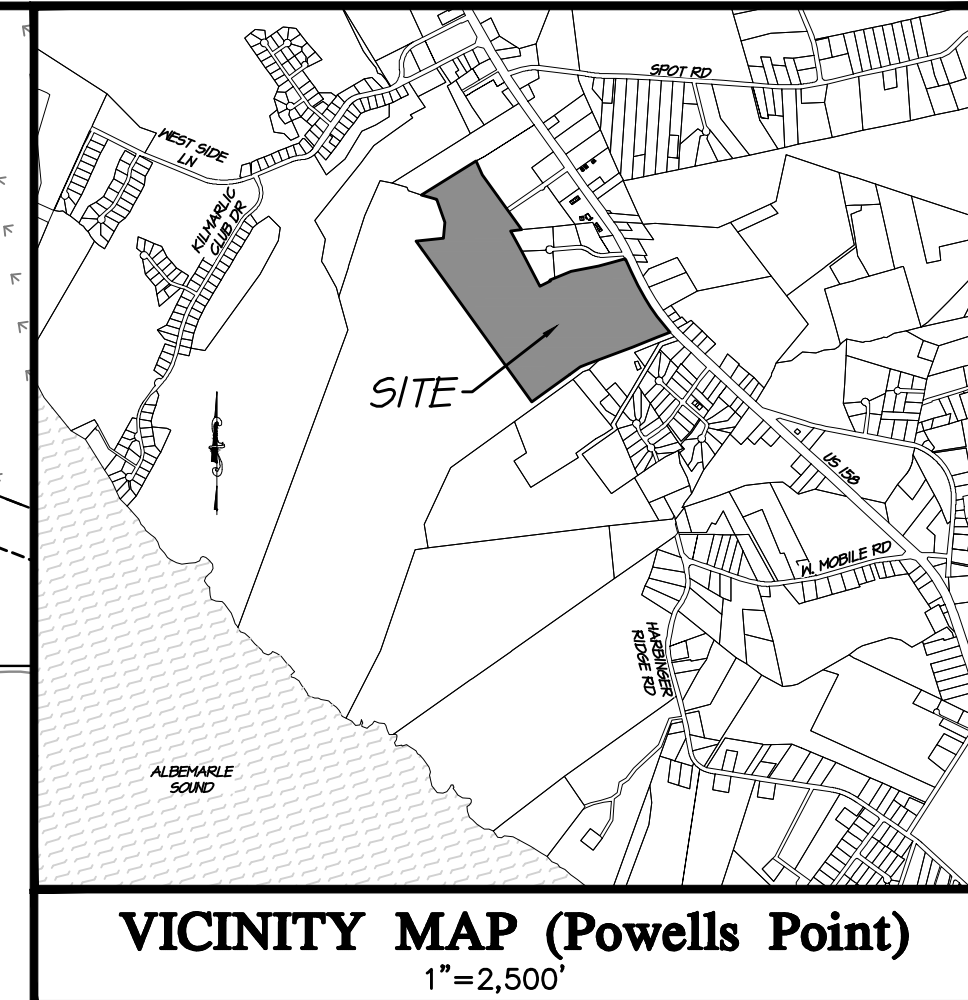


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Quible & Associates, P.C.
 CIVIL ENGINEERING & SURVEYING
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 Phone: (252) 89-8427 Fax: (252) 89-8428
 www.quibleandassociates.com

NC License # C-0208
 SINCE 1959

PROFESSIONAL SURVEYORS
 NORTH CAROLINA
 CIVIL ENGINEERS

- LEGEND**
- EXISTING ASPHALT PAVEMENT
 - EXISTING CONCRETE
 - EX. IRON ROD
 - EX. DRILL HOLE
 - EX. CONCRETE MONUMENT
 - EX. MAG NAIL
 - EX. UTILITY POLE
 - EX. FIRE HYDRANT
 - EX. WATER VALVE
 - EX. SEWER MANHOLE
 - EX. WATER METER
 - EX. ELECTRICAL CONNECTION
 - EX. TELEPHONE PEDESTAL
 - EX. CABLE TV PEDESTAL
 - EX. MISC. VALVE
 - EX. UTILITY BOX
 - EX. SEWER CLEAN OUT
 - EX. SANITARY SEWER MANHOLE
 - EX. DRAINAGE STRUCTURE

NF SALLY C. MAGNER
 DENVA REGISTERED
 NO. 21 82297
 ZONED: AS
 USE: RESIDENTIAL

NF LASSITER BREDA REMICK TRUSTEE
 DB 1463 PG 657
 PC 11, SL 21
 ZONED: 6B
 USE: RESIDENTIAL

NF GRIGGS & COMPANY
 HORNES INC
 DB 630 PG 841
 ZONED: 6B
 USE: RESIDENTIAL

NF 6B INVESTMENT GROUP, LLC
 DB 1572 PG 517
 RESIDUAL PARCEL
 PC 10, SL 84
 ZONED: 6B
 USE: INDUSTRIAL

VERCO 120' EASEMENT

NF ANDREW J. DODDS
 DB 1538 PG 112
 ZONED: 6B
 USE: RESIDENTIAL

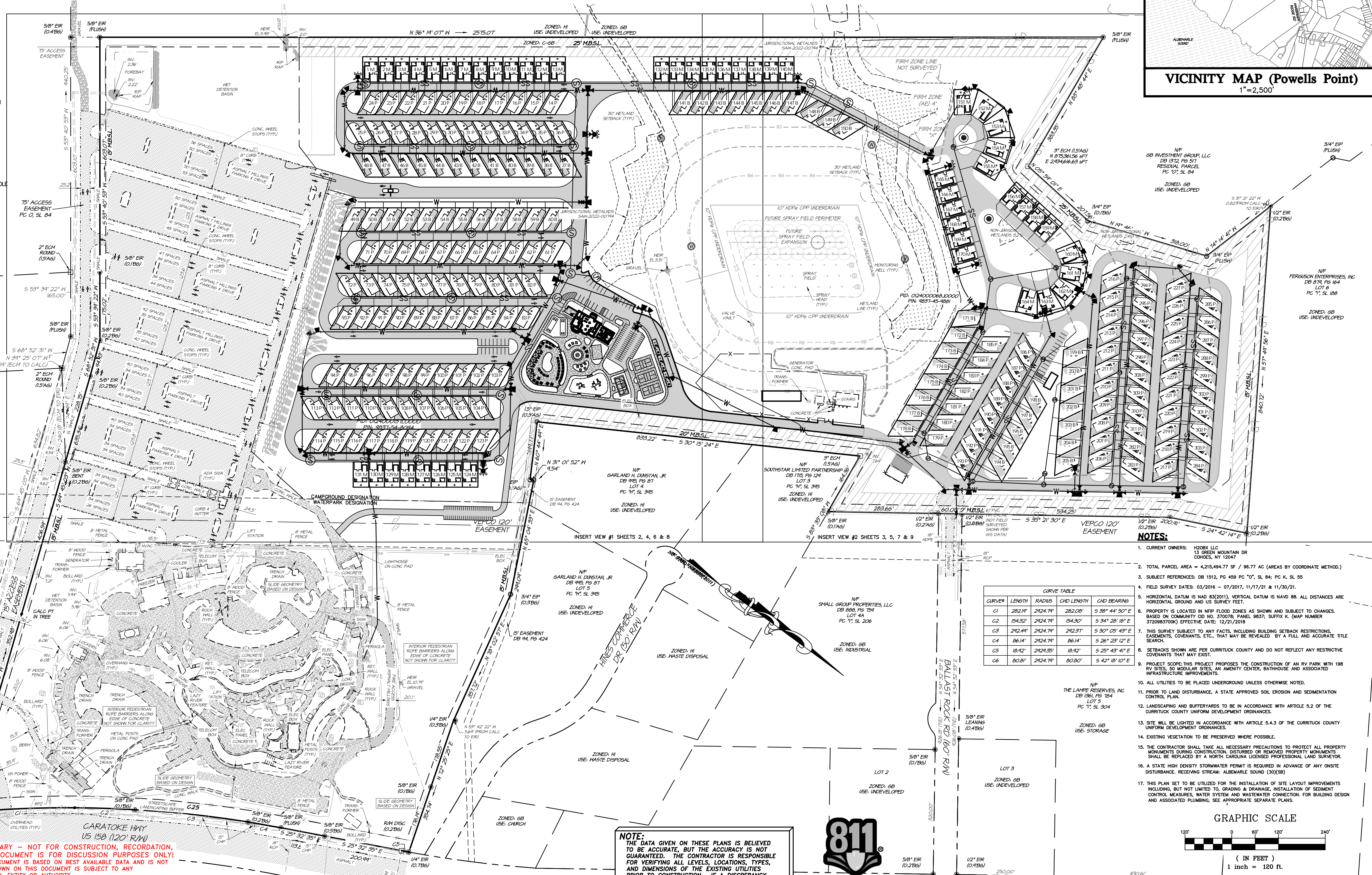
NF 6B INVESTMENT GROUP, LLC
 DB 1572 PG 517
 RESIDUAL PARCEL
 PC 10, SL 84
 ZONED: 6B
 USE: INDUSTRIAL

NF 805 MEN CUR 9
 N 8751463.07
 E 2481146.75
 NAD 83 (2011)

CARATOKE HWY
 US 158 (120' R/W)

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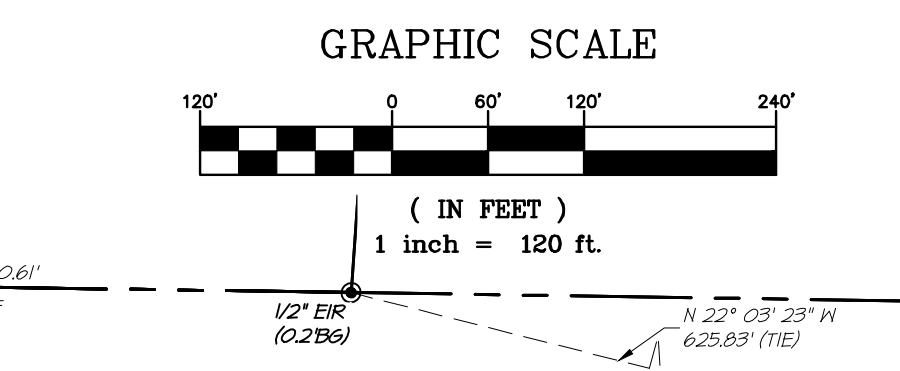


CURVE TABLE

CURVE	LENGTH	RADIUS	CHD LENGTH	CHD BEARING
C1	282.24'	2424.79'	282.08'	S 30° 44' 30" E
C2	154.32'	2424.79'	154.30'	S 34° 28' 18" E
C3	242.44'	2424.79'	242.37'	S 30° 05' 43" E
C4	86.14'	2424.79'	86.14'	S 26° 23' 12" E
C5	18.42'	2424.35'	18.42'	S 25° 43' 41" E
C6	202.81'	2424.79'	202.80'	S 42° 18' 10" E

- NOTES:**
- CURRENT OWNERS: H2OBX LLC 13 GREEN MOUNTAIN DR COCHES, NY 12047
 - TOTAL PARCEL AREA = 4,215,494.77 SF / 96.77 AC (AREAS BY COORDINATE METHOD)
 - SUBJECT REFERENCES: DB 1512, PG 459 PC "0", SL 84; PC K, SL 55
 - FIELD SURVEY DATES: 03/2016 - 07/2017, 11/17/21 & 11/30/21
 - HORIZONTAL DATUM IS NAD 83(2011), VERTICAL DATUM IS NAVD 88. ALL DISTANCES ARE HORIZONTAL, GROUND AND US SURVEY FEET.
 - PROPERTY IS LOCATED IN HP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES BASED ON COMMUNITY CD NO. 37070E, PANEL 9837, SUFFIX K (MAP NUMBER 3720983700K) EFFECTIVE DATE: 12/21/2018
 - THIS SURVEY SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
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 - A STATE HIGH DENSITY STORMWATER PERMIT IS REQUIRED IN ADVANCE OF ANY ONSITE DISTURBANCE, RECEIVING STREAM: ALBEMARLE SOUND (303)(8)
 - THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, WATER SYSTEM AND WASTEWATER CONNECTION, FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, SEE APPROPRIATE SEPARATE PLANS.

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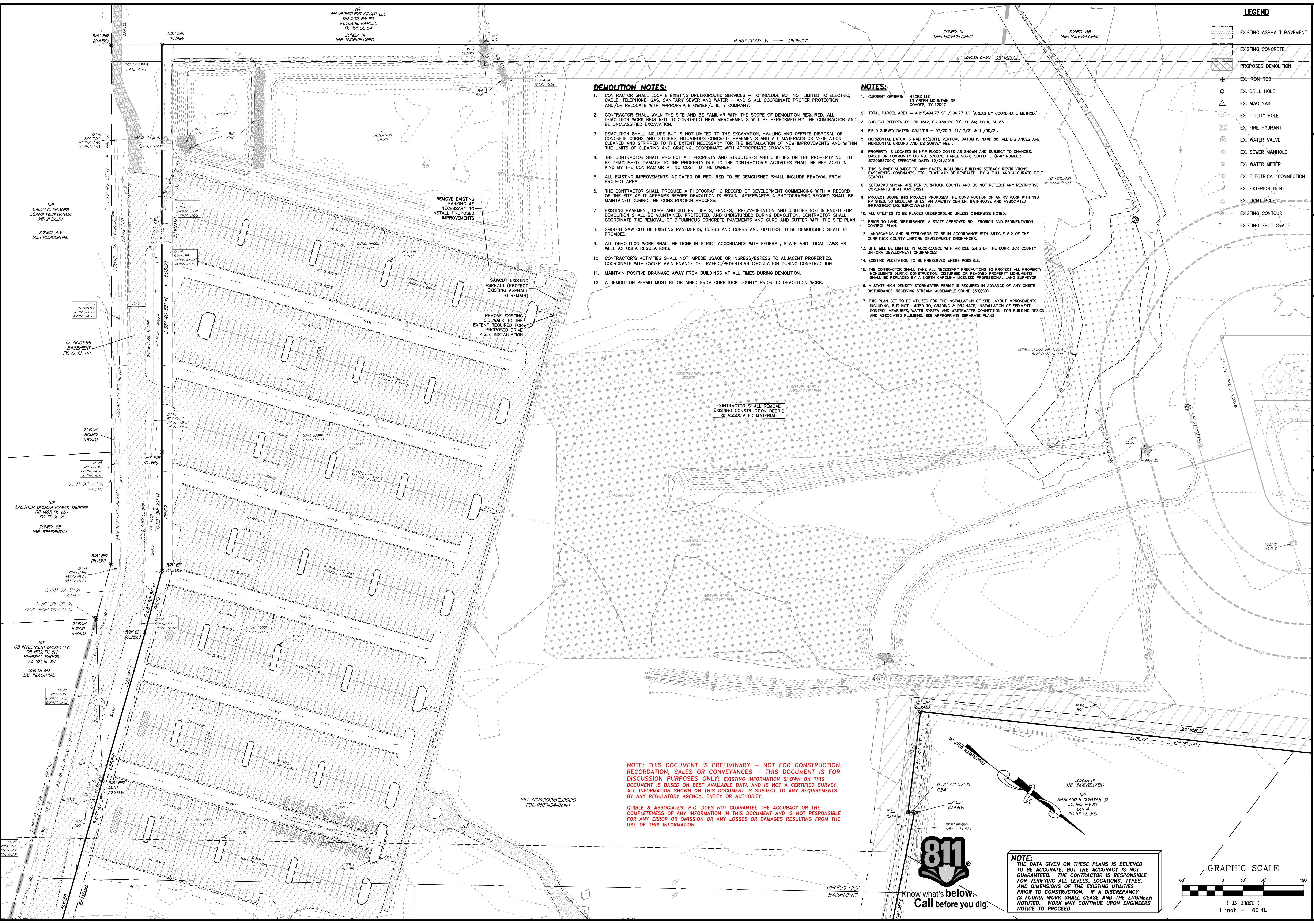
PROJECT NO. P15004.1
 DESIGNED BY CMS
 DRAWN BY CMS/JJC
 CHECKED BY MWS
 ISSUE DATE 09/26/24

COVER SHEET

H2OBX RV & WATERPARK RESORT
H2OBX, LLC

NORTH CAROLINA
 CURRITUCK COUNTY
 POPULAR BRANCH TOWNSHIP

SHEET NO. **1**
 OF 16 SHEETS



DEMOLITION NOTES:

- CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND SERVICES - TO INCLUDE BUT NOT LIMITED TO ELECTRIC, CABLE, TELEPHONE, GAS, SANITARY SEWER AND WATER - AND SHALL COORDINATE PROPER PROTECTION AND/OR RELOCATE WITH APPROPRIATE OWNER/UTILITY COMPANY.
- CONTRACTOR SHALL WALK THE SITE AND BE FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND BE UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE CURBS AND GUTTERS, BITUMINOUS CONCRETE PAVEMENTS AND ALL MATERIALS OR VEGETATION CLEARED AND STRIPPED TO THE EXTENT NECESSARY FOR THE INSTALLATION OF NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING. COORDINATE WITH APPROPRIATE DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO THE PROPERTY DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM PROJECT AREA.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARDS A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS.
- EXISTING PAVEMENT, CURB AND GUTTER, LIGHTS, FENCES, TREE/VEGETATION AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED, AND UNDISTURBED DURING DEMOLITION. CONTRACTOR SHALL COORDINATE THE REMOVAL OF BITUMINOUS CONCRETE PAVEMENTS AND CURB AND GUTTER WITH THE SITE PLAN.
- SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS TO BE DEMOLISHED SHALL BE PROVIDED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AS WELL AS OSHA REGULATIONS.
- CONTRACTOR'S ACTIVITIES SHALL NOT IMPEDE USAGE OR INGRESS/EGRESS TO ADJACENT PROPERTIES. COORDINATE WITH OWNER MAINTENANCE OF TRAFFIC/PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
- MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES DURING DEMOLITION.
- A DEMOLITION PERMIT MUST BE OBTAINED FROM CURRITUCK COUNTY PRIOR TO DEMOLITION WORK.

NOTES:

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13 GREEN MOUNTAIN DR
CORDELI, NY 12047
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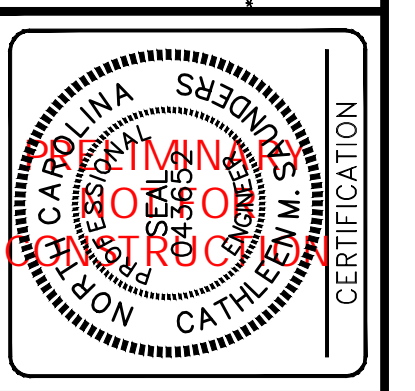
LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- PROPOSED DEMOLITION
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- EX. DRILL HOLE
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- EX. WATER METER
- EX. ELECTRICAL CONNECTION
- EX. EXTERIOR LIGHT
- EX. LIGHT POLE
- EXISTING CONTOUR
- EXISTING SPOT GRADE

NC License # C-0208
SINCE 1959

Quible & Associates, P.C.
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ENVIRONMENTAL SCIENCE SURVEYING
ENGINEERING/SURVEYING NOT OFFERED IN BLACK MOUNTAIN OFFICE

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BLACK MOUNTAIN, NC 28711
Phone: (828) 652-5188
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REVISIONS

NO.	DATE	DESCRIPTION

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EXISTING CONDITIONS/DEMOLITION PLAN

H2OBX RV & WATERPARK RESORT

H2OBX, LLC

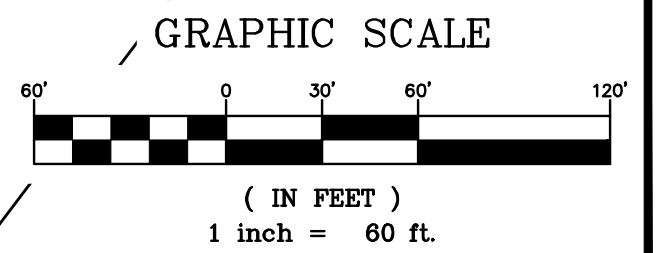
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

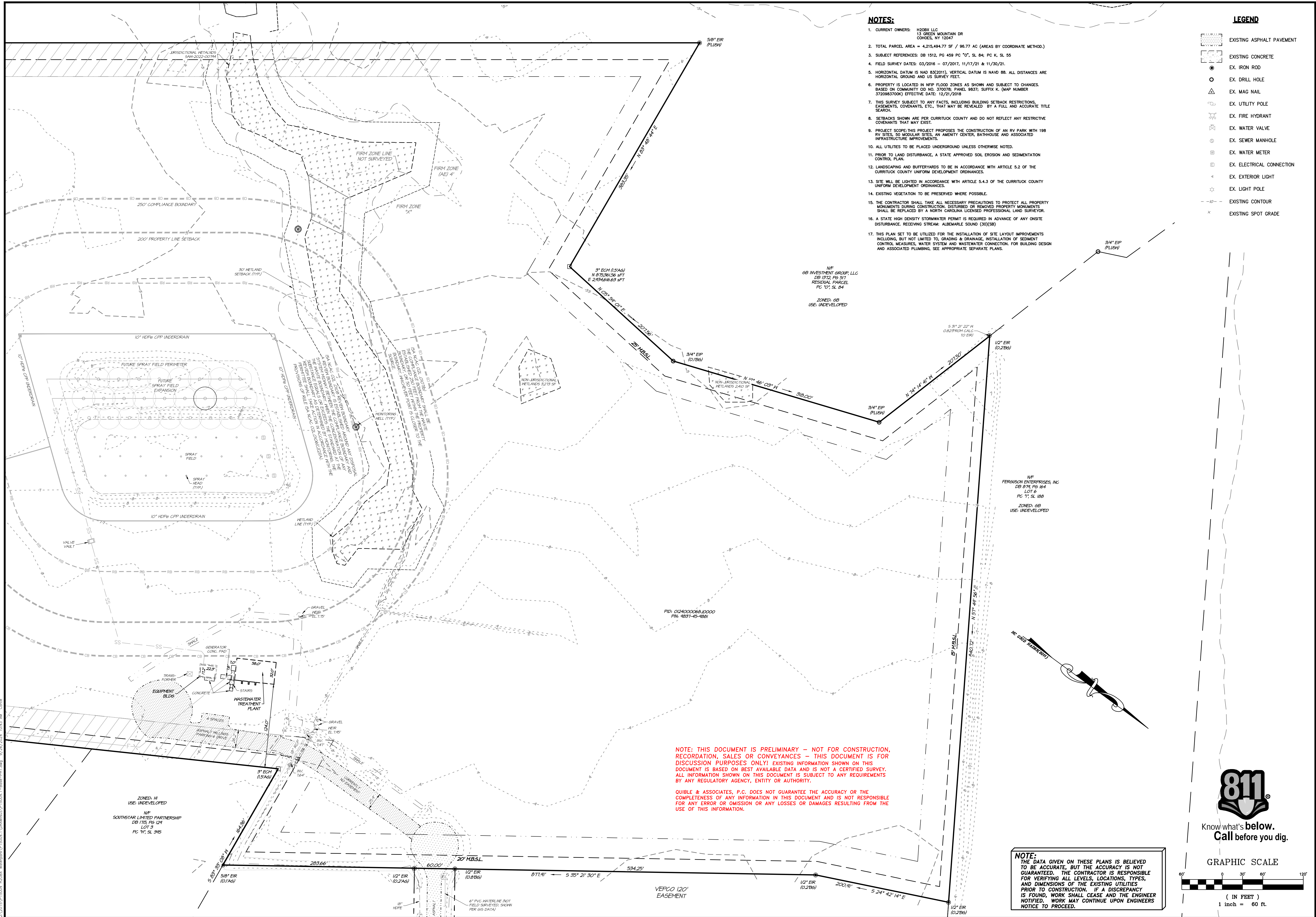
PROJECT NO. P15004.1
DESIGNED BY CMS
DRAWN BY CMS/JJC
CHECKED BY MWS
ISSUE DATE 09/26/24

SHEET NO. **2** OF 16 SHEETS



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COCHES, NY 12047
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 8446 GARDNER HWY.
 BLACK MOUNTAIN, NC 28711
 PHONE: (828) 659-8417
 FAX: (828) 659-8418
 WWW: QUIBLE.COM

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REVISIONS

NO.	DATE

EXISTING CONDITIONS/DEMOLITION PLAN
H2OBX RV & WATERPARK RESORT
H2OBX, LLC
 POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P15004.1
 DESIGNED BY CWS
 DRAWN BY CWS/JJC
 CHECKED BY MWS
 ISSUE DATE 09/26/24
 SHEET NO. **3**
 OF 16 SHEETS

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Know what's below.
 Call before you dig.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 60 ft.

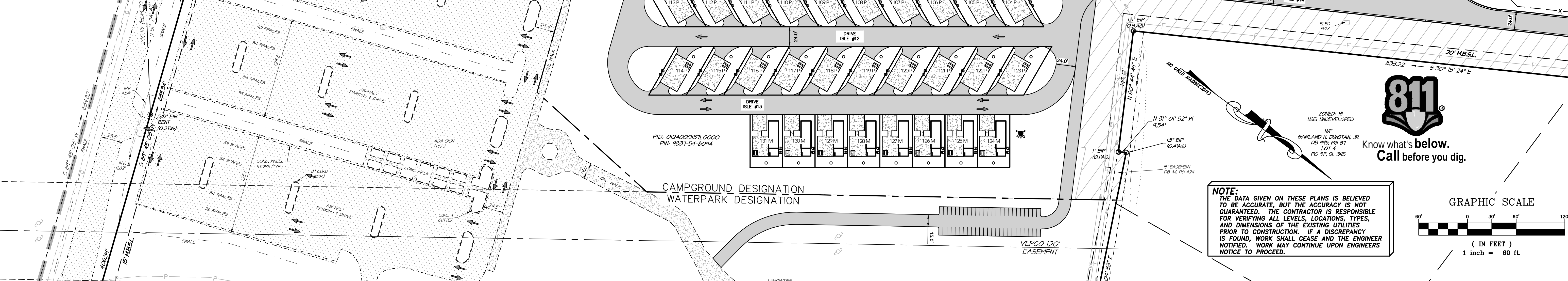
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NOTES:

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- LOT COVERAGE (CAMPGROUND AREA ONLY) = 2 - 2410,700 SF
 PROPOSED ASPHALT: 591,605 SF
 PROPOSED CONCRETE: 228,287 SF
 PROPOSED BUILDINGS: 34,316 SF
 PROPOSED POOL: 1,002 SF
 TOTAL PROPOSED COVERAGE: 856,210 SF (33%)
 MAXIMUM ALLOWED (65%): 1,696,955 SF
- PARKING CALCULATIONS
 WATERPARK REQUIRED PARKING BASED ON ALTERNATIVE PARKING PLAN: 1,053 SPACES
 EXISTING WATERPARK PARKING: 1,138 SPACES
 PROPOSED PARKING TO BE REMOVED: 4 SPACES
 TOTAL PARKING SPACES: 1,190 SPACES
 REQUIRED PARKING FOR RV PARK = 1 SPACE PER CAMPSITE + 1 SPACE PER 10 CAMP SITES = 248 SITES X 1 SPACE/SITE + 248 SITES/10 SITE/SPACE = 273 REQUIRED
 REQUIRED PARKING FOR CLUB OR LODGE = 1 SPACE PER 300 SF = 4262 SF/300 SF = 14 SPACES
 TOTAL NUMBER OF SPACES REQUIRED = 288 SPACES
 TOTAL NUMBER OF SPACES PROVIDED = 337 SPACES
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- THE ENTIRE SITE WILL BE IN FULL COMPLIANCE WITH ALL APPLICABLE NFPA REGULATIONS PERTAINING TO FIRE PROTECTION INCLUDING BUT NOT LIMITED TO NFPA 30 AS WELL AS VOLUME V OF THE NC STATE BUILDING CODE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCSD STANDARDS. FULL IS NOT ALLOWED WITHIN 10' OF THE PROPERTY LINE.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-632-4848, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT. ALL WORK WITHIN 100' R/W SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCSD STANDARDS AND SPECIFICATIONS.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- ALL PAVEMENT MARKINGS, TEXT AND DIRECTIONAL ARROWS SHALL BE PAINTED WHITE. ALL LETTERING SHALL BE 2 1/2" IN HEIGHT. LINES SHALL BE 4" WIDE. CROSSWALK AND LOADING AREAS, SET 4" WHITE LINES ON A 45° ANGLE.
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
- WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS AND DETAILS.
- SEWER IS PROVIDED VIA ONSITE WASTEWATER TREATMENT PLANT (WWTP).

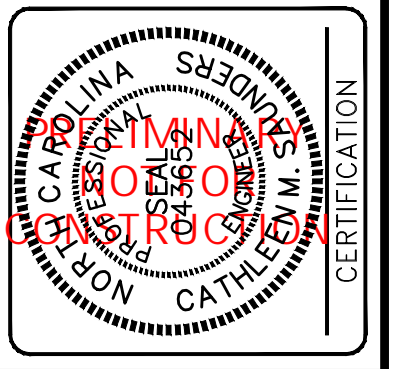
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- LEGEND**
- EXISTING ASPHALT PAVEMENT
 - PROPOSED GRAVEL/RIP RAP
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - EX. IRON ROD
 - EX. DRILL HOLE
 - EX. MAG NAIL
 - EX. UTILITY POLE
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 - EX. WATER VALVE
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 - EX. WATER METER
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 - PROPOSED WATERLINE
 - PROPOSED SANITARY SEWER

Quible & Associates, P.C.
 CONSULTING ENGINEERS & SURVEYORS
 ENVIRONMENTAL SCIENTISTS & PLANNERS
 8486 GARLAND HWY
 POWELL COUNTY, NC 27968
 Phone: (252) 891-8127
 Fax: (252) 891-8128
 www.quible.com



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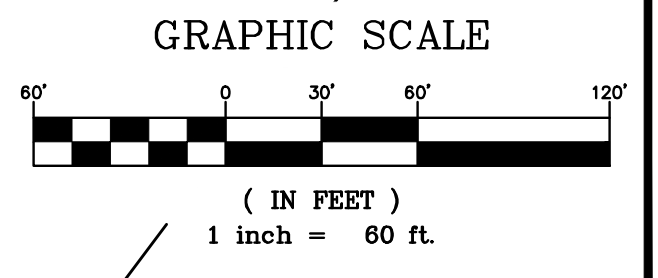
NO.	DATE	REVISIONS

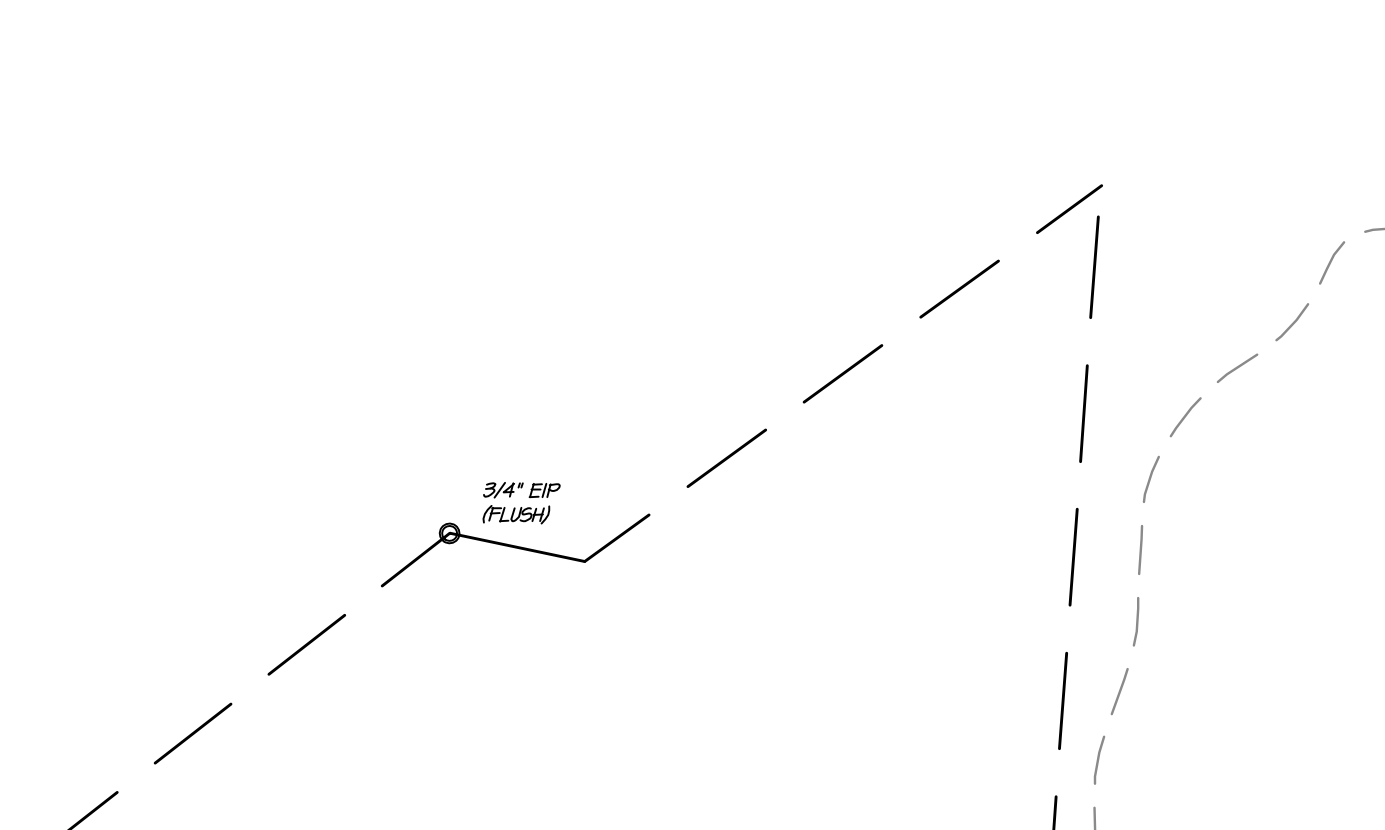
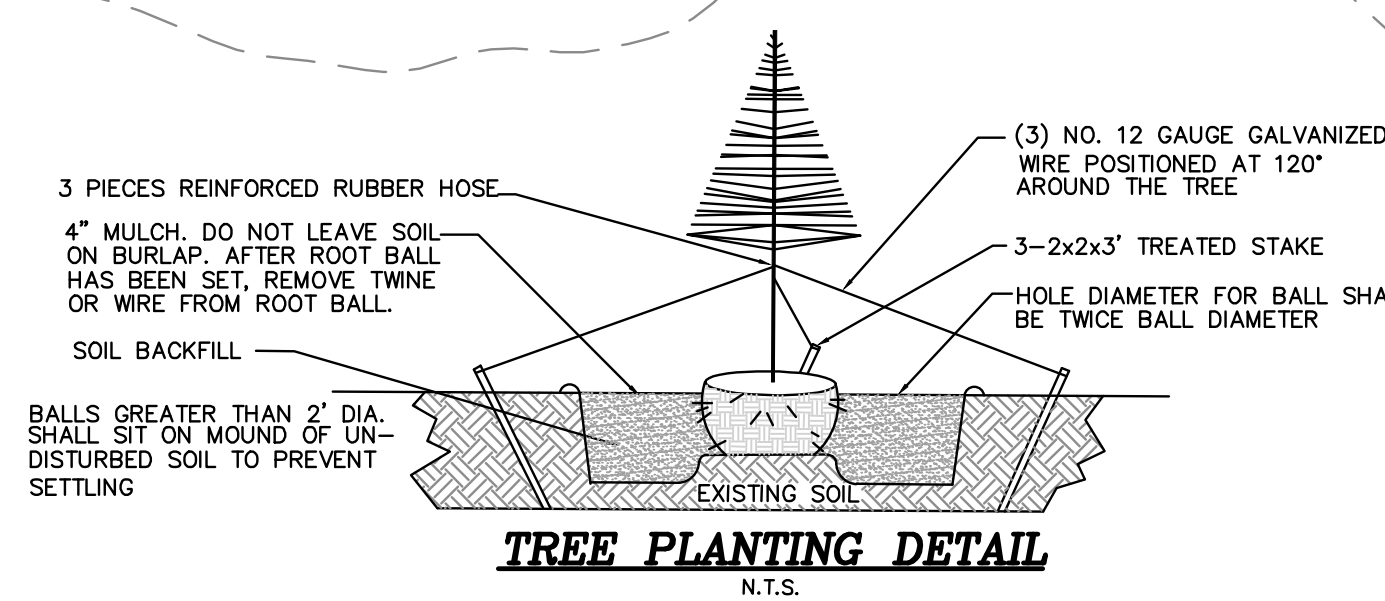
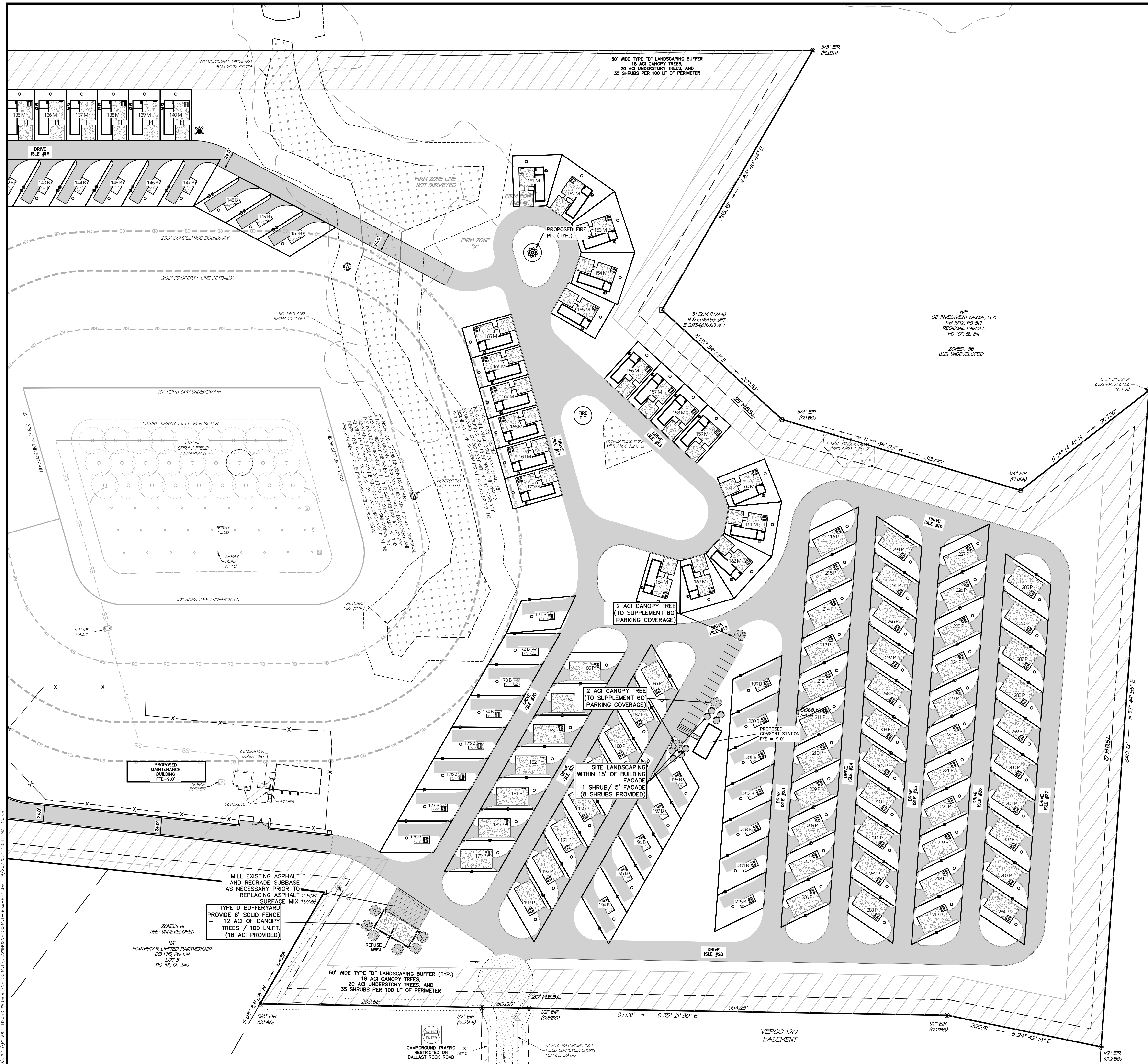
SITE & LANDSCAPING PLAN
H2OBX RV & WATERPARK RESORT
H2OBX, LLC
 CURRITUCK COUNTY
 POPLAR BRANCH TOWNSHIP
 NORTH CAROLINA

PROJECT NO. P15004.1
 DESIGNED BY CMS
 DRAWN BY CMS/JJC
 CHECKED BY MWS
 ISSUE DATE 09/26/24
 SHEET NO. **4**
 OF 16 SHEETS



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811
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GRAPHIC SCALE
0 30' 60' 120'
(IN FEET)
1 inch = 60 ft.

NC License # C-0208
QUIBLE & ASSOCIATES, P.C. SINCE 1959
CONCRETE, CIVIL, ENVIRONMENTAL, GEOTECHNICAL, LANDSCAPE ARCHITECTURE, SURVEYING, ENGINEERING, PLUMBING, MECHANICAL, ELECTRICAL, AND GENERAL CONTRACTING
8446 GARLAND HWY. BLACK MOUNTAIN, NC 28711
Phone: (828) 652-8127 Fax: (828) 652-8128
www.quible.com

REVISIONS

NO.	DATE	DESCRIPTION

SITE & LANDSCAPING PLAN
H2OBX RV & WATERPARK RESORT
H2OBX, LLC
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P15004.1
DESIGNED BY CMS
DRAWN BY CMS/JJC
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SHEET NO. 5 OF 16 SHEETS

NOTES:

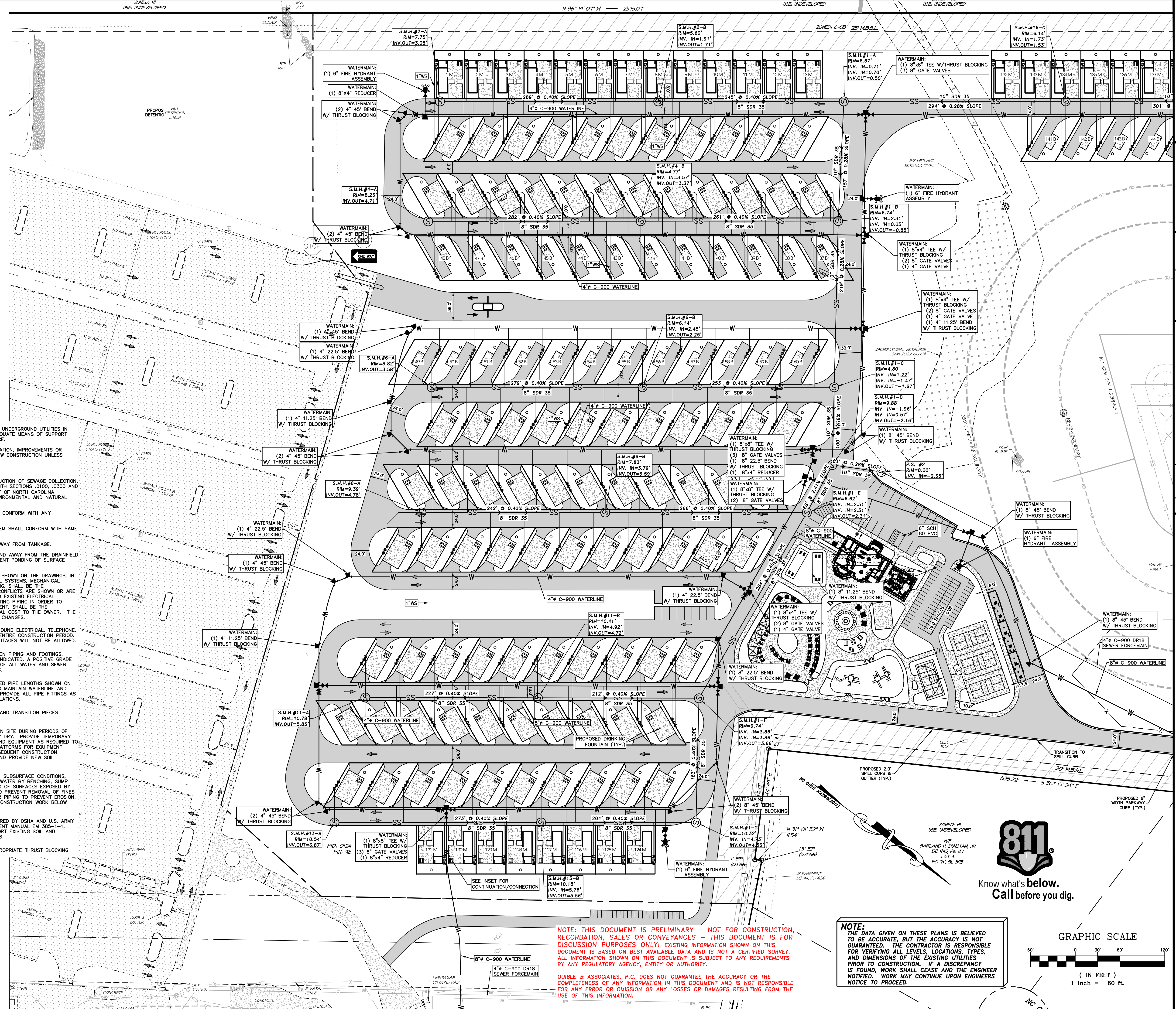
- CURRENT OWNERS: H2OBX LLC
13 GREEN MOUNTAIN DR
COCHES, NY 12047
- TOTAL PARCEL AREA = 4,215,494.77 SF / 96.77 AC (AREAS BY COORDINATE METHOD.)
- SUBJECT REFERENCES: DB 1512, PG 459 PC '00', SL 84; PC K, SL 55
- FIELD SURVEY DATES: 03/2016 - 07/2017, 11/2017 & 11/30/21.
- HORIZONTAL DATUM IS NAD 83(2011), VERTICAL DATUM IS NAVD 88. ALL DISTANCES ARE HORIZONTAL GROUND AND US SURVEY FEET.
- PROPERTY IS LOCATED IN NFP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES. BASED ON COMMUNITY DO NO. 37078; PANEL 9857; SUFFIX K. (MAP NUMBER 3720983700K) EFFECTIVE DATE: 12/21/2018
- THIS SURVEY SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
- PROJECT SCOPE: THIS PROJECT PROPOSES THE CONSTRUCTION OF AN RV PARK WITH 198 RV SITES, 50 MODULAR SITES, AN AMENITY CENTER, BATHHOUSE AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS.
- ALL UTILITIES TO BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.
- PRIOR TO LAND DISTURBANCE, A STATE APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
- EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION, DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- A STATE HIGH DENSITY STORMWATER PERMIT IS REQUIRED IN ADVANCE OF ANY ONSITE DISTURBANCE. RECEIVING STREAM: ALSEMARKLE SOUND (303/58)
- THIS PLAN SET IS TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING BUT NOT LIMITED TO: GRADING & DRAINAGE, INSTALLATION OF SEWAGE CONTROL MEASURES, WATER SYSTEM AND WASTEWATER CONNECTION, FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, SEE APPROPRIATE SEPARATE PLANS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- THE ENTIRE SITE WILL BE IN FULL COMPLIANCE WITH ALL APPLICABLE NFPA REGULATIONS PERTAINING TO FIRE PROTECTION INCLUDING BUT NOT LIMITED TO NFPA 30 AS WELL AS VOLUME V OF THE NC STATE BUILDING CODE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEC REGULATIONS. FILL IS NOT ALLOWED WITHIN 10' OF THE PROPERTY LINE.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HISHER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST FIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-532-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS AND DETAILS.
- SEWER IS PROVIDED VIA ONSITE WASTEWATER TREATMENT PLANT (WWTP).

LEGEND

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WASTEWATER COLLECTION NOTES:

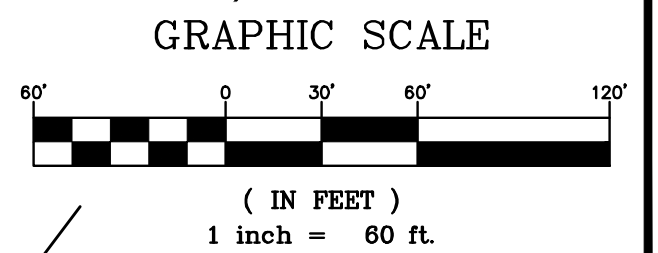
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- WASTEWATER VIA ON-SITE WWTP.
- UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTIONS 03000 AND 0400 "WASTE NOT DISCHARGED TO SURFACE WATERS" OF NORTH CAROLINA ADMINISTRATIVE CODE TITLE 15A DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES DIVISION OF WATER QUALITY.
- CONSTRUCTION OF SEWAGE COLLECTION SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED UTILITIES, INC.
- MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
- GRADES SHALL BE ESTABLISHED TO DIVERT RUNOFF AWAY FROM TANKAGE.
- ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER.
- CHANGES IN NEW PIPING OR STRUCTURES FROM THAT SHOWN ON THE DRAWINGS, IN ORDER TO AVOID CONFLICTS WITH EXISTING ELECTRICAL, SYSTEMS, MECHANICAL SYSTEMS, EQUIPMENT, STRUCTURES, OR EXISTING PIPING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHETHER THE CONFLICTS ARE SHOWN OR ARE DISCOVERED IN THE FIELD. LIKEWISE, ALTERATIONS TO EXISTING ELECTRICAL SYSTEMS, MECHANICAL SYSTEMS, EQUIPMENT, OR EXISTING PIPING IN ORDER TO ACCOMMODATE NEW PIPING, STRUCTURES AND EQUIPMENT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND THE ENGINEER MUST APPROVE ALL SUCH CHANGES.
- MAINTAIN AND PROTECT ALL OVERHEAD AND UNDERGROUND ELECTRICAL, TELEPHONE, CABLE TV, WATER, AND ALL OTHER UTILITIES DURING CONSTRUCTION PERIOD. WATER SERVICE INTERRUPTIONS AND OTHER UTILITY OUTAGES WILL NOT BE ALLOWED.
- PROVIDE A MINIMUM OF 18 INCHES CLEARANCE BETWEEN PIPING AND FOOTINGS, STRUCTURES, AND OTHER PIPING UNLESS OTHERWISE INDICATED. A POSITIVE GRADE SHALL BE MAINTAINED FOR THE VERTICAL ALIGNMENT OF ALL WATER AND SEWER PIPING TO ELIMINATE THE FORMATION OF AIR POCKETS.
- HORIZONTAL DISTANCE IS INDICATED FOR ALL PROPOSED PIPE LENGTHS SHOWN ON THE DRAWINGS. DEFLECT PIPE JOINTS AS REQUIRED TO MAINTAIN WATERLINE AND SEWER ALIGNMENTS SHOWN. THE CONTRACTOR SHALL PROVIDE ALL PIPE FITTINGS AS REQUIRED FOR COMPLETE AND OPERABLE PIPE INSTALLATIONS.
- CONTRACTOR SHALL PROVIDE ALL CONNECTING PIPES AND TRANSITION PIECES REQUIRED TO MAKE FINAL PIPING CONNECTIONS.
- SURFACE DRAINAGE: COMPLETELY DRAIN CONSTRUCTION SITE DURING PERIODS OF CONSTRUCTION TO KEEP SOIL MATERIALS SUFFICIENTLY DRY. PROVIDE TEMPORARY DITCHES, SWALES, AND OTHER DRAINAGE FEATURES AND EQUIPMENT AS REQUIRED TO MAINTAIN DRY SOILS. WHEN UNSUITABLE WORKING PLATFORMS FOR EQUIPMENT OPERATION AND UNSUITABLE SOIL SUPPORT FOR SUBSEQUENT CONSTRUCTION FEATURES DEVELOP, REMOVE UNSUITABLE MATERIAL AND PROVIDE NEW SOIL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
- SUBSURFACE DRAINAGE: CONSIDER SITE SURFACE AND SUBSURFACE CONDITIONS, AVAILABLE SOIL AND HYDROLOGICAL DATA. REMOVE WATER BY BENCHING, SUMP PUMPING, OR OTHER METHODS TO PREVENT SOFTENING OF SOILS EXPOSED BY EXCAVATION. USE FILTERS ON DEWATERING DEVICES TO PREVENT REMOVAL OF FINES FROM SOIL. PROVIDE EROSION CONTROL AT OUTLET OR PIPING TO PREVENT EROSION. OPERATE DEWATERING SYSTEM CONTINUOUSLY UNTIL CONSTRUCTION WORK BELOW EXISTING WATER LEVELS IS COMPLETE.
- CONSTRUCT EXCAVATION SUPPORT SYSTEMS AS REQUIRED BY OSHA AND U.S. ARMY CORPS OF ENGINEERS SAFETY AND HEALTH REQUIREMENT MANUAL EM 385-1-1, SECTION 25 AS A THROUGH E TO ADEQUATELY SUPPORT EXISTING SOIL AND ADJACENT STRUCTURES DURING EXCAVATION ACTIVITIES.
- ALL TEES AND BENDS SHALL BE INSTALLED WITH APPROPRIATE THRUST BLOCKING SHOWN IN DETAILS.



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UTILITY PLAN

H2OBX RV & WATERPARK RESORT

H2OBX, LLC

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P15004.1

DESIGNED BY CMS

DRAWN BY CMS/JJC

CHECKED BY MWS

ISSUE DATE 09/26/24

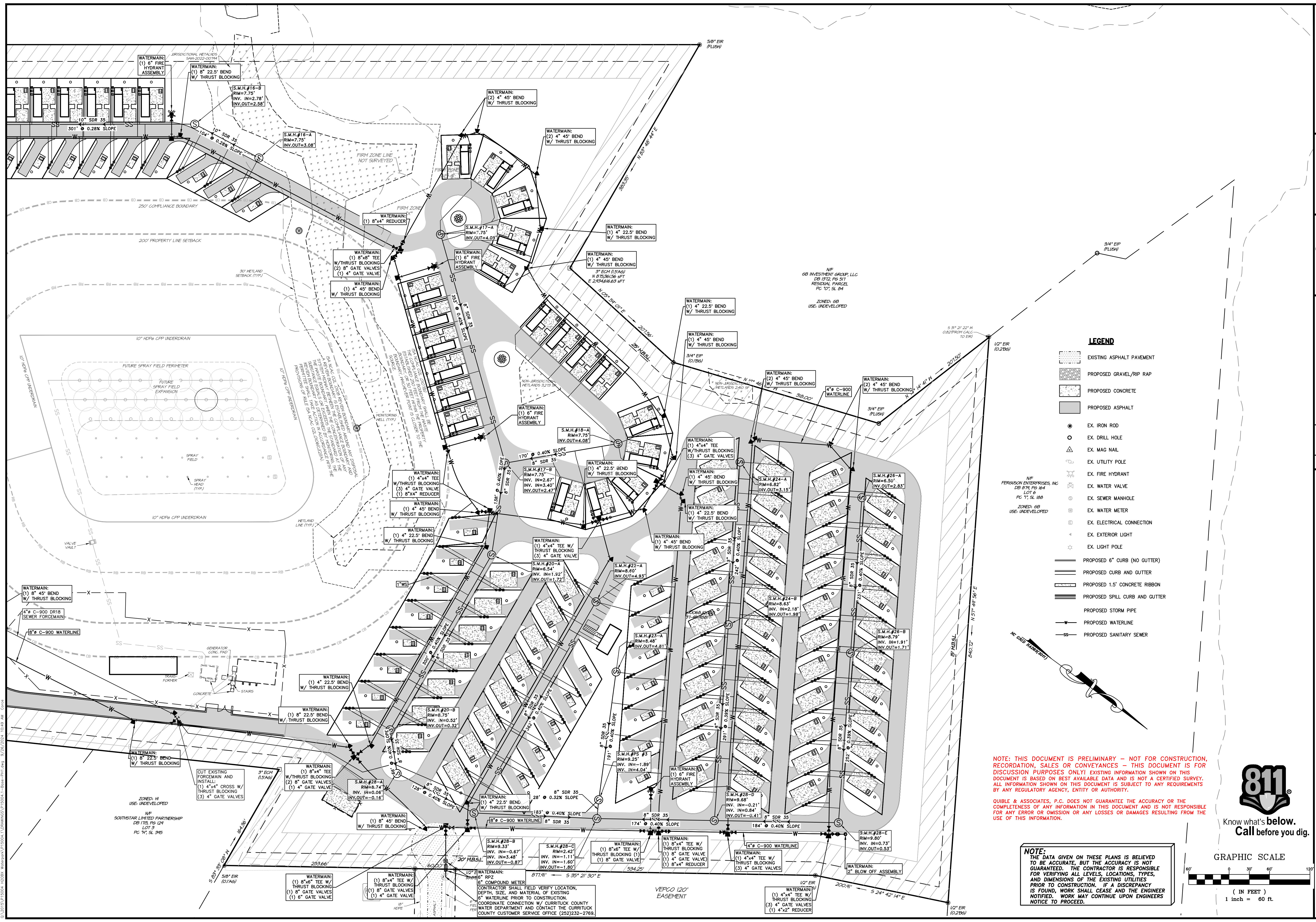
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OF 16 SHEETS

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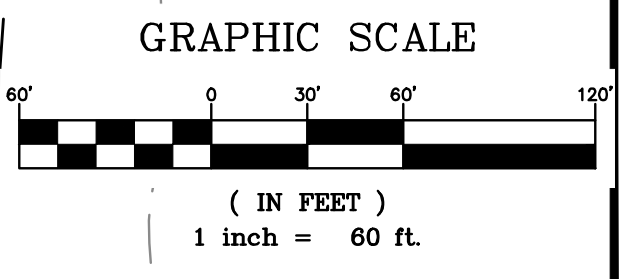


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UTILITY PLAN

H2OBX RV & WATERPARK RESORT

H2OBX, LLC

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

NO.	DATE	REVISIONS

PROJECT NO. **P15004.1**

DESIGNED BY **CMS**

DRAWN BY **CMS/JJC**

CHECKED BY **MWS**

ISSUE DATE **09/26/24**

SHEET NO.

7

OF 16 SHEETS

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GRAPHIC SCALE

(IN FEET)

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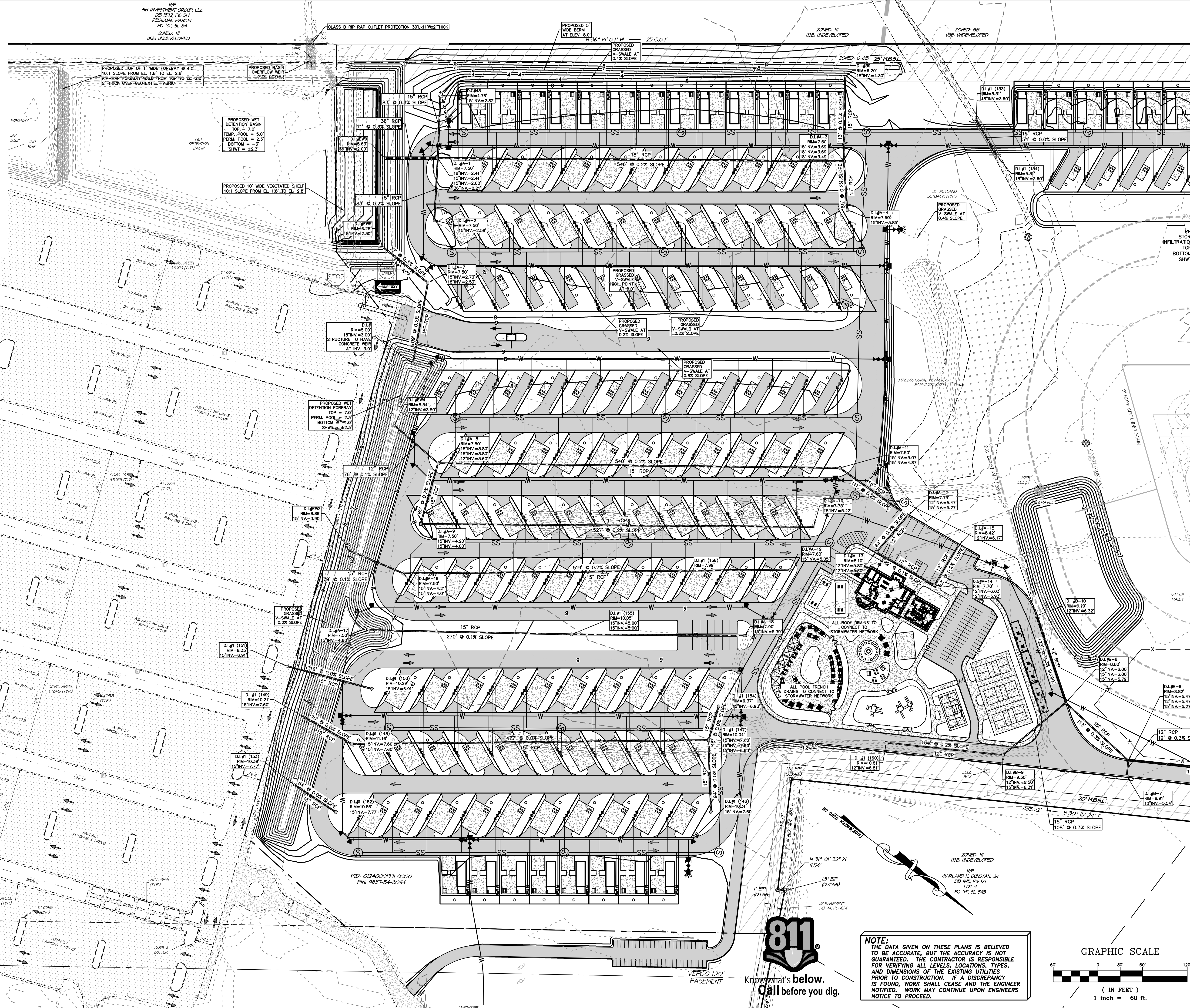
1000 W. HARRIS STREET, SUITE 100
RANDLEMAN, NC 27884
PHONE: (800) 855-5188
WWW.QUIBLEANDASSOCIATES.COM

LEGEND

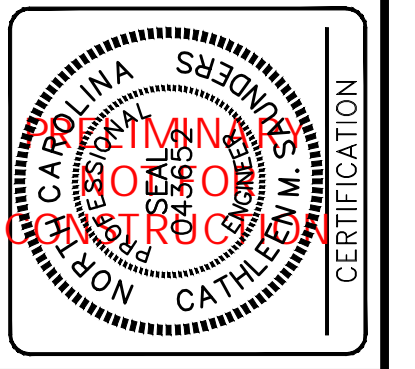
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EX. EXTERIOR LIGHT
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EXISTING ASPHALT PAVEMENT
EXISTING CONCRETE
PROPOSED CONCRETE
PROPOSED ASPHALT
PROPOSED PERMEABLE PAVEMENT
PROPOSED RIP RAP
EXISTING CONTOUR
EXISTING SPOT GRADE
PROPOSED CONTOUR
PROPOSED SPOT GRADE
PROPOSED TOP OF CONCRETE ELEV.
PROPOSED FLOW DIRECTION AND SLOPE

NOTES:

- 1. CURRENT OWNERS: H2OBX LLC
2. TOTAL PARCEL AREA = 4,215,494.77 SF / 96.77 AC
3. SUBJECT REFERENCES: DB 1512, PG 459 PC "O", SL 84, PC K, SL 55
4. FIELD SURVEY DATES: 03/2016 - 07/2017, 11/17/21 & 11/30/21
5. HORIZONTAL DATUM IS NAD 83(2011), VERTICAL DATUM IS NAVD 88. ALL DISTANCES ARE HORIZONTAL GROUND AND US SURVEY FEET.
6. PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES.
7. THIS SURVEY SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
8. SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
9. PROJECT SCOPE: THIS PROJECT PROPOSES THE CONSTRUCTION OF AN RV PARK WITH 198 RV SITES, 50 MODULAR SITES, AN AMENITY CENTER, BATHHOUSE AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS.
10. ALL UTILITIES TO BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.
11. PRIOR TO LAND DISTURBANCE, A STATE APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
12. EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION, DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
14. A STATE HIGH DENSITY STORMWATER PERMIT IS REQUIRED IN ADVANCE OF ANY ONSITE DISTURBANCE, RECEIVING STREAM: ALBERMARLE SOUND (X0058)
15. THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEWERY CONTROL MEASURES, WATER SYSTEM AND WASTEWATER CONNECTION, FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, SEE APPROPRIATE SEPARATE PLANS.
16. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
17. REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
18. THE ENTIRE SITE WILL BE IN FULL COMPLIANCE WITH ALL APPLICABLE NFPA REGULATIONS PERTAINING TO FIRE PROTECTION INCLUDING BUT NOT LIMITED TO NFPA 30 AS WELL AS VOLUME V OF THE NC STATE BUILDING CODE.
19. BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
20. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCECD REGULATIONS. FILL IS NOT ALLOWED WITHIN 10' OF THE PROPERTY LINE.
21. THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST FIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-433-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
22. WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS AND DETAILS.
23. SEWER IS PROVIDED VIA ONSITE WASTEWATER TREATMENT PLANT (WWTP).



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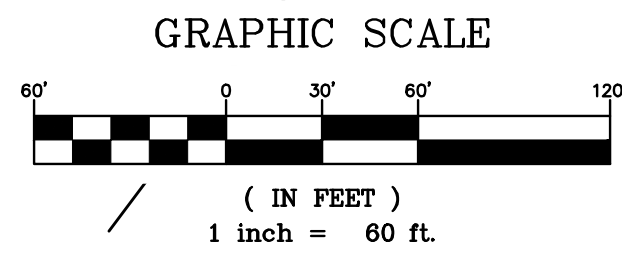
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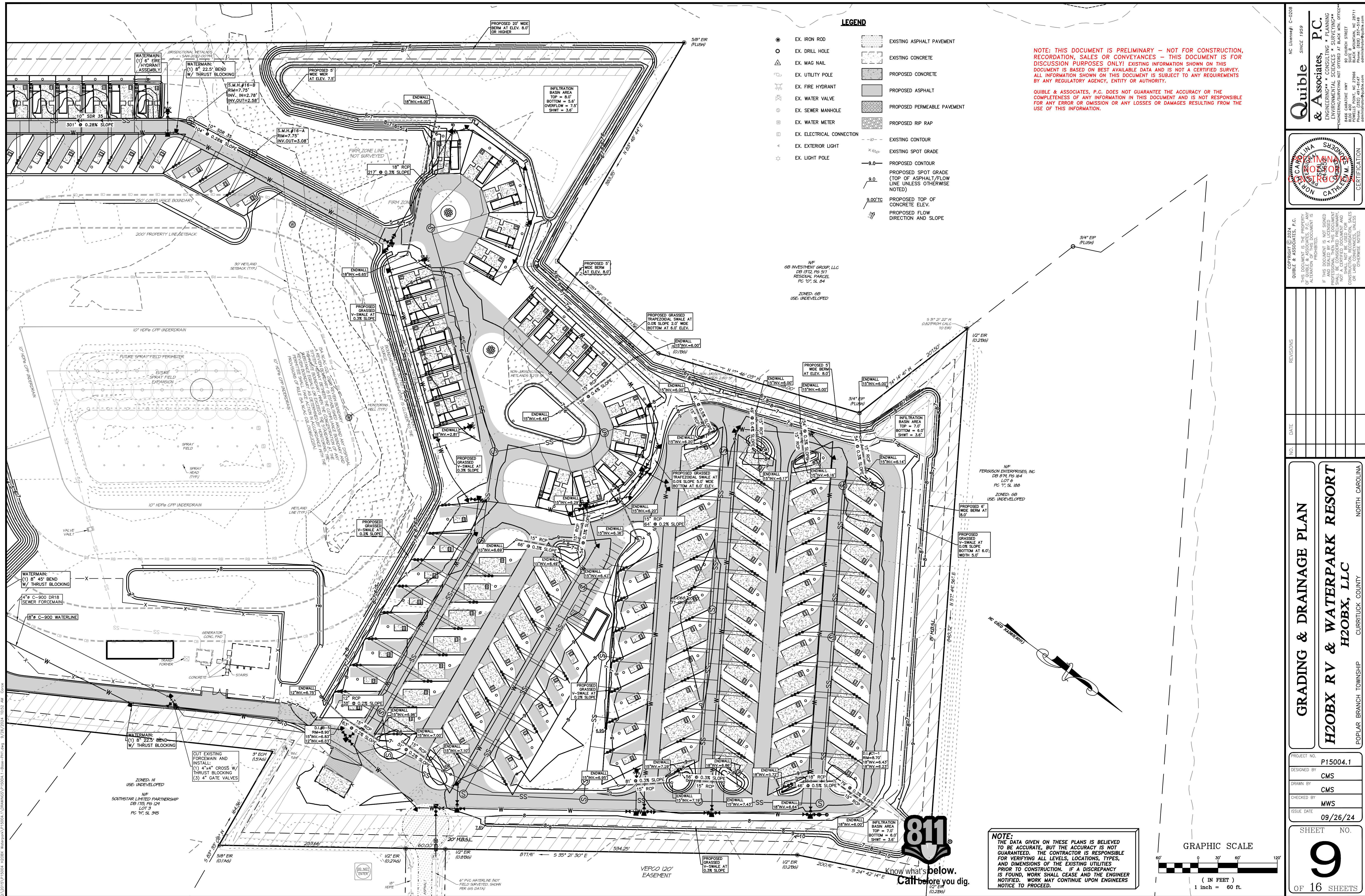
GRADING & DRAINAGE PLAN
H2OBX RV & WATERPARK RESORT
H2OBX, LLC
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P15004.1
DESIGNED BY CMS
DRAWN BY CMS/JJC
CHECKED BY MWS
ISSUE DATE 09/26/24
SHEET NO. 8 OF 16 SHEETS



NOTE: THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.





LEGEND

- EX. IRON ROD
- EX. DRILL HOLE
- △ EX. MAG NAIL
- EX. UTILITY POLE
- ⊕ EX. FIRE HYDRANT
- ⊕ EX. WATER VALVE
- ⊕ EX. SEWER MANHOLE
- ⊕ EX. WATER METER
- ⊕ EX. ELECTRICAL CONNECTION
- ⊕ EX. EXTERIOR LIGHT
- ⊕ EX. LIGHT POLE
- ▨ EXISTING ASPHALT PAVEMENT
- ▨ EXISTING CONCRETE
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT
- ▨ PROPOSED PERMEABLE PAVEMENT
- ▨ PROPOSED RIP RAP
- EXISTING CONTOUR
- × EXISTING SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE (TOP OF ASPHALT/FLOW LINE UNLESS OTHERWISE NOTED)
- 9.00'± PROPOSED TOP OF CONCRETE ELEV.
- PROPOSED FLOW DIRECTION AND SLOPE

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REVISIONS:

NO.	DATE	DESCRIPTION

GRADING & DRAINAGE PLAN

H2OBX RV & WATERPARK RESORT

H2OBX, LLC

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P15004.1

DESIGNED BY CMS

DRAWN BY CMS

CHECKED BY MWS

ISSUE DATE 09/26/24

SHEET NO. 9 OF 16 SHEETS

NOTE:
 THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.

N:\2024\15004 - H2OBX - H2OBX RV & WATERPARK RESORT - H2OBX, LLC - 9/26/24 11:02 AM - CMS

- NOTES:**
- CURRENT OWNERS: H2OBX LLC
13 GREEN MOUNTAIN DR
CHOICES, NY 12047
 - TOTAL PARCEL AREA = 4,215,494.77 SF / 96.77 AC (AREAS BY COORDINATE METHOD.)
 - SUBJECT REFERENCES: DB 1512, PG 459 PC "0", SL 84; PC K, SL 55
 - FIELD SURVEY DATES: 03/2016 - 07/2017, 11/17/21 & 11/30/21.
 - HORIZONTAL DATUM IS NAD 83(2011). VERTICAL DATUM IS NAVD 88. ALL DISTANCES ARE HORIZONTAL GROUND AND US SURVEY FEET.
 - PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES BASED ON COMMUNITY CD NO. 37000, PANEL 9837, SUFFIX K, MAP NUMBER 37209837000 EFFECTIVE DATE: 12/12/2018
 - THIS SURVEY SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
 - SETBACKS SHOWN ARE PER CURRITUCK COUNTY AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
 - PROJECT SCOPE: THIS PROJECT PROPOSES THE CONSTRUCTION OF AN RV PARK WITH 198 RV SITES, 50 MODULAR SITES, AN AMENITY CENTER, BATHHOUSE AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS.
 - ALL UTILITIES TO BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.
 - PRIOR TO LAND DISTURBANCE, A STATE APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
 - EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
 - A STATE HIGH DENSITY STORMWATER PERMIT IS REQUIRED IN ADVANCE OF ANY ONSITE DISTURBANCE. RECEIVING STREAM: ALBEMARLE SOUND (30)(SB)
 - THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, WATER SYSTEM AND WASTEWATER CONNECTION, FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, SEE APPROPRIATE SEPARATE PLANS.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
 - THE ENTIRE SITE WILL BE IN FULL COMPLIANCE WITH ALL APPLICABLE NFPA REGULATIONS PERTAINING TO FIRE PROTECTION INCLUDING BUT NOT LIMITED TO NFPA 30 AS WELL AS VOLUME V OF THE NC STATE BUILDING CODE.
 - BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEC REGULATIONS. FULL IS NOT ALLOWED WITHIN 10' OF THE PROPERTY LINE.
 - THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-632-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
 - WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS AND DETAILS.
 - SEWER IS PROVIDED VIA ONSITE WASTEWATER TREATMENT PLANT (WWTP).

SOIL EROSION & SEDIMENTATION CONTROL NOTES:

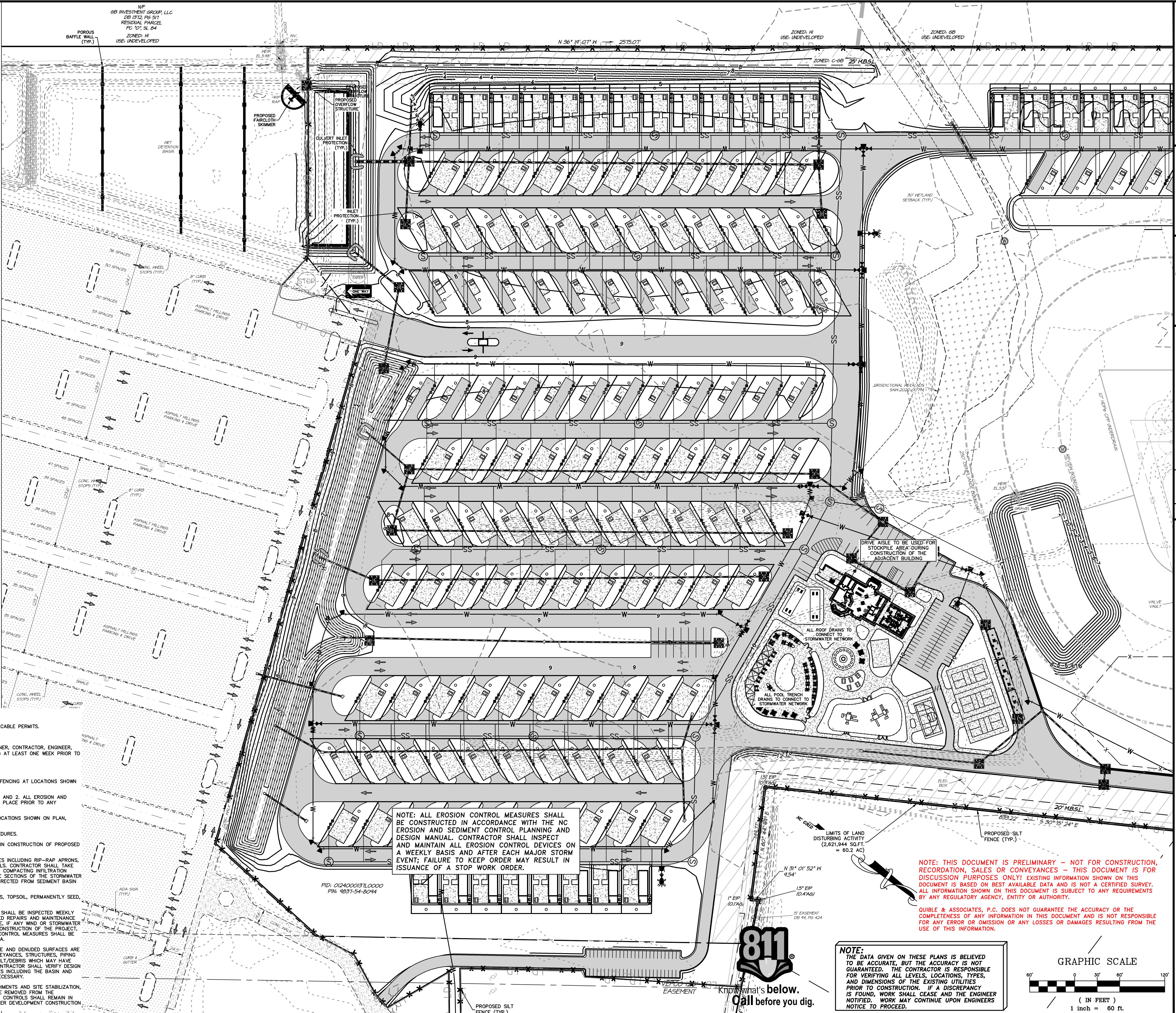
- AREA TO BE DISTURBED: 60.5 AC.
- PROVIDE A GROUND COVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDATED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW:
 - PERIMETER DIKES, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
 - HIGH QUALITY WATER (HOW) ZONES SHALL BE STABILIZED IN 7 DAYS.
 - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
 - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
 - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP. 30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
 - A RAIN GAUGE MUST BE KEPT ON SITE.
 - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
 - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
 - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.

SOIL EROSION & SEDIMENTATION CONTROL NOTES:

- PRECONSTRUCTION:**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 - FLAG AND/OR ROUGH STAKE WORK LIMITS.
 - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- CONSTRUCTION:**
- INSTALL CONSTRUCTION ENTRANCE & SILT FENCING AT LOCATIONS SHOWN ON PLAN.
 - CONSTRUCT TEMPORARY SEDIMENT BASIN 1 AND 2. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY DEMOLITION.
 - INSTALL TEMPORARY DIVERSION DIKE AT LOCATIONS SHOWN ON PLAN, SEED, & STABILIZE.
 - COMPLETE CLEARING AND GRUBBING PROCEDURES.
 - GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - INSTALL CONTRIBUTING STORM CONVEYANCES INCLUDING RIP-RAP APRONS, MATING AND ASSOCIATED EROSION CONTROL. CONTRACTOR SHALL TAKE NECESSARY PRECAUTION TO REFRAIN FROM COMPACTING INFILTRATION BASIN AREAS DURING CONSTRUCTION. ONCE SECTIONS OF THE STORMWATER NETWORK ARE INSTALLED, FLOW MAY BE DIRECTED FROM SEDIMENT BASIN 2 TO SEDIMENT BASIN 1.
 - COMPLETE FINAL GRADING OF THE GROUNDS, TOPSOIL, PERMANENTLY SEED, LANDSCAPE, AND MULCH.
 - ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
 - ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDATED SURFACES ARE FULLY STABILIZED; ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES INCLUDING THE BASIN AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
 - UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.

LEGEND

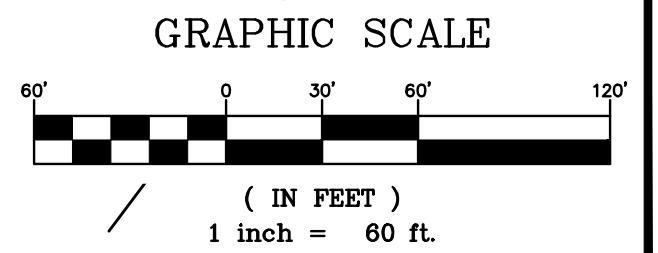
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- PROPOSED CONTOUR
- PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CULVERT INLET PROTECTION
- PROPOSED FENCE
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION



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REVISIONS

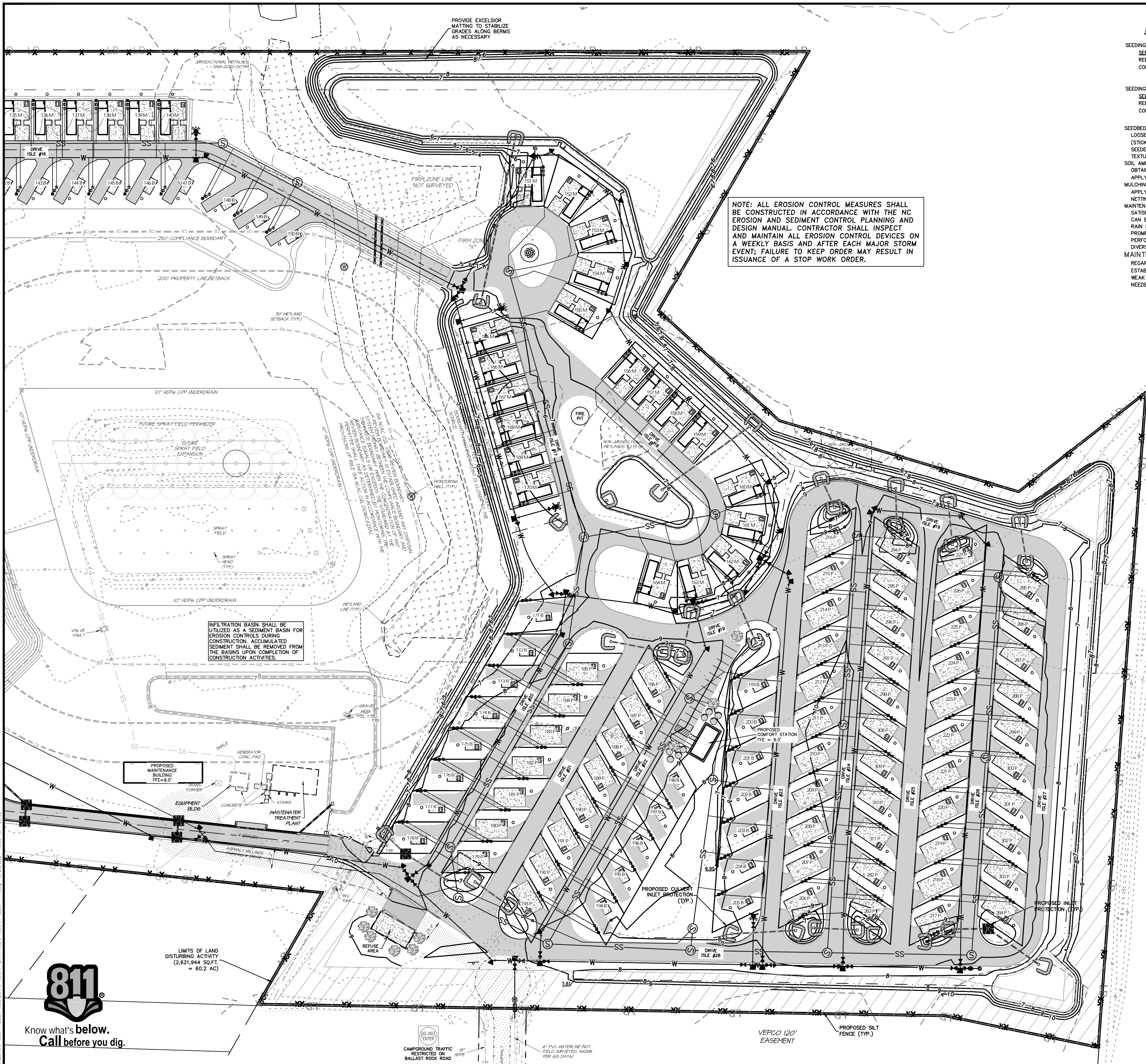
NO.	DATE	DESCRIPTION

SOIL EROSION & SEDIMENT CONTROL PLAN
H2OBX RV & WATERPARK RESORT
H2OBX, LLC

PROJECT NO. P15004.1
DESIGNED BY CMS
DRAWN BY CMS
CHECKED BY MWS
ISSUE DATE 09/26/24

SHEET NO. **10**
OF 16 SHEETS

POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA



NOTE: ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL. CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT; FAILURE TO KEEP ORDER MAY RESULT IN ISSUANCE OF A STOP WORK ORDER.

PERMANENT VEGETATION

SEEDING DATES: APRIL 1 - AUGUST 31:
 SEED MIXTURE: REBEL II FESCUE COMMON BERMUDA "SAHARA" (HULLED)
 APPLICATION RATES/ACRE: 250 LBS., 215 LBS.
 SEEDING DATES: SEPT. 1 - MARCH 31:
 SEED MIXTURE: REBEL II FESCUE COMMON BERMUDA "SAHARA" (UNHULLED)
 APPLICATION RATES/ACRE: 215 LBS.

TEMPORARY VEGETATION

SEEDING DATES: AUG. 16 - APRIL 15:
 SEED MIXTURE: RYE GRASS
 APPLICATION RATES/ACRE: 120 LBS.
 SEEDING DATES: APRIL 16 - AUG. 15:
 SEED MIXTURE: GERMAN MILLET
 APPLICATION RATES/ACRE: 40 LBS.

SEEDBED PREPARATION:
 LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW. BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS, STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDDED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE SHALL BE THE FINISHED GRADE.

SOIL AMENDMENTS:
 OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

MULCHING:
 APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, ROWING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.

MAINTENANCE:
 SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEEDDED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.)
 WEAK OR DAMAGED SPOTS MUST BE RELIQUED, FERTILIZED, MULCHED, AND RESEEDDED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

LEGEND

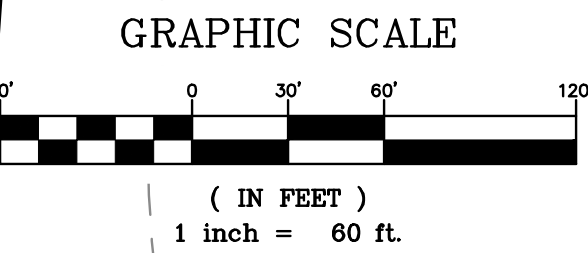
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- PROPOSED INLET PROTECTION

INFILTRATION BASIN SHALL BE UTILIZED AS A SEDIMENT BASIN FOR EROSION CONTROLS DURING CONSTRUCTION. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE BASINS UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

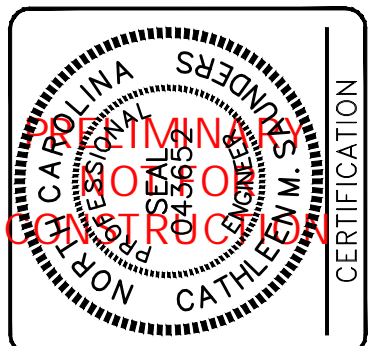
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NO.	DATE	REVISIONS

SOIL EROSION & SEDIMENT CONTROL PLAN
H2OBX RV & WATERPARK RESORT
H2OBX, LLC
 POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P15004.1
 DESIGNED BY CMS
 DRAWN BY CMS/JJC
 CHECKED BY MWS
 ISSUE DATE 09/26/24

SHEET NO. **11**
 OF 16 SHEETS



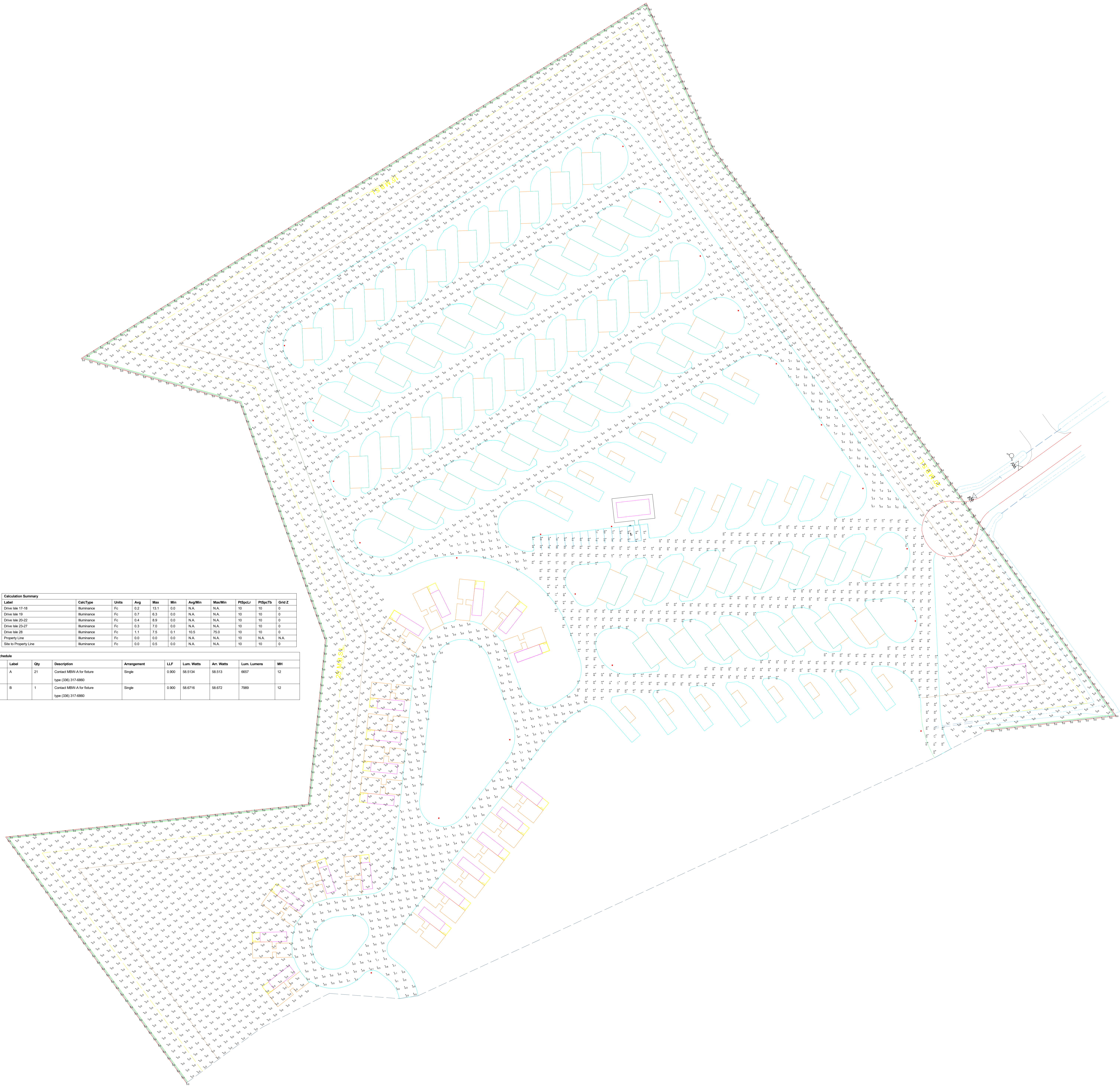
LIMITS OF LAND DISTURBING ACTIVITY (2,621,944 SQ.FT. = 60.2 AC)

NO. 101 TRAFFIC RESTRICTED ON BALLAST ROCK ROAD

VERCO 120' EASEMENT

4" PVC WATERLINE NOT FIELD SURVEYED, SHOWN PER GIS DATA

15/09/2024 10:05 AM C:\Users\jmc\OneDrive\Documents\Projects\H2OBX\H2OBX_SoilErosion\H2OBX_SoilErosion.dwg
 15/09/2024 10:05 AM C:\Users\jmc\OneDrive\Documents\Projects\H2OBX\H2OBX_SoilErosion\H2OBX_SoilErosion.dwg
 15/09/2024 10:05 AM C:\Users\jmc\OneDrive\Documents\Projects\H2OBX\H2OBX_SoilErosion\H2OBX_SoilErosion.dwg



Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min	P50/Lr	P50/Tr	Grid
Drive Isle 17-18	Illuminance	Fc	0.2	13.1	0.0	N.A.	N.A.	10	10	0
Drive Isle 19	Illuminance	Fc	0.7	6.3	0.0	N.A.	N.A.	10	10	0
Drive Isle 20-22	Illuminance	Fc	0.4	8.8	0.0	N.A.	N.A.	10	10	0
Drive Isle 23-27	Illuminance	Fc	0.3	7.0	0.0	N.A.	N.A.	10	10	0
Drive Isle 28	Illuminance	Fc	1.1	7.8	0.1	10.5	75.0	10	10	0
Property Line	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.	10	N.A.	N.A.
Site to Property Line	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.	10	10	0

Symbol	Label	Qty	Description	Arrangement	LLF	Lum. Watts	Am. Watts	Lum. Lumens	MH
⊙	A	21	Control MHW-A for future type (336) 317-6860	Single	0.900	58,534	58,513	6607	12
⊙	B	1	Control MHW-A for future type (336) 317-6860	Single	0.900	58,676	58,672	7989	12

DISCLAIMER - CALCULATED VALUES

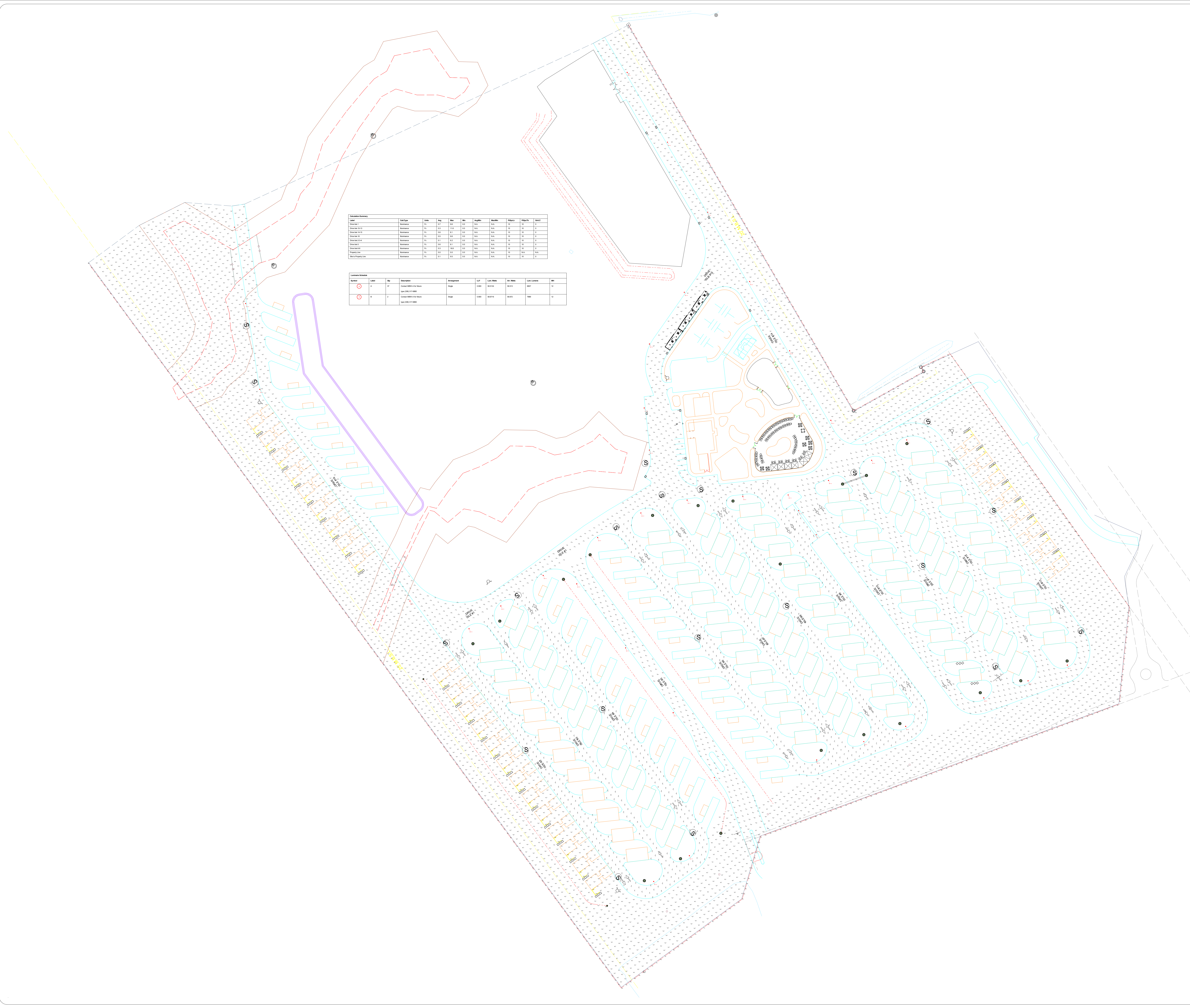
Calculations have been performed according to IESNA & CIE standards and good practice. Some differences between measured values and calculated results may occur due to changes in the provided information and tolerances in the calculation methods, testing procedures, temperature variations, measuring techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectance, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data furnished provided, reflective properties of surrounding surfaces, obstructions or lighting from other sources than listed in layouts, differences will occur between measured values and calculated values.

Revisions

Rev #	Date	Comments:
REV A	08/25/24	

Revisions

H2OBX RV Park



Component	Code	Color	Size	Material	Height	Notes
Light	1000	Red	12"	Aluminum	10'	RV 1000
Light	1200	Blue	18"	Aluminum	12'	RV 1200
Light	1500	Yellow	24"	Aluminum	15'	RV 1500

Label	Code	Description	Arrangement	Lot	Lot Area	Lot Value	Lot Lines	Lot
RV 1000	1000	RV 1000	1000	1000	1000	1000	1000	1000
RV 1200	1200	RV 1200	1200	1200	1200	1200	1200	1200
RV 1500	1500	RV 1500	1500	1500	1500	1500	1500	1500

DISCLAIMER: --- CALCULATED VALUES:
 Calculations have been performed according to IESNA & CIE standards and good practice. Calculations are based on the provided information and tolerances in the calculation methods, testing procedures, component performance, measuring techniques and field conditions such as voltage and temperature variations. The real environment conditions do not match the input data furnished provided. If the real environment conditions do not match the input data furnished provided, such as differences in luminaire locations, area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions or lighting from other sources than those specified, differences will occur between measured values and calculated values.

Rev #	Date	Comments
REV A	08/25/24	

Revisions

MB WIDERMAN & ASSOCIATES
 Representatives for architectural, commercial, residential lighting & lighting controls.
 www.mbw-a.com

H2OBX RV Park



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PLANNING/DESIGN

ENGINEERING

MANUFACTURING

CONSTRUCTION

DATE
SEPT 24, 2024

SHEET
AMENITIES ZONE
ILLUSTRATIVE SITE PLAN

SCALE
1" = 50'-0"



AMENITIES ZONE ILLUSTRATIVE SITE PLAN

H2OBX RV & WATERPARK RESORT





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ENGINEERING

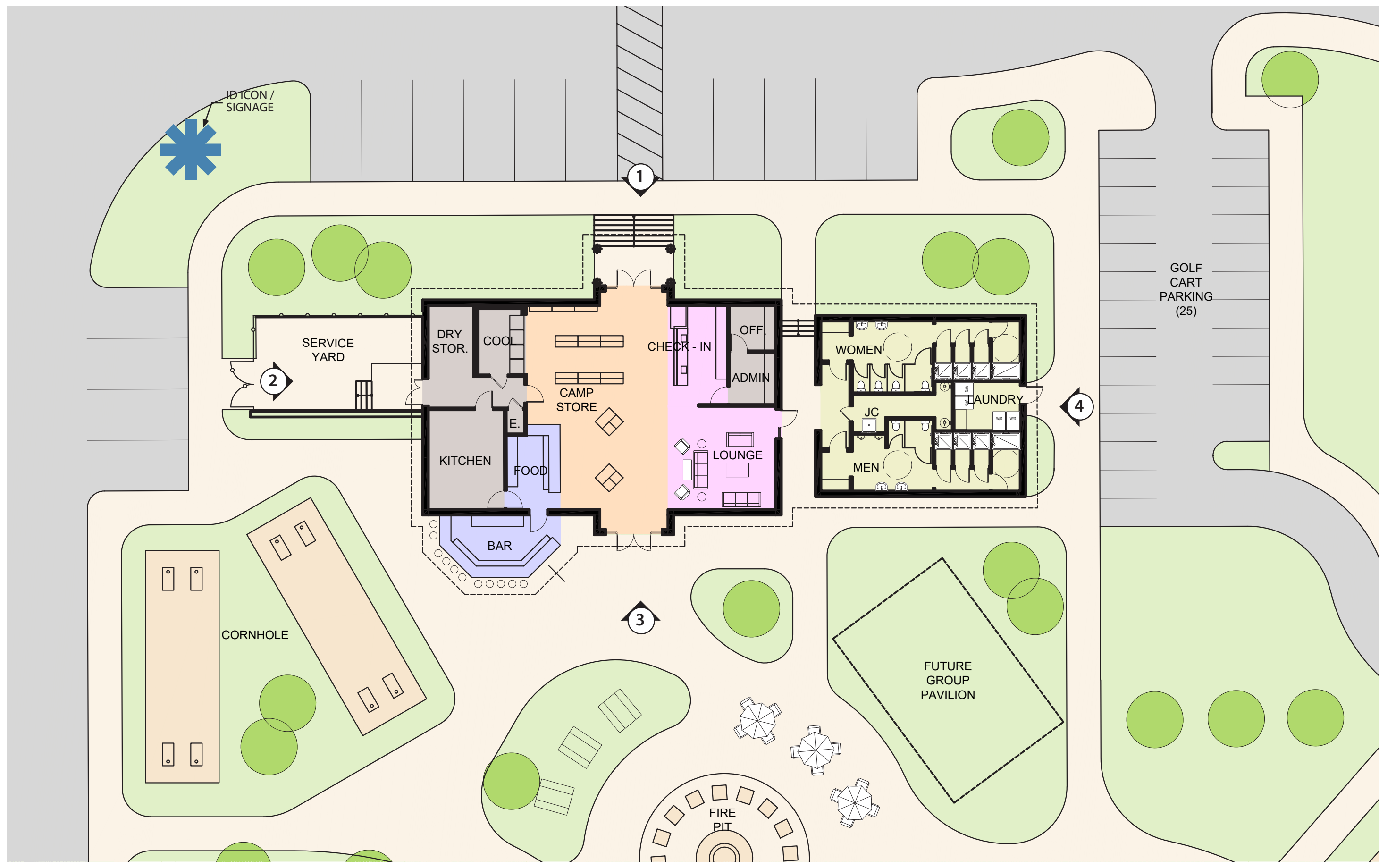
MANUFACTURING

CONSTRUCTION

DATE
SEPT 24, 2024

SHEET
LODGE COMPLEX
FLOOR PLAN

SCALE
1/16" = 1'-0"



LODGE COMPLEX FLOOR PLAN

H2OBX RV & WATERPARK RESORT





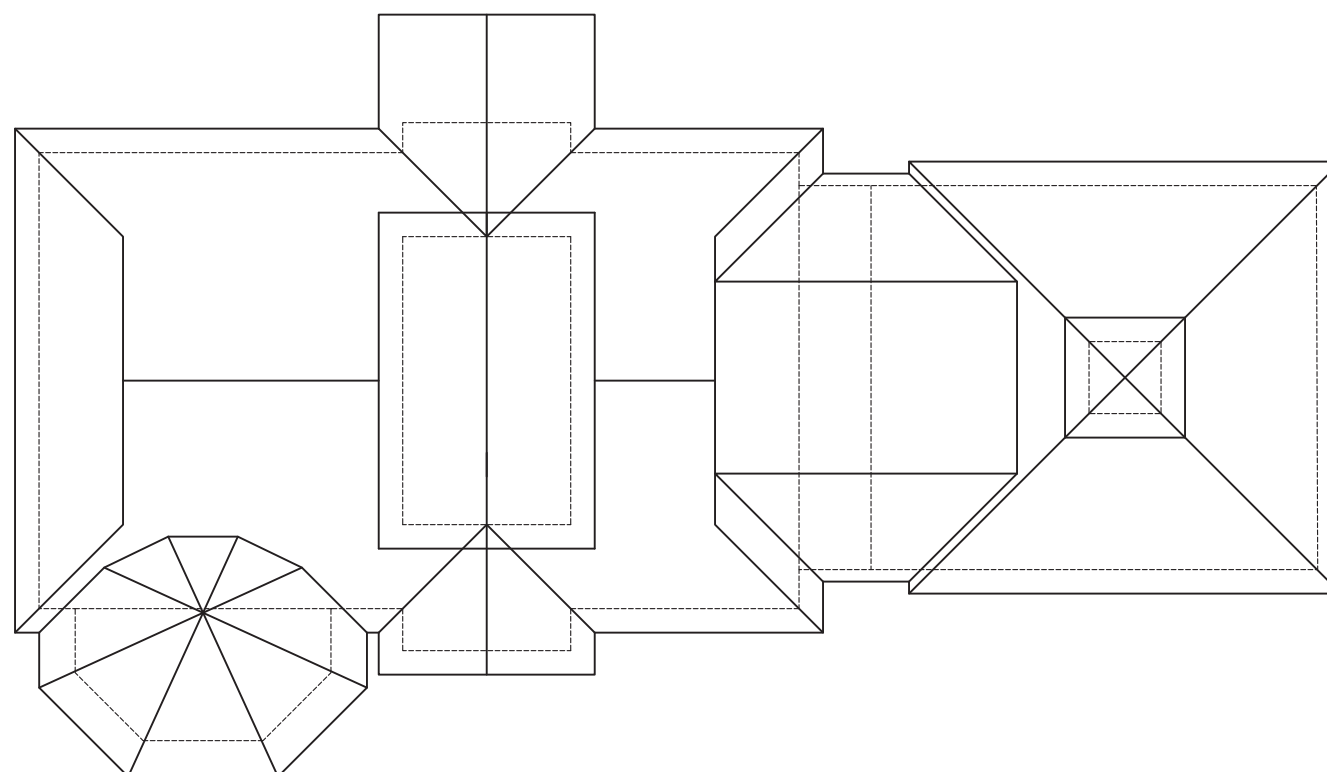
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PLANNING/DESIGN

ENGINEERING

MANUFACTURING

CONSTRUCTION



DATE
SEPT 24, 2024

SHEET
LODGE COMPLEX
ROOF PLAN

SCALE
1/16" = 1'-0"
0 4 8 16





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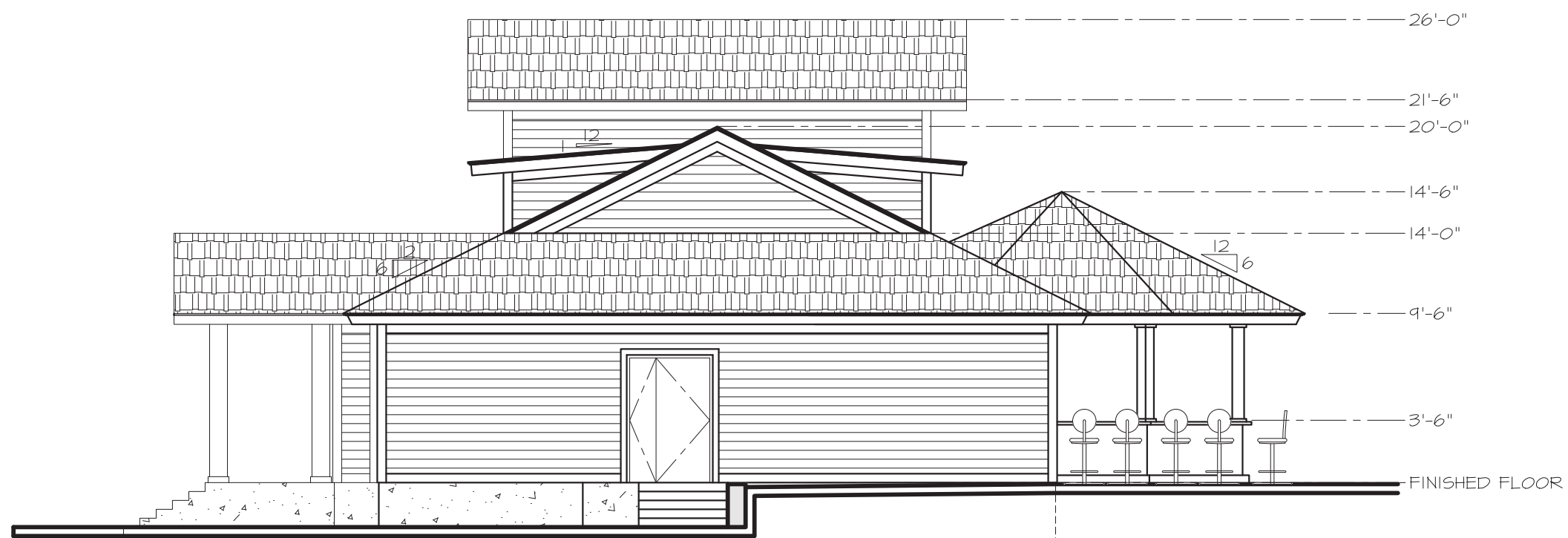
DATE
SEPT 24, 2024

SHEET
LODGE COMPLEX
ELEVATIONS

SCALE
1/16" = 1'-0"
0 4 8 16



ELEVATION 1



ELEVATION 2



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DATE

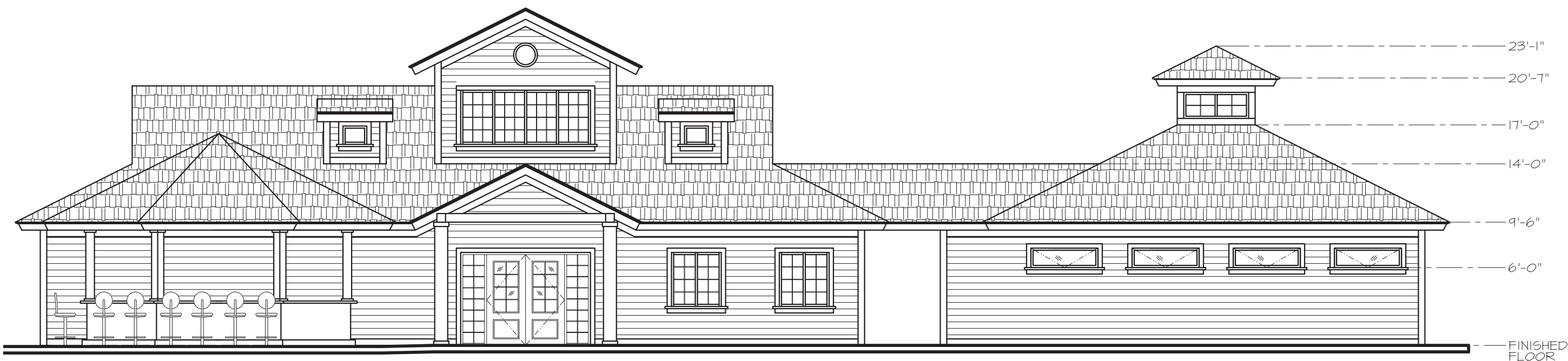
SEPT 24, 2024

SHEET

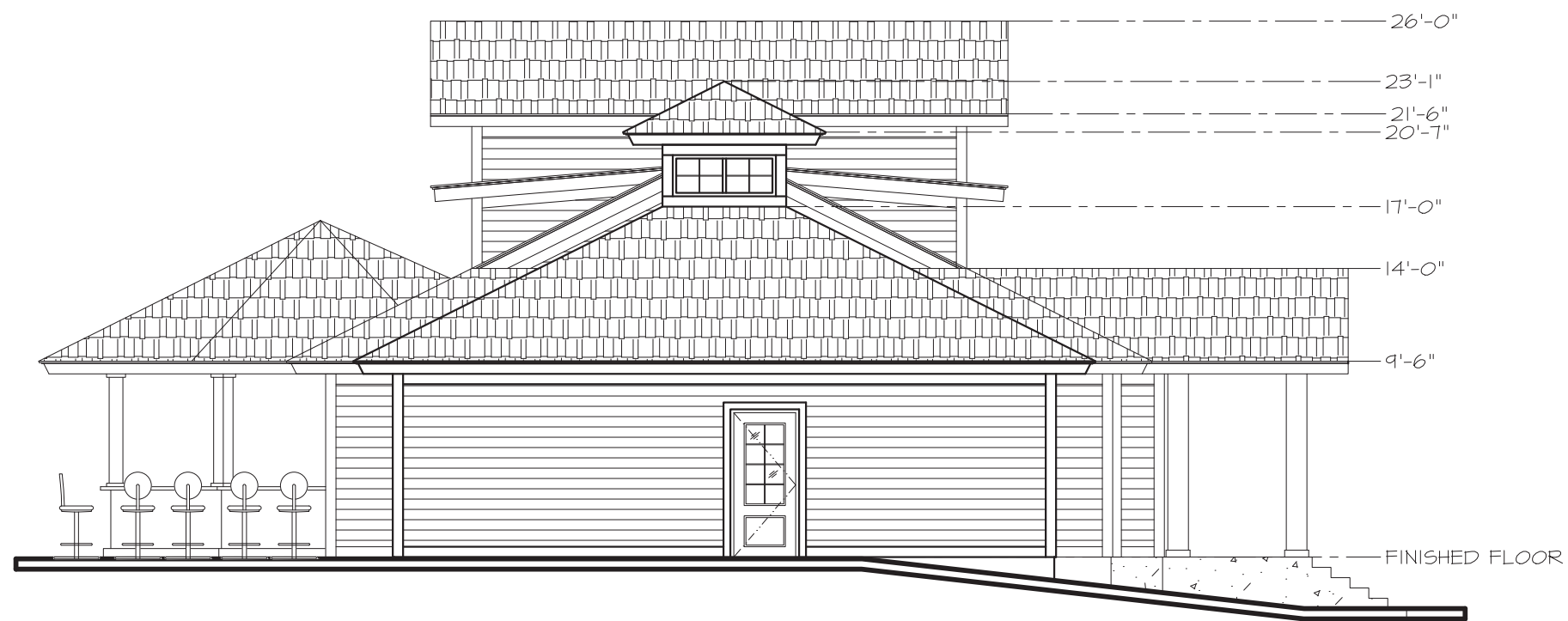
LODGE COMPLEX ELEVATIONS

SCALE

1/16" = 1'-0"



ELEVATION 3



ELEVATION 4

Component / Description	Built Area (SF)	Site Area (SF)
CAMPSITES		
RV CAMPSITES - PULL-THRU		
BACK-IN 54 @ 40 x 60 2,400 SF Each		129,600
PULL-THRU 144 @ 40 x 70 2,800 SF Each		403,200
TOTAL RV SITES 198		
CABINS		
STANDARD 50 @ 40 x 60 2,400 SF Each		120,000
CABIN FOOTPRINT 50 @ 12 x 33.5 402 SF Each	20,100	
CAMPSITES TOTAL 248	20,100	652,800
GUARD / CHECK-IN	100	
COMFORT STATION		
MEN		
TOILETS/URNIALS 3 @ 50 SF	150	
SHOWERS 2 @ 50 SF	100	
WOMEN		
TOILETS 3 @ 50 SF	150	
SHOWERS 2 @ 50 SF	100	
FAMILY RESTROOM		
TOILETS 1 @ 40 SF	40	
SHOWERS 1 @ 40 SF	40	
LAUNDRY		
WASHER/DRYER SET 2 @ 40 SF	80	
BOH / MECHANICAL	40	
COMFORT STATION TOTAL	700	
LODGE / GUEST SERVICES		
CHECK-IN	185	
LOUNGE	345	
CAMPGROUND STORE	880	
DRY STORAGE	100	
COOLER	95	
FOOD SERVICE		
BAR / SNACK STAND	135	200
KITCHEN	235	
MECH/ELEC	15	
ADMIN	75	
OFFICE	65	
RESTROOMS 2 @ 370 SF	740	
VESTIBULE	75	
JANITOR'S CLOSET / MECHANICAL	100	
LAUNDRY	105	
CIRCULATION / GROSSING	720	
LODGE / GUEST SERVICES TOTAL	3,870	200

Component / Description	Built Area (SF)	Site Area (SF)
AMENITIES		
SWIMMING POOL & DECK AREA		
SWIMMING POOL 1,000 SF		8,610
CABANAS 6 @ 145 SF	870	
PLAY GROUND		4,075
GAME COURTS		
PICKLE BALL 3 @ 1,800 SF		5,400
CORNHOLE 4 @ 250 SF		1,000
BASKETBALL - HALF 1 @ 1,250 SF		1,250
GROUP FIRE PIT 1 @ 700 SF		700
AMENITIES TOTAL	870	21,035
GOLF CARTS		
PARKING LOT		
LODGE 65 SPACES		4,700
WATERPARK ENTRY 50 SPACES		2,400
MAINTENANCE BUILDING	2,650	
SERVICE YARD		34,000
TRASH	1,200	
GOLF CART TOTAL	3,850	41,100
CAMPGROUND TOTAL	29,490	715,135



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PLANNING/DESIGN

ENGINEERING

MANUFACTURING

CONSTRUCTION

DATE

SEPT 24, 2024

SHEET

PRELIMINARY

PROJECT

PROGRAM

SCALE

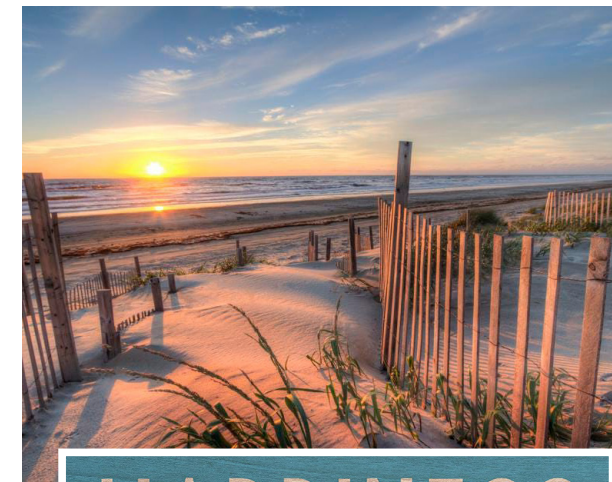
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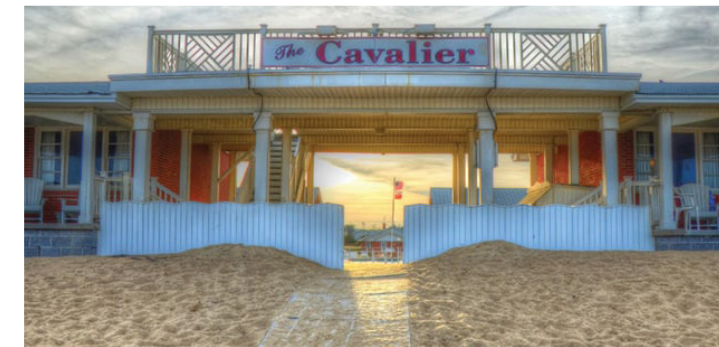
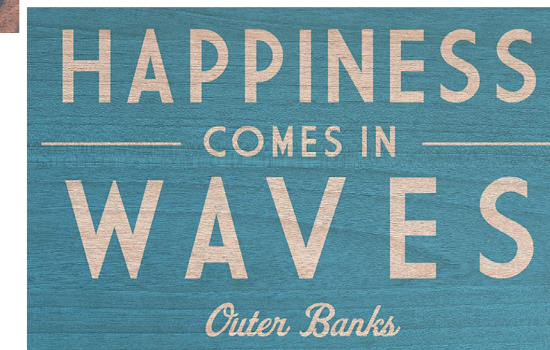
ARCHITECTURAL REFERENCE



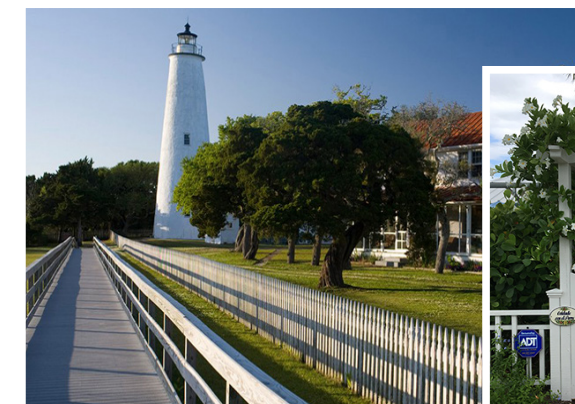
CASUAL COASTAL



LODGE STYLE



TEXTURAL MATERIALS



SITE REFERENCE



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CONSTRUCTION

DATE
SEPT 24, 2024

SHEET
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REFERENCE

SCALE
NOT TO SCALE