

**WASTEWATER NOTES**

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- NEW WASTEWATER SYSTEM DESIGN PARAMETERS:  
DESIGN FLOW: 12 EMPLOYEES @ 25 GALLONS PER DAY (GPD) PER PERSON = 300 GPD.  
ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.4 GPD/SQ.FT. FOR A CONVENTIONAL BED SYSTEM.  
(4) 62.5" LINES @ 9" O.C. (250 LN. FT. TOTAL)
- UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTION 1900 "LAWS AND RULES FOR SEWAGE TREATMENT AND DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WASTEWATER SECTION (15 NCAC 18A1900).
- CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT.
- MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
- FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS SAND OR LOAMY SAND (SOIL GROUP I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INCHES OF FILL USED TO COVER THE SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE ESTABLISHMENT OF A VEGETATIVE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO A DEPTH OF SIX INCHES BELOW THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL BE REMOVED BEFORE THE FILL MATERIAL IS INCORPORATED.
- ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER. VEGETATE DRAINFIELD AREA AS SPECIFIED IN LANDSCAPE PLAN (BY OTHERS).

SYMBOL	QUANTITY	COMMON NAME	HEIGHT	SPREAD	MIN. SIZE @ PLANTING
61***		DWARF AZALEA*	3' - 6' HT.	3'-6"	3 GALLON
		DWARF HORNED HOLLY*	3' - 4' HT.	3'-4"	3 GALLON
		DWARF YAUPOIN HOLLY*	3' - 5' HT.	3'-6"	3 GALLON
		SOUTHERN WAX MYRTLE*	10' - 15' HT.	8'-10"	3 GALLON
10		LIVE OAK**	30' - 50' HT.	50'-80"	2" CAL. 8' HT.

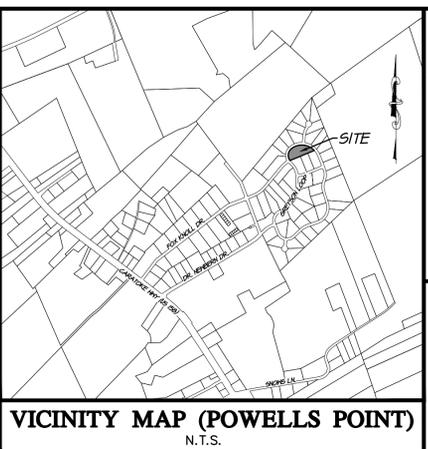
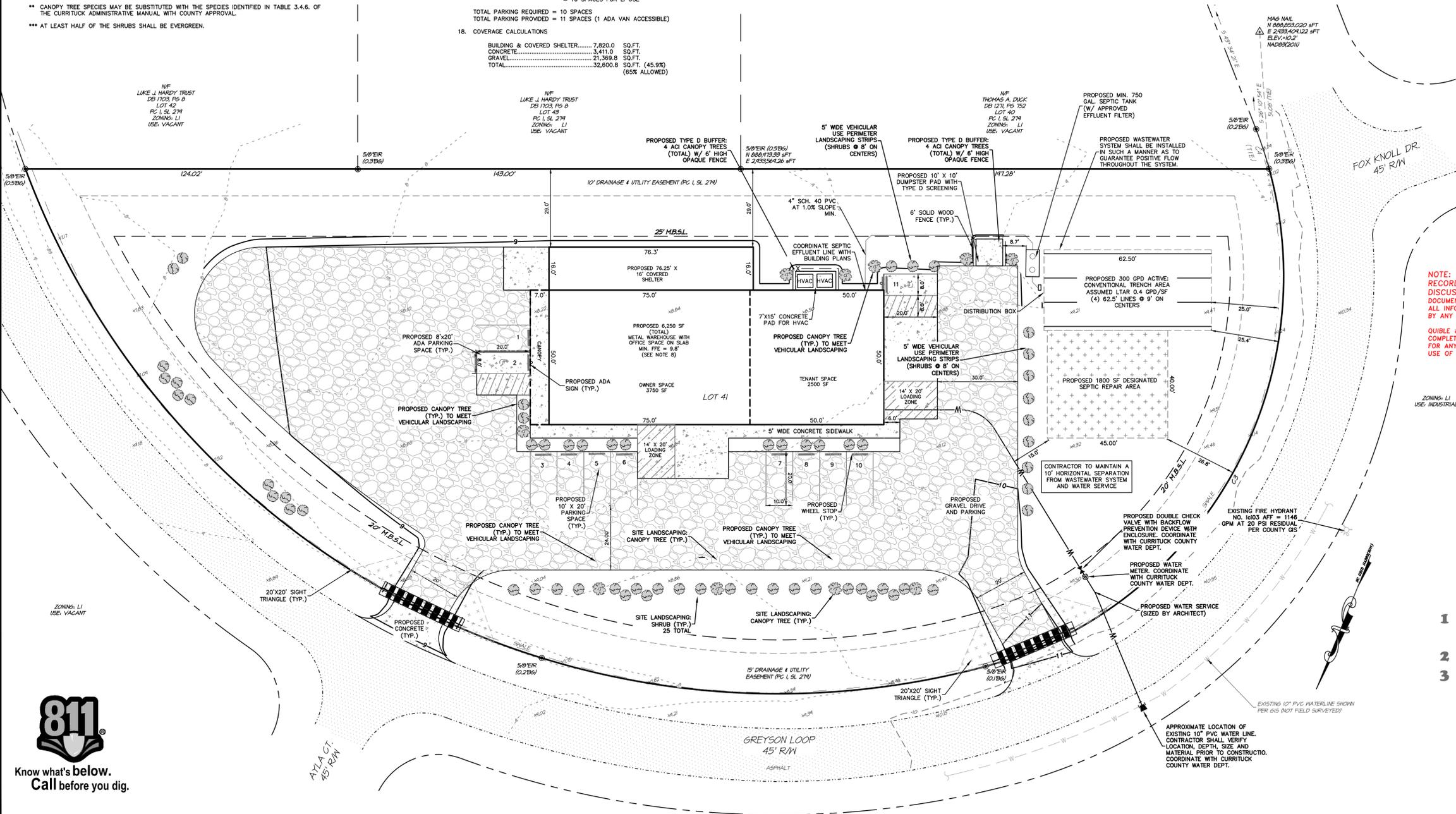
\* COORDINATE INSTALLATION WITH OWNER. ORNAMENTAL SHRUB/GRASS SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.

\*\* CANOPY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.

\*\*\* AT LEAST HALF OF THE SHRUBS SHALL BE EVERGREEN.

**NOTES:**

- CURRENT OWNER/APPLICANT: LUKE J. HARDY  
P.O. BOX 527  
GAINESVILLE, VA 20156
- SITE ADDRESS: 124 GREYSON LOOP  
POWELLS POINT, NC 27966
- PROPERTY IDENTIFICATION: PIN / PID: 9838-39-5058 / 123E00000410000
- LOT AREA = 70,965.9 SF / 1.63 AC (AREAS BY COORDINATE METHOD.)
- ZONING: LIGHT INDUSTRIAL (LI)
- SUBJECT REFERENCES: DB 1703, PG 8
- FIELD SURVEY BY QUILBE & ASSOCIATES, P.C. DATES: 09-06-2022 (HORIZONTAL GROUND DISTANCES).
- VERTICAL DATUM NAVD 1988 / HORIZONTAL DATUM NAVD 1983 (2012). ORIGINAL VERTICAL DATUM OF CURRITUCK INDUSTRIAL PARK IN NAVD29. THE CONVERSION FROM NAVD88 TO NAVD29 IS 0.86'(+). THE FIRST FLOOR ELEVATION IS PROPOSED 0.16' HIGHER THAN THE MINIMUM REQUIRED, AND DERIVED FROM P.C. I: SL 279 (CONVERTED TO NAVD88)
- PROPERTY IS LOCATED IN NFIP FLOOD ZONE "X" AND SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 9846; SUFFIX K. (MAP NUMBER 3720983800K) EFFECTIVE DATE: 12/21/2018.
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF AN APPROXIMATE 6,250 SQ FT CONTRACTOR SERVICES BUILDING SPLIT FOR TWO TENANT SPACES, ASSOCIATED PARKING, DRIVE, AND RELATED SITE IMPROVEMENTS.
- ALL UTILITIES TO BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED
- NO U.S.A.C.O.E. SECTION 404 JURISDICTIONAL WETLANDS EXIST ON SITE.
- EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK WITHIN THE NC DOT RIGHT-OF-WAY REQUIRES AN APPROVED NC DOT RIGHT-OF-WAY ENCROACHMENT AGREEMENT.
- THIS PLAN SET IS TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, WATER SYSTEM AND ON-SITE SEPTIC. FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, ELECTRICAL AND MECHANICAL, SEE APPROPRIATE SEPARATE PLANS.
- PARKING REQUIREMENTS:  
PROFESSIONAL OFFICES: 1 SPACE PER EVERY 300 SQ.FT.  
WAREHOUSE SPACE: 1 SPACE PER EVERY 2,500 SQ.FT.  
2,500 SQ.FT. / 300 SQ.FT. = 8.3 SPACES  
3,750 SQ.FT. / 2,500 SQ.FT. = 1.5 SPACES  
= 10 SPACES FOR LI USE  
TOTAL PARKING REQUIRED = 10 SPACES  
TOTAL PARKING PROVIDED = 11 SPACES (1 ADA VAN ACCESSIBLE)
- COVERAGE CALCULATIONS  
BUILDING & COVERED SHELTER.....7,820.0 SQ.FT.  
CONCRETE.....3,411.0 SQ.FT.  
GRAVEL.....21,369.8 SQ.FT.  
TOTAL.....32,600.8 SQ.FT. (45.9%)  
TOTAL.....32,600.8 SQ.FT. (65% ALLOWED)
- EXISTING FEATURES, IMPROVEMENTS, TOPOGRAPHIC AND BOUNDARY INFORMATION BASED ON FIELD SURVEY BY QUILBE & ASSOCIATES, P.C. ON 09/06/2022. ALL EXISTING AND PROPOSED ELEVATION INFORMATION IS BASED ON NAVD 88 UNLESS NOTED OTHERWISE.
- MAXIMUM BUILDING HEIGHT = 35 FT.
- SETBACKS (PER SECTION 3.5.8 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE):  
FRONT 20'  
CORNER SIDE 20'  
SIDE 15'  
REAR 25'  
SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
- UTILITY AND DRAINAGE EASEMENTS (PER FINAL PLAT OF CURRITUCK INDUSTRIAL PARK)  
FRONT 15'  
SIDE 10'  
REAR 10'
- LANDSCAPE BUFFERS:  
REAR N/A  
SIDE N/A  
FRONT N/A
- THIS PLAN IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH CHAPTER 5.2 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCDCE DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES REGULATIONS.
- THE LOCATION, DIMENSIONS, AND ELEVATIONS OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NUMBER 811, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT. ALL WORK WITHIN NCDOT R/W SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- ALL PAVEMENT MARKINGS, TEXT AND DIRECTIONAL ARROWS SHALL BE PAINTED WHITE, ALL LETTERING SHALL BE 2 FT. IN HEIGHT. LINES SHALL BE 4" WIDE. CROSSWALK AND LOADING AREAS, SET 4" WHITE LINES ON A 45° ANGLE.
- WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- ALL UTILITIES ON THIS SITE WILL BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.
- PROOF ROLL ALL NEW PAVEMENT AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.



**VICINITY MAP (POWELLS POINT)**  
N.T.S.

**LEGEND**

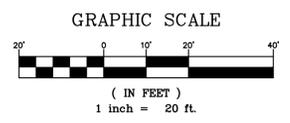
- EXISTING ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- EXISTING GRADE CONTOUR
- EXISTING IRON ROD, EIR
- EXISTING MAG NAIL, EMAG
- EXISTING CONCRETE MONUMENT, ECM
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE PEDESTAL
- EXISTING WATER METER
- PROPOSED FLOW DIRECTION
- PROPOSED SPOT GRADE (NAVD 1988)
- PROPOSED GRADE CONTOUR
- PROPOSED STORM CULVERT
- PROPOSED TREES/SHRUBS

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**SHEET INDEX**

1	SITE, UTILITY, & LANDSCAPING PLAN
2	GRADING PLAN
3	SITE & UTILITY DETAILS



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CERTIFICATION  
CURRITUCK COUNTY  
PLANNING DEPARTMENT  
APPROVED FOR RECORDATION  
DATE: 05/11/2023  
BY: MICHAEL S. STINEBAUGH

REVISIONS

NO.	DATE	DESCRIPTION

**SITE, UTILITY & LANDSCAPING PLAN**

**124 GREYSON LOOP**

**LOT 41, CURRITUCK INDUSTRIAL PARK**

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P22139  
DESIGNED BY CMT  
DRAWN BY CMT  
CHECKED BY MWS  
ISSUE DATE 3/2/23

SHEET NO. 1 OF 3 SHEETS



**NOTES:**

**SOIL EROSION & SEDIMENTATION CONTROL PLAN NOTES:**

- AREA TO BE DISTURBED: ±42,688 SQ.FT. (±0.98 ACRES)
- PROVIDE A GROUND COVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW.
  - PERIMETER DIKES, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
  - HIGH QUALITY WATER (HOW) ZONES SHALL BE STABILIZED IN 7 DAYS.
  - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
  - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
  - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
  - GROUND COVER SHALL BE PROVIDED ON CUT AND FOR FILL SLOPES WITHIN 21 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF GRADING. GROUND COVER OVER OTHER AREAS SHALL BE PROVIDED WITHIN SHORTER OF 15 WORKING OR 90 CALENDAR DAYS (60 DAYS IN HOW ZONES) OF COMPLETION OF CONSTRUCTION OF DEVELOPMENT.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP. 30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
  - A RAIN GAUGE MUST BE KEPT ON SITE.
  - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
  - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
  - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
  - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCDENR LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCDENR LAND QUALITY SECTION APPROVED SITE.

**CONSTRUCTION SEQUENCE:**

- PRECONSTRUCTION:
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
  - FLAG AND/OR ROUGH STAKE WORK LIMITS.
  - FLAG EXISTING VEGETATION TO REMAIN/PROTECT.
  - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- CONSTRUCTION:
- INSTALL SILT FENCING AT LOCATIONS SHOWN ON PLAN
  - COMPLETE CLEARING, GRUBBING AND DEMOLITION PROCEDURES.
  - GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
  - INSTALL CONTRIBUTING STORM CONVEYANCES AND ASSOCIATED EROSION CONTROLS.
  - ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
  - INSTALL BASE MATERIAL IN PARKING AREAS, STAGING AND STOCKPILING SHALL TAKE PLACE WITHIN THE PARKING AREAS WHILE BUILDING CONSTRUCTION IS ONGOING.
  - CONSTRUCT BUILDING AND ASSOCIATED SITE IMPROVEMENTS.
  - ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED; ALL STORMWATER CONVEYANCES, STRUCTURES AND PIPING SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
  - UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.

**PERMANENT VEGETATION**

SEEDING DATES:	SEED MIXTURE	APPLICATION RATES/ACRE
APRIL 1 - AUGUST 31:	REBEL II FESCUE	130 LBS.
	COMMON BERMUDA "SAHARA" (HULLED)	215 LBS.
SEPT. 1 - MARCH 31:	REBEL II FESCUE	250 LBS.
	COMMON BERMUDA "SAHARA" (UNHULLED)	215 LBS.

**SEEDING PREPARATION:**  
 LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL FLOW. BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDDED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE SHALL BE THE FINISHED GRADE.  
**SOIL AMENDMENTS:**  
 OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.  
**MULCHING:**  
 APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, ROWING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.  
**MAINTENANCE:**  
 SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEEDING, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.  
 MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.)  
 WEAK OR DAMAGED SPOTS MUST BE REIMMED, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

**TEMPORARY VEGETATION**

SEEDING DATES:	SEED MIXTURE	APPLICATION RATES/ACRE
AUG. 16 - APRIL 15:	RYE GRASS	120 LBS.
APRIL 16 - AUG. 15:	GERMAN MILLET	40 LBS.

**SEEDING SPECIFICATIONS**

**LEGEND**

- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPOSED EXCELSIOR MATTING
- EXISTING CONTOUR
- EXISTING SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CULVERT INLET/OUTLET PROTECTION
- PROPOSED FENCE
- PROPOSED SILT FENCE
- PROPOSED DITCH
- PROPOSED INLET PROTECTION
- PROPOSED CHECK DAM

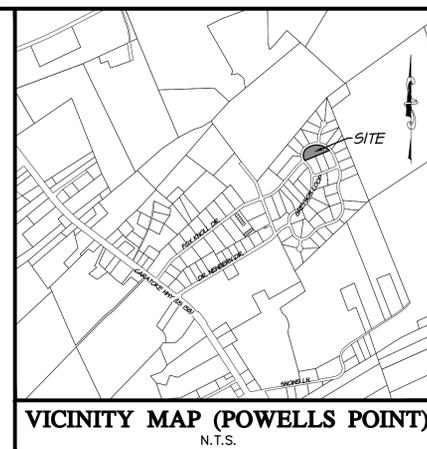
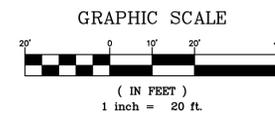
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**NOTE:** THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



Know what's below.  
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**CERTIFICATION**

STATE OF NORTH CAROLINA  
 CURRITUCK COUNTY  
 CIVIL ENGINEER  
 MICHAEL J. QUIBLE  
 License No. 10000

REVISIONS

NO.	DATE	DESCRIPTION

**GRADING & SOIL EROSION SEDIMENT CONTROL PLAN**

**124 GREYSON LOOP**

**LOT 41, CURRITUCK INDUSTRIAL PARK**

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

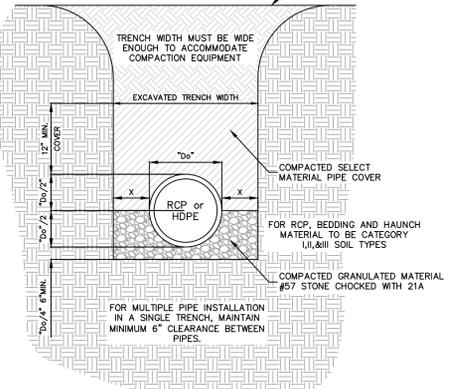
PROJECT NO.	P22139
DESIGNED BY	CMT
DRAWN BY	CMT
CHECKED BY	MWS
ISSUE DATE	3/2/23
SHEET NO.	2
OF 3 SHEETS	

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RCP PIPE		HDPE PIPE	
DIA. "D"	"X"	DIA. "D"	"X"
0' - 24"	8"	4-6"	8.5"
27" - 36"	12"	8-12"	9"
42" - 72"	15"		

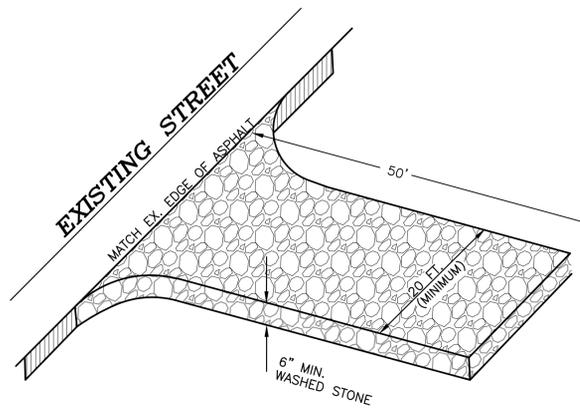
- NOTES:
1. SELECT MATERIAL PIPE COVER SHALL BE 12" (MINIMUM) DEEP OVER TOP OF PIPE.
  2. SELECT MATERIAL BACKFILL SHALL BE COR 20 COMPACTED TO 95% DENSITY. BACKFILL COMPACTED IN 12" LIFTS.

TRENCH SHALL BE BACKFILLED WITH CLEAN SAND AND TOPPED WITH TOP SOIL IF LOCATED IN PAVEMENT. PAVE PER PAVEMENT SPECIFICATIONS.

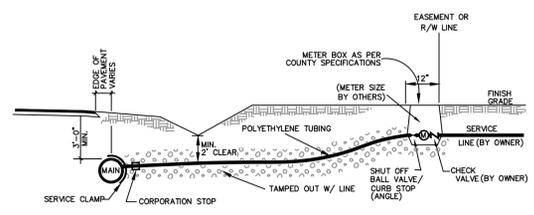


**STORM PIPE TRENCH SECTION**  
N.T.S.

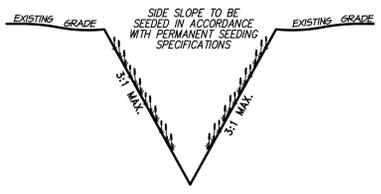
- HDPE NOTES:
1. ALL PIPE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS OR AS MODIFIED BY THE OWNER.
  2. TRENCH BOX OR OTHER SHORING METHODS SHALL NOT DISTURB THE PIPE BEDDING AND BACKFILL MATERIAL AFTER THEIR COMPACTION.
  3. WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH INDICATED ON THE DRAWING OR AS DIRECTED BY THE OWNER AND REPLACE WITH BEDDING MATERIAL.
  4. BEDDING MATERIAL SHALL BE CRUSHED STONE OR WASHED #57 STONE, UNLESS OTHERWISE NOTE ON THE DRAWINGS OR REQUIRED BY THE OWNER. MINIMUM BEDDING THICKNESS SHALL BE 6-INCHES.
  5. BACKFILL MATERIAL SHALL CONFORM TO THE FOLLOWING:
    - A. INITIAL BACKFILL AGGREGATE NO. 25, 26, 21A, OR 21 B; AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE OWNER, SHALL BE INSTALLED AS INITIAL BACKFILL IN THE PIPE ZONE EXTENDING NOT LESS THAN 12-INCHES ABOVE THE CROWN OF THE PIPE. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
    - B. FINAL BACKFILL: FINAL BACKFILL MATERIALS SHALL BE THE SAME AS THE INITIAL BACKFILL UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR DIRECTED BY THE OWNER.
  6. MINIMUM COVER:
    - TRAFFIC APPLICATIONS - MINIMUM COVER SHALL BE 24", MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF FLEXIBLE PAVEMENT OR TO THE TOP OF RIGID PAVEMENT.
    - NON-TRAFFIC APPLICATIONS - MINIMUM COVER IN GRASS OR LANDSCAPE AREA IS 12-INCHES FROM THE TOP OF THE PIPE TO GROUND SURFACE.



**GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL**  
N.T.S.

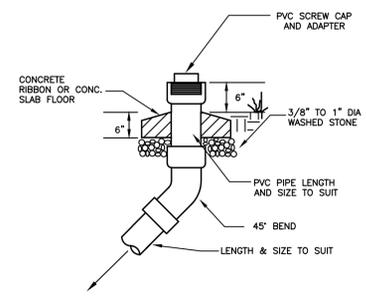


**STANDARD WATER SERVICE LINE AND METER BOX INSTALLATION**  
N.T.S.



**TYPICAL V-SWALE DETAIL**  
N.T.S.

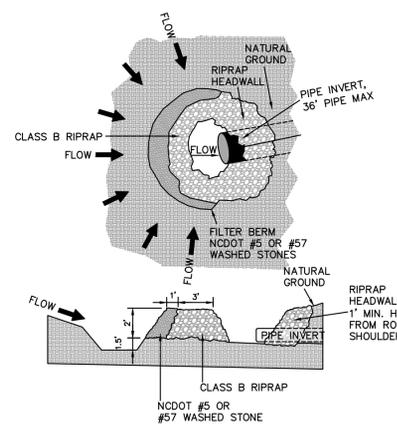
DITCH DEPTH (AND WIDTH) VARY. SEE GRADING PLANS FOR DITCH DEPTH.



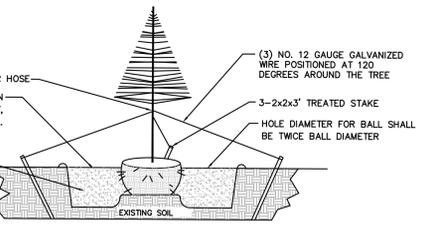
**TYPICAL SEWER CLEAN-OUT**  
N.T.S.

- COMPACTION NOTES:
1. PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
  2. COMPACT BACKFILL AND SUBGRADE TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) ALL BACKFILL MATERIAL SHALL BE SELECT BACKFILL UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
  3. SELECT FILL SHALL CONSIST OF SAND OR GRAVEL CONTAINING LESS THAN 20% BY WEIGHT OF FINES (SP, SW, GP, GW) HAVING A LIQUID LIMIT LESS THAN 20 AND PLASTIC LIMIT LESS THAN 6, AND FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL.

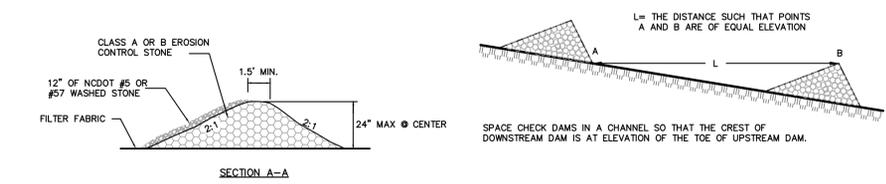
**COMPACTION NOTES**



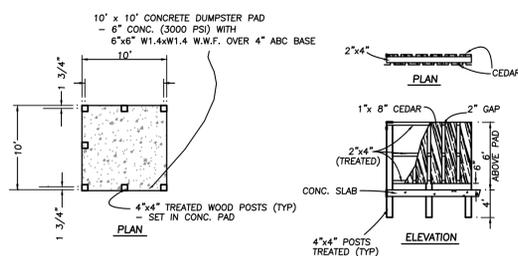
**CULVERT INLET PROTECTION**  
N.T.S.



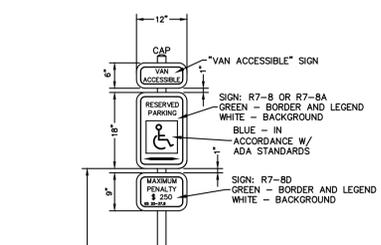
**TREE PLANTING DETAIL**  
N.T.S.



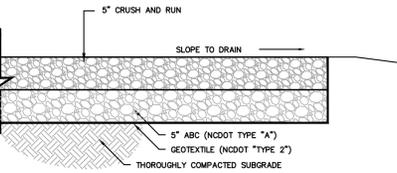
**CHECK DAM DETAIL**  
N.T.S.



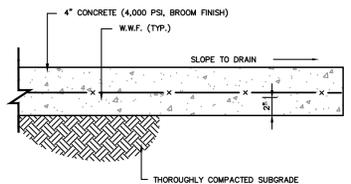
**DUMPSTER PAD CONCRETE DUMPSTER PAD and ENCLOSURE**  
N.T.S.



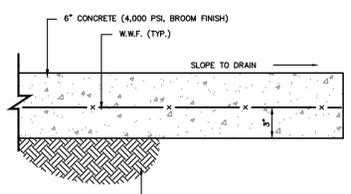
**ADA RESERVED PARKING SIGN DETAIL**  
N.T.S.



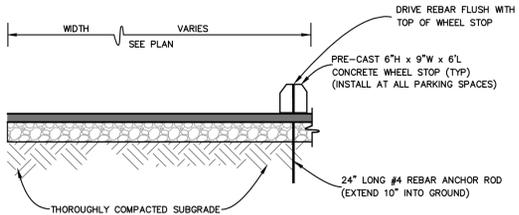
**GRAVEL PAVEMENT SECTION**  
N.T.S.



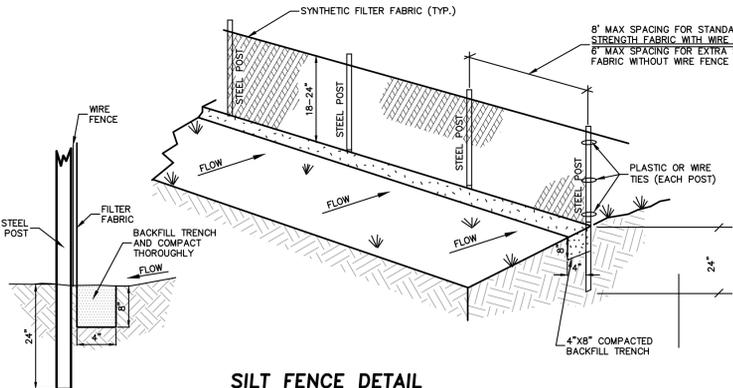
**CONCRETE SIDEWALK SECTION**  
N.T.S.



**CONCRETE PAVEMENT SECTION**  
N.T.S.



**WHEEL STOP DETAIL**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.

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ENVIRONMENTAL SCIENCES & SURVEYING  
8486 CAROLINA HWY. 27868  
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Phone: (828) 682-9427  
Fax: (828) 682-9428  
www.quible.com

PROFESSIONAL SEAL  
MICHAEL J. QUIBLE  
REGISTERED PROFESSIONAL ENGINEER  
NO. 10000  
STATE OF NORTH CAROLINA  
CERTIFICATION

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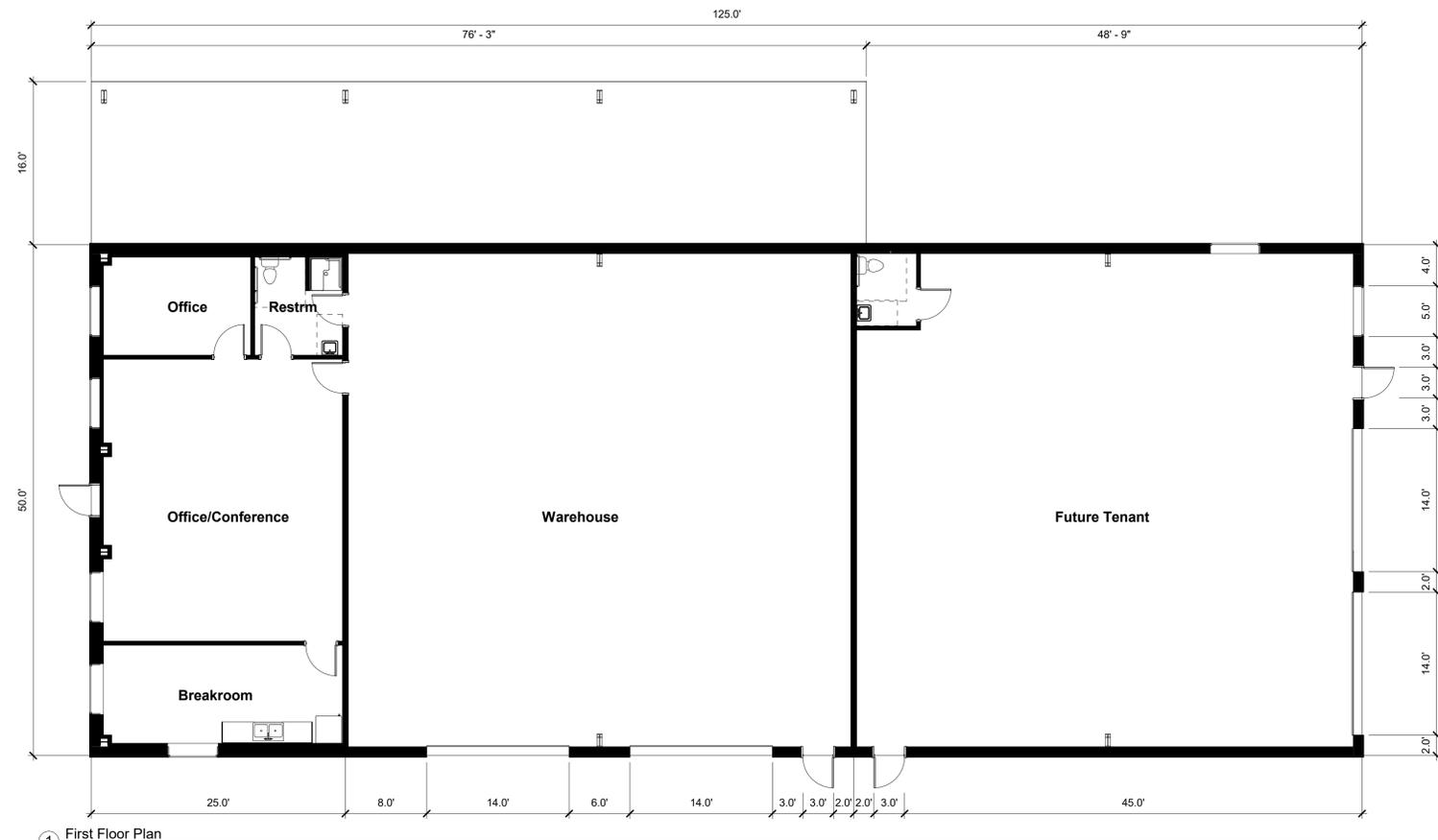
NO.	DATE	REVISIONS

**SITE & UTILITY DETAILS**  
**124 GREYSON LOOP**  
**LOT 41, CURRITUCK INDUSTRIAL PARK**  
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

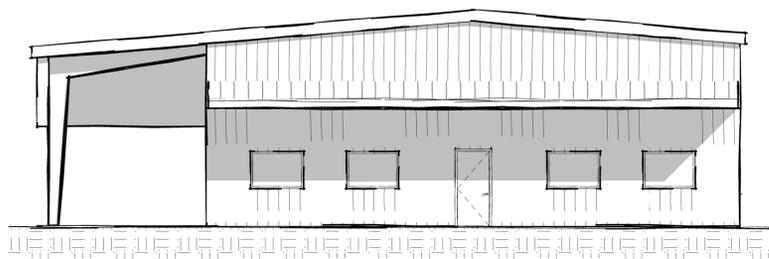
PROJECT NO.	P22139
DESIGNED BY	CMT
DRAWN BY	CMT
CHECKED BY	MWS
ISSUE DATE	2/9/2023

SHEET NO.  
**3**  
OF 3 SHEETS

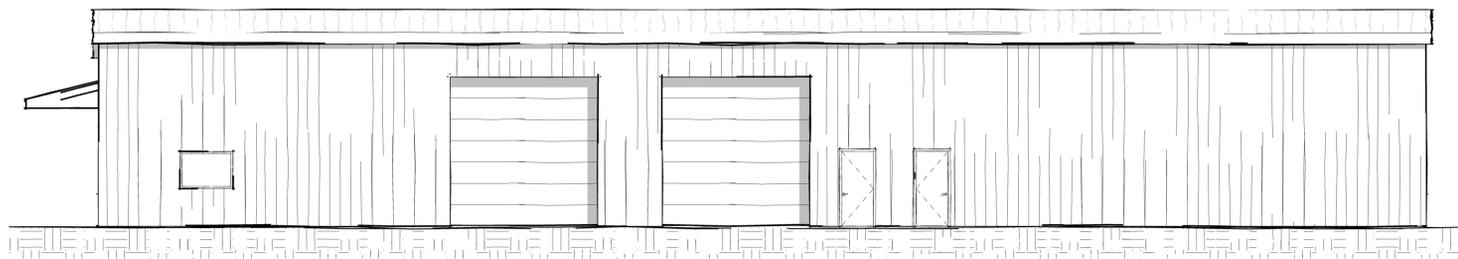
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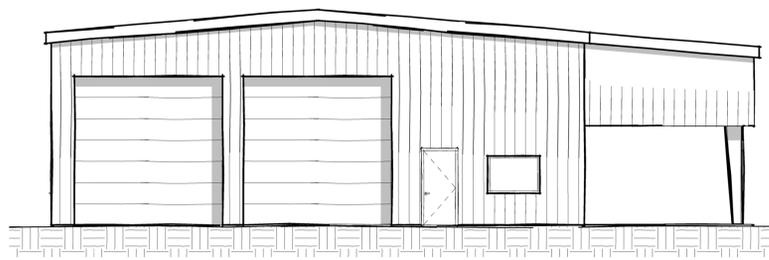
Project: **Hardy Construction**  
Project No: **22082**  
Location: **124 Greyson Loop  
Powells Point, NC**  
Title: **Preliminary**  
Date: **February 23, 2023**  
Scale: **1/8" = 1'-0"**



3 West Elevation  
1/8" = 1'-0"



2 South Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



5 North Elevation  
1/8" = 1'-0"

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: Designer  
Drawn: Author  
Reviewed: Checker  
Cad File:

**A1**