesthetics of the project. The Currituck County Unified Development Ordinance requires all light fixtures to be of the full cut off type, preventing vertical light pollution. The ordinance also has a requirement for light intensity at the property boundaries.

Parking Requirements

Commercial parking is requested to be as per the requirements set forth in the Currituck County Unified Development Ordinance. Residential parking is requested as ~~2~~ spaces per residential unit, consistent with the Currituck County Unified Development Ordinance. 1.8

Excluded Uses

Commercial development may consist of any allowable commercial uses listed for the General Business Zone and/or Planned Development - Mixed in the Currituck County Unified Development Ordinance, with the exceptions of those uses listed below:

- 1.) No Industrial Use Classifications are allowed except the following:

- Warehouse (storage)
- Wholesale sales
- Research and Development
- Contractor Service.

- 2.) All Commercial use Classifications are allowed with the exception of the following:

- Hunting Lodge
- Vehicle Sales and Services (both Heavy and Light)
- Crematory
- Flea Market
- Recreation/Entertainment, Outdoor
- Kennel
- Animal Shelter
- Adult Entertainment

- 3.) All Institutional use Classifications are allowed with the exception of the following:

- Utility (excluding Existing Tower, small wind turbine and small solar as defined by minor utility)
- Transportation
- Correctional Facility
- Security Training Facility
- Nursing Home
- Adult Day Care

- 4.) Agricultural Use Classifications are not allowed with the exception of the following:

- Farmers Market









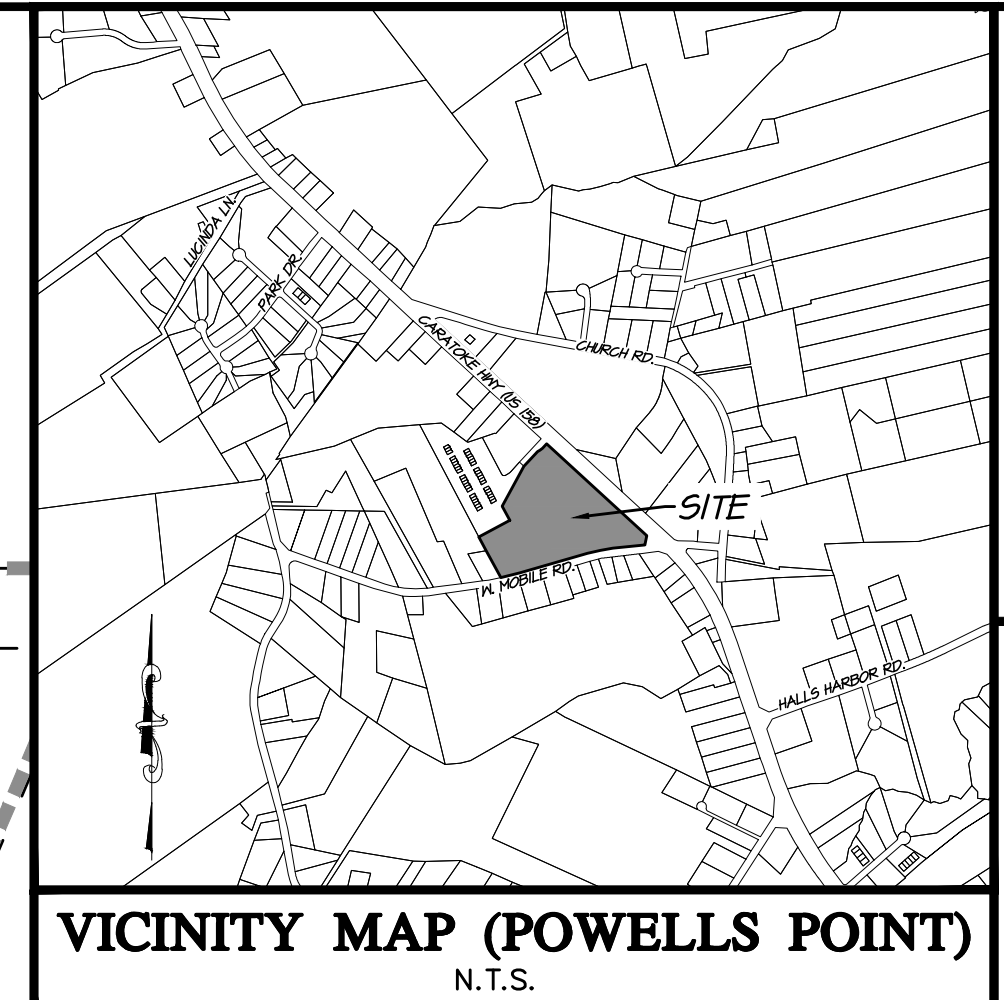
NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

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LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING GRAVEL
- EXISTING CONCRETE
- EXISTING DESIGNATED OPEN SPACE
- PROPOSED CONCRETE
- PROPOSED DRIVE
- PROPOSED DESIGNATED OPEN SPACE

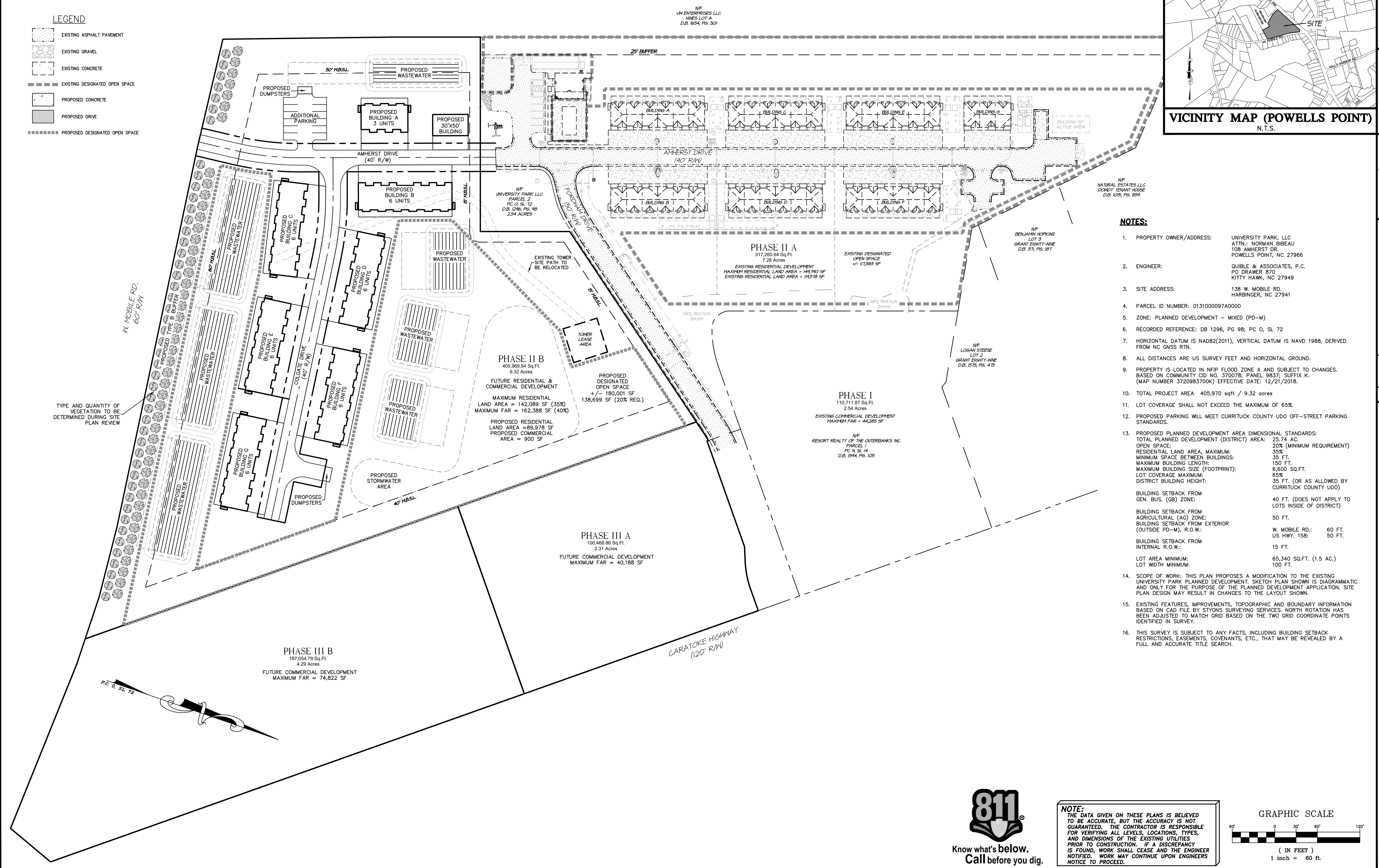
TYPE AND QUANTITY OF VEGETATION TO BE DETERMINED DURING SITE PLAN REVIEW



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 POWELLS POINT, NC 27966
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 Email: info@quible.com
 NC License# C-0208
 SINCE 1959

PRELIMINARY NOT FOR CONSTRUCTION

CERTIFICATION



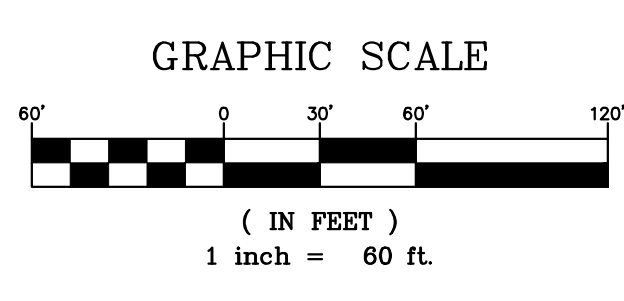
- NOTES:**
- PROPERTY OWNER/ADDRESS: UNIVERSITY PARK, LLC
 ATTN: NORMAN BIBEAU
 108 AMHERST DR.
 POWELLS POINT, NC 27966
 - ENGINEER: QUIBLE & ASSOCIATES, P.C.
 PO DRAWER 870
 KITTY HAWK, NC 27949
 - SITE ADDRESS: 138 W. MOBILE RD.
 HARBINGER, NC 27941
 - PARCEL ID NUMBER: 0131000097A0000
 - ZONE: PLANNED DEVELOPMENT - MIXED (PD-M)
 - RECORDED REFERENCE: DB 1296, PG 98; PC 0, SL 72
 - HORIZONTAL DATUM IS NAD82(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM NC GNSS RTN.
 - ALL DISTANCES ARE US SURVEY FEET AND HORIZONTAL GROUND.
 - PROPERTY IS LOCATED IN NFIP FLOOD ZONE X AND SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 9837; SUFFIX K. (MAP NUMBER 3720983700K) EFFECTIVE DATE: 12/21/2018.
 - TOTAL PROJECT AREA 405,970 sqft / 9.32 acres
 - LOT COVERAGE SHALL NOT EXCEED THE MAXIMUM OF 65%.
 - PROPOSED PARKING WILL MEET CURRITUCK COUNTY UDO OFF-STREET PARKING STANDARDS.
 - PROPOSED PLANNED DEVELOPMENT AREA DIMENSIONAL STANDARDS:
 TOTAL PLANNED DEVELOPMENT (DISTRICT) AREA: 25.74 AC.
 OPEN SPACE: 20% (MINIMUM REQUIREMENT)
 RESIDENTIAL LAND AREA, MAXIMUM: 35%
 MINIMUM SPACE BETWEEN BUILDINGS: 35 FT.
 MAXIMUM BUILDING LENGTH: 150 FT.
 MAXIMUM BUILDING SIZE (FOOTPRINT): 6,600 SQ.FT.
 LOT COVERAGE MAXIMUM: 65%
 DISTRICT BUILDING HEIGHT: 35 FT. (OR AS ALLOWED BY CURRITUCK COUNTY UDO)
 BUILDING SETBACK FROM GEN. BUS. (GB) ZONE: 40 FT. (DOES NOT APPLY TO LOTS INSIDE OF DISTRICT)
 BUILDING SETBACK FROM AGRICULTURAL (AG) ZONE: 50 FT.
 BUILDING SETBACK FROM EXTERIOR (OUTSIDE PD-M), R.O.W.: W. MOBILE RD.: 60 FT.
 US HWY. 158: 50 FT.
 BUILDING SETBACK FROM INTERNAL R.O.W.: 15 FT.
 LOT AREA MINIMUM: 65,340 SQ.FT. (1.5 AC.)
 LOT WIDTH MINIMUM: 100 FT.
 - SCOPE OF WORK: THIS PLAN PROPOSES A MODIFICATION TO THE EXISTING UNIVERSITY PARK PLANNED DEVELOPMENT. SKETCH PLAN SHOWN IS DIAGRAMMATIC AND ONLY FOR THE PURPOSE OF THE PLANNED DEVELOPMENT APPLICATION. SITE PLAN DESIGN MAY RESULT IN CHANGES TO THE LAYOUT SHOWN.
 - EXISTING FEATURES, IMPROVEMENTS, TOPOGRAPHIC AND BOUNDARY INFORMATION BASED ON CAD FILE BY STYONS SURVEYING SERVICES. NORTH ROTATION HAS BEEN ADJUSTED TO MATCH GRID BASED ON THE TWO GRID COORDINATE POINTS IDENTIFIED IN SURVEY.
 - THIS SURVEY IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.

PLANNED DEVELOPMENT SKETCH
PHASE III - UNIVERSITY PARK
 NORTH CAROLINA
 CURRITUCK COUNTY
 POPLAR BRANCH TOWNSHIP

PROJECT NO. P22090
 DESIGNED BY DLT/JJC
 DRAWN BY DLT/JJC
 CHECKED BY MWS
 ISSUE DATE 04/24/24
 SHEET NO. 1 OF 1 SHEETS



NOTE:
 THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



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