

WPA Series

LED Wall Pack Specifications

Project _____

Date _____ Type _____



Features

- 120-277 VAC
- L70 rated 50,000 hour lifetime
- IP65 rated water resistance
- 0-10 V dimming
- Full cutoff design
- Adjustable angle for precise aiming

Construction

Manufactured with a durable aluminum housing and polycarbonate lens.

Application

Easily replaces inefficient metal-halide fixtures such as those found in warehouses, parking lots and garages, gas stations, and other commercial and industrial spaces. These are also a great solution for entryways and other areas where good lighting is essential for security.

Output Equivalencies

WPA-xK12-W	50 W metal-halide
WPA-xK35-W	175W metal-halide
WPA-xK75-W	320 W metal-halide
WPA-xK120-W	400 W metal-halide

Warranty

Five (5) Year Warranty

Certifications and Compliances

These lights are UL Listed in compliance with UL 1598 (IFAM) and are listed as DLC Premium.



T 866.811.5550

F 314.972.6202

email: commercial-sales@superbrightleds.com

www.superbrightleds.com/cat/industrial-led-lighting/

Available Models¹

3000K

- WPA-30K12-W
- WPA-30K35-W
- WPA-30K75-W
- WPA-30K120-W

5000K

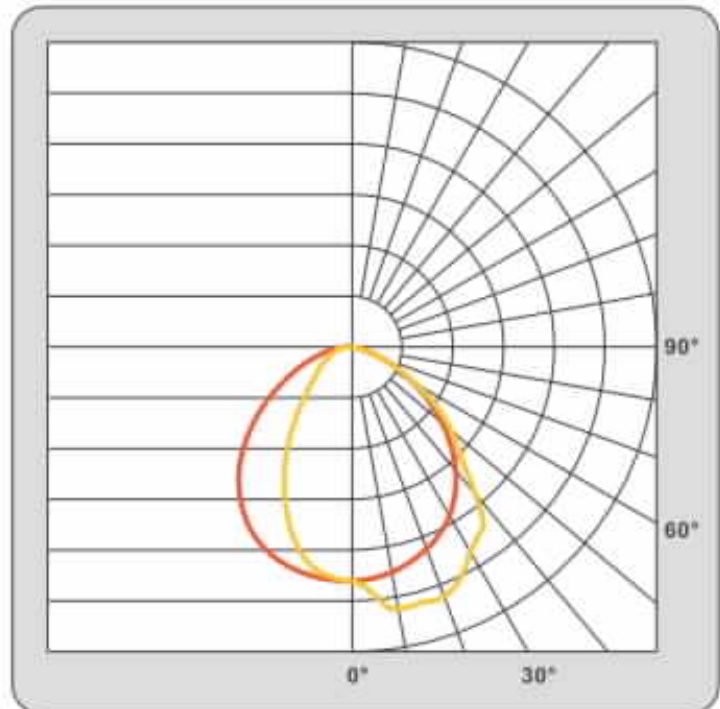
- WPA-50K12-W
- WPA-50K35-W
- WPA-50K75-W
- WPA-50K120-W

Part Number Breakdown

Example: WPA-50K75-W

Family	Color Temperature	Wattage
WPA	30K [3000K] or 50K [5000K]	12-W [12 W]
		35-W [35 W]
		75-W [75 W]
		120-W [120 W]

Photometrics - Beam Angle



Additional model-specific photometric data available on site or upon request.

¹Contact customer service if interested in options other than those listed.

Rev V1 Date: 10/20/2019

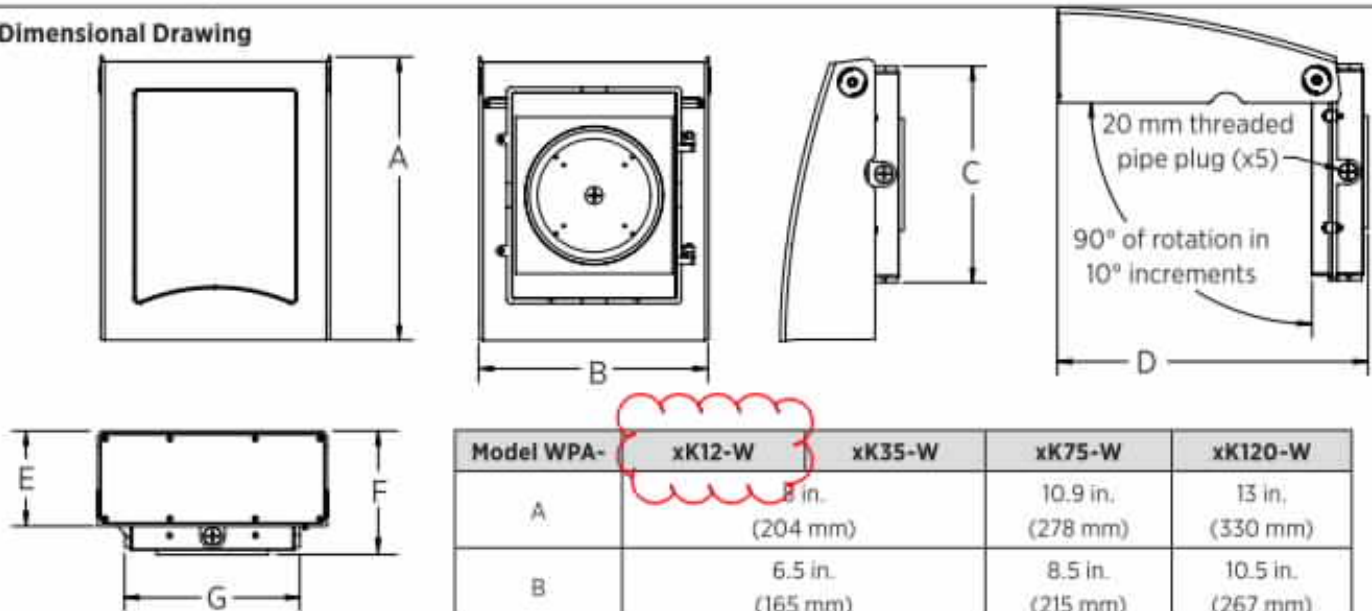
Specifications are subject to change without notice.

Printed in the U.S.A.

WPA Series

LED Wall Pack Specifications

Dimensional Drawing



Model WPA-	xK12-W	xK35-W	xK75-W	xK120-W
A	8 in. (204 mm)		10.9 in. (278 mm)	13 in. (330 mm)
B	6.5 in. (165 mm)		8.5 in. (215 mm)	10.5 in. (267 mm)
C	5.9 in. (150 mm)		8.2 in. (207 mm)	9.9 in. (251 mm)
D	8.9 in. (226 mm)		12.1 in. (306 mm)	14.2 in. (361 mm)
E	3.2 in. (81 mm)		4 in. (100 mm)	4.4 in. (110 mm)
F	4.1 in. (98 mm)		4.6 in. (114 mm)	5.1 in. (130 mm)
G	4.3 in. (108 mm)		6 in. (151 mm)	8 in. (202 mm)

Specifications

Model	WPA-xK12-W	WPA-xK35-W	WPA-xK75-W	WPA-xK120-W
Intensity	1,560 lm	4,550 lm	9,750 lm	15,600 lm
Operating Voltage	120-277 VAC			
Power Consumption	12 W	35 W	75 W	120 W
Current Draw	0.1 A @120 VAC	0.29 A @120 VAC	0.63 A @120 VAC	1 A @120 VAC
Efficacy	130 lm/W			
Color Temperature	3000K or 5000K (as ordered)			
Beam Angle	100° x 75° (NEMA 6 x NEMA 5)			
CRI	70+			
Dimming	0-10 V			
IP Rating	IP65			
Ambient Operating Temperature	-40°-122° F (-40°-50° C)			
Product Weight	3.2 lb (1.5 kg)		5 lb (2.3 kg)	7 lb (3.2 kg)
Rated Life (L70)	50,000 hours			

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www.superbrightleds.com/cat/industrial-led-lighting/





INLAND BUILDINGS
 2141 SECOND AVENUE S.W.
 CULLMAN, ALABAMA 35055
 PHONE: 800-438-1606
 FAX: 800-438-1626
 www.inlandbuildings.com

DRAWING INDEX

SHEET	PAGE	DESCRIPTION
1	01 OF 9	CORNER PAGE
2	02 OF 9	ANCHOR BOLT PLAN
3	03 OF 9	ANCHOR BOLT DETAIL
4	04 OF 9	ROOF PLAN
5	05 OF 9	ROOF SHEETING
6	06 OF 9	ROOF JOISTS
7	07 OF 9	ROOF SECTION
8	08 OF 9	ROOF TRUSS
9	09 OF 9	ROOF TRUSS SECTION
10	10 OF 9	ROOF TRUSS DETAIL
11	11 OF 9	ROOF TRUSS SECTION
12	12 OF 9	ROOF TRUSS DETAIL
13	13 OF 9	ROOF TRUSS SECTION
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100	100 OF 9	ROOF TRUSS DETAIL

Registration # F-12852
 IAS Certification Accredited
 Certification # MB-205

PAVING AND FINISHING INFORMATION
 TYPE: ASPHALT GRADE: 2% COLOR: Same as concrete
 SLOPE: 2% FINISH: 2" MIN. CURB TYPE: _____
 CURB TYPE: _____
 FINISH: _____
 CURB TYPE: _____

WALL PANELS
 TYPE: _____ GRADE: 2% COLOR: Same as concrete
 SLOPE: 2% FINISH: _____
 CURB TYPE: _____

LINEAR PANELS
 TYPE: _____ GRADE: 2% COLOR: _____
 SLOPE: 2% FINISH: _____
 CURB TYPE: _____

FASCIA PANELS
 TYPE: _____ GRADE: _____ COLOR: _____
 SLOPE: _____ FINISH: _____
 CURB TYPE: _____

SOFFIT PANELS
 TYPE: _____ GRADE: _____ COLOR: _____
 SLOPE: _____ FINISH: _____
 CURB TYPE: _____

PARTITION PANELS
 TYPE: _____ GRADE: _____ COLOR: _____
 SLOPE: _____ FINISH: _____
 CURB TYPE: _____

ITEM
 NAME
 QUANTITY
 UNIT
 DESCRIPTION
 NOTES

PRIMARY FRAMING
 (WALL FRAMES & CORNER FRAMES) - See Detail _____

SECONDARY FRAMING
 (DOOR, WINDOW, SILL, SLOTTED, & SIPS ETC.) - See Detail _____

BUILDING DESCRIPTION
 BUILDING SIZE: 40.00' x 80.00' x 15.00' SLOPE: 3.0/1.2
 BUILDING SIZE: _____ SLOPE: _____
 BUILDING SIZE: _____ SLOPE: _____
 BUILDING SIZE: _____ SLOPE: _____

(BUILDING DIMENSIONS ARE NOMINAL, REFER TO PLANS)

This is to certify that the structure is designed in accordance with the local building code and specified as required by the building code. The certification is limited to the structural design of the building and covering parts manufactured by the building manufacturer and is not intended to be a guarantee of the quality of the materials used in the building or the workmanship of the building manufacturer. The building manufacturer shall be responsible for the quality of the materials used in the building and the workmanship of the building manufacturer. The building manufacturer shall be responsible for the quality of the materials used in the building and the workmanship of the building manufacturer.

Wind Load
 Basic Wind Speed (V) 30 mph
 Exposure Category C-3 (Urban)
 Topography Factor (T) 1.0
 Gust Effect Factor (G) 1.0
 Importance Factor (I) 1.0
 Wind Load (W) 16.0 psf

Seismic Load
 Seismic Hazard Factor (S) 0.1
 Seismic Risk Factor (R) 1.0
 Seismicity Factor (C) 1.0
 Seismicity Factor (C) 1.0
 Seismicity Factor (C) 1.0

Roof Live Load
 Minimum Live Load 10 psf

Roof Dead Load
 Minimum Dead Load 10 psf

Roof Snow Load
 Minimum Snow Load 0 psf

Roof Wind Uplift
 Minimum Wind Uplift 10 psf

Roof Wind Down
 Minimum Wind Down 10 psf

Roof Wind Suction
 Minimum Wind Suction 10 psf

Roof Wind Pressure
 Minimum Wind Pressure 10 psf

Roof Wind Force
 Minimum Wind Force 10 psf

Roof Wind Moment
 Minimum Wind Moment 10 psf

Roof Wind Displacement
 Minimum Wind Displacement 10 psf

Roof Wind Vibration
 Minimum Wind Vibration 10 psf

Roof Wind Noise
 Minimum Wind Noise 10 psf

Roof Wind Air Quality
 Minimum Wind Air Quality 10 psf

Roof Wind Water Quality
 Minimum Wind Water Quality 10 psf

Roof Wind Soil Quality
 Minimum Wind Soil Quality 10 psf

Roof Wind Other
 Minimum Wind Other 10 psf

Roof Wind Load
 Minimum Wind Load 10 psf

Roof Wind Uplift
 Minimum Wind Uplift 10 psf

Roof Wind Down
 Minimum Wind Down 10 psf

Roof Wind Suction
 Minimum Wind Suction 10 psf

Roof Wind Pressure
 Minimum Wind Pressure 10 psf

Roof Wind Force
 Minimum Wind Force 10 psf

Roof Wind Moment
 Minimum Wind Moment 10 psf

Roof Wind Displacement
 Minimum Wind Displacement 10 psf

Roof Wind Vibration
 Minimum Wind Vibration 10 psf

Roof Wind Noise
 Minimum Wind Noise 10 psf

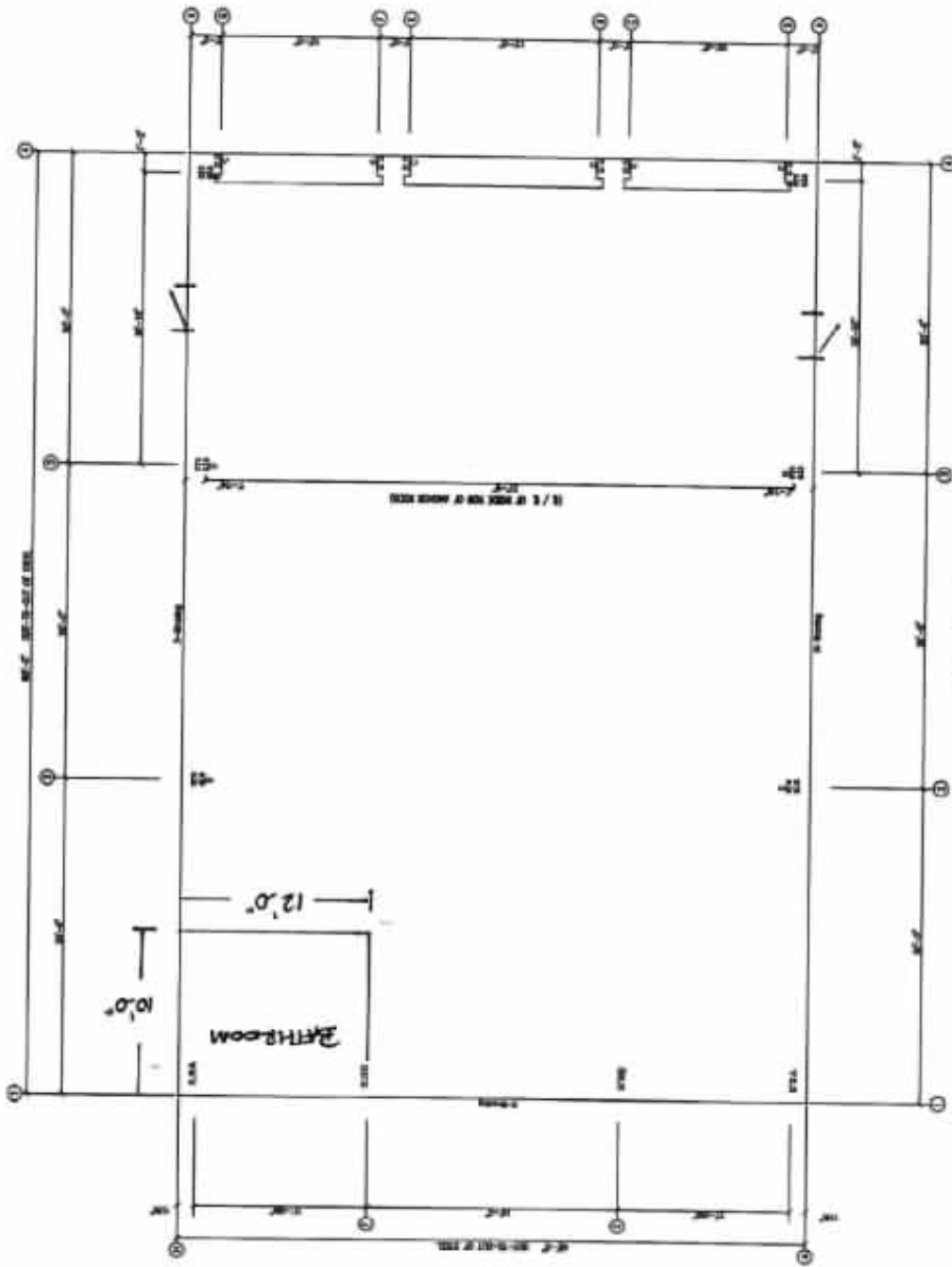
Roof Wind Air Quality
 Minimum Wind Air Quality 10 psf

Roof Wind Water Quality
 Minimum Wind Water Quality 10 psf

Roof Wind Soil Quality
 Minimum Wind Soil Quality 10 psf

Roof Wind Other
 Minimum Wind Other 10 psf

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



ANCHOR ROD BOLT
 WITH 2" LONG PLATE AT EACH END FROM TRANSPORTATION AGENCY

NO.	QTY	SIZE	DESCRIPTION	REMARKS
1	1	1/2"	ANCHOR ROD BOLT	
2	1	1/2"	ANCHOR ROD BOLT	
3	1	1/2"	ANCHOR ROD BOLT	
4	1	1/2"	ANCHOR ROD BOLT	
5	1	1/2"	ANCHOR ROD BOLT	
6	1	1/2"	ANCHOR ROD BOLT	
7	1	1/2"	ANCHOR ROD BOLT	
8	1	1/2"	ANCHOR ROD BOLT	
9	1	1/2"	ANCHOR ROD BOLT	
10	1	1/2"	ANCHOR ROD BOLT	

DRAWING CHANGE

NO. _____ DATE _____

BY _____

REASON: _____

APPROVED BY: _____

DATE: _____

PROJECT NO.	10/23/2014
DATE	10/23/2014
SCALE	AS SHOWN
DESIGNER	CONSTRUCTION SERVICES, INC.
CHECKED BY	CONSTRUCTION SERVICES, INC.
DATE	10/23/2014
PROJECT	CONSTRUCTION SERVICES, INC.
DATE	10/23/2014
SCALE	AS SHOWN
DESIGNER	CONSTRUCTION SERVICES, INC.
CHECKED BY	CONSTRUCTION SERVICES, INC.
DATE	10/23/2014

DATE	10/23/2014
SCALE	AS SHOWN

MEMBERS 3, 4, 5



ROOF FRAME: MEMBER END MOMENTS, MEMBER RIGIDITY & RIB PLAYS

Table with columns for member ID, length, stiffness, and rigidity values.

ROOF FRAME: MEMBER END MOMENTS, MEMBER RIGIDITY & RIB PLAYS

Table with columns for member ID, length, stiffness, and rigidity values.

NOTES FOR REACTORS

Table with columns for reaction ID, location, and reaction values.

ROOF FRAMES: MEMBER END MOMENTS, MEMBER RIGIDITY & RIB PLAYS

Table with columns for member ID, length, stiffness, and rigidity values.

BEARING TRUSSING REACTIONS

Table with columns for reaction ID, location, and reaction values.

DONNALL COLUMNS: MEMBER END MOMENTS, MEMBER RIGIDITY & RIB PLAYS

Table with columns for member ID, length, stiffness, and rigidity values.

DONNALL COLUMNS: MEMBER END MOMENTS, MEMBER RIGIDITY & RIB PLAYS

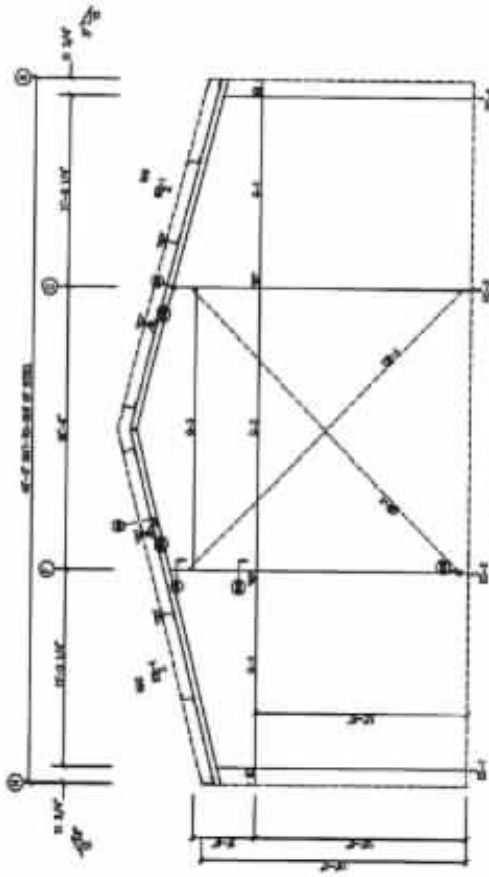
Table with columns for member ID, length, stiffness, and rigidity values.

Form with fields for title, scale, and other project information.

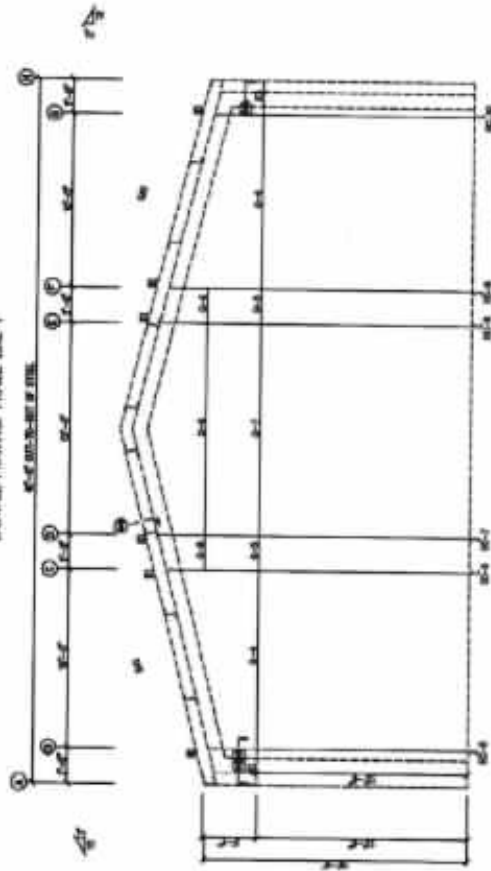
PRELIMINARY DRAWING USE ONLY FOR REFERENCE.

Form with checkboxes for drawing status and revision history.

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



ENDWALL FRAMING FRAME LINE 1



ENDWALL FRAMING FRAME LINE 4

NO.	REV.	DATE	DESCRIPTION
1			ISSUED FOR PERMIT
2			REVISION
3			REVISION
4			REVISION
5			REVISION
6			REVISION
7			REVISION
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17			REVISION
18			REVISION
19			REVISION
20			REVISION

NO.	REV.	DATE	DESCRIPTION
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19			REVISION
20			REVISION

CRANFORD BEATING

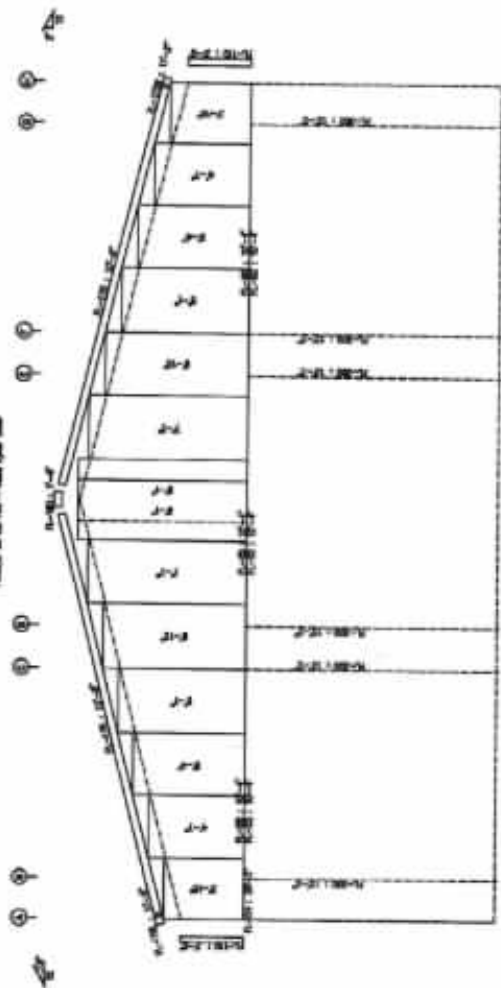
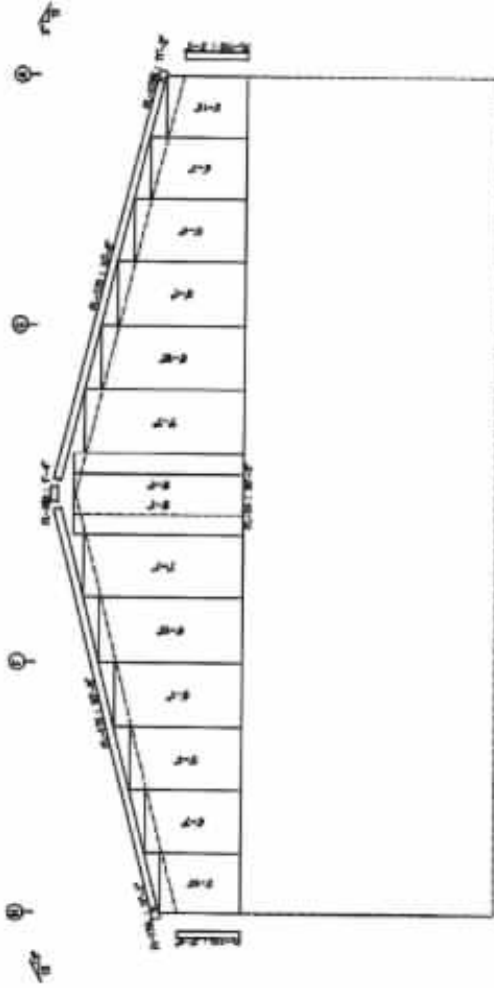
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CRANFORD BEATING, INC.
 1000 CRANFORD DRIVE
 CRANFORD, NJ 07016
 TEL: 908.271.1111
 FAX: 908.271.1112
 WWW: WWW.CRANFORDBEATING.COM

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DATE	BY	CHK'D	DATE

GENERAL NOTES:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE U.S. DEPARTMENT OF COMMERCE, BUREAU OF STANDARDS, STEEL STRUCTURAL JOINTING COMMITTEE (AISC) STEEL CONNECTIONS MANUAL AND THE U.S. DEPARTMENT OF COMMERCE, BUREAU OF STANDARDS, STEEL DESIGNATION SYSTEM.
 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

NO.	DESCRIPTION	DATE	BY	CHK'D

DRAWING STATUS

FOR PERMIT
 FOR CONTRACT
 FOR CONSTRUCTION
 AS BUILT

PROJECT INFORMATION

PROJECT NO. 15-100-100-100-100-100
 DRAWING NO. 15-100-100-100-100-100
 DATE 10/10/2011
 TIME 10:00 AM
 SHEET NO. 100 OF 100

DESIGNER
 J. L. SMITH
 DATE 10/10/2011

CHECKED
 K. L. SMITH
 DATE 10/10/2011

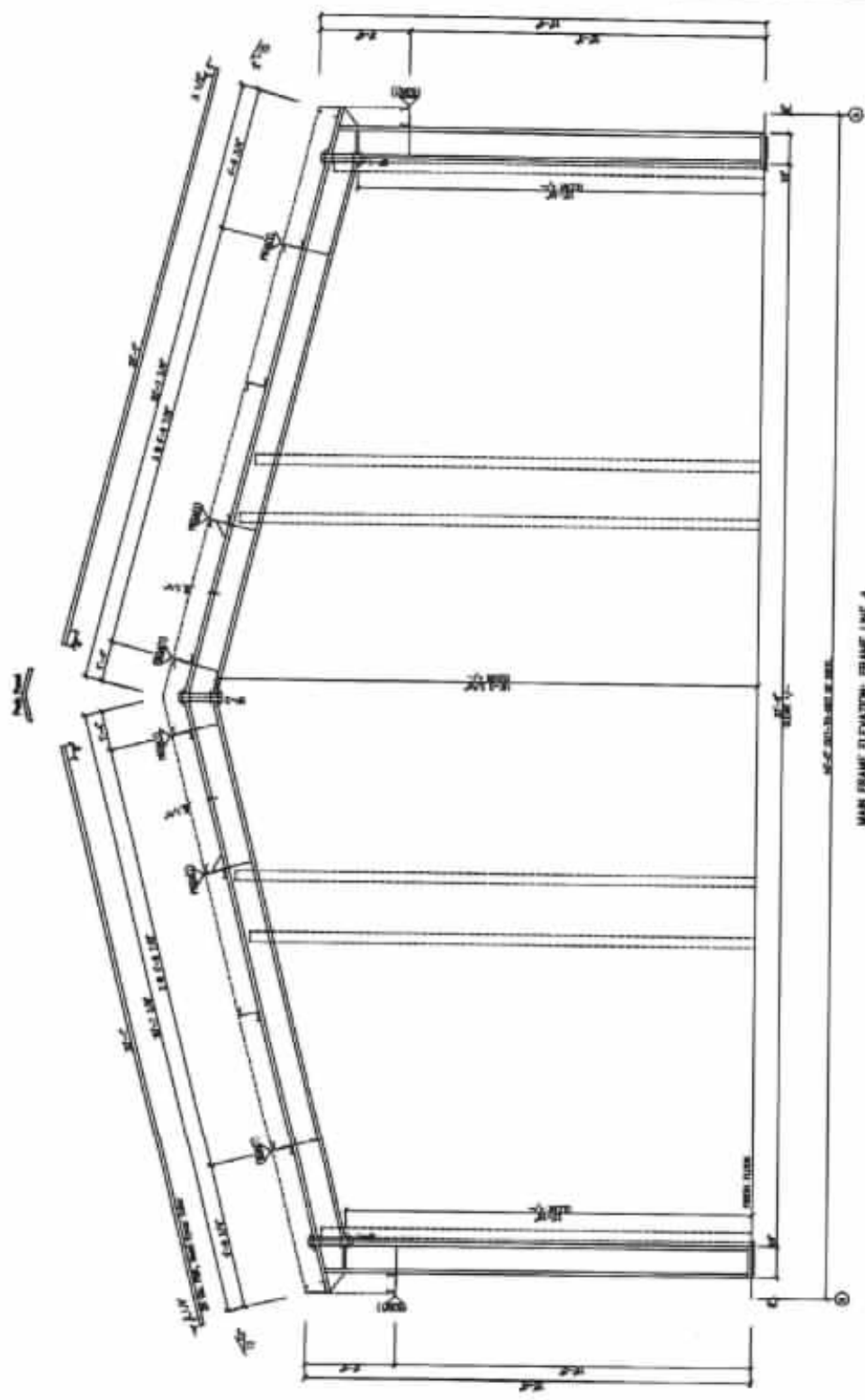
APPROVED
 M. L. SMITH
 DATE 10/10/2011

SCALE
 AS SHOWN

DATE	BY	CHECKED	APPROVED

SCALE: 1/4" = 1'-0"
 1/4" = 1'-0"

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



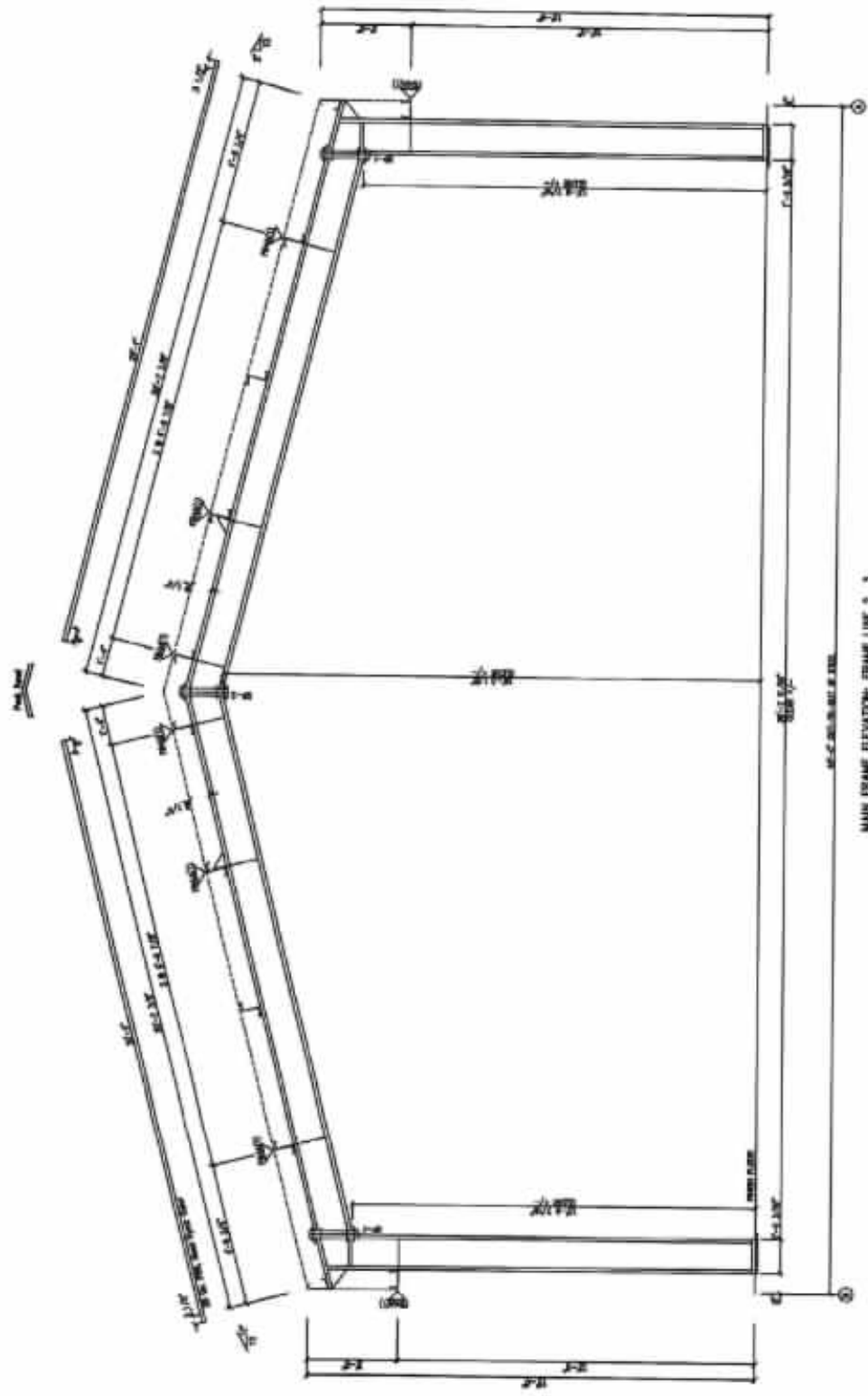
<input type="checkbox"/> THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE INFORMATION CONTAINED HEREIN.		DRAWING STATUS NO. OF SHEETS: 10 NO. OF SHEETS USED: 10 NO. OF SHEETS LEFT: 0
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PROJECT INFORMATION PROJECT NO.: 1000000000 PROJECT NAME: 1000000000 PROJECT ADDRESS: 1000000000 PROJECT CITY: 1000000000 PROJECT STATE: 1000000000 PROJECT ZIP: 1000000000		
CLIENT INFORMATION CLIENT NAME: 1000000000 CLIENT ADDRESS: 1000000000 CLIENT CITY: 1000000000 CLIENT STATE: 1000000000 CLIENT ZIP: 1000000000		
DESIGNER INFORMATION DESIGNER NAME: 1000000000 DESIGNER ADDRESS: 1000000000 DESIGNER CITY: 1000000000 DESIGNER STATE: 1000000000 DESIGNER ZIP: 1000000000		

DATE	BY

NO.	DATE	BY	CHKD.	APP.
1				
2				
3				
4				
5				

SCALE: 1/8" = 1'-0"
 DATE: 10/15/74
 DRAWN BY: J. J. [unclear]
 CHECKED BY: [unclear]

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



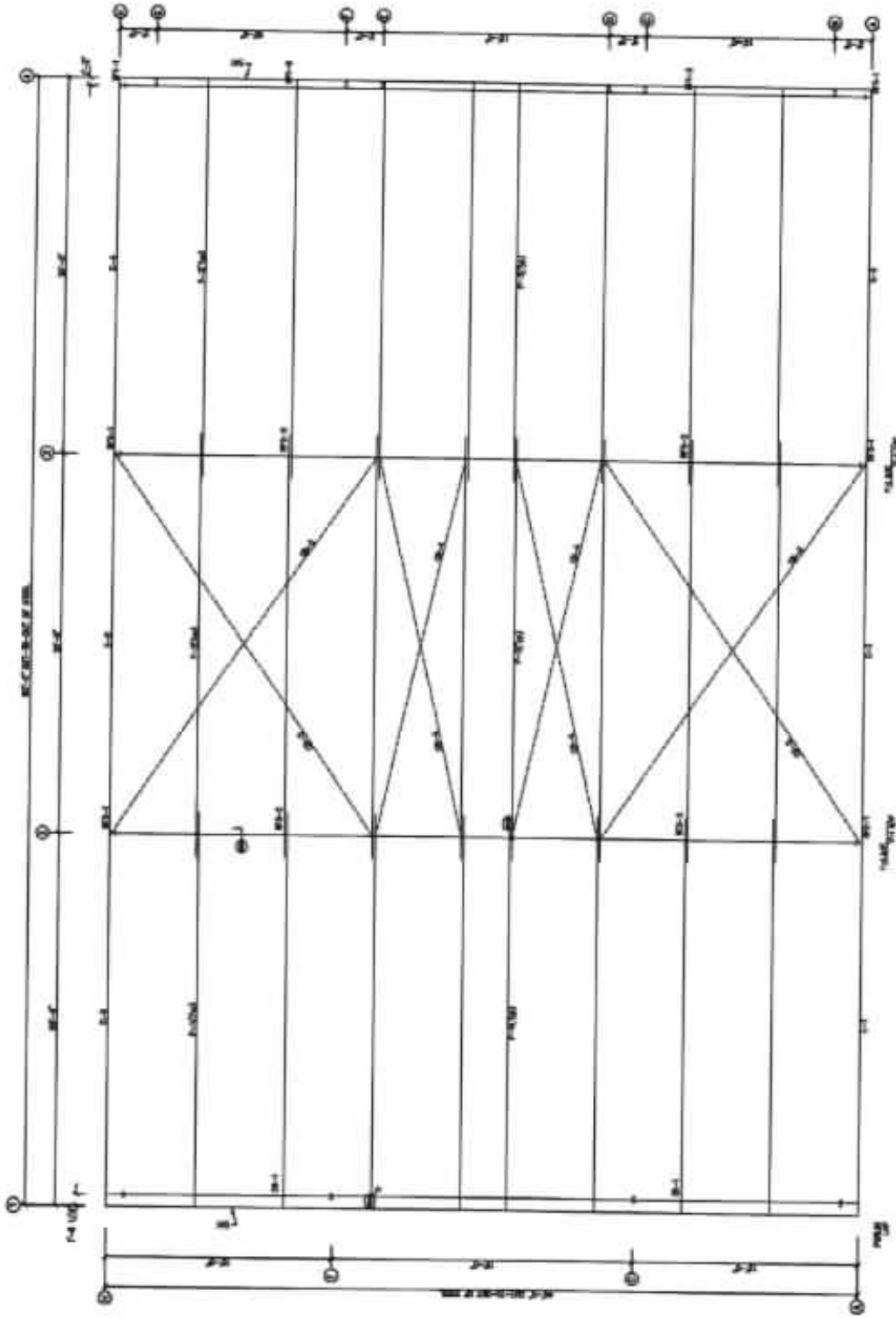
MAIN FRAME ELEVATION: FRAME LINE 2 3

CONTRACTOR'S STATEMENT
 I, the undersigned, hereby certify that the above is a true and correct copy of the original drawing as submitted to the City of [unclear] for the purpose of [unclear].
 Signature: [unclear]
 Title: [unclear]
 Date: [unclear]

PROJECT NO.	10/15/74
DATE	10/15/74
BY	J. J. [unclear]
CHKD.	[unclear]
APP.	[unclear]
SCALE	1/8" = 1'-0"
TITLE	MAIN FRAME ELEVATION: FRAME LINE 2 3
PROJECT	[unclear]
OWNER	[unclear]
DESIGNER	[unclear]
DATE	10/15/74
BY	[unclear]
CHKD.	[unclear]
APP.	[unclear]

NO.	DATE	BY	CHKD.	APP.
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PRELIMINARY DRAWING USE ONLY FOR REFERENCE.

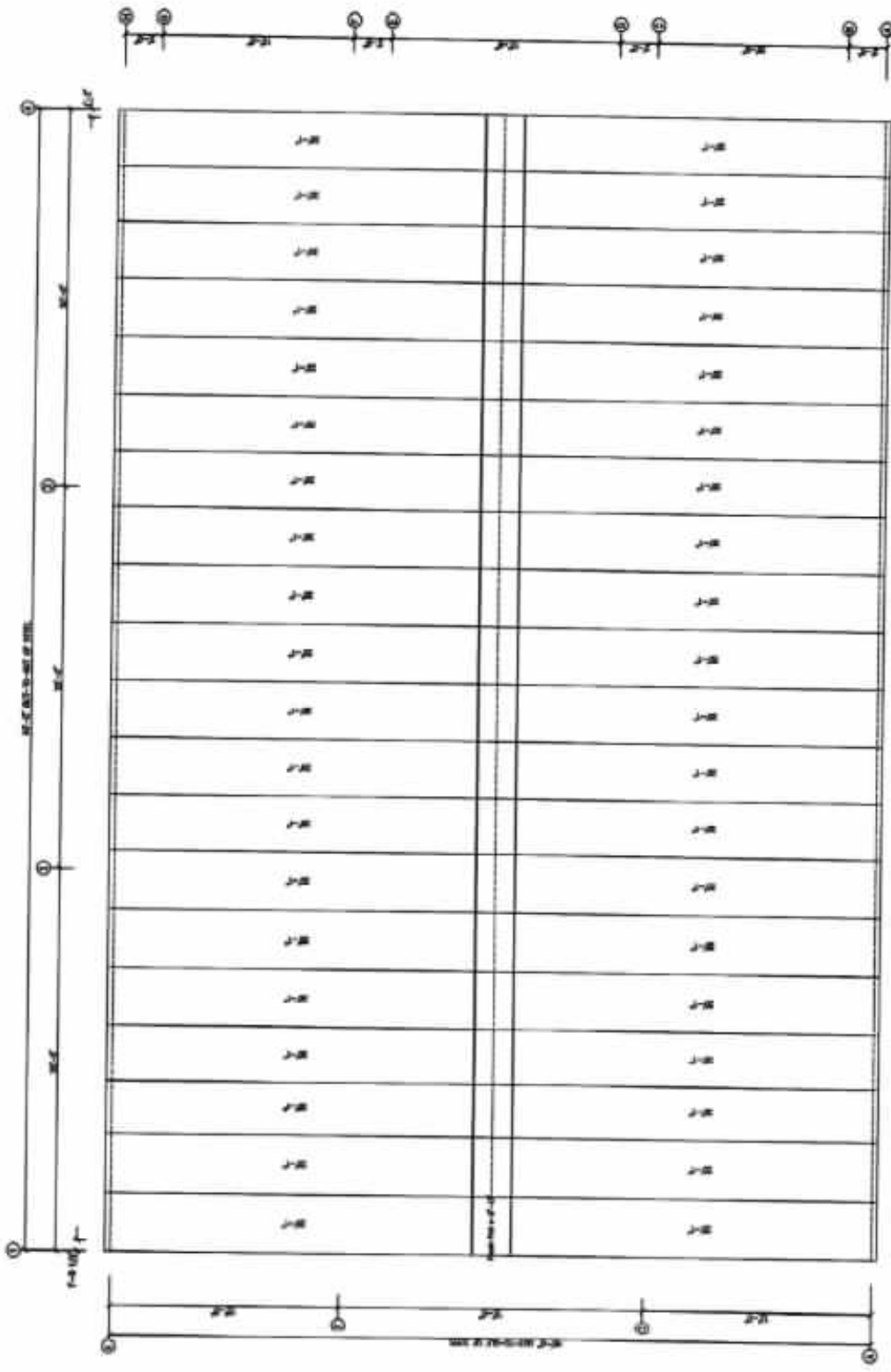


ROOF FRAMING PLAN

DATE	REV.	DATE

<p>DESIGNER/ENGINEER</p> <p>FOR THE ARCHITECT</p> <p>FOR THE CONTRACTOR</p> <p>FOR THE OWNER</p> <p>FOR THE CITY</p> <p>FOR THE COUNTY</p> <p>FOR THE STATE</p>	
NO.	REVISION
1	ISSUED FOR PERMIT
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3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
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PRELIMINARY DRAWING USE ONLY FOR REFERENCE.

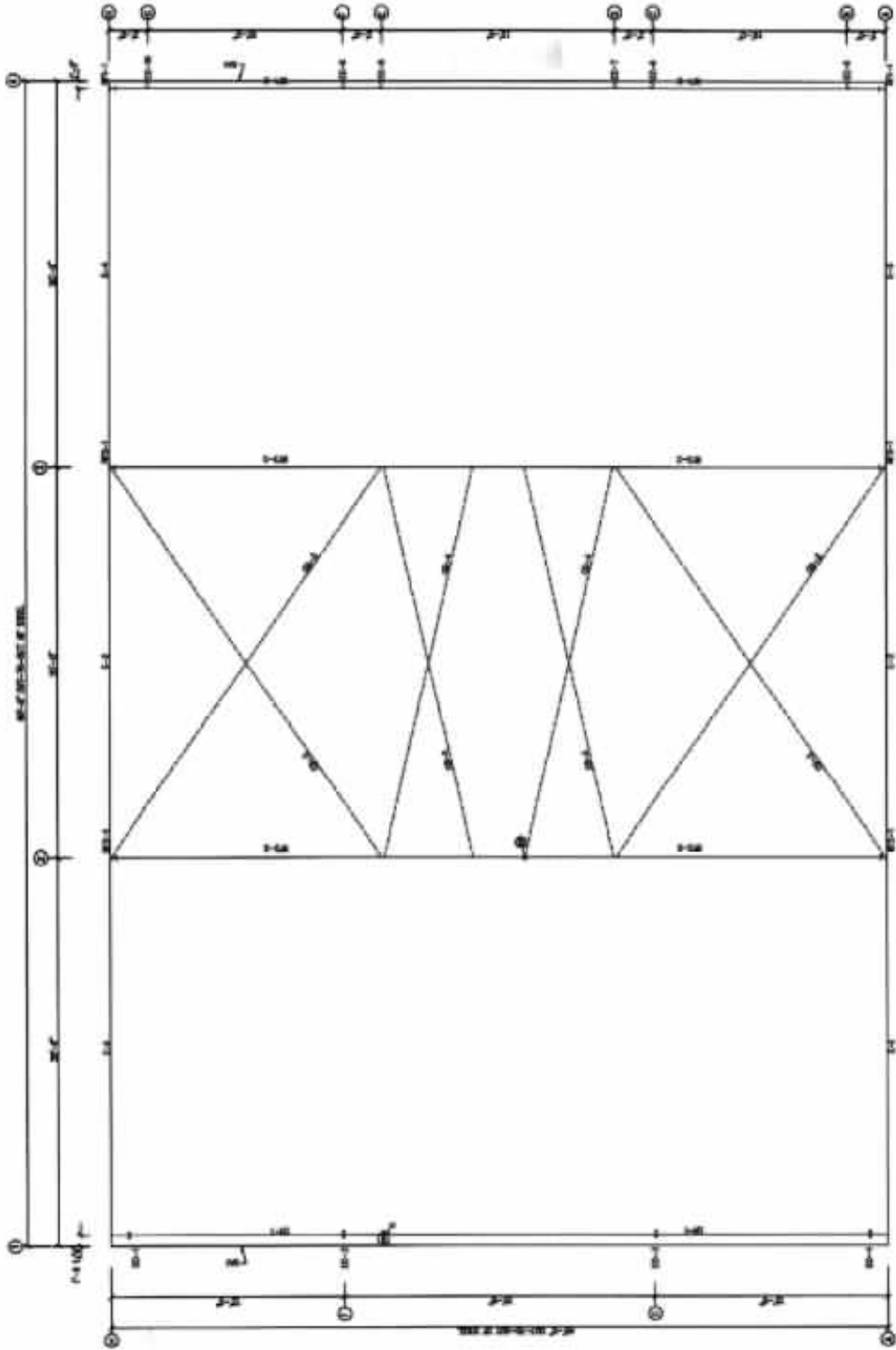


DATE	
DRAWN BY	

ROOF SHEETING PLAN
FORM NO. 10-198 - Metal Roof Deck

DRAWING STATUS	
<input type="checkbox"/> IN PROGRESS	<input type="checkbox"/> COMPLETE
PROJECT INFORMATION	
PROJECT NO.	
PROJECT NAME	
CLIENT	
DATE	
DESIGNER INFORMATION	
DESIGNER NAME	
DESIGNER ADDRESS	
DESIGNER CITY	
DESIGNER STATE	
DESIGNER ZIP	
DESIGNER PHONE	
DESIGNER FAX	
DESIGNER E-MAIL	
DESIGNER WEBSITE	
DESIGNER LICENSE NO.	
DESIGNER LICENSE STATE	
DESIGNER LICENSE EXPIRES	
DESIGNER LICENSE TYPE	

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



ROOF FRAMING PLAN

CONTRACT STATUS

<input type="checkbox"/>	NOT STARTED
<input type="checkbox"/>	STARTED
<input type="checkbox"/>	IN PROGRESS
<input type="checkbox"/>	COMPLETE

NO.	DATE	REVISIONS

FOR THE ARCHITECT
 FOR THE ENGINEER
 FOR THE CONTRACTOR

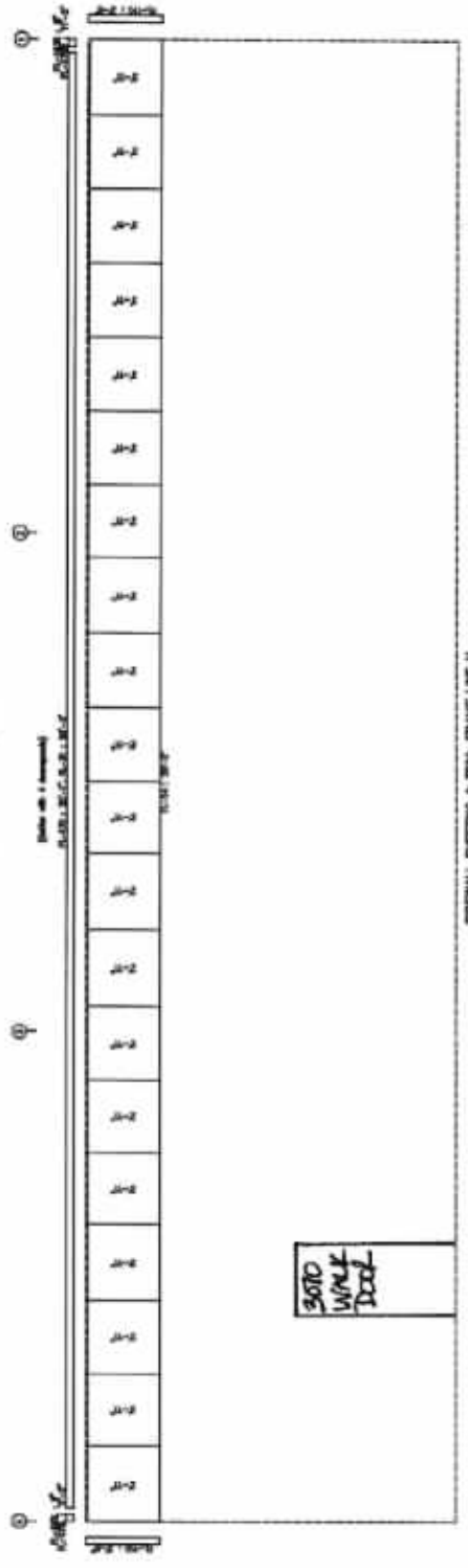
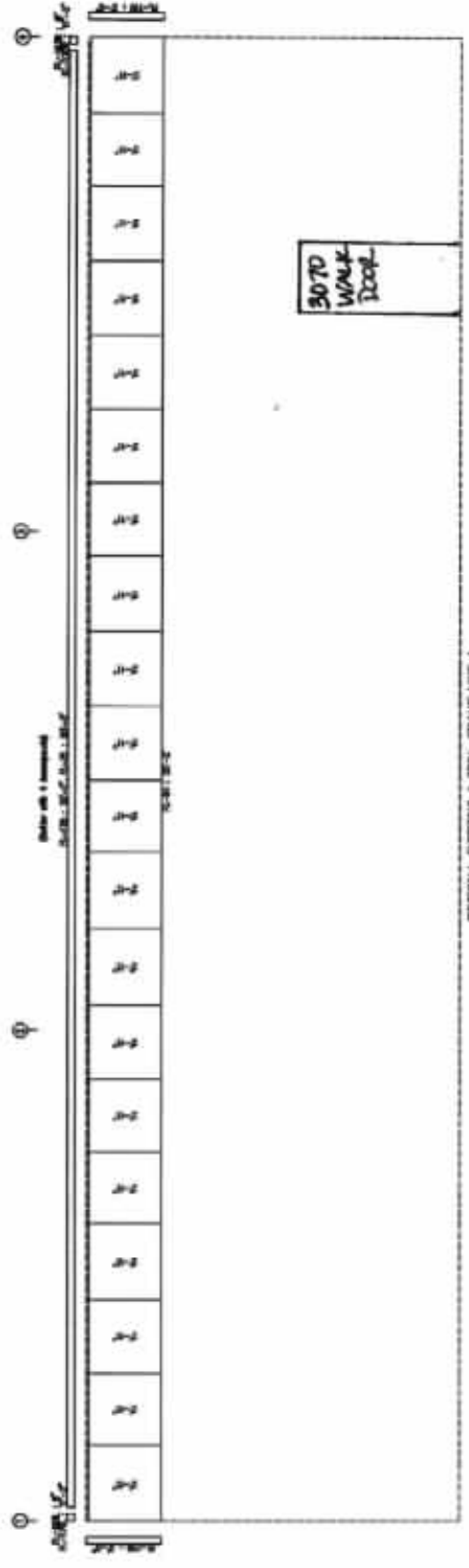
PROJECT: []
 CLIENT: []
 DESIGNER: []
 DATE: []

J. L. ANDERSON & ASSOCIATES
 ARCHITECTS
 1000 WEST 10TH AVENUE
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW: JLANDERSON.COM



NO.	DATE	REVISIONS

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



DATE	SCALE

DRAWING STATUS

FOR APPROVAL BY ARCHITECT

FOR APPROVAL BY ENGINEER

FOR APPROVAL BY CONTRACTOR

FOR APPROVAL BY OTHER

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO BE GIVEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO BE GIVEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.

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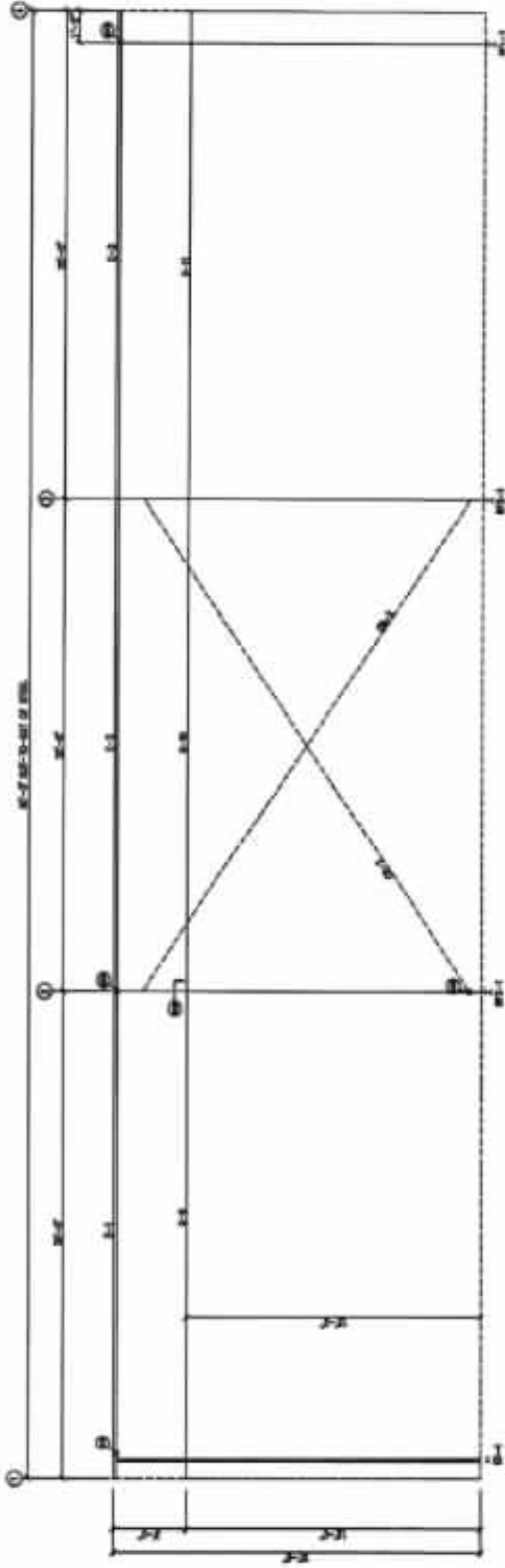
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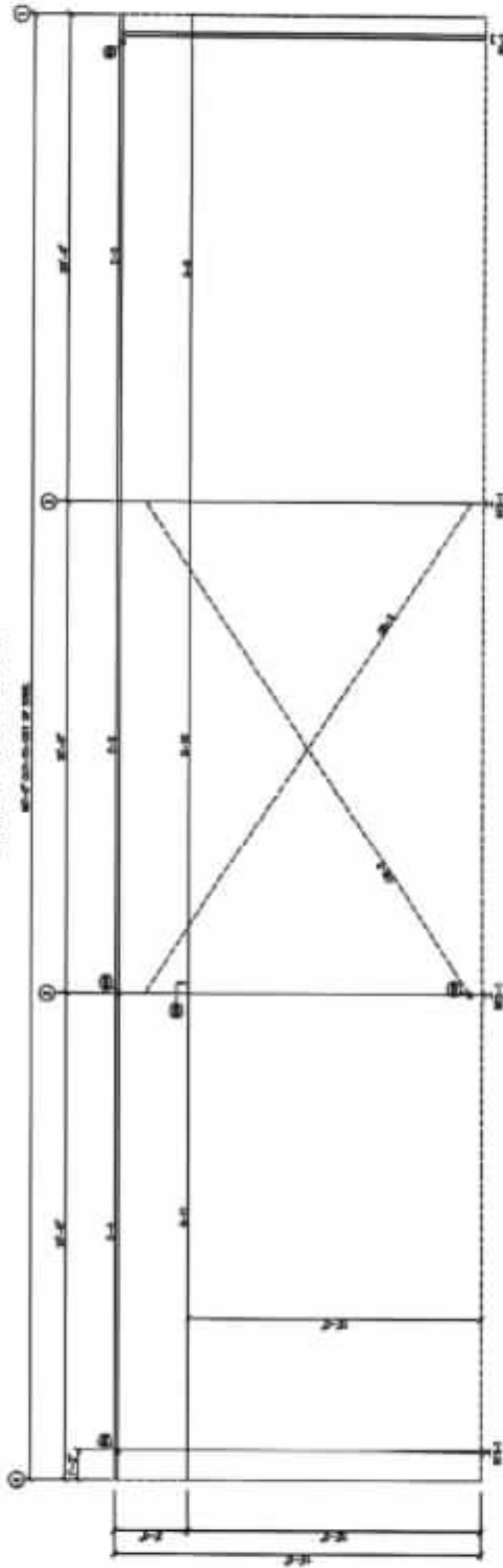
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PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL FRAMING: FRAME LINE H

DATE	REV.	BY	CHK.

PROJECT INFORMATION	
PROJECT NO.	1000000000
PROJECT NAME	1000000000
PROJECT ADDRESS	1000000000
PROJECT CITY	1000000000
PROJECT STATE	1000000000
PROJECT ZIP	1000000000
PROJECT PHONE	1000000000
PROJECT FAX	1000000000
PROJECT E-MAIL	1000000000
PROJECT WEBSITE	1000000000

DRAWING STATUS	
DATE	BY
DATE	BY

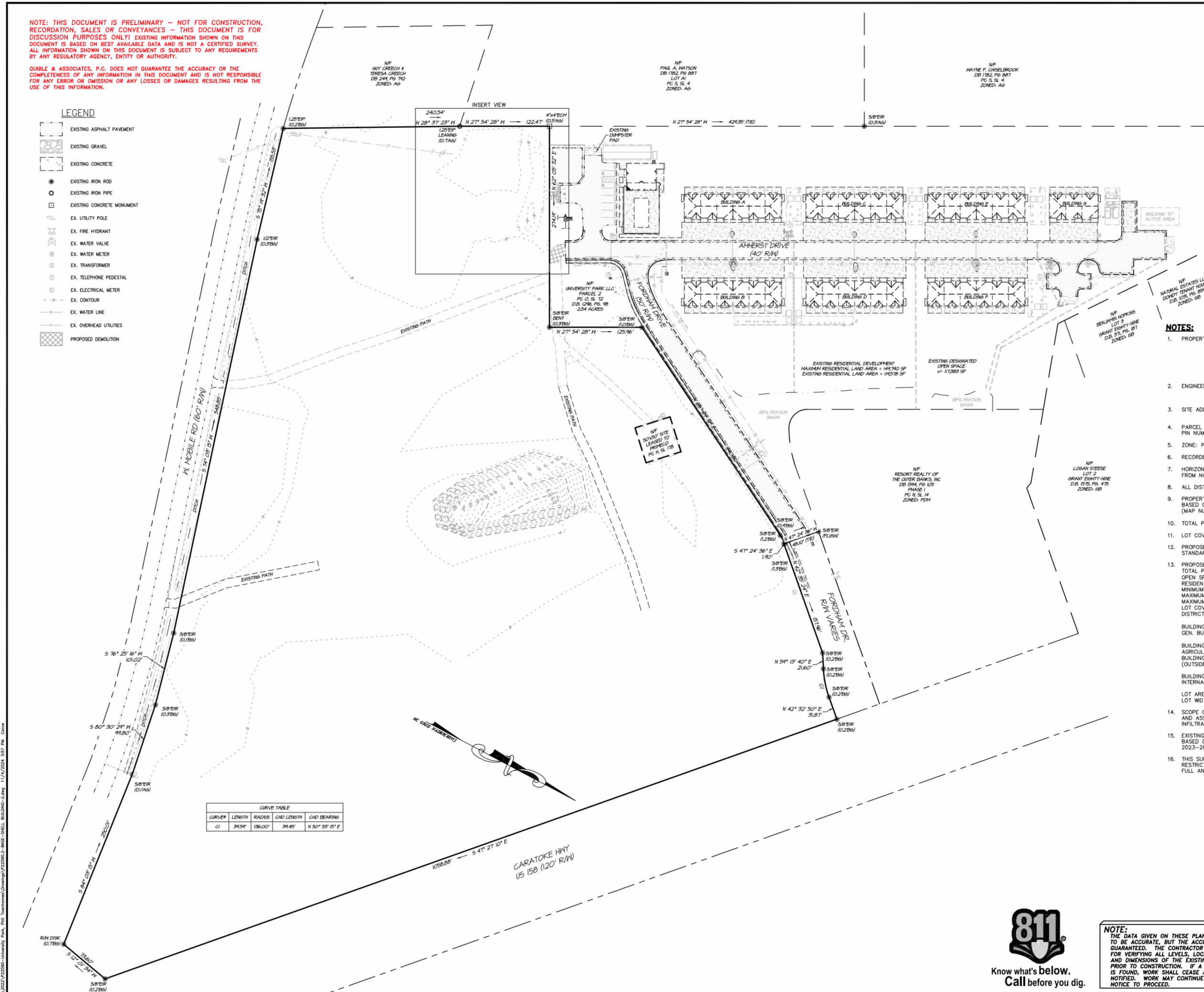
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DATE	BY	CHK.
DATE	BY	CHK.

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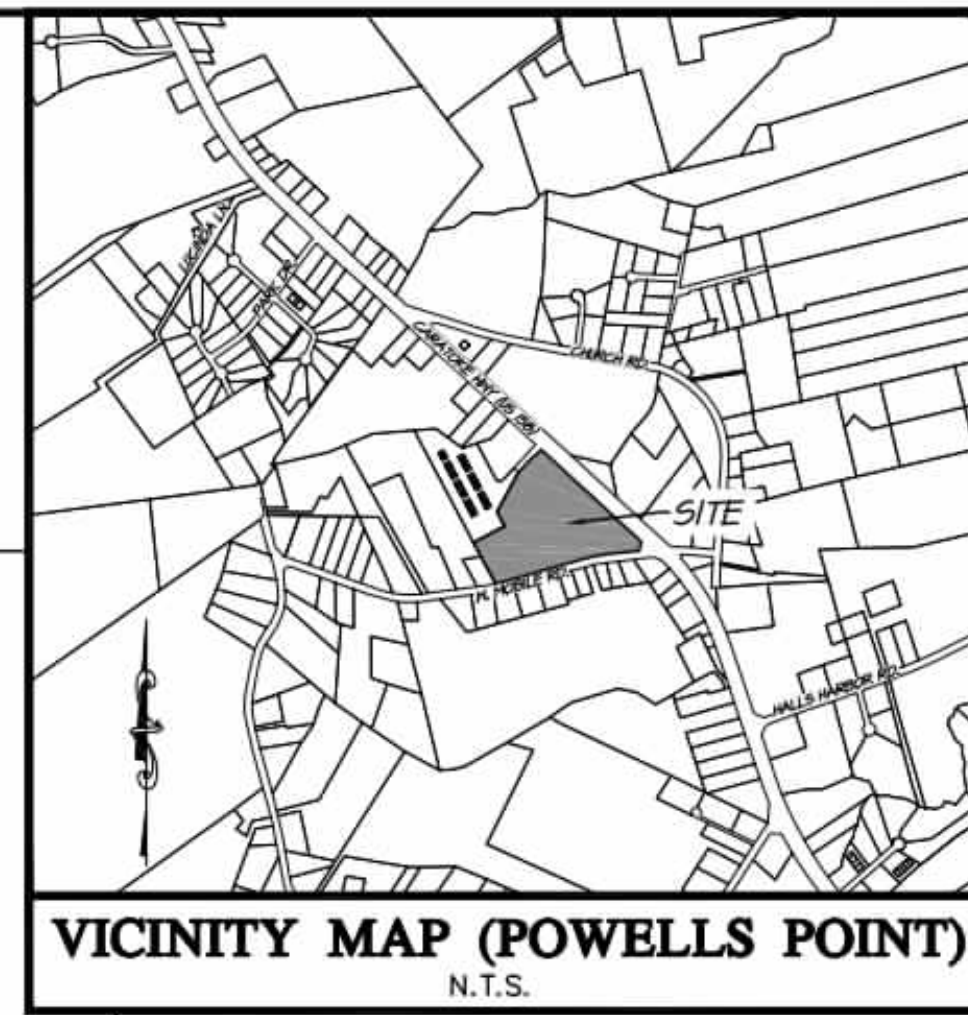
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- LEGEND**
- EXISTING ASPHALT PAVEMENT
 - EXISTING GRAVEL
 - EXISTING CONCRETE
 - EXISTING IRON ROD
 - EXISTING IRON PIPE
 - EXISTING CONCRETE MONUMENT
 - EX. UTILITY POLE
 - EX. FIRE HYDRANT
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. TRANSFORMER
 - EX. TELEPHONE PEDESTAL
 - EX. ELECTRICAL METER
 - EX. CONTOUR
 - EX. WATER LINE
 - EX. OVERHEAD UTILITIES
 - PROPOSED DEMOLITION



CURVE TABLE

CURVE	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C1	34.54'	136.00'	34.45'	N 50° 53' 15" E



- SHEET INDEX**
1. EXISTING CONDITIONS
 2. SITE PLAN
 3. DETAILS

- NOTES:**
1. PROPERTY OWNER/ADDRESS: UNIVERSITY PARK, LLC
ATTN.: NORMAN BIBEAL
108 AMHERST DR
POWELLS POINT, NC 27966
252-562-2485
NBIBEA@AOL.COM
 2. ENGINEER: QUIBLE & ASSOCIATES, P.C.
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KITTY HAWK, NC 27949
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HARBINGER, NC 27941
 4. PARCEL ID NUMBER: 013100097A0000
PIN NUMBER: 9837-91-8496
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 6. RECORDED REFERENCE: DB 1296, PG 98; PC 0, SL 72
 7. HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM NC GNSS RTN.
 8. ALL DISTANCES ARE US SURVEY FEET AND HORIZONTAL GROUND.
 9. PROPERTY IS LOCATED IN NFIP FLOOD ZONE X AND SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 9837; SUFFIX K. (MAP NUMBER 3720983700K) EFFECTIVE DATE: 12/21/2018.
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OPEN SPACE: 20% (MINIMUM REQUIREMENT)
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MINIMUM SPACE BETWEEN BUILDINGS: 35 FT.
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 16. THIS SURVEY IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.

Quible & Associates, P.C.
ENGINEERING, SURVEYING & PLANNING
ENVIRONMENTAL SCIENCES & SURVEYING
HYDROLOGICAL/SURVEYING NOT OFFERED AT BLACK Mtn. OFFICE
848 GARLAND HWY. BLACK MOUNTAIN, NC 28711
POWELLS POINT, NC 27966
PHONE: (252) 437-9149
FAX: (252) 437-9148
WWW.QA-CORP.COM

NC License# C-0208
SWICE 859

REVISIONS

NO.	DATE	DESCRIPTION

EXISTING CONDITIONS

PHASE III - UNIVERSITY PARK

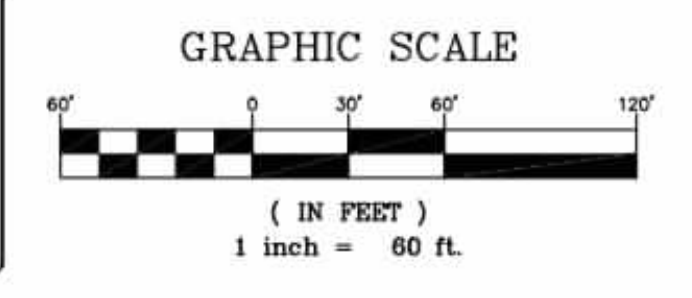
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P22090.2
DESIGNED BY JJC
DRAWN BY JJC
CHECKED BY MWS/TMG
ISSUE DATE 11/04/24

SHEET NO. **1**
OF 4 SHEETS



NOTE:
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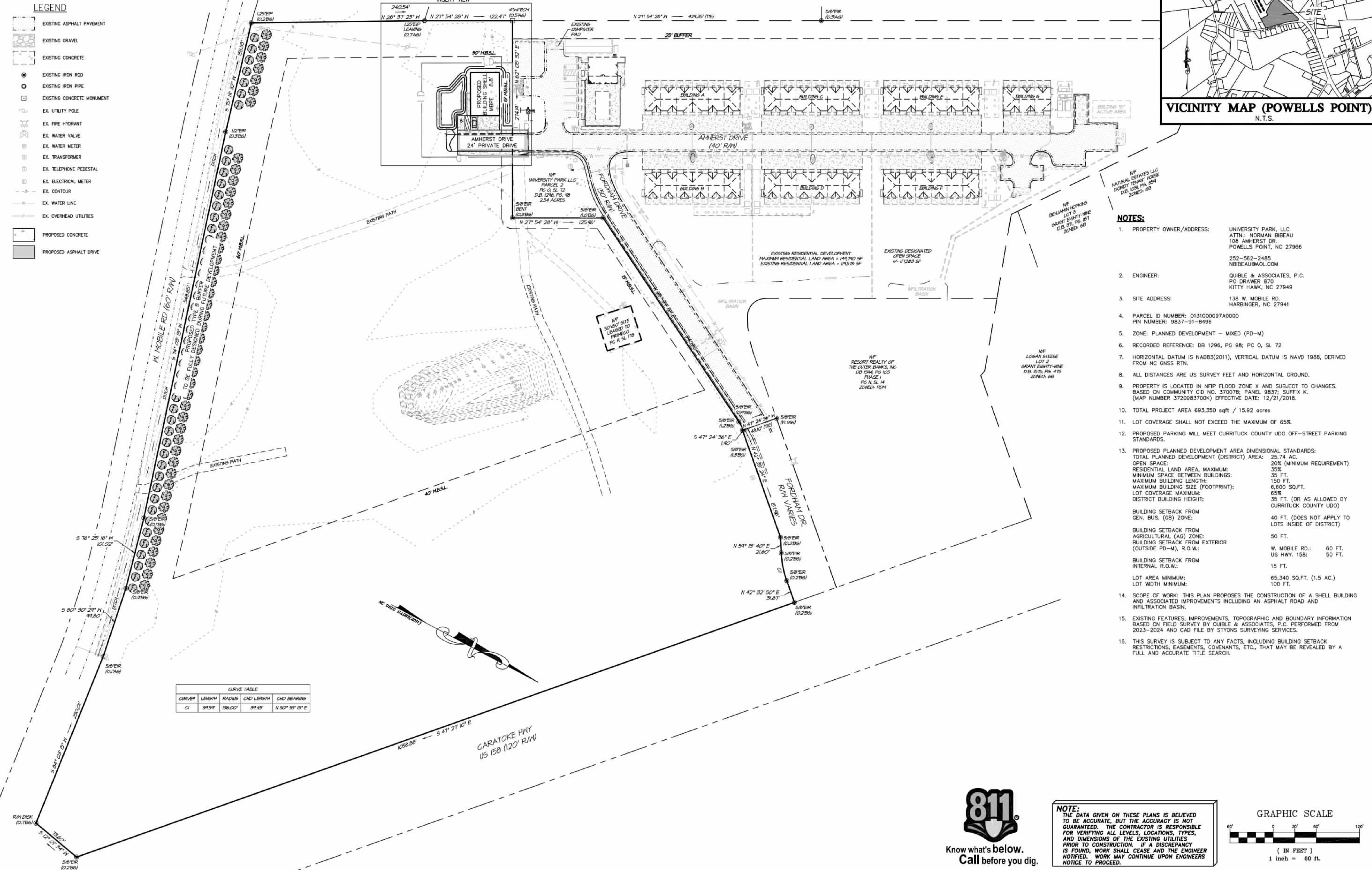
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LEGEND

[Symbol]	EXISTING ASPHALT PAVEMENT
[Symbol]	EXISTING GRAVEL
[Symbol]	EXISTING CONCRETE
[Symbol]	EXISTING IRON ROD
[Symbol]	EXISTING IRON PIPE
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[Symbol]	EX. FIRE HYDRANT
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[Symbol]	EX. ELECTRICAL METER
[Symbol]	EX. CONTOUR
[Symbol]	EX. WATER LINE
[Symbol]	EX. OVERHEAD UTILITIES
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED ASPHALT DRIVE



CURVE TABLE

CURVE	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
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POWELLS POINT, NC 27966
252-562-2485
NBIBEAU@AOL.COM
 - ENGINEER: QUIBLE & ASSOCIATES, P.C.
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KITTY HAWK, NC 27949
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BLACK MOUNTAIN, NC 28711
PHONE: (252) 981-1414
WWW.QA-CORP.COM

PROFESSIONAL SEAL
NORTH CAROLINA
QUIBLE & ASSOCIATES, P.C.
CERTIFICATION

REVISIONS

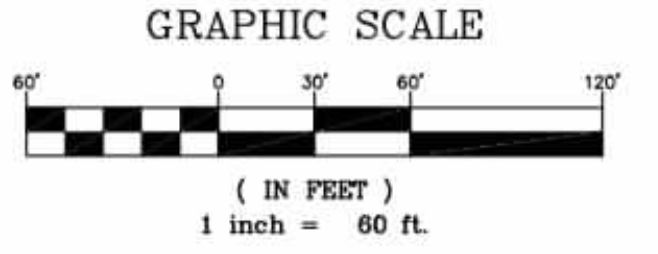
NO.	DATE	DESCRIPTION

OVERALL PLAN VIEW
PHASE III - UNIVERSITY PARK
NORTH CAROLINA
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY

PROJECT NO. P22090.2
DESIGNED BY JJC
DRAWN BY JJC
CHECKED BY MWS/TMG
ISSUE DATE 11/04/24



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S:\2023\22090-University Park, PHA Transactions\Drawings\22090.2 - 8402-SHELL_BLDG300-2.dwg 11/14/2024 3:57 PM C:\Users\jcc

NP
SUY CREECH &
TERESA CREECH
DB 248, PG 712
ZONED: AG

240.54'
N 28° 31' 29" W

125'±
LEADING
(0.71AS)

NP
PAUL A. WATSON
DB 182, PG 007
LOT A1
PG 5, SL 4
ZONED: AG

N 27° 54' 20" W → 122.47'

4x4 TECH
(0.59AS)

PERMANENT VEGETATION

SEEDING DATES: APRIL 1 – AUGUST 31:
SEED MIXTURE
REBEL II FESCUE
COMMON BERMUDA 'SAHARA'
(HULLED)
APPLICATION RATES/ACRE
130 LBS.
215 LBS.

SEEDING DATES: SEPT. 1 – MARCH 31:
SEED MIXTURE
REBEL II FESCUE
COMMON BERMUDA 'SAHARA'
(UNHULLED)
APPLICATION RATES/ACRE
250 LBS.
215 LBS.

TEMPORARY VEGETATION

SEEDING DATES: AUG. 16 – APRIL 15:
SEED MIXTURE
RYE GRAIN
APPLICATION RATES/ACRE
120 LBS.

SEEDING DATES: APRIL 16 – AUG. 15:
SEED MIXTURE
GERMAN MILLET
APPLICATION RATES/ACRE
40 LBS.

PROPOSED TYPE A BUFFER
TO USE EXISTING VEGETATION

CONTRACTOR SHALL TAKE ALL
NECESSARY PRECAUTIONS TO NOT
IMPACT EXISTING VEGETATION OUTSIDE
OF THE LIMITS OF DISTURBANCE

SEEDBED PREPARATION:
LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW, BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDDED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE SHALL BE THE FINISHED GRADE.

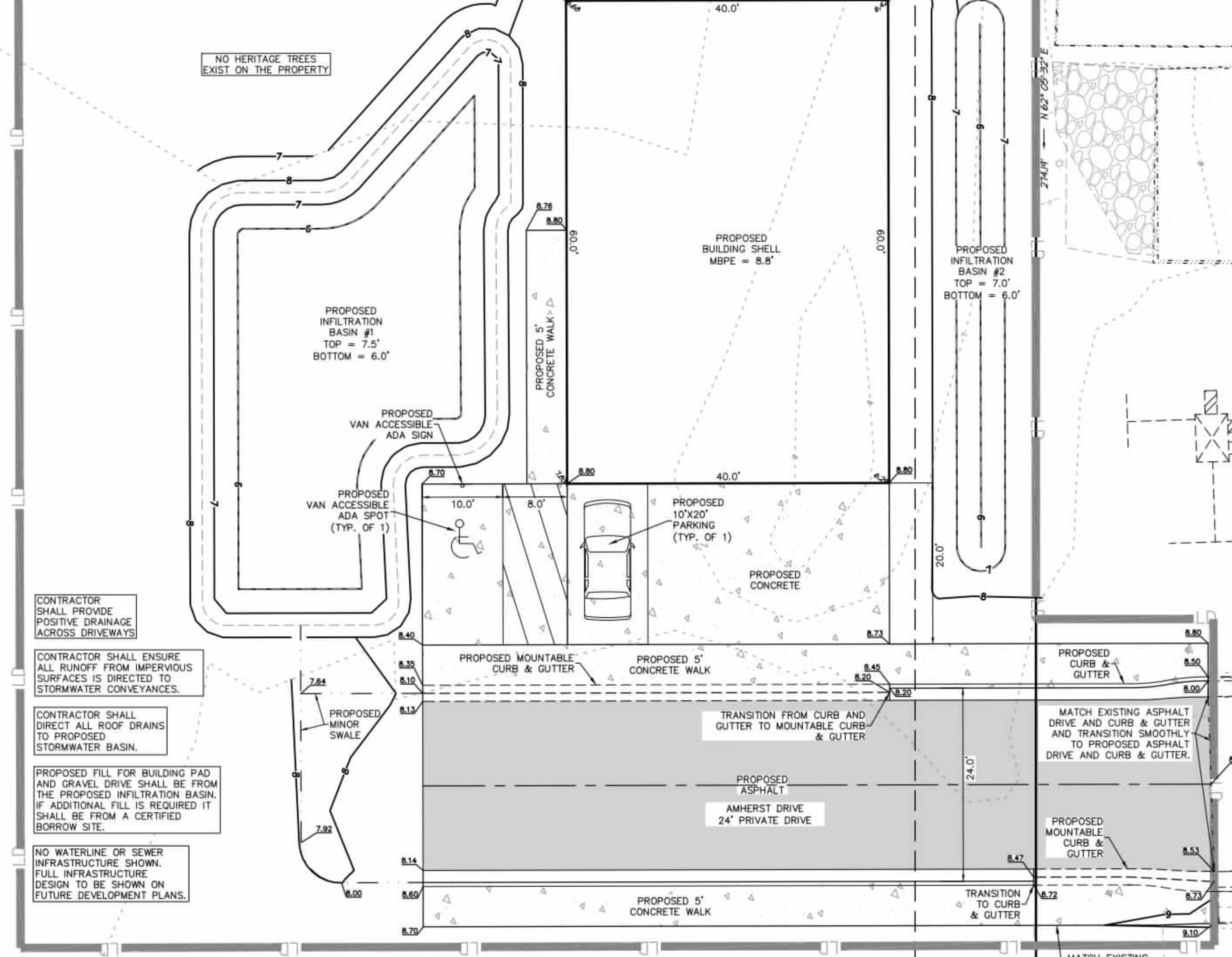
SOIL AMENDMENTS:
OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

MULCHING:
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, ROPING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.

MAINTENANCE:
SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDLINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEEDDED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.)
WEAK OR DAMAGED SPOTS MUST BE RELIMED, FERTILIZED, MULCHED, AND RESEEDDED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

SEEDING SPECIFICATIONS



CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE ACROSS DRIVEWAYS

CONTRACTOR SHALL ENSURE ALL RUNOFF FROM IMPERVIOUS SURFACES IS DIRECTED TO STORMWATER CONVEYANCES.

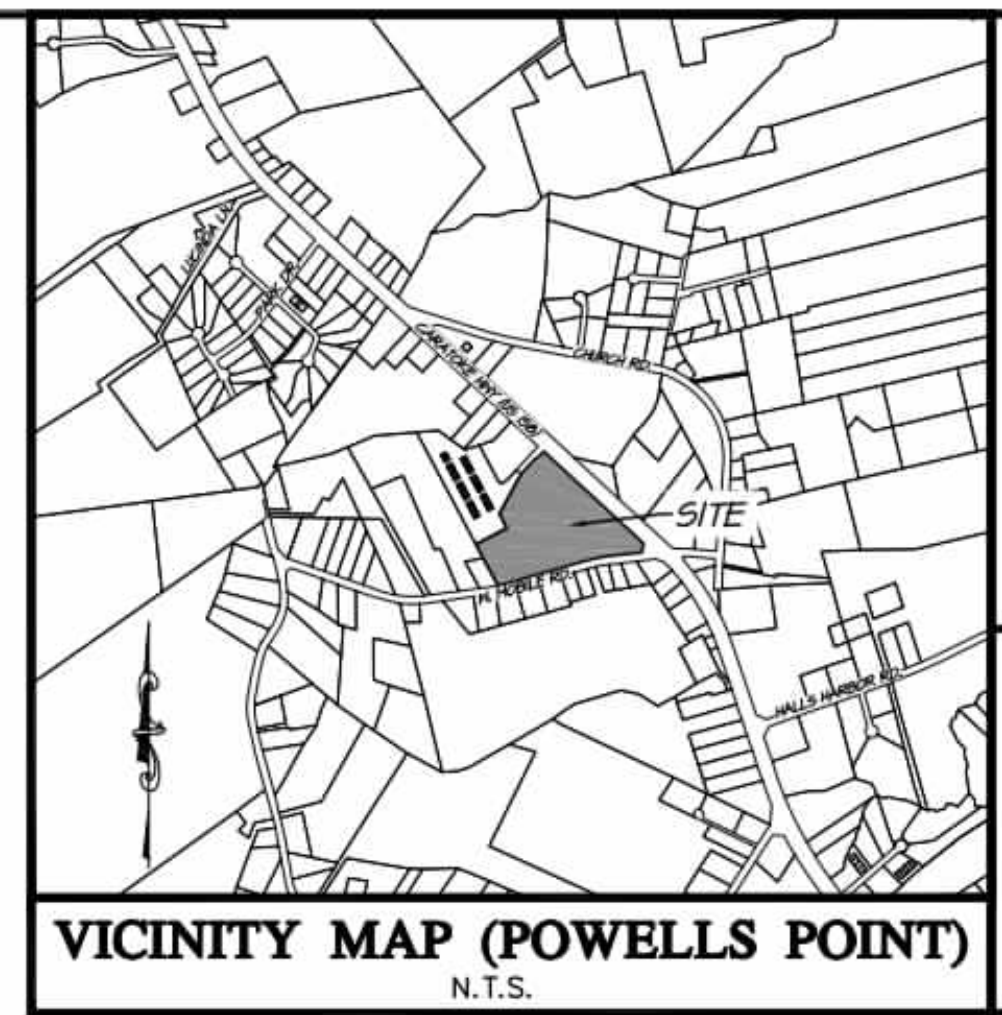
CONTRACTOR SHALL DIRECT ALL ROOF DRAINS TO PROPOSED STORMWATER BASIN.

PROPOSED FILL FOR BUILDING PAD AND GRAVEL DRIVE SHALL BE FROM THE PROPOSED INFILTRATION BASIN. IF ADDITIONAL FILL IS REQUIRED IT SHALL BE FROM A CERTIFIED BORROW SITE.

NO WATERLINE OR SEWER INFRASTRUCTURE SHOWN. FULL INFRASTRUCTURE DESIGN TO BE SHOWN ON FUTURE DEVELOPMENT PLANS.

LEGEND

	EXISTING ASPHALT PAVEMENT		PROPOSED CONCRETE
	EXISTING GRAVEL		PROPOSED GRAVEL
	EXISTING CONCRETE		PROPOSED SWALE
	EXISTING IRON ROD		PROPOSED CONTOUR
	EXISTING IRON PIPE		PROPOSED SPOT GRADE (TOP OF ASPHALT & FLOW LINE) (UNLESS OTHERWISE NOTED)
	EXISTING CONCRETE MONUMENT		PROPOSED 2.0' CURB & GUTTER
	EX. UTILITY POLE		PROPOSED 2.0' MOUNTABLE CURB & GUTTER
	EX. FIRE HYDRANT		
	EX. WATER VALVE		
	EX. WATER METER		
	EX. TRANSFORMER		
	EX. TELEPHONE PEDESTAL		
	EX. ELECTRICAL METER		
	EX. CONTOUR		
	EX. WATER LINE		
	EX. OVERHEAD UTILITIES		



NOTES:

- PROPERTY OWNER/ADDRESS: UNIVERSITY PARK, LLC
ATTN: NORMAN BIBEAU
108 AMHERST DR.
POWELLS POINT, NC 27966
252-562-2485
NBIBEAU@AOL.COM
- ENGINEER: QUILBE & ASSOCIATES, P.C.
PO DRAWER 870
KITTY HAWK, NC 27949
- SITE ADDRESS: 138 W. MOBILE RD.
HARBINGER, NC 27941
- PARCEL ID NUMBER: 0131000097A0000
PIN NUMBER: 9837-91-8496
- ZONE: PLANNED DEVELOPMENT - MIXED (PD-M)
- RECORDED REFERENCE: DB 1296, PG 98; PC, O, SL 72
- HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM NC GNSS RTN.
- ALL DISTANCES ARE US SURVEY FEET AND HORIZONTAL GROUND.
- PROPERTY IS LOCATED IN NFIP FLOOD ZONE X AND SUBJECT TO CHANGES BASED ON COMMUNITY CID NO. 370078; PANEL 9837; SUFFIX K. (MAP NUMBER 3720983700K) EFFECTIVE DATE: 12/21/2018.
- TOTAL PROJECT AREA 693,350 sqft / 15.92 acres
- LOT COVERAGE SHALL NOT EXCEED THE MAXIMUM OF 65%.
- PROPOSED PARKING WILL MEET CURRITUCK COUNTY UDO OFF-STREET PARKING STANDARDS.
- PROPOSED PLANNED DEVELOPMENT AREA DIMENSIONAL STANDARDS:
TOTAL PLANNED DEVELOPMENT (DISTRICT) AREA: 25.74 AC.
OPEN SPACE: 20% (MINIMUM REQUIREMENT)
RESIDENTIAL LAND AREA, MAXIMUM:
MINIMUM SPACE BETWEEN BUILDINGS:
MAXIMUM BUILDING LENGTH:
MAXIMUM BUILDING SIZE (FOOTPRINT):
LOT COVERAGE MAXIMUM:
DISTRICT BUILDING HEIGHT:
35 FT.
150 FT.
6,600 SQ.FT.
65%
35 FT. (OR AS ALLOWED BY CURRITUCK COUNTY UDO)
- BUILDING SETBACK FROM GEN. BUS. (CB) ZONE: 40 FT. (DOES NOT APPLY TO LOTS INSIDE OF DISTRICT)
- BUILDING SETBACK FROM AGRICULTURAL (AG) ZONE: 50 FT.
- BUILDING SETBACK FROM EXTERIOR (OUTSIDE PD-M), R.O.W.: W. MOBILE RD.: 60 FT.
US HWY. 158: 50 FT.
- BUILDING SETBACK FROM INTERNAL R.O.W.: 15 FT.
- LOT AREA MINIMUM: 65,340 SQ.FT. (1.5 AC.)
LOT WIDTH MINIMUM: 100 FT.
- SCOPE OF WORK: THIS PLAN PROPOSES THE CONSTRUCTION OF A SHELL BUILDING AND ASSOCIATED IMPROVEMENTS INCLUDING AN ASPHALT ROAD AND INFILTRATION BASIN.
- EXISTING FEATURES, IMPROVEMENTS, TOPOGRAPHIC AND BOUNDARY INFORMATION BASED ON FIELD SURVEY BY QUILBE & ASSOCIATES, P.C. PERFORMED FROM 2023-2024 AND CAD FILE BY STYONS SURVEYING SERVICES.
- THIS SURVEY IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- PROPOSED COUNTY LOT COVERAGE:
BUILDING.....2,400 SF
CONCRETE.....2,690 SF
ASPHALT.....2,056 SF
TOTAL COVERAGE.....7,146 SF (1.03%)
MAX ALLOWED.....450,678 SF (65%)
- PARKING REQUIRED WAREHOUSE (STORAGE):
ONE PARKING SPACE PER 2,500 SQ.FT.
2,400 SQ.FT. / 2,500 SQ.FT. = 1 SPACES REQUIRED
TOTAL SPACES REQUIRED = 1 SPACES (2 PROVIDED)
- AVERAGE EXISTING GRADE AT PROPOSED SHELL BUILDING:
(6.6' ± - 6.42' ± 6.29' ± 7.83')/4 = 6.8'
PROPOSED MBPE = 8.8'
- SITE LIGHTING PLAN FOR PLANNED DEVELOPMENT APPROVED PREVIOUSLY AND IS NOT SHOWN ON THIS PLAN.
- SITE LANDSCAPE PLAN FOR PLANNED DEVELOPMENT APPROVED PREVIOUSLY.

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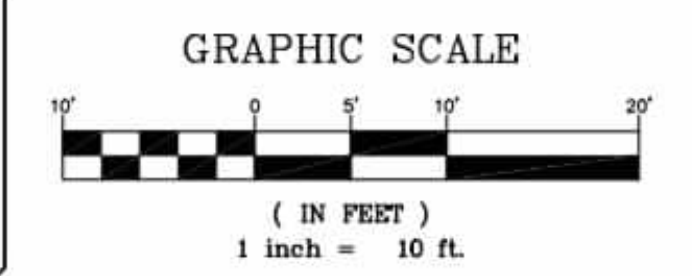
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STORMWATER NOTES

- NARRATIVE: THE STORMWATER MANAGEMENT PLAN SHOWN HEREON HAS BEEN PREPARED TO ADDRESS STORMWATER MANAGEMENT ON THE SUBJECT PROPERTY IN ACCORDANCE WITH THE MINOR STORMWATER PLAN REQUIREMENTS OF THE CURRITUCK COUNTY STORMWATER MANAGEMENT MANUAL. THE STORMWATER RUNOFF WILL BE MANAGED THROUGH PROPOSED ON-SITE SHALLOW INFILTRATION SWALES AND INFILTRATION BASIN AREAS.
THE CALCULATIONS WILL SHOW THAT THE HIGHLY PERVIOUS SOILS, COUPLED WITH THE SHALLOW INFILTRATION SWALES ARE ADEQUATE TO RETAIN AND INFILTRATE THE STORMWATER GENERATED FROM THE DESIGN RAINFALL EVENT.
- ASSUMED SOIL INFILTRATION RATE: 20"/HR
- SOIL VOID RATION = 20.0%
- ALL SIDE SLOPES 3:1 OR FLATTER
- DESIGN STORM EVENT: 5-YEAR, 24 HOUR STORM EVENT RELEASED AT THE REQUIRED WOODED, 2-YEAR, 24 HOUR RATE.
- REQUIRED STORAGE: 1,540.0 CF
- PROVIDED STORAGE IN INFILTRATION BASIN #1:
TOP AREA: 1,937 SF
BOTTOM AREA: 1,101 SF
DEPTH: 1.0'
SIDE SLOPES: 3:1
ABOVE GRADE STORAGE VOLUME PROVIDED: 2,267 CF
- PROVIDED STORAGE IN INFILTRATION BASIN #2:
TOP AREA: 418 SF
BOTTOM AREA: 0 SF
DEPTH: 1.0'
SIDE SLOPES: 3:1
ABOVE GRADE STORAGE VOLUME PROVIDED: 209 CF
- TOTAL STORAGE PROVIDED = 2,476 CF



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



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Phone: (252) 811-1117
Fax: (252) 811-1118
www.quilbe.com

REVISIONS

NO.	DATE	DESCRIPTION

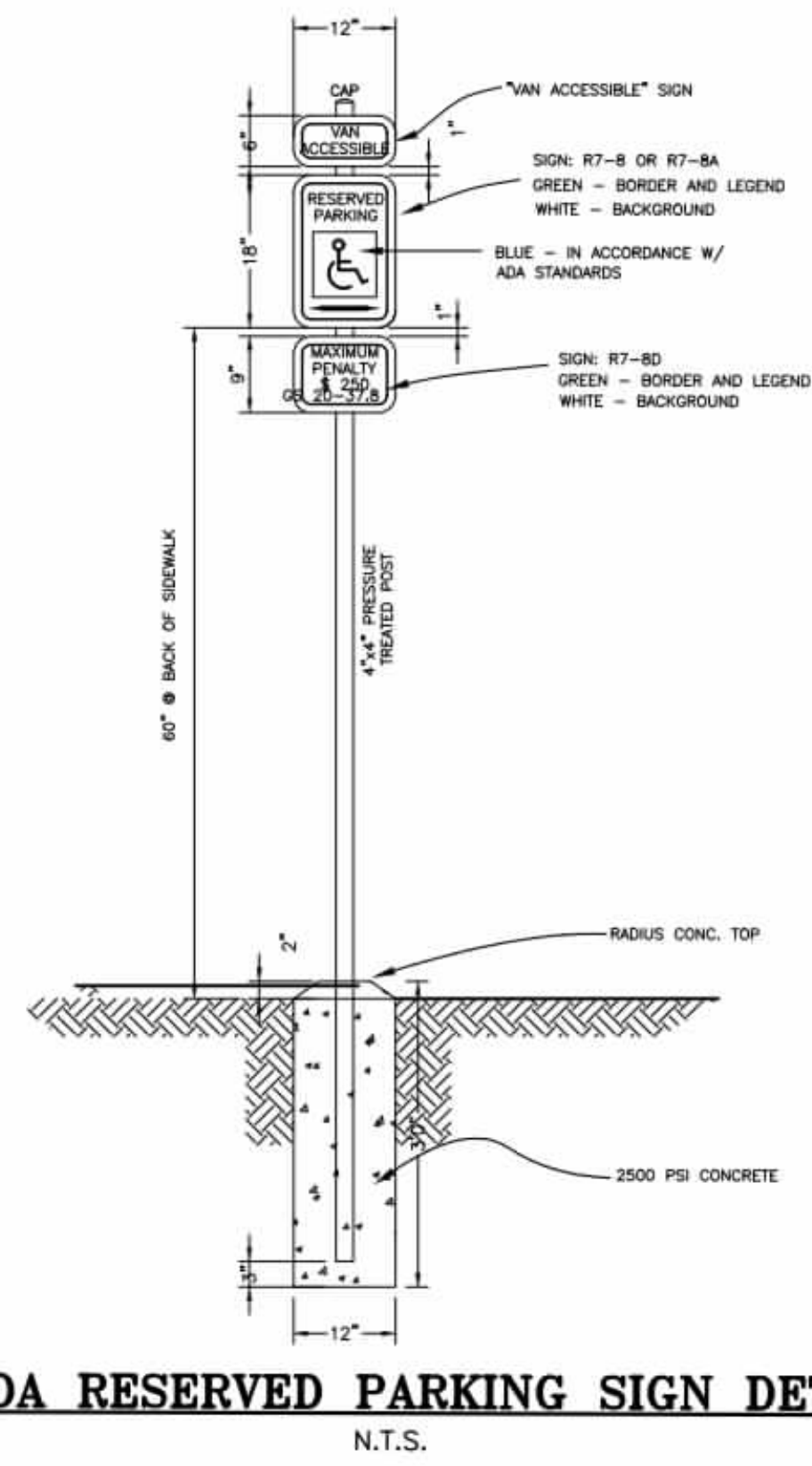
SITE PLAN

PHASE III - UNIVERSITY PARK

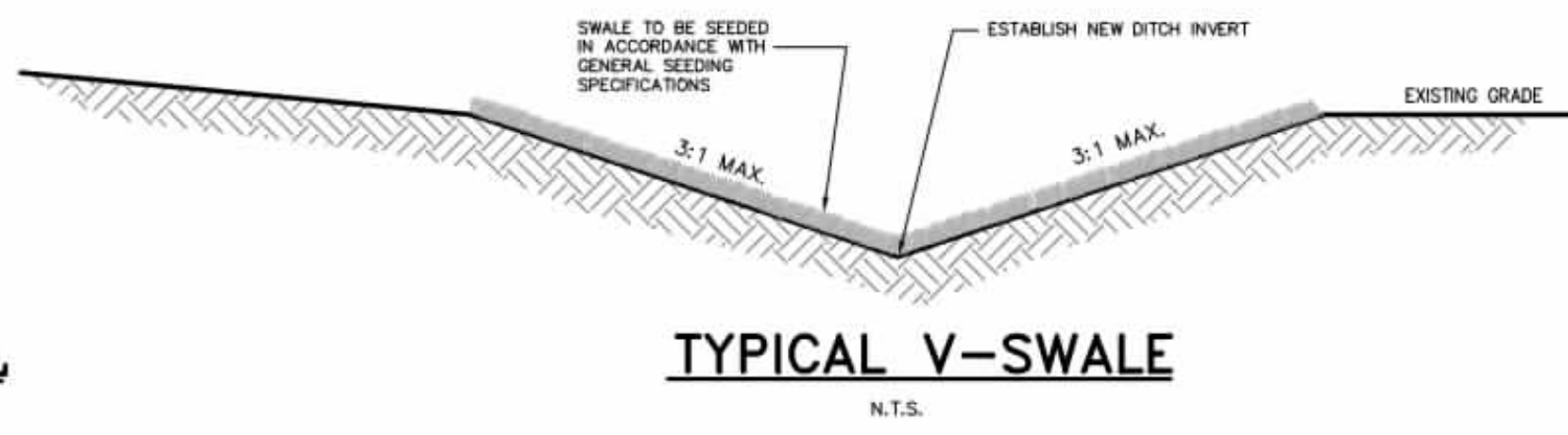
NORTH CAROLINA
CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP

PROJECT NO. P22090.2
DESIGNED BY JJC
DRAWN BY JJC
CHECKED BY MWS/TMG
ISSUE DATE 11/04/24

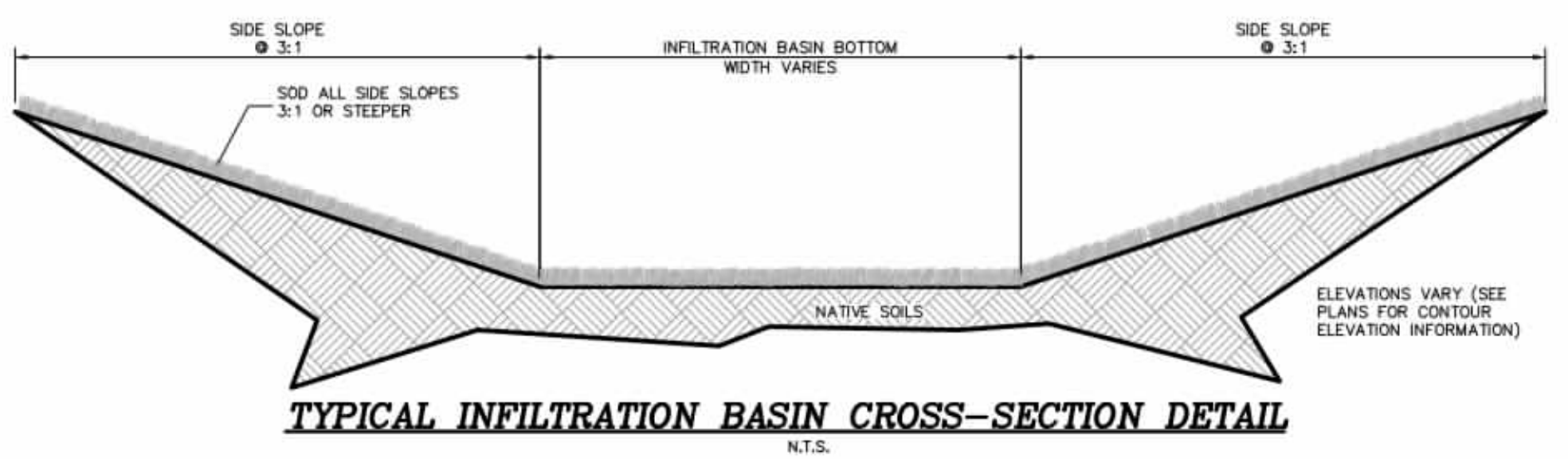
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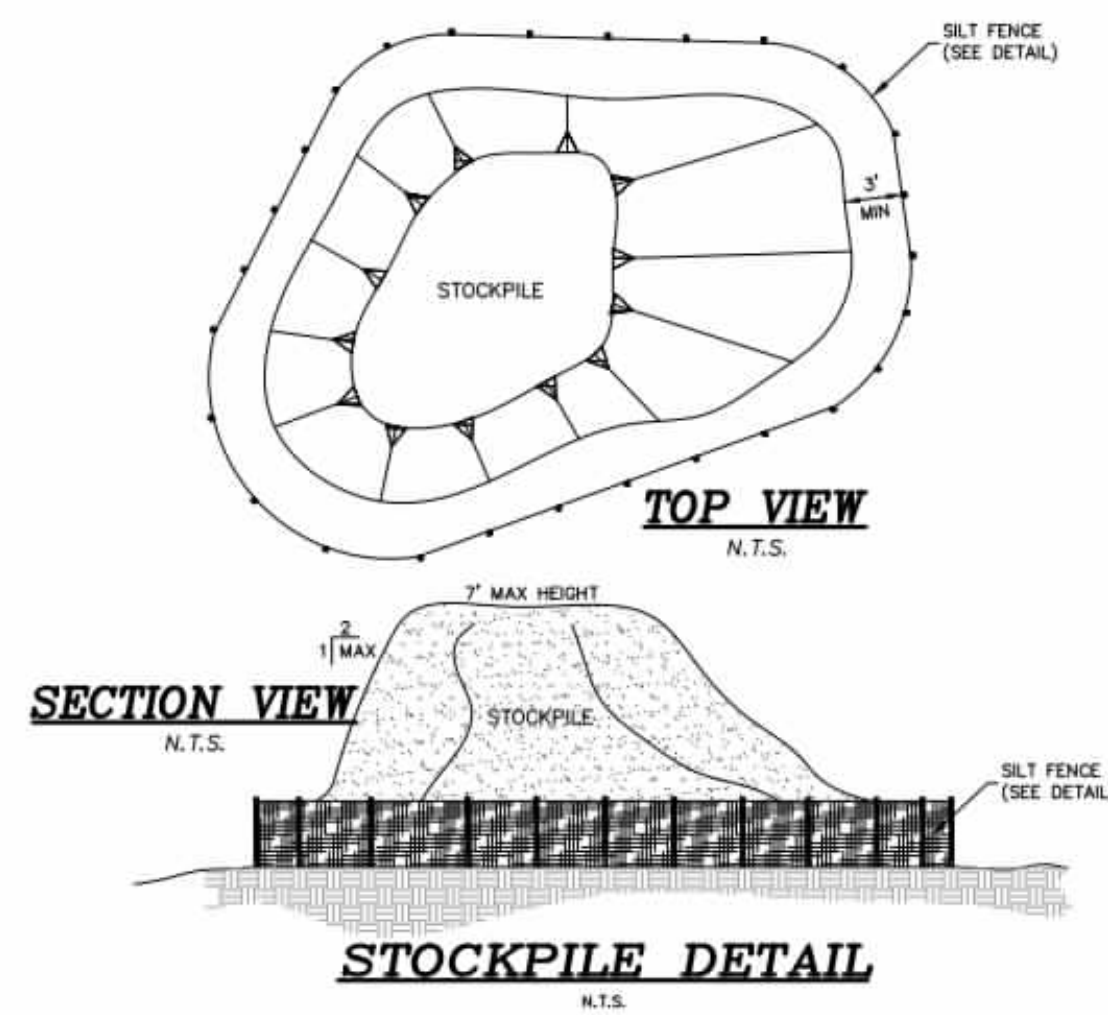
ADA RESERVED PARKING SIGN DETAIL
N.T.S.



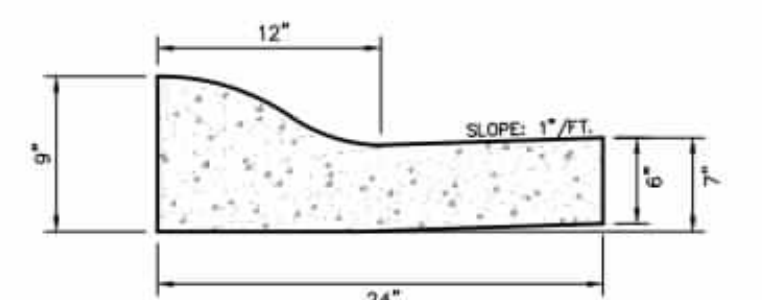
TYPICAL V-SWALE
N.T.S.



TYPICAL INFILTRATION BASIN CROSS-SECTION DETAIL
N.T.S.

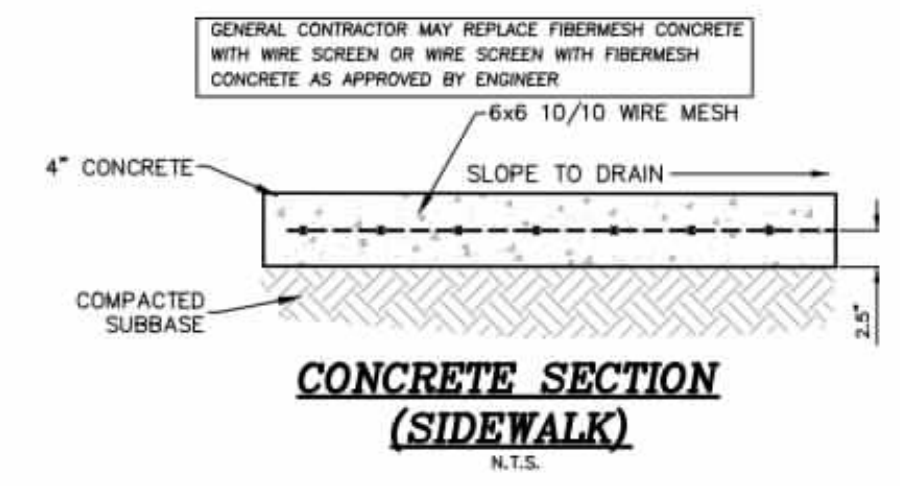


NOTES:
 1. CONTRACTOR MUST PROTECT TOPSOIL STOCKPILES BY TEMPORARILY SEEDING AS SOON AS POSSIBLE, NO MORE THAN 21 CALENDAR DAYS AFTER THE FORMATION OF THE STOCKPILE.
 2. CONTRACTOR MUST STABILIZE STOCKPILES WITH PERMANENT VEGETATION TO CONTROL EROSION AND WEED GROWTH IF THE STOCKPILE WILL LAY DORMANT FOR MORE THAN 90 DAYS.
 3. TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF THE CONSTRUCTION SITE MAY NOT REQUIRE STOCKPILE PERIMETER CONTROLS. OTHER DOWN GRADIENT CONTROLS (INCLUDING SITE PERIMETER CONTROLS) MUST BE IN PLACE TO REMOVE STOCKPILE PERIMETER CONTROLS.

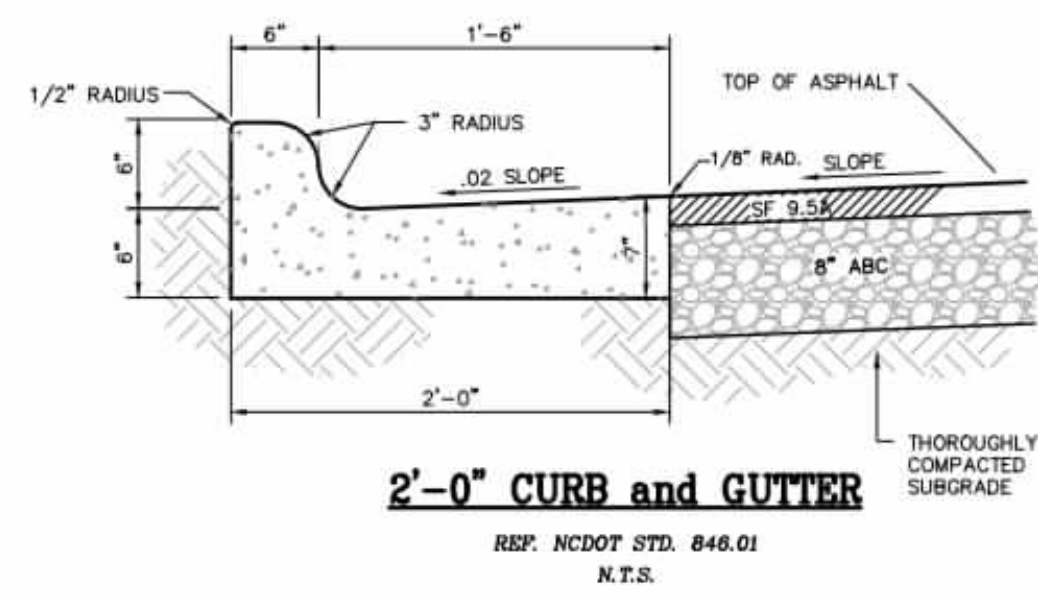


NOTES:
 DETAIL SHOWN ABOVE IS SPECIFICALLY FOR CONDITION WHERE ASPHALT SLOPES TOWARD CURB. WHERE ASPHALT SLOPES AWAY FROM CURB, GUTTER SHALL ALSO SLOPE AWAY FROM CURB FACE TO MATCH SLOPE OF ADJACENT PAVING.
 EXPANSION JOINTS REQUIRED AT ALL STRUCTURES, CURB RETURNS, AND AT MAX SPACING OF 40'. CONTROL JOINTS SHALL BE EVERY 10' MAX. THIS MOUNTABLE CURB DETAIL SHALL NOT BE USED WITHIN THE R/W.

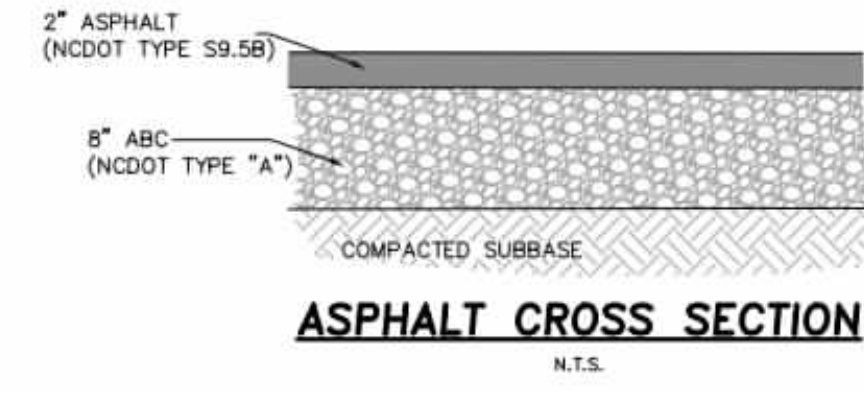
2'-0" MOUNTABLE COLLECTION CURB & GUTTER
N.T.S.



CONCRETE SECTION (SIDEWALK)
N.T.S.



2'-0" CURB and GUTTER
 REF. NCDOT STD. 848.01
 N.T.S.



ASPHALT CROSS SECTION
N.T.S.

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NO.	DATE	REVISIONS

DETAILS
PHASE III - UNIVERSITY PARK
 CURRITUCK COUNTY
 POPLAR BRANCH TOWNSHIP
 NORTH CAROLINA

PROJECT NO.	P22090.2
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SHEET NO.
4
 OF 4 SHEETS