

**PRELIMINARY ONLY
NOT FOR
CONSTRUCTION**

LEGEND

	IRON ROD FOUND
	PROPERTY BOUNDARY
	RIGHT OF WAY
	ADJACENT PROPERTY LINES
	EXISTING CONTOURS
	EXISTING SPOT ELEVATIONS
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	PROPOSED DRAINAGE PIPE
	EXISTING DITCH/SWALE
	EXISTING FIRE HYDRANT
	EXISTING WATERLINE
	SOIL BORING
	DIRECTION OF SHEET OR SWALE FLOW
	PROPOSED SILT FENCE
	LIMITS OF DISTURBANCE

I. NARRATIVE:

HARMONY LAND, LLC, INTENDS TO CONSTRUCTION A 7,200 SF FACILITY TO BE USED FOR THE MANUFACTURE OF CABINETS. THE CONSTRUCTION WILL INCLUDE DRIVEWAY WITH INTERNAL ACCESS TO FACILITATE TRACTOR TRAILERS, PARKING, LOADING DOCKS, A DUMPSTER PAD, SEPTIC SYSTEM AND STORMWATER MANAGEMENT AREAS. THE SITE IS LOCATED ON 0.92 ACRES LOCATED AT 150 GREYSON LOOP IN THE CURRITUCK INDUSTRIAL PARK. APPROXIMATELY 1.025 ACRES OF THE SITE ARE TO BE DISTURBED. CONSTRUCTION IS SCHEDULED TO BEGIN IN THE FALL OF 2024.

THE SITE WAS PREVIOUSLY CLEARED AND GRASSED, WITH LOAMY SAND SOILS. THERE ARE VARYING SOIL TYPES ON THE PROPERTY. DISTURBED AREAS ARE TO BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION ACCORDING TO THE SEQUENCE OF CONSTRUCTION.

II. SOILS DESCRIPTION:

SOIL TYPES AS MAPPED IN THE SOIL SURVEY OF CURRITUCK COUNTY:

CONOTEE (CnA)

III. CONSTRUCTION SEQUENCE:

- OBTAIN SITE PLAN APPROVAL.
- OBTAIN ALL NECESSARY ENVIRONMENTAL PERMITS.
- FLAG OR STAKE WORK LIMITS.
- HOLD PRE-CONSTRUCTION MEETING.

PHASE ONE:

- INSTALL SILT FENCE AND COIR LOGS.
- INSTALL CONSTRUCTION ENTRANCE.
- CLEAR LOT OF EXISTING VEGETATION AS SHOWN.
- ROUGH GRADE SITE AND PREPARE BUILDING PAD.
- FERTILIZE AND WATER PERIMETER BASIN UNTIL A TEMPORARY OR PERMANENT VEGETATION IS FIRMLY ESTABLISHED AND STABILIZATION IS ACHIEVED.

PHASE TWO:

- COMMENCE CONSTRUCTION OF NEW STRUCTURE.
- CONSTRUCT NEW PAVEMENT.
- FINE GRADE OPEN AREAS INCLUDING PERIMETER BASIN. IF THE BASIN HAS SEDIMENT WITHIN IT, REMOVE SEDIMENT PRIOR TO FINE GRADING.
- FERTILIZE AND WATER DISTURBED AREAS UNTIL PERMANENT VEGETATION IS FIRMLY ESTABLISHED AND STABILIZATION IS ACHIEVED.
- REMOVE ADJACENT SILT FENCE ONCE VEGETATION IS ESTABLISHED.

IV. SEDIMENTATION AND EROSION CONTROL NOTES:

- PRECONSTRUCTION CONFERENCE:**
PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER'S REPRESENTATIVE AND A REPRESENTATIVE OF THE MUNICIPALITY (IF REQUIRED) IN ORDER TO IDENTIFY AND MARK SPECIFIC ELEMENTS WHICH ARE TO BE PROTECTED. TREES SHALL BE PROTECTED IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- INSTALLATION OF EROSION CONTROL MEASURES:**
PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, ALL EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS AND ALL PERMIT CONDITIONS.
- UTILITIES:**
PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL HAVE THE APPROPRIATE UNDERGROUND UTILITIES LOCATED. CONTACT NC811 AT 811 OR 800-632-4949. UTILITIES SHOWN ARE TAKEN FROM EXISTING RECORDS. FIELD OBSERVATIONS AND/OR UTILITY LOCATING SERVICE ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE.
- ACCESS TO SITE:**
ALL CONSTRUCTION TRAFFIC SHALL UTILIZE THE CONSTRUCTION ENTRANCE AS DESIGNATED ON THIS PLAN.
- LIMITS OF DISTURBANCE:**
THE CONTRACTOR SHALL ENSURE THAT AREAS OUTSIDE OF THE LIMITS OF LAND DISTURBING AS WELL AS EXISTING IMPROVEMENTS SPECIFICALLY NOTED TO REMAIN ARE NOT ADVERSELY IMPACTED BY ANY CLEARING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ITEMS DAMAGED OUTSIDE THE LIMITS OF DISTURBANCE OR OTHERWISE NOTED TO REMAIN.
- STABILIZATION:**
EXPOSED SWALES, DITCHES, DIKES OR OTHER SLOPES STEEPER THAN 3(H):1(V) SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVER WITHIN 7 CALENDAR DAYS. ALL OTHER EXPOSED EARTHEN AREAS SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVER WITHIN 14 CALENDAR DAYS OF THE COMPLETION OF ANY PHASE OF GRADING.
- INSPECTIONS REQUIRED:**
SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN COMPLETED SELF-INSPECTION / MONITORING FORMS (COMPLETED WEEKLY WITH DAILY RAINFALL TOTALS) THROUGHOUT THE PROJECT. THE SITE SHALL ALSO BE INSPECTED AFTER ANY RAINFALL EVENT EQUAL OR GREATER THAN 0.5 INCHES OVER A 24 HOUR PERIOD.
- CORRECTIVE MEASURES:**
ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL WORK IS COMPLETE AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. IF EXCESSIVE WIND EROSION OR STORM WATER RUNOFF DEVELOPS DURING TIME OF CONSTRUCTION IN ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SAND OR SILT FENCE SHALL BE INSTALLED AS DIRECTED BY ENGINEER, SEE SAND OR SILT FENCE DETAIL.
- DEBRIS REMOVAL:**
ALL CLEARING DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN A LAWFUL MANNER. NO BURNING OF DEBRIS ON SITE IS PERMITTED. NO ON-SITE BURNING IS PERMITTED UNLESS OTHERWISE APPROVED BY THE LOCAL FIRE MARSHALL, MUNICIPAL AGENCY OF JURISDICTION AND THE OWNER.
- EXCAVATION AND EMBANKMENT:**
ANY OFF-SITE MATERIAL BROUGHT ONTO THE SITE TO BE USED FOR GRADING FILL SHALL BE OBTAINED FROM A PERMITTED BORROW PIT. FILL SHALL CONFORM TO PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT. NO BORROW IS PERMITTED FROM THE SITE.
- EXISTING INFORMATION:**
THE EXISTING SURVEY AND SITE TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON SURVEY INFORMATION PROVIDED BY (SURVEYOR) AS SURVEYED ON (DATE).

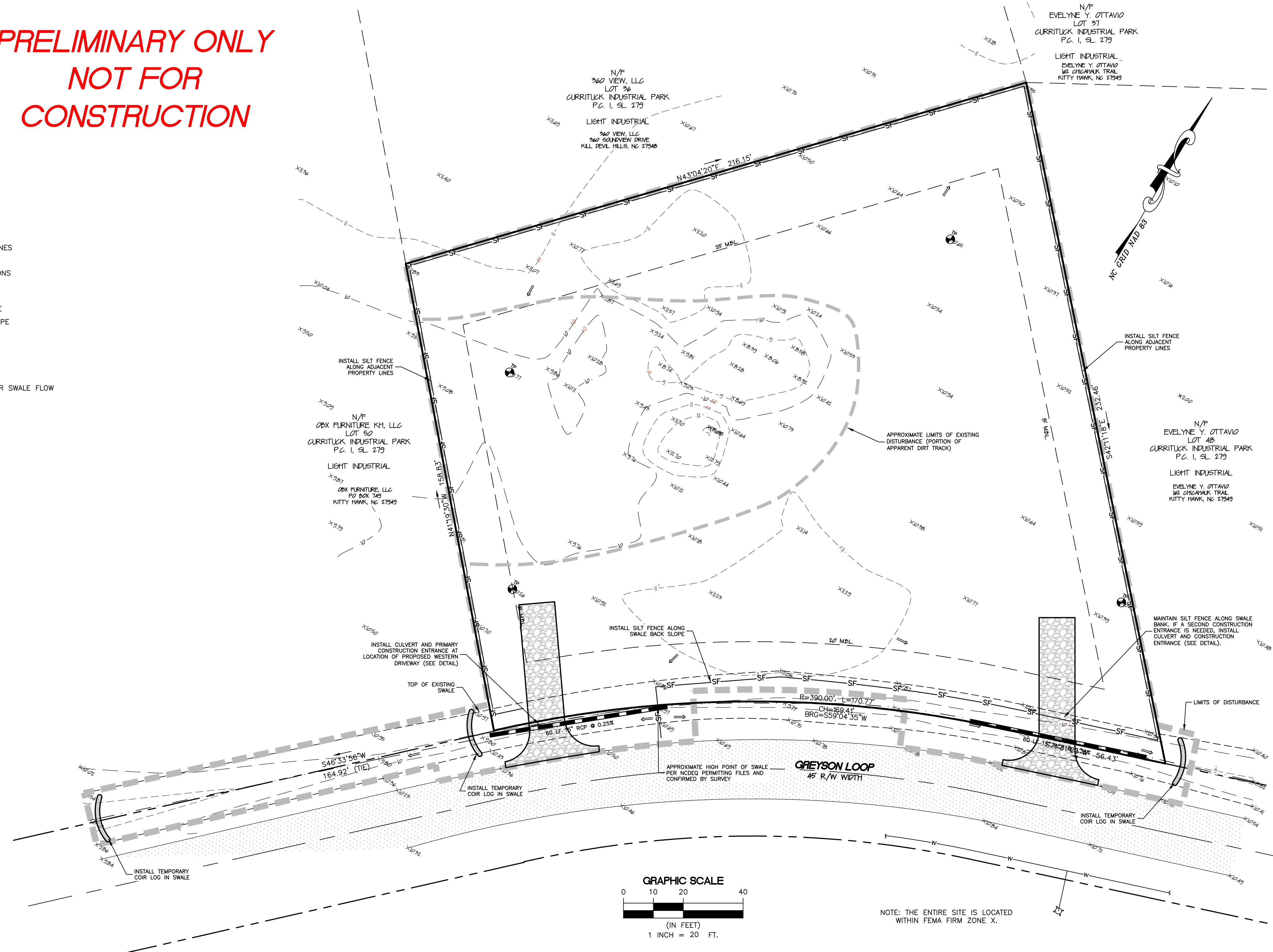
V. DEMOLITION NOTES

ALL EXISTING IMPROVEMENTS SHOWN WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED UNLESS SPECIFICALLY NOTED TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL TO AN OFFSITE LOCATION PROVIDED BY THE CONTRACTOR.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CAREFULLY REMOVE ALL ITEMS SHOWN TO BE RELOCATED. PRIOR TO REMOVAL, ANY CONDITIONS THAT PREVENT SUCH REMOVAL OR EXISTING DAMAGE TO THE ITEMS SHALL BE REPORTED TO THE OWNER IMMEDIATELY. CONTRACTOR WILL BE RESPONSIBLE FOR ITEMS DAMAGED DURING THE PROJECT.

WARNING:

LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HAS BEEN TAKEN FROM RECORD DRAWINGS. EXACT LOCATION OF THESE UTILITIES IS UNKNOWN. LOCATION OF OTHER UNDERGROUND UTILITIES IS UNKNOWN AND HAS NOT BEEN SHOWN ON THESE DRAWINGS. ALL UNDERGROUND UTILITIES ENCOUNTERED SHALL IMMEDIATELY BE REPORTED TO THE OWNER.



SEE C102 FOR DETAILS AND NC01 SHEETS

SITE STABILIZATION REQUIREMENTS

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETER AND HOW ZONES)

SEEDING SCHEDULE

APRIL 1 - MAY 15 PERMANENT SEEDING	
SPECIES	RATE
K-31 FESCUE	3 LB/1000 SF
COMMON BERMUDAGRASS	1 LB/1000 SF
WINTER RYE GRAIN	3 LB/1000 SF
NOTE: DELETE RYE GRAIN IF OVERSEEDING ESTABLISHED RYE OR FESCUE. DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.	
MAY 15 - JULY 15 PERMANENT SEEDING	
SPECIES	RATE
K-31 FESCUE	3 LB/1000 SF
COMMON BERMUDAGRASS	1 LB/1000 SF
GERMAN MILLET	3 LB/1000 SF
NOTE: DELETE MILLET IF OVERSEEDING ESTABLISHED MILLET OR FESCUE. DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.	
AUGUST 15 - APRIL 1 TEMPORARY SEEDING	
SPECIES	RATE
K-31 FESCUE	3 LB/1000 SF
WINTER RYE GRAIN	5 LB/1000 SF
SOIL AMENDMENTS	
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 500 LB PER ACRE OF 10-10-10 FERTILIZER.	
MULCH	
USE JUTE, EXCELSIOR MATTING OR OTHER EFFECTIVE CHANNEL LINING MATERIAL TO COVER BOTTOM AND SIDES OF SWALES. ANCHOR MATTING PER MANUFACTURER'S RECOMMENDATIONS. HYDROSEEDING IS ALSO AN ACCEPTABLE METHOD OF TEMPORARY STABILIZATION.	
MAINTENANCE	
A MINIMUM OF 3 WEEKS IS REQUIRED TO FOR ESTABLISHMENT. INSPECT AND REPAIR MULCH FREQUENTLY. FERTILIZE THE FOLLOWING SPRING WITH 50 LB/ ACRE NITROGEN.	



REVISIONS

NO.	DATE	DESCRIPTION

BY: _____

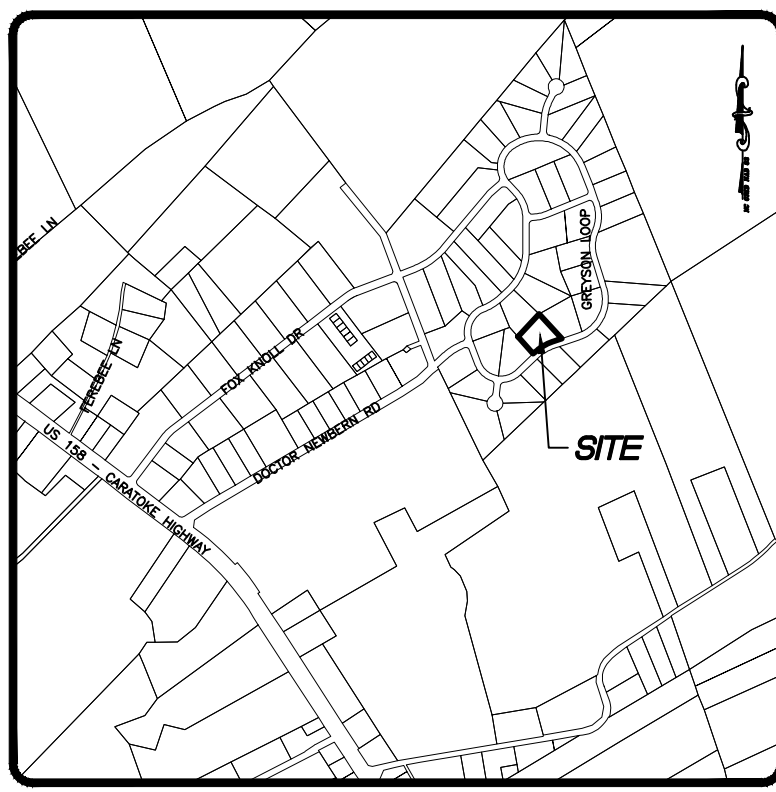
EROSION & SEDIMENT CONTROL PLAN
HARMONY LAND, LLC
LOT 49, CURRITUCK INDUSTRIAL PARK
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
POWELLS POINT

DATE:	07/24/2024
SURVEYED:	SEE NOTES
DESIGNED:	MJM
DRAWN:	ICA
CHECKED:	MJM
FILE:	08814A

SCALE: 1" = 20'

C101

PROJ. NO. 08814A



VICINITY MAP
NTS

SITE PLAN NOTES

1. CONTACT INFORMATION:

DEVELOPER:
HARMONY LAND, LLC
119 BAUM BAY DRIVE
KILL DEVIL HILLS, NC, 27948

BUILDER:
OVERTON CONTRACTING, LLC
PO BOX 7804
KILL DEVIL HILLS, NC, 27948

CURRENT PROPERTY OWNER:
HARMONY LAND, LLC
119 BAUM BAY DRIVE
KILL DEVIL HILLS, NC, 27948

2. PROJECT DESCRIPTION:

HARMONY LAND LLC INTENDS TO CONSTRUCT A 7,200 SF FACILITY TO BE UTILIZED FOR CABINET PRODUCTION. THE FACILITY WILL INCLUDE A SMALL SHOWROOM (+/- 1,200 SF) AND BREAK ROOM.

3. PARCEL DATA:

THE PROPERTY IS LOT 49, CURRITUCK INDUSTRIAL PARK, PLAT CABINET I, SLIDES 279-281. CURRENT DEED IS RECORDED IN DEED BOOK 1543, PAGE 651.

CURRITUCK COUNTY PARCEL ID#: 123E00000490000
GLOBAL PIN: 9838-37-8805

PROPERTY ADDRESS: 150 GREYSON LOOP, POWELLS POINT, NC, 27966.

THE PROPERTY IS ZONED LIGHT INDUSTRIAL (LI). LIGHT MANUFACTURING IS AN ALLOWABLE USE WITHIN THE LI DISTRICT, REQUIRING A ZONING COMPLIANCE PERMIT.

4. FLOODPLAIN INFORMATION:

THE SITE IS LOCATED IN FIRM ZONE X, PER FIRM MAP NUMBER 3720983000K, DATED DECEMBER 21, 2018 (SUBJECT TO CHANGE BY FEMA).

5. SURVEY INFORMATION:

EXISTING FEATURES, TOPOGRAPHIC, WETLAND AND BOUNDARY SURVEY INFORMATION HAS BEEN OBTAINED BY SEALEVEL CONSULTING INC DATED 5/24/2024.

ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE SPECIFIED. ELEVATIONS SHOWN ARE HEREON PER NAVD88.

AREAS SHOWN ARE BY COORDINATE METHOD.

6. PROJECT AREA AND WETLANDS:

THE PROPERTY DOES NOT CONTAIN WETLANDS.

TOTAL PROPERTY AREA = 40,315 SF (0.92 AC)

7. LOT COVERAGE

THE ALLOWABLE COVERAGE IS 26,204 SF (65%)

THE PROPOSED LOT COVERAGE IS:

BUILDING	7,200.0 SF
GRAVEL PAVEMENT	14,804.4 SF
CONCRETE PAVEMENT	3,806.5 SF
SIDEWALK	263.3 SF
TOTAL	25,874.2 SF (64.18%)

8. PARKING REQUIREMENTS:

LIGHT MANUFACTURING REQUIRES 1 PARKING SPACE FOR EVERY 1,000 SF.

REQUIRED: (7,200 SF) X (1 SPACE/1,000 SF) = 8 SPACES

MAXIMUM ALLOWED: 125% X 8 SPACES = 10 SPACES

PROVIDED: 8 PARKING SPACES HAVE BEEN PROVIDED

9. MINIMUM BUILDING SETBACKS:

FRONT	20'
REAR	25'
SIDES	15'

10. STORMWATER MANAGEMENT:

THE CURRITUCK INDUSTRIAL PARK WAS PERMITTED THROUGH NCDENR UNDER STORMWATER MANAGEMENT PERMIT SW7040604. HOWEVER, THAT PERMIT IS EXPIRED, THUS REQUIRING THIS SITE TO OBTAIN AN INDIVIDUAL PERMIT. STORMWATER MANAGEMENT HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT NCDENR REQUIREMENTS AS WELL AS THE CURRITUCK COUNTY STORMWATER MANUAL REQUIREMENTS FOR A MAJOR STORMWATER PLAN. THE SITE HAS BEEN GRADED TO SHEET FLOW INTO AN INFILTRATION BASIN THAT SURROUNDS THE WEST, NORTH AND EAST SIDES OF THE PROPERTY. RUNOFF IN EXCESS OF THE DESIGN VOLUME WILL BE DIRECTED INTO THE SWALE ALONG GREYSON LOOP WHICH CONVEYS IT INTO THE INDUSTRIAL PARKS STORMWATER MANAGEMENT PONDS.

11. EROSION AND SEDIMENTATION CONTROL:

AREAS TO BE DISTURBED: 1.025 ACRES

PRIOR TO DEMOLITION, THE CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED. REFER TO SHEET C101 FOR THE EROSION & SEDIMENT CONTROL PLAN, DETAILS AND CONSTRUCTION PHASING AND SEQUENCING.

12. SITE BUFFERING / LANDSCAPE STANDARDS

SEE SHEET C202 FOR SITE BUFFERING LOCATION AND COMPLIANCE NOTES.

13. SITE LIGHTING:

LIGHTING FOR THIS SITE WILL BE LITHONIA LIGHTING WPX1 LED P1 WALL PACK LUMINARIES (FULL CUT-OFF). SEE SHEET C202 FOR SITE LIGHTING PLAN AND DETAILS.

14. UTILITIES:

ALL NEW UTILITIES ARE TO BE PLACED UNDERGROUND.

15. STRUCTURES:

THE BUILDING WILL COMPLY WITH THE NORTH CAROLINA STATE BUILDING CODE AND CURRENT NFPA REQUIREMENTS.

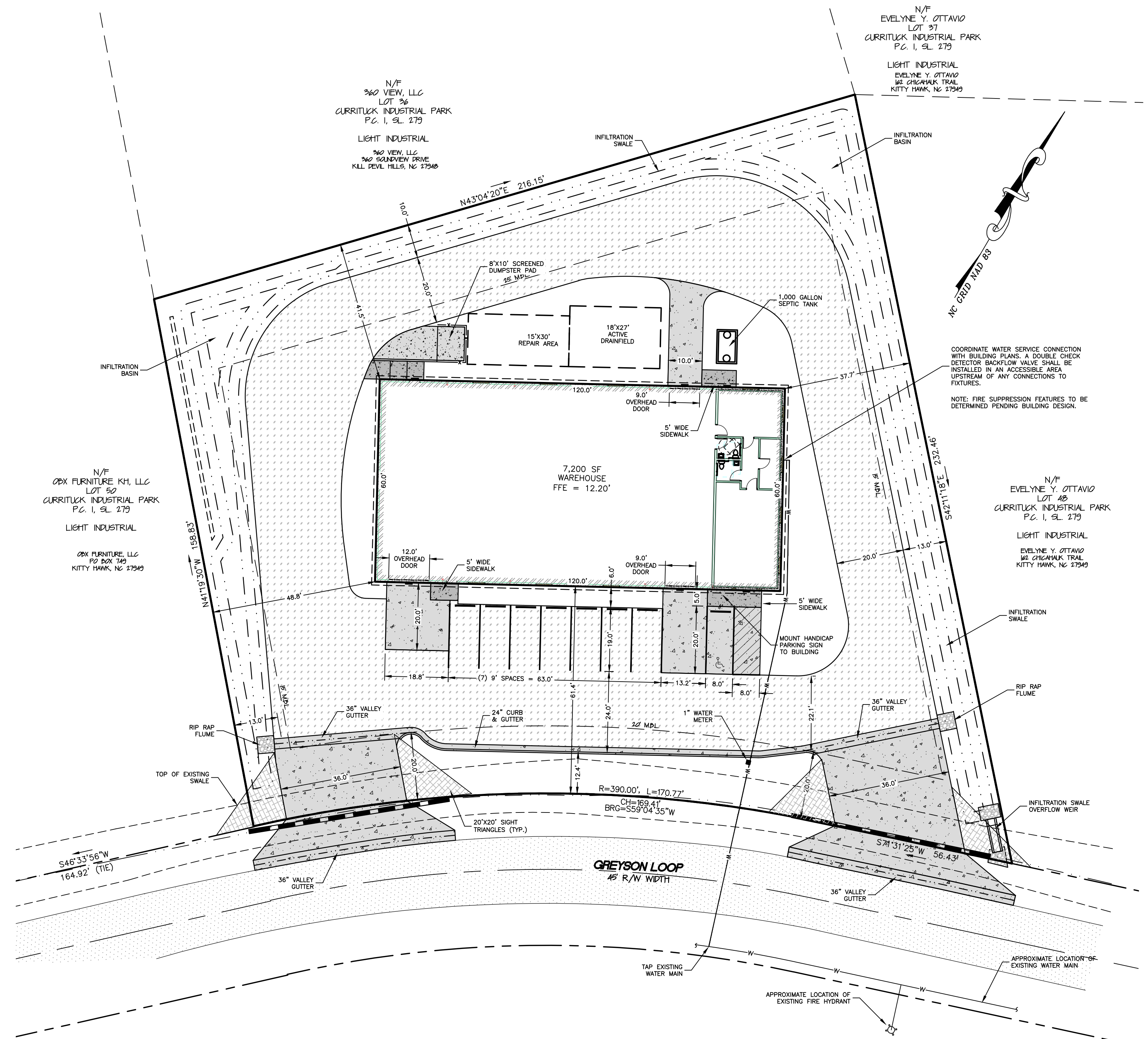
THE BUILDING HEIGHT SHALL NOT EXCEED 35' AS MEASURED FROM THE AVERAGE ESTABLISHED GRADE ADJOINING THE BUILDING TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGE OF GABLE, HIP, CONE, GAMBREL AND SHED ROOFS.

16. SOLID WASTE:

A DUMPSTER PAD CAPABLE OF ACCOMMODATING TWO DUMPSTERS HAS BEEN PROVIDED AT THE NORTHEAST CORNER OF THE PROPERTY.

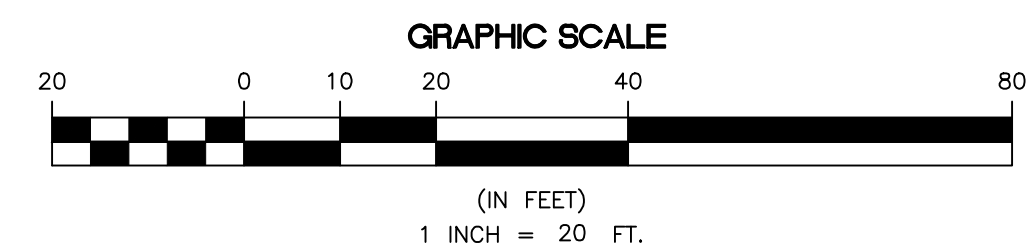


Know what's below.
Call before you dig.



LEGEND

	IRON ROD FOUND
	PROPERTY BOUNDARY
	RIGHT OF WAY
	ADJACENT PROPERTY LINES
	PROPOSED LIGHT POLES
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	PROPOSED FENCE
	EXISTING PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRAVEL
	STORMWATER FLOW ARROW
	EXISTING DRAINAGE PIPE
	PROPOSED DRAINAGE PIPE
	EXISTING DITCH/SWALE
	PROPOSED DITCH/SWALE
	EXISTING FIRE HYDRANT
	PROPOSED WATER METER
	EXISTING WATERLINE
	PROPOSED WATERLINE
	HANDICAP PARKING
	SIGNAGE
	WHEELSTOPS
	SILT FENCE
	LIMITS OF DISTURBANCE



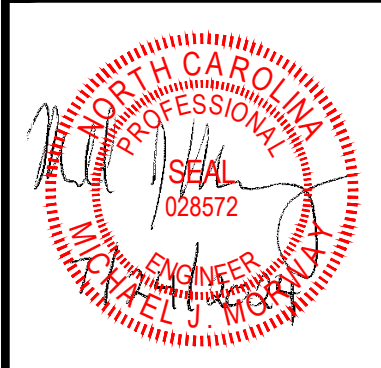
SEE C202 FOR LANDSCAPE INSTALLATION NOTES AND DETAILS

SEE C203 FOR DRAINFIELD DETAIL

**PRELIMINARY ONLY
NOT FOR
CONSTRUCTION**

Albemarle & Associates, Ltd.
Engineering - Environmental - Land Planning

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Cert. of Licensure No. C-1027
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NO.	DATE	DESCRIPTION	BY

SITE PLAN

HARMONY LAND, LLC
LOT 49, CURRITUCK INDUSTRIAL PARK

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
POWELLS POINT

DATE:	07/12/2024
SURVEYED:	SEE NOTES
DESIGNED:	MJM
DRAWN:	KCA
CHECKED:	MJM
FILE:	08814A

SCALE:
1" = 20'

C201

PROJ. NO. 08814A

K:\Active Projects\08814 - Lot 49, Currituck Industrial Park\08814A - Site Plan.dwg, 7/25/2024, 8:28:56 AM, ALBEMARLE & ASSOCIATES, LTD., C-1027



NO.	DATE	DESCRIPTION	BY	CHKD.
	07/24/2024	PROGRESS DRAWING		

REVISIONS

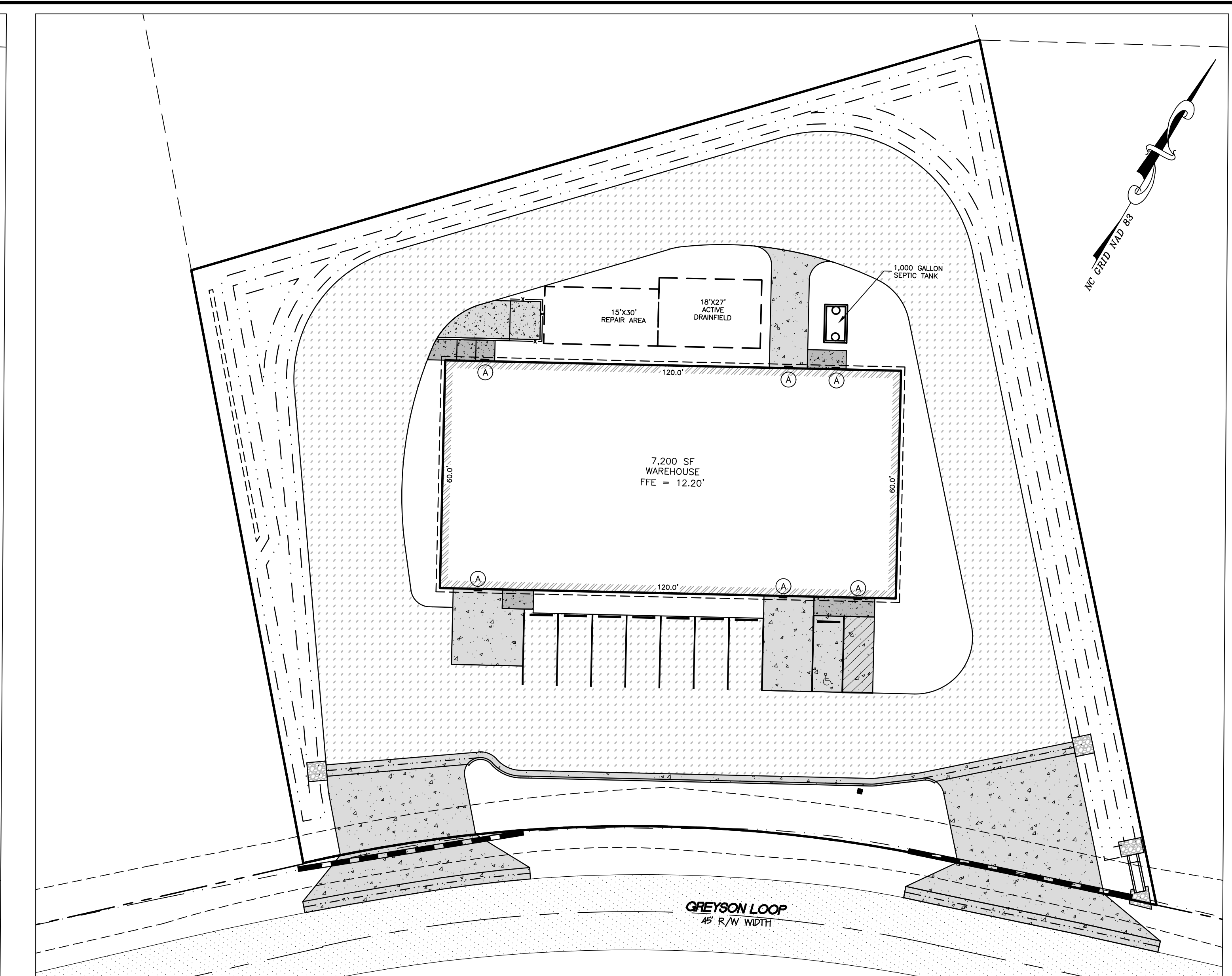
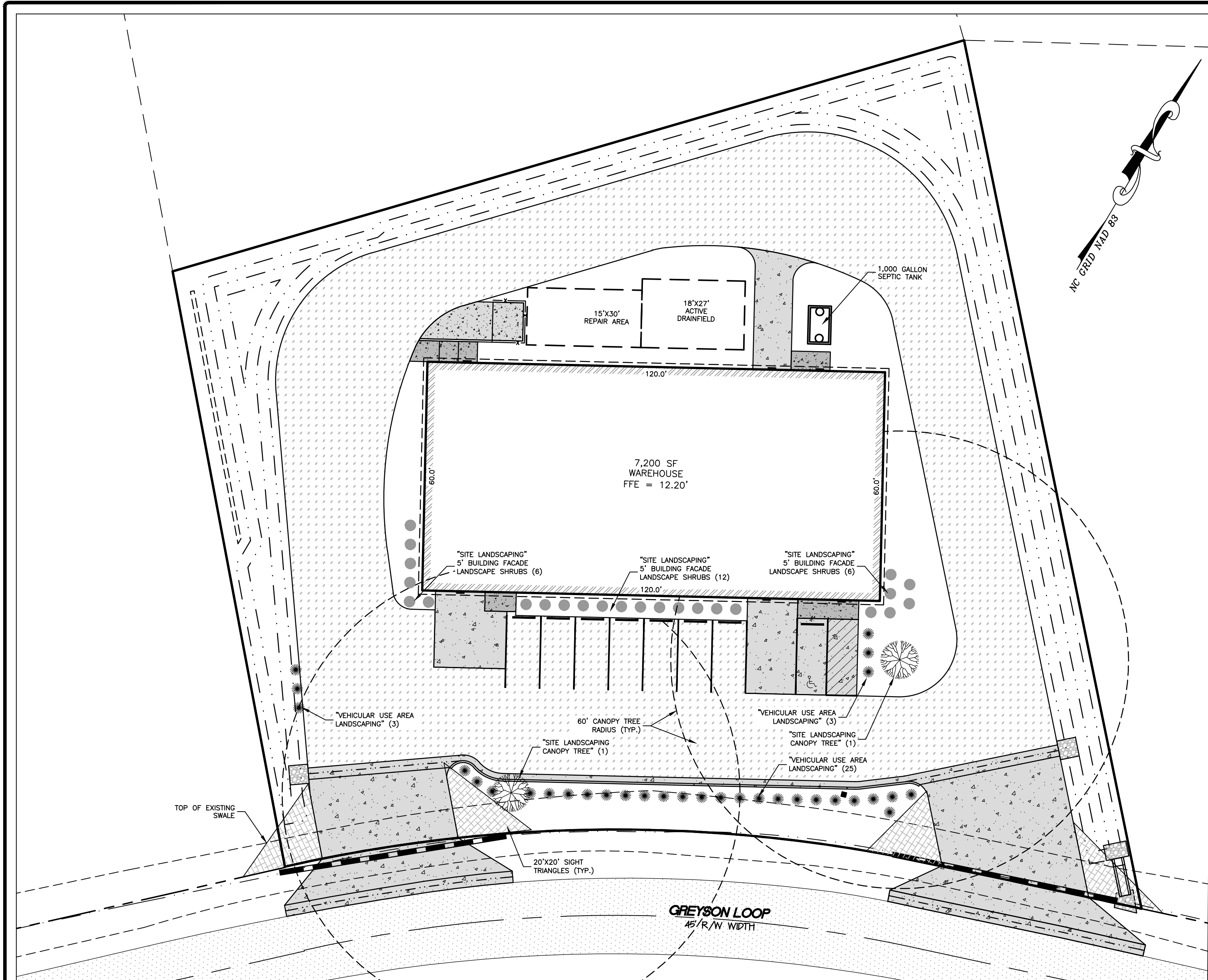
BUFFER & LIGHTING PLAN & DETAILS

HARMONY LAND, LLC

LOT 49, CURRITUCK INDUSTRIAL PARK

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
 POWELLS POINT

DATE:	07/10/2024
SURVEYED:	SEE NOTES
DESIGNED:	MJM
DRAWN:	RCA
CHECKED:	MJM
FILE:	08814A



LANDSCAPE INSTALLATION NOTES:

PREPARATION:
 LAYOUT TREE AND SHRUB LOCATIONS AND AREAS AND SECURE LANDSCAPE DESIGNERS APPROVAL BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUESTED. FINE GRADE LAWN AREAS TO A SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINAL GRADE. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED IMMEDIATELY AFTER GRADING.

EXCAVATION FOR TREES AND SHRUBS:
 LAYOUT TREE AND SHRUB LOCATIONS AND AREAS AND SECURE LANDSCAPE DESIGNERS APPROVAL BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUESTED. FINE GRADE LAWN AREAS TO A SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINAL GRADE. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED IMMEDIATELY AFTER GRADING.

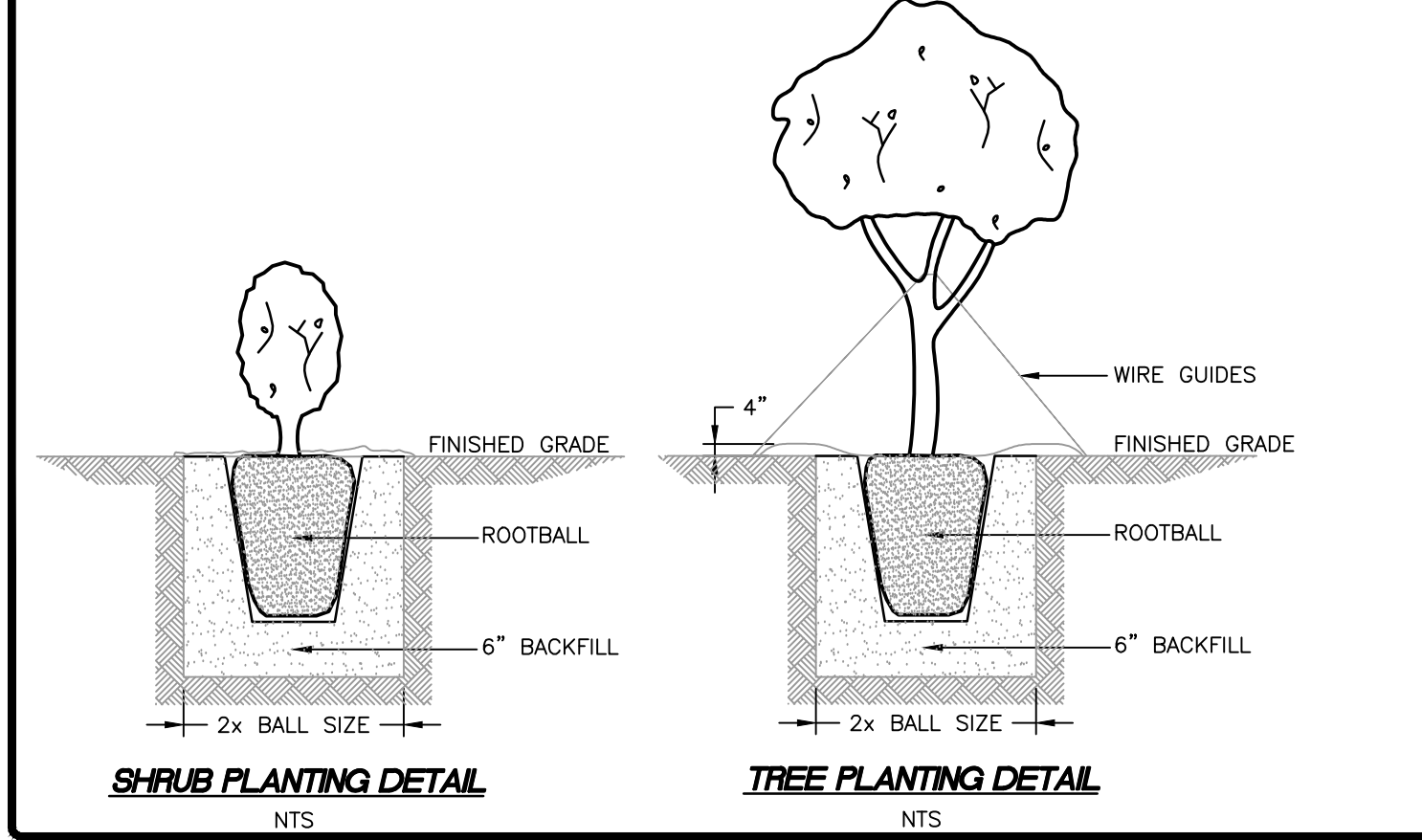
PLANTING TREES AND SHRUBS:
 SET BALLED AND BURLAPPED AND POTTED STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE, PLUMB AND IN THE CENTER OF THE PIT OR TRENCH, WITH THE TOP OF THE ROOT BALL AT THE SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES. WHEN SET, PLACE ADDITIONAL BACKFILL AROUND BASE AND SIDES OF ROOT BALL, AND WORK EACH LAYER TO ELIMINATE VOIDS AND AIR POCKETS. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL. MULCH PITS, TRENCHES AND PLANTED AREAS. PROVIDE NOT LESS THAN 3" THICKNESS OF MULCH AND FINISH LEVEL WITH ADJACENT GRADE.

SEEDING NEW LAWNS:
 DO NOT USE WET SEED OR SEED WHICH IS SLIGHTLY MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE. SOW SEED USING A DROP SPREADER OR SEEDING MACHINE. DO NOT SEED WHEN WIND VELOCITY EXCEEDS 5 MPH UNLESS USING A DROP SPREADER. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITIES IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. SOW NOT LESS THAN THE QUANTITY OF SEED SPECIFIED OR SCHEDULED BY THE SEED MANUFACTURER OR SUPPLIER FOR THE TYPE OF SEED BEING SOWN. RAKE SEED LIGHTLY INTO TOP 1/8" OF SOIL, ROLL LIGHTLY AND WATER WITH A FINE SPRAY. LAY TURF STARTING IN THE CENTER AND WORKING TOWARDS THE SIDES. TURF SHALL BE LAID PARALLEL TO THE LONGEST EDGE OF FINISHED AREA AND SHALL BE LAID WITH STAGGERED SEAMS. EDGE TURF AFTER INSTALLATION IS COMPLETED. WATER THOROUGHLY.

CLEAN-UP AND PROTECTION:
 DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREA IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE. DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.

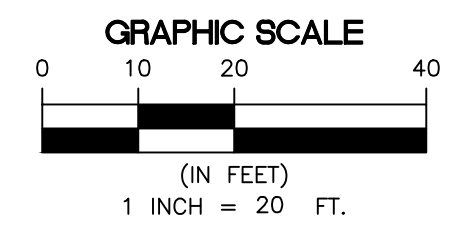
SITE BUFFERING COMPLIANCE NOTES:

- THE SITE PLAN COMPLIES TO THE CURRITUCK COUNTY LANDSCAPING STANDARDS AS FOLLOWS:
- SECTION 5.2.4 - SITE LANDSCAPING**
 REQUIRED: 2 CALIPER INCHES (C.I.) OF CANOPY TREE PER ACRE (0.92 AC.) X (2 C.I./AC.) = 2 C.I.
 PROVIDED: 2 C.I.
 - SECTION 5.2.5 - VEHICULAR USE AREA LANDSCAPING**
 REQUIRED: 1 SHRUB PER EACH 5 SF OF BUILDING FAÇADE FACING THE STREET (120 LF) X (1 SHRUB / 5 LF BLDG. FAÇADE) = 24 SHRUBS (WITHIN 15' OF BLDG.)
 PROVIDED: 24 SHRUBS
 - SECTION 5.2.6 - PERIMETER**
 REQUIRED: 1 PER 5 LF OF PARKING AREA ABUTTING R/W OR PROPERTY LINE (NOTE: 8' WHEN THE VEHICULAR USE AREA ABUTS VACANT LAND).
 PLANTING SHALL BE SHRUBS OR BEACHGRASS (MINIMUM 36" TALL) (120 + 18' + 18' LF) X (1 SHRUB / 5 LF BLDG. FAÇADE) = 31 SHRUBS
 PROVIDED: 31 SHRUBS
 - SHADING**
 REQUIRED: ALL PARKING SPACES SHALL BE WITHIN 60' A CANOPY TREE TRUNK
 PROVIDED: COMPLIES
 - SECTION 5.2.6 - PERIMETER**
 REQUIRED: FOR LIGHT INDUSTRIAL ABUTTING LIGHT INDUSTRIAL PERIMETER BUFFERS ARE NOT REQUIRED
 - SHRUBS SHALL BE 3 GALLON CONTAINERS AND 36" IN HEIGHT WITHIN 3 YEARS OF PLANTING.**
 - BUILDING FAÇADE SHRUBS SHALL BE PLANTED WITHIN 15' OF BUILDING FAÇADE. HALF OF BUILDING FAÇADE SHRUBS SHALL BE EVERGREEN.**
 - CANOPY TREES SHALL BE 1" CALIPER (MINIMUM) AT TIME OF PLANTING.**



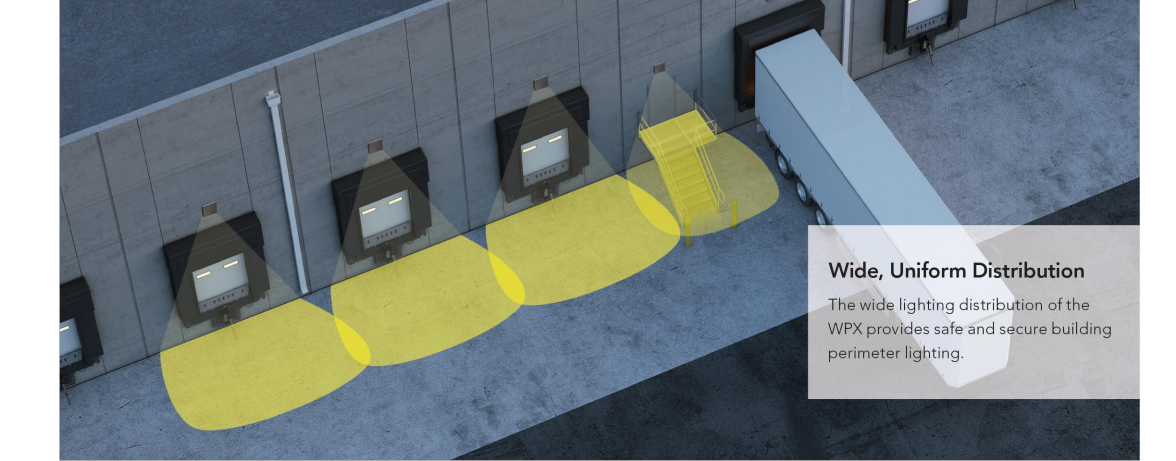
BUFFER PLAN
 SCALE: 1" = 20'

LIGHTING PLAN
 SCALE: 1" = 20'



WPX LED Wall Packs
Benefits For Distributors & Contractors:

The WPX is a site-wide wall-mounted solution, from over-the-door lighting to perimeter lighting with mounting heights up to 20 feet. The WPX wall packs deliver a wide photometric distribution that reduces the number of luminaires required while creating a well-illuminated, safer nighttime environment. The Lithonia Lighting® WPX is priced competitively and always in stock for quick delivery.



- Wide, Uniform Distribution**
 The wide lighting distribution of the WPX provides safe and secure building perimeter lighting.
- Geometric shape covers the footprint of a typical HLD wall pack, covering any unsightly stains.**
- 3/8" threaded conduit hubs on three sides for surface conduit wiring, making replacement and renovation easy.**
- Effortless installation with integral wiring compartment for easy mounting and wiring.**

Series & Lumen Output	Color Temperature	Voltage	Options	Finish
WPX1 LED P1 5,500 Lumens, 11W	30K 3000K	MVDL1 120-277V	(Blank) None	DBKD Dark Bronze
WPX1 LED P2 2,500 Lumens, 20W	40K 4000K	347 347V	EBN Emergency battery backup, ICC compliant (40K 0°C min) (available with WPX1 and WPX2)	DBWHD White
WPX2 LED 6,000 Lumens, 47W	50K 5000K		E14WC Emergency battery backup, ICC compliant (50K 0°C min) (available with WP1 and WP2)	DBLSD Black
WPX3 LED 9,200 Lumens, 69W			PE Protocol for dusk-to-dawn operation	Clear/White frosted lens

Note: The lumen output and input power shown in the ordering tree are average representations of all certification entities. Specific values are available upon request.
 1. All WPX wall packs come with 40' surge protection standard. Except WPX1 LED P1 package which comes with 250V surge protection standard. Add SP500V option to get WPX1 LED P1 with 50V surge protection.
 2. All WPX LED options are available with emergency battery backup. WPX3 is not available with emergency battery backup.
 3. Battery pack options not available with 30V and PE options.

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CONSTRUCTION

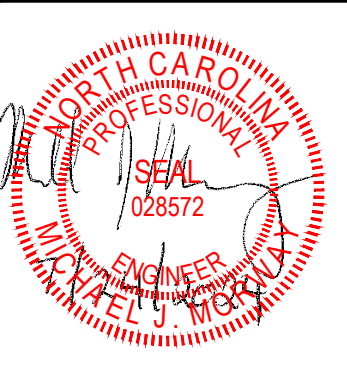
SCALE:
 1" = 20'
C202
 PROJ. NO. 08814A

PRELIMINARY ONLY NOT FOR CONSTRUCTION



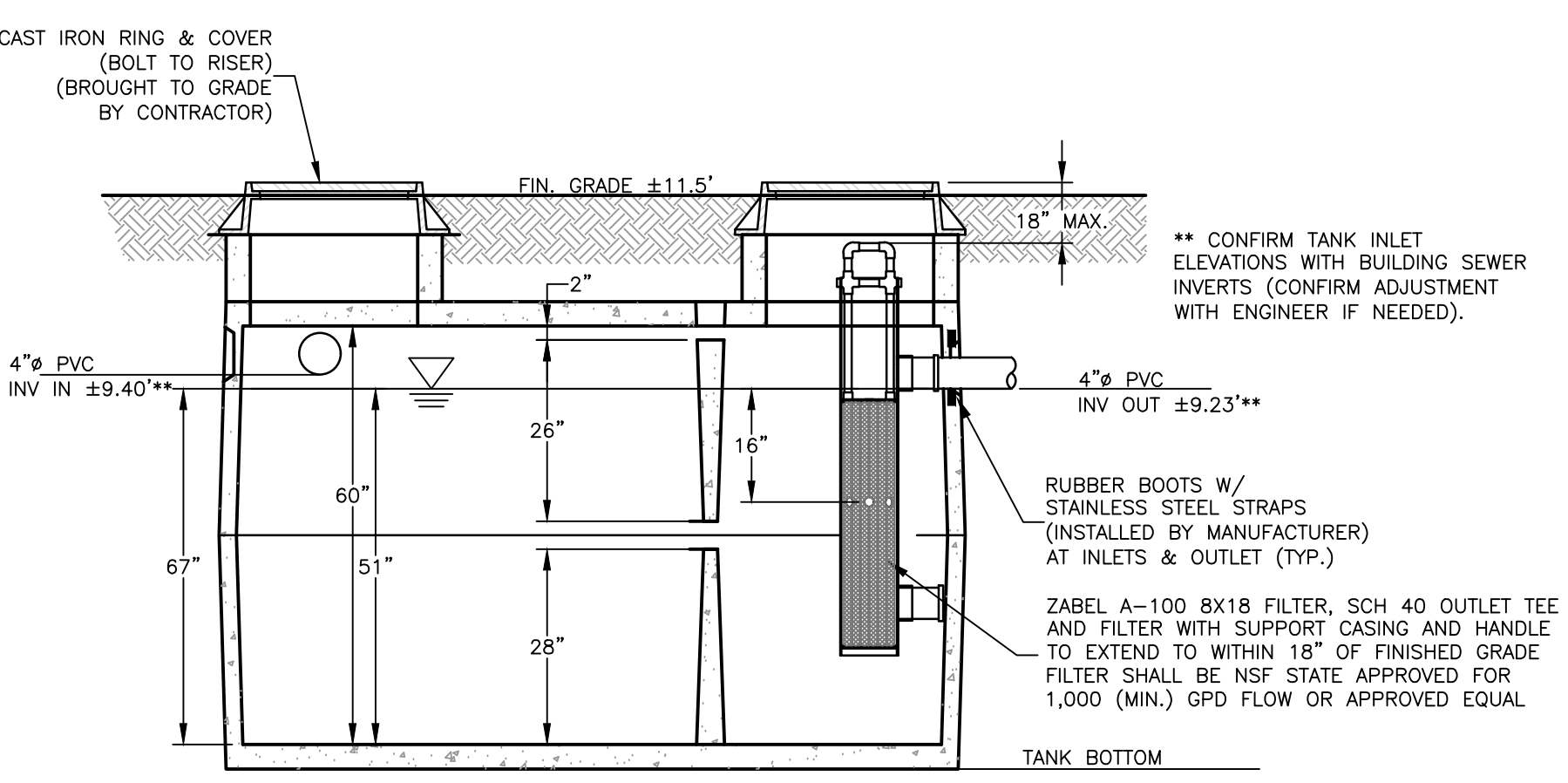
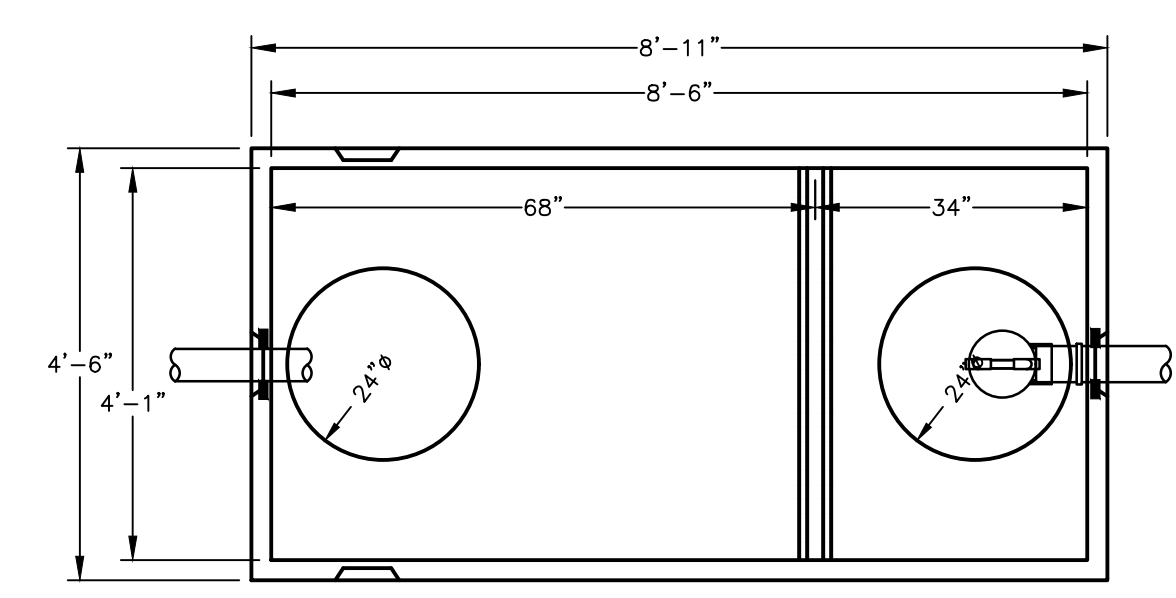
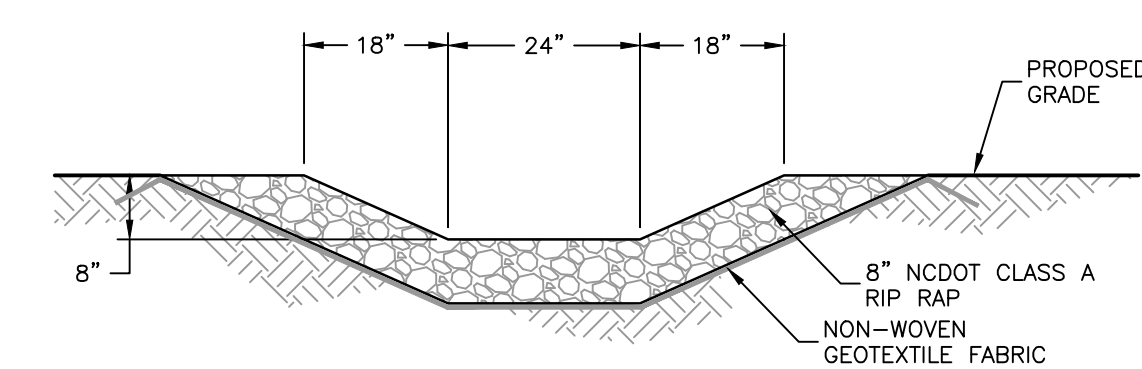
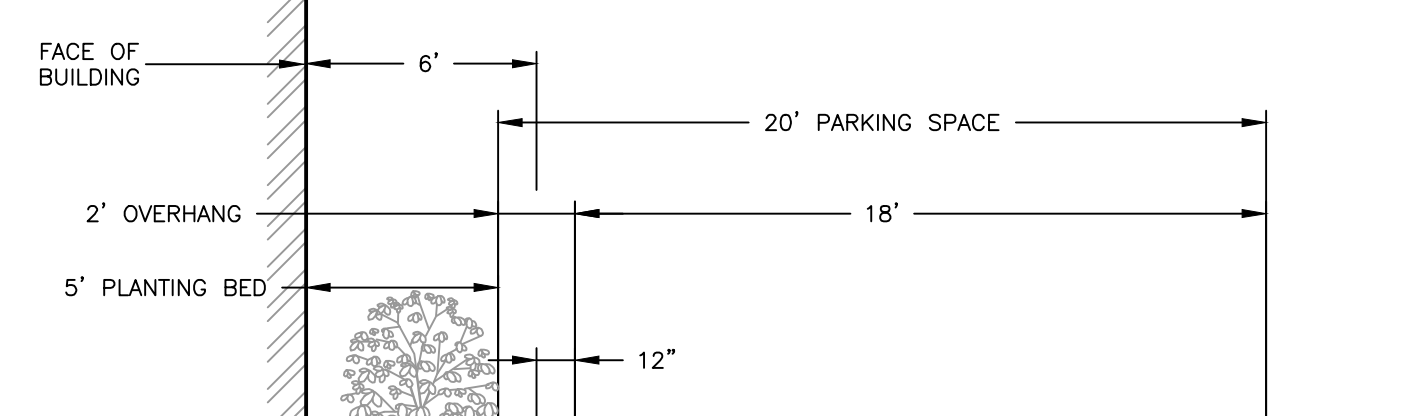
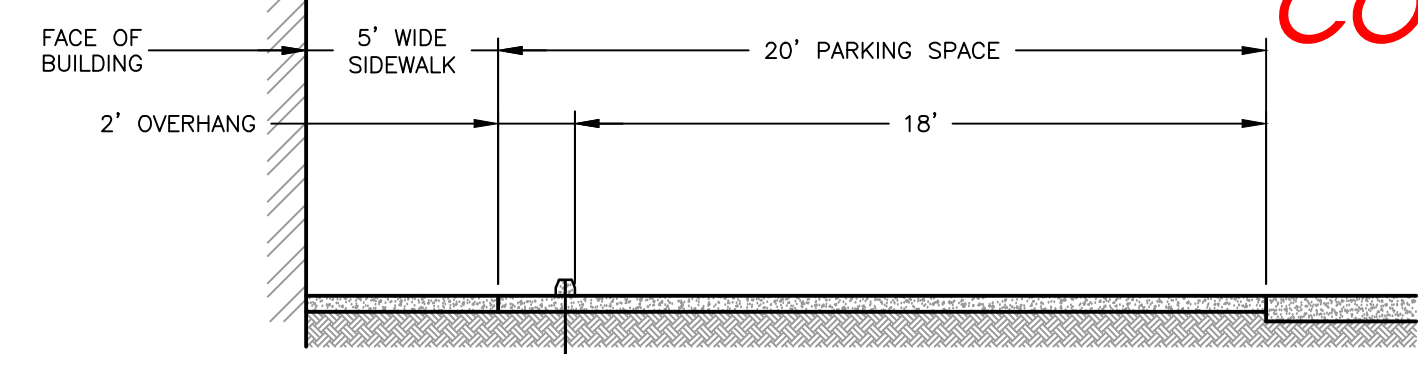
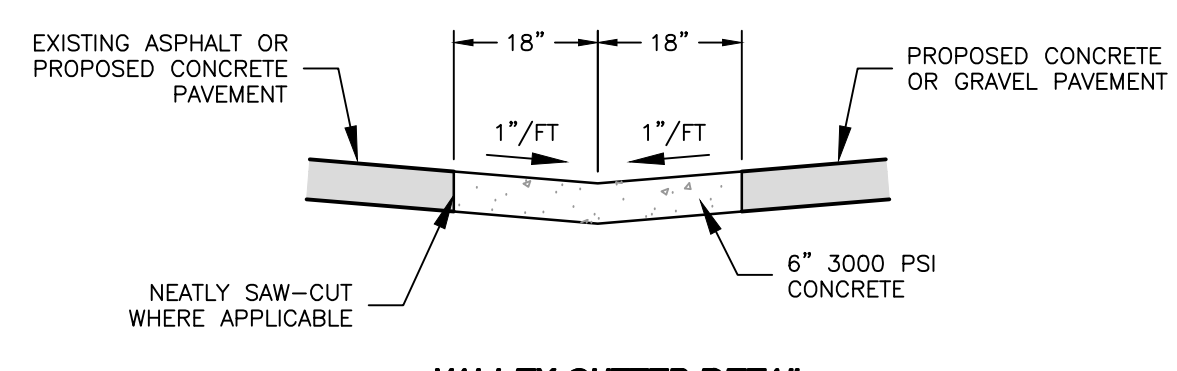
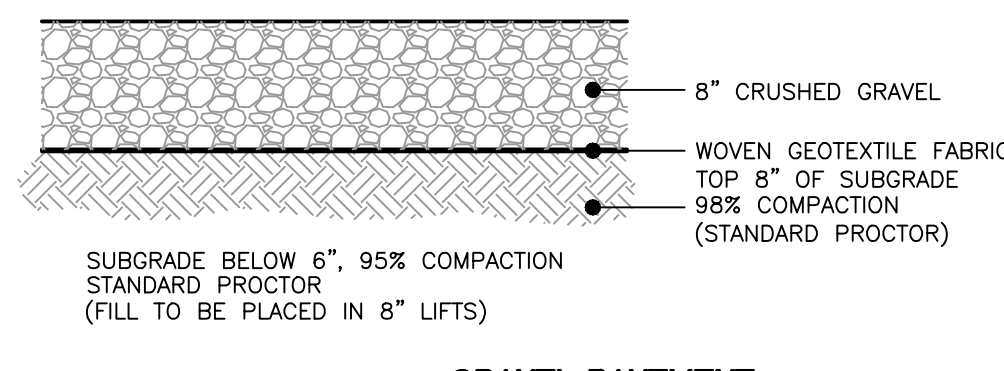
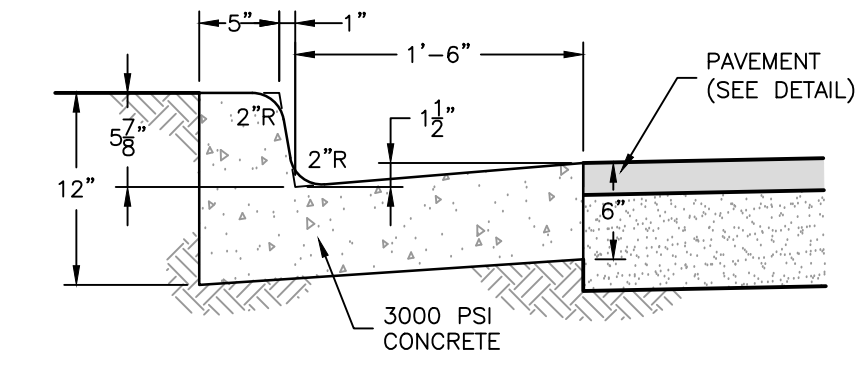
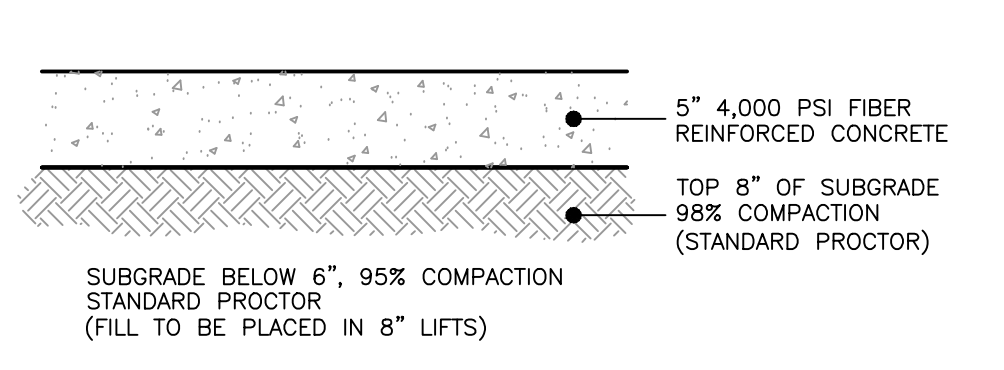
Know what's below.
Call before you dig.

Albemarle & Associates, Ltd.
 1000 S. Dixie Street
 P.O. Box 9805
 Kill Devil Hills, NC 27548
 Phone: (252) 441-2113
 www.albemarle.com
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 This document is the property of Albemarle & Associates, Ltd. All rights reserved. Any use or alteration is prohibited.



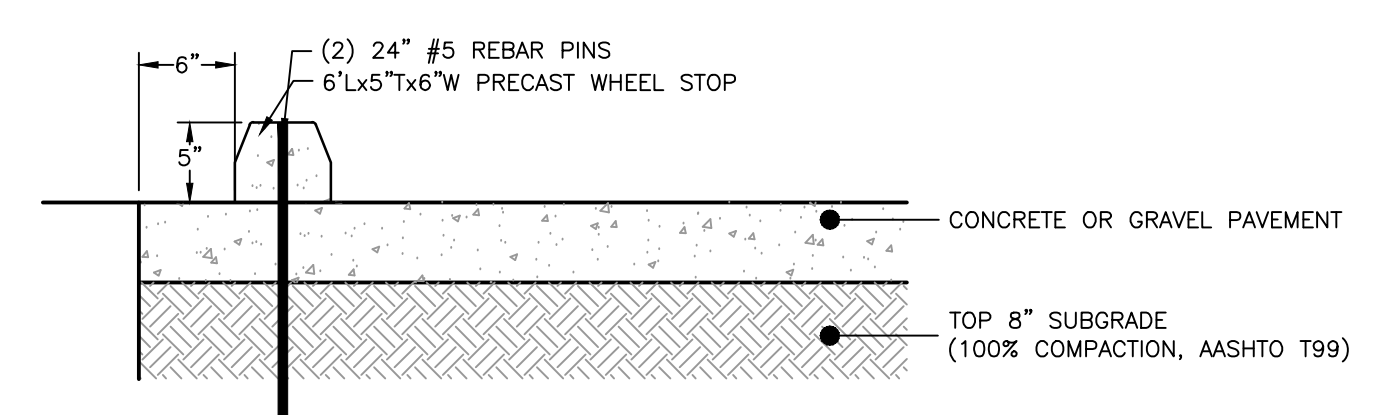
SEPTIC SYSTEM NOTES - BED SYSTEM DRAINFIELD:

- THIS PLAN IS PREPARED FOR HARMONY LAND, LLC. THE PROJECT INCLUDES THE CONSTRUCTION OF A 7,200 SF MANUFACTURING FACILITY FOR CABINET MAKING.
- SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH REVISED SEWAGE RULES SECTION 15 NCAC 18E (LATEST REVISION).
- SYSTEM INSTALLATION SHALL BE INSPECTED BY THE HEALTH DEPARTMENT AND ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND FACILITATING INSPECTIONS AS NEEDED FOR THE HEALTH DEPARTMENT AND ENGINEER.
- INSTALLATION OF THE BED SEPTIC SYSTEM ACCORDING TO THIS PLAN IS THE RESPONSIBILITY OF THE PERMIT HOLDER OR HIS ASSIGNS.
- NO MODIFICATIONS TO THIS PLAN SHALL BE MADE WITHOUT THE APPROVAL OF THE ENGINEER AND THE HEALTH DEPARTMENT.
- THE FACILITY IS EXPECTED TO CONTAIN 8 EMPLOYEES, ALTHOUGH THE SEPTIC SYSTEM IS BEING DESIGNED TO ACCOMMODATE 15 EMPLOYEES.
- AN ACCEPTANCE RATE OF 0.6 GPD/SF HAS BEEN ASSIGNED BY THE ALBEMARLE REGIONAL HEALTH DEPARTMENT.
- SYSTEM DESIGN IS AS FOLLOWS:
 DESIGN FLOW = (15 EMPLOYEES) * (12 GPD/EMPLOYEE PER 8 HR SHIFT) = 180 GPD
 MINIMUM SEPTIC TANK VOLUME = 2Q = (2) * (180 GPD) = 360 GAL (PROVIDE MINIMUM 1,000 GAL TANK)
 REQUIRED FIELD AREA = (180 GPD / 0.6 GPD/SF) * (1.5) = 450 SF (AREA PROVIDED IS 486 SF)
- ALL DISTURBED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE BY GRADING AND SEEDING.
- ALL TANK INLETS AND OUTLETS SHALL HAVE A CAST OR MANUFACTURED PENETRATION POINT AND INCLUDE A WATER-TIGHT, SEALED, NON-CORRODIBLE AND FLEXIBLE CONNECTIVE SLEEVE THAT IS ABLE TO BEND WITHOUT BREAKING.

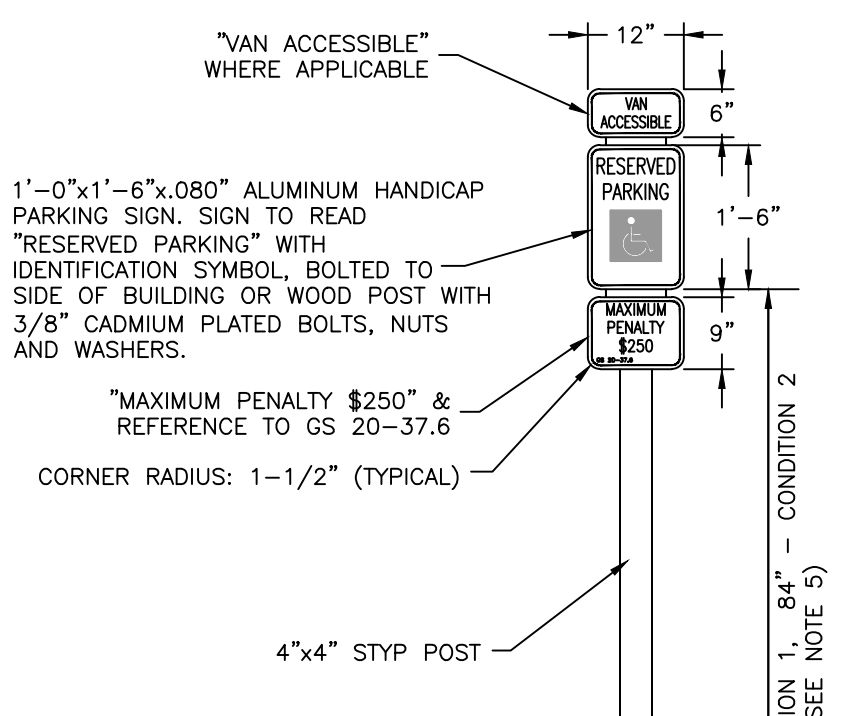


- NOTES:**
- ALL CONCRETE SHALL BE 3,000 PSI, 4" THICK, UNLESS NOTED OTHERWISE. DRIVE APRONS AND PATHWAY AT DRIVEWAYS SHALL BE 6" THICK CONCRETE SHALL BE PREPARED IN ACCORDANCE WITH ACI 211.1, ACI 301 AND ASTM C94.
 - CONTROL JOINTS SHALL BE PLACED PERPENDICULAR TO THE EDGE OF PAVEMENT AT 5' SPACING. CONTROL JOINTS SHALL BE SAWED.
 - EXPANSION JOINTS SHALL BE PLACED AT THE END OF EACH SECTION OF CONSTRUCTION INCLUDING THE LOCATIONS THAT PAVEMENT ABUTS EXISTING PAVEMENT AND AT 30' INTERVALS. EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK AND CONFORM TO ASTM D 1751.
 - LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
 - A BROOMED SURFACE FINISH SHALL BE PROVIDED UNLESS OTHERWISE APPROVED BY THE OWNER.
 - TESTING SHALL BE PROVIDED BY THE CONTRACTOR.
 - REFER TO PLANS FOR SLOPE DIRECTION.

CONCRETE SIDEWALK DETAIL

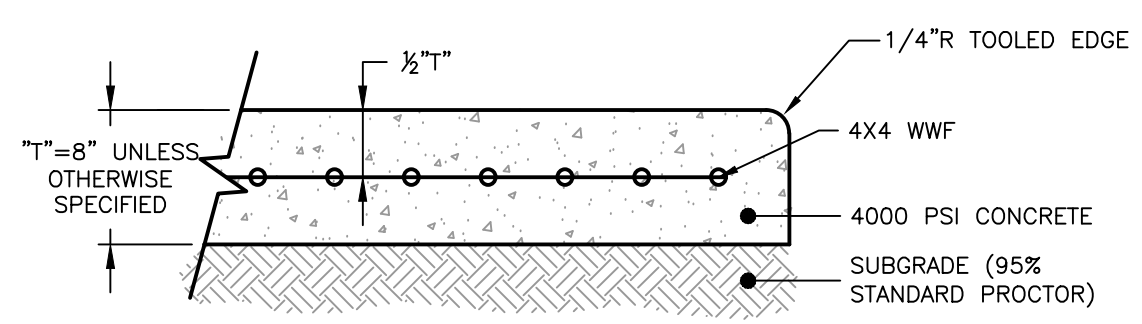


WHEEL STOP DETAIL

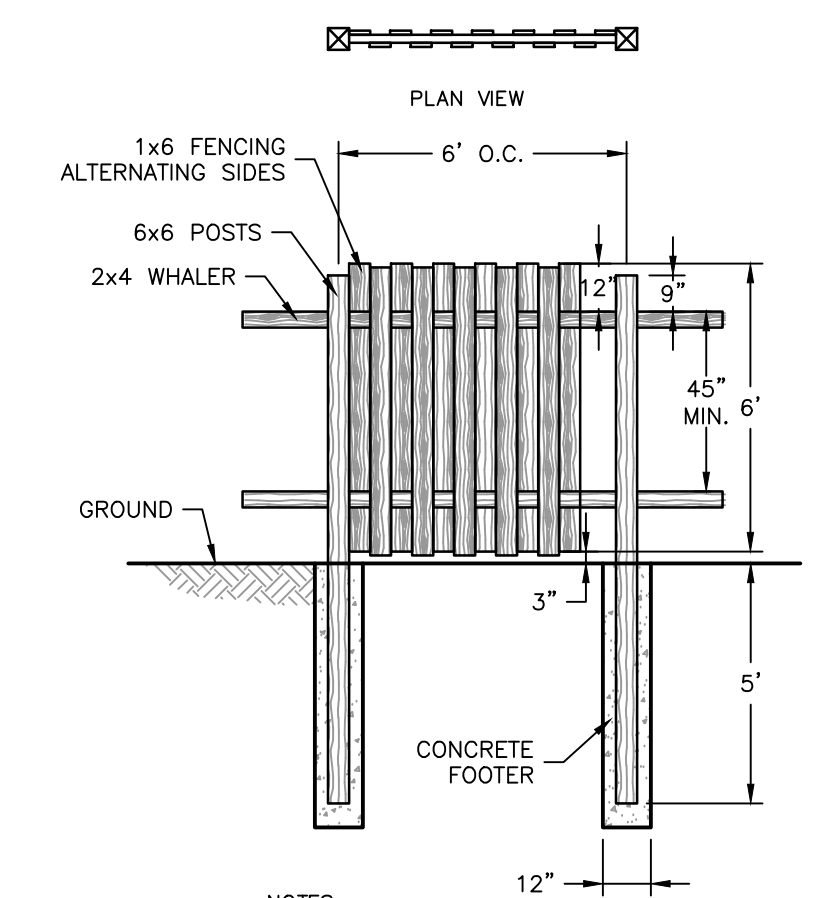


- NOTES:**
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVEGROUND SIGNS ONLY (SEE N.C.G.S.)
 - NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
 - ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOT REQUIRED.
 - STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)
 - CONDITION 1: PEDESTRIAN PATH DOES NOT PASS UNDER OR AROUND SIGN. CONDITION 2: PEDESTRIAN PATH GOES BY, UNDER, OR AROUND SIGN.
 - STANDARD SIGN COLORS: BACKGROUND - WHITE, LETTERING/BORDER - GREEN, FIGURE - WHITE ON BLUE FIELD.

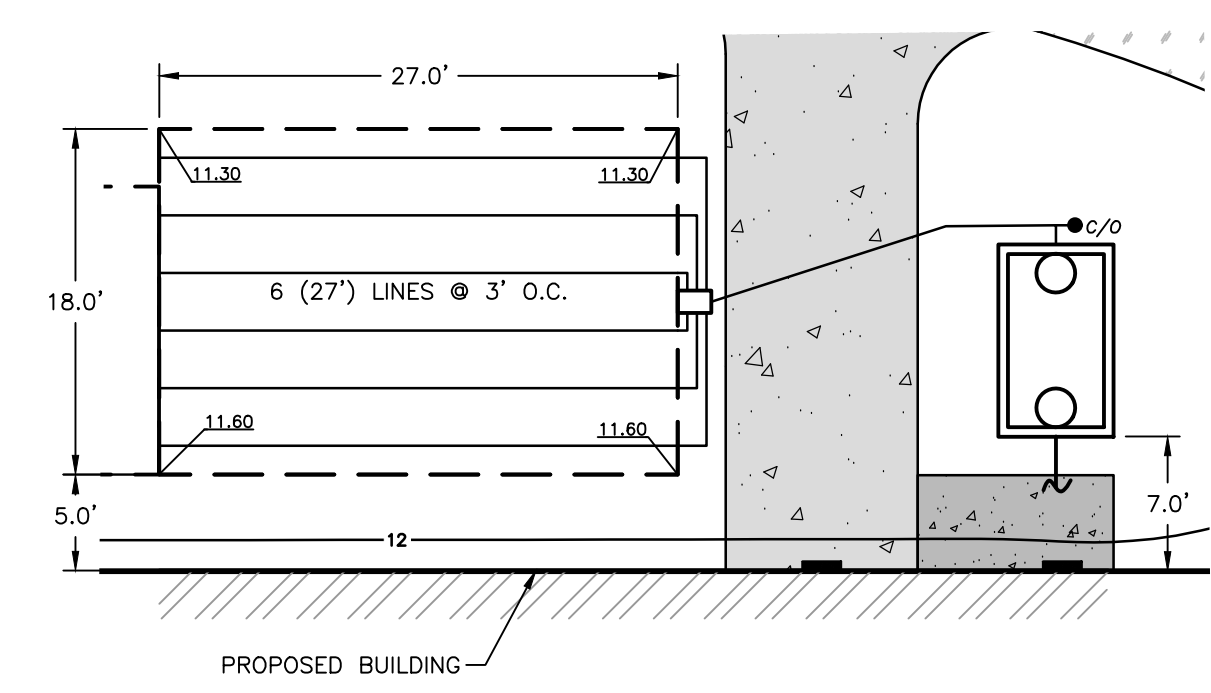
CONCRETE DUMPSTER PAD DETAIL



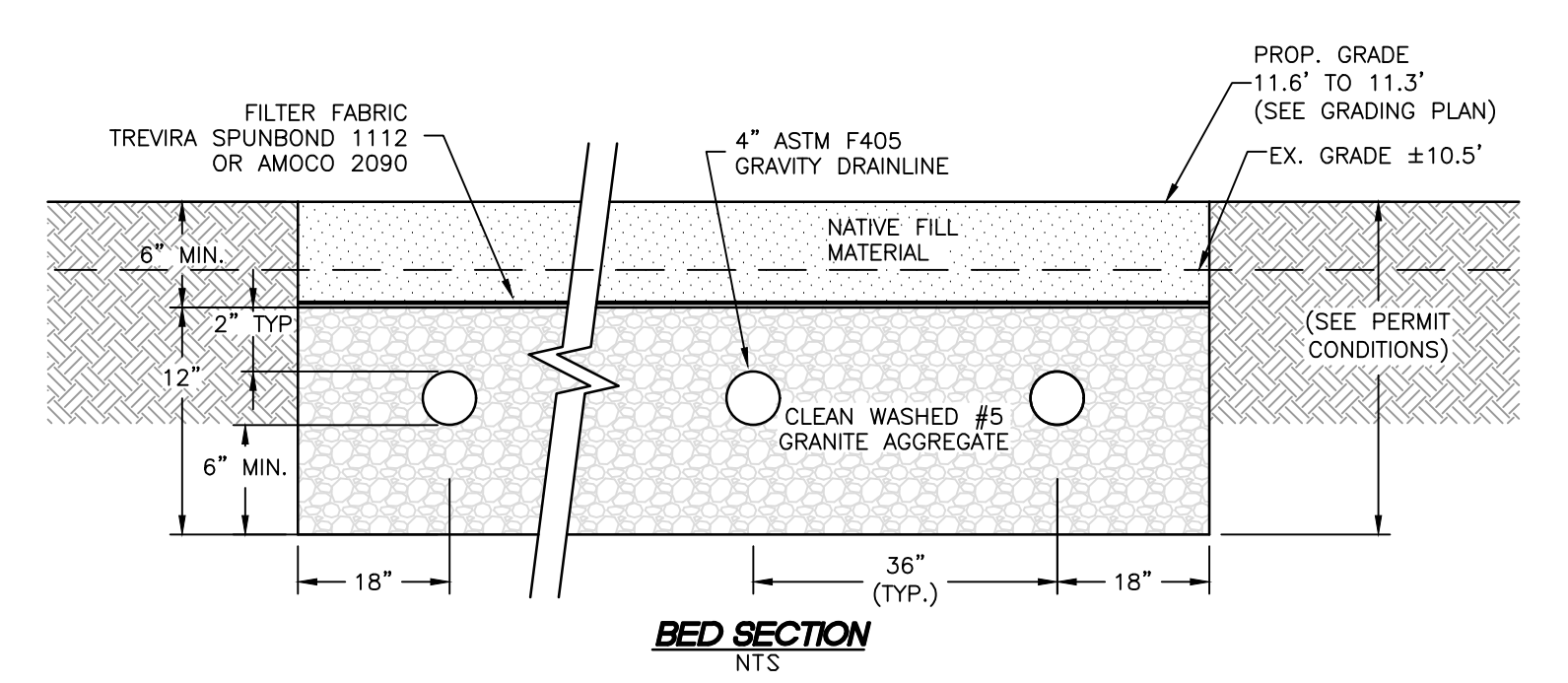
SCREENED FENCE DETAIL



- NOTES:**
- ALL FENCE LUMBER TO BE CCA TREATED (APPROVED FOR GROUND CONTACT)
 - ALL FASTENERS, HINGES, LATCHES OR OTHER HARDWARE TO BE HOT DIPPED GALVANIZED.
 - 2" x 4" DIAGONAL BRACING TO BE PROVIDED AT FENCE CORNERS.



(* NOTE: ALL DIMENSIONS, INVERTS, ELEVATIONS ARE BASED UPON TANK MODEL NOTED IN DETAILS. IF ANOTHER TANK IS USED, PROVIDE PLAN REVISIONS FOR ENGINEERS APPROVAL BEFORE ORDERING MATERIAL.



NO.	DATE	DESCRIPTION

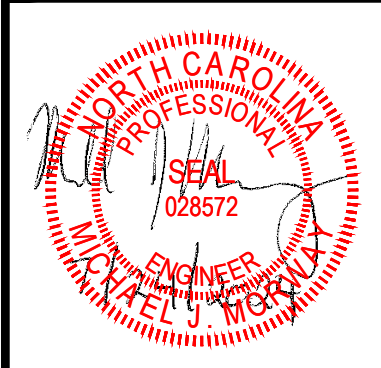
SITE & SEPTIC DETAILS
HARMONY LAND, LLC
LOT 49, CURRITUCK INDUSTRIAL PARK
 NORTH CAROLINA
 CURRITUCK COUNTY
 POPLAR BRANCH TOWNSHIP
 POWELLS POINT

DATE:	07/24/2024
SURVEYED:	SEE NOTES
DESIGNED:	MJM
DRAWN:	KCA
CHECKED:	MJM
FILE:	08814A

SCALE: 1" = 20'

C203

PROJ. NO. 08814A



REVISIONS	
NO.	DESCRIPTION

BY: _____
 DATE: _____

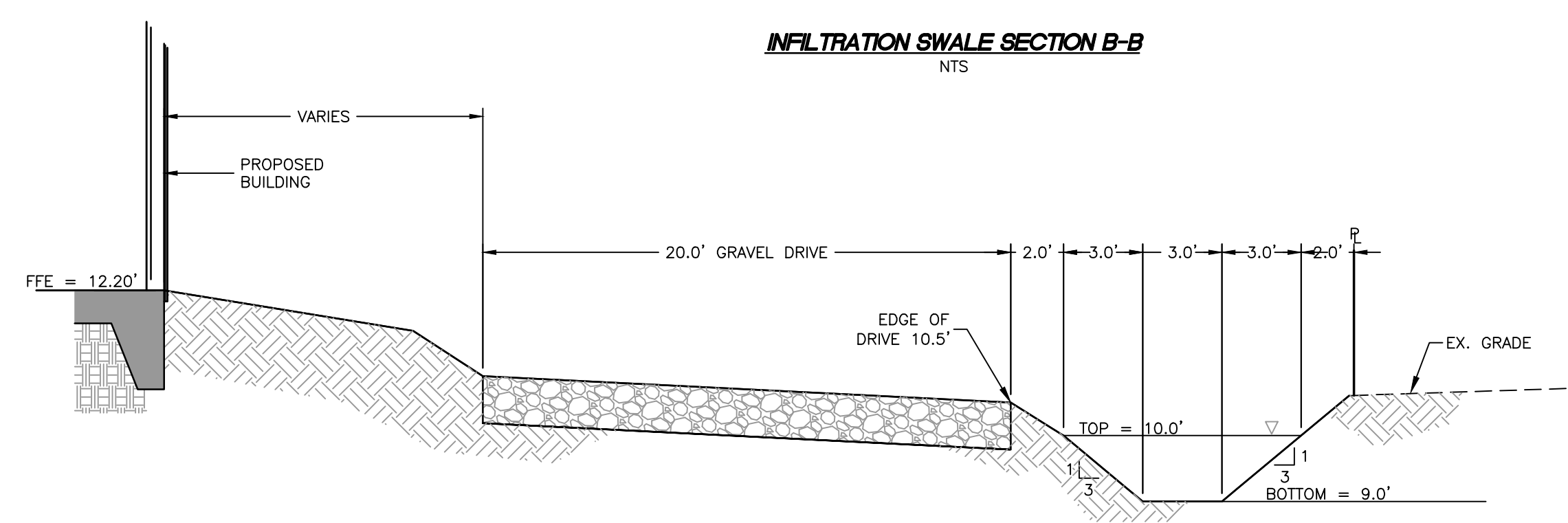
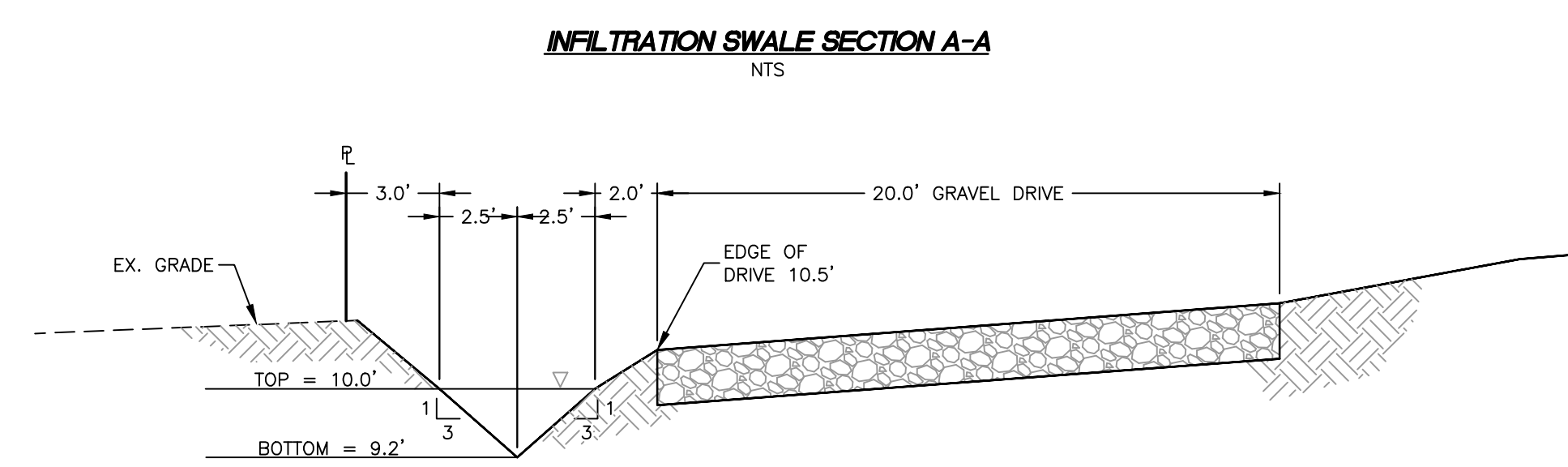
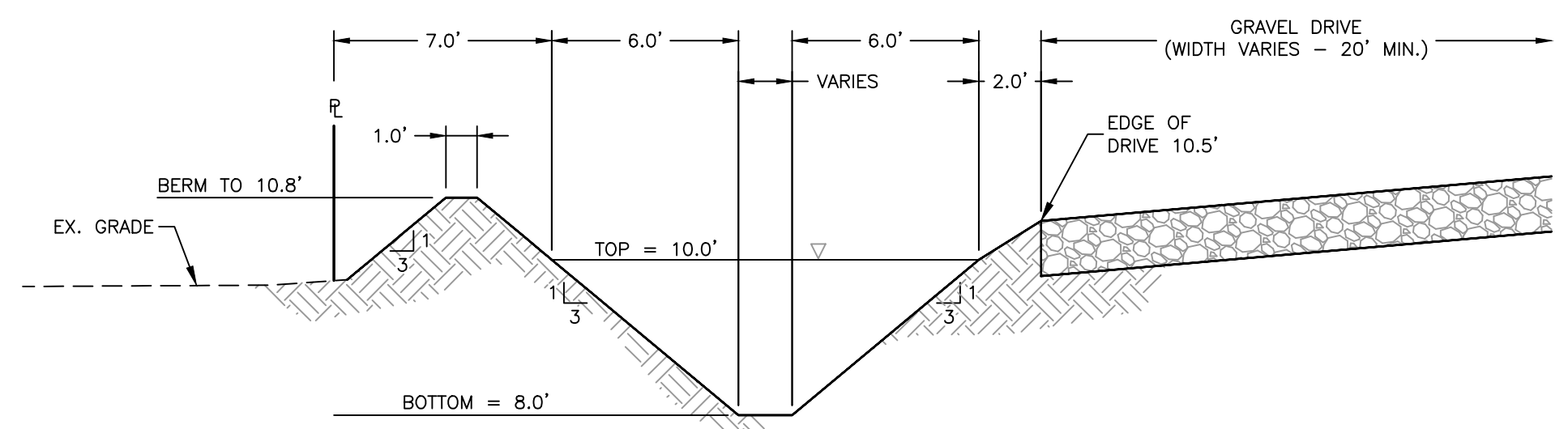
GRADING PLAN & DETAILS
HARMONY LAND, LLC
LOT 49, CURRITUCK INDUSTRIAL PARK
 NORTH CAROLINA
 POWELLS POINT
 POPLAR BRANCH TOWNSHIP
 CURRITUCK COUNTY

DATE:	07/24/2024
SURVEYED:	SEE NOTES
DESIGNED:	MJM
DRAWN:	KCA
CHECKED:	MJM
FILE:	08814A

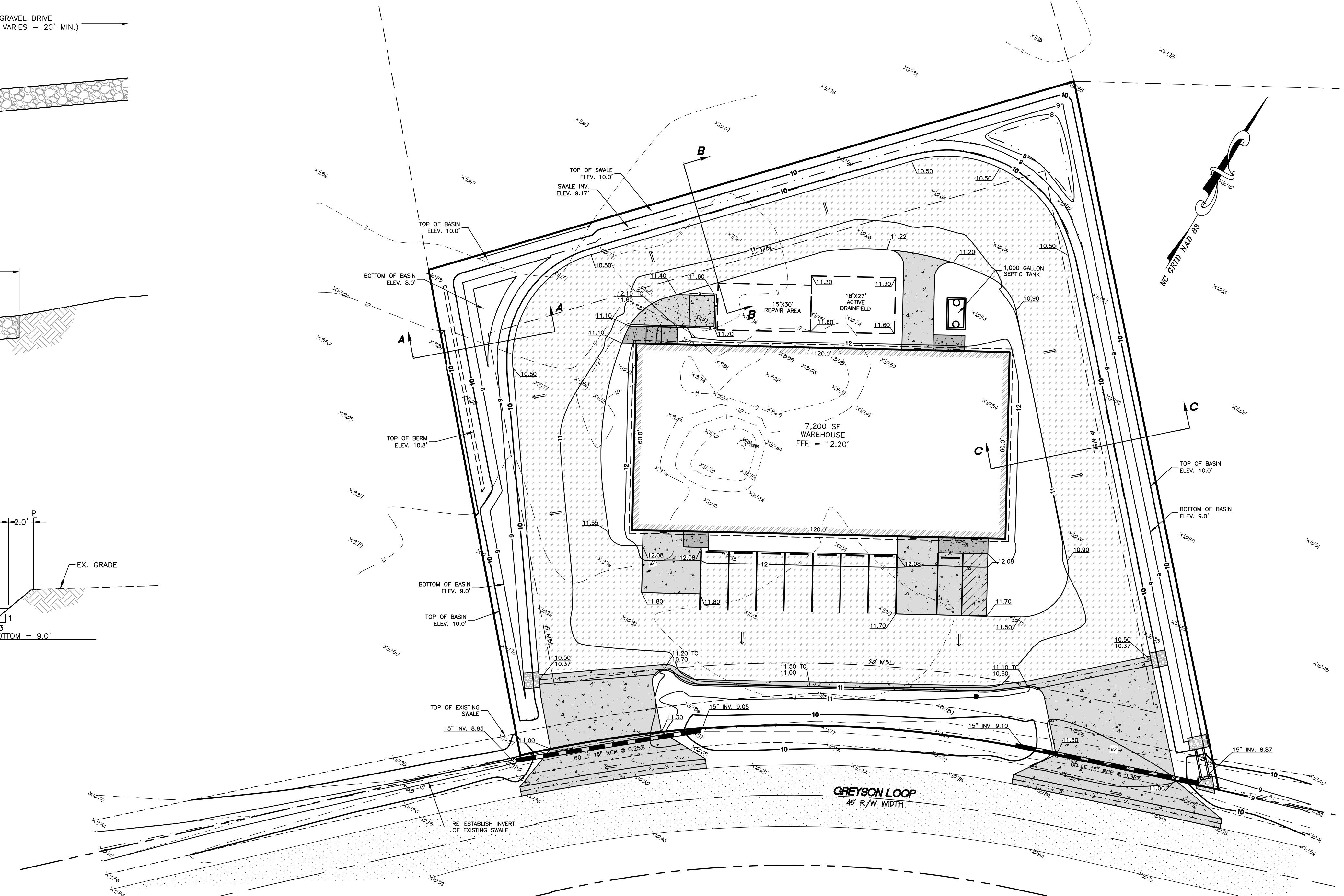
SCALE: 1" = 20'

C301

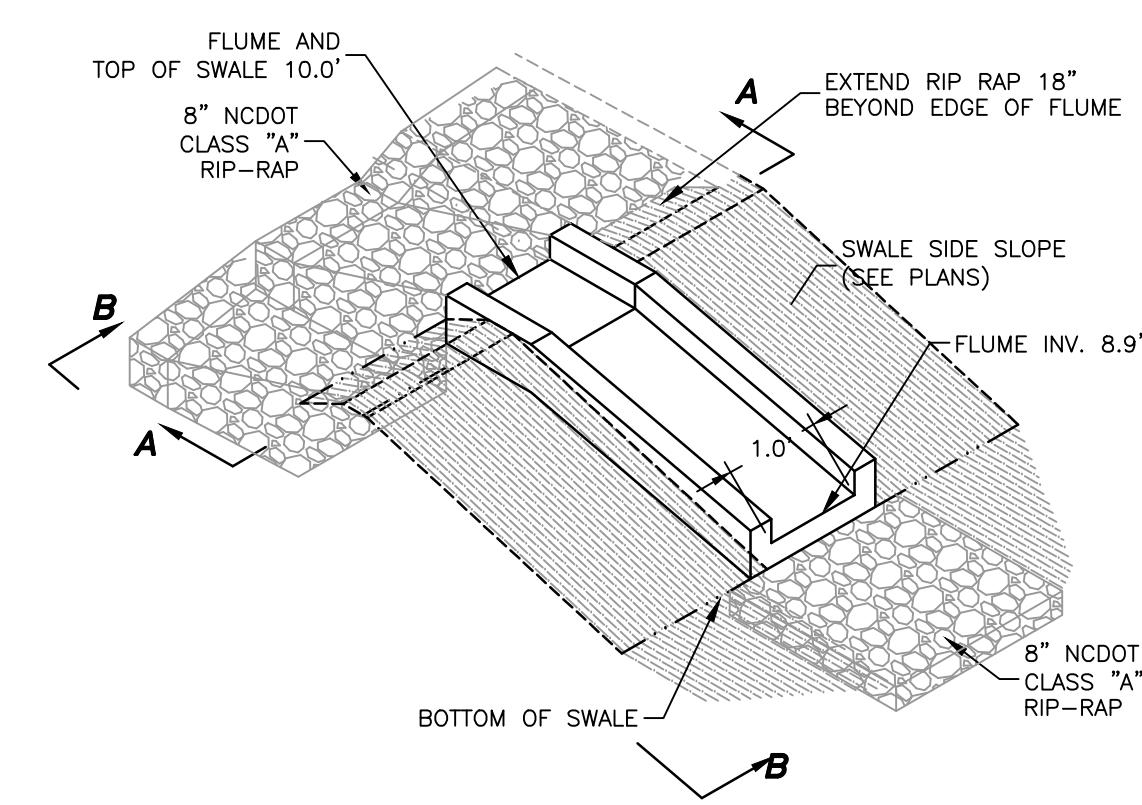
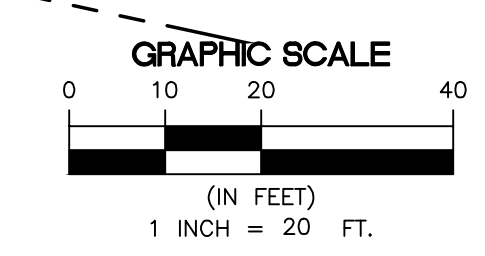
PROJ. NO. 08814A



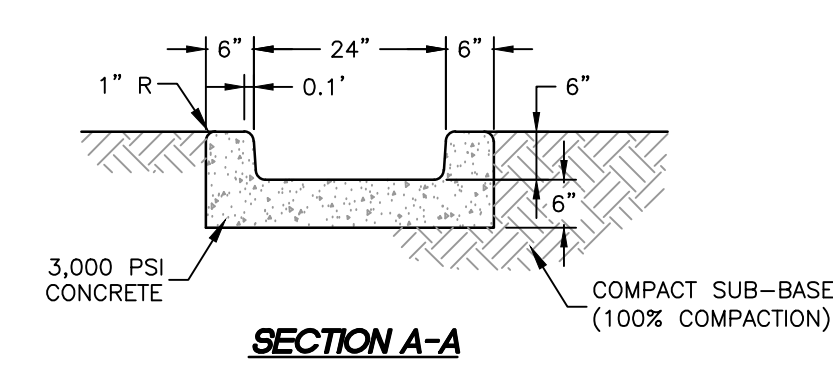
- NOTES:**
1. BASIN GRADING SHALL BE PERFORMED AND PROTECTED, LIMITING COMPACTION FROM CONSTRUCTION EQUIPMENT AND OTHER SOURCES AS MUCH AS POSSIBLE.
 2. UPON COMPLETION OF BASIN GRADING, THE LIMITS SHALL BE PROTECTED FROM RUNOFF OF SILT AND OTHER MATERIAL.
 3. IN THE EVENT RUNOFF TO BASIN IS NOT PREVENTED, THE ENTIRE BASIN SHALL BE TILLED TO RESTORE INFILTRATIVE CAPABILITIES.
 4. STABILIZATION OF BASIN SHALL BE PERFORMED AS SOON AS POSSIBLE. IF BASIN BECOMES FLOODED PRIOR TO ESTABLISHMENT OF GRASS, IT SHALL BE RE-SEEDED UNTIL GRASS IS ESTABLISHED.
 5. DO NOT PLACE SOD ALONG BOTTOM OF BASIN UNLESS APPROVED BY THE ENGINEER.
 6. PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION WITHIN INFILTRATION SWALES AND BASINS, REMOVE ANY SILT OR SEDIMENT WITHIN THE SWALES AND BASINS TO RE-ESTABLISH INFILTRATION CAPACITIES.



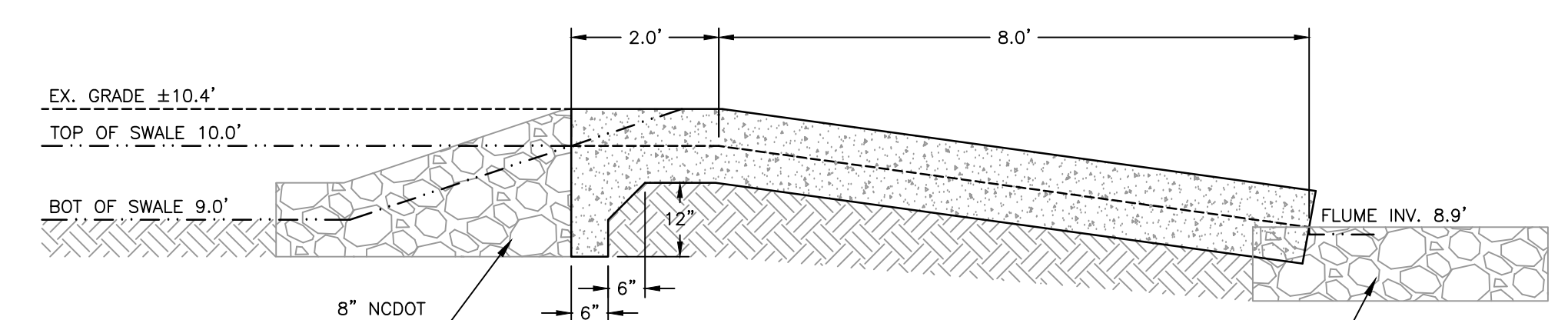
GRADING PLAN
 SCALE: 1" = 20'



CONCRETE FLUME SPILLWAY
 NTS



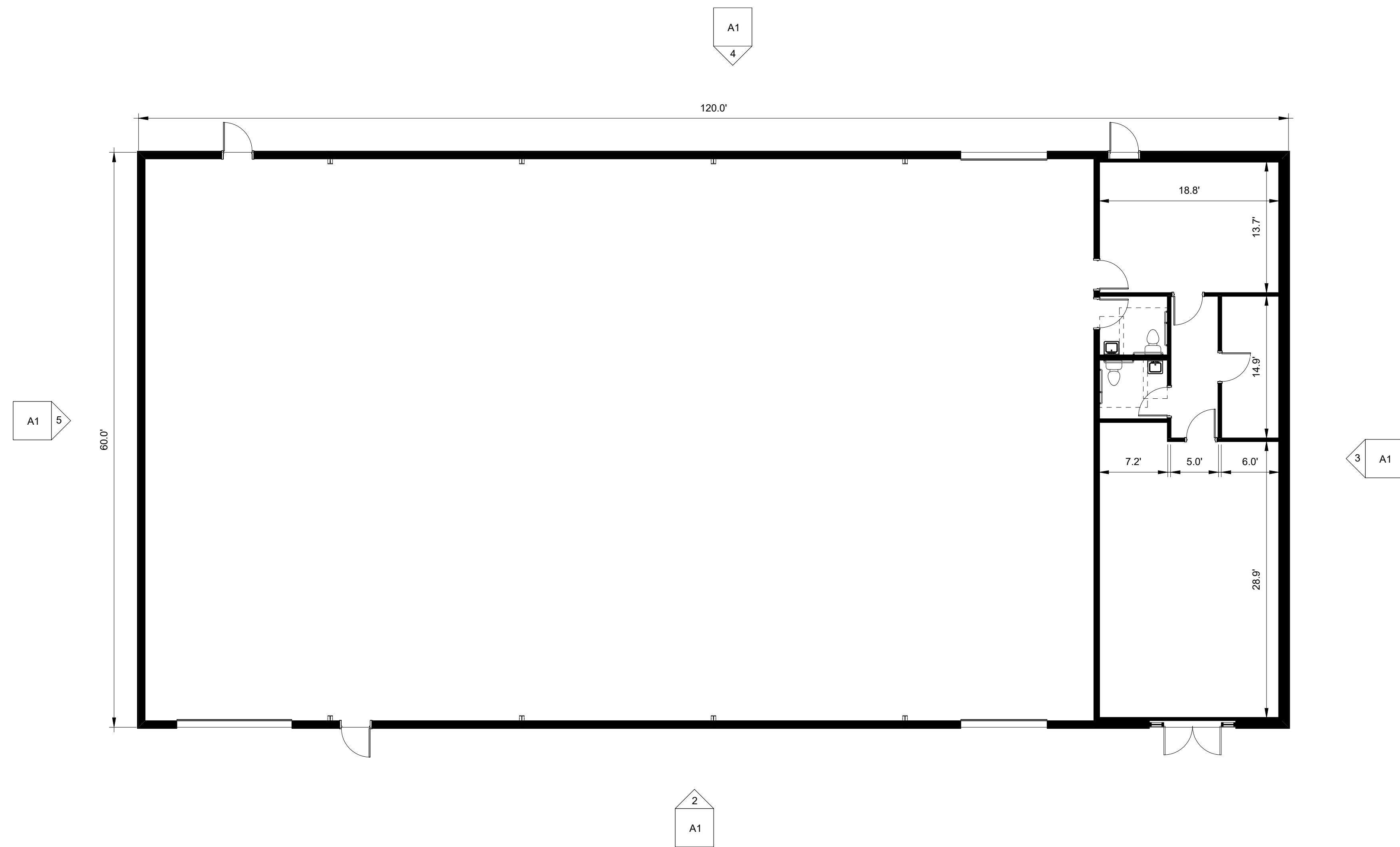
SECTION A-A



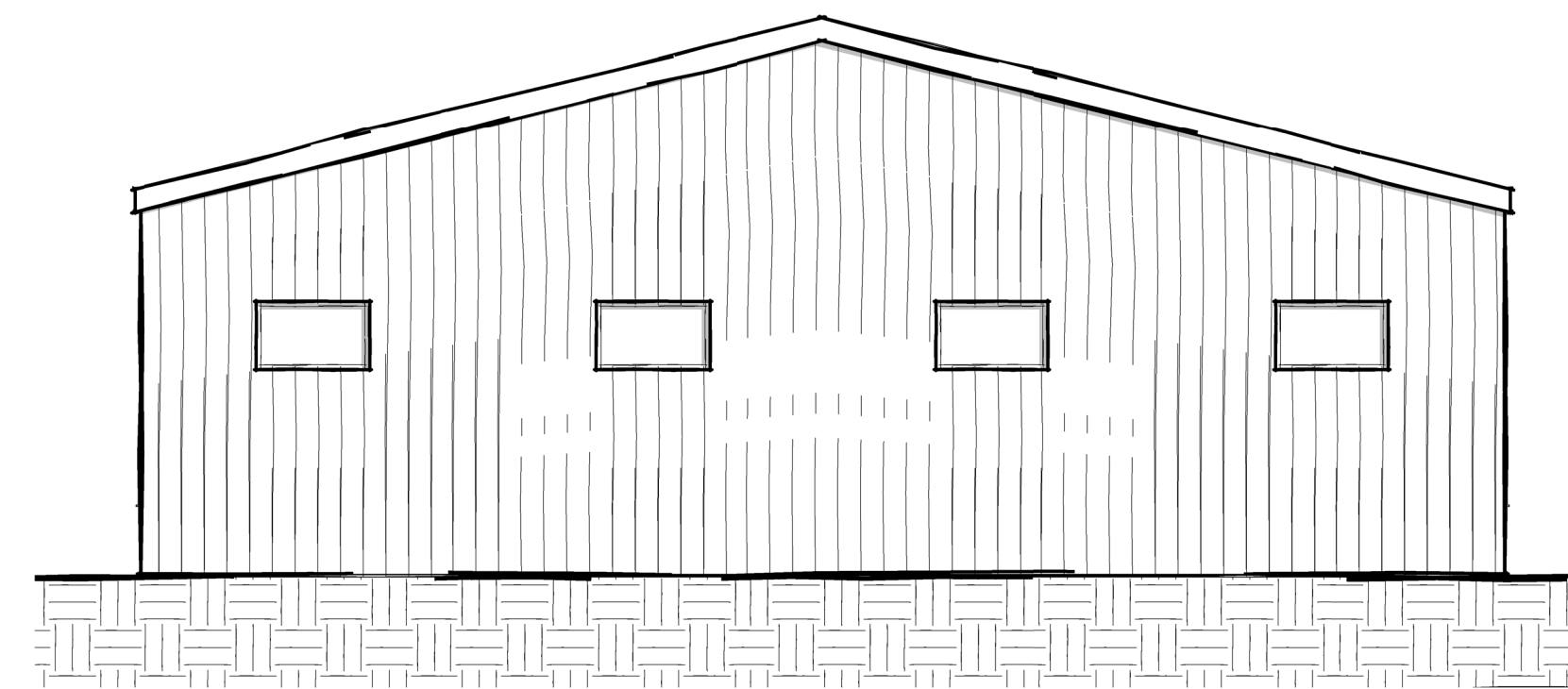
SECTION B-B

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CONSTRUCTION

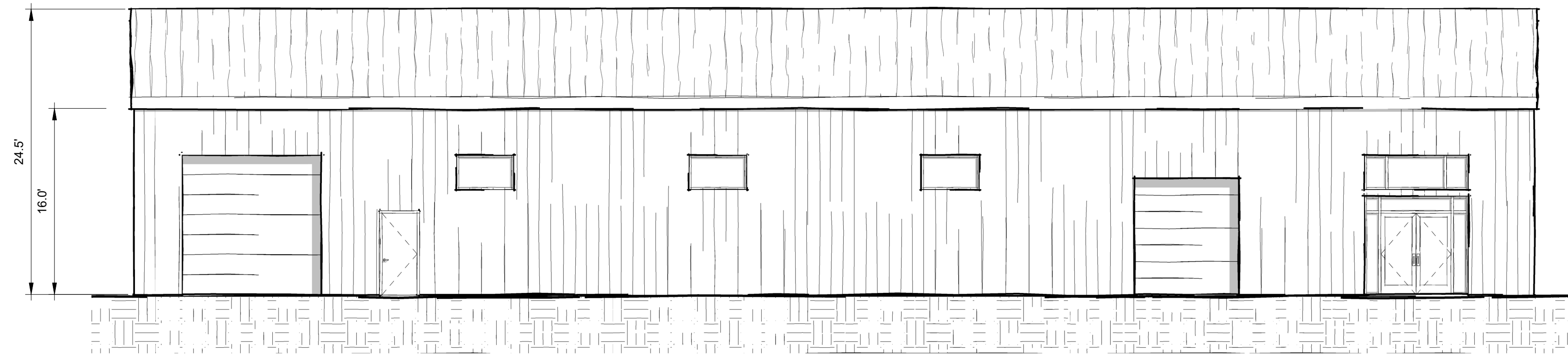
- GRADING NOTES:**
1. ALL CONSTRUCTION TRAFFIC SHALL UTILIZE THE CONSTRUCTION ENTRANCE AS DESIGNATED.
 2. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, ALL EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN.
 3. THE CONTRACTOR SHALL ENSURE THAT AREAS OUTSIDE OF THE LIMITS OF LAND DISTURBANCE AS WELL AS TREES SPECIFICALLY NOTED FOR PROTECTION ARE NOT ADVERSELY IMPACTED BY ANY CLEARING ACTIVITIES.
 4. PRIOR TO FILLING THE SITE, THE CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL IN ACCORDANCE WITH GEOTECHNICAL REPORTS AT THE LOCATION INDICATED. AREAS WHICH ARE TO BE FILLED SHALL BE RAISED IN COMPACTED SEQUENTIAL LIFTS NOT TO EXCEED 8 INCHES IN DEPTH. FILL MATERIAL SHALL BE CLEAN, WELL GRADED SAND. FILL LOCATED BENEATH PAVEMENT SHALL BE COMPACTED PER GEOTECHNICAL REPORT. TOPSOIL STOCKPILED CAN BE USED ON SITE FOR RESPREAD UPON COMPLETION OF FILL AND USED WITHIN STORMWATER TREATMENT AREA.
 5. LIMITS OF SLOPES AND GRADING SHALL BE IN ACCORDANCE WITH THE LIMITS SHOWN HEREON.
 6. EXISTING TOPOGRAPHY HAS BEEN PROVIDED BY SURVEY ISSUED BY SEA LEVEL CONSULTING, INC. DATED MAY 24TH, 2024. ELEVATIONS ARE BASED UPON NAVD 1988.
- DRAINAGE NOTES:**
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT NC ONE CALL (811) TO LOCATE UNDERGROUND UTILITIES.
 2. ALL STORM SEWERS SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. STORM SEWERS SHALL BE SMOOTH INTERIOR, DOUBLE WALLED HDPE WITH GASKETED CONNECTIONS UNLESS OTHERWISE NOTED.



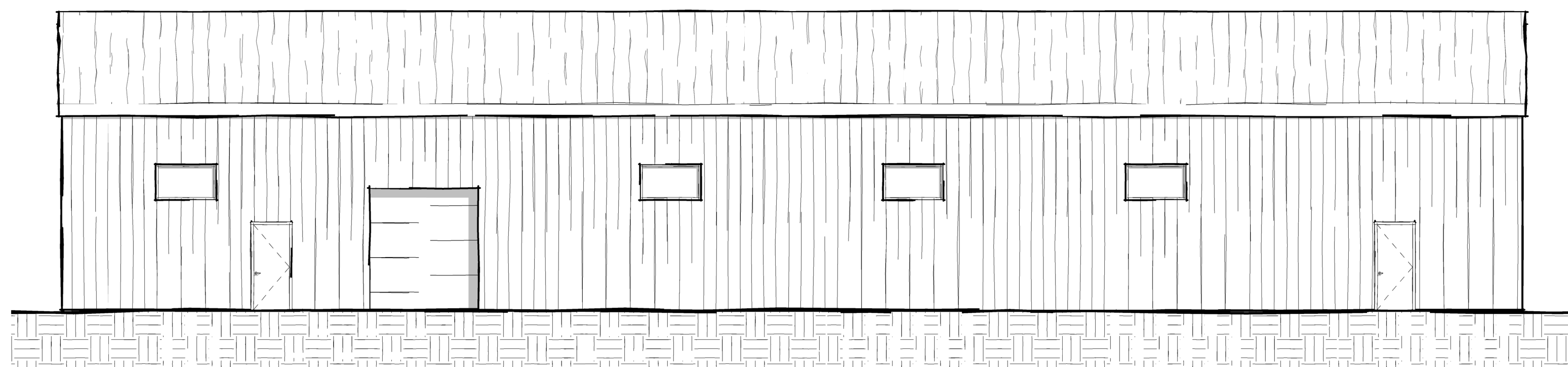
① First Floor Plan
1/8" = 1'-0"



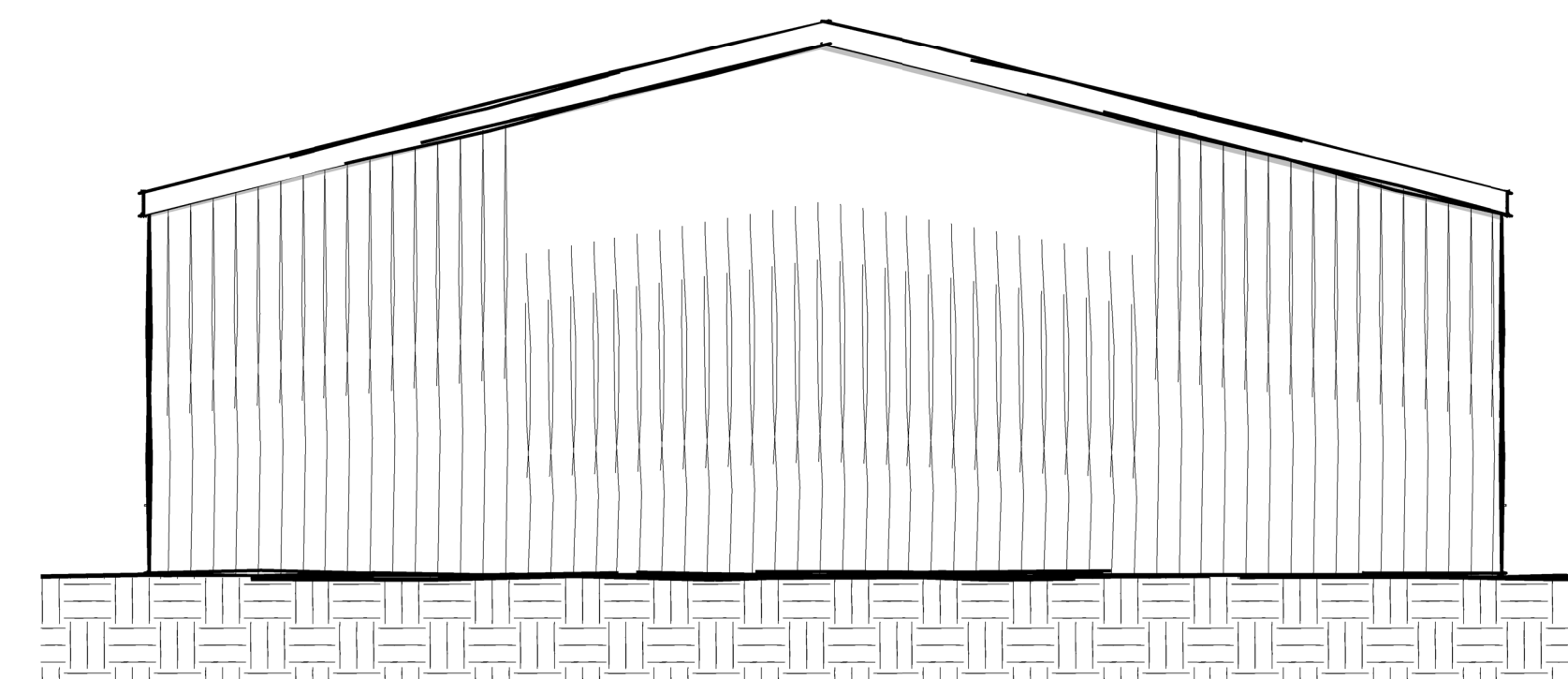
③ East Elevation
1/8" = 1'-0"



② South Elevation
1/8" = 1'-0"



④ North Elevation
1/8" = 1'-0"



⑤ West Elevation
1/8" = 1'-0"

Project: **Harmony Cabinets**
Project No: **23075**
Location: **49 Greyson Loop
Powells Point, NC**
Title: **Preliminary**
Date: **June 13, 2024**
Scale: **1/8" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: Designer
Drawn: Author
Reviewed: Checker
Cad File:

A1