

PROJECT INFORMATION NAME OF PROJECT MONTEREY PINES CONDOMINIUM BUILDING
 ADDRESS 814 CAROLINE COURT, COROLLA, NORTH CAROLINA
 PROPOSED USE RESIDENTIAL (R-2)
 OWNER/AGENT SEASIDE MANAGEMENT- JEFF SHIELDS
 CODE ENFORCEMENT CURRITUCK COUNTY

PROJECT SUMMARY A RESIDENTIAL MULTI-FAMILY APARTMENT BUILDING WITHIN THE MONTEREY PINES SUBDIVISION. THE ORIGINAL STRUCTURE HAD A FIRE AND WAS DEMOLISHED. THIS NEW BUILDING USES SIMILAR PLAN ELEMENTS BUT MEETS CURRENT BUILDING CODES. THE BUILDING HAS 12 UNITS WITH EACH ONE OWNED SEPARATELY AS A CONDOMINIUM.

LEAD PROFESSIONAL BEACON ARCHITECTURE + DESIGN, P.L.L.C.

DESIGNER	FIRM	NAME	TELEPHONE #
ARCHITECTURAL	BEACON ARCHITECTURE + DESIGN, P.L.L.C.	CHRISTOPHER NASON	(252) 441-6767
CIVIL	HOUSE ENGINEERING	RICK HOUSE	(252) 261-8253
STRUCTURAL	HOUSE ENGINEERING	RICK HOUSE	(252) 261-8253
ELECTRICAL	PACE COLLABORATIVE	JAMES E. BARKLEY JR.	(757) 499-7223
FIRE ALARM	PACE COLLABORATIVE	JAMES E. BARKLEY JR.	(757) 499-7223
PLUMBING	PACE COLLABORATIVE	TAYLOR C. JONES	(757) 499-7223
MECHANICAL	PACE COLLABORATIVE	TAYLOR C. JONES	(757) 499-7223
SPRINKLER	TBD- DEFERRED SUBMITTAL POST PERMIT	TBD	(757) 499-7223
TRUSSES	TBD- BY TRUSS MANUFACTURER POST PERMIT	TBD	TBD

BUILDING CODES 2018 NORTH CAROLINA BUILDING CODE
 ICC/ANSI A117.1- 2009

PROJECT DATA

CONSTRUCTION TYPE-	V-B
SPRINKLERS-	YES- NFPA 13r
STANDPIPES-	NO
FIRE DISTRICT-	NO
MEZZANINE-	NO
BUILDING AREAS-	1ST FLOOR ENCLOSED = 4,174 SF
	2ND FLOOR ENCLOSED = 4,136 SF
	3RD FLOOR ENCLOSED = 4,136 SF
	TOTAL= 12,446 SF

SPRINKLERS **13r SPRINKLER SYSTEM REQUIRED AND PROVIDED**
 SPRINKLER PROTECTION SHALL BE PROVIDED FOR EXTERIOR BALCONIES, DECKS AND GROUND FLOOR PATIOS OF DWELLING UNITS WHERE THE BUILDING IS OF TYPE V CONSTRUCTION. SIDEWALL SPRINKLERS THAT ARE USED TO PROTECT SUCH AREAS SHALL BE PERMITTED TO BE LOCATED SUCH THAT THEIR DEFLECTORS ARE WITHIN 1 INCH TO 6 INCHES BELOW STRUCTURAL MEMBERS AND A MAXIMUM DISTANCE OF 14 INCHES BELOW THE DECK OF THE EXTERIOR BALCONIES AND DECKS THAT ARE CONSTRUCTED OF OPEN WOOD JOIST CONSTRUCTION (SECTION 903.2.8).

ALLOWABLE AREA PRIMARY OCCUPANCY - RESIDENTIAL (R-2)
 DESCRIPTION AND USE- CONDOMINIUM APARTMENTS
 ALLOWABLE AREA- 7,000 SF PER STORY (PER TABLE 506.2) W/REQUIRED SPRINKLERS*
 ACTUAL BUILDING AREA- 4,174 SF MAXIMUM ENCLOSED AREA- BUILDING COMPLIES.
 *AREA FOR FRONTAGE IS NOT REQUIRED TO COMPLY WITH CODE

ALLOWABLE HEIGHT ALLOWABLE BUILDING HEIGHT- 60 FEET WITH A NFPA 13R SPRINKLER SYSTEM (PER TABLE 504.3)
 ALLOWABLE NUMBER OF STORIES- 3 STORIES WITH A NFPA 13R SPRINKLER SYSTEM (PER TABLE 504.4)
 ACTUAL BUILDING HEIGHT- +/- 39'-4" FROM FINISHED GRADE TO PEAK OF ROOF

ELEVATOR REQUIREMENTS BUILDING IS NOT REQUIRED TO HAVE AN ELEVATOR SINCE BUILDING IS ONLY 3 STORIES (SEE SECTION 1009.2.1). THE FIRST FLOOR IS ON AN ACCESSIBLE ROUTE (SLAB ON GRADE) AND SHALL CONTAIN THE REQUIRED TYPE B UNITS.

UNIT TYPES TYPE B UNITS SHALL BE REQUIRED ON THE WHOLE FIRST FLOOR WHERE THERE ARE OVER 4 UNITS IN THE BUILDING. TYPE A UNITS ARE NOT REQUIRED BY CODE SINCE THERE ARE LESS THAN 15 UNITS IN THE BUILDING. ACCESSIBLE TYPE UNITS ARE NOT REQUIRED FOR CONDOMINIUMS. (COMPLIANCE PATH= 1104.4 EX.2 TO 1107.4 EX.3&4) TO 1107.6.2.2.1 FOR TYPE A AND B REQUIREMENTS. 1107.6.2.3.1 EX. 4 FOR ACCESSIBLE UNIT REQUIREMENTS.

LIFE SAFETY SYSTEM REQUIREMENTS EMERGENCY LIGHTING REQUIRED AT EXTERIOR STAIRCASES AND COMMON DECK
 EXIT SIGNS REQUIRED AT EXTERIOR STAIRCASES AND COMMON DECK
 FIRE ALARM REQUIRED
 SMOKE DETECTION SYSTEMS REQUIRED
 PANIC HARDWARE NOT REQUIRED
 EGRESS WINDOWS NOT REQUIRED AT SLEEPING ROOMS BUT PROVIDED (SECTION 1030.1)

FIRE PROTECTION REQUIREMENTS FIRE SEPARATION DISTANCE 10 FEET MIN. BETWEEN BUILDINGS SEE ORIGINAL AS-BUILT DRAWING
 ACTUAL DISTANCE BETWEEN BUILDINGS EXCEEDS 20'/2= 10' MINIMUM.
 THUS NO EXTERIOR FIRE RATING REQUIRED PER SECTION 602.
 FOR BUILDINGS ON THE SAME LOT SEE SECTION 705.3. FOR MORE INFO, MINIMUM PROJECTION REQUIREMENTS WOULD NOT APPLY PER SECTION 705.2 EXCEPTION 2.

BEARING WALLS- EXTERIOR 0 HR REQUIRED (SEE TABLE 601)
 NON-BEARING WALLS- EXTERIOR 0 HR REQUIRED (SEE TABLE 601)
 BEARING WALLS- INTERIOR 0 HR REQUIRED AT DWELLING UNITS IN TYPE VB CONSTRUCTION
 SIMILAR FOR THE CONSTRUCTION SUPPORTING THE HORIZONTAL ASSEMBLY (SEE 711.2.3 EXCEPTION 2 FOR SUPPORTING CONSTRUCTION AND TABLE 601)
 NON-BEARING WALLS- INTERIOR 0 HR REQUIRED (SEE TABLE 601)
 SHAFTS 0-1/2 HR MIN. AT HORIZONTAL ASSEMBLY PENETRATION TO MATCH FLOOR RATING.
 FLOOR CONSTRUCTION AT FLAT UNITS 1/2 HR MIN. REQUIRED WITH NFPA 13r SPRINKLER SYSTEM (SEE 711.2.4.3)- 1 HOUR PROVIDED
 2ND FLOOR CEILING/ROOF 1/2 HR REQUIRED AT HORIZONTAL ASSEMBLY (SEE 711.2.4.3)- 1 HOUR PROVIDED
 INTERIOR FIRE PARTITIONS 1/2 HR MIN. REQUIRED WITH NFPA 13r SPRINKLER SYSTEM (SEE 708.3)- 1 HOUR PROVIDED
 BREEZEWAY WALLS 1/2 HR MIN. REQUIRED WITH NFPA13r SPRINKLER SYSTEM (SEE 708.3)- 2 HOUR FIRE WALL PROVIDED TO COMPLY WITH ISO CALCULATIONS
 45% MAXIMUM FOR UNPROTECTED SPRINKLERED BUILDINGS 10-15 FEET
 75% MAXIMUM FOR UNPROTECTED SPRINKLERED BUILDINGS 15-20 FEET
 NO LIMIT FOR UNPROTECTED SPRINKLERED BUILDINGS BEYOND 20 FEET
 NO LIMIT AT FIRE SEPARATION DISTANCES OVER 30 FEET.

OPENINGS BASED UPON FIRE CURRENT DESIGNS DO NOT EXCEED 23% GLAZING FOR EXTERIOR FACADES.
 BUILDING COMPLIES AS IT IS LESS THAN 45% FOR EXTERIOR FACADES.
 AT BREEZEWAY FIRE WALL, ALL OPENINGS DOORS/FRAMES WILL BE FIRE RATED TO MEET TABLE 716.5.

FIREBLOCKING/DRAFTSTOPPING ATTIC FIREBLOCKING OR DRAFTSTOPPING IS NOT REQUIRED AT THE PARTITION LINE IN GROUP R2- BUILDINGS THAT DO NOT EXCEED 4 STORIES IN HEIGHT. PROVIDED THE ATTIC SPACE IS SUBDIVIDED INTO AREAS NOT EXCEEDING 3000 SF OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER. (SEE 708.4 EXCEPTION 4)
 ATTIC FIREBLOCKING OR DRAFTSTOPPING HAS BEEN PROVIDED BY THE ARCHITECT AT EVERY DWELLING UNIT (INCLUDING BETWEEN TRUSSED FLOORS AT TENANT DEMISING WALLS).

INTERIOR FINISHES ALL SPACES WITHIN A R-2 SPRINKLERED USE ARE TO BE CLASS C. FLAME SPREAD INDEX = 76-200.
 SMOKE DEVELOPED INDEX = 0-450. SEE CODE SECTIONS 803 AND TABLE 803.13.

DOOR THRESHOLD THE ENTRY DOOR TO THE FIRST FLOOR TYPE B UNITS SHALL HAVE ADA THRESHOLDS AT TYPE B UNITS. EXTERIOR DECK OR PATIOS (IMPERVIOUS SURFACE) AT THESE TYPE UNITS SHALL NOT HAVE A THRESHOLD MORE THAN 4" BELOW THE FINISHED FLOOR LEVEL. UPPER FLOOR UNITS MAY HAVE A STEP DOWN AS THEY DO NOT HAVE TO BE COMPLIANT.

EXIT REQUIREMENTS NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM OR SPACE DESIGNATION	MIN. NUMBER OF EXITS		COMMON PATH OF TRAVEL	
	REQUIRED	SHOWN	ALLOWABLE	ACTUAL
DWELLING UNIT 1	1	1	125'	+/- 68'-0" MAX.
DWELLING UNIT 2	1	1	125'	+/- 88'-9" MAX.
DWELLING UNIT 3	1	1	125'	+/- 62'-0" MAX.
DWELLING UNIT 4	1	1	125'	+/- 88'-2" MAX.
DWELLING UNIT 5	1	1	125'	+/- 65'-4" MAX.
DWELLING UNIT 6	1	1	125'	+/- 93'-10" MAX.
DWELLING UNIT 7	1	1	125'	+/- 68'-6" MAX.
DWELLING UNIT 8	1	1	125'	+/- 91'-6" MAX.
DWELLING UNIT 9	1	1	125'	+/- 112'-4" MAX.
DWELLING UNIT 10	1	1	125'	+/- 83'-6" MAX.
DWELLING UNIT 11	1	1	125'	+/- 111'-6" MAX.
DWELLING UNIT 12	1	1	125'	+/- 92'-9" MAX.

EXIT NOTES:
 1. EACH DWELLING UNIT IS ONLY REQUIRED TO HAVE ONE MEANS OF EGRESS PER SECTION (1006.2.1 EX 1). WITH AN AUTOMATIC SPRINKLER SYSTEM AND AN OCCUPANT LOAD OF LESS THAN 20 WITHIN THE DWELLING UNIT.
 2. THE COMMON PATH OF TRAVEL DOES NOT EXCEED VALUES ABOVE FOR R-2 USES WITH AN NFPA 13r SPRINKLER SYSTEM.
 3. THE OCCUPANT LOAD FOR EACH DWELLING UNIT DOES NOT EXCEED 10 PEOPLE (TABLE 1006.2.1).
 4. FOR STORIES WITH ONE EXIT OR ACCES FOR R-2 OCCUPANCIES, PROPOSED NUMBER OF DWELLING UNIT PER FLOOR DOES NOT EXCEED 4 PER FLOOR (TABLE 1006.3.2(1)).

EXIT/EXIT ACCESS
EXIT WIDTH (3 STORY)- NOTE ALL DWELLING UNITS ARE MEASURED FROM CL OF TENANT DEMISING WALL AND FRONT & BACK STUD FACE

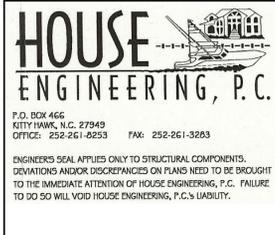
FLOOR, ROOM OR SPACE DESIGNATION	(a)		(b)		EGRESS COMPONENTS (IN./OCC.)	REQUIRED WIDTH	STAIRWAYS (IN./OCC.) W/SPRINKLERS	REQUIRED WIDTH	ACTUAL WIDTH SHOWN ON PLANS
	AREA	AREA/OCC.	OCC.S	OCC.S					
DWELLING UNIT 1	1,034 G	200 G	5.1	0.15	0.7"	N/A- SLAB ON GRADE	36" MIN. (WITHIN UNIT)*		
DWELLING UNIT 2	1,034 G	200 G	5.1	0.15	0.7"	N/A- SLAB ON GRADE	36" MIN. (WITHIN UNIT)*		
DWELLING UNIT 3	1,034 G	200 G	5.1	0.15	0.7"	N/A- SLAB ON GRADE	36" MIN. (WITHIN UNIT)*		
DWELLING UNIT 4	1,034 G	200 G	5.1	0.15	0.7"	N/A- SLAB ON GRADE	36" MIN. (WITHIN UNIT)*		
SPRINKLER RISER RM.	39 G	500 G	0.1	0.15	0.1"	N/A- SLAB ON GRADE	32" MIN. CLR. AT DOOR		
1ST FLOOR TOTAL			20.5		2.9"		36" MIN. (WITHIN UNIT)*		
DWELLING UNIT 5	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
DWELLING UNIT 6	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
DWELLING UNIT 7	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
DWELLING UNIT 8	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
2ND FLOOR TOTAL			20.4		2.8"		4.0"		
DWELLING UNIT 9	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
DWELLING UNIT 10	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
DWELLING UNIT 11	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
DWELLING UNIT 12	1,034 G	200 G	5.1	0.15	0.7"	0.20	1.0"		
3RD FLOOR TOTAL			20.4		2.8"		4.0"		
BUILDING TOTAL			61.3 (62 OCCUPANTS)		8.5"		8.0"		

*HALLWAY WIDTH WITHIN A DWELLING UNIT MUST BE 36" MINIMUM FINISHED CLEAR.

PLUMBING FIXTURE REQUIREMENTS

RESIDENTIAL OCCUPANCY	WATERCLOSETS		LAVATORIES		BATH TUBS OR SHOWERS	DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE			
REQUIRED FIXTURES	1 PER DWELLING UNIT		1 PER DWELLING UNIT		1	N/A	1 KITCHEN SINK PER UNIT
PROVIDED FIXTURES	1 MINIMUM		1 MINIMUM		1 MIN.	N/A	1 WASH/DRY PER UNIT

ISO FIRE FLOW NOTE:
 FOR THE ISO CALCULATIONS, EACH SIDE OF THE BREEZEWAY FLOORS SHALL BE CONSIDERED SEPARATE BUILDINGS PER CHAPTER 5 OF THE ISO GUIDE FOR DETERMINATION OF FIRE FLOW (EDITION 06-2014). SEE CHAPTER 5 FOR REQUIREMENTS. THE ARCHITECT HAS PROVIDED FIRE FLOW CALCULATIONS TO CURRITUCK COUNTY FOR REVIEW AND THEY HAVE BEEN APPROVED.



PROJECT NAME:
MONTEREY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
APPENDIX B CODE ANALYSIS

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

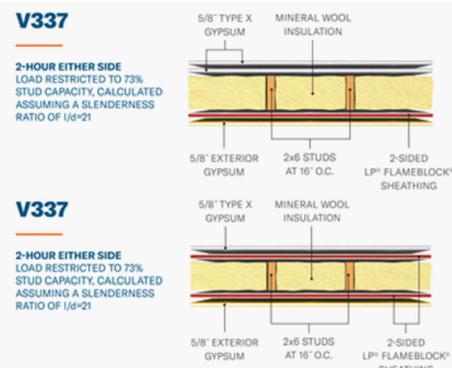
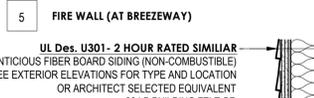
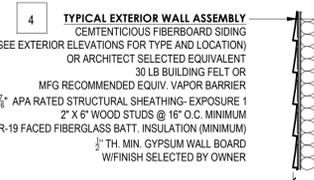
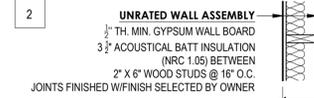
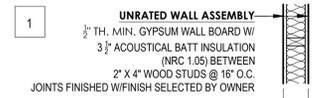
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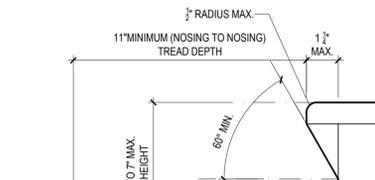
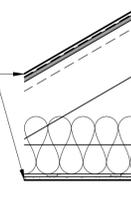
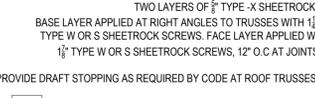
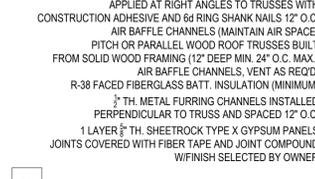
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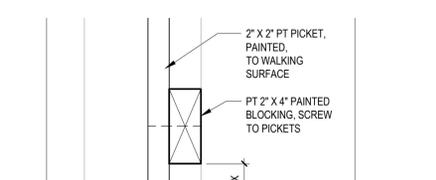
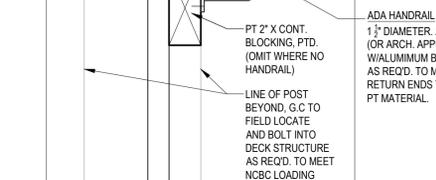
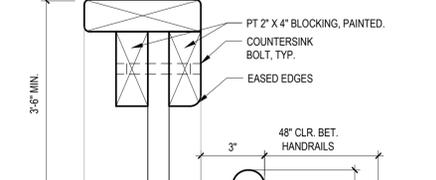
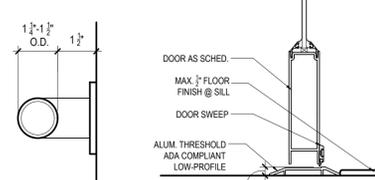
WALL ASSEMBLIES



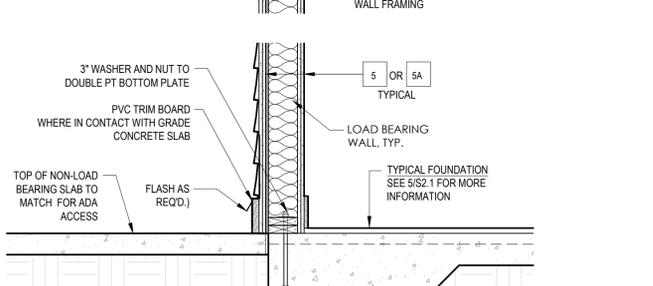
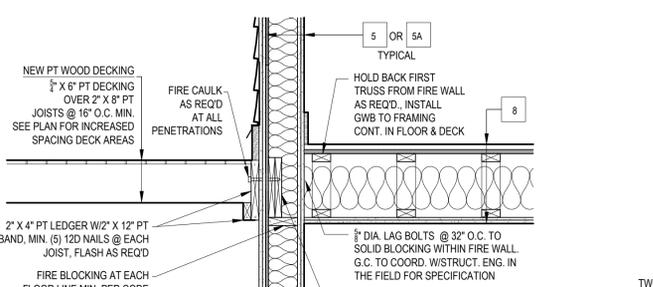
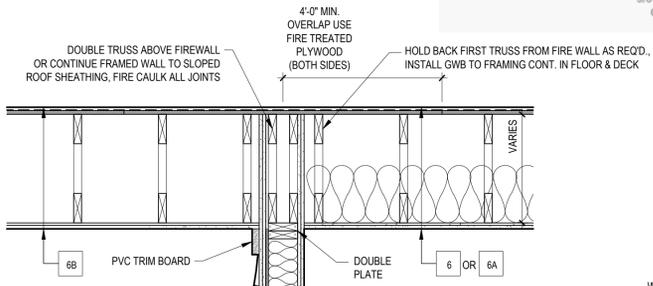
ROOF/CEILING ASSEMBLIES



COMMERCIAL STAIR

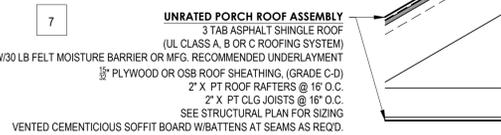


EXTERIOR HANDRAIL/GUARDRAIL

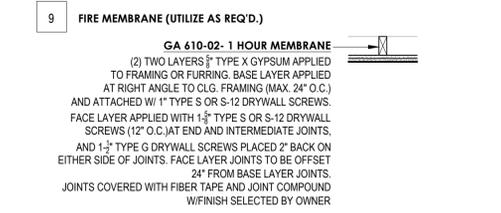
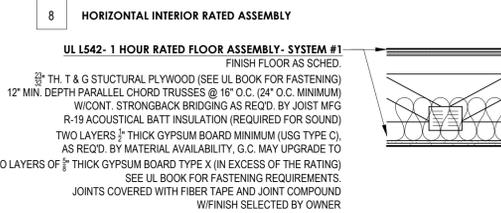


1 FIRE RESISTIVE ASSEMBLIES SCALE:N.T.S.

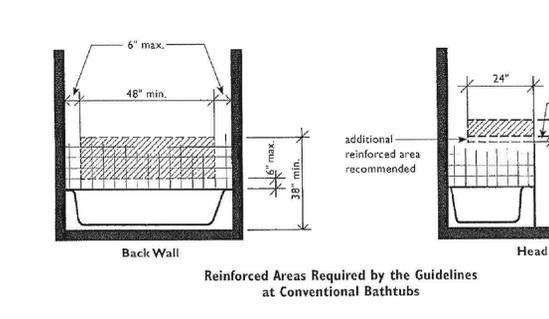
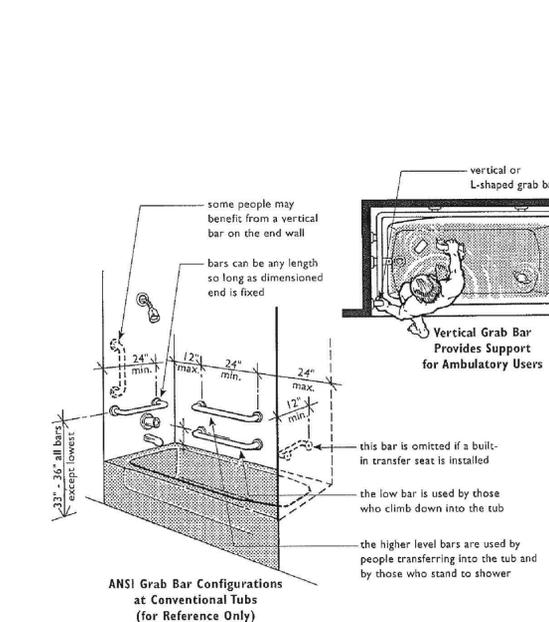
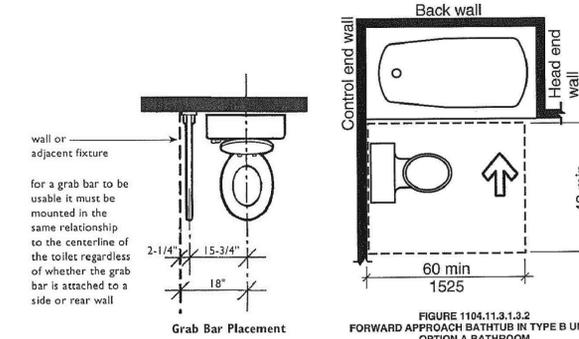
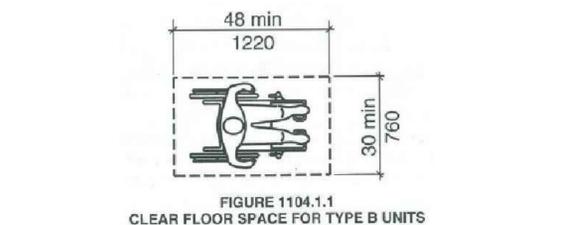
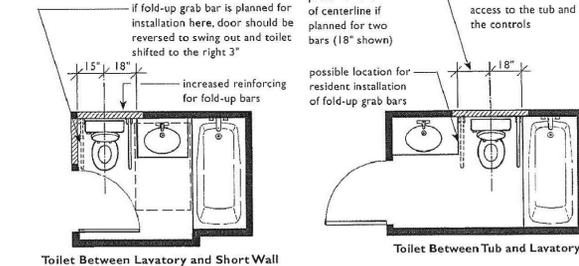
FIREWALL SECTION



FLOOR ASSEMBLIES



3 TYPE B UNIT DETAILS SCALE:N.T.S.



BEACON
ARCHITECTURE + DESIGN, P.L.L.C.
P.O. BOX 1827
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HOUSE ENGINEERING, P.C.
P.O. BOX 465
KITTY HAWK, N.C. 27949
OFFICE: 252-261-0253 FAX: 252-261-3263

ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. DEVIATIONS AND/OR DISCREPANCIES ON PLANS NEED TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF HOUSE ENGINEERING, P.C. FAILURE TO DO SO WILL VOID HOUSE ENGINEERING, P.C.'S LIABILITY.

PROJECT NAME:
MONTERAY PINES
816 Caroline Ct.
Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
FIRE RESISTIVE ASSEMBLIES AND DETAILS

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

SCALE: VARIES

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3 / 20 / 23

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GENERAL NOTES:

1. INSPECT AND VERIFY ALL DIMENSIONS ON THE PROJECT AND SITE AS MAY RELATE TO THE EXTENT OF CONSTRUCTION AND/OR DEMOLITION.
2. THE CONTRACTOR/OWNER SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS AS MAY BE REQUIRED TO PROCEED WITH DEMOLITION AND CONSTRUCTION.
3. ALL WORK PERFORMED SHALL MEET ALL TOWN, COUNTY AND STATE CODES.
4. DO NOT SCALE DRAWINGS.
5. VERIFY ALL DOOR/WINDOW ROUGH OPENINGS WITH DOOR MFG. SPEC.
6. ALL PILINGS SHALL BE AS DEEP AS REQUIRED TO MEET CODES. CONTRACTOR TO VERIFY IN THE FIELD
7. CONTRACTOR TO USE TEMPERED GLASS IN ANY WINDOW OR DOOR THAT IS WITHIN 18" OF THE FINISHED FLOOR.
8. CONTRACTOR TO CONFIRM PLAN DIMENSIONS PRIOR TO CONSTRUCTION WITH EXISTING SITE CONSTRAINTS. CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT OF ANY PROBLEMS PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL MANUALS AND MAINTENANCE INFORMATION BEFORE THE FINAL PAYMENT. THE CONTRACTOR SHALL WARRANTY THE WORK FOR THE PERIOD OF ONE YEAR.
10. SEE 2/A4.1 FOR WINDOW LEGEND.
11. SEE 1/A4.1 FOR DOOR LEGEND.

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
BUILDING PLANS

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

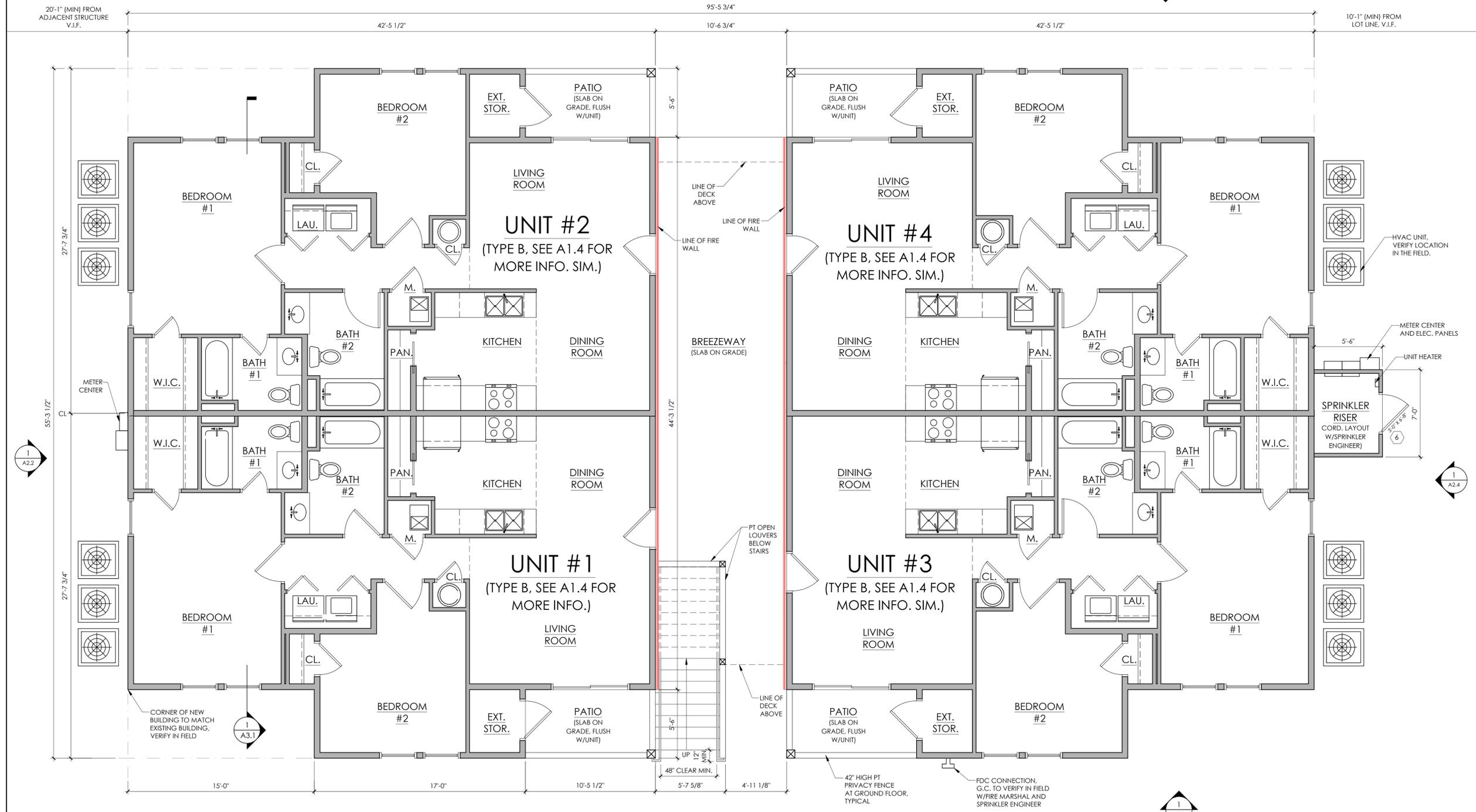
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1 GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION # 1	3 / 20 / 23

DRAWING NAME:
BUILDING PLANS

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

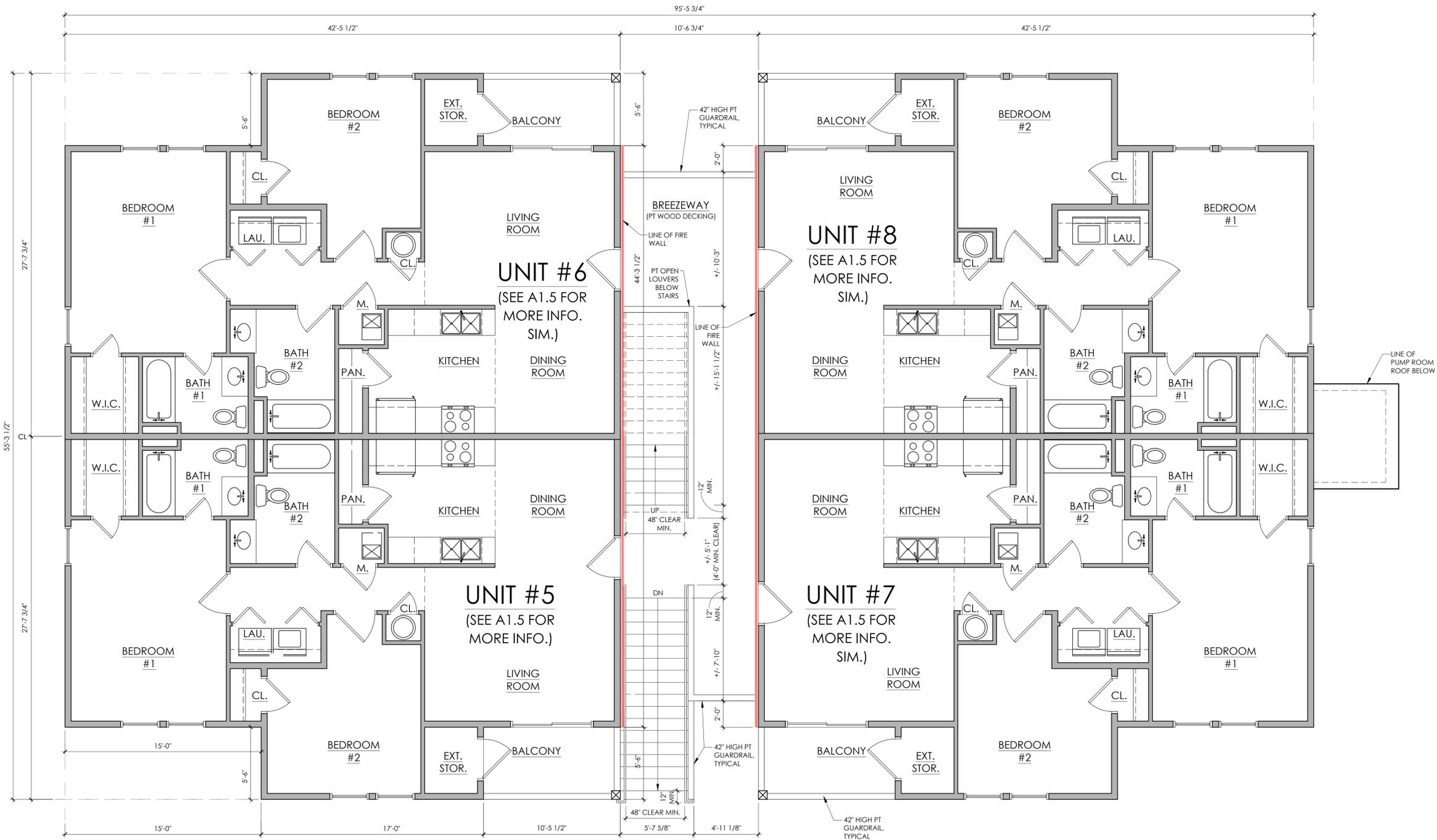
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 3 / 20 / 23



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1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
BUILDING PLANS

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

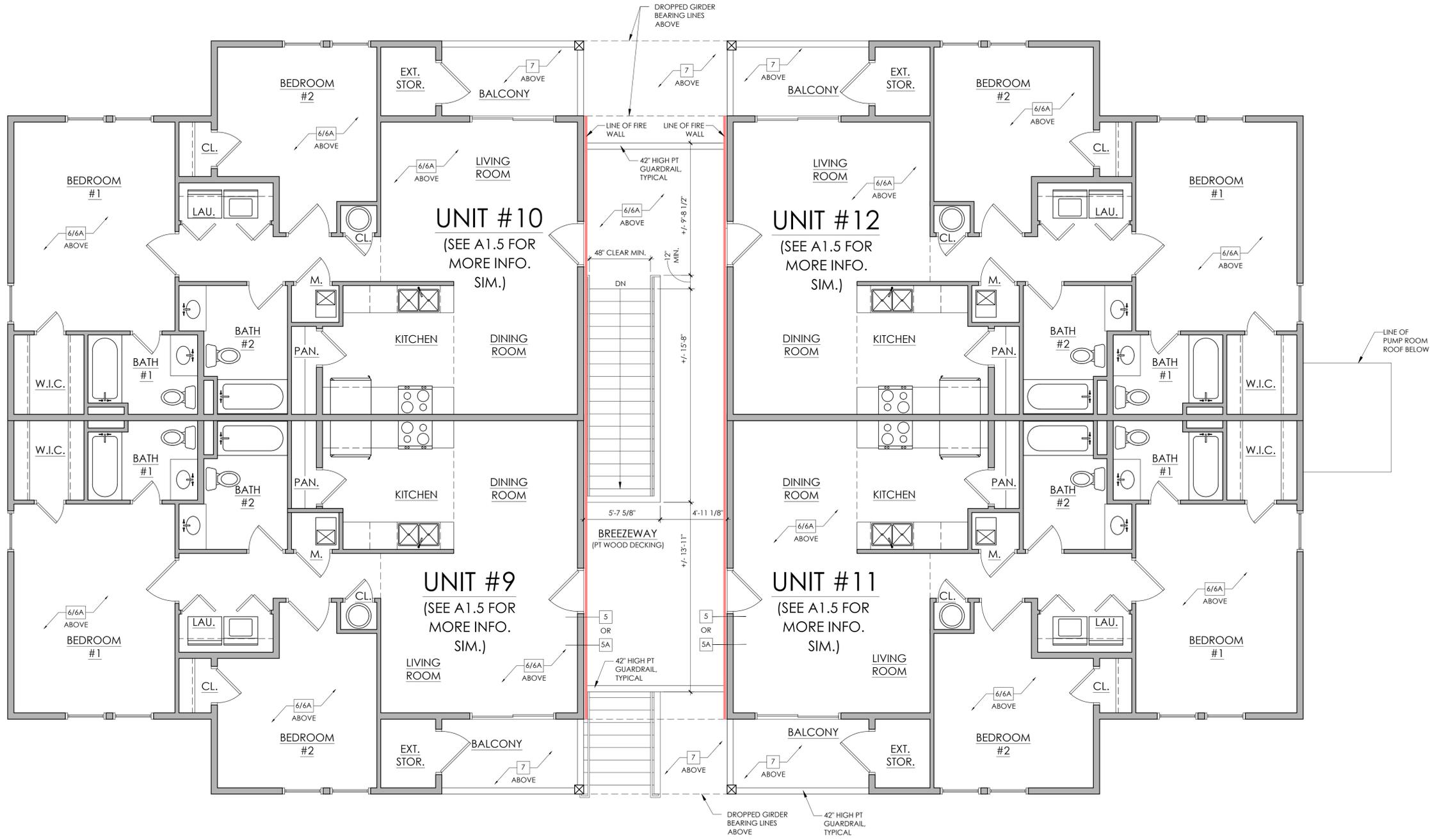
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SHEET:
A1.3



1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
ENLARGED UNIT PLAN

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

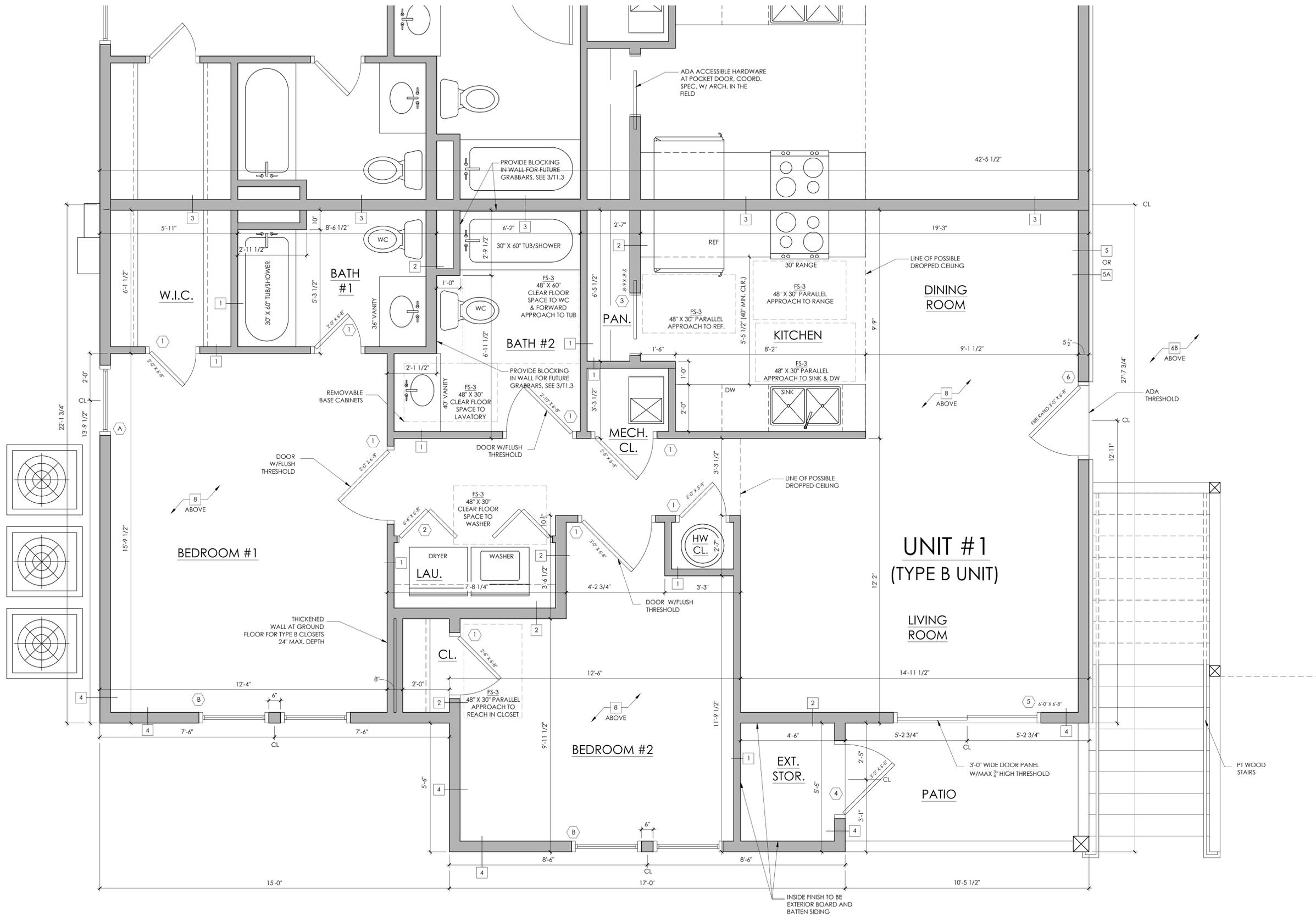
SCALE: -

STAMP:

 3 / 20 / 23

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SHEET:
A1.4



1 UNIT 1 ENLARGED FLOOR PLAN - TYPE B UNIT
 SCALE: 1/2" = 1'-0"

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
ENLARGED UNIT PLAN

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

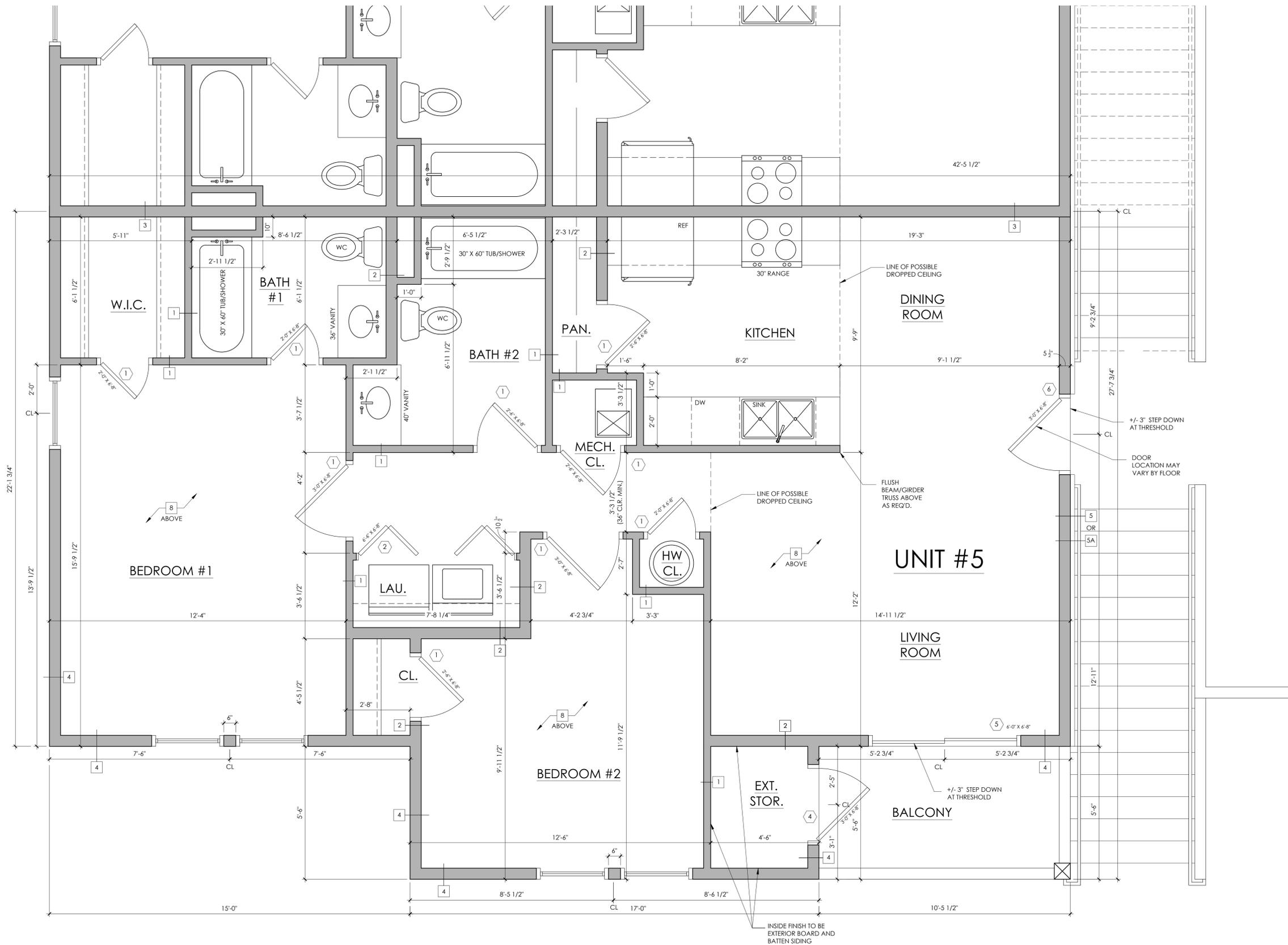
SCALE: -

STAMP:

3 / 20 / 23

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SHEET:
A1.5



1 UNIT 5 ENLARGED FLOOR PLAN - TYPICAL UNIT
 SCALE: 1/2" = 1'-0"

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
EXTERIOR ELEVATION

ISSUED FOR CONSTRUCTION

DRAWN BY: CN
 DATE: 3 / 20 / 23

SCALE: -

STAMP:
 3 / 20 / 23



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SHEET:
A2.3



1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
EXTERIOR ELEVATION

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

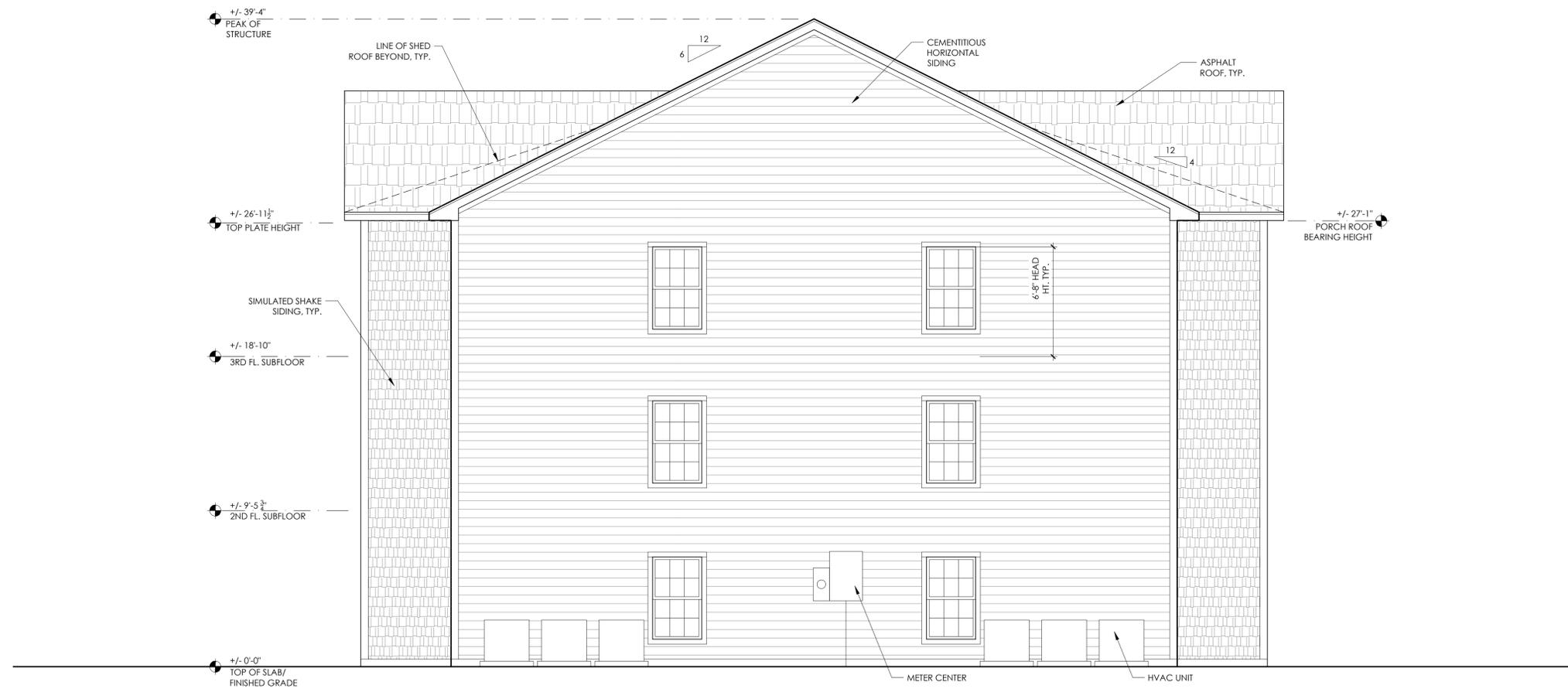
DATE: 3 / 20 / 23

SCALE: -

STAMP:
 3 / 20 / 23


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SHEET:
A2.2



1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT NAME:
MONTERAY
PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
EXTERIOR
ELEVATIONS

ISSUED FOR
CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

SCALE: -

STAMP:
 3 / 20 / 23

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SHEET:
A2.1



1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
EXTERIOR ELEVATIONS

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

DATE: 3 / 20 / 23

SCALE: -

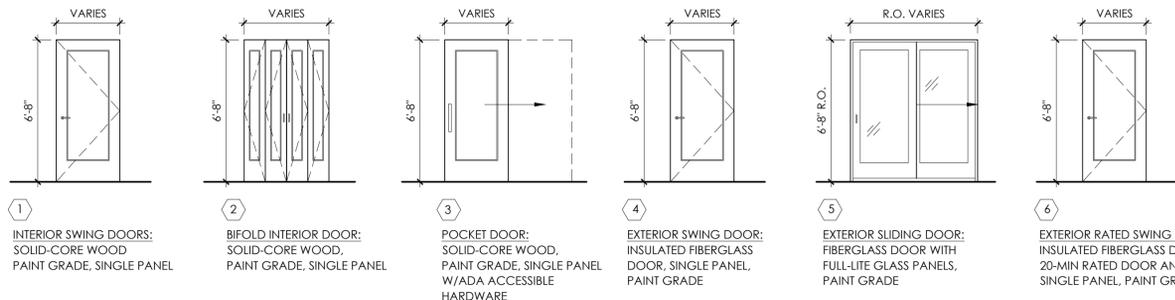
STAMP:
 3 / 20 / 23


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SHEET:
A2.4



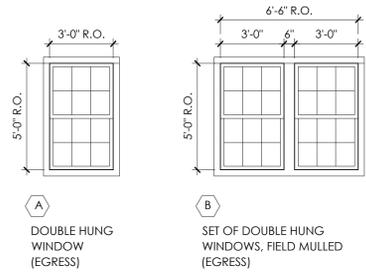
1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



NOTES:
 1. FOR INTERIOR DOORS, WIDTH AND HEIGHT VALUES REPRESENT ACTUAL DOOR SIZE AND NOT FRAME SIZE.
 2. ALL FRAMES THAT ARE PART OF A RATED ASSEMBLY MUST BE RATED.
 3. CONTRACTOR TO CONFIRM THE CORRECT "HAND" OF EACH DOOR PRIOR TO PURCHASING.
 4. ALL LOCKSETS AND LATCHSETS TO RECEIVE ADA APPROVED LEVER HANDLES.
 5. ALL RATED DOORS TO HAVE CLOSERS.

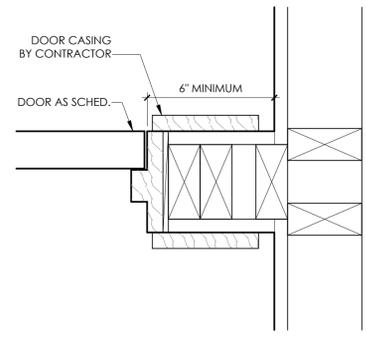
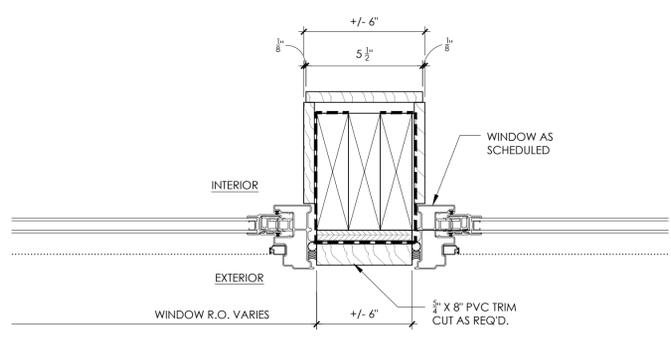
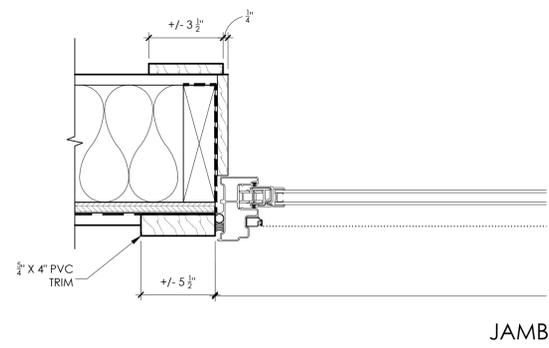
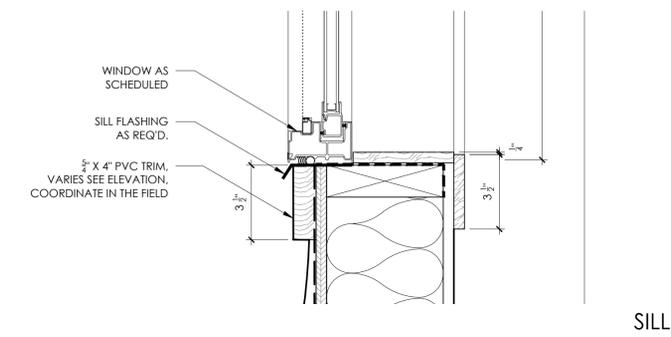
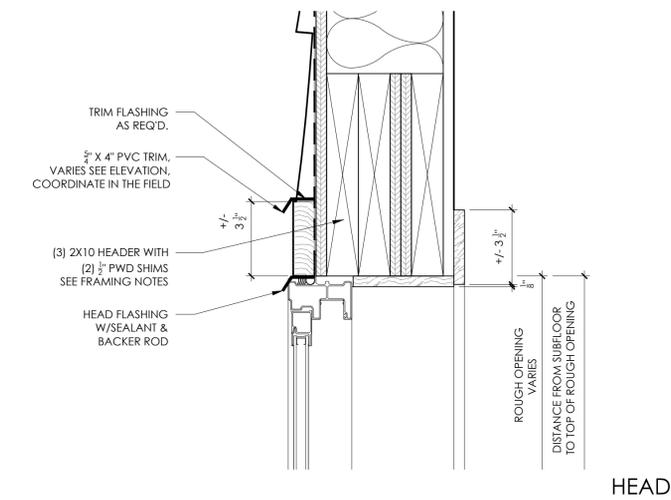
- 1. INTERIOR SWING DOORS: SOLID-CORE WOOD, PAINT GRADE, SINGLE PANEL
- 2. BIFOLD INTERIOR DOOR: SOLID-CORE WOOD, PAINT GRADE, SINGLE PANEL
- 3. POCKET DOOR: SOLID-CORE WOOD, PAINT GRADE, SINGLE PANEL W/ADA ACCESSIBLE HARDWARE
- 4. EXTERIOR SWING DOOR: INSULATED FIBERGLASS DOOR, SINGLE PANEL, PAINT GRADE
- 5. EXTERIOR SLIDING DOOR: FIBERGLASS DOOR WITH FULL-LITE GLASS PANELS, PAINT GRADE
- 6. EXTERIOR RATED SWING DOOR: INSULATED FIBERGLASS DOOR, 20-MIN RATED DOOR AND FRAME, SINGLE PANEL, PAINT GRADE

1 DOOR LEGEND
NOT TO SCALE



WINDOW NOTES:
 1. MUNTINS ARE TO BE AS SHOWN ON WINDOW TYPES.
 2. SET ALL WINDOWS AT 6'-8" A.F.F. TO MATCH DOORS U.O.N. SEE EXTERIOR ELEVATIONS FOR MORE INFO.
 3. ALL WINDOW SIZES ARE APPROXIMATE AND DO NOT REPRESENT ROUGH OPENING SIZES. ACTUAL SIZE MAY VARY DEPENDING UPON FINAL MFG.
 4. ALL WINDOWS TO BE DESIGNED FOR 130 MPH WIND VELOCITY (3 SEC. GUST). WINDOW ATTACHMENT TO WALL STUDS TO BE DESIGNED BY WINDOW MANUF. OR OTHERS. WINDOW CONFIGURATIONS TO BE VERIFIED FOR INTENDED USE IN HIGH WIND ZONES. WINDOW UNITS IN MULTIPLE CONFIGURATIONS TO BE SELF SUPPORTING. MULLIONS TO BE DESIGNED BY MANUFACTURER OR OTHERS.
 5. G.C. TO CONFIRM IF WINDOWS AND DOORS TO MEET ASTM-E 1996 AND ASTM-E 1886 STANDARDS FOR WIND BOURNE DEBRIS BASED UPON PROJECT LOCATION
 6. WINDOW COLOR TO BE WHITE, UNLESS OTHERWISE REQUESTED BY THE ARCHITECT.
 7. WINDOWS SHOULD MEET 2018 NC ENERGY CODE REQUIREMENTS (U-VALUES AND SHGC).
 8. G.C. TO PROVIDE WINDOW SUBMITTALS TO ARCHITECT FOR REVIEW DURING CONSTRUCTION AND PRIOR TO PURCHASE.

2 WINDOW LEGEND
NOT TO SCALE



3 TYPICAL DOOR JAMB DETAIL
NOT TO SCALE

4 TYPICAL WINDOW DETAILS
NOT TO SCALE

BEACON
 ARCHITECTURE + DESIGN, P.L.L.C.
 P.O. BOX 1827
 KITTY HAWK, NC 27949
 PH: (252) 441-6767, FAX (252) 261-6045

HOUSE ENGINEERING, P.C.
 P.O. BOX 465
 KITTY HAWK, N.C. 27949
 OFFICE: 252-261-0253 FAX: 252-261-3263

ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. DEVIATIONS AND/OR DISCREPANCIES ON PLANS NEED TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF HOUSE ENGINEERING, P.C. FAILURE TO DO SO WILL VOID HOUSE ENGINEERING, P.C.'S LIABILITY.

PROJECT NAME:
MONTERAY PINES
 816 Caroline Ct.
 Corolla, NC

REVISIONS:	DATE:
ISSUED FOR CONST.	3 / 3 / 23
REVISION #1	3 / 20 / 23

DRAWING NAME:
SCHEDULES AND LEGENDS

ISSUED FOR CONSTRUCTION

DRAWN BY: CN

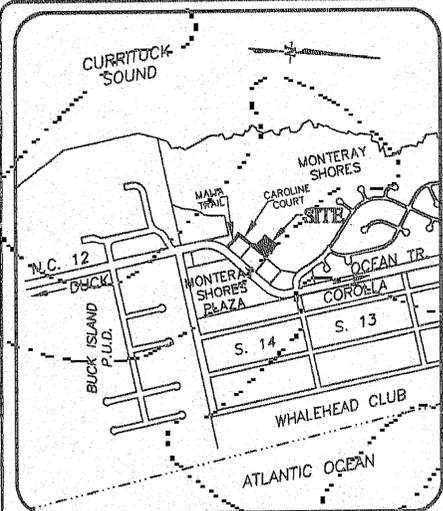
DATE: 3 / 20 / 23

SCALE: -

STAMP:
 3 / 20 / 23

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SHEET:
A4.1



VICINITY MAP
N.T.S.

CERTIFICATE OF OWNERSHIP AND REDEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, ALLEYS, WALKS, PARKS, OPEN SPACE, AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE, AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

9/21/01 DATE
S. R. McNeill G.P. OWNER

NOTARY CERTIFICATE

I, Donna R. McNeill NOTARY PUBLIC OF Dare COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT S. R. McNeill PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE. WITNESS MY HAND AND OFFICIAL SEAL THIS 21 DAY OF September 2001.

MY COMMISSION EXPIRES November 6, 2005

CERTIFICATE OF REVIEW OFFICER

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK
H. B. Brinson, Jr. REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR THIS RECORDING.

H. B. Brinson, Jr. REVIEW OFFICER'S SIGNATURE
9/25/01 DATE

CERTIFICATE OF REGISTRAR

THE FOREGOING CERTIFICATE OF _____ P.L.S. IS CERTIFIED TO BE CORRECT, PRESENTED FOR REGISTRATION THIS THE _____ DAY OF _____ AT _____ O'CLOCK _____, AND RECORDED IN THIS OFFICE IN P.C. _____, S.L. _____.

REGISTER OF DEEDS

VERIFIED STATEMENT OF ENGINEER

I, CARLOS F. GOMEZ, AM AN ENGINEER REGISTERED UNDER THE PROVISIONS OF CHAPTER 89C OF THE NORTH CAROLINA GENERAL STATUTES. I CERTIFY THAT THESE PLATS AND PLANS FULLY AND ACCURATELY DEPICT THE VERTICAL LOCATION, CEILING AND FLOOR ELEVATIONS, UNIT NUMBERS AND DIMENSIONS OF THE UNITS, AS BUILT.

CERTIFICATE OF SURVEY AND ACCURACY

I HEREBY CERTIFY THAT THIS MAP DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE ERROR OF CLOSURE AS CALCULATED BY LATITUDES AND DEPARTURES IS 1:10,000+; THAT THE BOUNDARIES NOT ACTUALLY SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN EXISTING RECORDS AND THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30, AS AMENDED; THAT THIS SURVEY DOES NOT CREATE A DIVISION OF LAND IN AN AREA OF A COUNTY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND, BASED ON SURVEY RECORDED IN P.C. G, S.L. 175.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 21 DAY OF Sept., 2001

CFG
PROFESSIONAL LAND SURVEYOR
SEAL 3241
NORTH CAROLINA PROFESSIONAL LAND SURVEYORS

CERTIFICATE OF APPROVAL

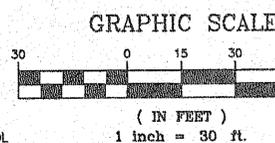
I HEREBY CERTIFY THAT ALL STREETS SHOWN ON THIS PLAT ARE WITHIN CURRITUCK COUNTY, ALL STREETS AND OTHER IMPROVEMENTS SHOWN ON THIS PLAT HAVE BEEN INSTALLED OR COMPLETED AND THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY U.D.O., AND THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY PLANNING BOARD AND SIGNED BY THE CHAIRMAN, BOARD OF COMMISSIONERS, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN NINETY (90) DAYS OF THE DATE BELOW.

9/25/01 DATE
Robert E. Hines CHAIRMAN, BOARD OF COMMISSIONERS

LINE	LENGTH	BEARING
L3	28.89'	N 81°02'49" E
L4	20.88'	S 43°03'29" E
L5	32.72'	N 02°44'58" W
L6	32.72'	N 74°50'18" E

- NOTES:
1. ADDRESS: 814,815,816,817 CAROLINE COURT INDIVIDUAL UNITS FOR EACH BUILDING TO BE DESIGNATED AS A, B, C, etc.
 2. PROPERTY LOCATED IN FIRM ZONE "C" COMMUNITY PANEL#: 370078 0304 C FIRM ZONE INDEX DATED: 7/3/95
 3. COMMERCIAL PARCEL 5 HAS NO DIRECT ACCESS TO N.C. 12 (OCEAN TRAIL)
 4. 15' DRAINAGE & UTILITY EASEMENT ON FRONT 10' DRAINAGE & UTILITY EASEMENT ON REAR AND SIDE
 5. ONLY 24 OF 48 UNITS SHOWN SHALL BE CONDOMINIUMIZED FOR THE PURPOSE OF TRANSFER OF OWNERSHIP.
 6. PROPERTY SUBJECT TO A FULL AND ACCURATE TITLE SEARCH.
 7. See Declaration of Unit Ownership for Monterey Pines Condominiums Book 547 PAGE 526 Currituck County Public Registry.

LINE TABLE			CURVE TABLE				
LINE	LENGTH	BEARING	CURVE	RADIUS	LENGTH	CHORD	BEARING
L1	15.00'	N 36°02'49" E	C1	15.00'	14.91'	14.30'	N 07°34'13" E
L2	6.02'	S 38°02'49" W	C2	15.00'	14.91'	14.30'	N 07°34'13" E
			C3	55.00'	28.74'	28.42'	N 05°56'01" W
			C4	55.00'	25.93'	25.69'	N 22°32'22" E



Filed for registration on the 21 day of Sept., 2001
at 3:35 local P.M.
Carroll
C. Carroll
County Clerk
Currituck County, N.C.

Coastal
ENGINEERING & SURVEYING, INC.
Civil - Structural Site Development

934 W. Kitty Hawk Rd.
P.O. Box 1129
Kitty Hawk, N.C. 27949
(252)-261-4151

NO.	DATE	DESCRIPTION
1	9/21	DATE OF SURVEY

REVISIONS

BY: CFG

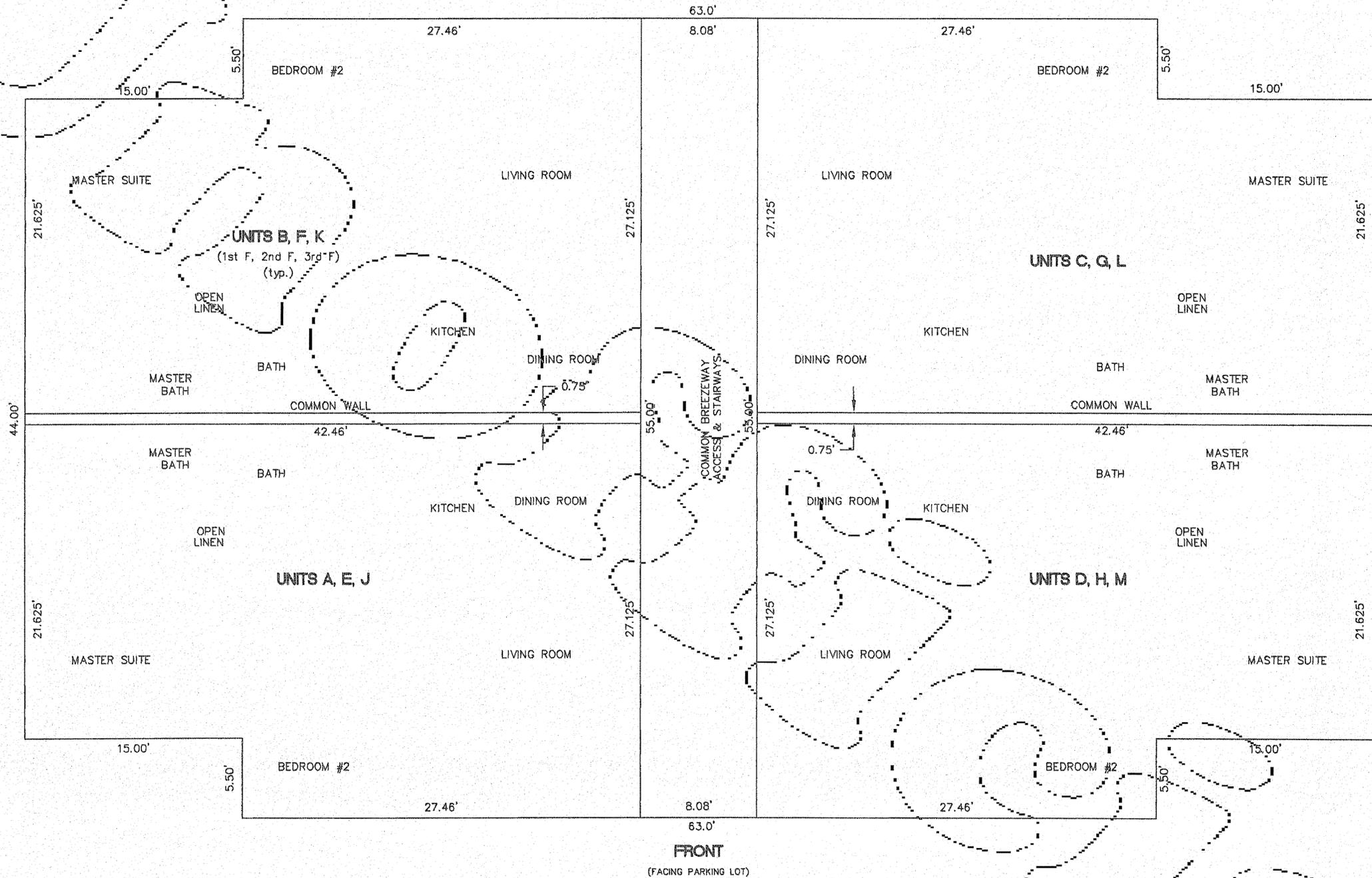
DATE: 9/21

DESCRIPTION: DATE OF SURVEY

MONTERAY PINES CONDOMINIUMS
SOUTHPAW BV LLC
NORTH CAROLINA
CURRITUCK COUNTY
MONTERAY PINES CONDOMINIUMS
SOUTHPAW BV LLC
NORTH CAROLINA
CURRITUCK COUNTY
MONTERAY PINES CONDOMINIUMS
SOUTHPAW BV LLC
NORTH CAROLINA
CURRITUCK COUNTY

DATE: 8/17/01
SCALE: 1" = 30'
CHECKED: CFG
DRAWN: JMH
PROJECT NO: P369.01
CAD FILE: P369-condo
SHEET: 1 of 2

NOTE:
ALL DIMENSIONS SHOWN ARE EXTERIOR WALL DIMENSIONS. COMMON WALL DIMENSION IS FROM EXTERIOR TO EXTERIOR.



Filled for registration on the 28th day of Sept., 2001
 3235 - 01001 P
 CONDO - Page 134
 Carlos F. Gomez, P.E.
 Registrar of Deeds

934 W. Kitty Hawk Rd
 P.O. Box 1129
 Kitty Hawk, N.C. 27949
 (252)-261-4151
Coastal
 ENGINEERING & SURVEYING, INC.
 Civil - Structural
 Site Development

NO.	DATE	REVISIONS DESCRIPTION

MONTEREY PINES CONDOMINIUMS
 SOUTHPAW BVI LLC
 CURRITUCK COUNTY
 NORTII CAROLINA
 POPLAR BRANCH TWSIP.
CONDOMINIUM PLAN

VERIFIED STATEMENT OF ENGINEER

I, CARLOS F. GOMEZ, AM AN ENGINEER REGISTERED UNDER THE PROVISIONS OF CHAPTER 89C OF THE NORTH CAROLINA GENERAL STATUTES. I CERTIFY THAT THESE PLATS AND PLANS FULLY AND ACCURATELY DEPICT THE LAYOUT, LOCATION, CEILING AND FLOOR ELEVATIONS, UNIT NUMBERS AND DIMENSIONS OF THE UNITS AS BUILT.

ENGINEER
 9/20/01



BUILDING B14

UNITS A, B, C, & D (FIRST FLOOR)
 LOWEST FLOOR ELEV. - 16.02'
 HIGHEST CEILING ELEV. - 24.02'
 UNITS E, F, G, & H (SECOND FLOOR)
 LOWEST FLOOR ELEV. - 25.11'
 HIGHEST CEILING ELEV. - 33.11'
 UNITS J, K, L, & M (THIRD FLOOR)
 LOWEST FLOOR ELEV. - 34.28'
 HIGHEST CEILING ELEV. - 41.28'

BUILDING B15

UNITS A, B, C, & D (FIRST FLOOR)
 LOWEST FLOOR ELEV. - 16.09'
 HIGHEST CEILING ELEV. - 24.09'
 UNITS E, F, G, & H (SECOND FLOOR)
 LOWEST FLOOR ELEV. - 25.03'
 HIGHEST CEILING ELEV. - 33.03'
 UNITS J, K, L, & M (THIRD FLOOR)
 LOWEST FLOOR ELEV. - 34.19'
 HIGHEST CEILING ELEV. - 41.19'

BUILDING B16

UNITS A, B, C, & D (FIRST FLOOR)
 LOWEST FLOOR ELEV. - 16.10'
 HIGHEST CEILING ELEV. - 24.10'
 UNITS E, F, G, & H (SECOND FLOOR)
 LOWEST FLOOR ELEV. - 25.11'
 HIGHEST CEILING ELEV. - 33.11'
 UNITS J, K, L, & M (THIRD FLOOR)
 LOWEST FLOOR ELEV. - 34.16'
 HIGHEST CEILING ELEV. - 41.16'

BUILDING B17

UNITS A, B, C, & D (FIRST FLOOR)
 LOWEST FLOOR ELEV. - 16.12'
 HIGHEST CEILING ELEV. - 24.12'
 UNITS E, F, G, & H (SECOND FLOOR)
 LOWEST FLOOR ELEV. - 25.13'
 HIGHEST CEILING ELEV. - 33.13'
 UNITS J, K, L, & M (THIRD FLOOR)
 LOWEST FLOOR ELEV. - 34.41'
 HIGHEST CEILING ELEV. - 41.41'

DATE:	8/17/01	SCALE:	1"=5'
CHECKED:	CFG	DRAWN:	JMH
PROJECT NO:	P369.01		
CAD FILE:	P369-condo		
SHEET:	2 of 2		