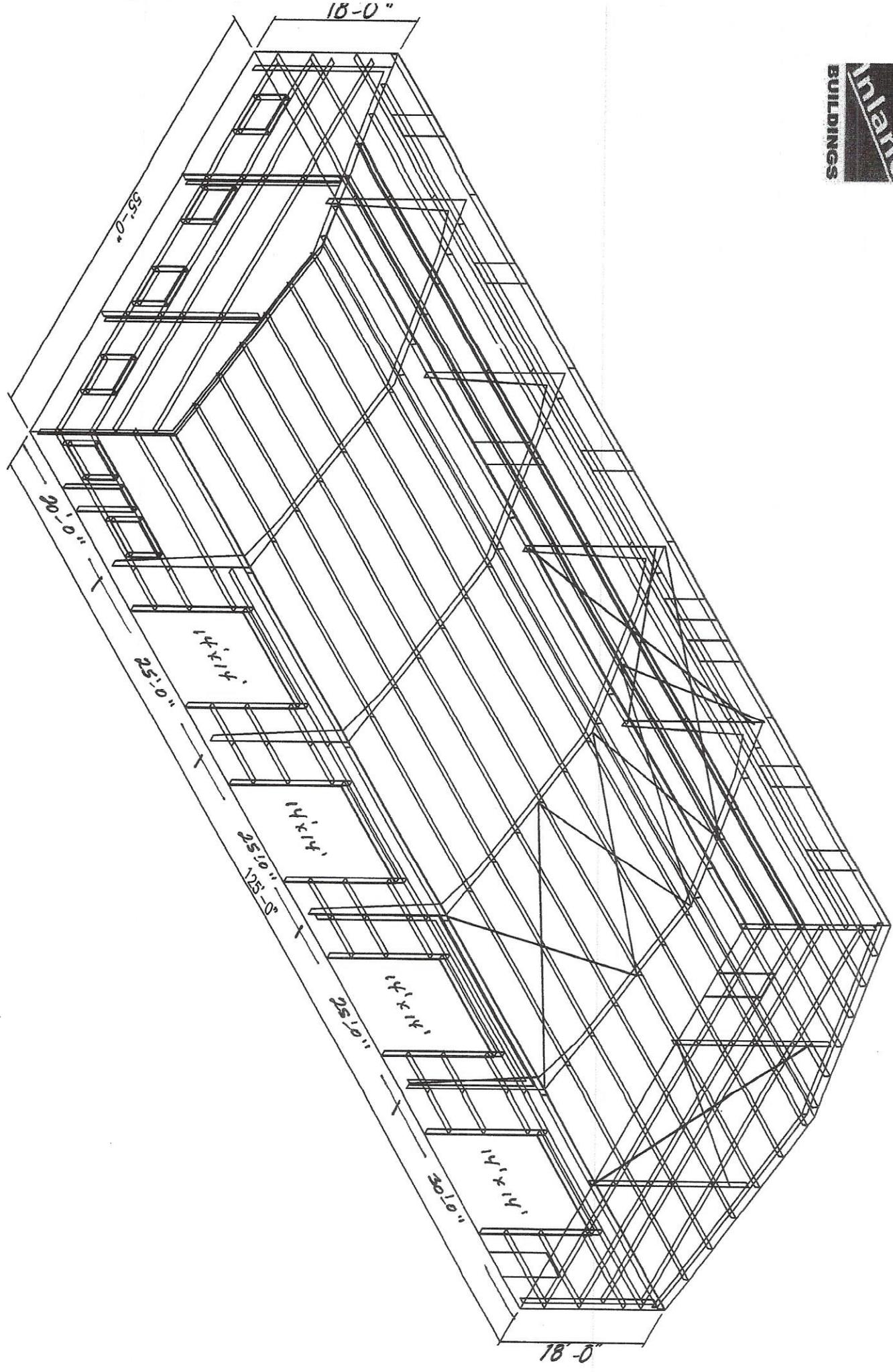




ISLAND SEPT 72















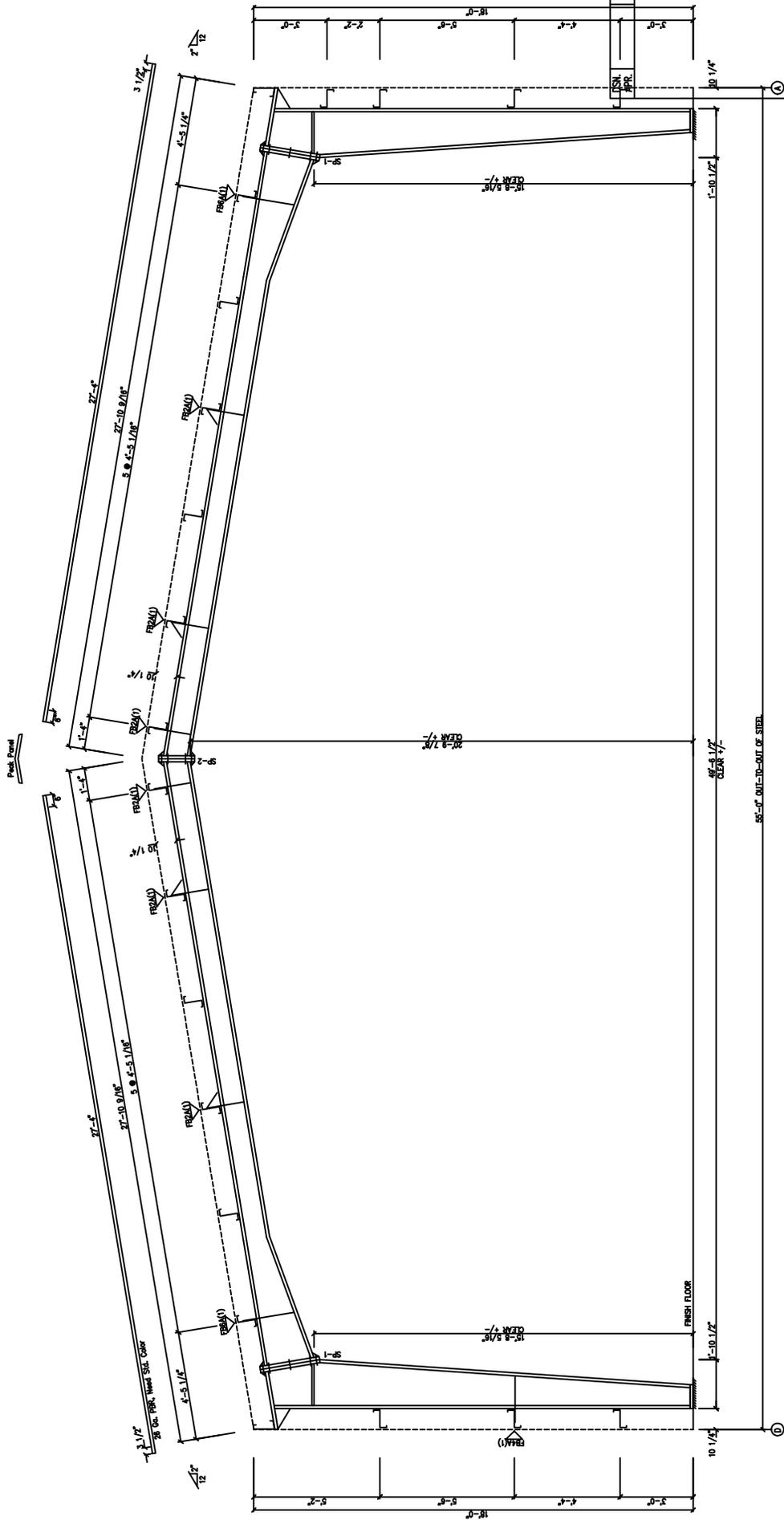


**SPRUE PLATE & BOLT TABLE**

| Mark | Qty | Part | Int. Type | Dia. | Length | Width | Thick. |
|------|-----|------|-----------|------|--------|-------|--------|
| SP-1 | 4   | 4    | 2         | A325 | 5/8"   | 2"    | 1/2"   |
| SP-2 | 4   | 0    | A325      | 5/8" | 1 3/4" | 6"    | 3/8"   |
|      |     |      |           |      |        |       | 1 1/8" |

FRAME BRACES: Fines (1 or 2)  
 (1) One Side (2) Two Sides  
 A - 20211400

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



RIGID FRAME ELEVATION: FRAME LINE 5

55'-0" 010-10-50-06 OF STEEL

| DRAWING STATUS |         | REVISIONS   |           |
|----------------|---------|-------------|-----------|
| NO.            | DATE    | DESCRIPTION | BY / DATE |
| 1              | 3/14/23 | PRELIMINARY |           |

FOR APPROVAL: SEND FOR APPROVAL USE BY DESIGN. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THE USER ASSUMES ALL LIABILITY FOR THE PROPER USE OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THESE DRAWINGS, BEING FOR FRAME, ARE BY DEFINITION NOT FINAL. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THESE DRAWINGS SHALL BE CONSIDERED AS PRELIMINARY DRAWINGS FOR CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

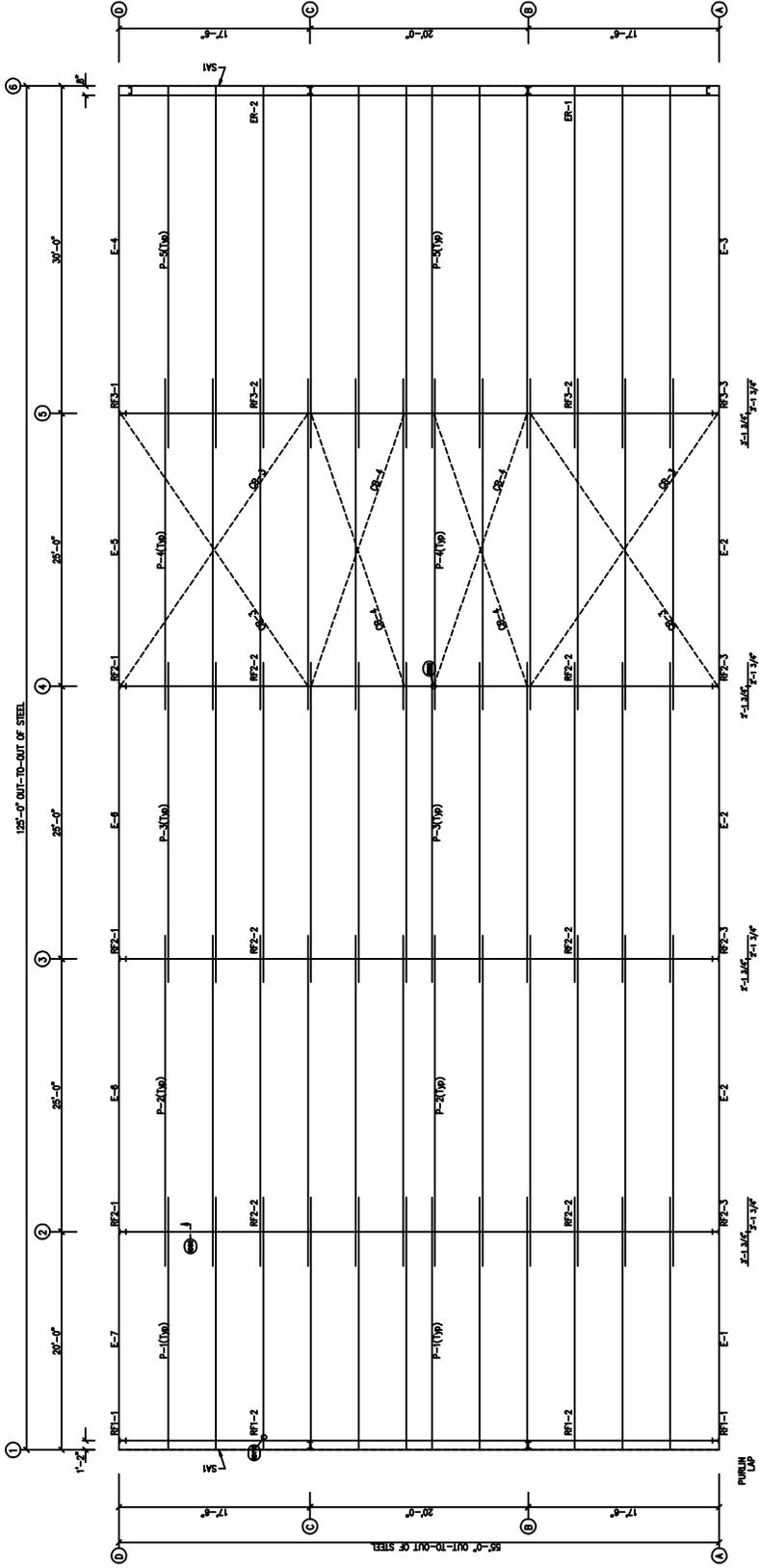
|              |   |
|--------------|---|
| COMPANY      | INLAND BUILDINGS                          |
| ADDRESS      | 2418 SECOND AVENUE S.W. CULLMAN, AL 36005 |
| PHONE        | 205-335-1111                              |
| FAX          | 205-335-1138                              |
| WWW          | www.inlandbuildings.com                   |
| DESIGNER     | JAMES HARRIS                              |
| CHECKER      | JAMES HARRIS                              |
| DATE         | 3/14/23                                   |
| SCALE        | N.T.S.                                    |
| SHEET NO.    | BD012312                                  |
| TOTAL SHEETS | 1   |

|             |         |             |  |
|-------------|---------|-------------|--|
| NO.         | 3/14/23 | PRELIMINARY |  |
| DATE        | 3/14/23 | DESCRIPTION |  |
| BY          |         |             |  |
| DATE        |         |             |  |
| DESCRIPTION |         |             |  |

REFER TO C1  
 CROSS SECTION  
 INLAND BUILDINGS  
 JAMES HARRIS  
 2418 SECOND AVENUE S.W. CULLMAN, AL 36005  
 205-335-1111  
 www.inlandbuildings.com  
 3/14/23  
 N.T.S.  
 BD012312  
 1  
 SHEET NO.

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.

| NO. | DATE    | DESCRIPTION |
|-----|---------|-------------|
| 1   | 3/14/23 | PRELIMINARY |



ROOF FRAMING PLAN

|     |     |     |      |
|-----|-----|-----|------|
| DSN | APR | APR | DATE |
|-----|-----|-----|------|

**DRAWING STATUS**

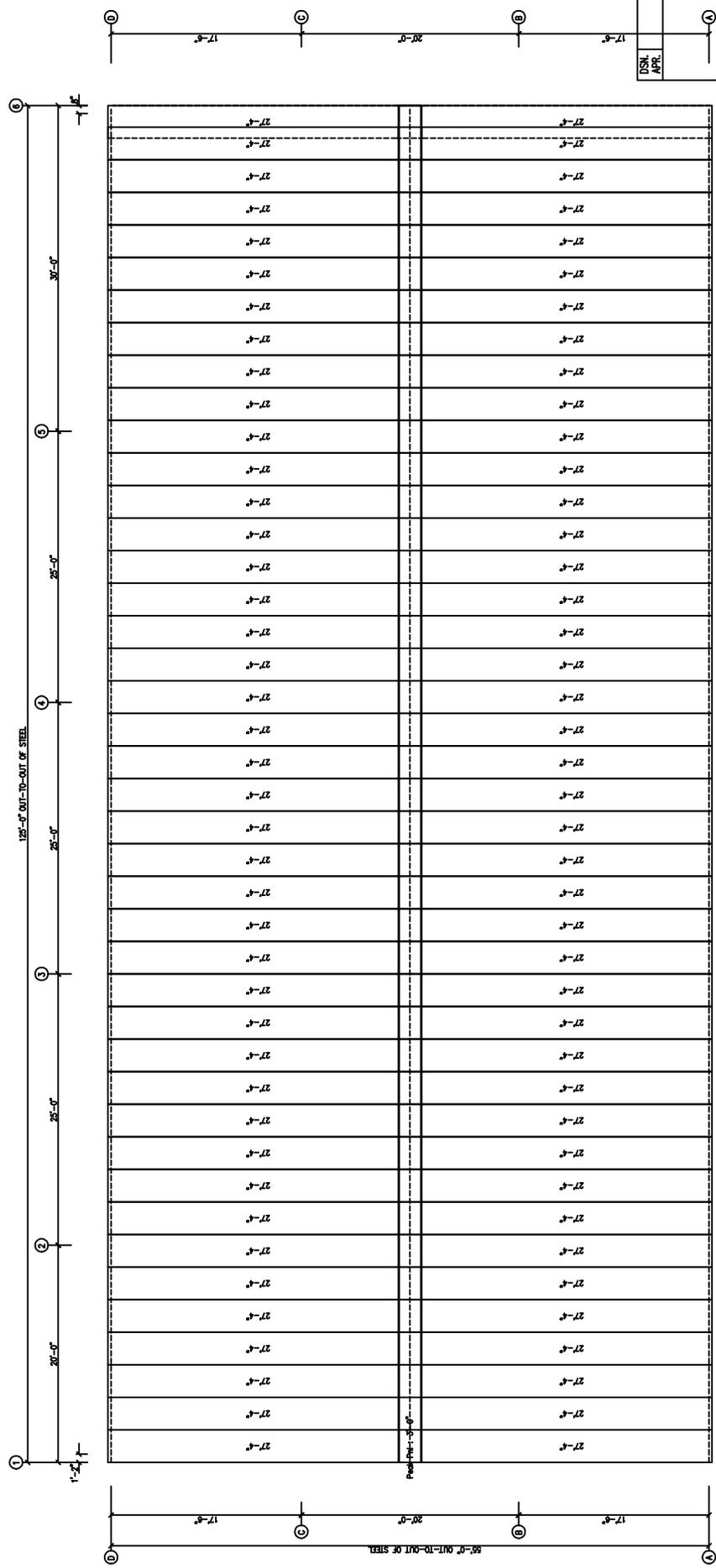
FOR APPROVAL: SEND FOR APPROVAL USE BY DATE ONLY. THESE DATES ARE FOR INFORMATION ONLY. THE DRAWING IS TO BE USED FOR CONSTRUCTION OF THE PROJECT AS SHOWN. THE DRAWING IS NOT TO BE CONSIDERED AS COMPLETE.  
 THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION. ONLY DRAWINGS MARKED FOR CONSTRUCTION CAN BE CONSIDERED AS FINAL.  
 FOR CONSTRUCTION: USE FOR CONSTRUCTION ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION OF THE PROJECT AS SHOWN. THE DRAWING IS NOT TO BE CONSIDERED AS COMPLETE.

| NO. | DATE    | DESCRIPTION | BY | CHK |
|-----|---------|-------------|----|-----|
| 1   | 3/14/23 | PRELIMINARY |    |     |

**INLAND BUILDINGS**  
 241 SECOND AVENUE S.W. CULLMAN, AL 35005  
 TEL: 205-335-1111 FAX: 205-335-1138  
 www.inlandbuildings.com

**ROOF PLAN**  
 PROJECT: HANDELVILLE METAL, INC.  
 DRAWN BY: JAMES L. HANDELVILLE  
 CHECKED BY: JAMES L. HANDELVILLE  
 DATE: 3/14/23  
 SHEET NO. 1 OF 10

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



|     |     |     |      |
|-----|-----|-----|------|
| DSN | APR | APR | DATE |
|     |     |     |      |

ROOF SHEETING PLAN  
 PANELS 28 Gb. PBR - Need S&L Color

|                         |  |  |  |
|-------------------------|--|--|--|
| <b>INLAND BUILDINGS</b> |  | 241 SECOND AVENUE S.W. CULLMAN, AL 35065 |  |
| TEL: 205-338-1111       |  | FAX: 205-338-1838                        |  |
| www.inlandbuildings.com |  |  |  |
| <b>PROJECT</b>          |  | ROOF SHEETING                            |  |
| <b>CLIENT</b>           |  | JAMES H. HANDELSON, INC.                 |  |
| <b>LOCATION</b>         |  | POMELLS POINT, NC 27842                  |  |
| <b>DATE</b>             |  | 3/14/23                                  |  |
| <b>SCALE</b>            |  | N.T.S.                                   |  |
| <b>DRAWN BY</b>         |  | BD012312                                 |  |
| <b>CHECKED BY</b>       |  |  |  |
| <b>DATE</b>             |  | 3/14/23                                  |  |
| <b>DESCRIPTION</b>      |  | PRELIMINARY                              |  |
| <b>NO.</b>              |  | 3/14/23                                  |  |
| <b>DATE</b>             |  | 3/14/23                                  |  |
| <b>DESCRIPTION</b>      |  | PRELIMINARY                              |  |
| <b>NO.</b>              |  |  |  |
| <b>DATE</b>             |  |  |  |
| <b>DESCRIPTION</b>      |  |  |  |

**DRAWING STATUS**

FOR APPROVAL: SEND FOR APPROVAL USE BY DESIGN ONLY. THESE DRAWINGS ARE FOR INFORMATION ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION OF THE PROJECT UNLESS OTHERWISE NOTED. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL.

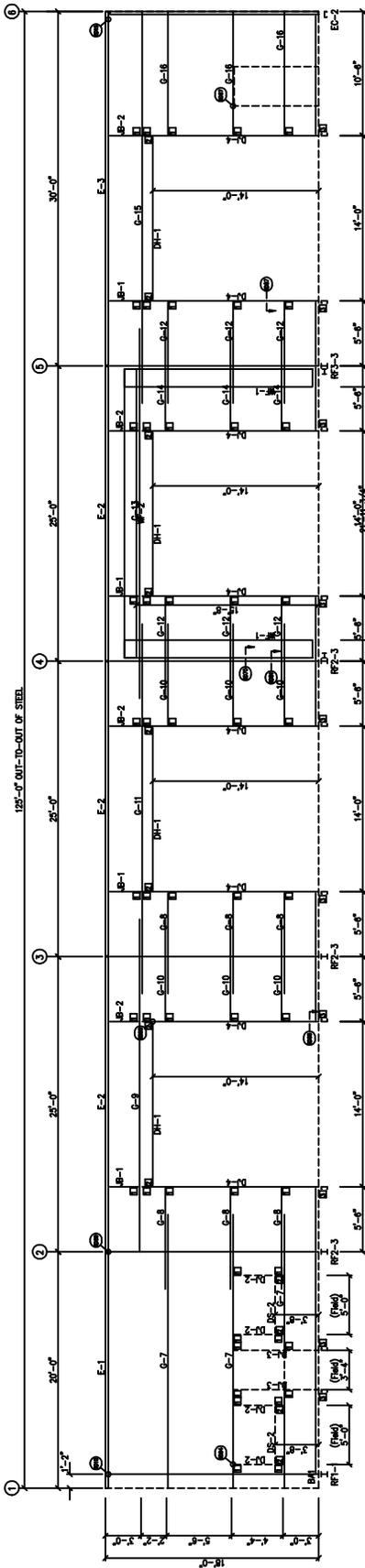
FOR PERMITS: THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR PERMITS, ARE BY DEFINITION NOT FINAL.

FOR CONSTRUCTION: THESE DRAWINGS, BEING FOR CONSTRUCTION, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR CONSTRUCTION, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR CONSTRUCTION, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR CONSTRUCTION, ARE BY DEFINITION NOT FINAL. THESE DRAWINGS, BEING FOR CONSTRUCTION, ARE BY DEFINITION NOT FINAL.

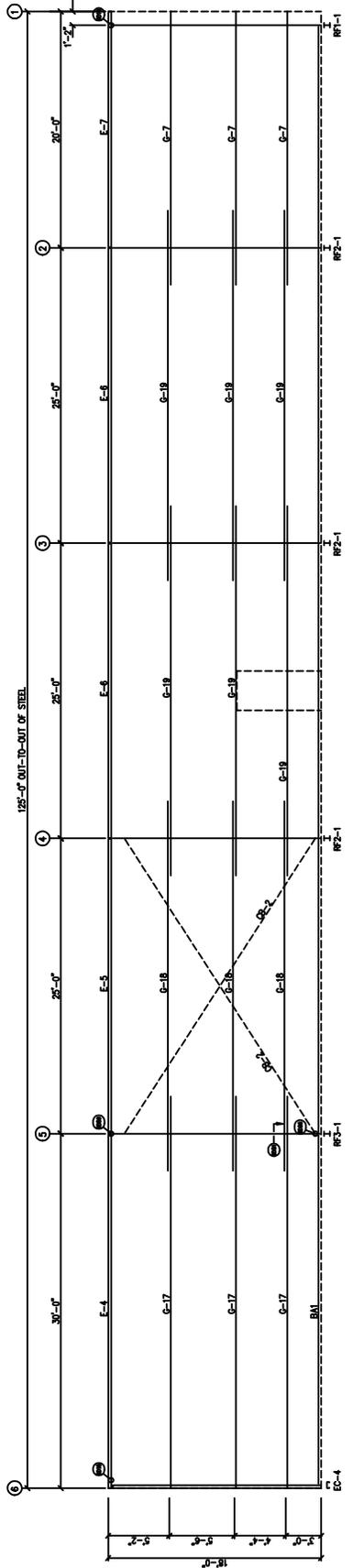




PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL FRAMING: FRAME LINE D

|          |         |    |      |
|----------|---------|----|------|
| SCALE    | DATE    | BY | CHKD |
| AS SHOWN | 3/14/23 | MS | MS   |
| AS SHOWN | 3/14/23 | MS | MS   |
| AS SHOWN | 3/14/23 | MS | MS   |

| NO. | DESCRIPTION        | DATE    | BY | CHKD |
|-----|--------------------|---------|----|------|
| 1   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 2   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 3   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 4   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 5   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 6   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 7   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 8   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 9   | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 10  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 11  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 12  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 13  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 14  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 15  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 16  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 17  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
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| 22  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
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| 24  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 25  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 26  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
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| 29  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 30  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 31  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 32  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 33  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 34  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 35  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 36  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 37  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 38  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
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| 42  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 43  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 44  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 45  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 46  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 47  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 48  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 49  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |
| 50  | ISSUED FOR PERMITS | 3/14/23 | MS | MS   |

|                   |         |    |      |
|-------------------|---------|----|------|
| CONNECTION PLATES | DATE    | BY | CHKD |
| AS SHOWN          | 3/14/23 | MS | MS   |
| AS SHOWN          | 3/14/23 | MS | MS   |
| AS SHOWN          | 3/14/23 | MS | MS   |

|     |     |      |
|-----|-----|------|
| DSN | APR | DATE |
| MS  | MS  | MS   |
| MS  | MS  | MS   |

**INLAND BUILDINGS**  
 241 SECOND AVENUE S.W. CULLMAN, AL 35005  
 TEL: 205-335-1111 FAX: 205-335-1138  
 www.inlandbuildings.com

**PROJECT: SIDEWALL FRAMING**  
 DRAWN BY: MS  
 CHECKED BY: MS  
 DATE: 3/14/23  
 SCALE: N.T.S.  
 SHEET NO: 7 OF 10  
 PROJECT NO: B0012312

**DRAWING STATUS**

| NO. | DATE    | DESCRIPTION |
|-----|---------|-------------|
| 1   | 3/14/23 | PRELIMINARY |

FOR APPROVAL: THIS DRAWING IS FOR PERMITS ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR ENGINEER OF RECORD. THIS DRAWING IS THE PROPERTY OF INLAND BUILDINGS AND SHALL BE KEPT IN THE OFFICE OF THE ARCHITECT OR ENGINEER OF RECORD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF INLAND BUILDINGS.

**NOTES:**

- PROPERTY OWNER/ADDRESS: ISLAND SEPTIC INC  
5003 THE WOODS RD  
KITTY HAWK, NC 27949
- SITE ADDRESS: 110 GREYSON LOOP  
POWELLS POINT, NC 27966
- PARCEL ID NUMBER: 123E0000380000
- ZONE: LIGHT INDUSTRIAL (L)
- RECORDED REFERENCE: DB 1721, PG 328; PC 1, SL 279
- PROPERTY IS LOCATED IN NFIP FLOOD ZONE X AND SUBJECT TO CHANGES BASED ON COMMUNITY CD NO. 370076; PANEL 9836; SUFFIX K. (MAP NUMBER 3720983800K) EFFECTIVE DATE: 12/21/2018.
- TOTAL LOT AREA 54,450 sqft / 1.25 acres
- SCOPE OF WORK: THIS PLAN PROPOSES THE ADDITION OF A 8,250 SQ.FT. CONTRACTOR SERVICES BUILDING, ASSOCIATED PARKING, DRIVE, AND RELATED SITE IMPROVEMENTS.
- PROPOSED USE: CONTRACTOR SERVICES
- COVERAGE CALCULATIONS  
BUILDING..... 6,875 SQ.FT.  
CONCRETE..... 1,688 SQ.FT.  
GRAVEL..... 23,288 SQ.FT.  
TOTAL..... 31,831 SQ.FT. (58.46%)  
(65% ALLOWED)
- REQUIRED PARKING:  
WAREHOUSE (STORAGE): 1 SPACE PER 2,500 S.F.  
6,875 S.F. / 2,500 S.F. = 2.75 SPACES  
OFFICE (BUSINESS AND SALES): 1 SPACE PER 300 S.F.  
1,375 S.F. / 300 S.F. = 4.6 SPACES  
TOTAL PARKING REQUIRED = 7.3 SPACES  
TOTAL PARKING PROVIDED = 8 SPACES (1 ADA VAN ACCESSIBLE SPACE)
- THE EXISTING FEATURES, IMPROVEMENTS, TOPOGRAPHIC AND BOUNDARY INFORMATION ARE BASED ON FIELD SURVEY BY QUIBLE & ASSOCIATES, P.C. ON 01/11/2023. ALL EXISTING AND PROPOSED ELEVATION INFORMATION IS BASED ON NAVD 88 UNLESS NOTED OTHERWISE. ORIGINAL VERTICAL DATUM OF CURRITUCK INDUSTRIAL PARK WAS NAVD29; THE CONVERSION FROM NAVD88 TO NAVD29 IS 0.88(+).
- MAXIMUM BUILDING HEIGHT = 35 FT.
- SETBACKS (PER SECTION 3.5.8 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE):  
FRONT 25'  
SIDE 15'  
REAR 25'  
SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
- UTILITY AND DRAINAGE EASEMENTS (PER FINAL PLAT OF CURRITUCK INDUSTRIAL PARK)  
FRONT 15'  
SIDE 10'  
REAR 10'
- FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, ELECTRICAL, & MECHANICAL, SEE APPROPRIATE SEPARATE PLANS.
- LANDSCAPE BUFFERS:  
REAR N/A  
SIDE N/A  
FRONT N/A
- THIS PLAN IS SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- CURRITUCK INDUSTRIAL PARK HAS AN EXISTING STATE STORMWATER PERMIT NO. SW7040604.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH CHAPTER 5.2 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEQ DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES REGULATIONS.
- THE LOCATION, DIMENSIONS, AND ELEVATIONS OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NUMBER 811, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT. ALL WORK WITHIN NCDOT R/W SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- ALL PAVEMENT MARKINGS, TEXT AND DIRECTIONAL ARROWS SHALL BE PAINTED WHITE. ALL LETTERING SHALL BE 2 FT. IN HEIGHT. LINES SHALL BE 4" WIDE. CROSSWALK AND LOADING AREAS, SET 4" WHITE LINES ON A 45° ANGLE.
- WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- ALL UTILITIES ON THIS SITE WILL BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.
- PROOF ROLL ALL NEW PAVEMENT AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.

**WASTEWATER NOTES**

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- NEW WASTEWATER SYSTEM DESIGN PARAMETERS:  
DESIGN FLOW: 6 EMPLOYEES @ 25 GALLONS PER DAY (GPD) PER PERSON = 150 GPD (100 GPD MIN).  
ACTIVE: LONG TERM APPLICATION RATE (L.T.A.R.): 0.5 GPD/SQ.FT. FOR A CONVENTIONAL SYSTEM.  
(2) 50' LINES @ 9' O.C. (100 LN. FT. TOTAL)  
REPAIR: 100% ACTIVE REPAIR AREA (900 SQ. FT.)
- UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTION 1900 "LAWS AND RULES FOR SEWAGE TREATMENT AND DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WASTEWATER SECTION (15 NCA 18A.1900).
- CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT.
- MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
- FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS SAND OR LOAMY SAND (SOIL GROUP 1) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INCHES OF FILL USED TO COVER THE SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE ESTABLISHMENT OF A VEGETATIVE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO A DEPTH OF SIX INCHES BELOW THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL BE REMOVED BEFORE THE FILL MATERIAL IS INCORPORATED.
- ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER. VEGETATE DRAINFIELD AREA AS SPECIFIED IN LANDSCAPE PLAN (BY OTHERS).

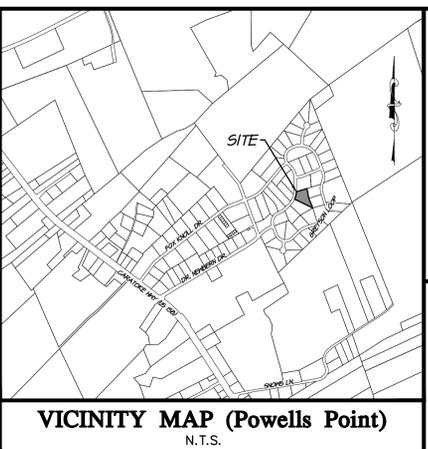
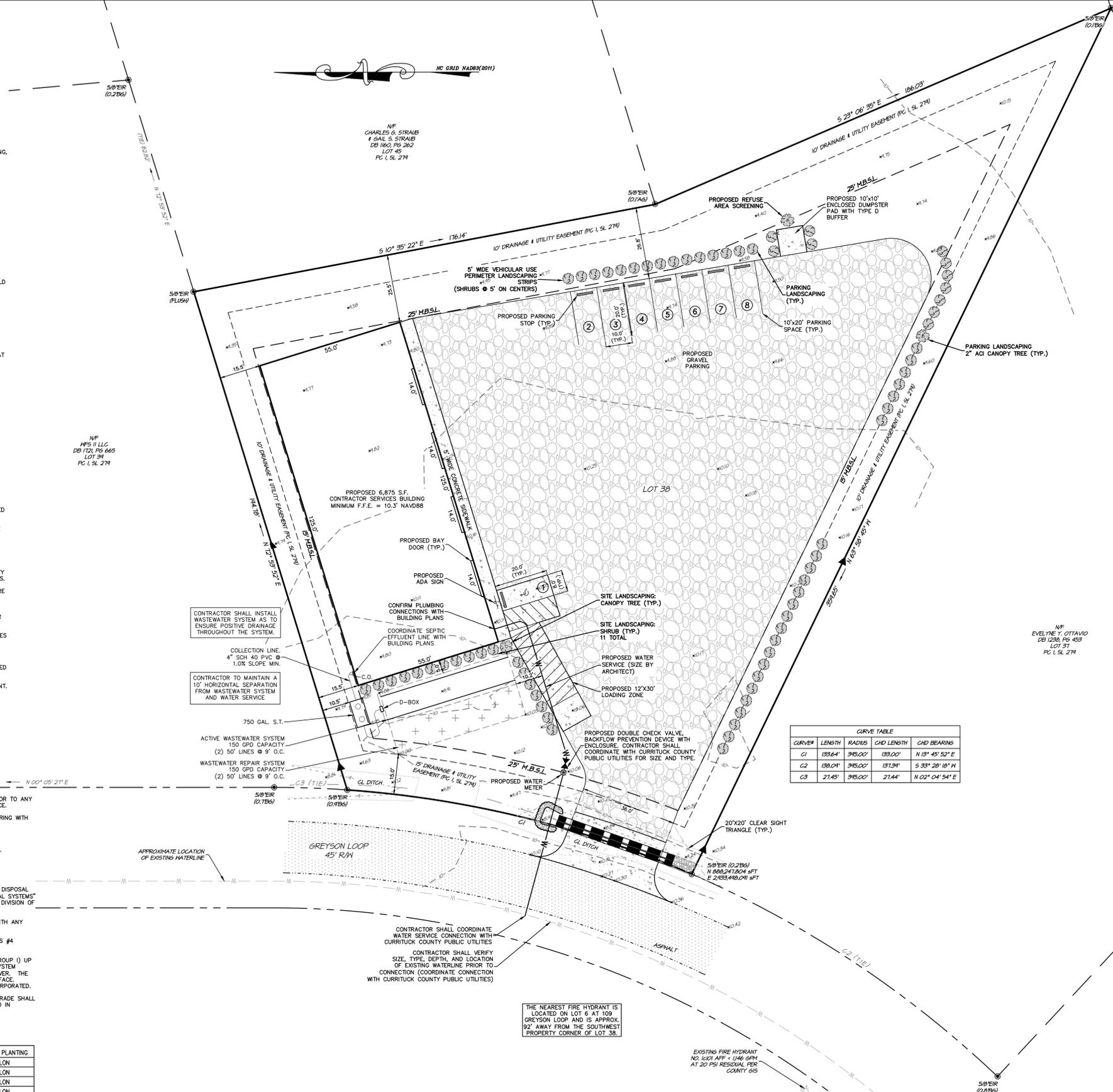
**TREE PLANTING SUMMARY**

| SYMBOL | QUANTITY | COMMON NAME          | HEIGHT         | SPREAD    | MIN. SIZE @ PLANTING |
|--------|----------|----------------------|----------------|-----------|----------------------|
| 69***  | 69***    | DWARF AZALEA*        | 3' - 6' HT.    | 3'-6"     | 3 GALLON             |
|        |          | DWARF HORNED HOLLY*  | 3' - 4' HT.    | 3'-4"     | 3 GALLON             |
|        |          | DWARF YAUPON HOLLY*  | 3' - 5' HT.    | 3'-6"     | 3 GALLON             |
|        |          | SOUTHERN WAX MYRTLE* | 10' - 15' HT.  | 8'-10"    | 3 GALLON             |
| 3      | 3        | LIVE OAK**           | 30' - 50' HT.  | 50'-80'   | 2" CAL., 8' HT.      |
|        |          | BALD CYPRESS**       | 50' - 100' HT. | 20' - 30' | 2" CAL., 8' HT.      |

\* COORDINATE INSTALLATION WITH OWNER. ORNAMENTAL SHRUB/GRASS SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.

\*\* CANOPY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.

\*\*\* AT LEAST HALF OF THE SHRUBS SHALL BE EVERGREEN.



**VICINITY MAP (Powells Point)**  
N.T.S.

**LEGEND**

- EXISTING ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- EXISTING IRON ROD, EIR
- EXISTING WATERLINE
- PROPOSED WATER METER
- PROPOSED WATER LINE
- EXISTING DITCH
- EXISTING CONTOUR
- EXISTING SPOT GRADE

**Quible & Associates, P.C.**  
SINCE 1959  
REGISTERED PROFESSIONAL LAND SURVEYORS  
ENVIRONMENTAL SCIENCE & SURVEYING  
ENGINEERING/SURVEYING NOT OFFERED AT BLACK MOUNTAIN OFFICE  
8446 CAROLINA HWY  
BLACK MOUNTAIN, NC 27686  
Phone: (252) 891-9417  
Fax: (252) 891-9418  
www.quibleandassociates.com

NC License# C-028

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Fax: (252) 891-9418  
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**SITE PLAN**

**ISLAND SEPTIC FACILITIES**  
**LOT 38 CURRITUCK INDUSTRIAL PARK**

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P22207  
DESIGNED BY ND  
DRAWN BY ND  
CHECKED BY MWS  
ISSUE DATE 01/26/23

SHEET NO. 1 OF 3 SHEETS

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