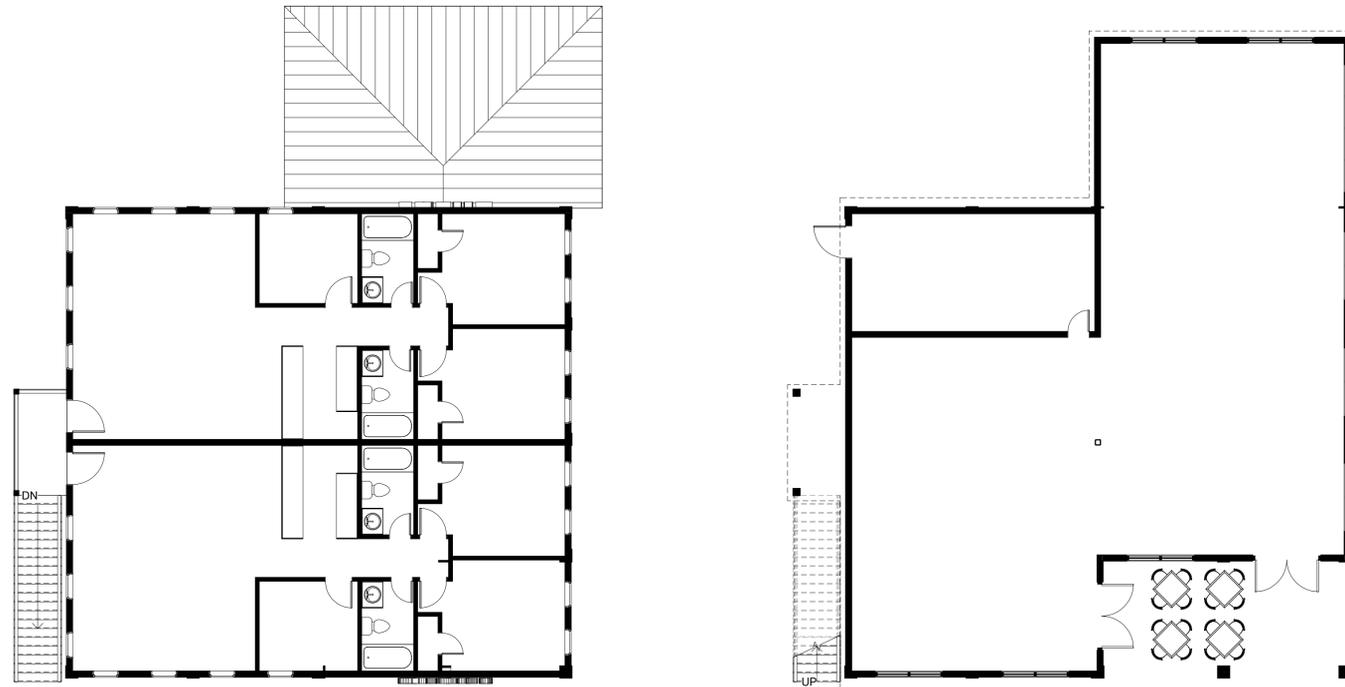




4 Perspective



3 Second Floor Plan
1/8" = 1'-0"

2 First Floor Plan
1/8" = 1'-0"

Project: **804 Retail Shops**

Project No: **22084**

Location: **804 Ocean Trail
Corolla, NC**

Title: **Preliminary**

Date: **July 14, 2023**

Scale: **1/8" = 1'-0"**



1 South Elevation
1/8" = 1'-0"



5 East Elevation
1/8" = 1'-0"

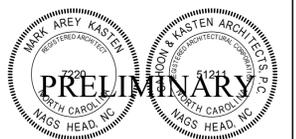


6 North Elevation
1/8" = 1'-0"



7 West Elevation
1/8" = 1'-0"

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

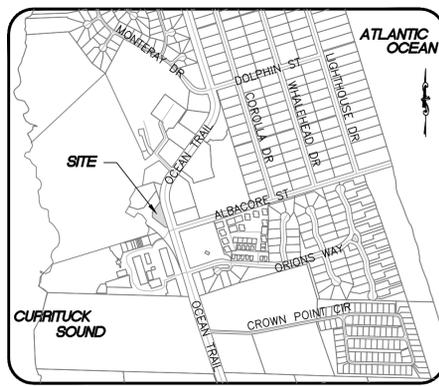


Revisions:

No.	Description	Date

Designed: Designer
Drawn: Author
Reviewed: Checker
Cad File:

A1

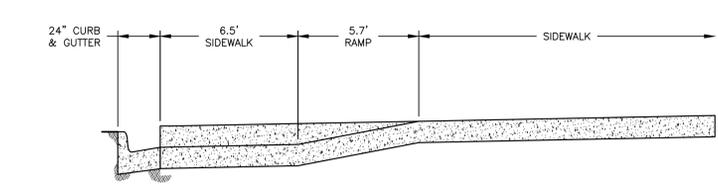
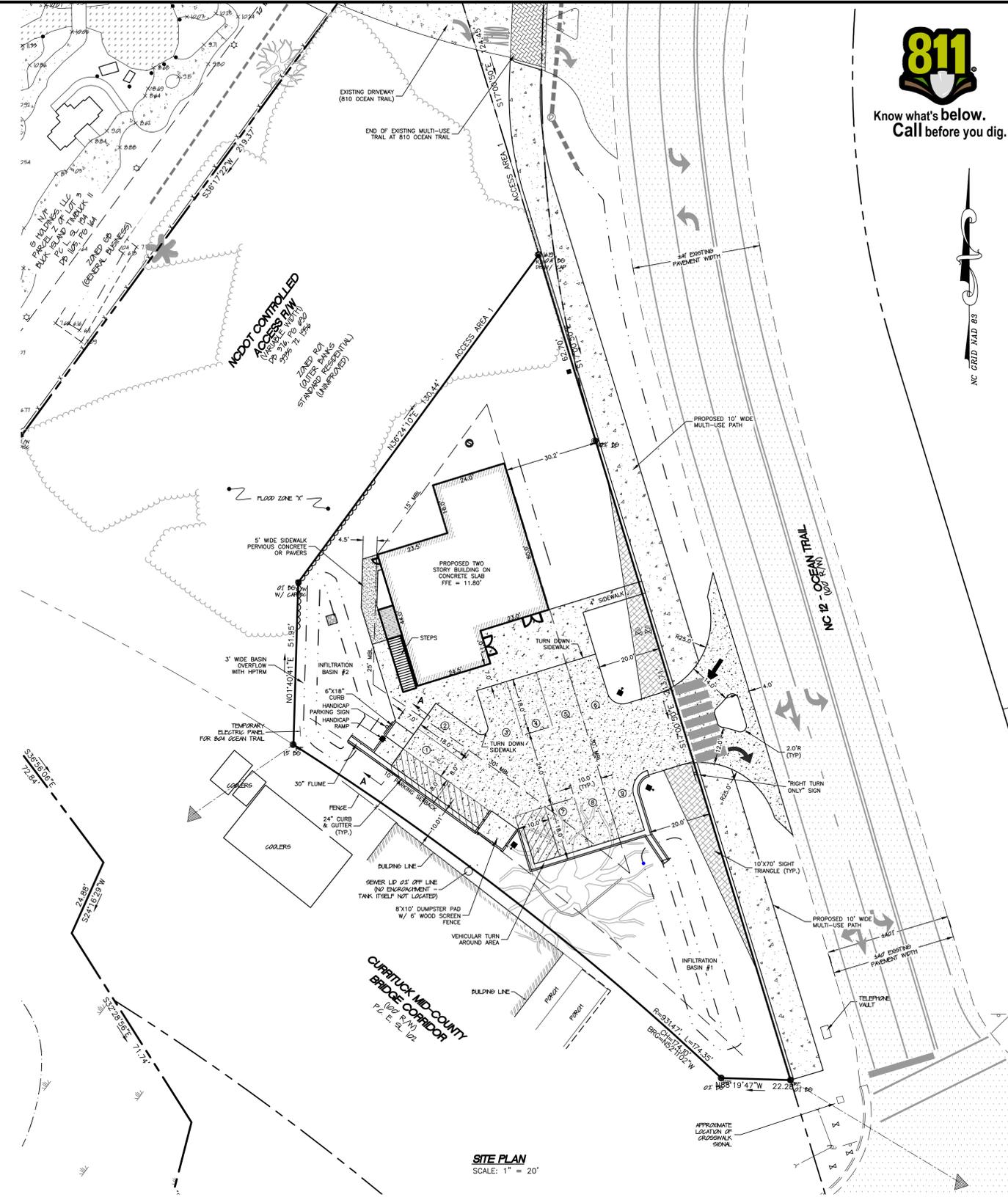


VICINITY MAP
NTS

SITE PLAN NOTES:

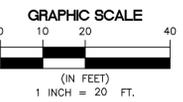
- OWNER/DEVELOPER: GOLASA HOLDINGS, LLC
PO BOX 120
KITTY HAWK, NC 27949
- THE OWNER INTENDS TO CONSTRUCT 2-STORY STRUCTURE WITH APPROXIMATELY 2,221 SF OF RETAIL SPACE ON THE FIRST FLOOR AND TWO (2) 2-BEDROOM APARTMENTS ON THE SECOND FLOOR.
- THE PROPERTY IS PARCEL Y - THIRD DIVISION OF LOT 3, TIMBUCK II PHASE - BUCK ISLAND, D.B. 1026, PG 598, D.B. 1668, PG. 569 CURRITUCK COUNTY PARCEL ID 116D000003B0000 CURRITUCK COUNTY PIN#: 9935-73-2011 PROPERTY ADDRESS: 804 OCEAN TRAIL, COROLLA
- THE SITE IS LOCATED IN FIRM ZONE "X", FIRM MAP NUMBER 3720993500K, EFFECTIVE DATE DECEMBER 21, 2018. (SUBJECT TO CHANGE BY FEMA)
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE SPECIFIED. ELEVATIONS SHOWN ARE HEREON PER NAVD88.
- AREAS SHOWN ARE BY COORDINATE METHOD.
- EXISTING SITE FEATURES AND SURVEY INFORMATION PROVIDED BY SEABOARD SURVEYING & PLANNING, INC. SURVEY DATED DECEMBER 22, 2016. EXISTING TOPOGRAPHY OBTAINED FROM NOAA 2019 AND COMPARED TO SURVEY DATA OBTAINED ALONG OCEAN TRAIL BY ALBEMARLE & ASSOCIATES, LTD. IN 2011. ELEVATIONS BASED UPON NAVD 1988.
- THERE ARE NO DELINEATED WETLANDS ON THE PROJECT SITE.
- THE PROPERTY IS ZONED SFO WITH A PUD OVERLAY DESIGNATED AS GB. RETAIL SALES ESTABLISHMENTS AND UPPER STORY DWELLINGS ARE ALLOWABLE USES WITHIN THE GB DISTRICT STANDARDS. ALL ADJACENT PROPERTIES ARE ZONED WITH THE SAME CLASSIFICATION.
- MINIMUM BUILDING SETBACKS:
FRONT - 30'
REAR - 25'
SIDE - 15'
30' ALONG MID COUNTY BRIDGE CORRIDOR PER P.C. E, SL. 102.
- TOTAL PROPERTY AREA = 19,378 SF
AREA TO BE DISTURBED = 27,787 SF (0.64 ACRES)
(INCLUDES WORK ALONG OCEAN TRAIL)
- COVERAGE IS AS FOLLOWS:
EXISTING (PER 2016 SURVEY)
BUILDING/DECK 991.05 SF
CONCRETE 314.93 SF
GRAVEL 7,009.19 SF
TOTAL 8,315.17 SF (42.91%)
ALL EXISTING FEATURES TO BE REMOVED
PROPOSED
BUILDING/STEPS 2,349.02 SF
PARKING 3,928.24 SF
CONCRETE SIDEWALK 1,247.03 SF
PERVIOUS SIDEWALK 142.01 SF
DUMPSTER PAD 80.00 SF
TOTAL 7,746.30 SF (39.97%)
ALLOWABLE COVERAGE 12,595.7 SF (65.0%)
- PARKING REQUIREMENTS:
RETAIL, GROUND FLOOR: (1 SPACE / 300 SF) * (2,221 SF) = 7.4 SPACES
DWELLING, UPPER FLOOR: (0.5 SPACE / DU) * (2 DU) = 1.0 SPACE
TOTAL REQUIRED PARKING SPACES: 8.4 SPACES
TOTAL PROVIDED SPACES: 9 SPACES
- STORMWATER MANAGEMENT WILL BE ACCOMMODATED THROUGH INFILTRATION BASINS DESIGNED IN ACCORDANCE WITH CURRITUCK COUNTY REQUIREMENTS.
- THE NRCS SOILS MAP FOR CURRITUCK COUNTY HAS MAPPED THE SOILS ON THIS SITE TO BE NEWMAN-COROLLA COMPLEX AND OSIER FINE SAND.
- LIGHTS WILL BE DOMINION POWER BASIC SHOEBOX LED (8318 LUMENS / 150 WATT EQUIVALENT) WITH TYPE 4 DISTRIBUTION MOUNTED AT 25' ABOVE GRADE. LIGHTS FOR THIS SITE WILL BE PLACED IN ACCORDANCE WITH CURRITUCK COUNTY REQUIREMENTS.
- ALL SIGNS SHALL BE ERRECTED, ALTERED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS IN THE CURRITUCK COUNTY CODE OF ORDINANCES.
- SILT FENCE TO BE INSTALLED ON SITE AS SHOWN ON EROSION CONTROL/GRADING PLAN.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH A COASTAL VEGETATION MIX.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BUFFERING. ALL REQUIRED LANDSCAPING AND BUFFER AREAS SHALL BE MAINTAINED IN GOOD CONDITION SO AS TO PRESENT A HEALTHY AND ORDERLY APPEARANCE AND SHALL BE KEPT FREE FROM REFUSE AND DEBRIS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE REPLACEMENT OF PLANTS DAMAGED BY INSECTS, DISEASE, VEHICULAR TRAFFIC, AND VANDALISM.
- ALL NEW UTILITIES ARE TO BE PLACED UNDERGROUND.
- TRASH COLLECTION WILL BE VIA ON-SITE DUMPSTER.
- WASTEWATER WILL BE CONNECTED TO THE CAROLINA WATER SERVICE WASTEWATER SYSTEM.

**PRELIMINARY ONLY
NOT FOR
CONSTRUCTION**



LEGEND

	IRON ROD FOUND		PROPOSED DRAINAGE PIPE
	PK NAIL FOUND		PROPOSED DITCH/SWALE
	RIGHT OF WAY		EXISTING SANITARY STRUCTURE
	PROPERTY BOUNDARY		EXISTING SANITARY VALVE
	EXISTING POWER POLE		PROPOSED SANITARY STRUCTURE
	EXISTING GUY WIRE		PROPOSED SANITARY SEWER
	OVERHEAD ELECTRIC		EXISTING FORCEMAIN
	UNDERGROUND ELECTRIC		EXISTING FIRE HYDRANT
	UNDERGROUND TELEPHONE LINE		EXISTING WATER METER
	EXISTING COMMUNICATIONS LINE		EXISTING WATER VALVE
	EXISTING TELEPHONE PEDESTAL		PROPOSED WATER METER
	EXISTING FIBER OPTIC REFERENCE		EXISTING WATERLINE
	PROPOSED LIGHT POLES		PROPOSED WATERLINE
	EXISTING CONTOURS		EXISTING GRAVEL
	PROPOSED CONTOURS		EXISTING CONCRETE
	EXISTING SPOT ELEVATIONS		EXISTING ASPHALT PAVEMENT
	PROPOSED SPOT ELEVATIONS		PROPOSED CONCRETE
	EXISTING TREELINE		SILT FENCE
	PROPOSED TREELINE		LIMITS OF DISTURBANCE
	EXISTING FENCE		
	PROPOSED FENCE		
	HANDICAP PARKING		
	SIGNAGE		
	PARKING LOT TRAFFIC FLOW		
	PAVEMENT MARKINGS		



Albemarle & Associates, Ltd.
Engineering - Environmental - Land Planning

Albemarle & Associates, Ltd.
1000 S. Main Street
Kill Devil Hills, NC 27548
Phone: (252) 441-2113
www.AlbemarleAssociates.com
Cert. of Licensure No. C-1027
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REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN
GOLASA HOLDINGS, LLC
804 OCEAN TRAIL
COROLLA
POPULAR BRANCH TOWNSHIP
CURRITUCK COUNTY
NORTH CAROLINA

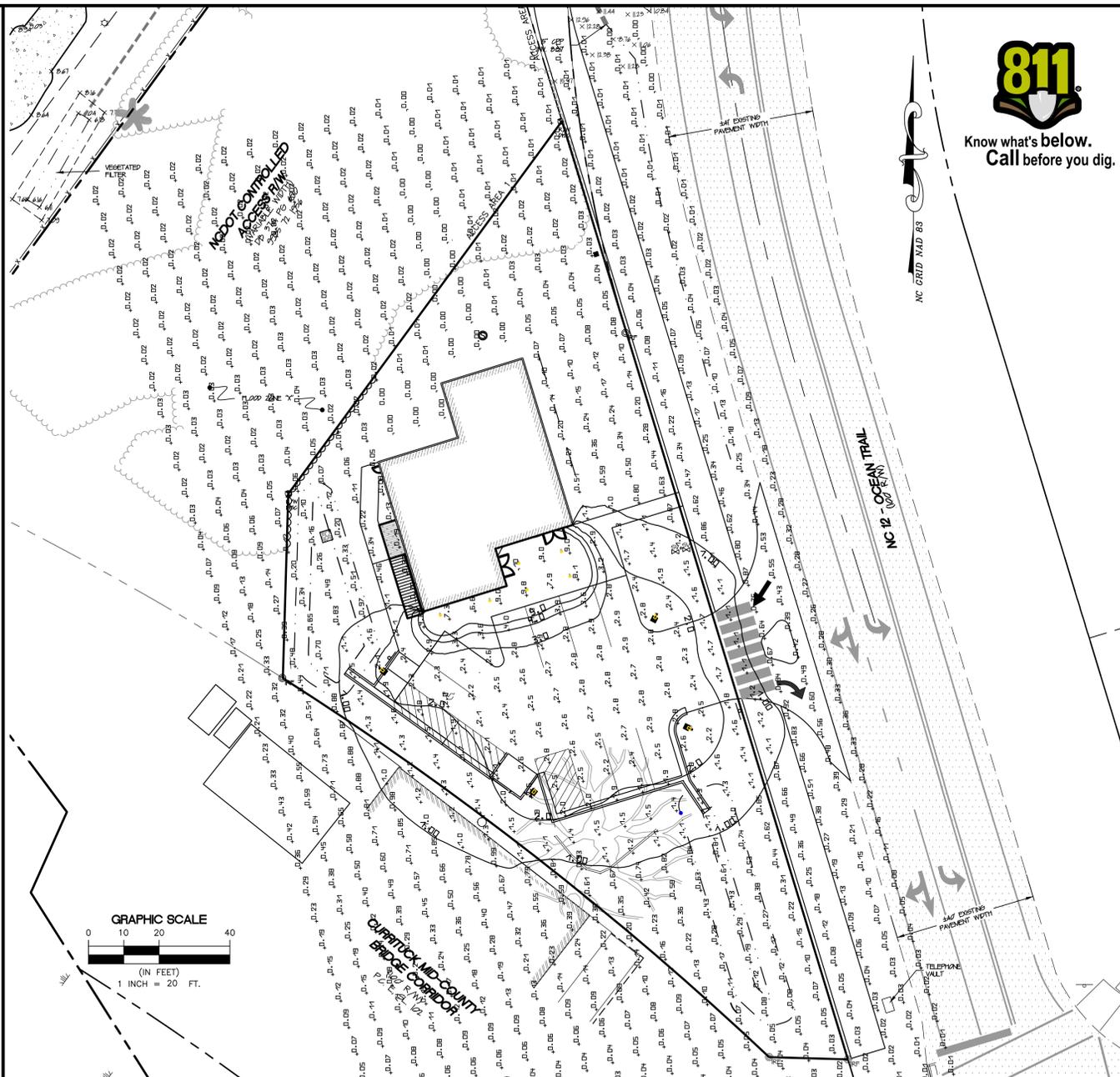
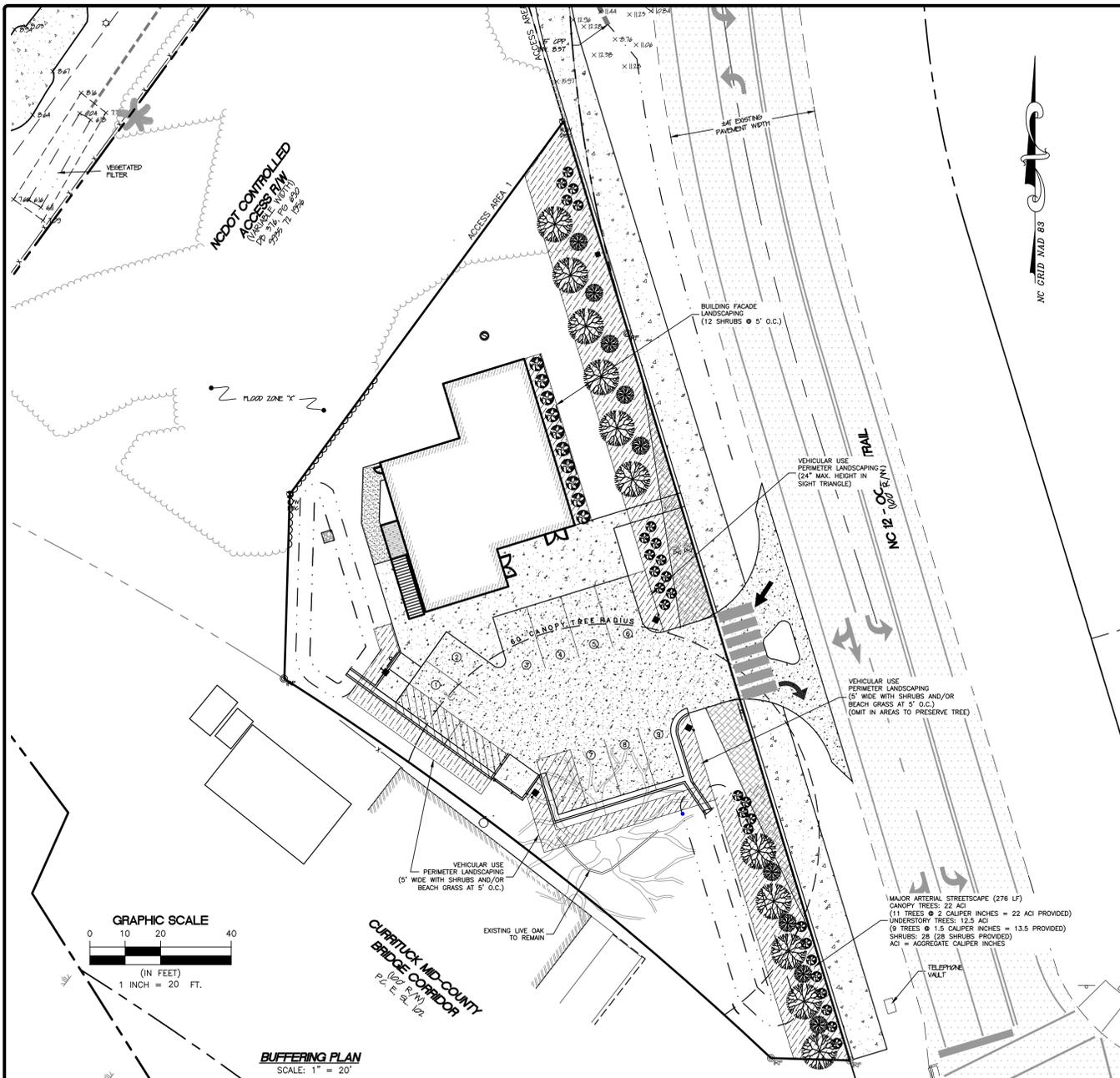
DATE: 09/12/2023
SURVEYED: SEE NOTES
DESIGNED: MJM
DRAWN: RGA
CHECKED: MJM
FILE: 08599A

SCALE:
1" = 20'

C201
PROJ. NO. 08599A

SEE SHEET C202 FOR BUFFERING AND LIGHTING PLAN
SEE SHEET C203 FOR SITE PLAN DETAILS
SEE SHEET C301 GRADING AND DRAINAGE PLAN
SEE SHEET C302 FOR DEMOLITION AND EROSION CONTROL PLAN
SEE SHEET C401 FOR UTILITY PLAN AND DETAILS

K:\Active Projects\08599 - Parcel X, Timbuck II\08599A - Site Plan.dwg, 9/12/2023 3:06:36 PM, 1:1, ALBEMARLE & ASSOCIATES, LTD., C-1027



LANDSCAPE INSTALLATION NOTES:

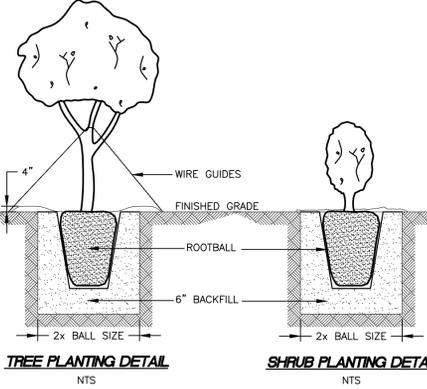
PREPARATION:
 TREE AND SHRUB LOCATIONS AND AREAS AND SECURE LANDSCAPE DESIGNERS APPROVAL BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUESTED. FINE GRADE LAWN AREAS TO A SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORM FINE TEXTURE. ROLL, RAKE AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINAL GRADE. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED IMMEDIATELY AFTER GRADING.

EXCAVATION FOR TREES AND SHRUBS:
 EXCAVATE PITS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. FOR BALLED AND BURLAPPED, AND POTTED (B&B TREES AND SHRUBS), MAKE EXCAVATIONS AT LEAST HALF AGAIN AS WIDE AS THE ROOT BALL DIAMETER AND EQUAL TO THE ROOT BALL DEPTH, PLUS ALLOWING FOR SETTING OF ROOT BALL ON A LAYER OF COMPACTED BACKFILL.

PLANTING TREES AND SHRUBS:
 SET BALLED AND BURLAPPED AND POTTED STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE, PLUMB AND IN THE CENTER OF THE PIT OR TRENCH, WITH THE TOP OF THE ROOT BALL AT THE SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES. WHEN SET, PLACE ADDITIONAL BACKFILL AROUND BASE AND SIDES OF ROOT BALL, AND WORK EACH LAYER TO ELIMINATE VOIDS AND AIR POCKETS. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL. MULCH PITS, TRENCHES AND PLANTED AREAS. PROVIDE NOT LESS THAN 3" THICKNESS OF MULCH AND FINISH LEVEL WITH ADJACENT GRADE.

SEEDING NEW LAWNS:
 DO NOT USE WET SEED OR SEED WHICH IS SLIGHTLY MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE. SOW SEED USING A DROP SPREADER OR SEEDING MACHINE. DO NOT SEED WHEN WIND VELOCITY EXCEEDS 5 MPH UNLESS USING A DROP SPREADER. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITIES IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. SOW NOT LESS THAN THE QUANTITY OF SEED SPECIFIED OR SCHEDULED BY THE SEED MANUFACTURER OR SUPPLIER FOR THE TYPE OF SEED BEING SOWN. RAKE SEED LIGHTLY INTO TOP 1/8" OF SOIL, ROLL LIGHTLY AND WATER WITH A FINE SPRAY. LAY TURF STARTING IN THE CENTER AND WORKING TOWARDS THE SIDES. TURF SHALL BE LAID PARALLEL TO THE LONGEST EDGE OF FINISHED AREA AND SHALL BE LAID WITH STAGGERED SEAMS. EDGE TURF AFTER INSTALLATION IS COMPLETED. WATER THOROUGHLY.

CLEAN-UP AND PROTECTION:
 DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREA IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.



- SHRUBS (BUILDING FACADE)**
 COASTAL AZALEA (Rhododendron Atlanticum)
 INDIAN HAWTHORN (Rhopilepis Indica)
- SHRUBS (VEHICULAR USE AREA)**
 JAPANESE PITTOSPORUM (Pittosporum Tobira)
 COASTAL AZALEA (Rhododendron Atlanticum)
- UNDERSTORY TREES**
- CANOPY TREES**
 RED MAPLE (Acer Rebrum)
 RIVER BIRCH (Betula Nigra)

- SITE LANDSCAPING COMPLIANCE NOTES:**
- SITE LANDSCAPING**
 - BUILDING FACADE LANDSCAPING:**
 - 1 SHRUB PER EACH 5 FEET OF BUILDING FACADE FACING A STREET.
 - REQUIRED = (60 LF) x (1 SHRUB / 5 LF) = 12 SHRUBS
 - PROVIDED = 12 SHRUBS
 - CANOPY TREE LANDSCAPING:**
 - 2 CALIPER INCHES PER ACRE
 - REQUIRED = (2 CALIPER INCHES/ACRE) * 0.44 AC = 1 ACI
 - PROVIDED = 2.0 ACI CANOPY TREE
 - VEHICULAR USE AREA LANDSCAPING**
 - SCREENING:**
 - REQUIRED = 3' MINIMUM HEIGHT
 - PROVIDED = SHRUBS AND/OR BEACH GRASS AT 5' O.C.
 - CANOPY TREES:**
 - REQUIRED = SHALL BE PLANTED WITHIN 60' OF ALL PARKING SPACES.
 - PROVIDED = ALL PARKING SPACES ARE WITHIN 60' OF A CANOPY TREE
 - MAJOR ARTERIAL STREETSCAPE**
 - 8 AGGREGATE CALIPER INCHES CANOPY TREES / 100 FT
 - REQUIRED = (276 LF) x (8 ACI / 100 LF) = 22 ACI
 - PROVIDED = 11 TREES OF 2.0 CALIPER INCHES = 22 ACI
 - 4.5 AGGREGATE CALIPER INCHES UNDERSTORY TREES / 100 FT
 - REQUIRED = (276 LF) x (4.5 ACI / 100 LF) = 12.5 ACI
 - PROVIDED = 10 TREES OF 1.5 CALIPER INCHES = 15 ACI
 - 10 SHRUBS / 100 LF
 - REQUIRED = (276 LF) x (10 SHRUBS/100 LF) = 28 SHRUBS
 - PROVIDED = 28 SHRUBS
 - SHRUBS SHALL BE 3 GALLON CONTAINERS AND 36" IN HEIGHT WITHIN 3 YEARS OF PLANTING.
 - BUILDING FACADE SHRUBS SHALL BE PLANTED WITHIN 15' OF BUILDING FACADE. HALF OF BUILDING FACADE SHRUBS SHALL BE EVERGREEN.
 - CANOPY TREES SHALL BE 2.0" CALIPER (MINIMUM) AT TIME OF PLANTING. UNDERSTORY TREES SHALL BE 1.5" CALIPER (MINIMUM) AT TIME OF PLANTING.

LIGHTING PHOTOMETRIC PLAN
 SCALE: 1" = 20"
 (SPOTS SHOWN ARE FOOT CANDLES AT GROUND LEVEL)

Luminaire list (Site 1)

Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
1	Not yet a DALI member	Autobahn Small P203 Package Roadway Type IV 3000K 60W	ATB0 P203 R4 3K 60W	1x	8318 lm	0.80	60 W	4
2	Not yet a DALI member	SMALL SURFACE MOUNT CANOPY FIXTURE WITH DIFFUSE LENS (1) 3000K LED MODULE WITH (14) LEDSDXDMXXFRXW6 LD PER MODULE AND (1) INVENTRONICS ELECTRONIC DRIVER	SS0LED101017X	1x X1-3000K	1462 lm	0.80	16.1 W	6

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Overall Site	Perpendicular Illuminance (Adaptive)	0.000 fc	11.3 fc	0.60 fc	-	-
		Luminance (Adaptive)	0.000 cd/m ²	7.73 cd/m ²	0.41 cd/m ²	-	-

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

811
 Know what's below. Call before you dig.

Albemarle & Associates, Ltd.
 Engineering - Environmental - Land Planning

GOLASA HOLDINGS, LLC
804 OCEAN TRAIL

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJ. NO. 08599A

DATE: 09/12/2023
 SURVEYED: SEE NOTES
 DESIGNED: M/JM
 DRAWN: F/CA
 CHECKED: M/JM
 FILE: 08599A

SCALE: 1" = 20'
C202

REVISIONS

NO.	DATE	DESCRIPTION

K:\Active Projects\08599 - Parcel X, Trmck.in\08599A - Site Plan.dwg, 07/12/2023 3:08:36 PM, ICI, ALBEMARLE & ASSOCIATES, LTD., C-1027

