

DO NOT REMOVE!

Details: Appointment of Lien Agent

Entry #: 1955893

Filed on: 07/11/2023

Initially filed by:

Jay@mancusodevelopment.com

Designated Lien Agent

Chicago Title Company, LLC

Online: www.liensnc.com (<http://www.liensnc.com>)

Address: 223 S. West Street, Suite 900 /
Raleigh, NC 27603

Phone: 888-690-7384

Fax: 913-489-5231

Email: support@liensnc.com (<mailto:support@liensnc.com>)

Project Property

147 Greyson Loop
Powells Point, NC 27966
Currituck County

Property Type

Other

Print & Post



Contractors:

Please post this notice on the Job Site.

Suppliers and Subcontractors:

Scan this image with your smart phone to view this filing. You can then file a Notice to Lien Agent for this project.

Owner Information

Bryan Berry
147 Greyson Loop
Powells Point, NC 27966
United States
Email: Jay@mancusodevelopment.com
Phone: 252-305-4663

Date of First Furnishing

07/11/2023

View Comments (0)

Technical Support Hotline: (888) 690-7384



Major Stormwater Plan Form SW-002

OFFICIAL USE ONLY:
Permit Number: _____
Date Filed: _____
Date Approved: _____

Contact Information

APPLICANT:

Name: Manusso Development
Address: 610 Currituck Club House Dr
Corolla, NC 27927
Telephone: 252-305-4663
E-Mail Address: Jay@manussodevelopment.com

PROPERTY OWNER:

Name: Bryan & Lee Ann Berry
Address: 104 Arnold Dr.
Powells Pt 27966
Telephone: 252-599-1114
E-Mail Address: _____

Property Information

Physical Street Address: 147 Greyson Loop
Parcel Identification Number(s): 123E 60000260000
FEMA Flood Zone Designation: X

Request

Project Description: 2,400 # Storage building w/ a personal office space.
Total land disturbance activity: 9,162 sf Calculated volume of BMPs: 9,162 sf
Maximum lot coverage: 60% sf Proposed lot coverage: 22% sf

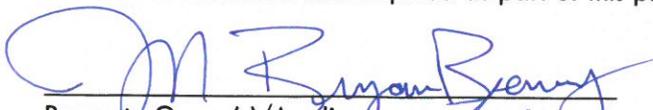
TYPE OF REQUEST

- Major subdivision (10-year, 24-hour rate)
- Major site plan (5-year, 24-hour rate)

METHOD USED TO CALCULATE PEAK DISCHARGE

- Rational Method
- NRCS Method (TR-55 and TR-20)
- Simple volume calculation for small sites (less than 10 acres)
- Alternative stormwater runoff storage analysis
- Downstream drainage capacity analysis

I hereby authorize county officials to enter my property for purposes of determining compliance. All information submitted and required as part of this process shall become public record.


Property Owner(s)/Applicant

7-25-23
Date

Major Stormwater Plan Design Standards Checklist

The table below depicts the design standards of the major stormwater plan application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Major Stormwater Plan Design Standards Checklist

Date Received: _____

Project Name: _____

Applicant/Property Owner: _____

Minor Stormwater Plan Design Standards Checklist	
General	
1	Property owner name and address.
2	Site address and parcel identification number.
3	North arrow and scale to be 1" = 100' or larger.
Site Features	
4	Scaled drawing showing existing and proposed site features: Property lines with dimensions, acreage, streets, easements, structures (dimensions and square footage), fences, bulkheads, septic area (active and repair), utilities, vehicular use areas, driveways, and sidewalks.
5	Approximate location of all designated Areas of Environmental Concern (AEC) or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.
6	Existing and proposed ground elevations shown in one foot intervals. All elevation changes within the past six months shall be shown on the plan.
8	Limits of all proposed fill, including the toe of fill slope and purpose of fill.
9	Square footage of all existing and proposed impervious areas (structures, sidewalks, walkways, vehicular use areas regardless of surface material), including a description of surface materials.
10	Existing and proposed drainage patterns, including direction of flow.
11	Location, capacity, design plans (detention, retention, infiltration), and design discharge of existing and proposed stormwater management features.
12	Elevation of the seasonal high water level as determined by a licensed soil scientist.
13	Plant selection.
Permits and Other Documentation	
14	NCDENR stormwater permit application (if 10,000sf or more of built upon area).
15	NCDENR erosion and sedimentation control permit application (if one acre or more of land disturbance).
16	NCDENR coastal area management act permit application, if applicable.
17	Stormwater management narrative with supporting calculations.
18	Rational Method Form SW-003 or NRCS Method Form SW-004
19	Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable
20	Design spreadsheets for all BMPs (<i>Appendix F – Currituck County Stormwater Manual</i>).
21	Detailed maintenance plan for all proposed BMPs.

Certificate

22 The major stormwater plan shall contain the following certificate:

I, _____, owner/agent hereby certify the information included on this and attached pages is true and correct to the best of my knowledge.

On the plan entitled _____, stormwater drainage improvements shall be installed according to these plans and specifications and approved by Currituck County. Yearly inspections are required as part of the stormwater plan. The owner is responsible for all maintenance required. Currituck County assumes no responsibility for the design, maintenance, or performance of the stormwater improvements.

Date: _____ Owner/Agent: _____

Major Stormwater Plan Submittal Checklist

Staff will use the following checklist to determine the completeness of your application. Please make sure all of the listed items are included. Staff shall not process an application for further review until it is determined to be complete.

Major Stormwater Plan Form SW-002 Submittal Checklist

Date Received: _____

Project Name: Berry

Applicant/Property Owner: Mancuso Development / Bryan & Lee Ann Berry

Major Stormwater Plan Form SW-002 Submittal Checklist

1	Completed Major Stormwater Plan Form SW-002	
2	Completed Rational Method Form SW-003 or NRCS Method Form SW-004	
3	Stormwater plan	
4	NCDENR permit applications, if applicable	
5	3 copies of plans	
6	3 hard copies of ALL documents	
7	1 PDF digital copy of all plans AND documents (ex. Compact Disk – e-mail not acceptable)	

Comments

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No.	Date of Application <u>7/25/23</u>	
County: <u>Currituck</u>		
Development Name: <u>Berry</u>		

LOCATION OF PROPERTY:

Route/Road: 147 Greyson Loop

Exact Distance 3,372 Miles Feet N S E W

From the Intersection of Route No. 158 and Route No. Dr. Newbern Rd Toward Greyson Loop

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other

Property: 147 Greyson Loop is is not within Powells Point City Zoning Area.

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)		WITNESS	
COMPANY	<u>Bryan Berry / Lea Ann Berry</u>	NAME	<u>Linda Laeger</u>
SIGNATURE	<u>[Signature]</u>	SIGNATURE	<u>[Signature]</u>
ADDRESS	<u>104 Arnold Dr Powells Pt NC</u>	ADDRESS	<u>610 Currituck Clubhouse Dr #7</u>
	<u>27966</u> Phone No. _____		<u>Corolla, NC 27927</u>

AUTHORIZED AGENT		WITNESS	
COMPANY	<u>Mancuso Development</u>	NAME	<u>Linda Laeger</u>
SIGNATURE	<u>[Signature]</u>	SIGNATURE	<u>[Signature]</u>
ADDRESS	<u>610 Currituck Club House Dr.</u>	ADDRESS	<u>610 Currituck Clubhouse Dr #7</u>
	<u>Corolla, NC 27927</u> Phone No. <u>252-305-4663</u>		<u>Corolla, NC 27927</u>

APPROVALS

APPLICATION RECEIVED BY DISTRICT ENGINEER

SIGNATURE DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE TITLE DATE

APPLICATION APPROVED BY NCDOT

SIGNATURE TITLE DATE

INSPECTION BY NCDOT

SIGNATURE TITLE DATE

COMMENTS:

STORMWATER DIVISION CODING SHEET
POST-CONSTRUCTION PERMITS

PERMIT NO.	SW <u>7040601</u>
DOC TYPE	<input checked="" type="checkbox"/> CURRENT PERMIT <input type="checkbox"/> APPROVED PLANS <input type="checkbox"/> HISTORICAL FILE
DOC DATE	<u>20241102</u> YYYYMMDD

WaRO



**North Carolina Department of Environment and Natural Resources
Division of Water Quality**

Michael F. Easley, Governor

William G. Ross, Jr., Secretary
Alan W. Klimek, P.E., Director

**DIVISION OF WATER QUALITY
November 2, 2004**

Mr. John W. Harris
John Harris and Associates, LLC
P.O. Box 2187
Kitty Hawk, NC 27949

**Subject: Permit No. SW7040601
Fox Knoll Commerce Park, Phase Two modification
High Density Stormwater Project
Currituck County**

Dear Mr. Harris:

The Washington Regional Office received a Stormwater Application for the subject project on June 7, 2004. Staff review of the plans and specifications has determined that the project, as proposed, will comply with the Stormwater Regulations set forth in Title 15A NCAC 2H.1000. We are forwarding Permit No. SW7040601 dated November 2, 2004 to John Harris and Associates, LLC for the modification of a wet detention pond to serve Fox Knoll Commerce Park, Phase Two located in Currituck County, NC. This permit replaces permit SW7000905 issued January 17, 2001.

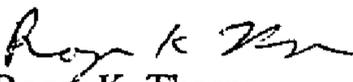
This permit shall be effective from the date of issuance until November 2, 2014 and shall be subject to the conditions and limitations as specified therein. Please pay special attention to Section II condition 8. which requires submittal of an amended Declaration of Protective Covenants. Also pay special attention to the Operation and Maintenance requirements in this permit. Failure to establish an adequate system for operation and maintenance of the stormwater management system will result in future compliance problems.

If any parts, requirements, or limitations contained in this permit are unacceptable, you have the right to request an adjudicatory hearing upon written request within thirty (30) days following receipt of this permit. This request must be in the form of a written petition, conforming to Chapter 150B of the North Carolina General Statutes, and filed with the Office of Administrative Hearings,

Pare 2
Mr. John Harris
November 2, 2004

If you have any questions, or need additional information concerning this matter, please contact me at (252) 948-3923.

Sincerely,


Roger K. Thorpe
Environmental Engineer
Washington Regional Office

cc: Performance Engineering
Hyman & Robey
Daniel Khoury, PO Box 2, Kitty Hawk, NC 27949
Currituck County Inspections
Washington Regional Office
Central Files

**STATE OF NORTH CAROLINA
DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES
DIVISION OF WATER QUALITY**

STATE STORMWATER MANAGEMENT PERMIT

HIGH DENSITY DEVELOPMENT

In accordance with the provisions of Article 21 of Chapter 143, General Statutes of North Carolina as amended, and other applicable Laws, Rules, and Regulations

PERMISSION IS HEREBY GRANTED TO

John Harris and Associates, LLC

Currituck County

FOR THE

Construction, operation and maintenance of stormwater management systems in compliance with the provisions of 15A NCAC 2H.1000 (hereafter referred to as the "*stormwater rules*") and the approved stormwater management plans and specifications and other supporting data as attached and on file with and approved by the Division of Water Quality and considered a part of this permit for grassed swales and a wet detention pond to serve Fox Knoll Commerce Park, Phase Two located off US Highway 158 in Currituck, NC.

This permit replaces permit SW7000905 issued January 17, 2001. This permit shall be effective upon the date of issuance until November 2, 2014 and shall be subject to the following specified conditions and limitations:

I. DESIGN STANDARDS

1. This permit is effective only with respect to the nature and volume of stormwater described in the application and other supporting data.

**DIVISION OF WATER QUALITY
PROJECT DATA**

Project Name: Fox Knoll Commerce Park Phase Two

Permit Number: SW7040601

Location: Currituck County

Applicant: John Harris and Associates, LLC

Mailing Address: P.O. Box 2187
Kitty Hawk, NC 27949

Application Date: 6/7/2004 (original)

Receiving Stream: UT to North River

Classification of Water Body: C

Total Site Area: 25.12 ac

Total Impervious: 8.17 ac

Wet Pond Depth: 6.96 ft

Required Storage Volume: 31,231 cf

Provided Storage Volume: 32,527 cf

Required Surface Area: 18,602 sf

Provided Surface Area: 72,436 sf

Controlling Orifice: 2 inch @ elevation 5.46 ft

- d. Immediate repair of eroded areas
 - e. Maintenance of side slopes in accordance with approved plans and specifications
 - f. Debris removal and unclogging of outlet structure, orifice device and catch basins and piping.
4. Records of maintenance activities must be kept and made available upon request to authorized personnel of DWQ. The records will indicate the date, activity, name of person performing the work and what actions were taken.
 5. This permit shall become voidable unless the facilities are constructed in accordance with the conditions of this permit, the approved plans and specifications, and other supporting data.
 6. On or before April 30, 2005 a certification must be received from an appropriate designer for the system installed certifying that the permitted facility has been installed in accordance with this permit, the approved plans and specifications, and other supporting documentation. Mail the Certification to the Washington Regional Office, 943 Washington Square Mall, Washington, North Carolina, 27889, attention Division of Water Quality.
 7. A copy of the approved plans and specifications shall be maintained on file by the Permittee for a minimum of five years from the date of the completion of construction
 8. On or before March 31, 2005 submit an amended Declaration of Protective Covenants to correct an inaccurate reference in Section 8.03 Enforcement. The current Enforcement section indicates that the State is the beneficiary of Section 5.05 (Exterior Maintenance) when it should reference Section 4.03 (North Carolina Department on Environment and Natural Resources Water Quality Stormwater Regulations).

III. GENERAL CONDITIONS

1. This permit is not transferable. In the event there is a desire for the facilities to change ownership, or there is a name change of the Permittee, a formal permit request must be submitted to the Division of Water Quality accompanied by an application fee, documentation from the parties involved, and other supporting materials as may be

4. No homeowner/lot owner/developer shall be allowed to fill in, alter, or pipe any vegetative practices (such as swales) shown on the approved plans as part of the stormwater management system without submitting a revision to the permit and receiving approval from the Division.
5. The following items will require a modification to the permit:
 - a. Any revision to the approved plans, regardless of size
 - b. Project name change
 - c. Transfer of ownership
 - d. Redesign or addition to the approved amount of built-upon area
 - e. Further subdivision of the project area.

In addition, the Director may determine that other revisions to the project should require a modification to the permit.

6. The Director may notify the permittee when the permitted site does not meet one or more of the minimum requirements of the permit. Within the time frame specified in the notice, the permittee shall submit a written time schedule to the Director for modifying the site to meet minimum requirements. The permittee shall provide copies of revised plans and certification in writing to the Director that the changes have been made.

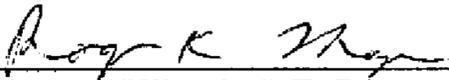
II. SCHEDULE OF COMPLIANCE

1. The permittee will comply with the following schedule for construction and maintenance of the stormwater management system.
 - a. The stormwater management system shall be constructed in its entirety, vegetated and operational for its intended use prior to the construction of any built-upon surfaces except roads.
 - b. During construction, erosion shall be kept to a minimum and any eroded areas of the system will be repaired immediately.
2. The facilities must be properly maintained and operated at all times. The approved Operation and Maintenance Plan must be followed in its entirety and maintenance must occur at the scheduled intervals.
3. The permittee shall at all times provide the operation and maintenance necessary to assure the permitted stormwater system functions at optimum efficiency including, but not limited

3. The issuance of this permit does not preclude the Permittee from complying with any and all statutes, rules, regulations, or ordinances which may be imposed by other government agencies (local, state, and federal) which have jurisdiction.
4. In the event that the facilities fail to perform satisfactorily, including the creation of nuisance conditions, the Permittee shall take immediate corrective action, including those as may be required by this Division, such as the construction of additional or replacement stormwater management systems.
5. The permit may be modified, revoked and reissued or terminated for cause. The filing of a request for a permit modification, revocation and reissuance or termination does not stay any permit condition.

Permit issued this the 2 nd day of November, 2004.

NORTH CAROLINA ENVIRONMENTAL MANAGEMENT COMMISSION



in Alan W. Klimek, P.E. Director

Division of Water Quality

By Authority of the Environmental Management Commission

Permit Number SW7040601

Fox Knoll Commerce Park, Phase Two
Stormwater Permit No. SW7040601

Designer's Certification

I, _____, as a duly

registered Professional Engineer in the State of North Carolina, having been authorized to observe
(periodically/weekly/full time)

the construction of the project, _____

_____ (Project)

for _____ (Project Owner).

hereby state that to the best of my abilities, due care and diligence was used in the observation of the project construction such that the construction was observed to be built within substantial compliance and intent of the approved plans and specifications.

Fox Knoll Commerce Park, Phase Two
Stormwater Permit No. SW7040601

Designer's Certification

I, Robert J. Stewart, Jr., as a duly

registered Professional Engineer in the State of North Carolina, having been authorized to observe
(periodically/~~weekly~~/~~full-time~~)

the construction of the project, Fox Knoll Commerce Park,

Phase Two - modifications to wet detention pond (Project)

for John Harris and Associates, LLC (Project Owner)

hereby state that to the best of my abilities, due care and diligence was used in the observation of the project construction such that the construction was observed to be built within substantial compliance and intent of the approved plans and specifications.

Robert J. Stewart, Jr.



OFFICE USE ONLY		
Date Received	Fee Paid	Permit Number
12-27	\$420	SW7000905

State of North Carolina
Department of Environment and Natural Resources
Division of Water Quality

STORMWATER MANAGEMENT PERMIT APPLICATION FORM

This form may be photocopied for use as an original

I. GENERAL INFORMATION

1. Applicants name (specify the name of the corporation, individual, etc. who owns the project):
JOHN HARRIS AND ASSOCIATES, LLC

2. Print Owner/Signing Official's name and title (person legally responsible for facility and compliance):
JOHN W. HARRIS, MGR.

3. Mailing Address for person listed in item 2 above:
P.O. Box 2187
City: KITTY HAWK State: NC Zip: 27949
Telephone Number: (252) 261-7743

4. Project Name (subdivision, facility, or establishment name - should be consistent with project name on plans, specifications, letters, operation and maintenance agreements, etc.):
FOX KNOLL COMMERCE PARK, PHASE TWO

5. Location of Project (street address):
US HWY 158 (CARATOKE HWY.)
City: POINELL'S POINT County: CORRITUCK

6. Directions to project (from nearest major intersection):
PROJECT TRACT IS 6 MILES NORTH OF THE WRIGHT MEMORIAL BRIDGE ON THE EAST SIDE OF U.S. HWY. 158

7. Latitude: N 36° 08' 47" Longitude: W 75° 50' 41" of project

8. Contact person who can answer questions about the project:
Name: ROBERT STEWART Telephone Number: (252) 491-8354

2. If this application is being submitted as the result of a renewal or modification to an existing permit, list the existing permit number N/A and its issue date (if known) N/A
3. Specify the type of project (check one):
 Low Density High Density Redevelop General Permit Other
4. Additional Project Requirements (check applicable blanks):
 CAMA Major Sedimentation/Erosion Control 404/401 Permit NPDES Stormwater

Information on required state permits can be obtained by contacting the Customer Service Center at 1-877-623-6748.

III. PROJECT INFORMATION

1. In the space provided below, summarize how stormwater will be treated. Also attach a detailed narrative (one to two pages) describing stormwater management for the project.

STORMWATER WILL BE CONVEYED THROUGH GRASSED ROADSIDE SWALES AND CULVERTS TO AN APPROVED WET DETENTION BASIN

2. Stormwater runoff from this project drains to the PASQUOTANK River basin.
3. Total Project Area: 25.1185 acres
 (PHASE TWO ONLY)
4. Project Built Upon Area: 40 %
5. How many drainage areas does the project have? 2
6. Complete the following information for each drainage area. If there are more than two drainage areas in the project, attach an additional sheet with the information for each area provided in the same format as below.

Basin Information	Drainage Area 1	Drainage Area 2
Receiving Stream Name	U.T. TO CURRITUCK SOUND	
Receiving Stream Class	S.C.	
Drainage Area	1,094,163 SF (25.1185 AC)	
Existing Impervious* Area	NONE	
Proposed Impervious* Area	440,499 SF	
% Impervious* Area (total)	40%	

Impervious* Surface/Area	Drainage Area 1	Drainage Area 2
On-site Buildings (SEE NOTE BELOW)	387,089 SF	
On-site Streets	32,148 SF	
On-site Parking		

2. If this application is being submitted as the result of a renewal or modification to an existing permit, list the existing permit number N/A and its issue date (if known) N/A

3. Specify the type of project (check one):
 Low Density High Density Redevelop General Permit Other

4. Additional Project Requirements (check applicable blanks):
 CAMA Major Sedimentation/Erosion Control 404/401 Permit NPDES Stormwater

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2. Stormwater runoff from this project drains to the PASQUOTANK River basin.

3. Total Project Area: 25.1185 acres (PHASE TWO ONLY) 4. Project Built Upon Area: 40 %

5. How many drainage areas does the project have? 2

6. Complete the following information for each drainage area. If there are more than two drainage areas in the project, attach an additional sheet with the information for each area provided in the same format as below.

Basin Information	Drainage Area 1	Drainage Area 2
Receiving Stream Name	U.T. TO CURRITUCK SOUND	
Receiving Stream Class	S.C.	
Drainage Area	1,094,163 SF (25.1185 AC)	
Existing Impervious* Area	NONE	
Proposed Impervious* Area	440,499 SF	
% Impervious* Area (total)	40%	

Impervious* Surface Area	Drainage Area 1	Drainage Area 2
On-site Buildings (SEE NOTE BELOW)	387,089 SF	
On-site Streets	32,148 SF	
On-site Parking		

7. How was the off-site impervious area listed above derived? FROM AUTOCAD R14 AREA
CALCULATION ROUTINE

IV. DEED RESTRICTIONS AND PROTECTIVE COVENANTS

The following italicized deed restrictions and protective covenants are required to be recorded for all subdivisions, outparcels and future development prior to the sale of any lot. If lot sizes vary significantly, a table listing each lot number, size and the allowable built-upon area for each lot must be provided as an attachment.

1. *The following covenants are intended to ensure ongoing compliance with state stormwater management permit number _____ as issued by the Division of Water Quality. These covenants may not be changed or deleted without the consent of the State.*
2. *No more than 607 ~~square feet~~ of any lot shall be covered by structures or impervious materials. Impervious materials include asphalt, gravel, concrete, brick, stone, slate or similar material but do not include wood decking or the water surface of swimming pools.*
3. *Swales shall not be filled in, piped, or altered except as necessary to provide driveway crossings.*
4. *Built-upon area in excess of the permitted amount requires a state stormwater management permit modification prior to construction.*
5. *All permitted runoff from outparcels or future development shall be directed into the permitted stormwater control system. These connections to the stormwater control system shall be performed in a manner that maintains the integrity and performance of the system as permitted.*

By your signature below, you certify that the recorded deed restrictions and protective covenants for this project shall include all the applicable items required above, that the covenants will be binding on all parties and persons claiming under them, that they will run with the land, that the required covenants cannot be changed or deleted without concurrence from the State, and that they will be recorded prior to the sale of any lot.

V. SUPPLEMENT FORMS

The applicable state stormwater management permit supplement form(s) listed below must be submitted for each BMP specified for this project. Contact the Stormwater and General Permits Unit at (919) 733-5083 for the status and availability of these forms.

Form SWU-102	Wet Detention Basin Supplement
Form SWU-103	Infiltration Basin Supplement
Form SWU-104	Low Density Supplement
Form SWU-105	Curb Outlet System Supplement
Form SWU-106	Off-Site System Supplement
Form SWU-107	Underground Infiltration Trench Supplement

VI. SUBMITTAL REQUIREMENTS

Only complete application packages will be accepted and reviewed by the Division of Water Quality (DWQ). A complete package includes all of the items listed below. The complete application package should be submitted to the appropriate DWQ Regional Office.

1. Please indicate that you have provided the following required information by initialing in the space provided next to each item.

- | | Initials |
|---|-------------|
| • Original and one copy of the Stormwater Management Permit Application Form | <u>RG S</u> |
| • One copy of the applicable Supplement Form(s) for each BMP | <u>RG S</u> |
| • Permit application processing fee of \$420 (payable to NCDENR) | <u>RG S</u> |
| • Detailed narrative description of stormwater treatment/management | <u>RG S</u> |
| • Two copies of plans and specifications, including: | <u>RG S</u> |
| - Development/Project name | |
| - Engineer and firm | |
| - Legend | |
| - North arrow | |
| - Scale | |
| - Revision number & date | |
| - Mean high water line | |
| - Dimensioned property/project boundary | |
| - Location map with named streets or NCSR numbers | |
| - Original contours, proposed contours, spot elevations, finished floor elevations | |
| - Details of roads, drainage features, collection systems, and stormwater control measures | |
| - Wetlands delineated, or a note on plans that none exist | |
| - Existing drainage (including off-site), drainage easements, pipe sizes, runoff calculations | |
| - Drainage areas delineated | |
| - Vegetated buffers (where required) | |

VII. AGENT AUTHORIZATION

If you wish to designate authority to another individual or firm so that they may provide information on your behalf, please complete this section.

Designated agent (individual or firm): PERFORMANCE ENGINEERING
 Mailing Address: 8604 CARATOKE HWY
 City: POWELL'S POINT State: NC Zip: 27966
 Phone: (252) 491 8354 Fax: (252) 491 5112

VIII. APPLICANT'S CERTIFICATION

I, (print or type name of person listed in General Information, item 2) JOHN W. HARRIS, certify that the information included on this permit application form is, to the best of my knowledge, correct and that the project will be constructed in conformance with the approved plans, that the required deed restrictions and protective covenants will be recorded, and that the proposed project complies with the requirements of 15A

VI. SUBMITTAL REQUIREMENTS

Only complete application packages will be accepted and reviewed by the Division of Water Quality (DWQ). A complete package includes all of the items listed below. The complete application package should be submitted to the appropriate DWQ Regional Office.

1. Please indicate that you have provided the following required information by initialing in the space provided next to each item.

- Original and one copy of the Stormwater Management Permit Application Form
- One copy of the applicable Supplement Form(s) for each BMP
- Permit application processing fee of \$420 (payable to NCDENR)
- Detailed narrative description of stormwater treatment/management
- Two copies of plans and specifications, including:
 - Development/Project name
 - Engineer and firm
 - Legend
 - North arrow
 - Scale
 - Revision number & date
 - Mean high water line
 - Dimensioned property/project boundary
 - Location map with named streets or NCSR numbers
 - Original contours, proposed contours, spot elevations, finished floor elevations
 - Details of roads, drainage features, collection systems, and stormwater control measures
 - Wetlands delineated, or a note on plans that none exist
 - Existing drainage (including off-site), drainage easements, pipe sizes, runoff calculations
 - Drainage areas delineated
 - Vegetated buffers (where required)

Initials

 RAS

 RAS

 RAS

 RAS

 RAS

VII. AGENT AUTHORIZATION

If you wish to designate authority to another individual or firm so that they may provide information on your behalf, please complete this section.

Designated agent (individual or firm): PERFORMANCE ENGINEERING

Mailing Address: 8604 CARATOKE HWY

City: POWELL'S POINT State: NC Zip: 27966

Phone: (252) 491 8354 Fax: (252) 491 5112

VIII. APPLICANT'S CERTIFICATION

I, (print or type name of person listed in General Information, item 2) JOHN W. HARRIS
 certify that the information included on this permit application form is, to the best of my knowledge, correct and that the project will be constructed in conformance with the approved plans, that the required deed restrictions

Permit No. _____
(to be provided by DWQ)

State of North Carolina
Department of Environment and Natural Resources
Division of Water Quality

STORMWATER MANAGEMENT PERMIT APPLICATION FORM

WET DETENTION BASIN SUPPLEMENT

This form may be photocopied for use as an original

DWQ Stormwater Management Plan Review:

A complete stormwater management plan submittal includes an application form, a wet detention basin supplement for each basin, design calculations, and plans and specifications showing all basin and outlet structure details.

I. PROJECT INFORMATION

Project Name: FOX KNOLL COMMERCE PARK, PHASE TWO

Contact Person: ROBERT STEWART Phone Number: (252) 491-8354

For projects with multiple basins, specify which basin this worksheet applies to: BASIN # 2

elevations

Basin Bottom Elevation - 1.5 ft. (*floor of the basin*)
Permanent Pool Elevation 4.5 ft. (*elevation of the orifice*)
Temporary Pool Elevation 6.0 ft. (*elevation of the discharge structure overflow*)

areas

Permanent Pool Surface Area 31,081 sq. ft. (*water surface area at the orifice elevation*)
Drainage Area 25,1185 ac. (*on-site and off-site drainage to the basin*)
Impervious Area 10,1125 ac. (*on-site and off-site drainage to the basin*)

volumes

Permanent Pool Volume 108,543 cu. ft. (*combined volume of main basin and forebay*)
Temporary Pool Volume 52,351 cu. ft. (*volume detained above the permanent pool*)
Forebay Volume 23,988 cu. ft. (*approximately 20% of total volume*)

22%

Other parameters

Footnotes:

- ¹ When using the Division SA/DA tables, the correct SA/DA ratio for permanent pool sizing should be computed based upon the actual impervious % and permanent pool depth. Linear interpolation should be employed to determine the correct value for non-standard table entries.
- ² In the 20 coastal counties, the requirement for a vegetative filter may be waived if the wet detention basin is designed to provide 90% TSS removal. The NCDENR BMP manual provides design tables for both 85% TSS removal and 90% TSS removal.

II. REQUIRED ITEMS CHECKLIST

The following checklist outlines design requirements per the Stormwater Best Management Practices Manual (N.C. Department of Environment, Health and Natural Resources, February 1999) and Administrative Code Section: 15 A NCAC 2H .1008.

Initial in the space provided to indicate the following design requirements have been met and supporting documentation is attached. If the applicant has designated an agent in the Stormwater Management Permit Application Form, the agent may initial below. **If a requirement has not been met, attach justification.**

Applicants Initials

- RGS a. The permanent pool depth is between 3 and 6 feet (required minimum of 3 feet).
- RGS b. The forebay volume is approximately equal to 20% of the basin volume.
- RGS c. The temporary pool controls runoff from the design storm event.
- RGS d. The temporary pool draws down in 2 to 5 days.
- N/A e. If required, a 30-foot vegetative filter is provided at the outlet (include non-erosive flow calculations)
- RGS f. The basin length to width ratio is greater than 3:1.
- RGS g. The basin side slopes above the permanent pool are no steeper than 3:1.
- RGS h. A submerged and vegetated perimeter shelf with a slope of 6:1 or less (show detail).
- RGS i. Vegetative cover above the permanent pool elevation is specified.
- RGS j. A trash rack or similar device is provided for both the overflow and orifice.
- N/A k. A recorded drainage easement is provided for each basin including access to nearest right-of-way.
- N/A l. If the basin is used for sediment and erosion control during construction, clean out of the basin is specified prior to use as a wet detention basin.
- N/A m. A mechanism is specified which will drain the basin for maintenance or an emergency.

III. WET DETENTION BASIN OPERATION AND MAINTENANCE AGREEMENT

Maintenance activities shall be performed as follows:

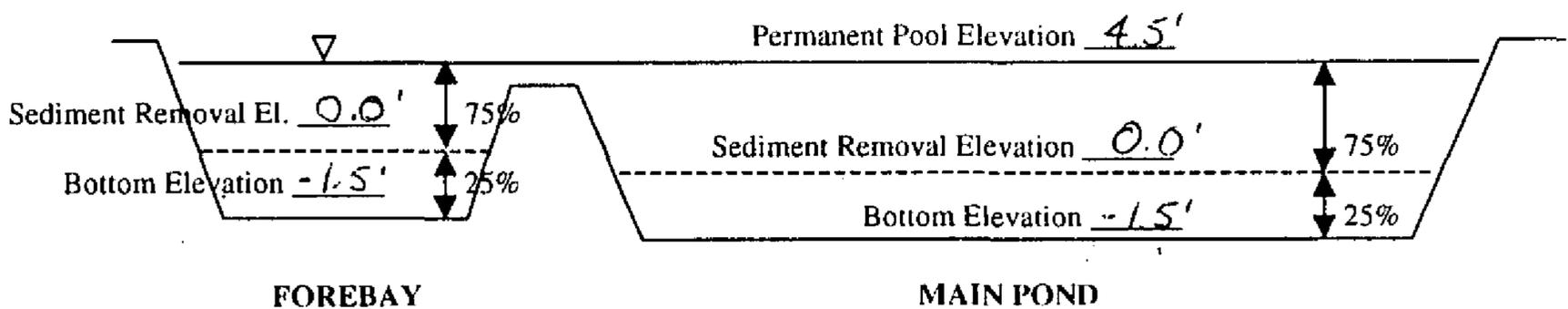
1. After every significant runoff producing rainfall event and at least monthly:
 - a. Inspect the wet detention basin system for sediment accumulation, erosion, trash accumulation, vegetated cover, and general condition.
 - b. Check and clear the orifice of any obstructions such that drawdown of the temporary pool occurs within 2 to 5 days as designed.
2. Repair eroded areas immediately, re-seed as necessary to maintain good vegetative cover, mow vegetative cover to maintain a maximum height of six inches, and remove trash as needed.
3. Inspect and repair the collection system (i.e. catch basins, piping, swales, riprap, etc.) quarterly to maintain proper functioning.
4. Remove accumulated sediment from the wet detention basin system semi-annually or when depth is reduced to 75% of the original design depth (see diagram below). Removed sediment shall be disposed of in an appropriate manner and shall be handled in a manner that will not adversely impact water quality (i.e. stockpiling near a wet detention basin or stream, etc.).

The measuring device used to determine the sediment elevation shall be such that it will give an accurate depth reading and not readily penetrate into accumulated sediments.

When the permanent pool depth reads _____ feet in the main pond, the sediment shall be removed.

When the permanent pool depth reads _____ feet in the forebay, the sediment shall be removed.

BASIN DIAGRAM
(fill in the blanks)



7. All components of the wet detention basin system shall be maintained in good working order.

I acknowledge and agree by my signature below that I am responsible for the performance of the seven maintenance procedures listed above. I agree to notify DWQ of any problems with the system or prior to any changes to the system or responsible party.

Print name: JOHN W. HARRIS

Title: OWNER

Address: P.O. BOX 2187 KITTY HAWK, NC 27949

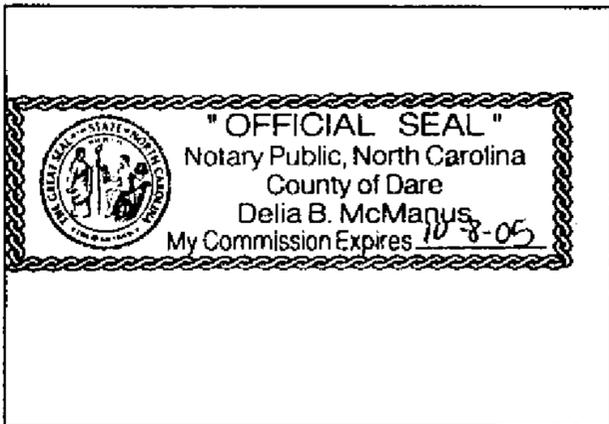
Phone: 252 761 7243

Signature: *John W. Harris*

Date: 12/21/00

Note: The legally responsible party should not be a homeowners association unless more than 50% of the lots have been sold and a resident of the subdivision has been named the president.

I, Delia B. McManus, a Notary Public for the State of North Carolina,
County of Dare, do hereby certify that John W. Harris
personally appeared before me this 21st day of December, 2000, and acknowledge the due
execution of the forgoing wet detention basin maintenance requirements. Witness my hand and official seal,



SEAL

My commission expires 10-8-2005

RECEIVED

OFFICE USE ONLY		
Date Received	Fee Paid	Permit Number
JUN 7 2004	\$420	SW 7040601

DWQ-WARO

State of North Carolina
Department of Environment and Natural Resources
Division of Water Quality

STORMWATER MANAGEMENT PERMIT APPLICATION FORM

This form may be photocopied for use as an original

I. GENERAL INFORMATION

1. Applicants name (specify the name of the corporation, individual, etc. who owns the project):

Fox Knoll Property Owners' Association, Inc

2. Print Owner/Signing Official's name and title (person legally responsible for facility and compliance):

John W. Harris, President

3. Mailing Address for person listed in item 2 above:

P.O. Box 2187

City: Kitty Hawk

State: NC

Zip: 27949

Telephone Number: (252) 261-7243

4. Project Name (subdivision, facility, or establishment name - should be consistent with project name on plans, specifications, letters, operation and maintenance agreements, etc.):

Fox Knoll Commerce Park, Phase Two

5. Location of Project (street address):

Fox Knoll Drive, off U.S. Hwy 158

City: Powells Point

County: Currituck

6. Directions to project (from nearest major intersection):

Project tract is 6 miles north of The Wright Memorial Bridge on the east side of US Hwy 158

7. Latitude: N 36° 08' 47" Longitude: W 75° 50' 41" of project

8. Contact person who can answer questions about the project:

Name: Robert Stewart

Telephone Number: (252) 491-8354

2. If this application is being submitted as the result of a renewal or modification to an existing permit, list the existing permit number SW 7000905 and its issue date (if known) Jan 17, 2001

3. Specify the type of project (check one):
 Low Density High Density Redevelop General Permit Other

4. Additional Project Requirements (check applicable blanks):
 CAMA Major Sedimentation/Erosion Control 404/401 Permit NPDES Stormwater

Information on required state permits can be obtained by contacting the Customer Service Center at 1-877-623-6748.

III. PROJECT INFORMATION

1. In the space provided below, summarize how stormwater will be treated. Also attach a detailed narrative (one to two pages) describing stormwater management for the project.

Stormwater will be conveyed via roadside, grassed swales, to a wet detention basin for treatment.

2. Stormwater runoff from this project drains to the Passquotank River basin:

3. Total Project Area: 21.1185 acres 4. Project Built Upon Area: 33 %

5. How many drainage areas does the project have? ONE DRAINAGE AREA FOR PHASE 2

6. Complete the following information for each drainage area. If there are more than two drainage areas in the project, attach an additional sheet with the information for each area provided in the same format as below.

Basin Information	Drainage Area 1	Drainage Area 2
Receiving Stream Name	<u>U.T. TO CURRITUCK SOUND</u>	
Receiving Stream Class	<u>SC</u>	
Drainage Area	<u>1,094,163 SF (25.1185 AC)</u>	
Existing Impervious* Area	<u>53,410 SF</u>	
Proposed Impervious* Area	<u>302,380 SF</u>	
% Impervious* Area (total)	<u>355,790 SF (32.5%)</u>	

Impervious* Surface Area	Drainage Area 1	Drainage Area 2
On-site Buildings **	<u>323,642 SF</u>	
On-site Streets	<u>32,148 SF</u>	
On-site Parking		
On-site Sidewalks		

7. How was the off-site impervious area listed above derived? AUTOCAD AREA CALCULATION ROUTINE AND MINIMAL CALCULATION OF 60% X LOT AREAS

IV. DEED RESTRICTIONS AND PROTECTIVE COVENANTS

The following italicized deed restrictions and protective covenants are required to be recorded for all subdivisions, outparcels and future development prior to the sale of any lot. If lot sizes vary significantly, a table listing each lot number, size and the allowable built-upon area for each lot must be provided as an attachment.

- 1. The following covenants are intended to ensure ongoing compliance with state stormwater management permit number _____ as issued by the Division of Water Quality. These covenants may not be changed or deleted without the consent of the State.*
- 2. No more than 60% ~~square feet~~ of any lot shall be covered by structures or impervious materials. Impervious materials include asphalt, gravel, concrete, brick, stone, slate or similar material but do not include wood decking or the water surface of swimming pools.*
- 3. Swales shall not be filled in, piped, or altered except as necessary to provide driveway crossings.*
- 4. Built-upon area in excess of the permitted amount requires a state stormwater management permit modification prior to construction.*
- 5. All permitted runoff from outparcels or future development shall be directed into the permitted stormwater control system. These connections to the stormwater control system shall be performed in a manner that maintains the integrity and performance of the system as permitted.*

By your signature below, you certify that the recorded deed restrictions and protective covenants for this project shall include all the applicable items required above, that the covenants will be binding on all parties and persons claiming under them, that they will run with the land, that the required covenants cannot be changed or deleted without concurrence from the State, and that they will be recorded prior to the sale of any lot.

V. SUPPLEMENT FORMS

The applicable state stormwater management permit supplement form(s) listed below must be submitted for each BMP specified for this project. Contact the Stormwater and General Permits Unit at (919) 733-5083 for the status and availability of these forms.

Form SWU-102	Wet Detention Basin Supplement
Form SWU-103	Infiltration Basin Supplement
Form SWU-104	Low Density Supplement
Form SWU-105	Curb Outlet System Supplement
Form SWU-106	Off-Site System Supplement
Form SWU-107	Underground Infiltration Trench Supplement
Form SWU-108	Narrow Basin Basin Supplement

VI. SUBMITTAL REQUIREMENTS

Only complete application packages will be accepted and reviewed by the Division of Water Quality (DWQ). A complete package includes all of the items listed below. The complete application package should be submitted to the appropriate DWQ Regional Office.

1. Please indicate that you have provided the following required information by initialing in the space provided next to each item.

- | | Initials |
|---|------------|
| • Original and one copy of the Stormwater Management Permit Application Form | <u>RGS</u> |
| • One copy of the applicable Supplement Form(s) for each BMP | <u>RGS</u> |
| • Permit application processing fee of \$420 (payable to NCDENR) | <u>RGS</u> |
| • Detailed narrative description of stormwater treatment/management | <u>RGS</u> |
| • Two copies of plans and specifications, including: | <u>RGS</u> |
| - Development/Project name | |
| - Engineer and firm | |
| - Legend | |
| - North arrow | |
| - Scale | |
| - Revision number & date | |
| N/A - Mean high water line | |
| - Dimensioned property/project boundary | |
| - Location map with named streets or NCSR numbers | |
| - Original contours, proposed contours, spot elevations, finished floor elevations | |
| - Details of roads, drainage features, collection systems, and stormwater control measures | |
| - Wetlands delineated, or a note on plans that none exist | |
| - Existing drainage (including off-site), drainage easements, pipe sizes, runoff calculations | |
| - Drainage areas delineated | |
| - Vegetated buffers (where required) | |

VII. AGENT AUTHORIZATION

If you wish to designate authority to another individual or firm so that they may provide information on your behalf, please complete this section.

Designated agent (individual or firm): Performance Engineering
Mailing Address: 8604 Caratoke Hwy.
City: Powells Point State: NC Zip: 27966
Phone: (252) 491-8354 Fax: (252) 491-5112

VIII. APPLICANT'S CERTIFICATION

I, (print or type name of person listed in General Information, item 2) John W. Harris,
certify that the information included on this permit application form is, to the best of my knowledge, correct and that the project will be constructed in conformance with the approved plans, that the required deed restrictions and protective covenants will be recorded, and that the proposed project complies with the requirements of 15A

Permit No. _____
(to be provided by DWQ)

State of North Carolina
Department of Environment and Natural Resources
Division of Water Quality

STORMWATER MANAGEMENT PERMIT APPLICATION FORM

RECEIVED

WET DETENTION BASIN SUPPLEMENT

This form may be photocopied for use as an original

JUN 7 2004

DWO Stormwater Management Plan Review:

DWO-WARO

A complete stormwater management plan submittal includes an application form, a wet detention basin supplement for each basin, design calculations, and plans and specifications showing all basin and outlet structure details.

I. PROJECT INFORMATION

Project Name: Fox Knell Commerce Park, Phase Two

Contact Person: Robert J. Stewart, Jr. Phone Number: (252) 491-8354

For projects with multiple basins, specify which basin this worksheet applies to: _____

elevations

Basin Bottom Elevation - 1.5 ft. (floor of the basin) *AS ORIGINALLY DESIGNED*
Permanent Pool Elevation 5.46 ft. (elevation of the orifice)
Temporary Pool Elevation 5.9 ft. (elevation of the discharge structure overflow)

areas

Permanent Pool Surface Area 72,436 sq. ft. (water surface area at the orifice elevation)
Drainage Area 25.1185 ac. (on-site and off-site drainage to the basin)
Impervious Area 8.1678 ac. (on-site and off-site drainage to the basin)

volumes

Permanent Pool Volume ^{392,786} 392,786 cu. ft. (combined volume of main basin and forebay)
Temporary Pool Volume 32,527 cu. ft. (volume detained above the permanent pool)
Forebay Volume _{42,935} 42,935 cu. ft. (approximately 20% of total volume)

Other parameters

Footnotes:

- ¹ When using the Division SA/DA tables, the correct SA/DA ratio for permanent pool sizing should be computed based upon the actual impervious % and permanent pool depth. Linear interpolation should be employed to determine the correct value for non-standard table entries.
- ² In the 20 coastal counties, the requirement for a vegetative filter may be waived if the wet detention basin is designed to provide 90% TSS removal. The NCDENR BMP manual provides design tables for both 85% TSS removal and 90% TSS removal.

II. REQUIRED ITEMS CHECKLIST

RJS T MUL

The following checklist outlines design requirements per the Stormwater Best Management Practices Manual (N.C. Department of Environment, Health and Natural Resources, February 1999) and Administrative Code Section: 15 A NCAC 2H .1008.

Initial in the space provided to indicate the following design requirements have been met and supporting documentation is attached. If the applicant has designated an agent in the Stormwater Management Permit Application Form, the agent may initial below. **If a requirement has not been met, attach justification.**

Applicants Initials

- + 7 ft. deep a. The permanent pool depth is between 3 and 6 feet (required minimum of 3 feet).
- 11% + b. The forebay volume is approximately equal to 20% of the basin volume.
- RJS c. The temporary pool controls runoff from the design storm event.
- RJS d. The temporary pool draws down in 2 to 5 days.
- N/A e. If required, a 30-foot vegetative filter is provided at the outlet (include non-erosive flow calculations)
- RJS f. The basin length to width ratio is greater than 3:1.
- RJS g. The basin side slopes above the permanent pool are no steeper than 3:1.
- RJS h. A submerged and vegetated perimeter shelf with a slope of 6:1 or less (show detail).
- RJS i. Vegetative cover above the permanent pool elevation is specified.
- RJS j. A trash rack or similar device is provided for both the overflow and orifice.
- _____ k. A recorded drainage easement is provided for each basin including access to nearest right-of-way.
- N/A l. If the basin is used for sediment and erosion control during construction, clean out of the basin is specified prior to use as a wet detention basin.
- N/A m. A mechanism is specified which will drain the basin for maintenance or an emergency.

III. WET DETENTION BASIN OPERATION AND MAINTENANCE AGREEMENT

Maintenance activities shall be performed as follows:

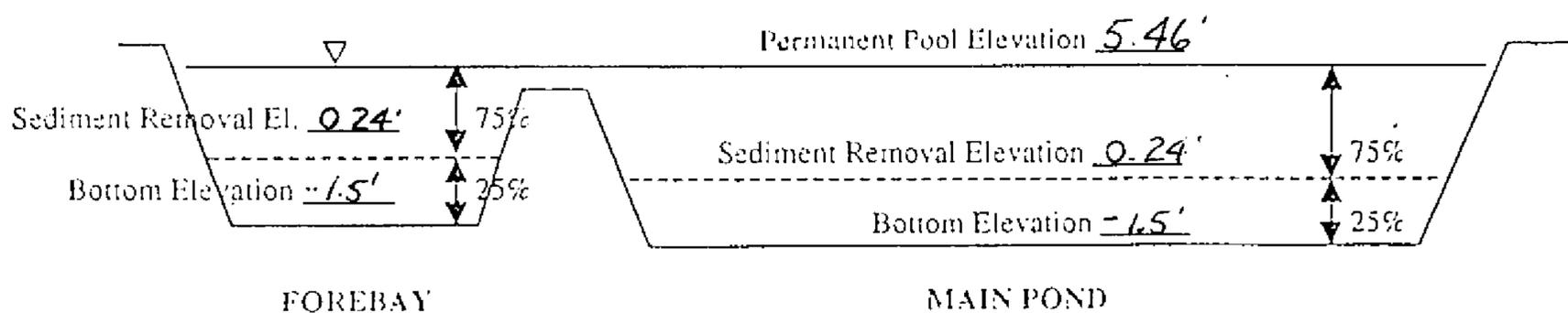
1. After every significant runoff producing rainfall event and at least monthly:
 - a. Inspect the wet detention basin system for sediment accumulation, erosion, trash accumulation, vegetated cover, and general condition.
 - b. Check and clear the orifice of any obstructions such that drawdown of the temporary pool occurs within 2 to 5 days as designed.
2. Repair eroded areas immediately, re-seed as necessary to maintain good vegetative cover, mow vegetative cover to maintain a maximum height of six inches, and remove trash as needed.
3. Inspect and repair the collection system (i.e. catch basins, piping, swales, riprap, etc.) quarterly to maintain proper functioning.
4. Remove accumulated sediment from the wet detention basin system semi-annually or when depth is reduced to 75% of the original design depth (see diagram below). Removed sediment shall be disposed of in an appropriate manner and shall be handled in a manner that will not adversely impact water quality (i.e. stockpiling near a wet detention basin or stream, etc.).

The measuring device used to determine the sediment elevation shall be such that it will give an accurate depth reading and not readily penetrate into accumulated sediments.

When the permanent pool depth reads _____ feet in the main pond, the sediment shall be removed.

When the permanent pool depth reads _____ feet in the forebay, the sediment shall be removed.

BASIN DIAGRAM
(fill in the blanks)



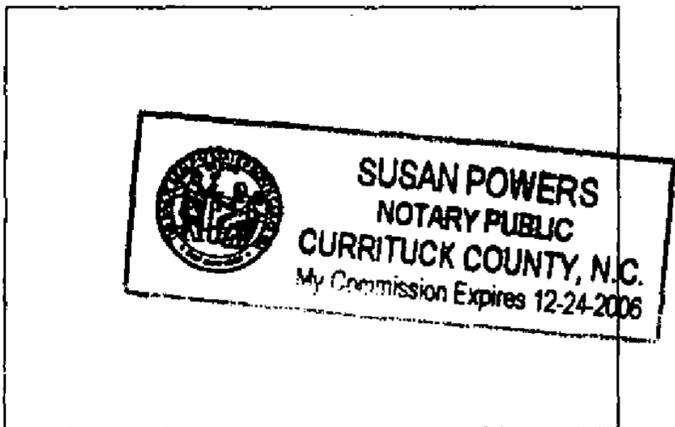
7. All components of the wet detention basin system shall be maintained in good working order.

I acknowledge and agree by my signature below that I am responsible for the performance of the seven maintenance procedures listed above. I agree to notify DWQ of any problems with the system or prior to any changes to the system or responsible party.

Print name: John W. Harris
Title: President
Address: P.O. Box 2187 Kitty Hawk, NC 27949
Phone: (752) 261-7243
Signature: [Handwritten Signature]
Date: April 29, 2004

Note: The legally responsible party should not be a homeowners-association unless more than 50% of the lots have been sold and a resident of the subdivision has been named the president.

I, Susan Powers, a Notary Public for the State of North Carolina
County of Currituck, do hereby certify that John W. Harris
personally appeared before me this 29th day of April, 2004, and acknowledge the due execution of the forgoing wet detention basin maintenance requirements. Witness my hand and official seal,



SEAL

Susan Powers

My commission expires _____



Non-Residential Building Permit Application Application Form

Contact Information

APPLICANT: Mancuso Development PROPERTY OWNER: Bryan Berry
 Telephone: _____ Telephone: _____
 Mobile: 252-305-4663 Mobile: _____
 E-Mail Address: Jay@Mancusodevelopment.com E-Mail Address: _____

Project Information **Estimated Project Cost: \$** 100,000

Project Name: Berry Physical Street Address: 147 Greyson Loop
 Parcel Identification Number(s): 123E 00000 26 0000 Subdivision: _____

Type of Construction I II III IV V	<input checked="" type="checkbox"/> New Construction <input checked="" type="checkbox"/> Accessory Structure <input type="checkbox"/> Trade Permit <input type="checkbox"/> Addition <input type="checkbox"/> Waterway Structure <input type="checkbox"/> Multi-Family <input type="checkbox"/> Alteration <input type="checkbox"/> OTHER: _____
Additional Project Information	Number of Units: _____ Occupancy: <u>3</u> Number of Floors: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3

Proposed Use: Storage / Personal office

Description of Work:
Installation of a metal storage building
w/ a 10 x 20 office.

Square Footage	
Heated	200
Unheated	2,200
Misc.	
TOTAL	2,400

Type of HVAC system: (heat pump, elec., gas, other) H.P.

Is this project outside of the existing footprint? Yes No

Is this project within 75 feet of a waterway? Yes No

Will the natural contour of the property be modified by grading or filling higher than adjacent grades? Yes No
 (If yes, stormwater plan required for development without a state stormwater management plan).

The permit is null and void if work or construction authorized under this permit is not commenced within 6 months or if after commencement of work no required inspection is requested and approved within any 12-month period thereafter or for substantial deviations from plans. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of the permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulation construction or the performance of construction.

Jay Mehford _____ 7-11-23
 Printed Full Name of Applicant Signature of Applicant Date

OFFICIAL USE ONLY:

Building Permit Number _____ Type of Water: _____
 CAMA Number _____ Septic Permit Number: _____

Zoning of Property: _____ Flood Zone: _____ BFE: _____ DFE: _____ Max % Coverage: _____
 Min Setbacks: Front _____ Side (R) _____ Side (L) _____ Rear _____

Contractor of Record

Building Contractor

Name Bernie Mancuso NC License # 26166
 Address 610 Currituck Club House Phone 305-4663
 City/St Corolla, NC 27927 Email lay@mancusodevelopment.com

Electrical Contractor

Name Beach to Bay NC License # 30716 U
 Address 1025 Creek Rd Phone _____
 City/St Kitty Hawk, NC Email _____

Mechanical Contractor

Name OBX Air Pro NC License # 29490
 Address 197 w mobile Rd Phone _____
 City/St _____ Email _____

Plumbing Contractor

Name _____ NC License # _____
 Address _____ Phone _____
 City/St _____ Email _____

Insulation Contractor

Name _____ NC License # Not Required
 Address _____ Phone _____
 City/St _____ Email _____

Gas Contractor

Name _____ NC License # _____
 Address _____ Phone _____
 City/St _____ Email _____

Moving Contractor

Name _____ NC License # _____
 Address _____ Phone _____
 City/St _____ Email _____

Pool/Hot Tub Contractor

Name _____ NC License # _____
 Address _____ Phone _____
 City/St _____ Email _____

Other Contractor

Name _____ NC License # _____
 Address _____ Phone _____
 City/St _____ Email _____

OWNER CONTRACTOR

As owner of the property, I intend to retain the finished project exclusively for my own use and will occupy the property for at least one year following the completion of construction. I understand that it is my responsibility to obtain workers' compensation insurance, if necessary. I will contract with a North Carolina licensed electrical, plumbing, mechanical, and gas contractor for this project unless otherwise noted. As owner of the property, I will complete the following:

- General
 Electrical
 Mechanical
 Plumbing
 Gas

 Signature of Property Owner

 Date



Contractor Affidavit

Licensed Trade Permit Application

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

- General
- Electrical
- Mechanical
- Plumbing
- Gas
- Sprinkler
- Refrigeration
- Fire Suppression

Contractor Information

License Holder: Bernard Mancuso
 Name of Business: Mancuso Development
 Business Address: 610 Currituck Club House Dr. Suite 7 Corolla
 Phone: 252-305-4663
 Email: Jay@mancusodevelopment.com

License Information

NC License Number: 26166
 License Classification: Unlimited

Project Information

Project Address: 147 Greyson Loop
 Application Reference Number: _____
 Cost of Trade Work: \$ 100,000
 Site Supervisor: Jay Menford

Scope Of Work

Installation of a metal storage building w/ a 10x20 office.

I am licensed and qualified to assume all responsibility and ability as a contractor on this project. If I resign or am no longer affiliated with this project, I will notify the Currituck County Central Permitting Division in writing within three working days. I understand that it is my responsibility to obtain workers' compensation insurance, if necessary.

Bernard Mancuso

Signature of License Holder

7/11/23

Date

