

NOTES

- CURRENT OWNER: RPP HOLDINGS GROUP, LLC
917 BURNSIDE RD.
MANTO, NC 27644
- ENGINEER: QUIBLE & ASSOCIATES, P.C.
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- FIN: 8996-40-4911
- PID: 0070000110000
- PROPERTY ADDRESS: 4510 CARATOKE HWY
- PROPERTY ZONED: ZONE: 3.28 ACRES GENERAL BUSINESS (GB) AND REMAINING AGRICULTURAL (AG)
- MAXIMUM BUILDING HEIGHT = 35 FT
- MAXIMUM ALLOWABLE LOT COVERAGE (WITHIN GB) = 65% MAX
- LOT AREA = 12.02 ACRES TOTAL (AREAS BY COORDINATE METHOD.)
- SUBJECT REFERENCES: DB 86, PG 57; PC E.
- ADDITIONAL REFERENCES: PC P, SL 98; PC L, SL 84; PC I, SL 198.
- FIELD SURVEY DATES: 06/16/23-06/30/23.
- HORIZONTAL DATUM IS NAD83(2011). VERTICAL DATUM IS NAVD 1988, DERIVED FROM NC65 BOUNDARY MON NC VA RESET.
- PROPERTY IS LOCATED IN NFP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES BASED ON COMMUNITY CD NO. 370076; PANEL 8986; MAP NUMBER 372089800K; EFFECTIVE DATE: 12/1/2016.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF A ±7,500 SQ.FT. STORAGE BUILDING
- SETBACKS: REQUIRED: FRONT: 20' (MAJOR ARTERIAL FULL SERVICE = 30') SIDE: 15' REAR: 25' WETLAND/RIPARIAN BUFFER: 30' ACCESSORY USE/PARKING = 10' MINIMUM FILL SETBACK = 10' (COUNTY ENGINEER EXCEPTION REQUIRED)
- ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-452-4246, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
- THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, WASTEWATER, AND WATER SYSTEM FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, SEE APPROPRIATE SEPARATE PLANS.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFORM DEVELOPMENT ORDINANCE. LIGHTING PLAN TO BE PROVIDED UNDER SEPARATE COVER.
- REMOVE TREES, GRASSES, SHRUBS, AND OTHER VEGETATION IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- STORMWATER MANAGEMENT: RUNOFF FROM ALL PROPOSED IMPROVEMENTS WILL BE COLLECTED AND CONVEYED INTO A STORMWATER CONTROL MEASURE LOCATED AT THE REAR OF THE PROPERTY. A STATE HIGH DENSITY STORMWATER PERMIT MUST BE OBTAINED.
- PRIOR TO LAND DISTURBANCE, A STATE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN IS REQUIRED.
- PRIOR TO ANY WORK WITHIN THE NCDOT RIGHT-OF-WAY, AN NCDOT ENCROACHMENT AGREEMENT AND DRIVEWAY ACCESS AGREEMENT SHALL BE OBTAINED.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCDOT DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES REGULATIONS.
- WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS AND DETAILS.

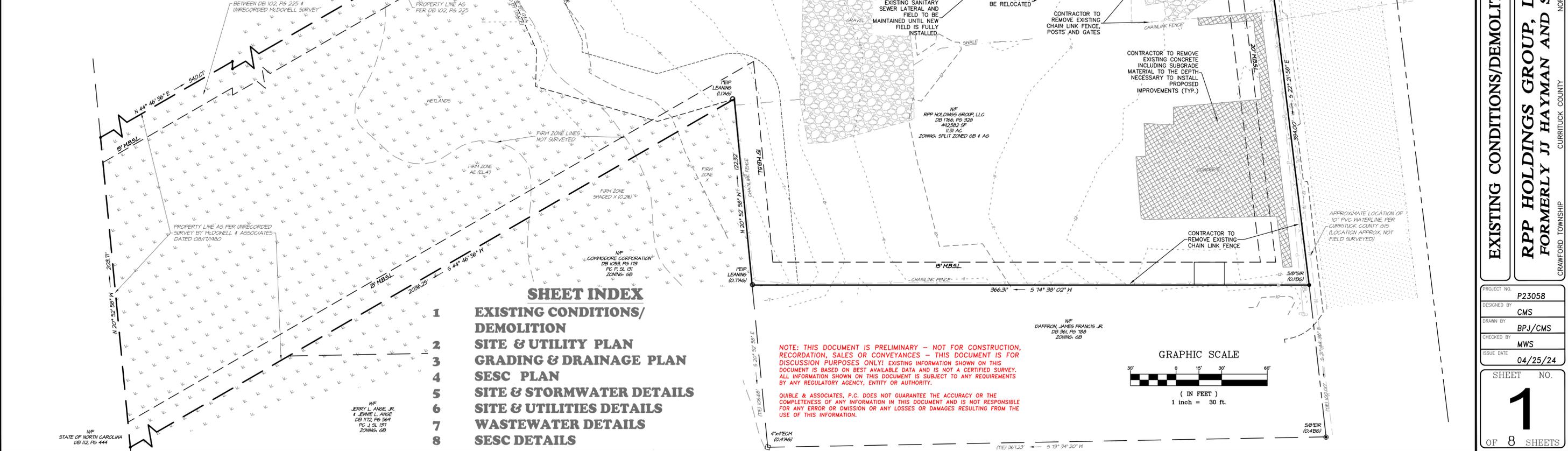
LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING GRAVEL
- PROPOSED DEMOLITION
- EX. IRON ROD
- EX. DRILL HOLE
- EX. MAG NAIL
- EX. UTILITY POLE
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. SEWER MANHOLE
- EX. WATER METER
- EX. ELECTRICAL CONNECTION
- EX. EXTERIOR LIGHT
- EX. LIGHT POLE
- EXISTING CONTOUR
- EXISTING SPOT GRADE



Know what's below.
Call before you dig.

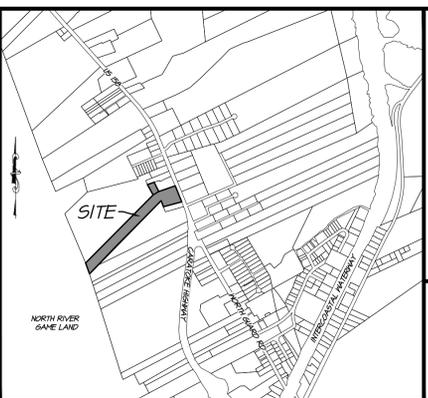
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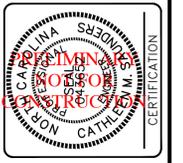
SHEET INDEX

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- 2 SITE & UTILITY PLAN
- 3 GRADING & DRAINAGE PLAN
- 4 SESC PLAN
- 5 SITE & STORMWATER DETAILS
- 6 SITE & UTILITIES DETAILS
- 7 WASTEWATER DETAILS
- 8 SESC DETAILS

VICINITY MAP (Barco)
N.T.S.



Quible & Associates, P.C.
REGISTERED PROFESSIONAL ENGINEER
ENVIRONMENTAL SCIENCES SURVEYING**
SURVEYING NOT OFFERED AT BLACK HILL OFFICE
8486 CARATOKE HWY
90 CHURCH STREET
POWELL'S POINT, NC 27968
BLACK MOUNTAIN, NC 28711
Phone: (252) 891-8147
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SINCE 1959

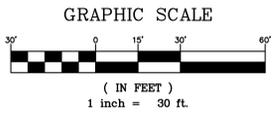


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NO.	DATE	REVISIONS

EXISTING CONDITIONS/DEMOLITION
RPP HOLDINGS GROUP, LLC
FORMERLY JJ HAYMAN AND SON

CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
PROJECT NO. P23058
DESIGNED BY CMS
DRAWN BY BPJ/CMS
CHECKED BY MWS
ISSUE DATE 04/25/24
SHEET NO. 1 OF 8 SHEETS



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2. ENGINEER: QUILBE & ASSOCIATES, P.C.
3. PIN: 8996-40-4911
4. PID: 0070000110000
5. PROPERTY ADDRESS: 4510 CARATOKE HWY
6. PROPERTY ZONED: ZONE: 3.26 ACRES GENERAL BUSINESS (GB) AND REMAINING AGRICULTURAL (AG)
7. MAXIMUM BUILDING HEIGHT = 35 FT
8. MAXIMUM ALLOWABLE LOT COVERAGE (WITHIN GB) = 65% MAX
9. LOT AREA = 12.02 ACES TOTAL (AREAS BY COORDINATE METHOD.)
10. SUBJECT REFERENCES: DB 86, PG 57; PC E.
11. ADDITIONAL REFERENCES: PC P, SL 98; PC L, SL 84; PC I, SL 198.
12. FIELD SURVEY DATES: 06/16/23-06/30/23.
13. HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM MOSS BOUNDARY MON NC VA RESET.

LEGEND
EXISTING ASPHALT PAVEMENT
EXISTING CONCRETE PAVEMENT
EXISTING GRAVEL
EX. TELEPHONE PEDESTAL
EX. CABLE TV BOX
EX. UTILITY POLE
EX. DRAINAGE PIPE
EX. UG GAS LINE
EX. WATER LINE
EX. SANITARY SEWER LINE
FENCE AS NOTED
PROPOSED HEAVY DUTY GRAVEL SECTION
PROPOSED CONCRETE PAVEMENT
PROPOSED DROP INLET
PROPOSED STORM PIPE
PROPOSED FIRE HYDRANT
PROPOSED BENDS & TEES
PROPOSED GATE VALVE
PROPOSED WATERLINE
PROPOSED SANITARY SEWER
PROPOSED CLEAN OUT
PROPOSED SEWER MANHOLE



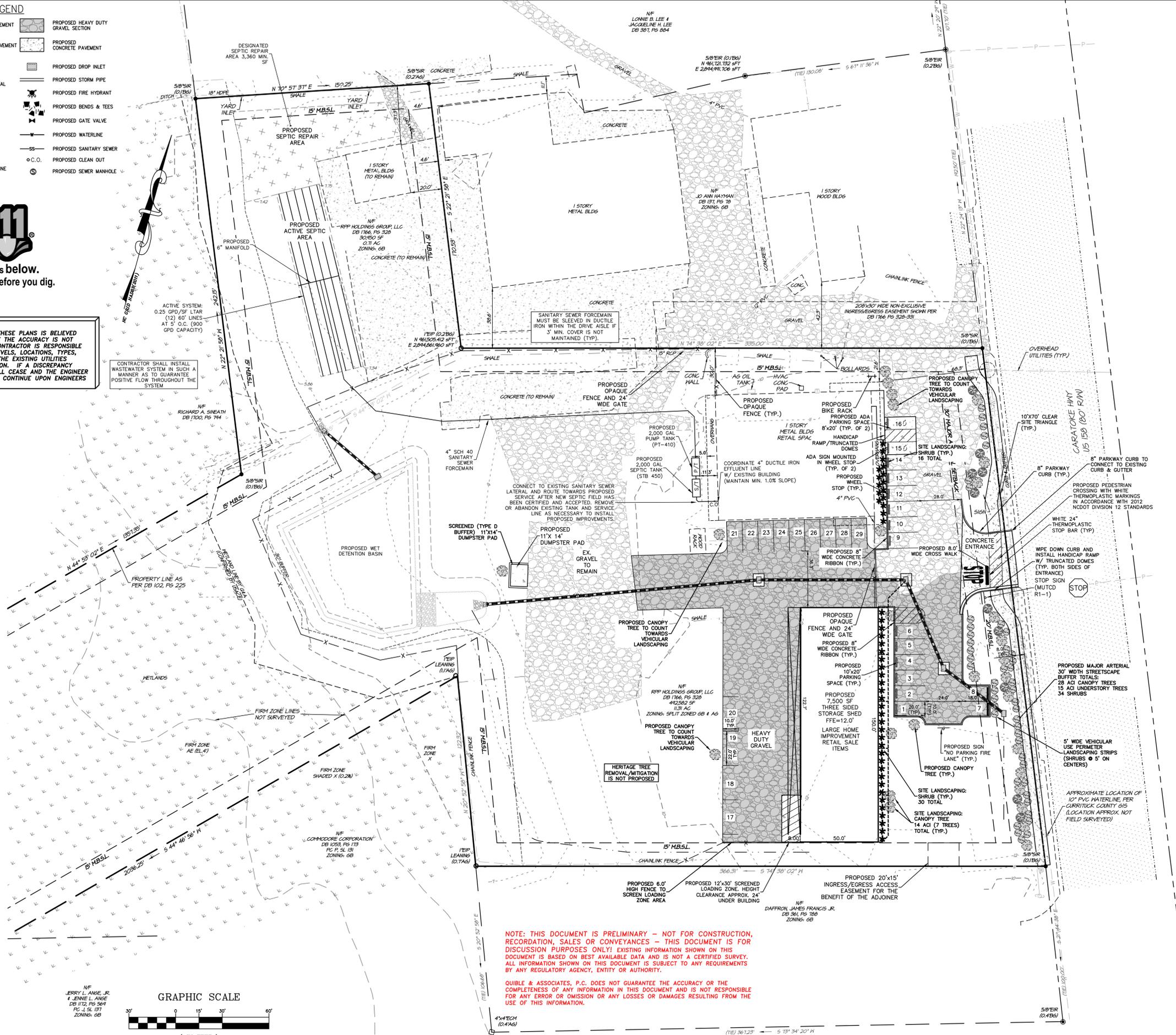
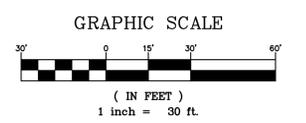
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- 14. PROPERTY IS LOCATED IN NFP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES BASED ON COMMUNITY CD NO. 370078; PANEL 8986; MAP NUMBER 320289860K; EFFECTIVE DATE: 12/21/2018.
15. THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
16. PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF A ±7,500 SQ.FT. STORAGE BUILDING
17. LOT COVERAGE: PROPOSED: ROADWAY/PARKING = 44,311.90 SQ.FT. BUILDINGS W/ OVERHANG = 18,143.39 SQ.FT. CONCRETE AREAS = 13,491.04 SQ.FT. TOTAL PROPOSED = 23,566.1 SQ.FT.
TOTAL LOT COVERAGE (EXISTING TO REMAIN AND PROPOSED) = 75,946.3 SQ.FT. PERCENT COVERAGE 53.4% OVER 3.27 ACRES OF GB ZONING
18. MAXIMUM BUILDING HEIGHT = 35'

- 19. SETBACKS: FRONT: 20' (REQUIRED: 20' (MAJOR ARTERIAL FULL SERVICE = 30')) SIDE: 15' REAR: 25' WETLAND/RIPARIAN BUFFER: 20' ACCESSORY USE/PARKING = 10' MINIMUM FILL SETBACK = 10' (COUNTY ENGINEER EXCEPTION REQUIRED)
20. PARKING REQUIREMENTS: RETAIL 1 SPACE PER EVERY 300 SQ.FT. 7,133 SQ. FT. INTERIOR RETAIL FLOOR X 1 SPACE/300 SQ. FT. = 23.8 OR 23 SPACES REQUIRED. STORAGE AREA: 1 SPACE PER EVERY 2,000 SQ. FT. 7,500 SQ. FT. ENCLOSED STORAGE X 1 SPACE/2,000 SQ. FT. = 3.8 SPACES OR 3 SPACES REQUIRED. TOTAL SPACES REQUIRED: RETAIL + STORAGE = 26 SPACES TOTAL SPACES PROVIDED: 29 SPACES BIKE RACK REQUIRED: 1-BIKE RACK PROVIDED: 1

- 21. ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.
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33. STORMWATER MANAGEMENT: RUNOFF FROM ALL PROPOSED IMPROVEMENTS WILL BE COLLECTED AND CONVEYED INTO A STORMWATER CONTROL MEASURE LOCATED AT THE REAR OF THE PROPERTY. A STATE HIGH DENSITY STORMWATER PERMIT MUST BE OBTAINED.
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- WASTEWATER NOTES
1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
2. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
3. NEW WASTEWATER SYSTEM DESIGN PARAMETERS: DESIGN FLOW: 7,133 SF OF INTERIOR RETAIL SPACE AT 120 GAL/1,000 SF = 856 GALLONS PER DAY (GPD) ACTIVE: LONG TERM APPLICATION RATE (LTAR): 0.25 GPD/SQ.FT. FOR LPP SYSTEM 900 GPD/0.25 = 3,600 SQ.FT. 3,600 SQ.FT./7.5 FT. TRENCH = 720 LN. FT. (12) 60" LINES @ 5' O.C. (720 LN. FT. TOTAL) REPAIR: 3,360 SQ.FT. PRE-TREATMENT REPAIR AREA
4. UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTION 1900 "LAWS AND RULES FOR SEWAGE TREATMENT AND DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WASTEWATER SECTION (15 NCAC 18A.1900).
5. CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT.
6. MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
7. FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS SAND OR LOAMY SAND (SOIL GROUP I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INCHES OF FILL USED TO COVER THE SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE ESTABLISHMENT OF A VEGETATIVE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO A DEPTH OF SIX INCHES BELOW THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL BE REMOVED BEFORE THE FILL MATERIAL IS INCORPORATED.
8. ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER. VEGETATE DRAINFIELD AREA AS SPECIFIED IN LANDSCAPE PLAN.
9. PER 15ANCAC 07H .0306(F)(2), SEPTIC TANKS SHALL NOT BE RELOCATED OCEANWARD OF THE PRIMARY STRUCTURE.



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Vertical sidebar containing: Quilbe & Associates, P.C. logo and contact info; CURRITUCK COUNTY SEALS; SITE & UTILITY PLAN title; RPP HOLDINGS GROUP, LLC FORMERLY JJ HAYMAN AND SON; PROJECT NO. P23058; DESIGNED BY CMS; DRAWN BY BPJ/CMS; CHECKED BY MWS; ISSUE DATE 04/25/24; SHEET NO. 2 OF 8 SHEETS.

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917 BURNSIDE RD.
MANTON, NC 27854
- ENGINEER: QUIBLE & ASSOCIATES, P.C.
P.O. DRAWER 870
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- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN SPOT ELEVATION GRADES AND MAINTAIN POSITIVE DRAINAGE.
- AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUGARED AND BACKFILLED IN 6" LIFTS.
- ALL PIPES TO BE CLASS III REINFORCED CONCRETE, UNLESS OTHERWISE NOTED.
- ALL REINFORCED CONCRETE PIPES (RCP) TO HAVE END TREATMENTS, EITHER FLARED END SECTIONS (FES) OR END WALLS. END WALLS TO BE CONSTRUCTED AS PER NCDOT STANDARD 838.01.

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WET DETENTION BASIN

- MAINTENANCE**
- IMMEDIATELY AFTER THE WET POND IS ESTABLISHED, THE PLANTS ON THE VEGETATED SHELVE AND PERIMETER OF THE BASIN SHOULD BE WATERED TWICE WEEKLY IF NEEDED, UNTIL THE PLANTS BECOME ESTABLISHED (COMMONLY SIX WEEKS).
 - NO PORTION OF THE WET POND SHOULD BE FERTILIZED AFTER THE FIRST INITIAL FERTILIZATION THAT IS REQUIRED TO ESTABLISH THE PLANTS ON THE VEGETATED SHELVE.
 - STABLE GROUND COVER SHOULD BE MAINTAINED IN THE DRAINAGE AREA TO REDUCE THE SEDIMENT LOAD TO THE WET POND.
 - IF THE POND MUST BE DRAINED FOR AN EMERGENCY OR TO PERFORM MAINTENANCE, THE FLUSHING OF SEDIMENT THROUGH THE EMERGENCY DRAIN SHOULD BE MINIMIZED AS MUCH AS POSSIBLE.
 - ONCE A YEAR, A DAM SAFETY EXPERT SHOULD INSPECT THE EMBANKMENT.

LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE PAVEMENT
- EXISTING GRAVEL
- EX. TELEPHONE PEDESTAL
- EX. CABLE TV BOX
- EX. UTILITY POLE
- EX. DRAINAGE PIPE
- EX. US GAS LINE
- EX. WATER LINE
- EX. SANITARY SEWER LINE
- EXISTING CONTOUR
- PROPOSED HEAVY DUTY GRAVEL SECTION
- PROPOSED CONCRETE PAVEMENT
- PROPOSED DROP INLET
- PROPOSED STORM PIPE
- PROPOSED DRAINAGE FLOW
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE (TOP OF ASPHALT & FLOW LINE) (UNLESS OTHERWISE NOTED)

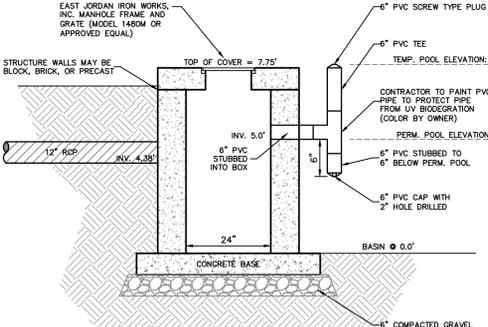
Certificate

22 The major stormwater plan shall contain the following certificate:

I, Jerry L. Ange, Jr. owner/agent hereby certify the information included on this and attached pages is true and correct to the best of my knowledge.

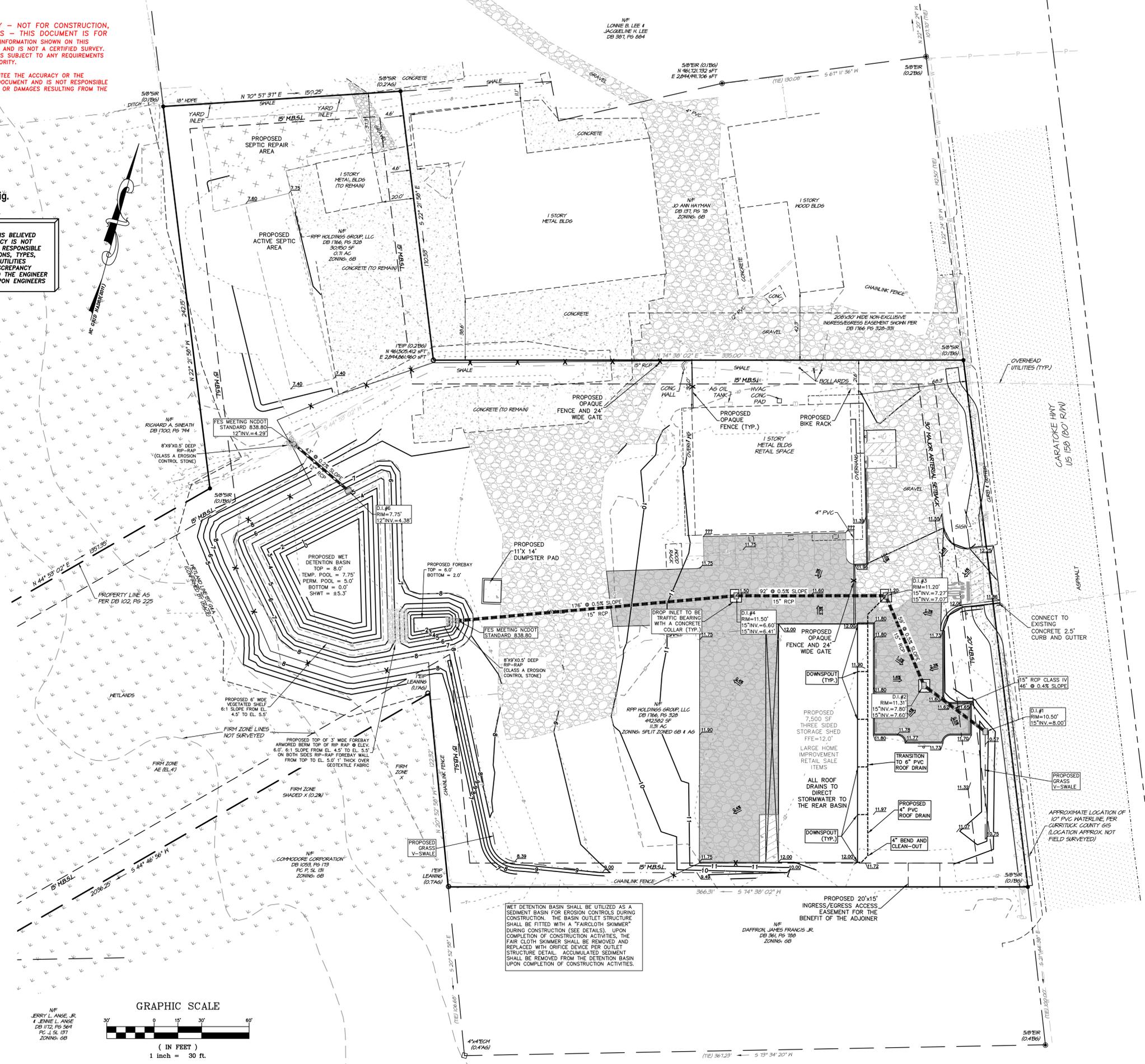
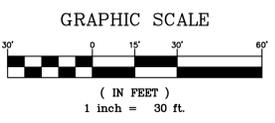
On the plan entitled Kellogg Supply Co. stormwater drainage improvements shall be installed according to these plans and specifications and approved by Currituck County. Yearly inspections are required as part of the stormwater plan. The owner is responsible for all maintenance required. Currituck County assumes no responsibility for the design, maintenance, or performance of the stormwater improvements.

Date: 4/24/2024 Owner/Agent: Jerry L. Ange



DRAW-DOWN STRUCTURE DETAIL
N.T.S.

NOTE: A FAIRCLOTH SKIMMER TO BE INSTALLED DURING THE INITIAL CONSTRUCTION OF THE WET BASIN. THE SKIMMER IS TO BE CONNECTED TO THE 8" STUB-OUT ON THE WETBASIN OVERFLOW STRUCTURE. THE WET BASIN WILL SERVE AS A SEDIMENT BASIN DURING THE CONSTRUCTION OF THE SITE. ONCE THE SITE HAS BEEN FULLY STABILIZED THE FAIRCLOTH SKIMMER IS TO BE REMOVED AND THE SPECIFIED DRAW DOWN PIPE IS TO BE INSTALLED PER THE BASIN OVERFLOW STRUCTURE DETAIL. THE STUB-OUT FOR THE DRAW DOWN PIPE SHALL BE CAPPED DURING CONSTRUCTION.



WET DETENTION BASIN SHALL BE UTILIZED AS A SEDIMENT BASIN FOR EROSION CONTROLS DURING CONSTRUCTION. THE BASIN OUTLET STRUCTURE SHALL BE FITTED WITH A "FAIRCLOTH SKIMMER" DURING CONSTRUCTION (SEE DETAILS). UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE FAIRCLOTH SKIMMER SHALL BE REMOVED AND REPLACED WITH ORIFICE DEVICE PER OUTLET STRUCTURE DETAIL. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE DETENTION BASIN UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

PROPOSED 20"x15" INGRESS/EGRESS ACCESS EASEMENT FOR THE BENEFIT OF THE ADJOINER

NC License # C-028
SMCE 959

Quible & Associates, P.C.
CURRITUCK COUNTY, NC
ENVIRONMENTAL SCIENCES SURVEYING
***WORKING NOT OFFERED AT BLACK HILL OFFICE**
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90 CHURCH STREET
BLACK MOUNTAIN, NC 28711
Phone: (252) 491-8147
Fax: (252) 491-8148
www.quibleandassociates.com

GRADING & DRAINAGE PLAN

RPP HOLDINGS GROUP, LLC
FORMERLY JJ HAYMAN AND SON

CURRITUCK COUNTY NORTH CAROLINA
CRAWFORD TOWNSHIP

PROJECT NO. P23058
DESIGNED BY CMS
DRAWN BY BPU
CHECKED BY MWS
ISSUE DATE 04/25/24

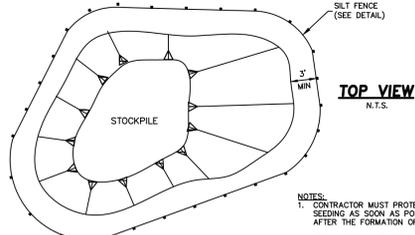
SHEET NO. 3 OF 8 SHEETS

NOTES

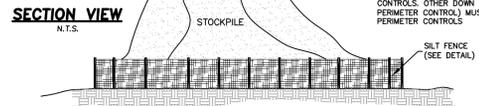
- CURRENT OWNER: RPP HOLDINGS GROUP, LLC
917 BURNSIDE RD.
MANTO, NC 27554
- ENGINEER: QUIBLE & ASSOCIATES, P.C.
P.O. DRAWER 870
KOTY HANK, NC
TEL: (252) 491-8147
- PN: 8996-40-4911
- PID: 0070000110000
- PROPERTY ADDRESS: 4510 CARATOKE HWY
- PROPERTY ZONED: ZONE: 3.26 ACRES GENERAL BUSINESS (GB) AND REMAINING AGRICULTURAL (AG)
- MAXIMUM BUILDING HEIGHT = 35 FT
- MAXIMUM ALLOWABLE LOT COVERAGE (WITHIN GB) = 65% MAX
- LOT AREA = 12.02 ACRES TOTAL (AREAS BY COORDINATE METHOD)
- SUBJECT REFERENCES: DB 86, PG 57; PC E.
- ADDITIONAL REFERENCES: PC P, SL 98; PC L, SL 84; PC L, SL 198.
- FIELD SURVEY DATES: 06/16/23-06/30/23.
- HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM NCGS BOUNDARY MON NC VA RESET.
- PROPERTY IS LOCATED IN NFPP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES BASED ON COMMUNITY CD NO. 37007R; PANEL 8996; MAP NUMBER 3720898600R; EFFECTIVE DATE: 12/21/2016.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC. THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.

SOIL EROSION & SEDIMENTATION CONTROL NOTES:

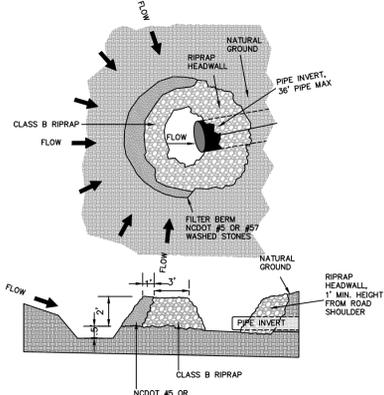
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 - FLAG AND/OR ROUGH STAKE WORK LIMITS.
 - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- CONSTRUCTION:**
- INSTALL CONSTRUCTION ENTRANCE & SILT FENCING AT LOCATIONS SHOWN ON PLAN.
 - CONSTRUCT TEMPORARY SEDIMENT BASIN. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY DEMOLITION.
 - COMPLETE CLEARING AND GRUBBING PROCEDURES.
 - GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - INSTALL CONTRIBUTING STORM CONVEYANCES INCLUDING RIP-RAP APRONS, MATING AND ASSOCIATED EROSION CONTROLS.
 - COMPLETE FINAL GRADING OF THE GROUNDS, TOPSOIL, PERMANENTLY SEED, LANDSCAPE, AND MULCH.
 - ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
 - ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED, ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES INCLUDING THE BASIN AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
 - UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.



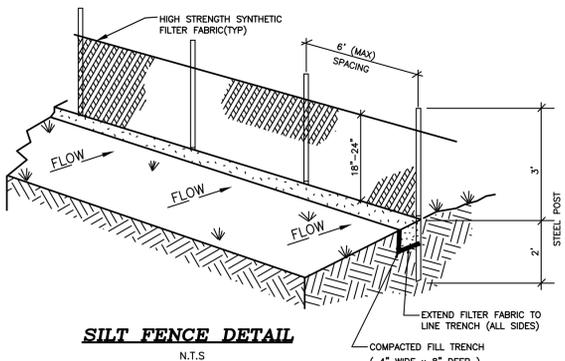
- CONTRACTOR MUST PROTECT TOPSOIL STOCKPILES BY TEMPORARILY SEEDING AS SOON AS POSSIBLE, NO MORE THAN 21 CALENDAR DAYS AFTER THE FORMATION OF THE STOCKPILE.
- CONTRACTOR MUST STABILIZE STOCKPILES WITH PERMANENT VEGETATION TO CONTROL EROSION AND WEED GROWTH IF THE STOCKPILE WILL LAY DORMANT FOR MORE THAN 90 DAYS.
- TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF THE CONSTRUCTION SITE MAY NOT REQUIRE STOCKPILE PERIMETER CONTROLS. OTHER DOWN GRADIENT CONTROLS (INCLUDING SITE PERIMETER CONTROLS) MUST BE IN PLACE TO REMOVE STOCKPILE PERIMETER CONTROLS.



STOCKPILE DETAIL
N.T.S.



CULVERT INLET PROTECTION
N.T.S.



SOIL EROSION & SEDIMENTATION CONTROL NOTES:

- AREA TO BE DISTURBED: ± 127,661 SF (± 3.0 AC).
- PROVIDE A GROUND COVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW.
 - PERIMETER DIKS, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
 - HIGH QUALITY WATER (HOW) ZONES SHALL BE STABILIZED IN 7 DAYS.
 - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
 - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
 - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP. 30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME THE PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
 - A RAIN GAUGE MUST BE KEPT ON SITE.
 - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
 - INSPECT ALL OUTFLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
 - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
 - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCEQ LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCEQ LAND QUALITY SECTION APPROVED SITE.

LEGEND

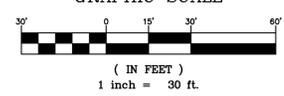
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY GRAVEL SECTION
- EXISTING CONTOUR
- EXISTING SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED POROUS BAFFLE WALL
- PROPOSED CULVERT PROTECTION
- PROPOSED INLET PROTECTION
- PROPOSED SKIMMER
- EX IRON ROD
- EX DRILL HOLE
- EX MAG NAIL
- EX UTILITY POLE
- EX FIRE HYDRANT
- EX WATER VALVE
- EX SEWER MANHOLE
- EX WATER METER
- EX ELECTRICAL CONNECTION
- EX EXTERIOR LIGHT
- EX LIGHT POLE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE

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GRAPHIC SCALE



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NO.	DATE	REVISIONS

NO.	DATE	REVISIONS

SESC PLAN

RPP HOLDINGS GROUP, LLC
FORMERLY JJ HAYMAN AND SON

CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO.	P23058
DESIGNED BY	CMS
DRAWN BY	BPJ/CMS
CHECKED BY	MWS
ISSUE DATE	04/25/24

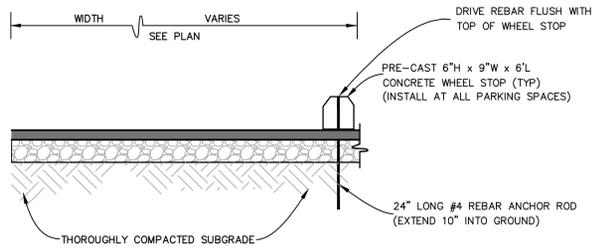
SHEET NO.
4
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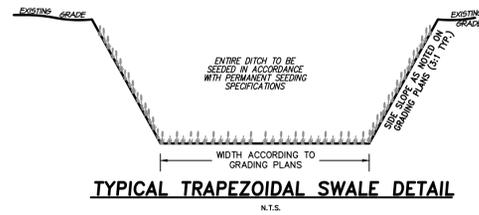
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WHEEL STOP DETAIL
N.T.S.



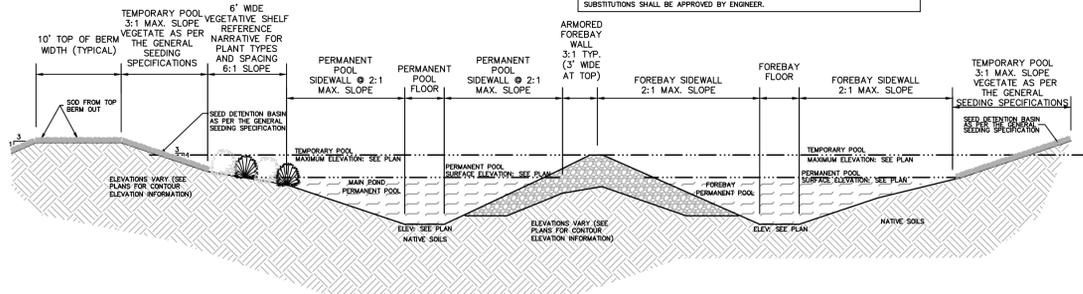
TYPICAL TRAPEZOIDAL SWALE DETAIL
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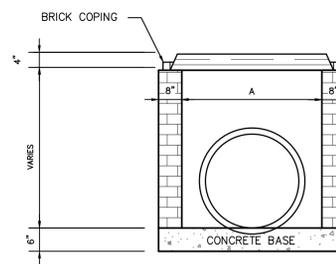
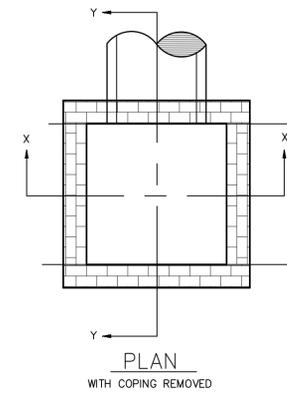
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PLANT SPECIES	COMMON NAME	SPACING	LOCATION
Schoenoplectus (Lobelia)	SOFTSTEM BULRUSH	2' O.C.	BELOW (W/N 1 FOOT) PERM. POOL
Juncus effusus	COMMON RUSH	2' O.C.	BELOW (W/N 1 FOOT) PERM. POOL
Clostrum spp.	SAWGRASS	2' O.C.	BELOW (W/N 1 FOOT) PERM. POOL
Zizaniopsis millocoe	WATER MILLET	2' O.C.	BELOW (W/N 1 FOOT) PERM. POOL

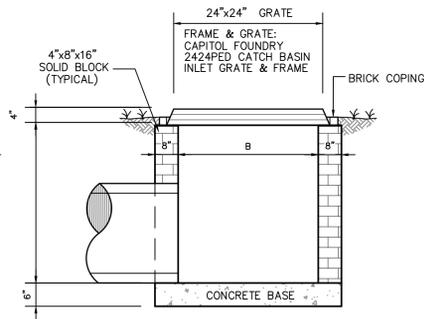
NOTES:
THREE ROWS OF PLANTINGS ARE PROPOSED: A SINGLE ROW OF GROUNDSEL BUSH OR MAX MYRTLE AT THE UPPER EDGE OF THE VEGETATED SHELF AND TWO ROWS OF RUSHES, SAWGRASS OR WATER MILLET MIXTURE TO BE LOCATED ON THE VEGETATED SHELF WITHIN THE PERMANENT POOL WATERLINE (ON 10:1 SLOPE) A MINIMUM OF THREE SPECIES SHALL BE PROVIDED. SUBSTITUTIONS ALLOWED PROVIDED SUBSTITUTE PLANT IS IN ACCORDANCE WITH THE NCDOT STORMWATER BMP MANUAL, CHAPTER 6 AND CHAPTER 9 REQUIREMENTS. ALL SUBSTITUTIONS SHALL BE APPROVED BY ENGINEER.



TYPICAL WET DETENTION BASIN PLANTING DETAIL
N.T.S.



SECTION X-X



SECTION Y-Y

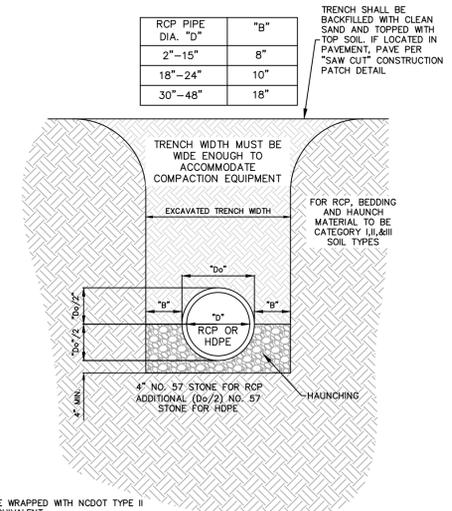
STORM INLET DETAIL
N.T.S.

MIN. DIMENSIONS FOR CATCH BASIN (NCDOT 840.05)

PIPE DIA.	SPAN A	WIDTH B	HEIGHT H
12"	3'-6"	2'-3"	1'-10"
15"	3'-6"	2'-3"	2'-1"
18"	4'-0"	2'-8"	2'-4"

NOTE: ALL CATCH BASINS WITHIN CURB AND GUTTER SHALL MEET NCDOT STANDARD DETAIL 840.02 WITH 840.03 STD. FRAME, GRATE, AND HOOD.

RCP PIPE DIA. "D"	"b"
2"-15"	8"
18"-24"	10"
30"-48"	18"



NOTES:

1. ALL PIPE JOINTS SHALL BE WRAPPED WITH NCDOT TYPE II GEOTEXTILE OR APPROVED EQUIVALENT.

STORM PIPE TRENCH SECTION
N.T.S.

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PROFESSIONAL SEAL
CRAWFORD COUNTY
NORTH CAROLINA
JULIAN M. WILSON
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
EXPIRES 12/31/2024

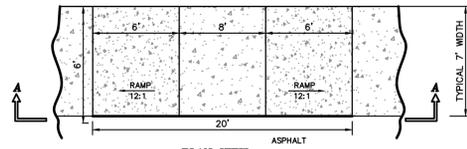
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NO.	DATE	REVISIONS

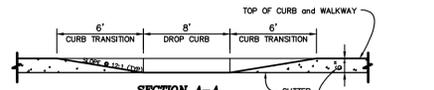
SITE & STORMWATER DETAILS
RPP HOLDINGS GROUP, LLC
FORMERLY JJ HAYMAN AND SON
CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO.	P23058
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SHEET NO.
5
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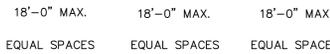
PLAN VIEW



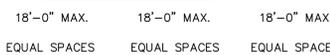
SECTION A-A

WHEELCHAIR RAMP

- 1. USE ADJACENT TO ALL HANDICAPPED SPACES
- 2. DETECTABLE WARNING MUST BE INSTALLED AT ACCESS TO VEHICULAR TRAFFIC AREAS AND PEDESTRIAN CROSSINGS.



FOR "W" = 6'-0" OR LESS

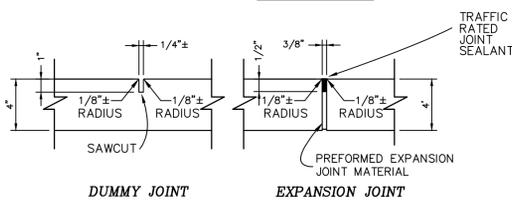


FOR "W" = MORE THAN 6'-0"

E = EXPANSION JOINT
D = DUMMY JOINT

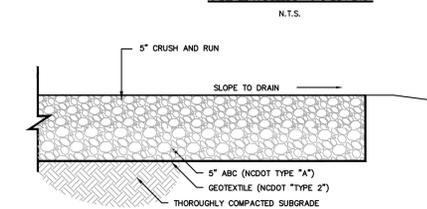
- NOTES:
- EXCEPT WHERE SHOWN IN THE PLAN, ALL NEW CONC. WALKS SHALL HAVE JOINTS SPACED AS SHOWN IN THESE DETAILS.
 - AN EXPANSION JOINT SHALL BE USED TO SEPARATE THE NEW CONC. WALK FROM OTHER NEW OR EXISTING CONCRETE CONSTRUCTION.
 - SEE ALSO ARCHITECTURAL PLANS

JOINT PATTERN



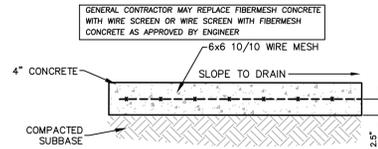
JOINT DETAIL

SIDEWALK JOINTS



HEAVY DUTY GRAVEL PAVEMENT SECTION

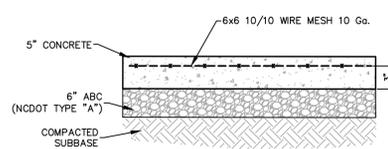
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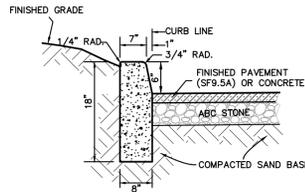
CONCRETE SECTION (SIDEWALK)

- COMPACTION NOTES:
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
 - COMPACT BACKFILL AND SUBGRADE TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). ALL BACKFILL MATERIAL SHALL BE SELECT BACKFILL UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
 - SELECT FILL SHALL CONSIST OF SAND OR GRAVEL CONTAINING LESS THAN 20% BY WEIGHT OF FINES (SP, SM, SW, GP, GW) HAVING A LIQUID LIMIT LESS THAN 20 AND PLASTIC LIMIT LESS THAN 6, AND FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL.

COMPACTION NOTES

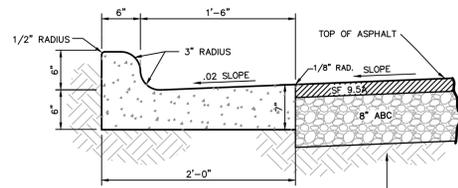


CONCRETE SECTION (DUMPSTER PAD)



PARKWAY CURB

N.T.S.

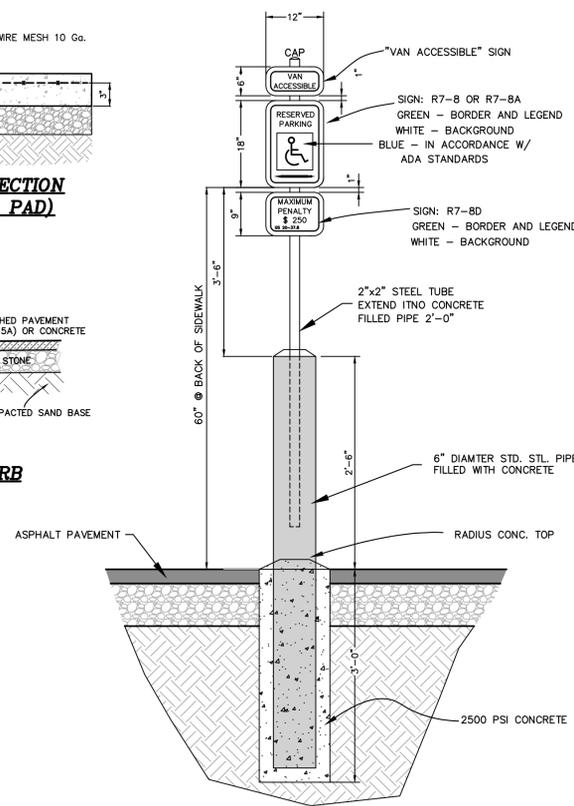


2'-0" CURB and GUTTER

REF. NCDOT STD. 846.01
N.T.S.

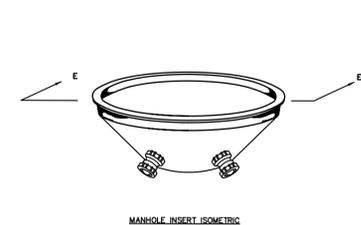
- SPECIFICATIONS FOR SIDEWALKS, CURBS, ALLEYS, CONCRETE PAVEMENT
ALL REINFORCING STEEL SHALL BE GRADE 60 (ASTM A615)
ALL WELDED WIRE FABRIC SHALL BE 6 x 6, W1.4 x W1.4 (ASTM A185)
A 1-1/2" CLEAR CONCRETE COVER SHALL BE MAINTAINED ON ALL REINFORCEMENT
ALL CONCRETE SHALL BE 3000 PSI FIBER MESH UNLESS OTHERWISE NOTED
- SPECIFICATIONS OF ASPHALT
ALL ABC STONE SHALL BE COMPACTED TO 100% OF STANDARD PROCTOR (ASTM D698)
- SPECIFICATIONS FOR SUBBASE
ALL SUBBASE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR (ASTM D698)

TYPICAL SPECIFICATIONS



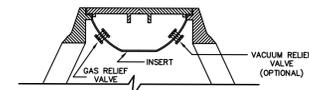
ADA RESERVED PARKING SIGN DETAIL

N.T.S.



MANHOLE INSERT ISOMETRIC

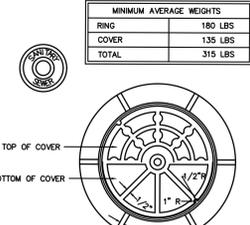
INSERT TO BE BY PARSONS ENVIRONMENTAL PRODUCTS, INC. OR APPROVED EQUAL.



SECTION E-E

WATERTIGHT MANHOLE INSERT

N.T.S.



TOP OF COVER
BOTTOM OF COVER

EAST JORDAN IRON WORKS, INC.
MANHOLE FRAME AND COVER - V-1354
W/ SANITARY SEWER
IMPRINTED ON THE LID

TYPICAL MANHOLE RING & COVER DETAILS

N.T.S.

MINIMUM AVERAGE WEIGHTS	
RING	180 LBS
COVER	135 LBS
TOTAL	315 LBS

NC License# C-028
SINCE 1959
Quible & Associates, P.C.
ENGINEERING, ARCHITECTURE & SURVEYING
ENVIRONMENTAL SCIENCES & SURVEYING
***SERVICES NOT OFFERED AT BLACK HILL OFFICE**
8486 GARATON HWY. BLACK MOUNTAIN, NC 28711
90 CHURCH STREET POWELLS POINT, NC 27968
Phone: (850) 891-8127 Fax: (850) 891-8128
www.quible.com



REVISIONS

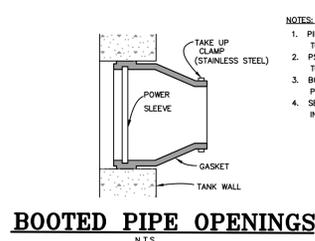
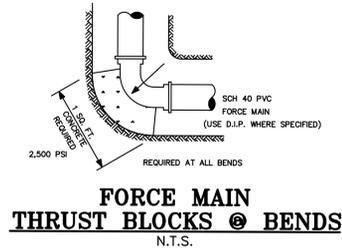
NO.	DATE	DESCRIPTION

PROJECT NO. P23058
DESIGNED BY CMS
DRAWN BY BPJ/CMS
CHECKED BY MWS
ISSUE DATE 04/25/24

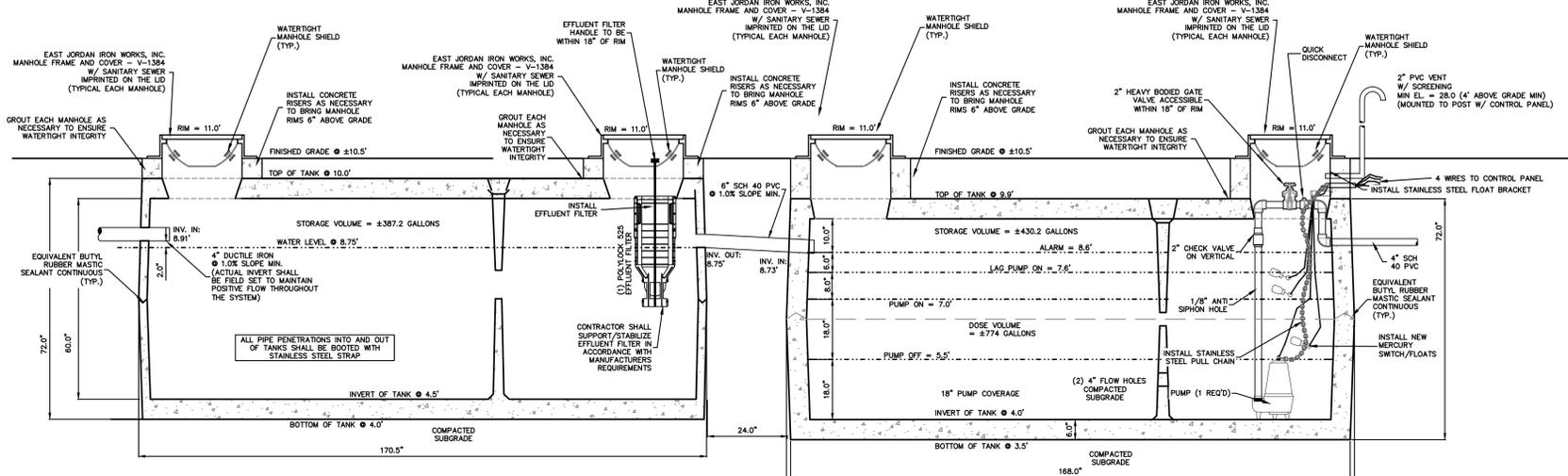
SITE & UTILITIES DETAILS
RPP HOLDINGS GROUP, LLC
FORMERLY JJ HAYMAN AND SON
CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

SHEET NO.
6
OF 8 SHEETS

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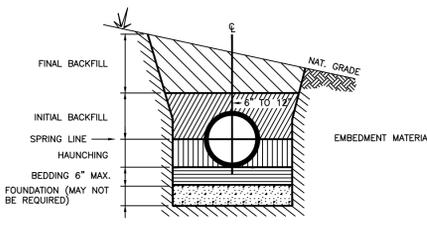
- NOTES:
- PIPE TO MANHOLE CONNECTION TO CONFORM TO LATEST ASTM C-478 SPECIFICATION.
 - PSX FLEXIBLE BOOT CONNECTOR TO CONFORM TO LATEST ASTM C-923 SPECIFICATION.
 - BOOT CONNECTOR IS MANUFACTURED BY THE PRESS SEAL GASKET CORP. FORT WAYNE, IN.
 - SEE MANUFACTURER'S LITERATURE FOR FURTHER INFORMATION AND DETAIL.



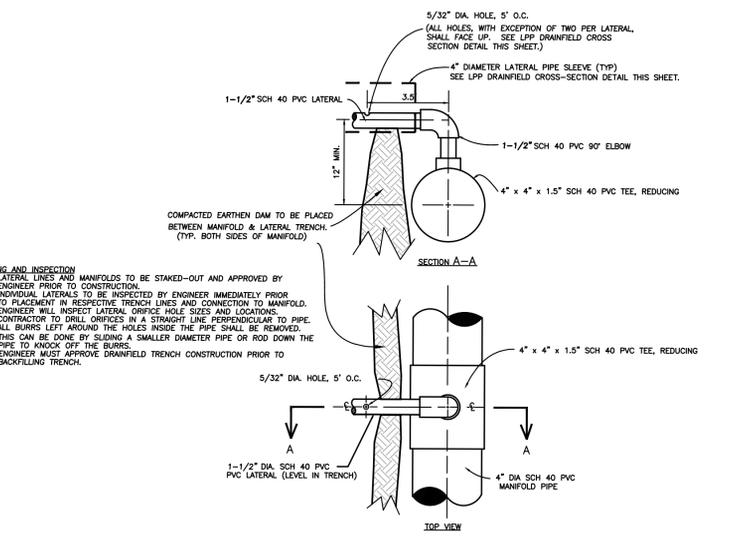
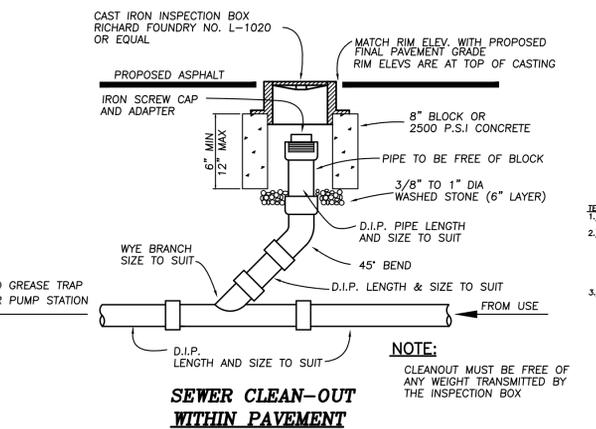
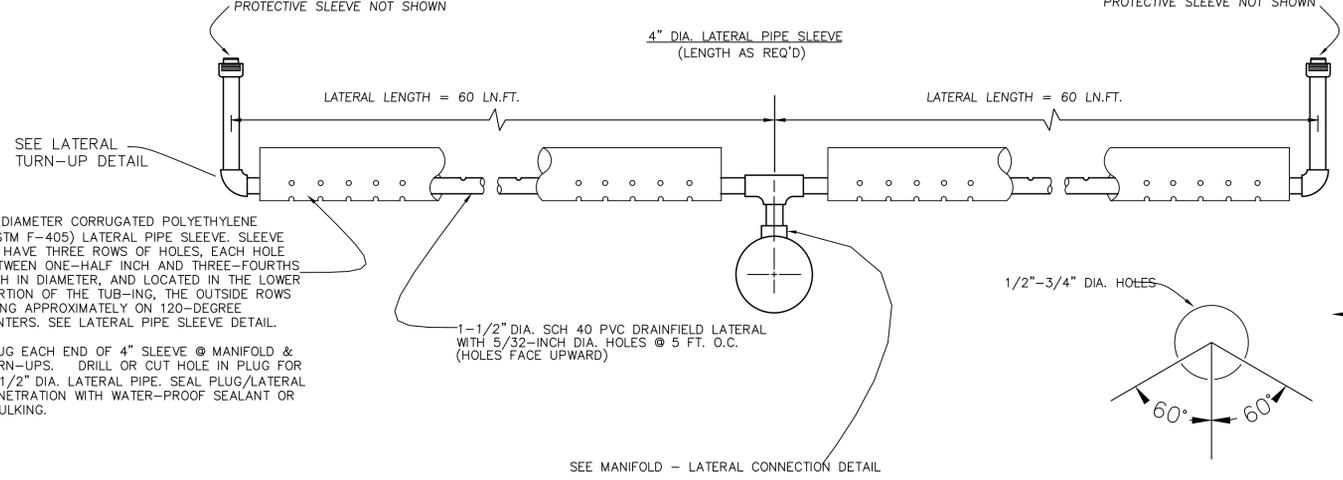
ALL TANK SEAMS TO BE WRAPPED WITH CONSAL, INC., CS-212 CONWAP EXTERNAL JOINT WRAP WITH 4 MIL POLYOLEFIN VAPOR BARRIER

UNDER NORMAL CONDITIONS WITH LIQUID LEVEL IN SEPTIC TANK AT OUTLET THE ELEVATION, TANK SHOULD NOT FLOAT. SEPTIC SYSTEM MANAGING ENTITY AND SEPTAGE PUMP & HAULER SHALL TAKE PRECAUTIONS AGAINST SEPTIC TANK FLOATING WHEN BEING PUMPED OUT.

NOTE: (1) REQUIRED BARNES (SERIES SE) - SUBMERSIBLE EFFLUENT PUMP - MODEL SE107AL (6.0 IMPELLER) - 1.0 HP, 115 V, SINGLE PHASE - 2" NPT DISCHARGE OR EQUAL AS APPROVED BY ENGINEER CAPACITY: 90 GPM @ 14.5 FT. TDH

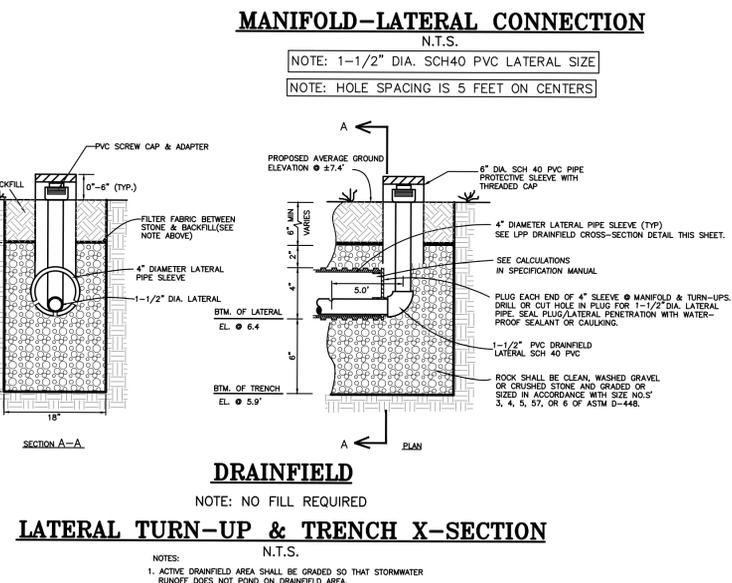
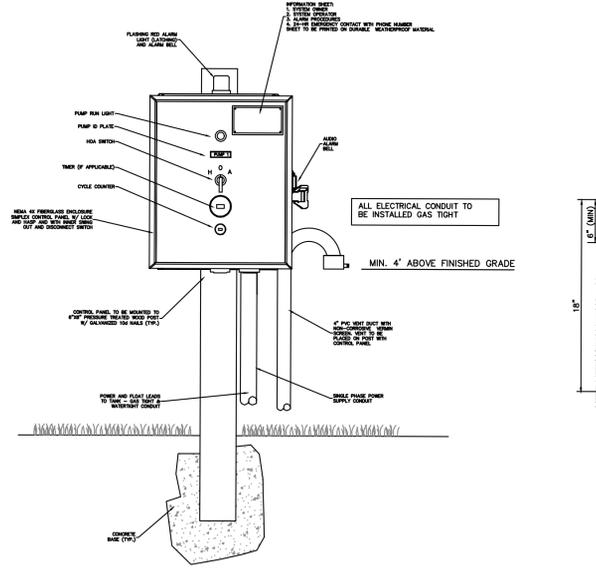
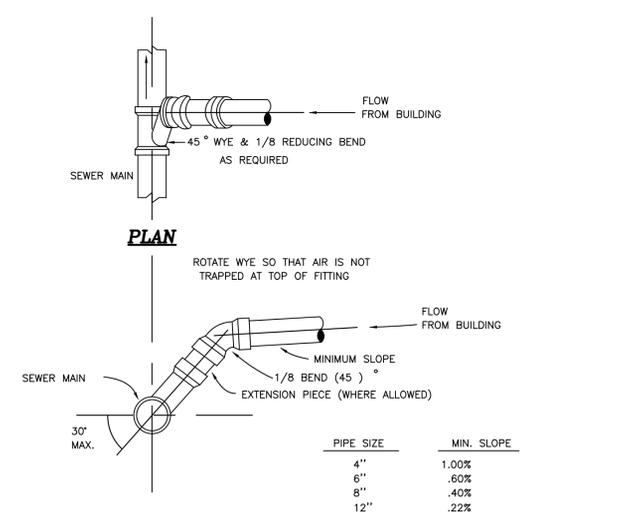
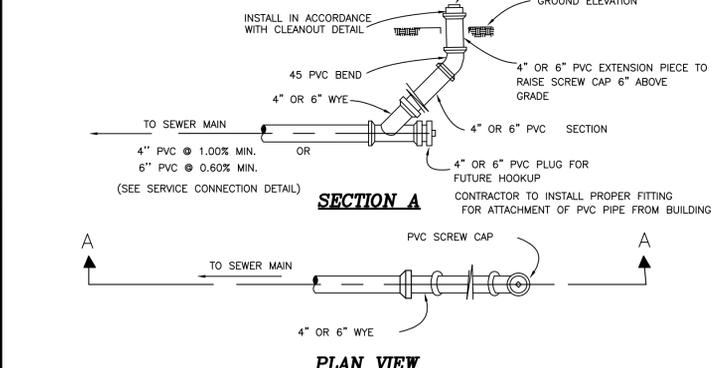


EACH LATERAL IN DRAINFIELD SHALL HAVE (2) TWO OF THE 5/32" HOLES. APPROX. ONE THIRD OF THE DISTANCE FROM THE MANIFOLD AND APPROX. ONE THIRD OF THE DISTANCE FROM THE TURN-UP TO FACING DOWN TO INSURE DRAINAGE OF LATERALS AFTER PUMP SHUT-OFF.



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- NOTES:
- ACTIVE DRAINFIELD AREA SHALL BE GRADED SO THAT STORMWATER RUNOFF DOES NOT POOL ON DRAINFIELD AREA.
 - VEGETATE DRAINFIELD AND REPAIR AREAS AS PER SEEDING SPECIFICATION.
 - FILTER FABRIC SHALL BE TREVIRA SPUNBOND TYPE 1112 ENGINEERING FABRIC OR EQUAL AS APPROVED BY ENGINEER.
 - ALL TRENCHES, LATERALS, AND MANIFOLDS SHALL BE INSTALLED LEVEL.
- NOTE: HOLE SPACING IS 5 FEET ON CENTERS

QUIBLE & ASSOCIATES, P.C. ENGINEERS & ARCHITECTS
1000 W. HARRIS STREET, SUITE 100
BLACK MOUNTAIN, NC 28711
PHONE: (828) 689-9447
FAX: (828) 689-9448
WWW.QA-PC.COM

NC License # C-028
SINCE 1959

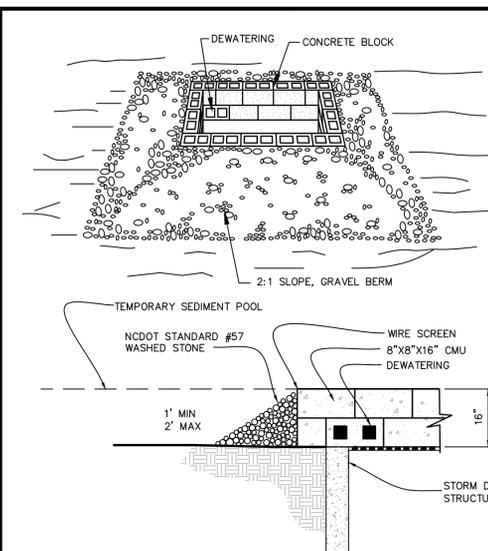
REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO. P23058
DESIGNED BY CMS
DRAWN BY BPJ/CMS
CHECKED BY MWS
ISSUE DATE 04/25/24

SHEET NO. 7 OF 8 SHEETS

WASTEWATER DETAILS
RPP HOLDINGS GROUP, LLC
FORMERLY JJ HAYMAN AND SON
CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA



PERMANENT VEGETATION

SEEDING DATES: APRIL 1 - AUGUST 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	130 LBS.
COMMON BERBERIDA 'SAHARA' (HULLED)	215 LBS.

SEEDING DATES: SEPT. 1 - MARCH 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERBERIDA 'SAHARA' (UNHULLED)	215 LBS.

TEMPORARY VEGETATION

SEEDING DATES: AUG. 16 - APRIL 15:

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRAIN	120 LBS.

SEEDING DATES: APRIL 16 - AUG. 15:

SEED MIXTURE	APPLICATION RATES/ACRE
GERMAN MILLET	40 LBS.

SEEDBED PREPARATION:
LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW. BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDDED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORM FINE TEXTURE SHALL BE THE FINISHED GRADE.

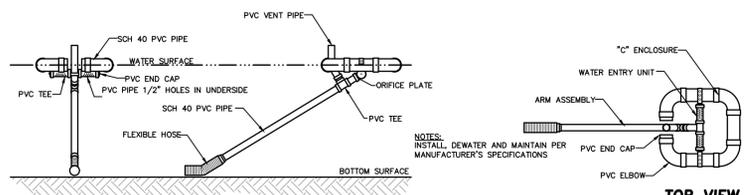
SOIL AMENDMENTS:
OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

MULCHING:
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.

MAINTENANCE:
SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEEDDED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE: (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.) WEAK OR DAMAGED SPOTS MUST BE RELIMED, FERTILIZED, MULCHED, AND RESEEDDED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

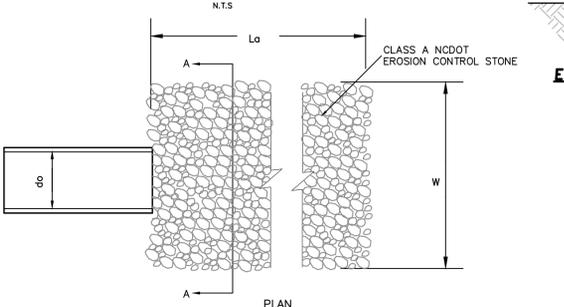
SEEDING SPECIFICATIONS



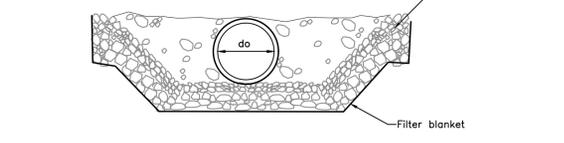
INLET PROTECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, (LATEST EDITION) SECTION 6.52.

INLET PROTECTION SHALL BE PROVIDED AT ALL DROP INLETS, CURB INLETS, YARD INLETS AND ANY OTHER STORMWATER COLLECTION INLET.

INLET PROTECTION

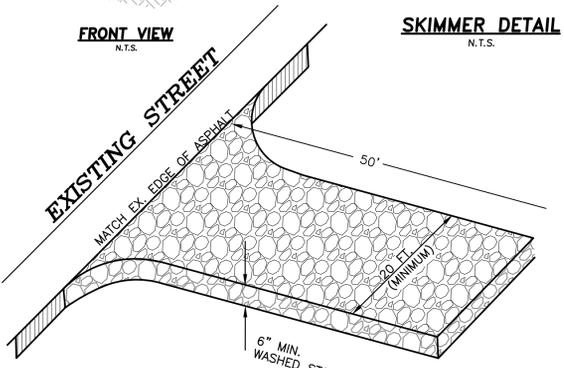


do = PIPE DIA
Lo = APRON LENGTH
W = APRON WIDTH

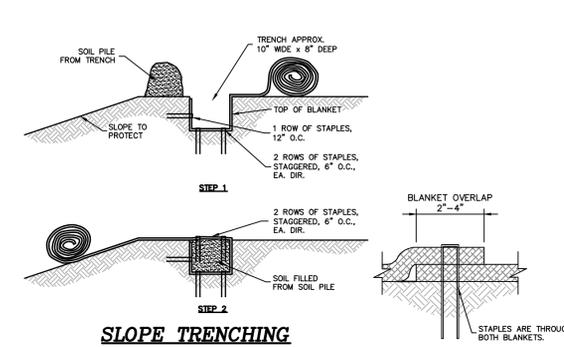


NOTES:
SEE GRADING PLANS FOR DIMENSIONS
- A filter blanket or filter fabric should be installed between the rip rap and soil foundation.

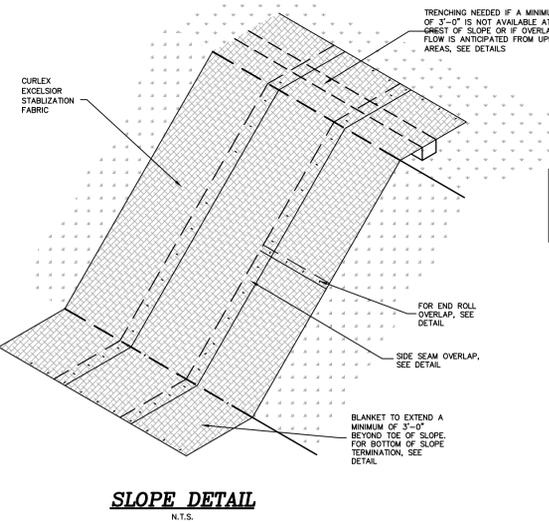
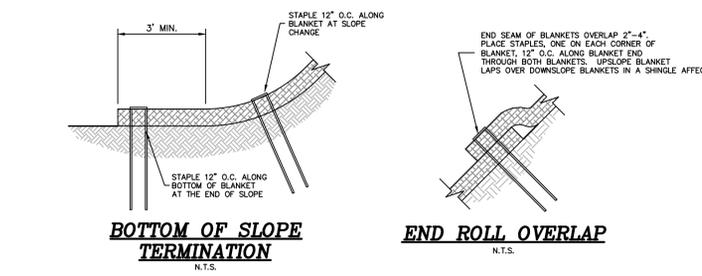
GRASS CONSTRUCTION ENTRANCE/EXIT DETAIL



GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL



CURLEX® SLOPE APPLICATION DETAIL
AMERICAN EXCELSIOR COMPANY
ARLINGTON, TEXAS



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	
	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(d) Slopes 3:1 to 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roller erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roller erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
 - Provide drip pans under any stored equipment.
 - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
 - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
 - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
 - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers.
 - Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
 - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
 - Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
 - Anchor all lightweight items in waste containers during times of high winds.
 - Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
 - Dispose waste off-site at an approved disposal facility.
 - On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
 - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Contain liquid wastes in a controlled area.
 - Containment must be labeled, sized and placed appropriately for the needs of site.
 - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind site fence or place on a gravel pad and surround with sand bags.
 - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
 - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly equipped unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
 - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
 - Provide stable stone access point when feasible.
 - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicator of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up and stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part II, Section C, Item 2)(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

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PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation
In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported
Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 142-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(b) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and releases of hazardous substances per Item 1)(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(c) Anticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(d) Unanticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(j)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(j)(7))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(j)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.

NC License # C-028
SWCE # 959

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NO. DATE

REVISIONS

PROJECT NO. P23058
DESIGNED BY CMS
DRAWN BY BPJ/CMS
CHECKED BY MWS
ISSUE DATE 04/25/24

SHEET NO. 8 OF 8 SHEETS

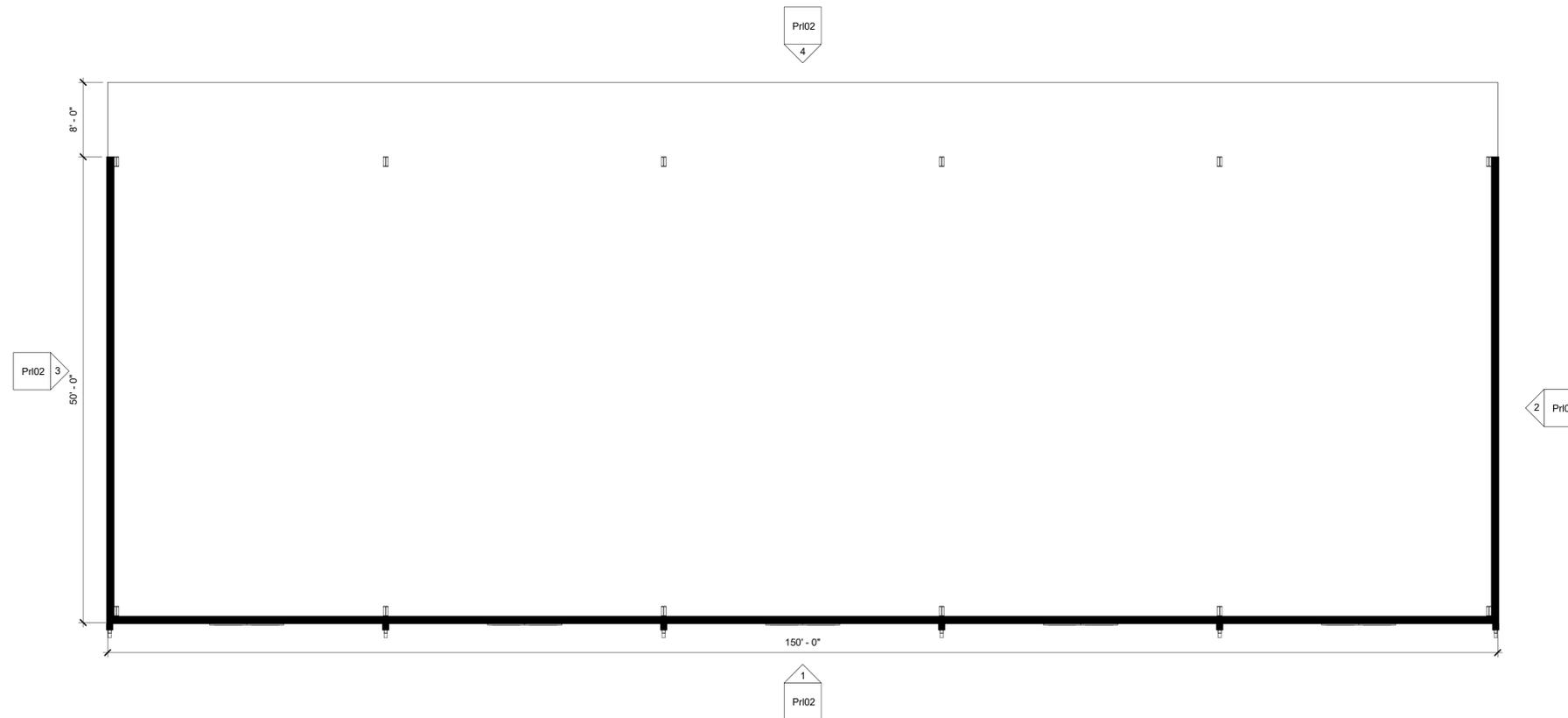
RPP HOLDINGS GROUP, LLC
FORMERLY JJ HAYMAN AND SON

CRAWFORD TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA



2 Rendering
12" = 1'-0"

Project: **Kellogg Coinjock Storage Bldg #1**
Project No: **24004**
Location: **4510 Caratoke Hwy Coinjock, NC**
Title: **Preliminary**
Date: **April 24, 2024**
Scale: **As indicated**



1 First Floor Plan
1/8" = 1'-0"

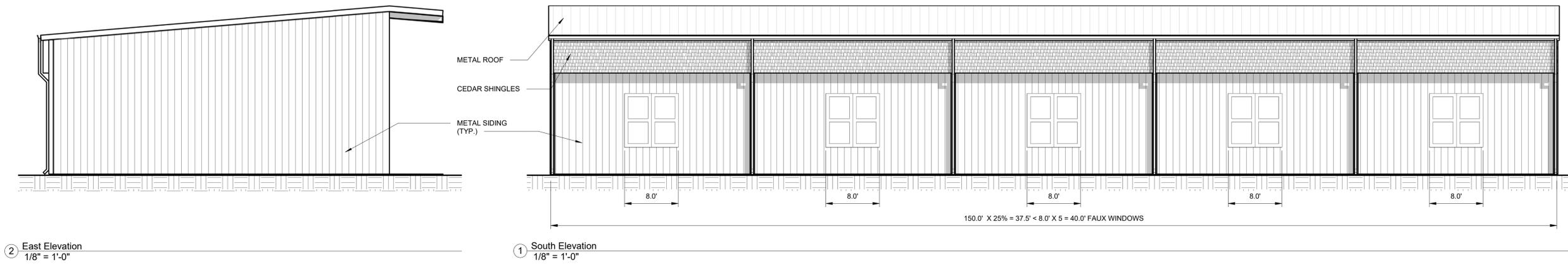
The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

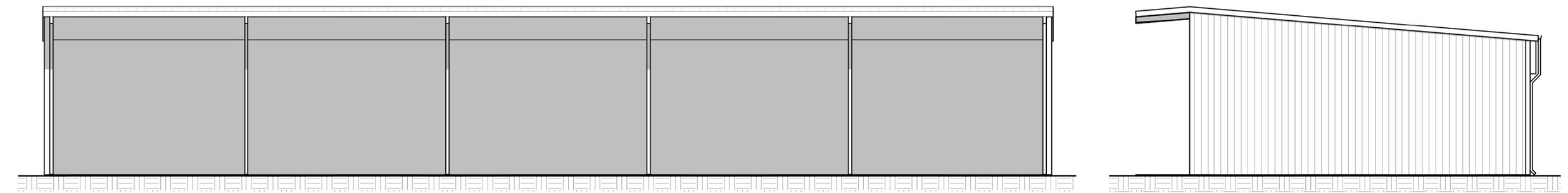
No.	Description	Date

Designed: Designer
Drawn: Author
Reviewed: Checker
Cad File: **Pr101**



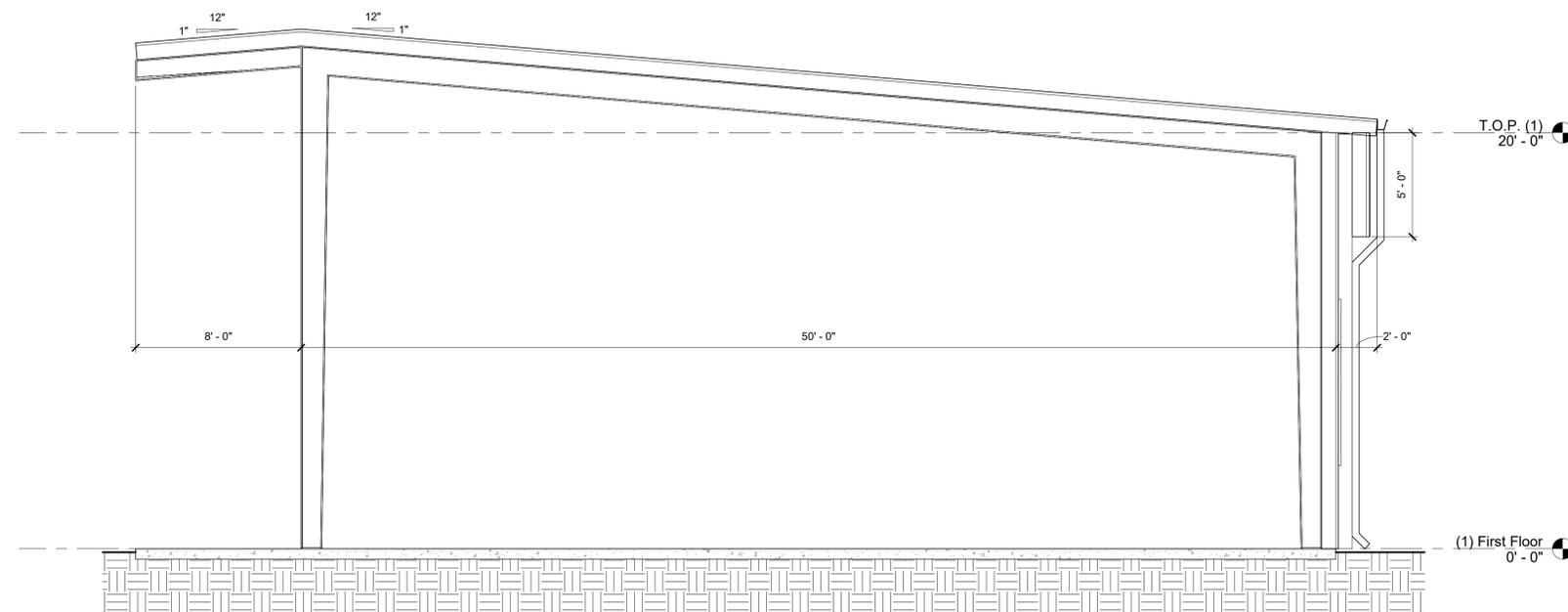
② East Elevation
1/8" = 1'-0"

① South Elevation
1/8" = 1'-0"



④ North Elevation
1/8" = 1'-0"

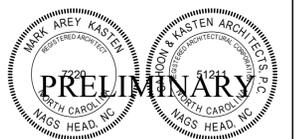
③ West Elevation
1/8" = 1'-0"



⑤ Section 1
1/4" = 1'-0"

Project: **Kellogg Coinjock Storage Bldg #1**
Project No: **24004**
Location: **4510 Caratoke Hwy Coinjock, NC**
Title: **Preliminary**
Date: **April 24, 2024**
Scale: **As indicated**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: Designer
Drawn: Author
Reviewed: Checker
Cad File: **Pr102**