



Currituck County

Planning and Inspections Department
153 Courthouse Road, Suite 110
Currituck, North Carolina 27929
252-232-3055
FAX 252-232-3026

MEMORANDUM

To: Justin Old, Moyock Development, LLC
Mark Bissell, Bissell Professional Group

From: Planning Staff

Date: December 7, 2023 [Response dated 12-14-23](#)

Re: PB 18-23 Fost Phase 4 Final Plat - TRC Comments

The following comments were received for the December 6, 2023 meeting. Please address all comments and resubmit a corrected plan by December 14, 2023 to be reviewed at our next meeting. TRC comments are valid for six months from the date of the TRC meeting.

Planning (Anna Cherry, 252-232-6066)

Reviewed with comments.

- Please update applicant on Construction Drawings to match application. [The applicant name on page 1 has been updated to match the application.](#)
- Payment for Park Area dedication is calculated at \$13,344.43 for the 151.32 acres. [The payment will be delivered with the executed final plat prior to recording.](#)

Currituck County Building and Fire Inspections (Bill Newns, 252-232-6023) Reviewed with comments:

2. "NO PARKING" signs not installed. ["No parking" signs are included in the LOC.](#)
3. Reflectors at hydrants not installed. [Reflectors have now been installed at the hydrants.](#)

Currituck Soil and Stormwater (Dylan Lloyd, 252-232-3360)

- 1) Inlet protection needed at ST 301, ST 306. Baffles or 'gutter buddies' should be placed at inlets along streets. [Gutter buddies have been added at these locations.](#)
- 2) Remove soils from road surfaces at Ryder Rd 200' East of Fost Blvd and near phase 4 entrance at Iris Circle. [The road surface has now been cleaned of excess soil.](#)
- 3) Please show flow arrows for swales and culverts. [Flow arrows have been added to plans.](#)
- 4) ST 269 and ST 270 have invert elevations that don't match up with flow patterns. [It is agreed that there are minor discrepancies in invert in and out elevations, but these are minor enough to be accepted and should not affect system performance.](#)
- 5) [Where is temporary swale connection from ST273 and heading south?](#)
[The connection has not yet been completed; work on the phase 5 drainage is in progress.](#)
- 6) [Provide baffles or 'socks' at roadside gutter inlets.](#) [Inlet protection has been added.](#)
- 7) [Pond 3 has some erosion issues. Picture in attached documents.](#) [Maintenance of eroded areas is ongoing.](#)

Currituck County Public Utilities - Water/Wastewater (Will Rumsey, 252-232-6065 and Dave Spence 252-232-4152)

Approved without comment.

Currituck County GIS (Harry Lee 252-232-4039)

It appears that two lots have been numbered as #147. I believe one should be Lot # 145.

[The lot numbering has been corrected on the plat.](#)

Address assignment:	139 4 410 RYKER RD E	152 4 415 RYKER RD E
Lot Phase Address	140 4 408 RYKER RD E	153 4 417 RYKER RD E
114 4 207 IRIS CIR	141 4 406 RYKER RD E	154 4 420 GARLAND ST
115 4 209 IRIS CIR	142 4 404 RYKER RD E	155 4 418 GARLAND ST
116 4 211 IRIS CIR	143 4 402 RYKER RD E	156 4 416 GARLAND ST
117 4 213 IRIS CIR	144 4 400 RYKER RD E	157 4 414 GARLAND ST
118 4 215 IRIS CIR	145 4 401 RYKER RD E	158 4 412 GARLAND ST
119 4 217 IRIS CIR	146 4 403 RYKER RD E	159 4 410 GARLAND ST
120 4 219 IRIS CIR	147 4 405 RYKER RD E	160 4 408 GARLAND ST
135 4 418 RYKER RD E	148 4 407 RYKER RD E	161 4 406 GARLAND ST
136 4 416 RYKER RD E	149 4 409 RYKER RD E	162 4 404 GARLAND ST
137 4 414 RYKER RD E	150 4 411 RYKER RD E	163 4 402 GARLAND ST
138 4 412 RYKER RD E	151 4 413 RYKER RD E	164 4 400 GARLAND

[Addresses have been added according to this assignment.](#)

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

Reviewed without comment.

US Army Corps of Engineers (Anthony Scarbraugh, 910-251-4619)

No Comment.

Mediacom (252-482-5583)

See attached letter.

US Post Office

Contact the local post office for mail delivery requirements.

Stormwater Consultant, McAdams (Daniel Wiebke, 919-361-5000)

Forwarded upon receipt. [Comments are addressed on the McAdams memo.](#)

No comments received from:

- Currituck Fire and Emergency Medical Services (Chief Ralph Melton, 252-232-7746)
- NC Division of Coastal Management (Ron Renaldi, 252-264-3901)
- NC DOT (Caitlin Spear, 252-331-4737)
- Albemarle Regional Health Services (Kevin Carver, 252-232-6603)

The following items are necessary for resubmittal:

- 1- PDF digital copy of all revised documents and plans.

[A pdf copy of all revised plans is included with this response.](#)



Currituck County

Soil & Stormwater
Post Office Box 70
Currituck, North Carolina 27929
252-232-3360
FAX 252-232-3026

Pre-Development Stormwater System Checklist

Name of Development: Fost Ph4 Final Plat

Date of Inspections: 12/5/2023

Reviewers : Dylan Lloyd

1. Ditches, Swales and conveyance features are properly constructed and accurately reflect construction drawings
Yes.

2. Ponds, Basins and collection features are properly sized and accurately reflect construction drawings
Understanding that Pond 3 is part of prior phase construction but still takes runoff from new phase 4 lots, there is some erosion near Garland Street and Fost Blvd roundabout. (see picture last page)

3. Pre and Post runoff calculations are correct and meet our standard for a 10 yr storm / 2 yr wooded site
Yes as per review at prior phasing

4. Inlets, Outlets, Culverts and other engineered features are adequately protected, clear of sedimentation, provide positive grade and minimize impacts of erosive velocity
Clear soils and rocks from streets (see pics 1-2). Inlet protection needed at ST 301, ST 306. Baffles or 'gutter buddies' should be placed at inlets along streets

5. Tailwaters and/or receiving channels are adequate for receiving allowed runoff and are clear of excess debris
Yes - overspill at east end of pond 3 is complete to spec

Pre-Development Stormwater System Checklist

Picture 1-2) Remove soil and rock from road surface at Ryder Rd 200' East of Fost Blvd and near phase 4 entrance at Iris Circle.



Picture 3-4) Inlet Protection ST 301 and ST 306 and smooth grade on conveyance swales. See the water pockets on the second pic below.



Picture 5) Pond 3 has a bit of erosion affecting the shelf. Not part of this phasing, but still please note.





Kim Mason, NC Area Director

kmason@mediacomcc.com
216 B Shannonhouse Road
Edenton NC, 27932
Edenton: 252-482-5583
Plymouth: 252-793-2491
Mobile: 252-497-0328

RE: New Build & Development

Dear Development manager;

As you know the key need for all homes in this 21st Century is a solid internet connection, be it for business, education or entertainment, the public demand is here.

With this in mind, as you plan for your development and build out, we would like to encourage you to reach out to us, as you do for other essential utilities. It is most economical and reasonable for you to work with us and have this valuable infrastructure in advance of selling and building the homes. Any build out costs can easily be recouped as the lots are developed and make your neighborhoods more appealing to families and professionals.

We invite you to partner with us and contact us locally. We will process a ROI for your location to determine partnership feasibility and estimated cost to ensure your development has access to the best internet services available.

Our key contacts are, Kim Mason, Director for North Carolina – information above and our construction coordinator Nathaniel Harris at 252- 793-5256 or 252-339-9375.

Mediacom launched 1-Gig broadband speeds in the following areas of North Carolina and operates customer service offices in Edenton and Plymouth.

Bertie County	Martin County	Chowan County	Perquimans County
Colerain	Jamesville	Arrowhead / Chowan Beach	Hertford
Kelford	Northampton County	Edenton	Winfall
Lewiston	Conway	Currituck County	Tyrrell County
Powellsville	Galatia	Barco	Columbia
Roxobel	Jackson	Currituck	Washington County
Windsor	Rich Square	Grandy	Creswell
Camden County	Seaboard	Moyock	Plymouth
Camden	Severn	Point Harbor	Roper
Shiloh	Woodland	Poplar Branch	
South Mills		Tulls Bay	

About Mediacom Communications

Mediacom Communications Corporation is the 5th largest cable operator in the U.S. serving over 1.3 million customers in smaller markets primarily in the Midwest and Southeast. Mediacom offers a wide array of information, communications and entertainment services to households and businesses, including video, high-speed data, phone, and home security and automation. Through Mediacom Business, the company provides innovative broadband solutions to commercial and public sector customers of all sizes and sells advertising and production services under the OnMedia brand. More information about Mediacom is available at www.mediacomcable.com.

We look forward to partnering with you to ensure your projects are successful and your development has the best services available for your buyers.

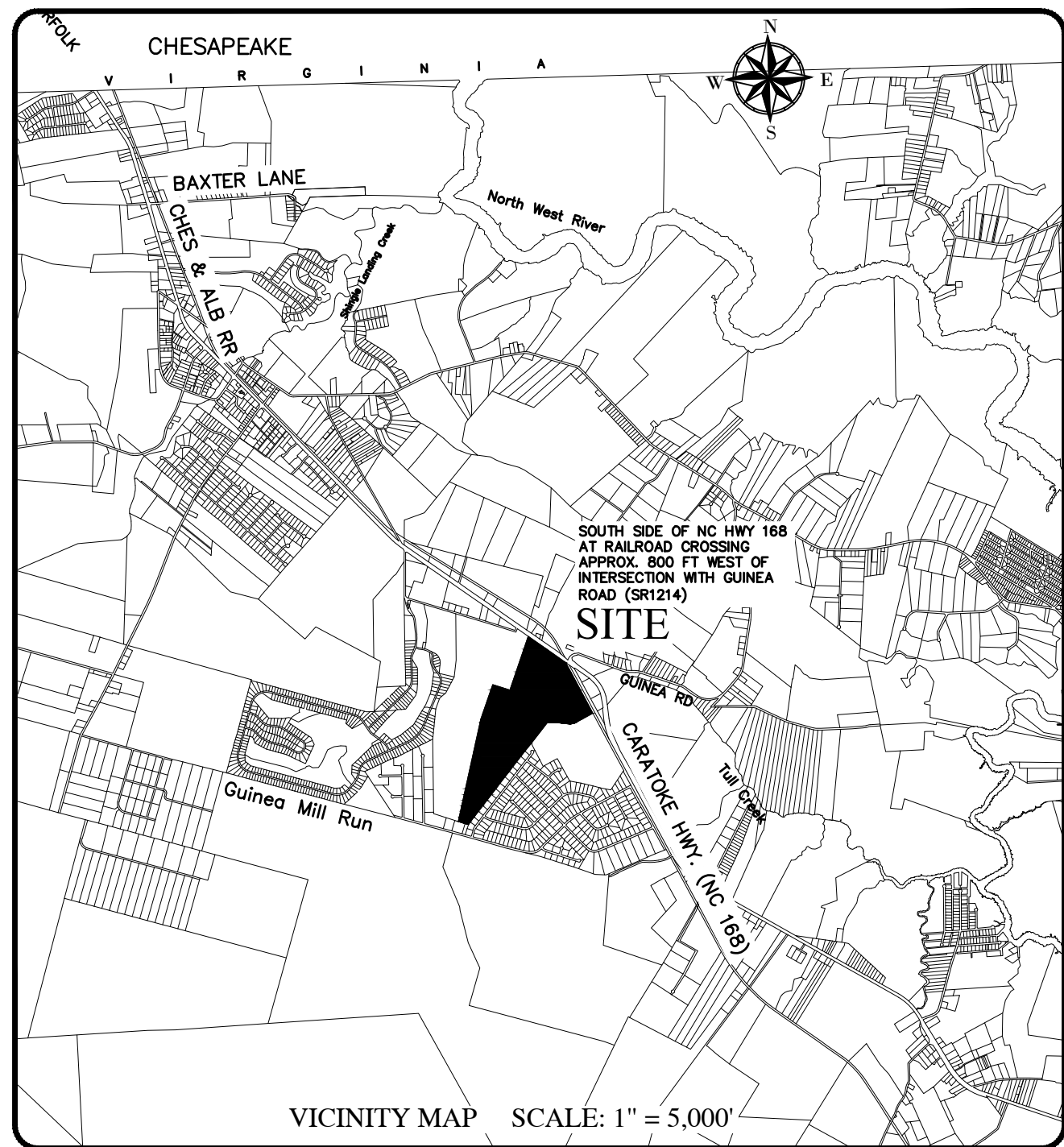
Best regards,

Kim Mason

Kim Mason
Operations Director, North Carolina

STORMWATER DEVELOPMENT REVIEW COMMENTS Response dated 12-14-23

1. Building pad elevations on lots 114-120, 153, 158, 162, and 163 are shown lower than the top of the lot line swales and in some cases the bottom of the swales. This will cause water on the lot to flow toward the building rather than away. Lot line swales are not provided for lots 135-144 per the approved plans. Please revise grading and re-submit survey points for re-graded swales. [Additional data have been gathered for BPE's showing conformance. Lot line swales have been identified for 135-141; 142-144 are in progress.](#)
2. Please clarify if ST-270 and ST-270 were built as part of this phase. If not please explain the plan for discharging stormwater collected from the upstream infrastructure that drains to those junctions that was constructed. [Additionally, please clarify if the temporary swale noted on the plans that outlets ST-273 was constructed. ST-270 & 273 are part of Phase 5 but were constructed with Phase 4; the temporary swale has not yet been completed.](#)
3. Please provide all pipe inverts for ST-223, ST-34, and ST-35. ST-223 is shown with 3 inverts and 2 are given on the as-built. ST-34 is shown with 4 inverts and 3 are given on the as-built. ST-35 is shown with 3 inverts and 2 are given on the as-built. [The missing inverts were for pipes that were certified with Phase 1B/2, but have now been added to the plan.](#)
4. Please provide documentation of appropriate end treatments (e.g. riprap erosion control) for the outlets to the stormwater ponds and swales. [Riprap was not specified for these pipes, as all have submerged outlets.](#)
5. Please provide information to demonstrate that Pond 3 complies with the approved construction drawings (e.g. verify appropriate volumes were provided and outlet structure information). [Pond 3 has been enlarged substantially compared to the approved plans and has excess volume; its outlet was certified with Phases 1B/2.](#)
6. Please provide a sheet that documents the as-built condition of Pond 4 if constructed. A copy of the as-built pond sheet(s) from a previous phase approval will be sufficient. If the pond has not been constructed yet (it is labeled "Future Development") please explain the plan for treating stormwater collected from the upstream infrastructure that was constructed. [Pond 4 has been completed and is now shown in its entirety on the as-built.](#)
7. Advisory comment: There are adverse slopes between ST-35, ST-36, and ST-37. Please be sure that you as the engineer are aware of this. This is minor enough that we will not withhold approval based on this alone. [This condition is acknowledged.](#)



THE FOST TRACT

PLANNED DEVELOPMENT - RESIDENTIAL

CONSTRUCTION RECORD DRAWINGS- PHASE 4

MOYOCK TOWNSHIP

CURRITUCK COUNTY

NORTH CAROLINA

GENERAL NOTES:

- PROJECT NAME: THE FOST TRACT – PLANNED DEVELOPMENT – RESIDENTIAL – CONSTRUCTION PHASE 4
- APPLICANT: MOYOCK DEVELOPMENT, LLC
417-D CARATOKÉ HIGHWAY
MOYOCK, NC 27958
- ALL SURVEY DATA IS REFERENCED TO NAD 83 NORTH CAROLINA STATE PLANE HORIZONTAL COORDINATE SYSTEM AND THE NAVD 1988 VERTICAL DATUM.
- F.I.R.M. DATA:
ZONE X PER F.I.R.M. MAP NO.S 3721803100 K, 37218030000 K, & 3721804000 K ALL HAVING AN EFFECTIVE DATE OF DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF CURRITUCK COUNTY'S UNIFIED DEVELOPMENT ORDINANCE.
- THESE CONSTRUCTION RECORD DRAWINGS AREA BASED ON A COMBINATION OF ACTUAL FIELD SURVEYS AND FIELD OBSERVATIONS PERFORMED BY BISSELL PROFESSIONAL GROUP AS WELL AS INFORMATION PROVIDED BY THE PROJECT'S CONSTRUCTION CONTRACTORS AND THE CURRITUCK COUNTY WATER DEPARTMENT. ANY SITE MODIFICATIONS MADE AFTER THE LAST FIELD SURVEY ARE NOT REPRESENTED IN THESE DRAWINGS. CONTRIBUTING FIELD SURVEYS WERE CONDUCTED ON THE FOLLOWING DATES:
 - 11-01-23
 - 11-02-23
 - 11-03-23
 - 11-07-23
 - 11-13-23
 - 11-14-23
 - 12-12-23

AS-BUILT SURVEY

I HEREBY CERTIFY THAT ALL IMPROVEMENTS FOR THIS SUBDIVISION HAVE BEEN INSTALLED ACCORDING TO THE PLANS PREPARED BY BISSELL PROFESSIONAL GROUP AND APPROVED BY CURRITUCK COUNTY, EXCEPT THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS MUST BE COMPLETED BY THE 16TH DAY OF NOVEMBER, 2025 ACCORDING TO THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP. FINAL GROUND STABILIZATION OF THE SITE IS ONGOING AND IS NOT INCLUDED IN THIS CERTIFICATION.

REMAINING IMPROVEMENTS INCLUDE:

- SIDEWALKS AND MULTI-USE PATH
- STREET TREES
- FLORA PORTION OF ROWLAND CREEK IMPROVEMENTS
- PERMANENT STREET SIGNS AND NO PARKING SIGNS
- PAVEMENT MARKING
- STREET LIGHTS

DocuSigned by:

12/14/23

DATE

Michael J. Ken
REGISTERED LAND SURVEYOR/ENGINEER
C08A34EC9CBF428...

L-1756

REGISTRATION NUMBER

PERFORMANCE GUARANTEE

SHOULD THE OWNER OR DEVELOPER FAIL TO COMPLETE INSTALLATION OF THE GUARANTEED IMPROVEMENTS PER APPROVED PLAN WITHIN THE TERM OF THE PERFORMANCE (AS MAY BE EXTENDED), THE DIRECTOR SHALL GIVE THE OWNER OR DEVELOPER 30 DAYS WRITTEN NOTICE OF THE DEFAULT BY CERTIFIED MAIL. AFTER THE 30-DAY NOTICE PERIOD EXPIRES, THE COUNTY MAY DRAW ON THE GUARANTEE AND USE THE FUNDS TO PERFORM WORK NECESSARY TO COMPLETE INSTALLATION OF THE GUARANTEED IMPROVEMENTS. UPON COMPLETION OF SAID WORK, THE COUNTY SHALL PROVIDE AN ACCOUNTING STATEMENT OF THE EXPENDITURES TO THE OWNER OR DEVELOPER AND AS APPLICABLE, THE OWNER OR DEVELOPER SHALL REIMBURSE THE COUNTY IN ORDER TO BE RELEASED OF BOND AND AVOID A WARRANT OF INDEBTEDNESS.

Sheet Number	Sheet Title
1	COVER SHEET
2	ROADWAY & DRAINAGE (A)
3	ROADWAY & DRAINAGE (B)
4	ROADWAY & DRAINAGE (C)
5	ROADWAY & DRAINAGE (D)
6	WATER & SEWER (A)
7	WATER & SEWER (B)
8	WATER & SEWER (C)
9	WATER & SEWER (D)
10	DETAILS
11	DETAILS
12	SOUTHERN RUN PROF
13	PVT-ALLEY-PROF

LEGEND	
	ROADWAY CENTERLINE
	RIGHT-OF-WAY
	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	SWALE CENTERLINE
	SWALE/BMP TOP OF BANK
	CULVERT (SIZE, TYPE & INVERTS AS NOTED)
	RECORD WATER DISTRIBUTION MAIN (SIZE AS NOTED)
	EXISTING WATER LINE
	6" FIRE HYDRANT TYPICAL
	WATER VALVE TYPICAL (SIZE AS NOTED)
	WATER SERVICE METER BOX
	8" GRAVITY SEWER LINE & MANHOLE
	CATCH BASIN/DROP INLET & STORM PIPE
	SEWER SERVICE CLEANOUT
	DRAINAGE FLOW DIRECTION
	FLOWLINE
	EDGE OF CONCRETE
	BUILDING PAD ELEVATION
	SPOT ELEVATION

REVISIONS

NO.	DATE	DESCRIPTION

BY

DATE: 11-06-23

SCALE: 1" = 30'

DRAWN: AKM

APPROVED: BPG

SHEET: 1

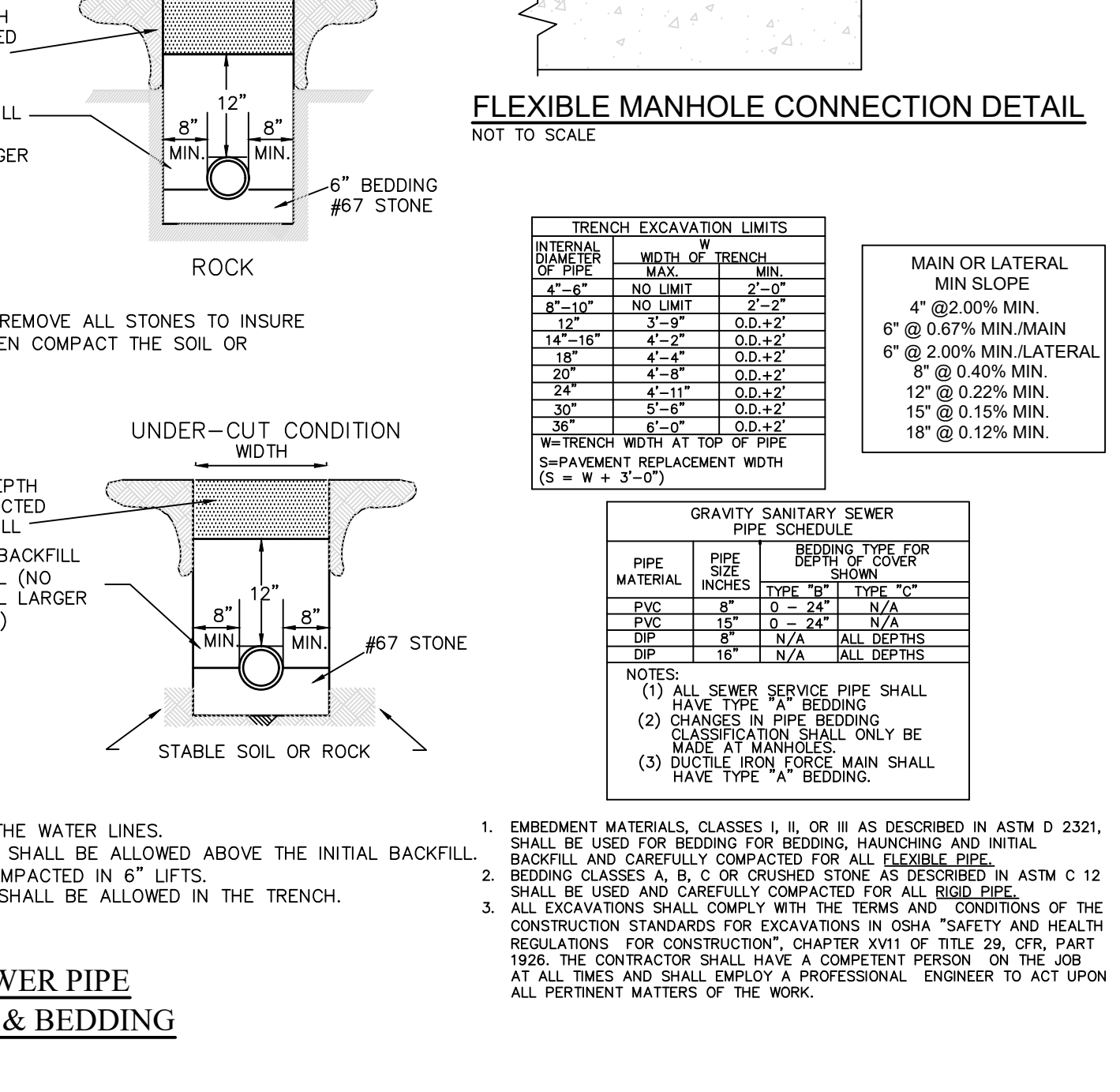
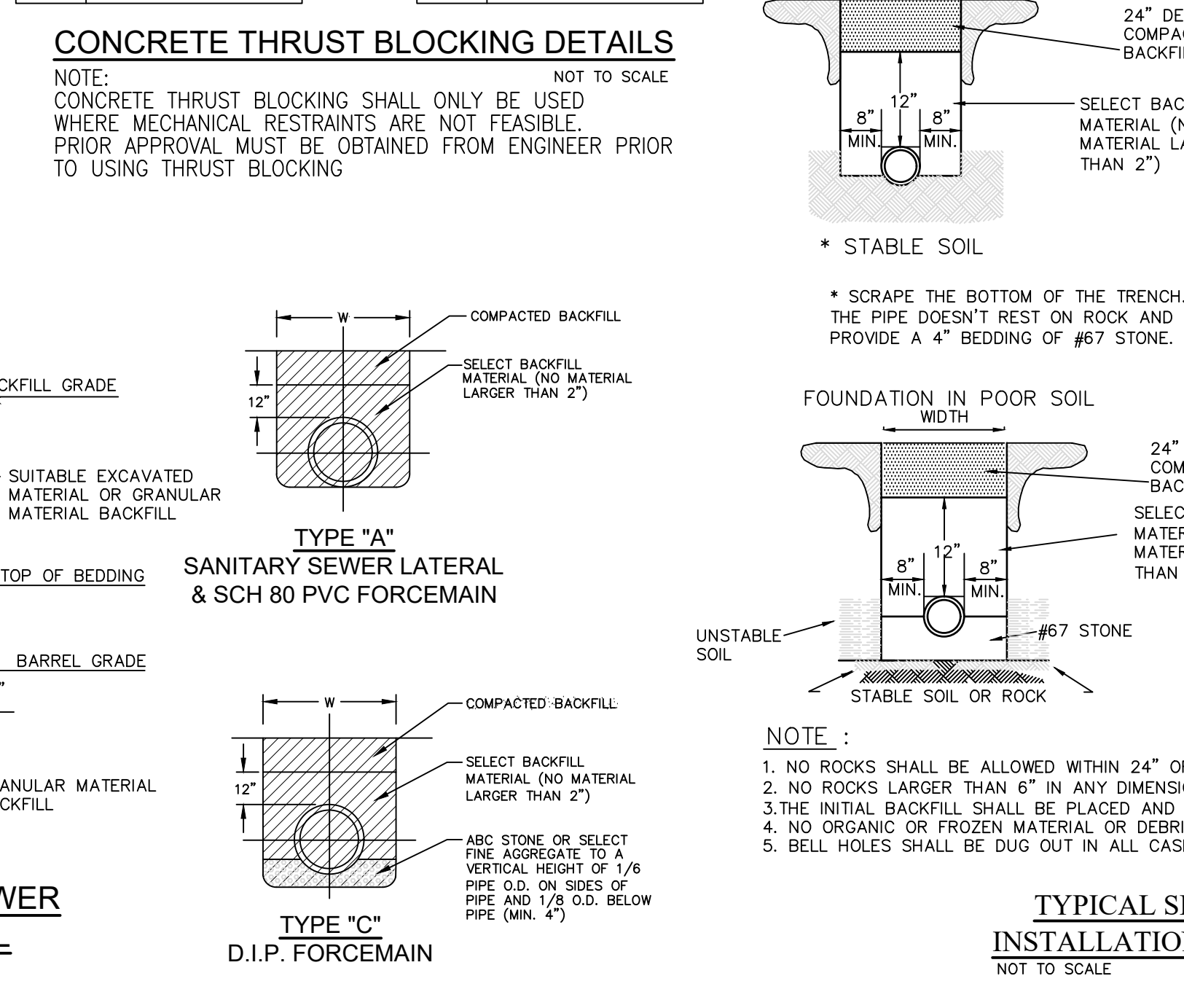
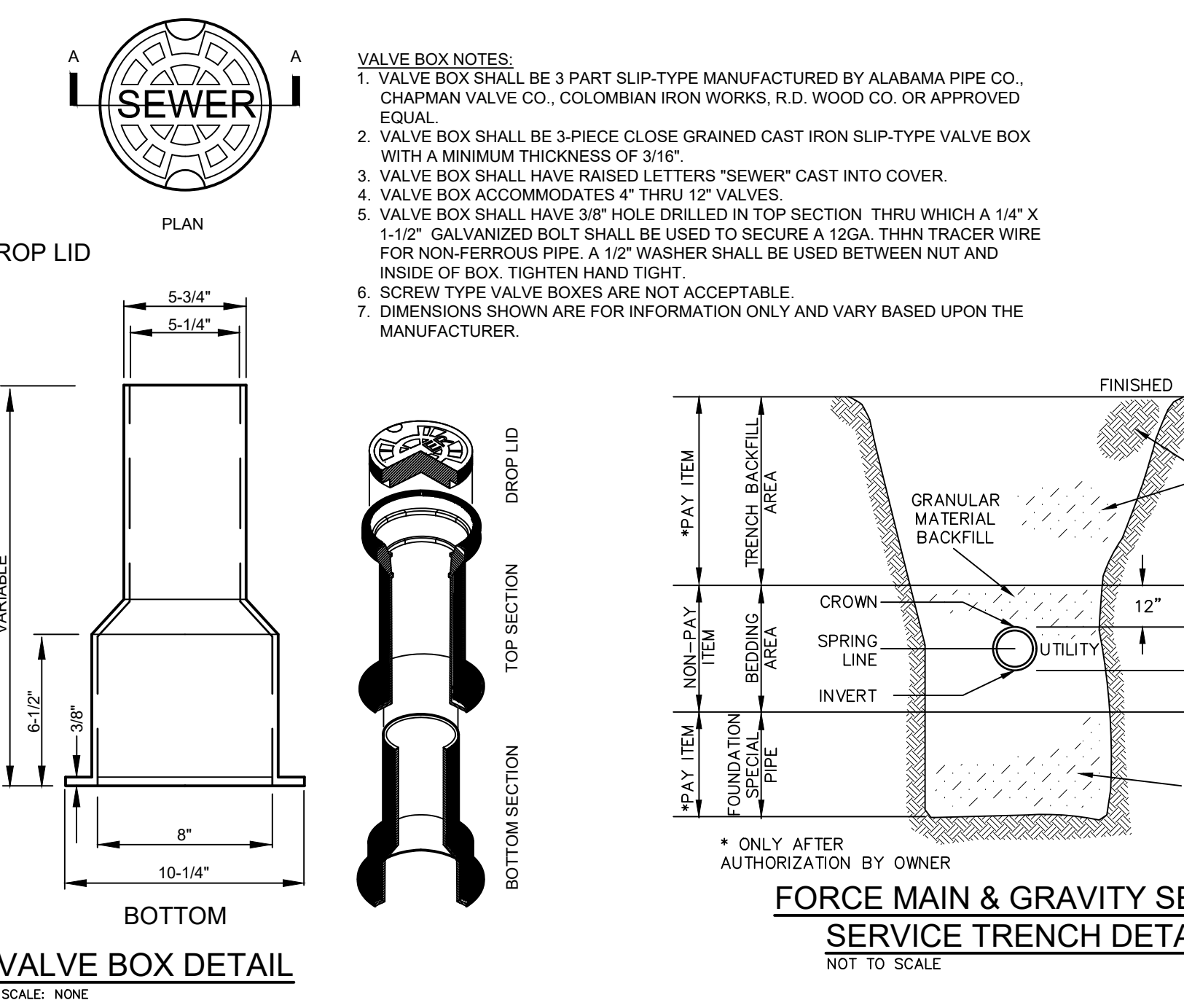
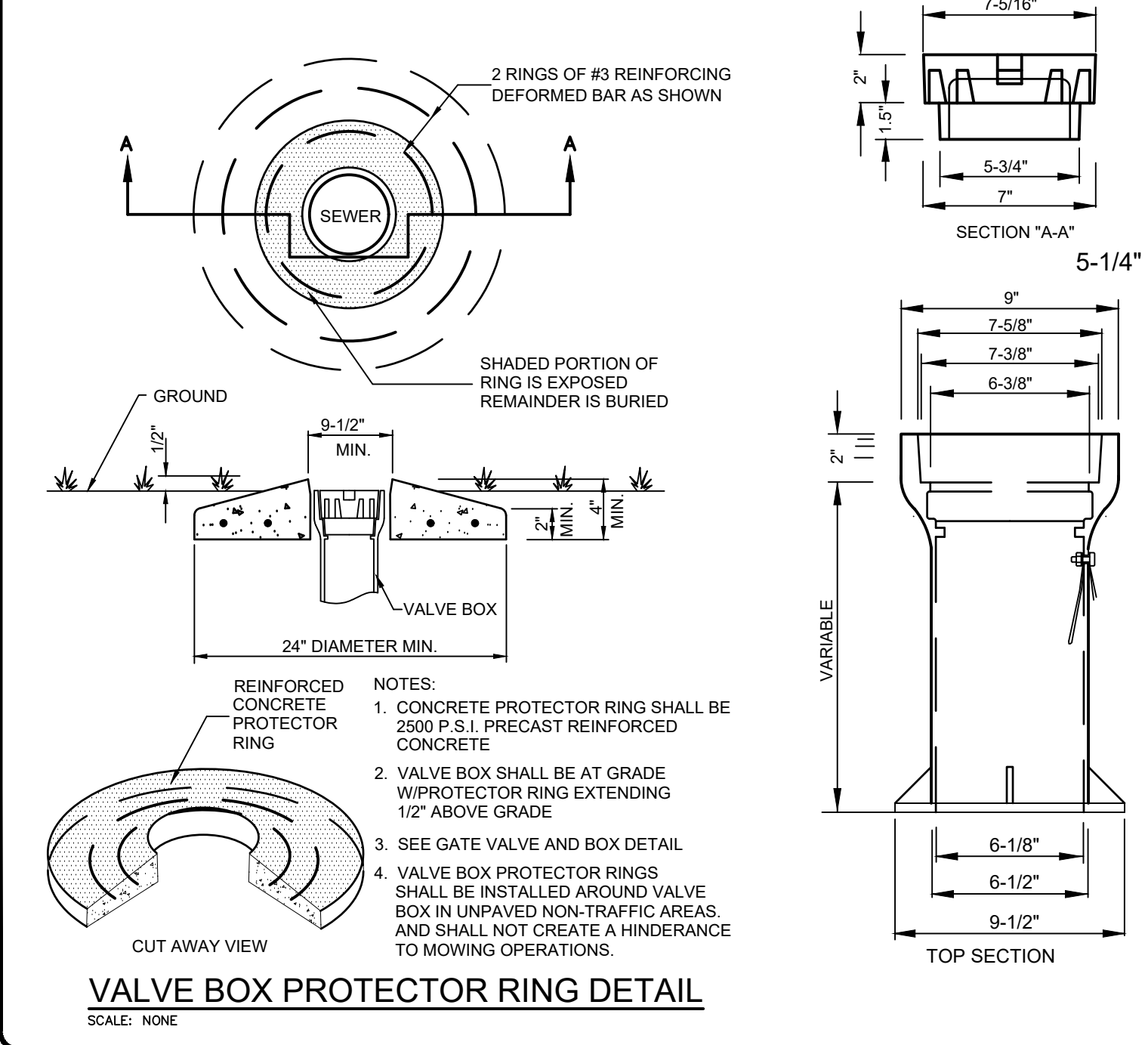
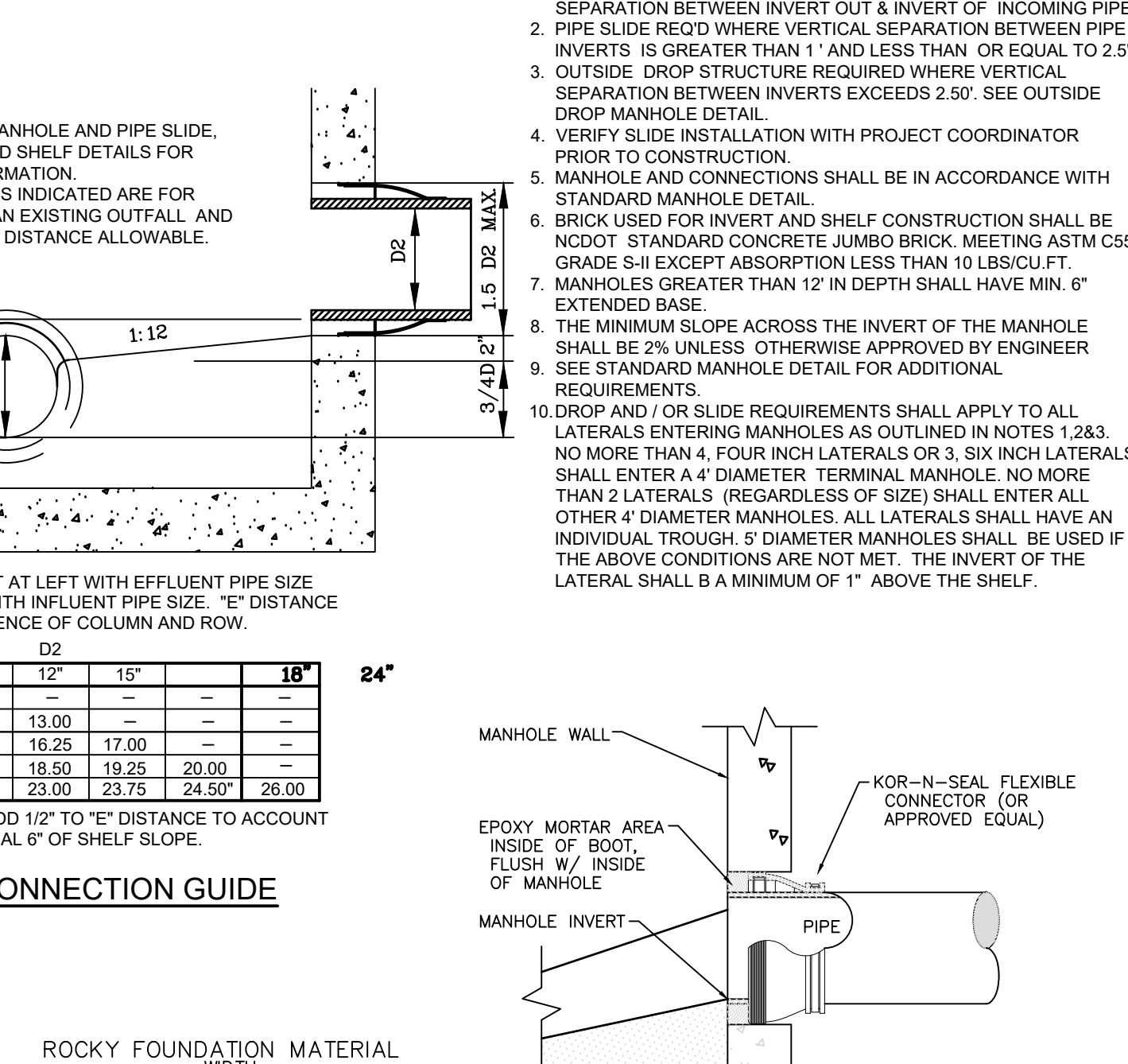
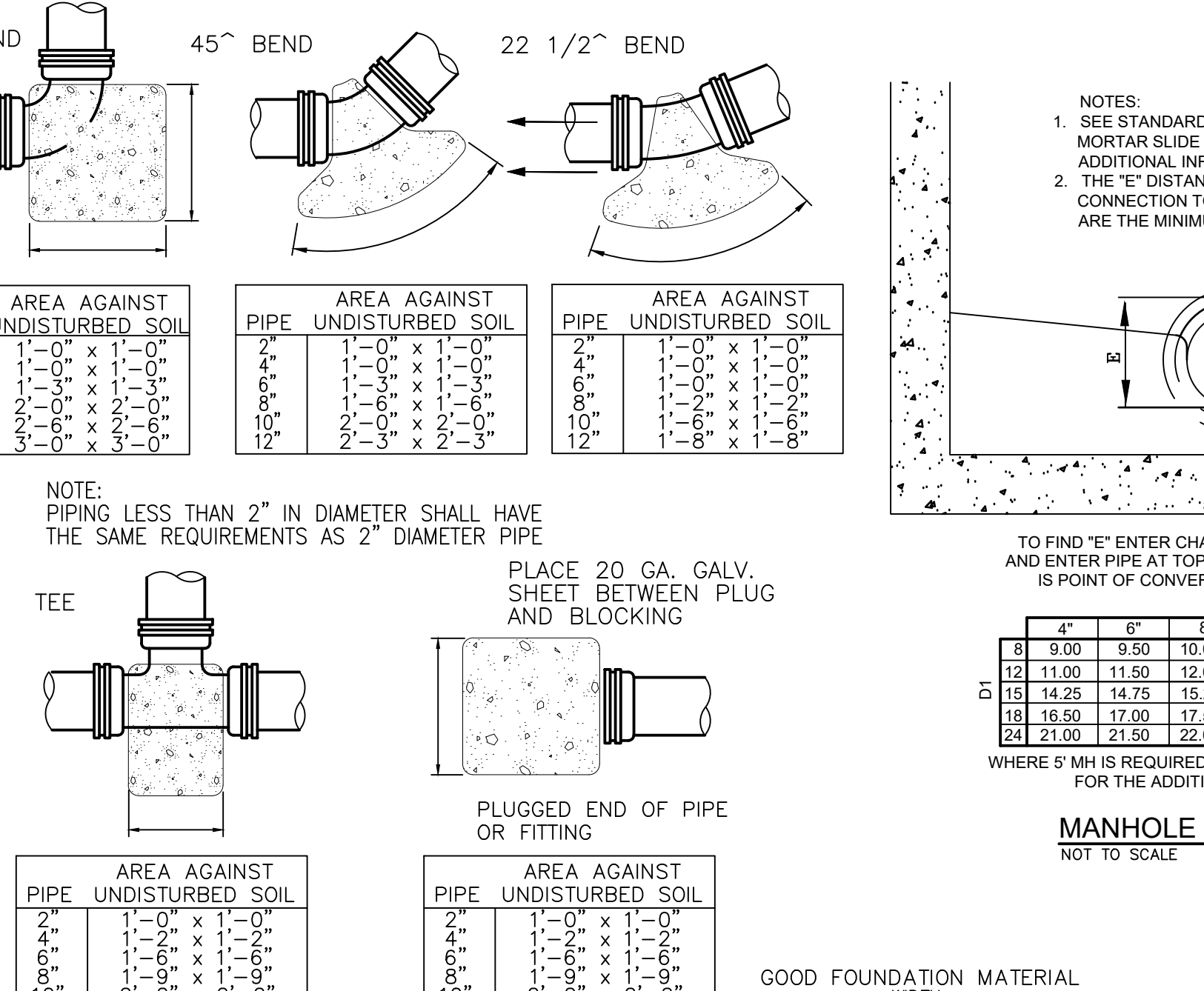
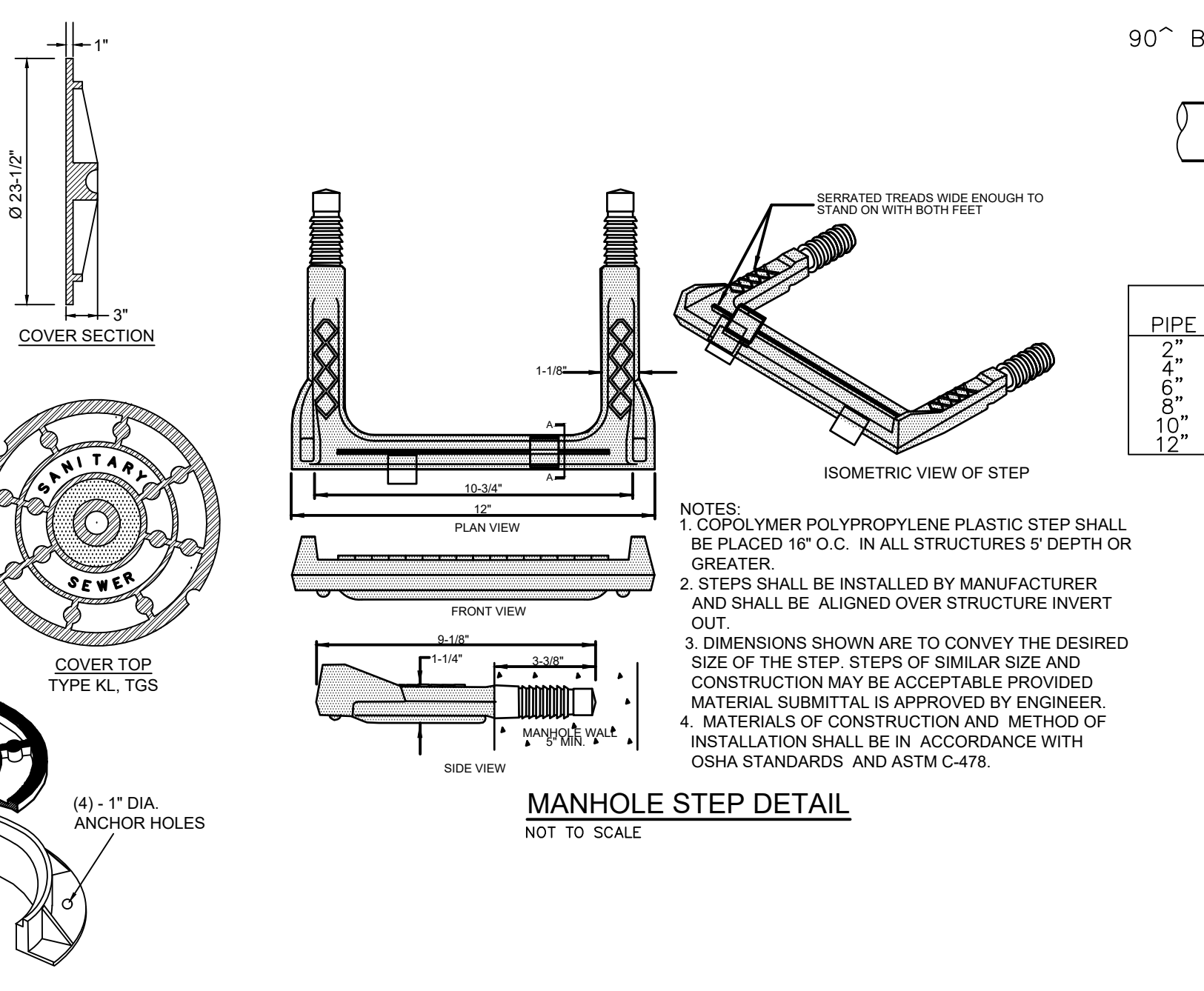
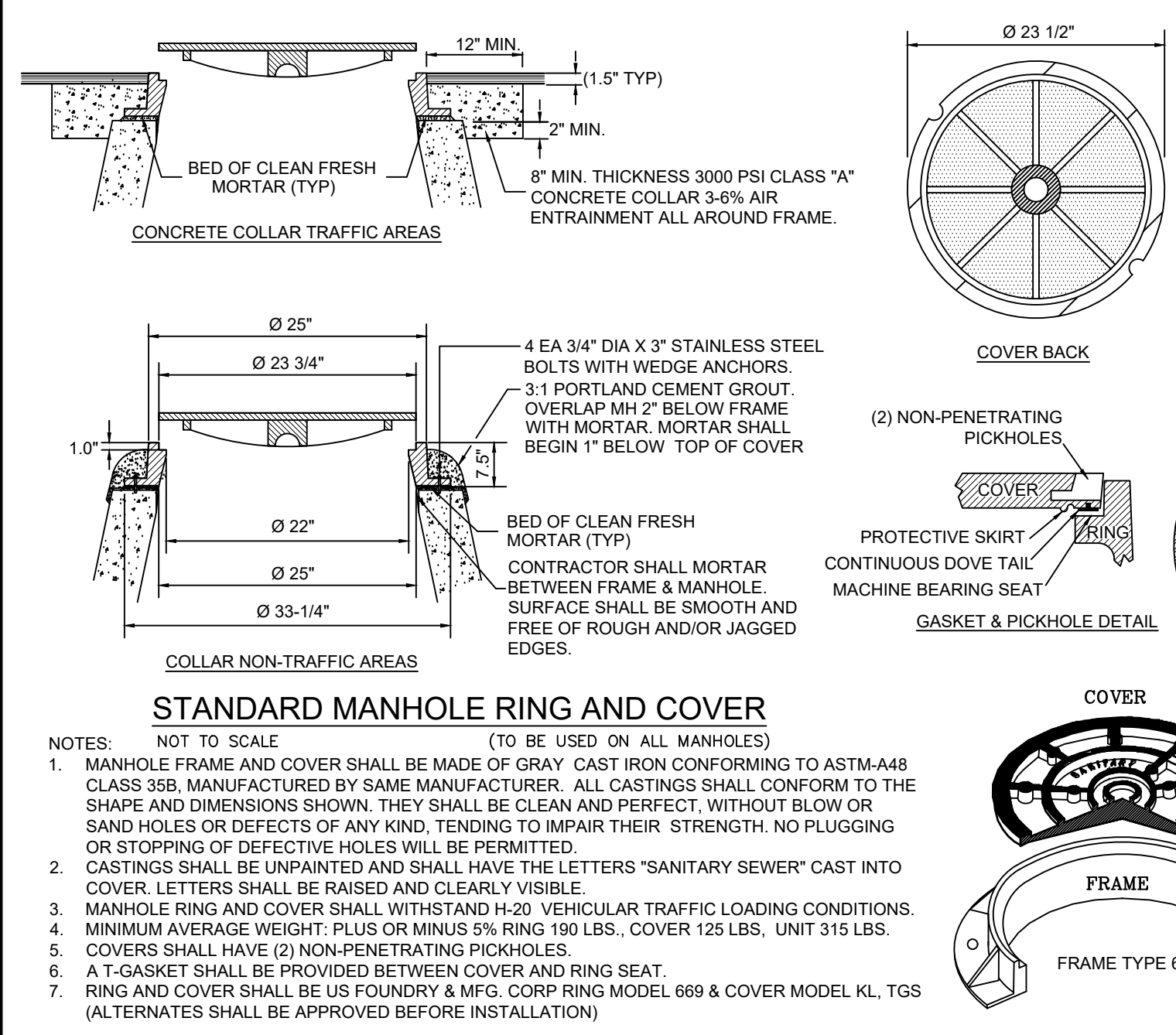
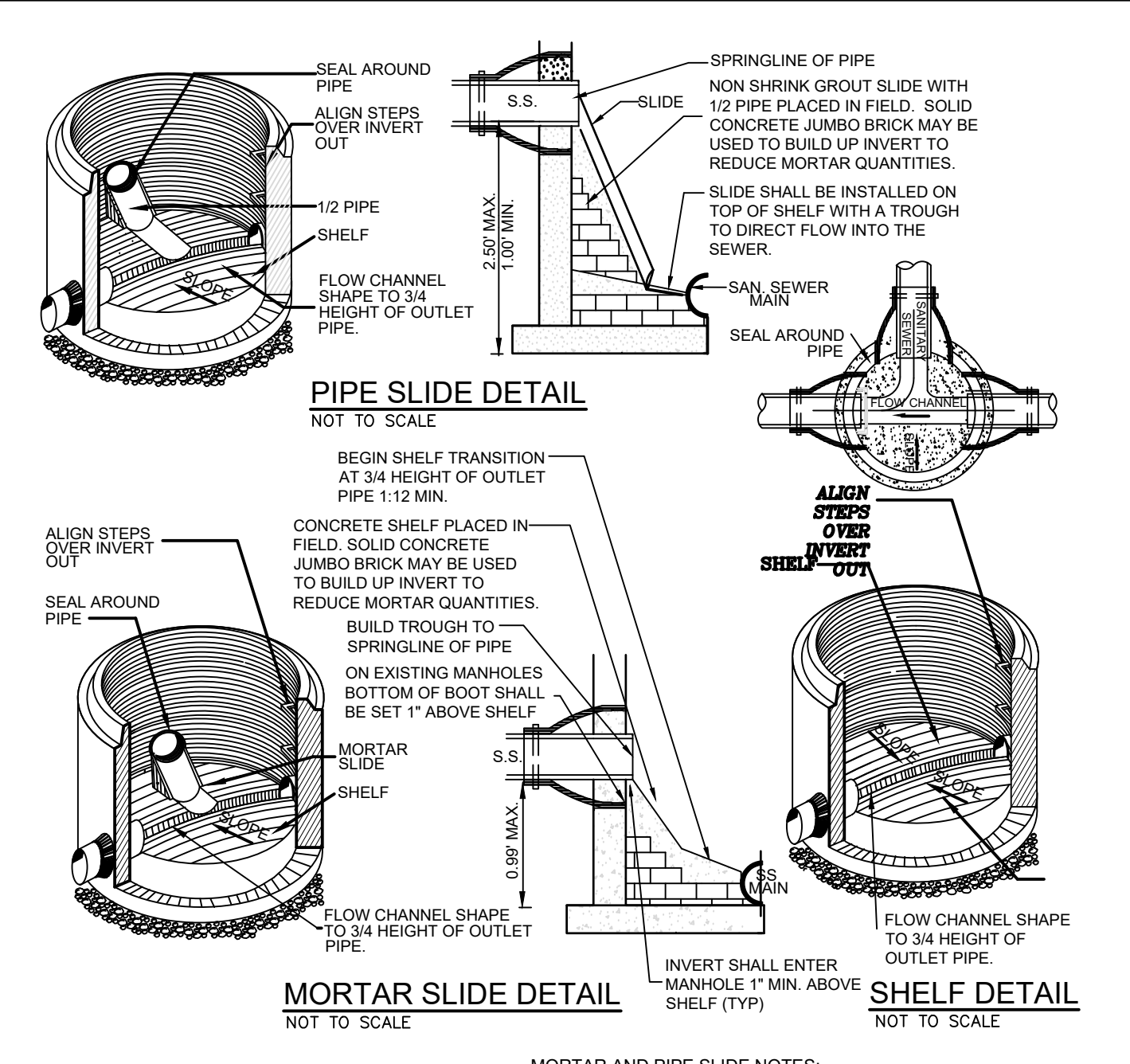
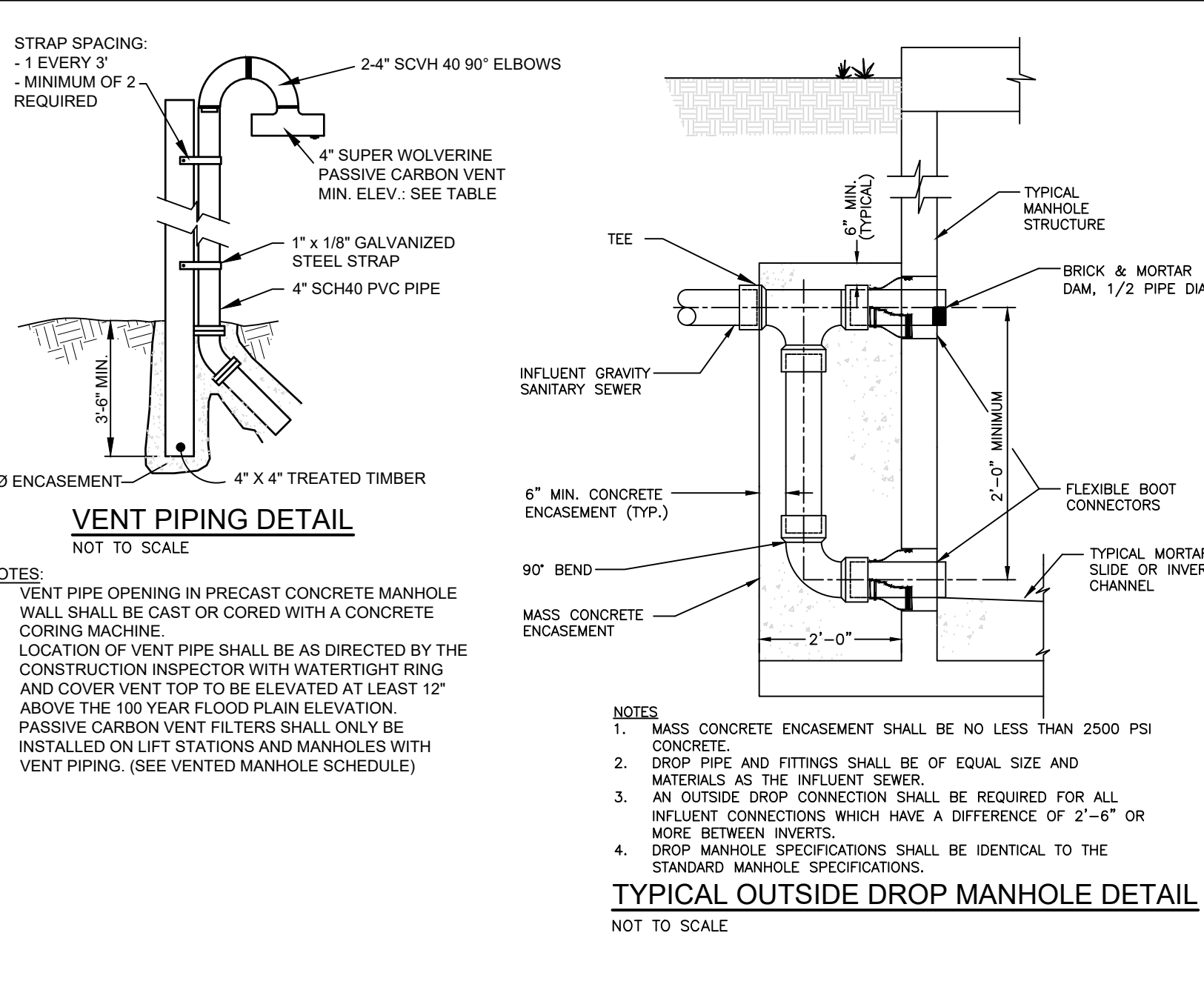
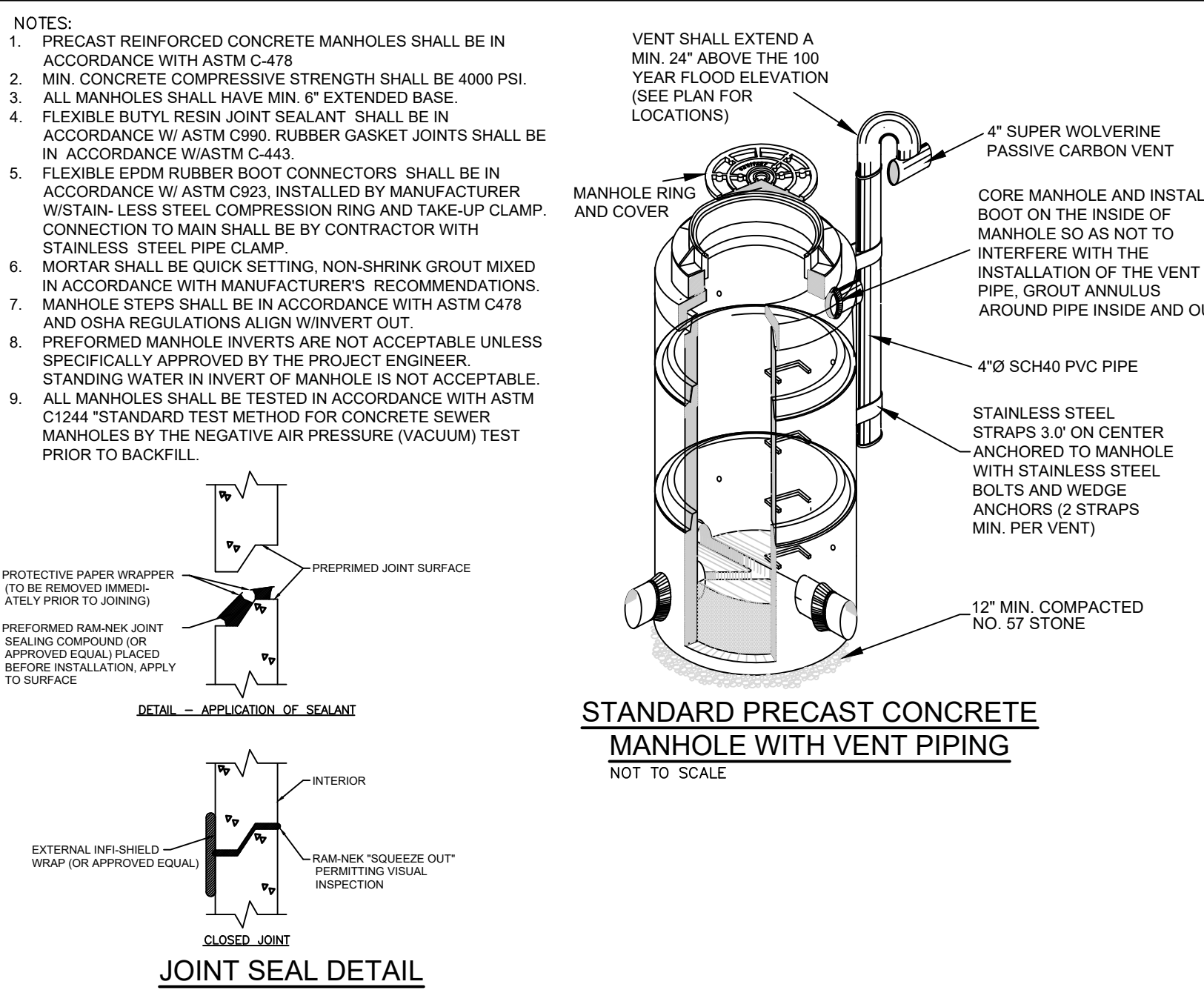
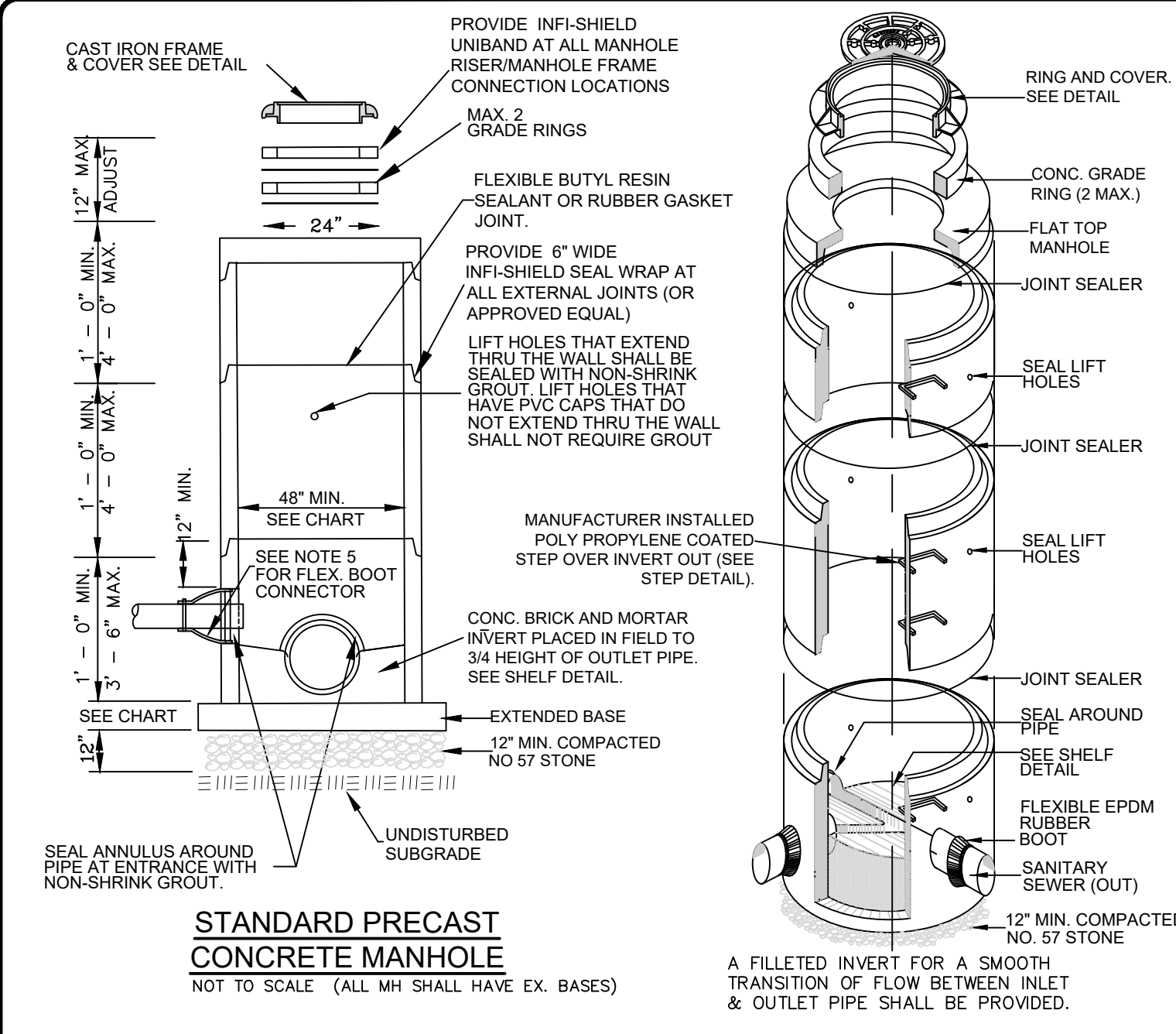
OF 13

CAD FILE: 4651ASB-PH4

PROJECT NO: 4651

BISSELL PROFESSIONAL GROUP
Engineers, Planners, Surveyors
and Environmental Specialists

1101 WEST HARRIS STREET, SUITE 100
WAYNESVILLE, NC 27884
PHONE: 919-851-1100
FAX: 919-851-1101
WWW.BISSELLPG.COM



BRSSELL PROFESSIONAL GROUP
Engineers, Planners, Surveyors and Environmental Specialists

11-06-23 11:30 AM
DATE: 11-06-23 11:30 AM
DRAWN: AKM
CHECKED: KIF
APPROVED: BPG
SHEET: 10 OF 13
CAD FILE: 4651ASB-PH4
PROJECT NO: 4651

THE FOST TRACT PD-R - PHASE 4
NORTH CAROLINA
CURRITUCK COUNTY
MOYOCK TOWNSHIP

RECORD DRAWINGS - PHASE 4

ORDER OF PRECEDENCE GENERAL NOTES/TECHNICAL SPECIFICATIONS

1. THE NOTES CONTAINED HEREIN ARE INTENDED TO SUPPLEMENT THE TECHNICAL SPECIFICATIONS AND PROVIDE EASY REFERENCE FOR THE CONTRACTOR. IN NO CASE SHALL THESE NOTES VOID ANY PART, SECTION OR REQUIREMENT OUTLINED IN THE TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENTS. IF CONFLICTS OCCUR BETWEEN THE TECHNICAL SPECIFICATIONS AND THE NOTES CONTAINED HEREIN, THE TECHNICAL SPECIFICATIONS SHALL SUPERSEDE.

GENERAL NOTES

1. ACCESS TO SITES SHALL BE BY PUBLIC RIGHT-OF-WAYS AND UTILITY EASEMENTS FOR ACCESS LOGS OR REQUIRED SHALL BE SECURED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

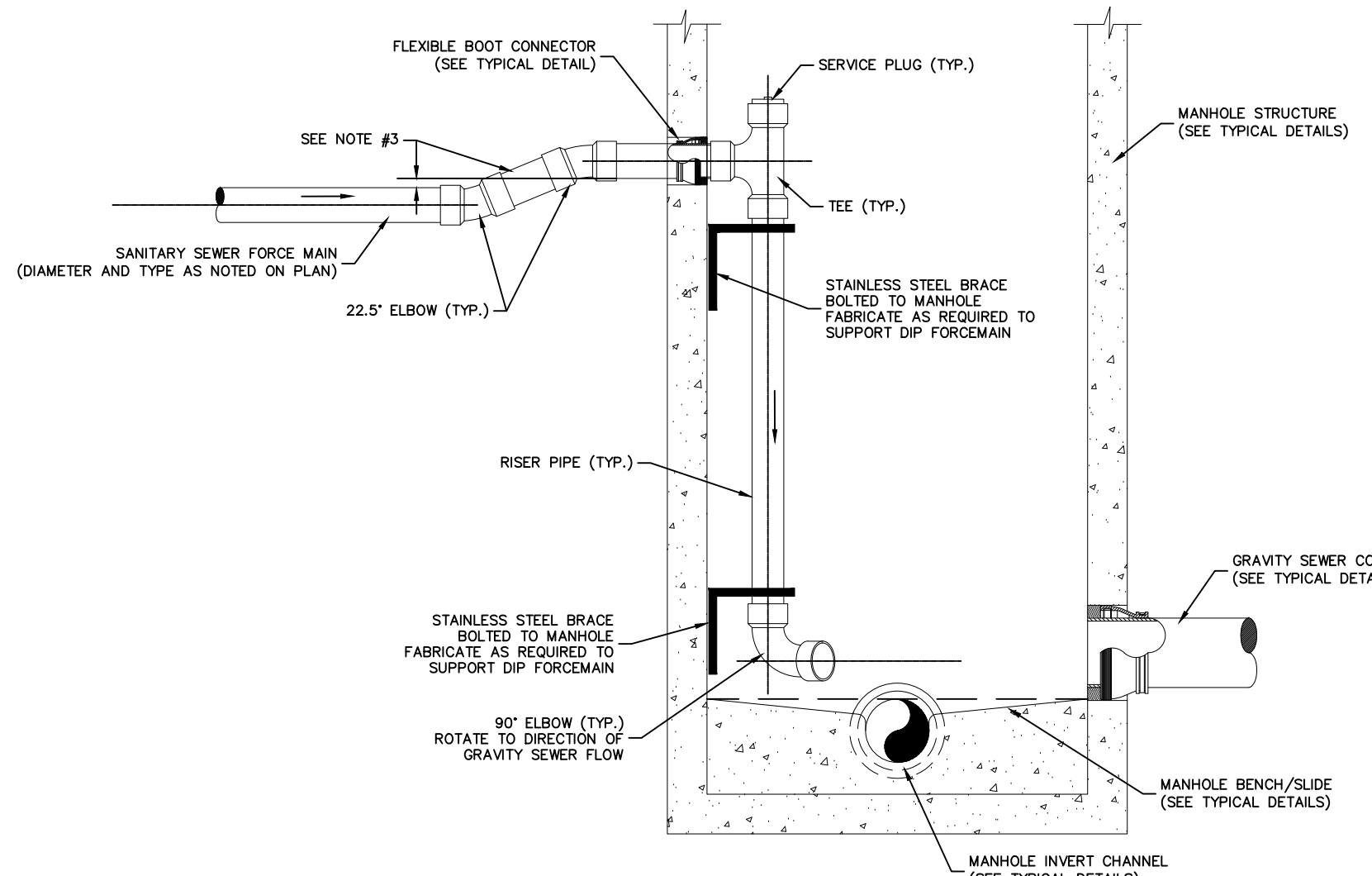
CONSTRUCTION SEQUENCE NOTES

1. PRIOR TO COMMENCEMENT OF ANY WORK WITHIN EASEMENTS OR RIGHTS-OF-WAYS THE CONTRACTOR IS REQUIRED TO NOTIFY CONCERNED UTILITY COMPANIES IN ACCORDANCE WITH GS 87-102.

BE JOINED TOGETHER SUCH THAT THE COMPLETED PIPE WILL HAVE A SMOOTH INVERT. PIPE SHALL BE PUSHED HOME BY HAND. THE USE OF EQUIPMENT (I.E. BACKHOE) SHALL NOT BE PERMITTED.

UTILITY GENERAL NOTES

1. PRIOR TO COMMENCEMENT OF ANY WORK WITHIN EASEMENTS OR RIGHTS-OF-WAYS THE CONTRACTOR IS REQUIRED TO NOTIFY CONCERNED UTILITY COMPANIES IN ACCORDANCE WITH GS 87-102.



TYPICAL MANHOLE W/ FORCE MAIN CONNECTION DETAIL

NOT TO SCALE

- NOTES: 1. PIPE AND FITTINGS SHALL EQUAL SIZE AND TYPE OF FORCE MAIN... 2. MANHOLE SHALL BE IDENTICAL TO STANDARD MANHOLE SPECIFICATIONS... 3. THE INLET PIPE INVERT SHALL BE EQUAL TO OR HIGHER IN ELEVATION THAN THE TOP OF THE FORCE MAIN PRIOR TO THE FIRST 22.5° ELBOW.

THE WORK WITHIN RIGHT OF WAY AREAS MUST BE KEPT IN AN ORDERLY AND NEAT FASHION. NO MATERIAL (SOILS, GRAVEL OR OTHER PROJECT FILL) CAN BE PLACED DIRECTLY ON ANY STREET SURFACE WITHOUT MATTING BEING PUT DOWN FIRST.

5. EXCESS SUITABLE SOIL EXCAVATED DURING CONSTRUCTION SHALL BE STOCKPILED FOR USE ON THE PROJECT OR DISPOSED OF OFF-SITE AS DIRECTED BY THE ENGINEER.

6. CONTRACTOR SHALL PROVIDE MEASURES DURING CONSTRUCTION TO SECURE THE SITE AND EXCAVATION FROM THE GENERAL PUBLIC AND COMPLY WITH ALL OSHA REGULATIONS.

7. CONTRACTOR SHALL REPAIR OR REPLACE DRIVES DISTURBED BY CONSTRUCTION TO EXISTING OR BETTER CONDITIONS.

8. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING WHERE FENCES ARE REMOVED FOR CONSTRUCTION.

9. CONTRACTOR SHALL REPLACE ALL DISTURBED MAILBOXES, SIGNS, ETC. DISTURBED DURING CONSTRUCTION WITHIN 24 HOURS OF DISTURBANCE.

10. CONTRACTOR SHALL PROVIDE SECURITY FENCING, SECURITY GUARD, AND ANY AND ALL OTHER MEASURES CONTRACTOR DEEMS NECESSARY TO PROTECT EQUIPMENT AND MATERIALS STORED ON THE PROJECT.

11. WHERE CONTRACTOR CEASES WORK OPERATIONS FOR A 72 HOUR PERIOD OR LONGER, SUCH AS HOLIDAYS, ETC., THE FOLLOWING SHALL BE ACCOMPLISHED PRIOR TO THE WORK STOPPAGE.

12. CONTRACTOR SHALL SCHEDULE WORK AND MATERIAL DELIVERIES SO THAT STORED MATERIAL QUANTITIES ON THE JOB SITE SHALL BE MINIMIZED.

13. CONTRACTOR SHALL STORE ALL MATERIALS IN THE CONTRACTOR STAGING AREA 72 HOURS PRIOR TO INCORPORATING INTO THE WORK.

14. CLEARING AND GRUBBING SHALL BE RESTRICTED TO PERMANENT EASEMENTS ONLY.

15. WHERE FOUNDATION MATERIAL IS UNSUITABLE, IT SHALL BE EXCAVATED UNTIL A STABLE FOUNDATION IS ACHIEVED.

16. NOT MORE THAN ONE HUNDRED FIFTY FEET (150') OF TRENCH SHALL BE OPENED IN ADVANCE OF THE COMPLETED PIPE LAYING.

17. PIPE SHALL BE LAID TRUE TO LINE AND GRADED WITH BELLS UPSTREAM AND SHALL BE PROTECTED IN ACCORDANCE WITH CURRENT OSHA REGULATIONS.

18. ALL GRAVITY SEWER MAINS, SERVICE LATERALS AND FORCE MAINS SHALL HAVE A MINIMUM COVER OF THREE FEET (3') AS MEASURED FROM TOP OF PIPE TO FINISH GRADE.

2. THE CONTRACTOR SHALL DIG UP EACH UTILITY WHICH MAY CONFLICT WITH CONSTRUCTION 14 DAYS IN ADVANCE TO VERIFY LOCATIONS.

3. ALL SANITARY SEWER & WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE NCDENR-DWQ & NCDENR-PWS.

4. UTILITY SERVICES TO INDIVIDUAL PROPERTIES ARE NOT SHOWN IN THE PROFILES FOR SIMPLICITY OF THE DRAWINGS.

5. CONTRACTOR SHALL COORDINATE WITH UTILITY OWNER AND BE RESPONSIBLE FOR TEMPORARY RELOCATION AND/OR SECURING EXISTING UTILITY POLES AND SIGNS.

6. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS FOR UTILITY CROSSINGS AND REPAIR DAMAGES DUE TO CONSTRUCTION TO THE SATISFACTION OF THE UTILITY INVOLVED.

7. WHERE DEEMED NECESSARY BY THE ENGINEER THAT A SUBSURFACE DRAINAGE SYSTEM IS REQUIRED.

8. STORM DRAINAGE REPAIRS BY CONTRACTOR DUE TO CONSTRUCTION DAMAGE AND JOINTS EXPOSED DURING CONSTRUCTION SHALL BE INSPECTED BY THE OWNER PRIOR TO BACKFILLING.

9. CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIAL AND PERFORM ALL WORK REQUIRED FOR INSTALLATION OF SEWER LINES.

10. ALL CONSTRUCTION OF SANITARY SEWER MAINS AND APPURTENANCES IN THE COLLECTION SYSTEMS SHALL BE IN STRICT ACCORDANCE WITH PLANS AND SPECIFICATIONS PREPARED AS PART OF THE CONTRACT DOCUMENTS.

11. A PRECONSTRUCTION CONFERENCE SHALL BE HELD AT THE COMPLETION OF THE FIELD STAKEOUT WITH THE ENGINEER AND HIS/HER REPRESENTATIVE.

12. PREPARE PHOTOGRAPHIC DOCUMENTATION OF PRE-EXISTING CONDITIONS OF THE PROJECTED CONSTRUCTION ROUTE PRIOR TO COMMENCING WORK.

13. IF ANY DEVIATION IS CONTEMPLATED IN LOCATION OR LINE GRADE OF ANY SEWER, STRUCTURE OR APPURTENANCE AS SHOWN ON THE CONTRACT DRAWINGS.

14. EXCAVATION SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE PLANS.

15. DEWATERING EQUIPMENT SHALL BE SIZED TO MAINTAIN THE TRENCH IN A SATISFACTORY DEWATERED CONDITION.

16. NOT MORE THAN ONE HUNDRED FIFTY FEET (150') OF TRENCH SHALL BE OPENED IN ADVANCE OF THE COMPLETED PIPE LAYING.

17. WHEREVER FOUNDATION MATERIAL IS UNSUITABLE, IT SHALL BE EXCAVATED UNTIL A STABLE FOUNDATION IS ACHIEVED.

18. ALL GRAVITY SEWER MAINS, SERVICE LATERALS AND FORCE MAINS SHALL HAVE A MINIMUM COVER OF THREE FEET (3') AS MEASURED FROM TOP OF PIPE TO FINISH GRADE.

19. PIPE SHALL BE LAID TRUE TO LINE AND GRADED WITH BELLS UPSTREAM AND SHALL BE PROTECTED IN ACCORDANCE WITH CURRENT OSHA REGULATIONS.

EXCEPT AS REQUIRED FOR USE OF A LASER LEVEL, EXPOSED END OF ALL PIPE AND FITTINGS SHALL BE FULLY CLOSED TO PREVENT EARTH, WATER OR OTHER SUBSTANCES FROM ENTERING PIPE.

21. BACKFILL SHALL BEGIN AT THE TOP OF THE STANDARD GRANULAR BEDDING AND SHALL BE PLACED IN SIX INCH (6") LAYERS FOR THE INITIAL ONE FOOT OVER THE PIPE.

22. COMPLETION BEFORE CONNECTING TO AN ACTIVE SYSTEM, THE LEAKAGE TESTS SHALL PROMPTLY FOLLOW INSTALLATION OF WASTEWATER PIPE.

23. CONTRACTOR SHALL FURNISH WEIRS, STAND PIPES, PIPE PLUGS, WATER PRESSURE GAUGES, STOP VALVES, AIR CUMULATORS, VACUUM PUMP, HOSE AND SUCH MATERIALS AND ASSISTANCE AS REQUIRED TO PERFORM THESE TESTS.

24. ACCEPTANCE TESTS SHALL NOT BE MADE UNTIL SANITARY SEWER, MANHOLES AND PROPOSED SEWER SERVICE CONNECTIONS, AS SHOWN ON THE APPROVED SEWER PLANS, HAVE BEEN INSTALLED.

25. CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR MAINTAINING SEWER FLOWS DURING PROJECT TO INCLUDE ANY REQUIRED BY-PASS PUMPING OF WASTEWATER BETWEEN MANHOLES.

26. ONCE ACCEPTANCE AND START OF THE COLLECTION SYSTEM HAS BEEN RECEIVED, THE CONTRACTOR SHALL PROCEED WITH THE ABANDONMENT PROCEDURES OF THE EXISTING WASTEWATER COLLECTION SYSTEM AS DESCRIBED HEREON.

27. THE NOTES CONTAINED HEREIN ARE INTENDED TO SUPPLEMENT THE TECHNICAL SPECIFICATIONS AND PROVIDE EASY REFERENCE FOR THE CONTRACTOR.

TRENCH DEWATERING DURING SEWER LINE INSTALLATION

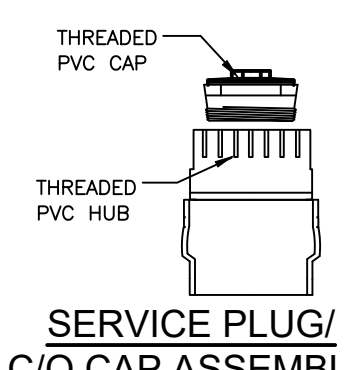
1. ALL GROUND WATER WHICH MAY BE FOUND IN THE TRENCHES AND ANY WATER WHICH MAY GET INTO THEM FROM ANY CAUSE WHATSOEVER SHALL BE PUMPED OR BAILED OUT SO THAT THE TRENCH SHALL BE DRY DURING THE PIPE LAYING PERIOD.

2. IF, DURING ANY TIME THAT CONTRACTOR IS PERMITTED TO LAY PIPE IN A TRENCH CONTAINING UNAVOIDABLE TRENCH WATER AND CONSTRUCTION IS INTERRUPTED FOR ANY REASON.

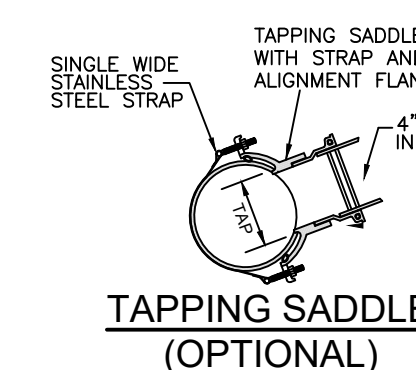
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURES, INCLUDING PIPES AND MANHOLES.

4. COST OF THE NECESSARY PUMPS, WELL POINTS OR OTHER APPURTENANCES REQUIRED TO PREVENT FLOTATION SHALL BE INCLUDED IN THE UNIT PRICES BID IN THE PROPOSAL.

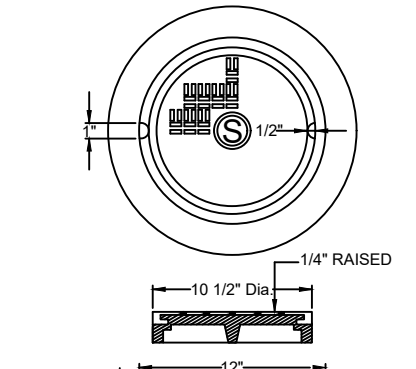
5. CONTRACTOR SHALL PROVIDE AND PLACE ALL NECESSARY FLUMES OR OTHER CHANNELS OF ADEQUATE SIZE TO CARRY TEMPORARILY ALL STREAMS, BROOKS, STORMWATER OR OTHER WATER.



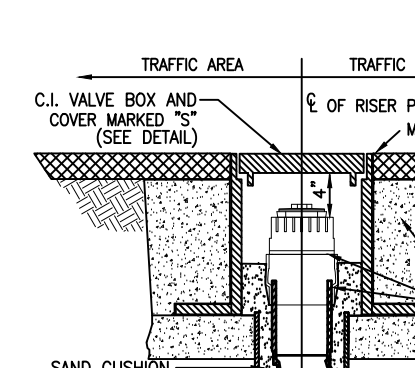
SERVICE PLUG/C/O CAP ASSEMBLY



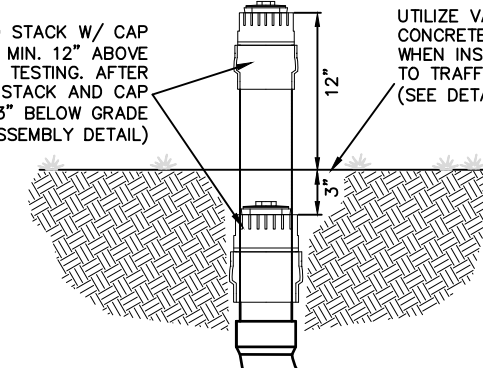
TAPPING SADDLE (OPTIONAL)



CLEANOUT COVER ASSEMBLY (FOR TRAFFIC AREAS)



SEWER SERVICE CLEANOUT (FOR TRAFFIC AREAS)



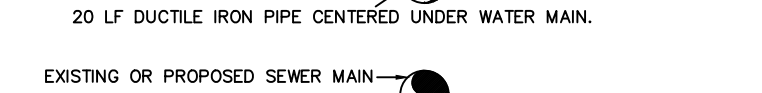
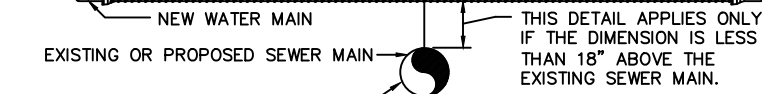
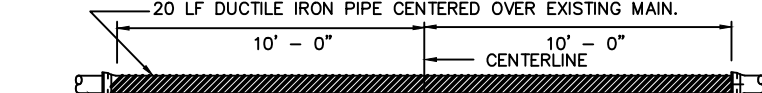
SEWER SERVICE CLEANOUT (FOR NON-TRAFFIC AREAS)

RELATION OF WATER MAINS TO SEWERS

(A) LATERAL WATER MAINS AND WATER MAINS WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS.

(B) CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

(C) CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERRUGINOUS MATERIALS.



WATER CROSSING SEWER DETAIL

4" LATERAL SEWER SERVICE CONNECTION DETAIL

NOT TO SCALE LOCATIONS AS NOTED

SEWER SERVICE LATERAL UTILITY CONFLICT SEPARATION REQUIREMENTS

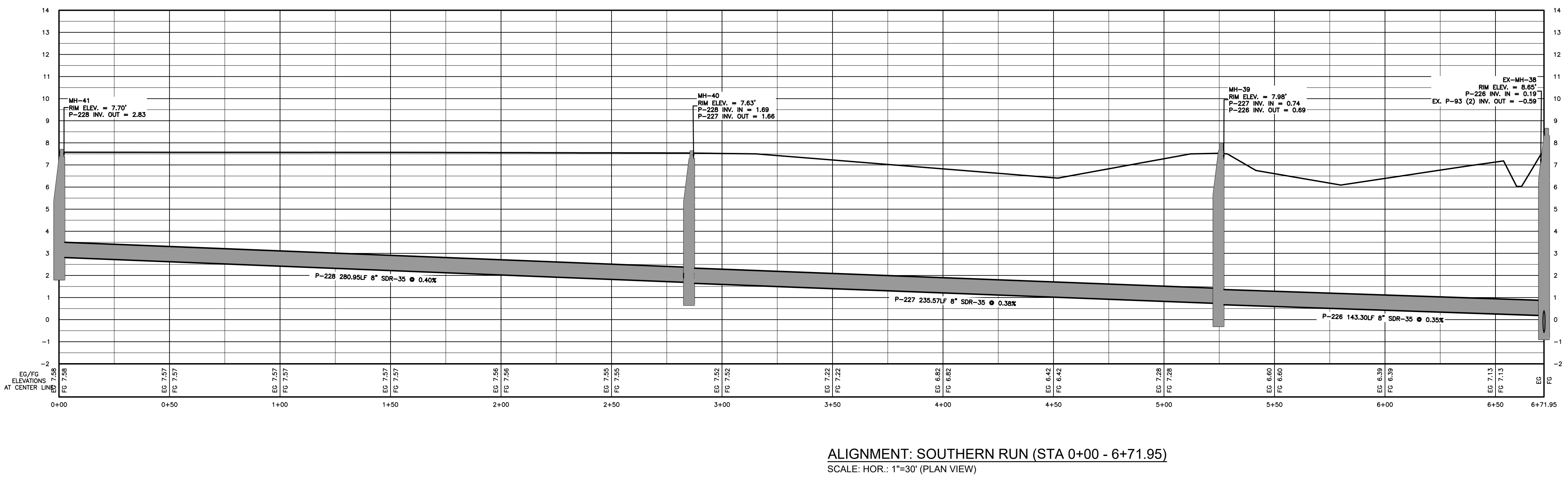
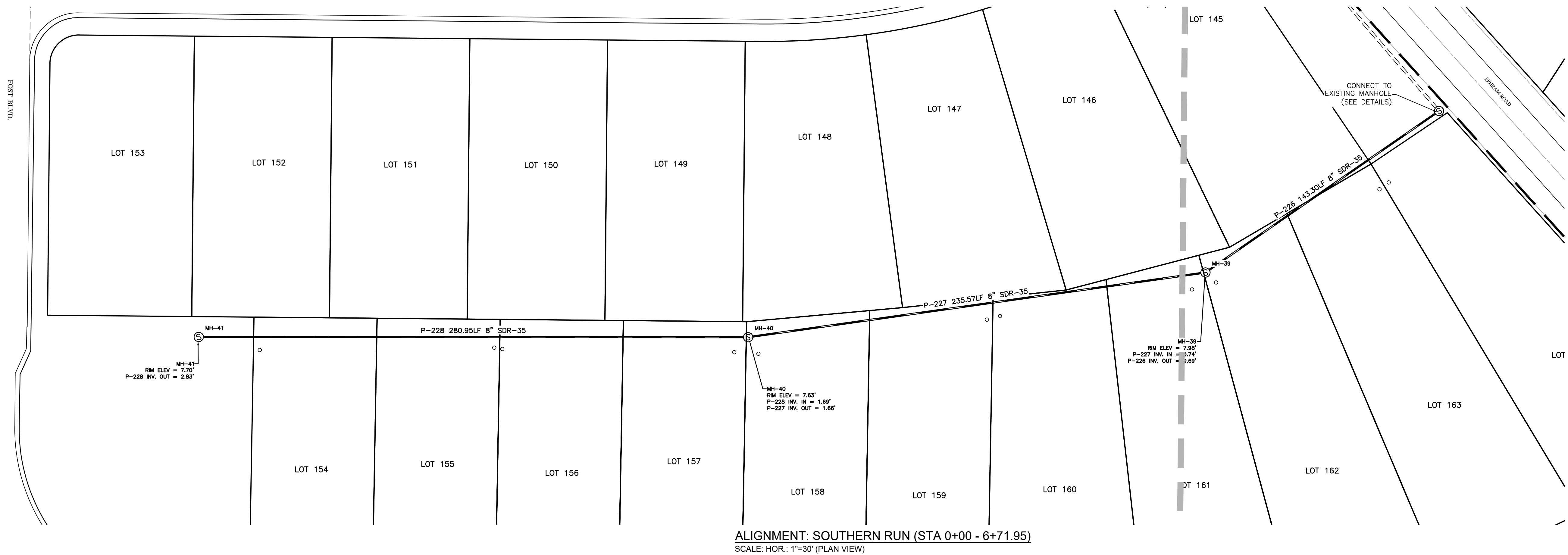
NOT TO SCALE

Vertical text along the left margin containing document information and dates.

Professional Group logo for Russell Professional Group, including contact information and services: Engineers, Planners, Surveyors and Environmental Specialists.

PROJECT INFORMATION: THE POST TRACT PD-R - PHASE 4, NORTH CAROLINA, CURRITUCK COUNTY, MOYOCK TOWNSHIP.

Table with columns for REVISIONS (NO., DATE, DESCRIPTION), DRAWING INFORMATION (DATE, TIME, DRAWN, CHECKED, APPROVED), SHEET INFO (11 OF 13 SHEETS), and CAD FILE (4615ASB-PH4). Includes a signature and date stamp.



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Tel: (828) 251-1760
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BISSELL
PROFESSIONAL GROUP

Engineers, Planners, Surveyors
and Environmental Specialists

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PROJECT: THE FOST TRACT PD-R PHASE 4
CURRITUCK COUNTY
MOYOCK TOWNSHIP
NORTH CAROLINA

SEWER PROFILES

RECORD DRAWINGS - PHASE 4

NO.	DATE	DESCRIPTION

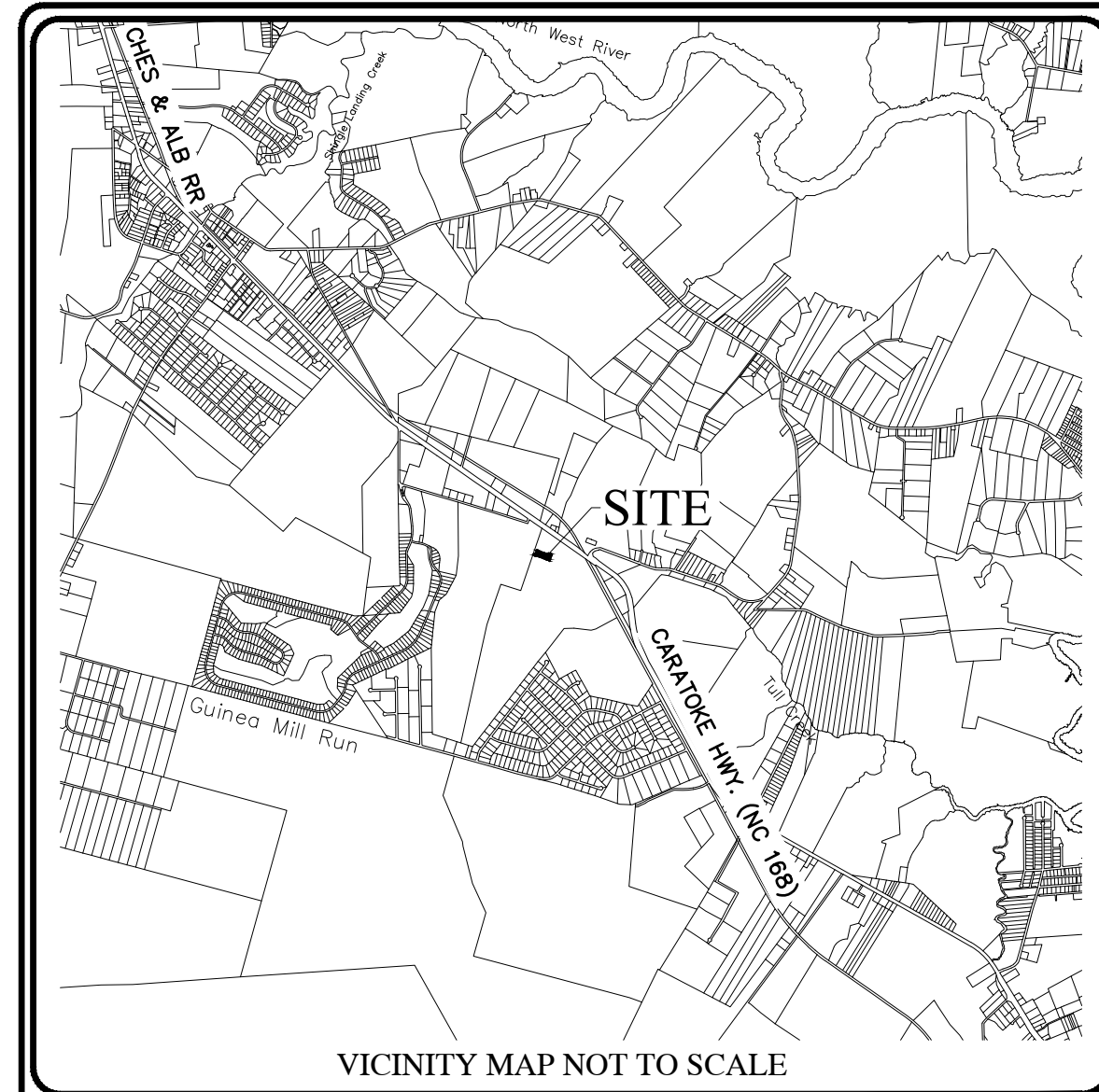
DATE: 11-06-23
DRAWN: AKM
SHEET: 12 OF 13

SCALE: 1"=40', 1"=40'

CHECKED: MSB
APPROVED: BPG

CAD FILE: 4651ASB-PH4
PROJECT NO: 4651

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THE FOST TRACT

MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PHASE 4

FINAL PLAT

GENERAL NOTES:

- PROJECT NAME: THE FOST TRACT
- APPLICANT: MOYOCK DEVELOPMENT, LLC

OWNERS: MOYOCK DEVELOPMENT, LLC
417-D CARATOKE HWY.
MOYOCK, NC 27958
- PROPERTY DATA:
ADDRESS: FOST BLVD., MOYOCK, NC 27958
PARCEL ID: 0015-000-0086-0000
RECORD DOCUMENT(S): D.B.13, PG:E/12; D.B. 1524, PG. 456
ACREAGE: 228.83 ACRES
PROPERTY ZONING: PD-R (PLANNED DEVELOPMENT - RESIDENTIAL)
- F.I.R.M. DATA:
ZONE X PER F.I.R.M. MAP NOS. 3721803100 K, 3721803000 K, & 3721804000 K ALL HAVING AN EFFECTIVE DATE DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- THIS PROPERTY CONTAINS ACOE "404" JURISDICTIONAL WETLANDS AS SHOWN AND CONFIRMED BY USACOE ACTION ID# SAW 2018-00838, DATED APRIL 30, 2018, AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.
- A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES (EXCLUDING TOWNHOME LOTS WHICH HAVE A 15' DRAINAGE & UTILITY EASEMENTS ALONG REAR PROPERTY LINES ADJACENT TO PRIVATE STREETS). EASEMENTS FOR UTILITIES AND DRAINAGE ALONG FRONT PROPERTY LINES AND PEDESTRIAN ACCESS AND STREET TREE EASEMENTS ARE HEREBY PROVIDED PER TYPICAL SECTIONS SHOWN ON SHEET 5.
- A 25' DRAINAGE EASEMENT SHALL BE ESTABLISHED ALONG ALL MAJOR DRAINAGE WAYS SERVING MORE THAN 5 ACRES. A BLANKET DRAINAGE, UTILITY, AND PEDESTRIAN ACCESS EASEMENT IS HEREBY ESTABLISHED ACROSS ALL OPEN SPACE AREAS.
- SECTION 7.6.5 OF THE CURRITUCK U.D.O. SUBSTANTIALLY RESTRICTS DEVELOPMENT WITHIN A 30' RIPARIAN BUFFER.
- ALL UTILITIES ARE TO BE UNDERGROUND.
- THIS SUBDIVISION CONTAINS RIGHTS-OF-WAY THAT ARE PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHTS-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

STORMWATER STATEMENT

NO MORE THAN THE AMOUNT SHOWN ON ATTACHMENT A TO THE RECORDED DECLARATION SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER SW7200202 & 7200203 ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY. CURRENT COVERAGE LIMITATIONS BY LOT NUMBERS ARE: LOTS 1-16 & 38-106, 45%; LOTS 17-37 & 107-113, 60%; LOTS T1-T44, 100%; LOTS 114-120, 60%; LOTS 135-164 45%.

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT

A PAYMENT IN LIEU OF RECREATION AND PARK AREA DEDICATION WILL BE PROVIDED IN ACCORDANCE WITH CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENT IN LIEU OF RECEIVED BY THE COUNTY SHALL BE USED ONLY FOR THE ACQUISITION AND DEVELOPMENT OF RECREATION PARK AREAS, AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF THE NORTH CAROLINA GENERAL STATUTES SECTION 153A-331.

APPROVAL CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE ADMINISTRATOR

REVIEW OFFICER CERTIFICATE

STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK

I, _____
REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE REVIEW OFFICER

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE

I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE DISTRICT ENGINEER

PRIVATE STREETS OWNER CERTIFICATE

I HEREBY CERTIFY THAT THE PRIVATE STREETS SHOWN ON THIS PLAT ARE INTENDED FOR PRIVATE USE AND WILL REMAIN UNDER THE CONTROL, MAINTENANCE AND RESPONSIBILITY OF THE DEVELOPER AND/OR A HOMEOWNER'S ASSOCIATION AND ACKNOWLEDGE THAT SOME PUBLIC SERVICES MAY NOT BE PROVIDED DUE TO THE PRIVATE NATURE OF THE ROAD.

DATE OWNER

DEVELOPMENT NOTES:

TOTAL TRACT AREA:	228.28 AC.
TOTAL AREA PHASE 1A, 1B, 2, 3A & 3B	77.94 AC.
TOTAL AREA PHASE 4:	19.98 AC.
TOTAL AREA PHASE 1A, 1B, 2, 3A,3B & 4	97.92 AC.
TOTAL AREA LOTS IN PHASE 4:	13.23 AC.
PUBLIC R/W TOTAL AREA PHASE 4:	4.37 AC.
PRIVATE R/W AREA PHASE 4:	0.33 AC.
REQUIRED OPEN SPACE PHASE 1A, 1B, 2, 3A, 3B & 4 (30%):	29.37 AC.
OPEN SPACE PROVIDED PHASE 1A, 1B, 2,3A,3B, & 4:	41.87 AC. (42.76%)
# OF PROPOSED LOTS PHASE 3B:	37 LOTS
PROPOSED RIGHT-OF-WAY WIDTH:	40'
PROPOSED PAVED ROADWAY WIDTH:	22'
LINEAR FEET OF ROADWAY PHASE 3A:	3773'
LOT DEVELOPMENT CONFIGURATION:	
LOT AREAS:	VARY FROM 6,905 S.F. TO 14,564 S.F.

SURVEY LEGEND	
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EASEMENT LINE
----	CENTERLINE OF ROADWAY
---	TOP OF BANK
+	SET IRON ROD
O	EXISTING IRON ROD
o	EXISTING IRON PIPE
□	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
(T)	TOTAL
P.C.	PLAT CABINET
SL.	SLIDE
D.B.	DEED BOOK
M.B.	MAP BOOK
P.G.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
---	ADDRESS
P/O	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
O.S.	OPEN SPACE
R/W	RIGHT-OF-WAY

OWNERSHIP AND DEDICATION CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE OWNER

I, _____, A NOTARY PUBLIC

OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

PERSONALLY
APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____

20____

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

REQUIRED IMPROVEMENTS CERTIFICATE

I HEREBY CERTIFY THAT ALL OF THE IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND THAT SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS, EXCEPT THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS MUST BE COMPLETED BY THE 21ST OF AUGUST, 2025 ACCORDING TO THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP. REMAINING IMPROVEMENTS INCLUDE:

- SIDEWALKS & MULTI-USE PATH
- STREET TREES
- FARM BUFFER
- FLORA PORTION OF ROWLAND CREEK IMPROVEMENTS
- PERMANENT STREET SIGNS AND NO PARKING SIGNS
- PAVEMENT MARKINGS

12/14/23
DATE REGISTERED LAND SURVEYOR/ENGINEER

L-1756
REGISTRATION NUMBER

SURVEYOR'S CERTIFICATION

I, MICHAEL D. BARR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN BOOKS REFERENCED); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOKS REFERENCED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 14th

DAY OF DECEMBER, A.D., 2023.

DocuSigned by:

Michael D Barr L-1756
SIGNATURE

Sheet Number	Sheet Title
1	COVER
2	OVERALL
3	LOT LAYOUT
4	LOT LAYOUT
5	DETAILS

Bissell Professional Group
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BISSELL
PROFESSIONAL GROUP
Engineers, Planners, Surveyors
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THE FOST TRACT PD-R
PHASE 4

CURRITUCK COUNTY NORTH CAROLINA

FINAL SUBDIVISION PLAT

MOYOCK TWP.

REVISIONS	
NO.	DATE/DESCRIPTION



DATE:		SCALE:	
11-09-2023		AS SHOWN	
DESIGNED:		CHECKED:	
		MSB	
DRAWN:		APPROVED:	
		MSB	
SHEET:			
1		OF 5	
CAD FILE:			
465100FP-PH4-2			
PROJECT NO:			
4651			

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C-PB	11.52'	50.00'	11.50'	S28° 05' 45"W	13°12'15"
C1	118.97'	120.28'	114.18'	S47° 37' 33"W	56°40'33"
C2	171.08'	120.28'	157.02'	S21° 27' 43"E	81°29'55"
C3	74.45'	120.28'	73.27'	S89° 07' 04"E	35°28'00"
C4	112.81'	180.00'	110.97'	S89° 20' 19"E	35°54'31"
C5	249.46'	363.00'	244.58'	N88° 55' 42"E	39°22'29"
C6	320.23'	500.00'	314.78'	S89° 12' 57"E	36°41'44"
C7	112.36'	150.30'	109.76'	S54° 32' 41"W	42°49'56"
C9	19.76'	15.00'	18.36'	N70° 52' 15"E	75°29'24"
C10	20.03'	15.00'	18.57'	N33° 08' 08"W	76°29'51"
C11	130.70'	150.28'	126.62'	S19° 48' 06"E	49°50'00"
C13	16.58'	15.00'	15.75'	N13° 03' 05"W	63°20'02"
C14	23.56'	15.00'	21.21'	N63° 36' 57"E	90°00'00"
C15	23.56'	15.00'	21.21'	N26° 23' 03"W	90°00'00"
C16	23.56'	15.00'	21.21'	N63° 36' 57"E	90°00'00"
C17	23.56'	15.00'	21.21'	N26° 23' 03"W	90°00'00"
C18	85.69'	108.00'	83.46'	N41° 20' 43"E	45°27'32"
C19	84.24'	103.00'	81.92'	S40° 38' 35"W	46°51'46"
C20	58.36'	108.00'	57.65'	N32° 41' 34"E	30°57'43"
C21	58.36'	108.00'	57.65'	N72° 57' 45"W	30°57'43"
C22	118.72'	103.00'	112.26'	N89° 29' 55"E	66°02'24"
C23	99.25'	108.00'	95.79'	S82° 48' 19"W	52°39'12"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C24	333.04'	520.00'	327.38'	S89° 12' 57"E	36°41'44"
C25	22.12'	15.00'	20.17'	N66° 09' 27"W	84°28'50"
C26	65.97'	180.00'	65.61'	N13° 25' 02"W	21°00'02"
C27	51.47'	90.28'	50.77'	N87° 42' 16"W	32°39'49"
C28	232.16'	90.28'	173.27'	S2° 17' 23"W	147°20'52"
C29	55.88'	90.28'	54.99'	S89° 07' 04"E	35°28'00"
C30	34.92'	150.28'	34.84'	N79° 48' 21"E	13°18'51"
C31	35.24'	150.28'	35.16'	S86° 49' 10"E	13°26'08"
C32	22.86'	150.28'	22.84'	S75° 44' 34"E	8°43'02"
C33	23.56'	15.00'	21.21'	S63° 36' 57"W	90°00'00"
C34	23.56'	15.00'	21.21'	S26° 23' 01"E	89°59'55"
C35	2.04'	165.00'	2.04'	S71° 44' 18"E	0°42'28"
C36	103.43'	165.81'	101.76'	S89° 17' 50"E	35°44'20"
C37	40.00'	195.00'	39.93'	N78° 37' 00"E	11°45'14"
C38	40.00'	195.00'	39.93'	S89° 37' 49"E	11°45'09"
C39	39.39'	195.00'	39.33'	S77° 57' 59"E	11°34'30"
C40	2.70'	195.00'	2.70'	S71° 46' 54"E	0°47'41"
C41	23.56'	15.00'	21.21'	S63° 36' 49"W	89°59'45"
C42	23.56'	15.00'	21.21'	S26° 23' 03"E	90°00'00"
C43	63.99'	338.00'	63.90'	S76° 48' 29"E	10°50'52"
C44	70.62'	338.00'	70.49'	S88° 13' 03"E	11°58'15"
C45	70.95'	338.00'	70.82'	N79° 47' 01"E	12°01'37"

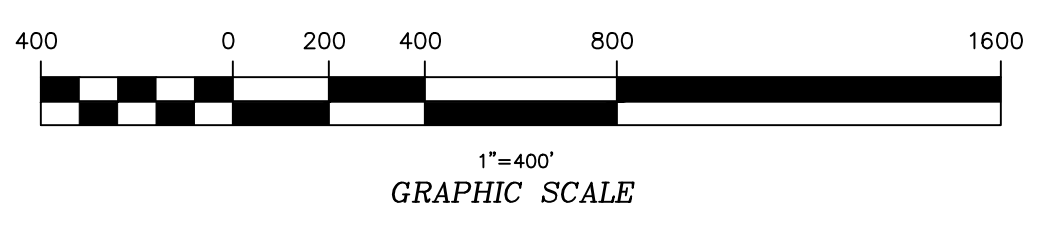
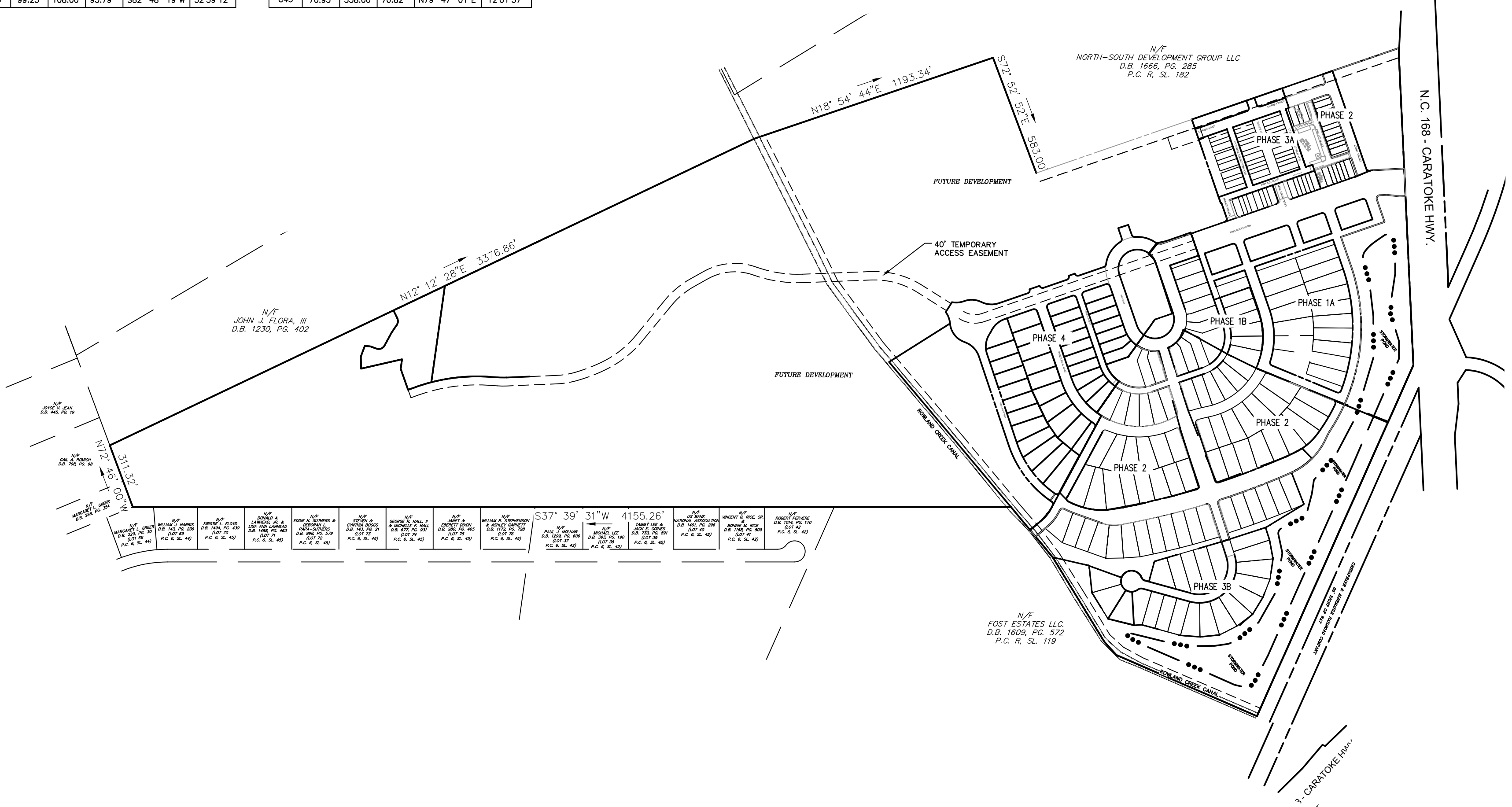
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C46	25.34'	338.00'	25.33'	N71° 37' 21"E	4°17'43"
C47	22.26'	15.00'	20.27'	N66° 25' 34"W	85°01'04"
C48	13.40'	388.00'	13.40'	N72° 03' 16"E	1°58'45"
C49	61.72'	388.00'	61.65'	N77° 36' 04"E	9°06'50"
C50	61.86'	388.00'	61.80'	N86° 43' 32"E	9°08'07"
C51	61.86'	388.00'	61.80'	S84° 08' 21"E	9°08'07"
C52	55.44'	388.00'	55.40'	S75° 28' 41"E	8°11'15"
C53	23.56'	15.00'	21.21'	S63° 36' 57"W	90°00'00"
C54	85.69'	108.00'	83.46'	S4° 06' 49"E	45°27'32"
C55	15.51'	103.00'	15.50'	N22° 31' 44"W	8°37'42"
C56	77.00'	108.00'	75.38'	S38° 38' 23"E	40°51'00"
C57	22.25'	108.00'	22.21'	S64° 57' 59"E	11°48'12"
C58	76.10'	480.00'	76.02'	S75° 24' 37"E	9°05'03"
C59	77.33'	480.00'	77.24'	S84° 34' 03"E	9°13'49"
C60	79.72'	480.00'	79.63'	N86° 03' 33"E	9°30'59"
C61	74.26'	480.00'	74.19'	N76° 52' 07"E	8°51'53"
C62	25.23'	15.00'	22.36'	N24° 15' 34"E	96°21'13"
C63	19.26'	120.28'	19.24'	S66° 47' 52"E	9°10'23"
C64	7.57'	520.00'	7.57'	N72° 01' 09"E	0°50'03"

DEVELOPMENT STANDARDS & SETBACKS				
STYLE	TND T.H.	TND S.F.	CONV. S.F.	LOT
	LOT	LOT	LOT	LOT
MIN. LOT SIZE	1,800 SF	6,900 SF	9,500 SF	
TYPICAL LOT SIZE	1,800 - 3,000 SF	7,000 - 9,000 SF	10,000 - 15,000 SF	
MIN. LOT WIDTH	20'	35'	35'	
TYPICAL LOT WIDTH	20'-25'	50'-60'	62'	
FRONT SETBACK	15'	20'	20'	
SIDE SETBACK	0	10'	10'	
REAR SETBACK	20'	20'	25'	
CORNER SIDE SETBACK	15'	15'	15'	
MAXIMUM SETBACK	25'	75'	140'	
MAXIMUM HEIGHT	35'	35'	35'	
MAXIMUM BUILDING SIZE	16,000 SF	N/A	N/A	
MAXIMUM LOT COVERAGE	100%	60%	45%	



NC NAD 83(2011) GRID NORTH

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PROJECT:
THE FOST TRACT PD-R
PHASE 4
 CURRITUCK COUNTY NORTH CAROLINA
 MOYOCK TWPSP.

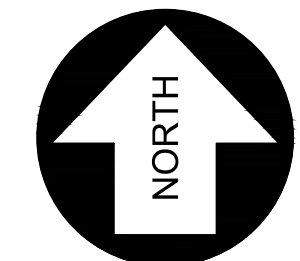
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NO.	DATE DESCRIPTION BY

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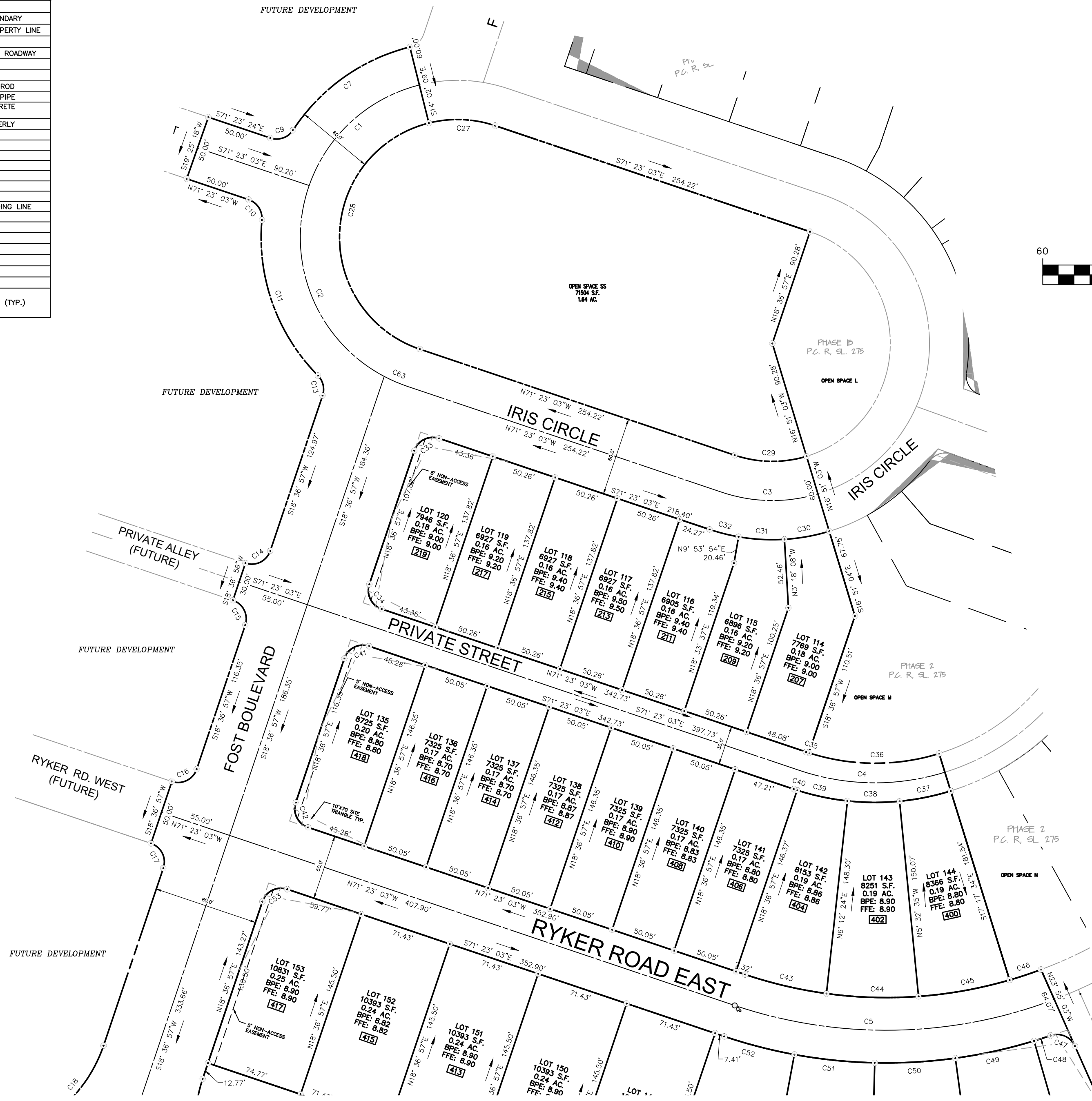
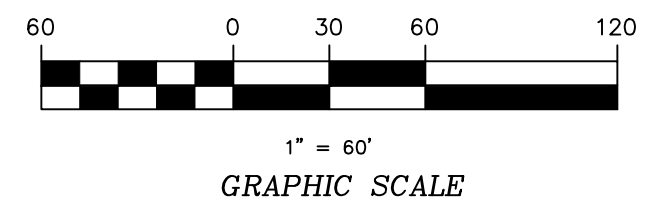
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DESIGNED:		CHECKED:	
DRAWN:	AKM	APPROVED:	MSB
SHEET: 2 OF 5			
CAD FILE: 465100FP-PH4-2			
PROJECT NO: 4651			

SURVEY LEGEND	
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE OF ROADWAY
---	TOP OF BANK
+	SET IRON ROD
○	EXISTING IRON ROD
□	EXISTING IRON PIPE
□	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
P.C.	PLAT CABINET
SL	SLIDE
D.B.	DEED BOOK
M.B.	MAP BOOK
P.G.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
123	ADDRESS
P/O	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
O.S.	OPEN SPACE
R/W	RIGHT-OF-WAY
▽	SITE TRIANGLES (TYP.)



NC NAD 83(2011) GRID NORTH



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THE FOST TRACT PD-R
 PHASE 4
 FINAL SUBDIVISION PLAT

CURRITUCK COUNTY NORTH CAROLINA
 MOYOCK TOWNSHIP

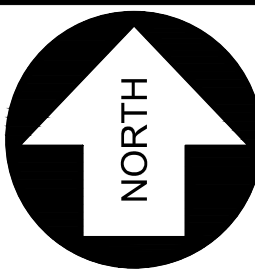
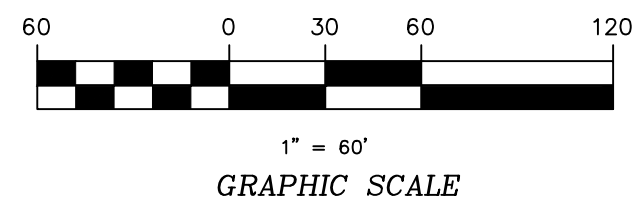
NO.	DATE	DESCRIPTION	BY

DocuSigned by:

 MICHAEL W. CAMPBELL
 SURVEYOR
 L-1750

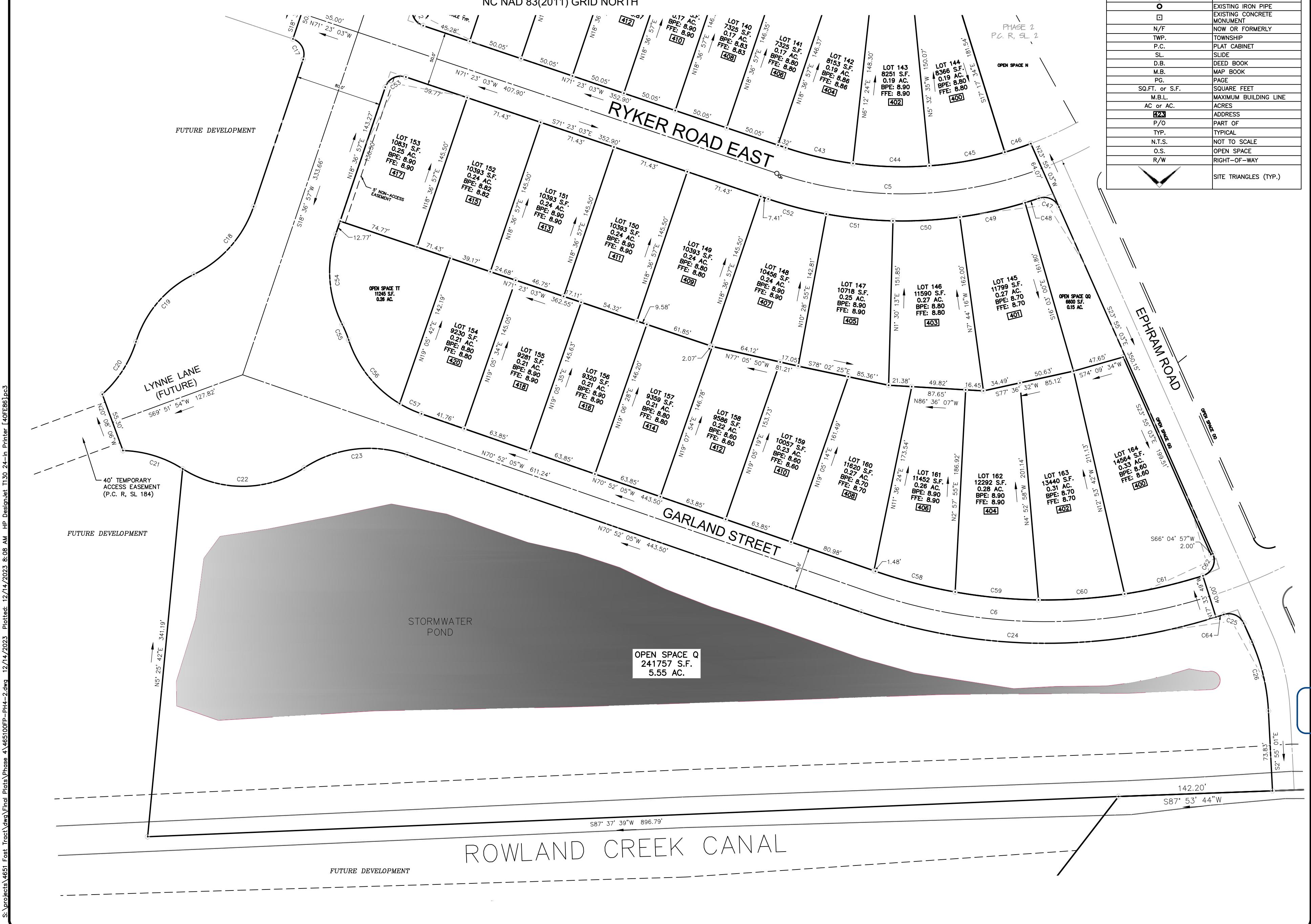
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SHEET:	3 OF 5		
CAD FILE:	465100FP-PH4-2		
PROJECT NO:	4651		

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NC NAD 83(2011) GRID NORTH

SURVEY LEGEND	
	RIGHT-OF-WAY
	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	EASEMENT LINE
	CENTERLINE OF ROADWAY
	TOP OF BANK
	SET IRON ROD
	EXISTING IRON ROD
	EXISTING IRON PIPE
	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
P.C.	PLAT CABINET
SL	SLIDE
D.B.	DEED BOOK
M.B.	MAP BOOK
PG.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
472	ADDRESS
P/O	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
O.S.	OPEN SPACE
R/W	RIGHT-OF-WAY
	SITE TRIANGLES (TYP.)



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PROJECT: **THE FOST TRACT PD-R PHASE 4**
NORTH CAROLINA
CURRITUCK COUNTY
MOYOCK TWP.
FINAL SUBDIVISION PLAT

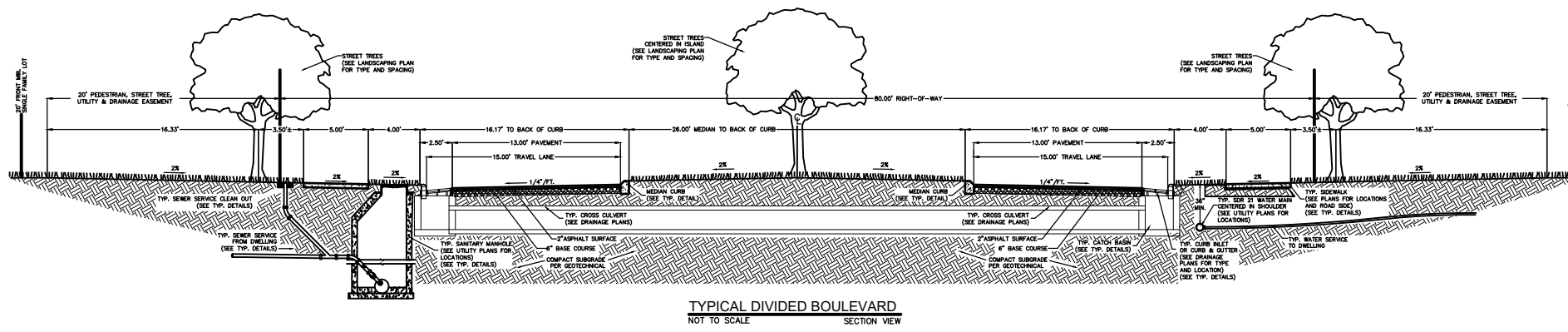
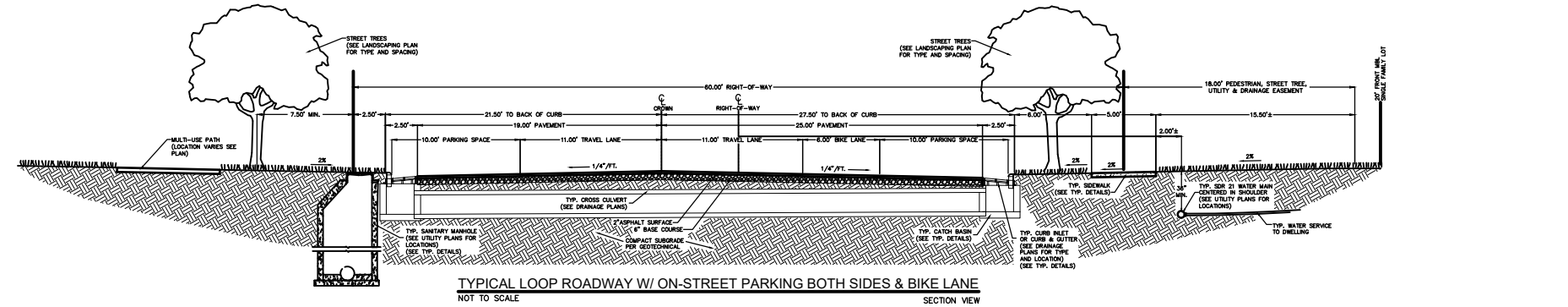
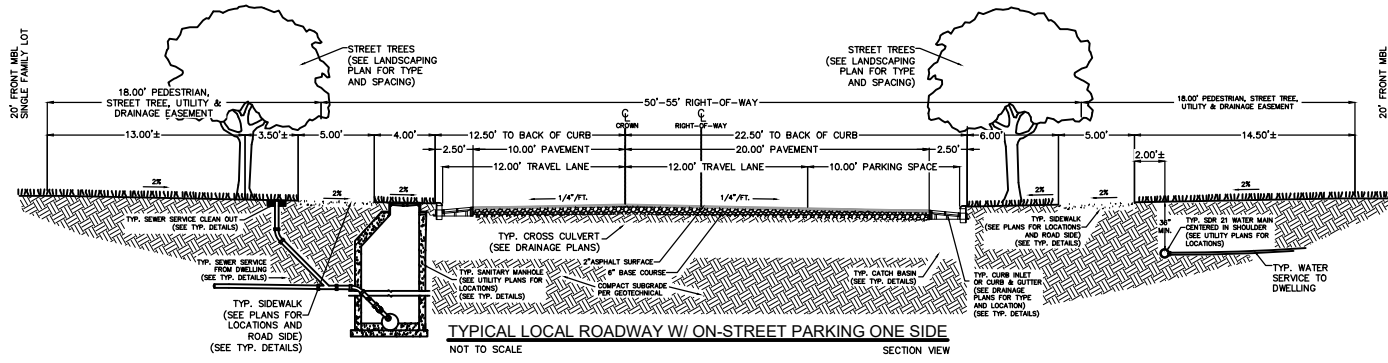
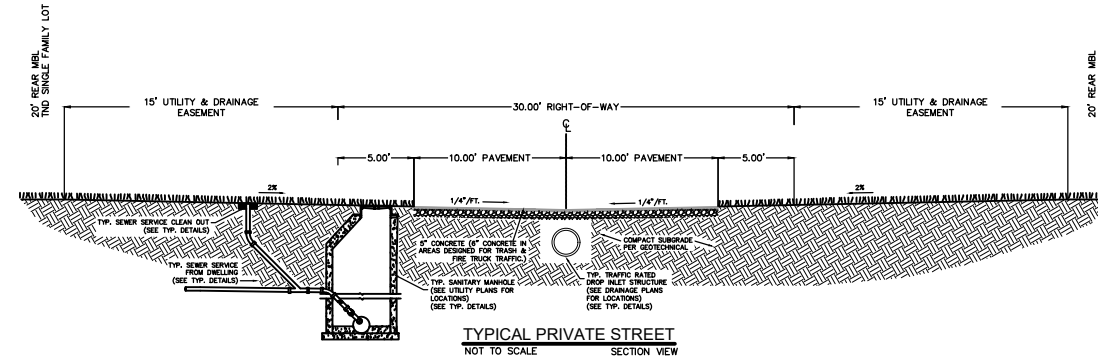
REVISIONS	
NO.	DATE

DocuSigned by:
Michael D. Bissell
L-1756
C6D7A34EC9CBF428...

DATE: 11-09-2023 SCALE: AS SHOWN
DESIGNED: CHECKED: MSB
DRAWN: APPROVED: MSB
AKM

SHEET: **4** OF **5**
CAD FILE: 465100FP-PH4-2
PROJECT NO: 4651

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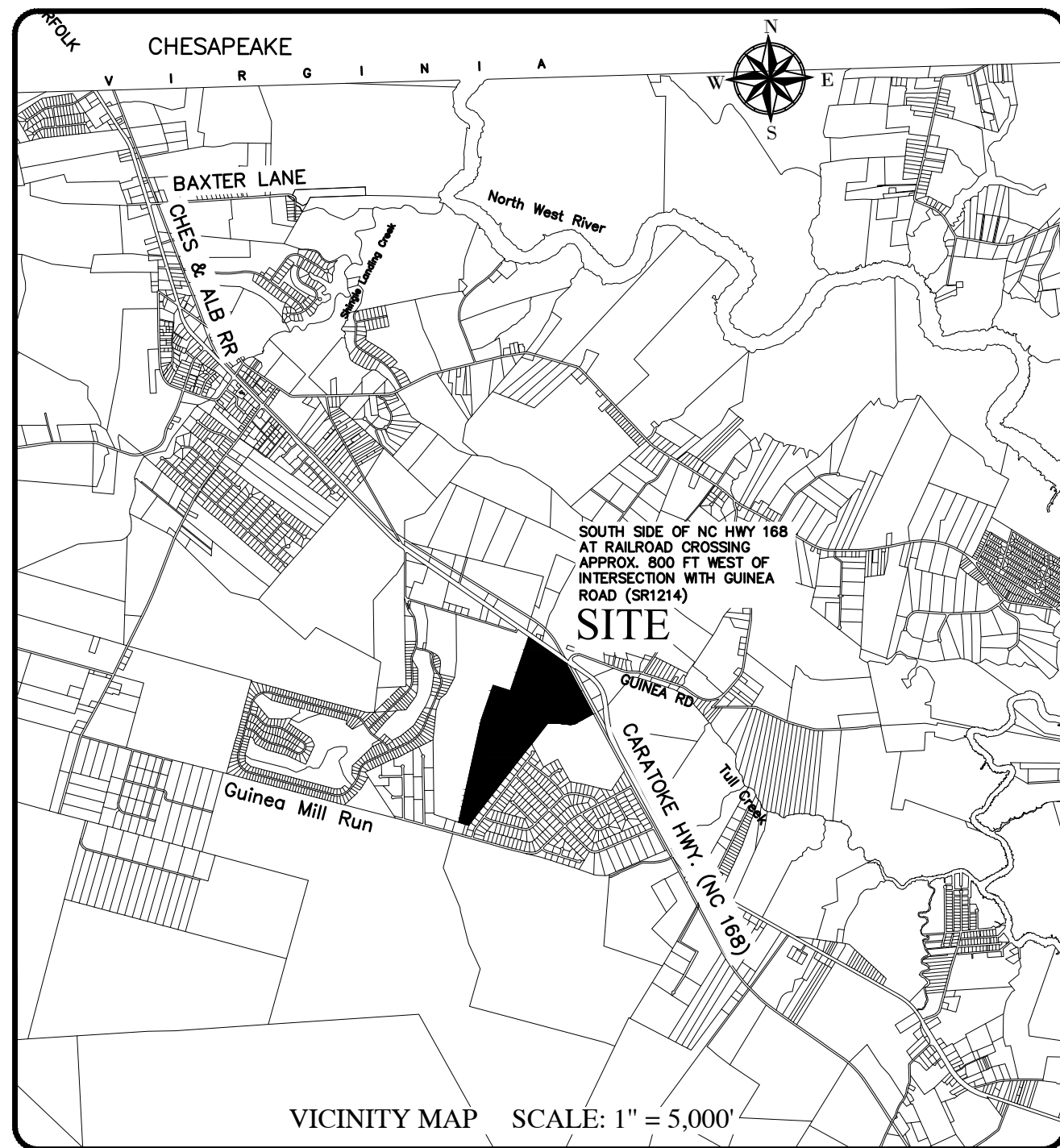
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THE FOST TRACT PD-R
PHASE 4
CURRITUCK COUNTY NORTH CAROLINA
MOYOCK TWP. FINAL SUBDIVISION PLAT

REVISIONS	
NO.	DESCRIPTION

DocuSigned by:
Michael W. Surber
60DA34EC9C0E428
MICHAEL W. SURBER
12/14/23

DATE:	11-09-2023	SCALE:	AS SHOWN
DESIGNED:		CHECKED:	
DRAWN:	AKM	APPROVED:	MSB
SHEET:			
5 OF 5			
CAD FILE: 465100FP-PH4-2			
PROJECT NO: 4651			



THE FOST TRACT

PLANNED DEVELOPMENT - RESIDENTIAL

CONSTRUCTION RECORD DRAWINGS- PHASE 4

MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

GENERAL NOTES:

1. PROJECT NAME: THE FOST TRACT – PLANNED DEVELOPMENT – RESIDENTIAL – CONSTRUCTION PHASE 4
2. APPLICANT: MOYOCK DEVELOPMENT, LLC
417-D CARATOKES HIGHWAY
MOYOCK, NC 27958
3. ALL SURVEY DATA IS REFERENCED TO NAD 83 NORTH CAROLINA STATE PLANE HORIZONTAL COORDINATE SYSTEM AND THE NAVD 1988 VERTICAL DATUM.
4. F.I.R.M. DATA:
ZONE X PER F.I.R.M. MAP NO.S 3721803100 K, 37218030000 K, & 3721804000 K ALL HAVING AN EFFECTIVE DATE OF DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF CURRITUCK COUNTY'S UNIFIED DEVELOPMENT ORDINANCE.
5. THESE CONSTRUCTION RECORD DRAWINGS AREA BASED ON A COMBINATION OF ACTUAL FIELD SURVEYS AND FIELD OBSERVATIONS PERFORMED BY BISSELL PROFESSIONAL GROUP AS WELL AS INFORMATION PROVIDED BY THE PROJECT'S CONSTRUCTION CONTRACTORS AND THE CURRITUCK COUNTY WATER DEPARTMENT. ANY SITE MODIFICATIONS MADE AFTER THE LAST FIELD SURVEY ARE NOT REPRESENTED IN THESE DRAWINGS. CONTRIBUTING FIELD SURVEYS WERE CONDUCTED ON THE FOLLOWING DATES:
 - 11-01-23
 - 11-02-23
 - 11-03-23
 - 11-07-23
 - 11-13-23
 - 11-14-23
 - 12-12-23

AS-BUILT SURVEY

I HEREBY CERTIFY THAT ALL IMPROVEMENTS FOR THIS SUBDIVISION HAVE BEEN INSTALLED ACCORDING TO THE PLANS PREPARED BY BISSELL PROFESSIONAL GROUP AND APPROVED BY CURRITUCK COUNTY, EXCEPT THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS MUST BE COMPLETED BY THE 16TH DAY OF NOVEMBER, 2025 ACCORDING TO THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP. FINAL GROUND STABILIZATION OF THE SITE IS ONGOING AND IS NOT INCLUDED IN THIS CERTIFICATION.

REMAINING IMPROVEMENTS INCLUDE:

- SIDEWALKS AND MULTI-USE PATH
- STREET TREES
- FLORA PORTION OF ROWLAND CREEK IMPROVEMENTS
- PERMANENT STREET SIGNS AND NO PARKING SIGNS
- PAVEMENT MARKING
- STREET LIGHTS

DocuSigned by:

12/14/23

DATE

Michael J. Kim
REGISTERED LAND SURVEYOR/ENGINEER
C6DA34EC9CBF428...

L-1756

REGISTRATION NUMBER

PERFORMANCE GUARANTEE

SHOULD THE OWNER OR DEVELOPER FAIL TO COMPLETE INSTALLATION OF THE GUARANTEED IMPROVEMENTS PER APPROVED PLAN WITHIN THE TERM OF THE PERFORMANCE (AS MAY BE EXTENDED), THE DIRECTOR SHALL GIVE THE OWNER OR DEVELOPER 30 DAYS WRITTEN NOTICE OF THE DEFAULT BY CERTIFIED MAIL. AFTER THE 30-DAY NOTICE PERIOD EXPIRES, THE COUNTY MAY DRAW ON THE GUARANTEE AND USE THE FUNDS TO PERFORM WORK NECESSARY TO COMPLETE INSTALLATION OF THE GUARANTEED IMPROVEMENTS. UPON COMPLETION OF SAID WORK, THE COUNTY SHALL PROVIDE AN ACCOUNTING STATEMENT OF THE EXPENDITURES TO THE OWNER OR DEVELOPER AND AS APPLICABLE, THE OWNER OR DEVELOPER SHALL REIMBURSE THE COUNTY IN ORDER TO BE RELEASED OF BOND AND AVOID A WARRANT OF INDEBTEDNESS.

Sheet Number	Sheet Title
1	COVER SHEET
2	ROADWAY & DRAINAGE (A)
3	ROADWAY & DRAINAGE (B)
4	ROADWAY & DRAINAGE (C)
5	ROADWAY & DRAINAGE (D)
6	WATER & SEWER (A)
7	WATER & SEWER (B)
8	WATER & SEWER (C)
9	WATER & SEWER (D)
10	DETAILS
11	DETAILS
12	SOUTHERN RUN PROF
13	PVT-ALLEY-PROF

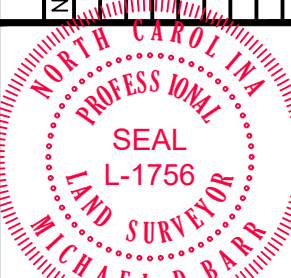
LEGEND	
	ROADWAY CENTERLINE
	RIGHT-OF-WAY
	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	SWALE CENTERLINE
	SWALE/BMP TOP OF BANK
	CULVERT (SIZE, TYPE & INVERTS AS NOTED)
	RECORD WATER DISTRIBUTION MAIN (SIZE AS NOTED)
	EXISTING WATER LINE
	6" FIRE HYDRANT TYPICAL
	WATER VALVE TYPICAL (SIZE AS NOTED)
	WATER SERVICE METER BOX
	8" GRAVITY SEWER LINE & MANHOLE
	CATCH BASIN/DROP INLET & STORM PIPE
	SEWER SERVICE CLEANOUT
	DRAINAGE FLOW DIRECTION
	FLOWLINE
	EDGE OF CONCRETE
	BUILDING PAD ELEVATION
	SPOT ELEVATION

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 City of Moyock, North Carolina 27958
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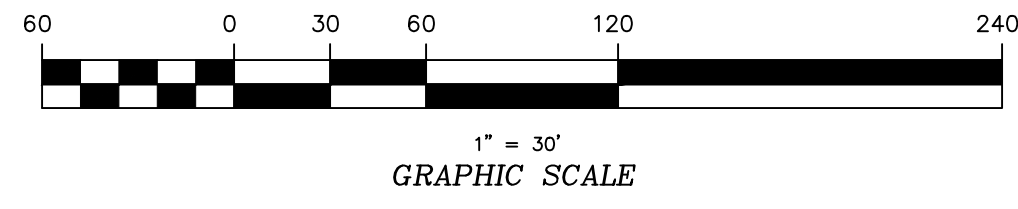
COVER SHEET
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PROJECT: THE FOST TRACT PD-R - PHASE 4
 NORTH CAROLINA
 MOYOCK TOWNSHIP
 CURRITUCK COUNTY
 RECORD DRAWINGS - PHASE 4

NO.	DATE	DESCRIPTION



DATE: 11-06-23	SCALE: 1" = 30'
DRAWN: AKM	CHECKED: BPG
SHEET: 1 OF 13	
CAD FILE: 4651ASB-PH4	
PROJECT NO: 4651	



GRAPHIC SCALE

FUTURE DEVELOPMENT

RIM: 7.04'
ST-273
INV IN: 3.89 (FROM ST-272)
18" HDPE
INV OUT: 3.77 (FROM ST-270)
18" HDPE
INV OUT: NOT BUILT

RIM: 7.70'
ST-270
INV IN: 4.03'
18" HDPE
INV OUT: 4.06
18" HDPE

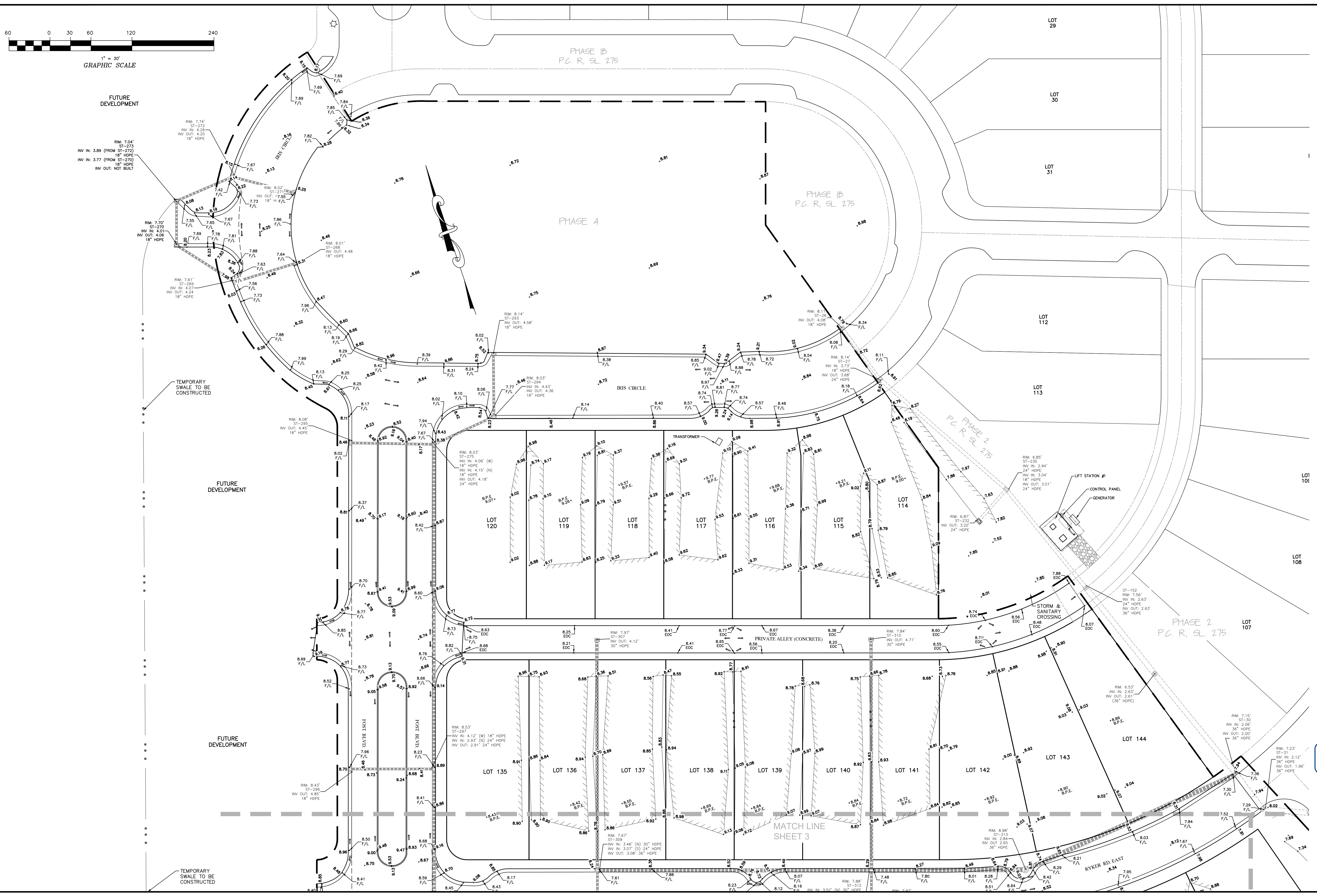
RIM: 7.61'
ST-269
INV IN: 4.07
18" HDPE
INV OUT: 4.24
18" HDPE

TEMPORARY SWALE TO BE CONSTRUCTED

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

TEMPORARY SWALE TO BE CONSTRUCTED



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Cary, NC 27513
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ROADWAY &
DRAINAGE PLAN

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THE FOST TRACT PD-R - PHASE 4
NORTH CAROLINA
CURRITUCK COUNTY
MOYOCK TOWNSHIP

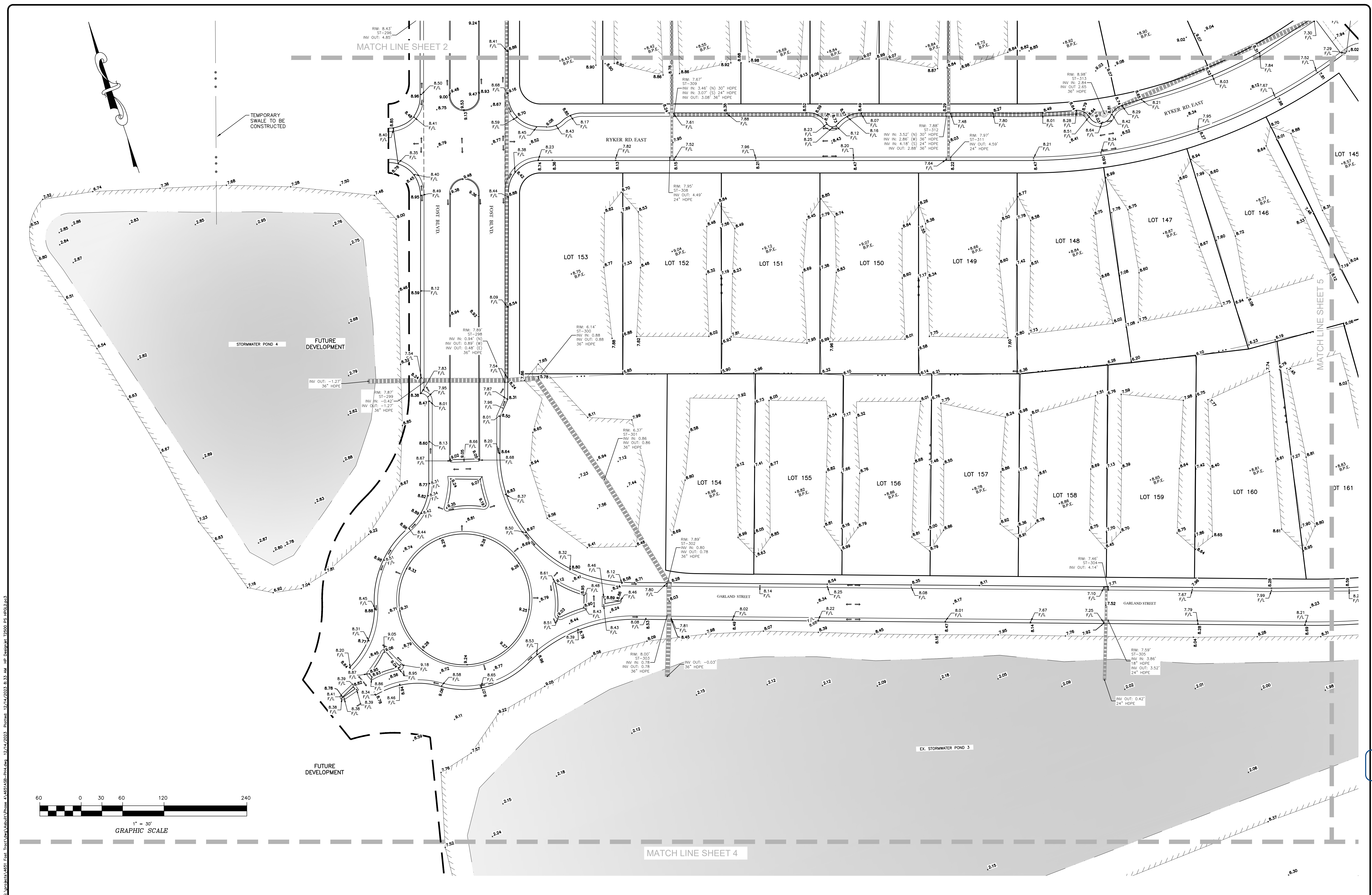
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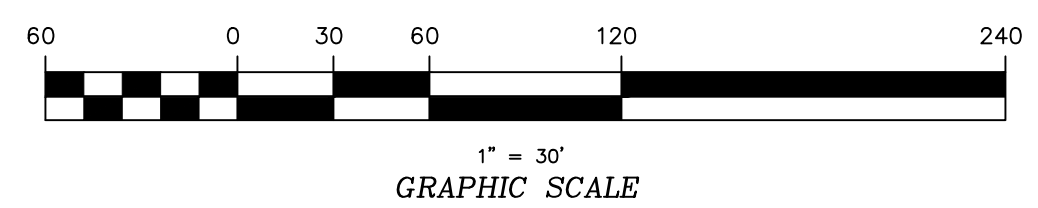
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Michael J. ...
C6DA34EC9C6F428
12/14/23

DATE: 11-06-23
DRAWN: AKM
CHECKED: KFW
APPROVED: BPG

SHEET: 2 OF 13
CAD FILE: 4651ASB-PH4
PROJECT NO: 4651



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NO.	DATE	REVISIONS DESCRIPTION

DESIGNED BY	
CHECKED BY	
DRAWN BY	
DATE	

DocuSigned by

Melissa J. Williams

C60434ECC9BF4281

12/14/23

DATE: 11-06-23 1" = 30'

SCALE: 1" = 30'

DESIGNED BY: AKM

CHECKED BY: KIFW

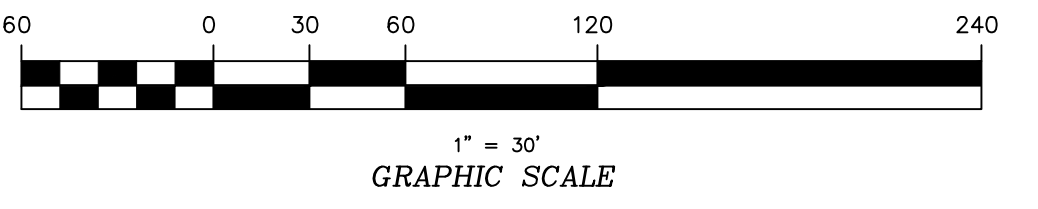
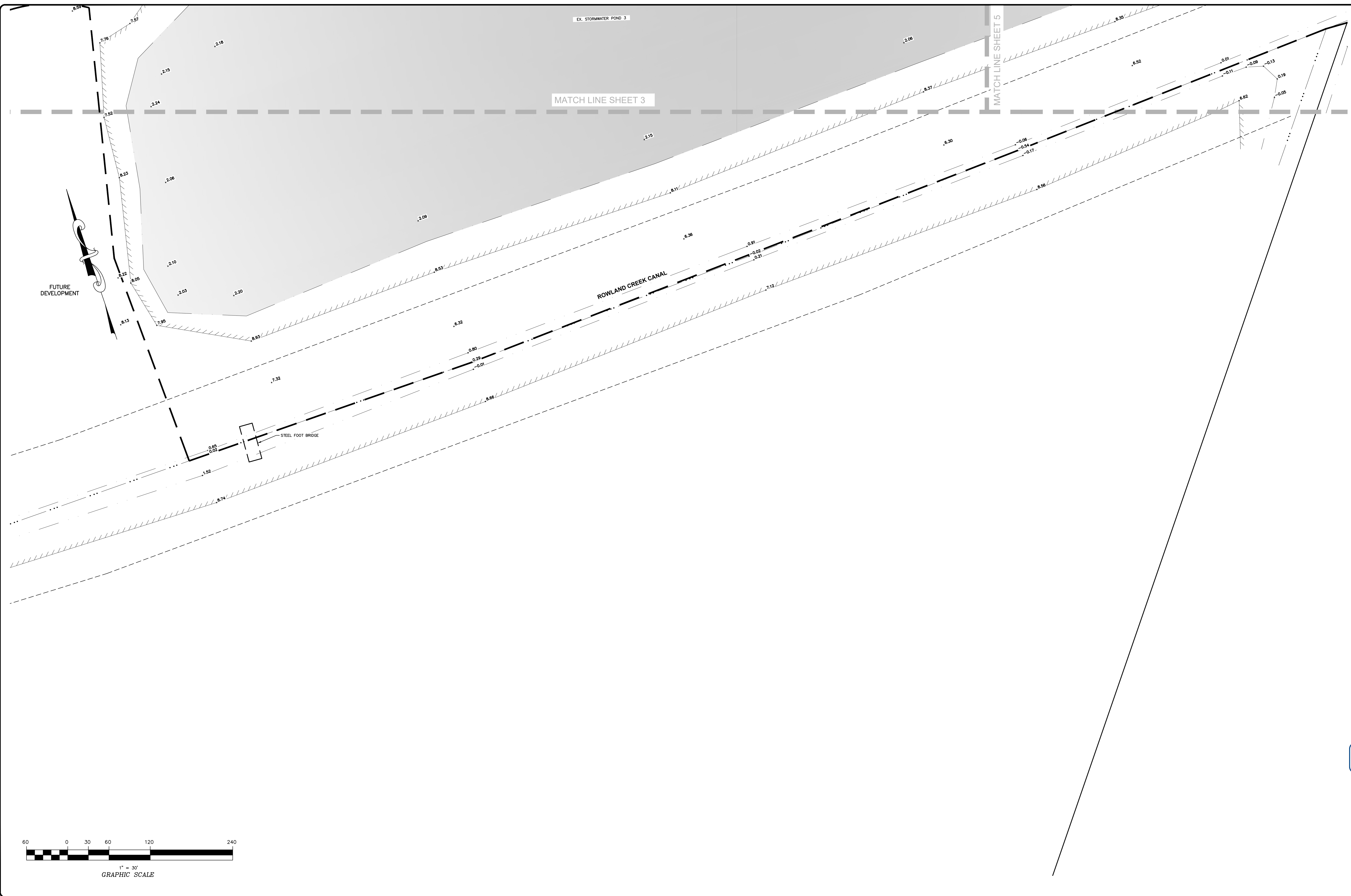
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SHEET: 3 OF 13

CAD FILE: 4651ASB-PH4

PROJECT NO: 4651



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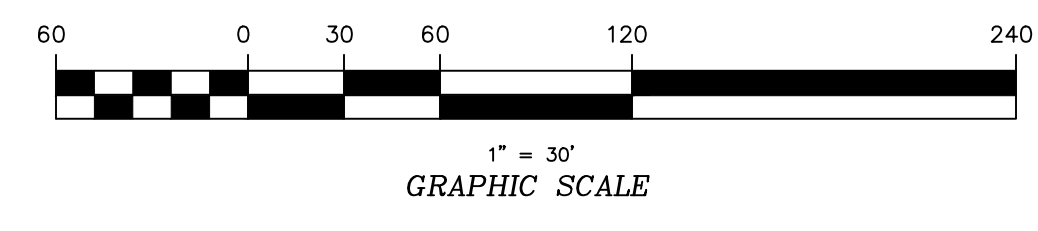
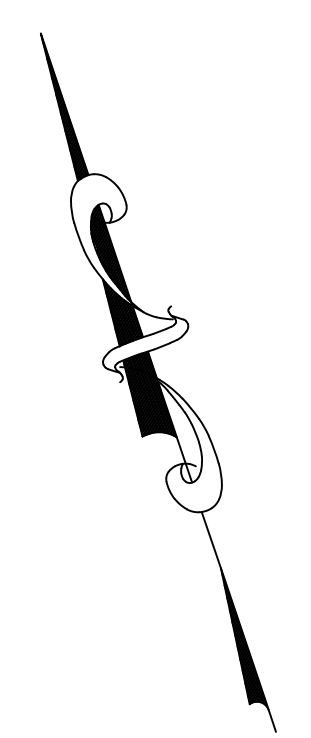
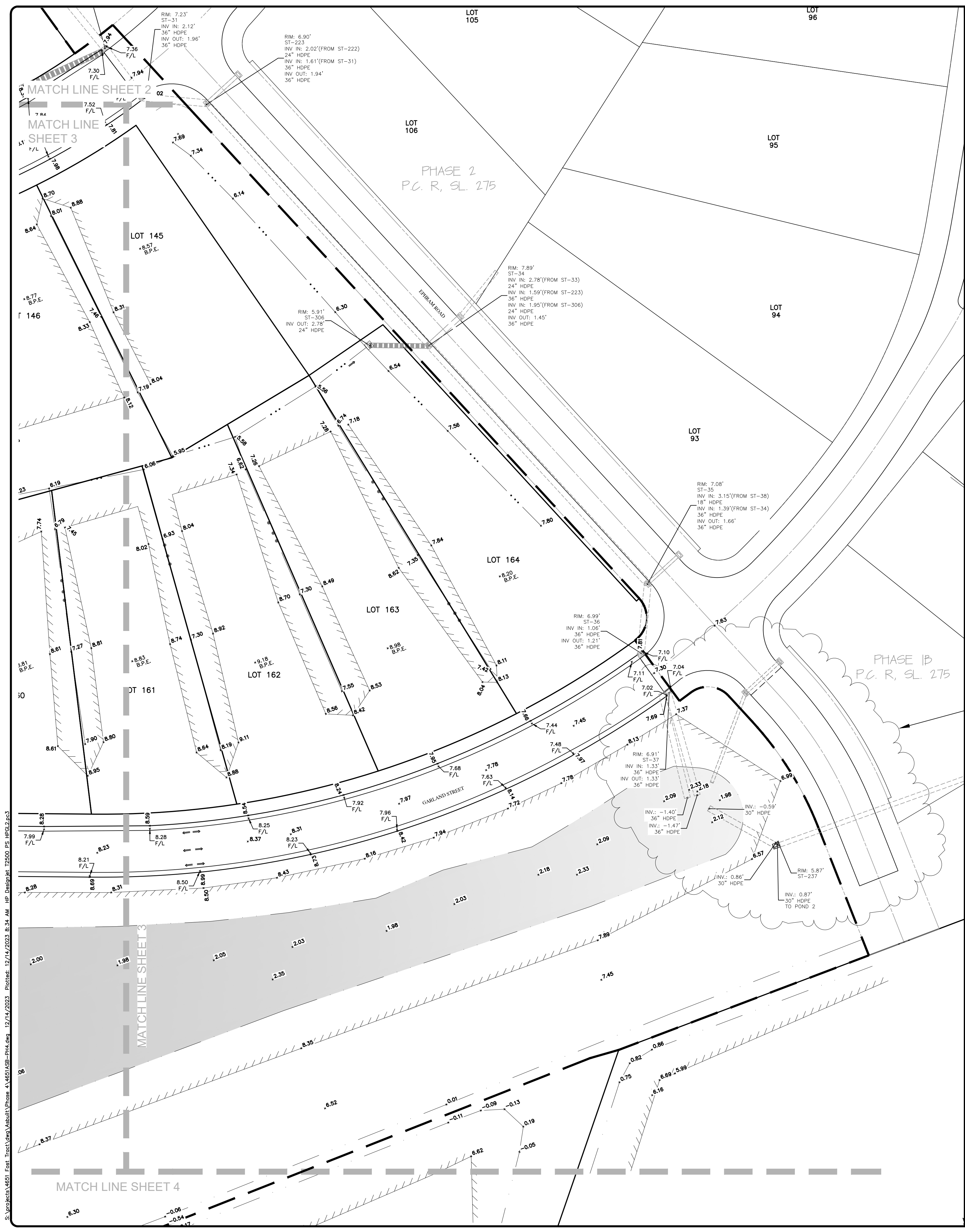
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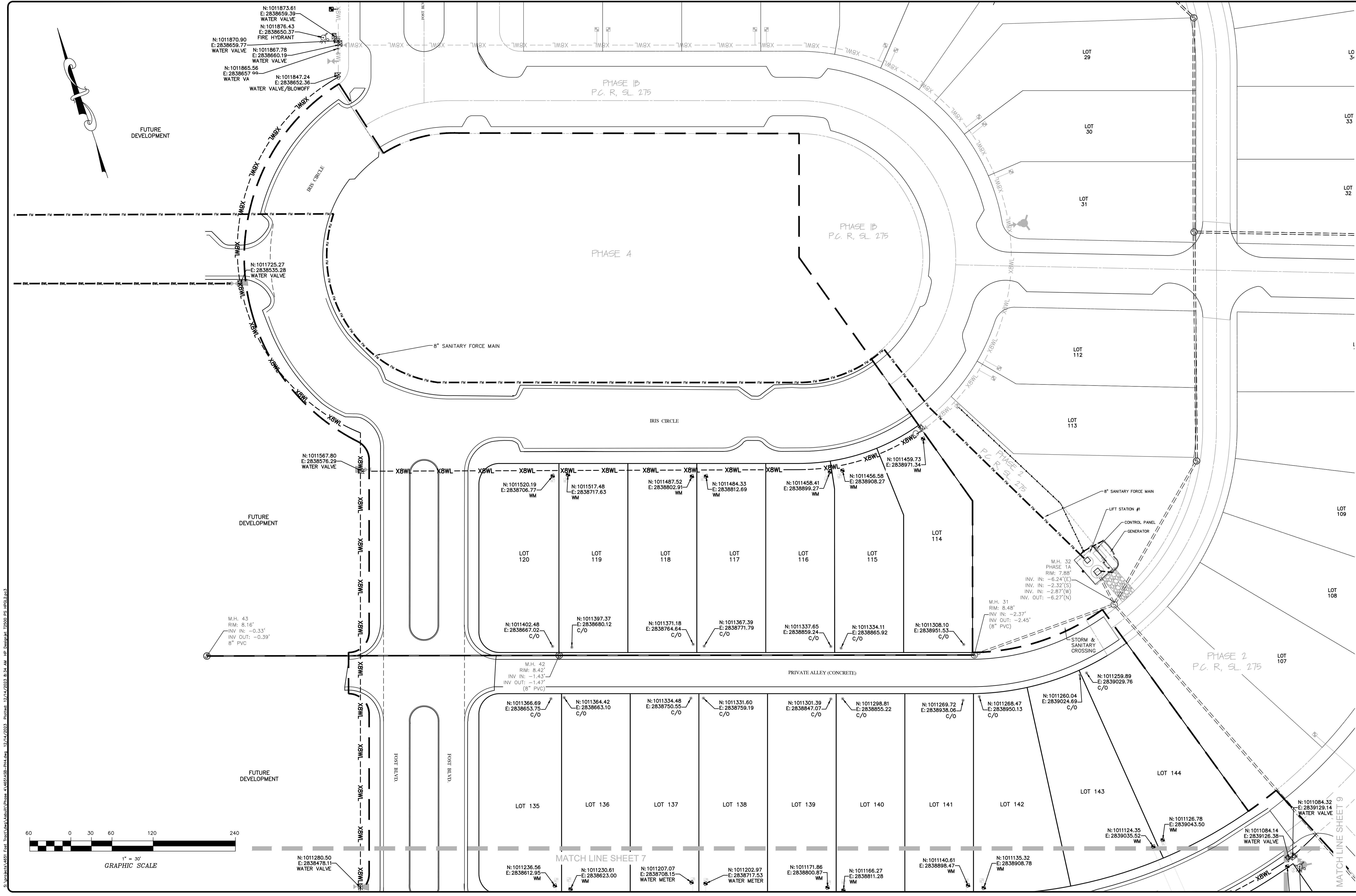
THE FOST TRACT PD-R - PHASE 4
 MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA
RECORD DRAWINGS - PHASE 4

REVISIONS		NO.	DATE	DESCRIPTION	BY

DESIGNED BY: *Michael D. ...*
 66DA34EC9C8E428
 12/14/23
 DATE: 11-06-23 SCALE: 1" = 30'
 DRAWN: AKM CHECKED: KFW
 APPROVED: BPG
 SHEET: 4 OF 13
 CAD FILE: 4651ASB-PH4
 PROJECT NO: 4651



BISSELL <small>PROFESSIONAL GROUP</small> Engineers, Planners, Surveyors and Environmental Specialists															
ROADWAY & DRAINAGE PLAN															
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THE FOST TRACT PD-R - PHASE 4 CURRITUCK COUNTY MOYOCK TOWNSHIP	NORTH CAROLINA RECORD DRAWINGS - PHASE 4														
PROJECT NO. 4651	SHEET NO. 5 OF 13														
REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION										<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;"> </td> </tr> <tr> <td style="text-align: center;"> DATE: 11-06-23 DRAWN: AKM SHEET: 5 OF 13 CAD FILE: 4651ASB-PH4 PROJECT NO.: 4651 </td> </tr> </table>		DATE: 11-06-23 DRAWN: AKM SHEET: 5 OF 13 CAD FILE: 4651ASB-PH4 PROJECT NO.: 4651
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DATE: 11-06-23 DRAWN: AKM SHEET: 5 OF 13 CAD FILE: 4651ASB-PH4 PROJECT NO.: 4651															

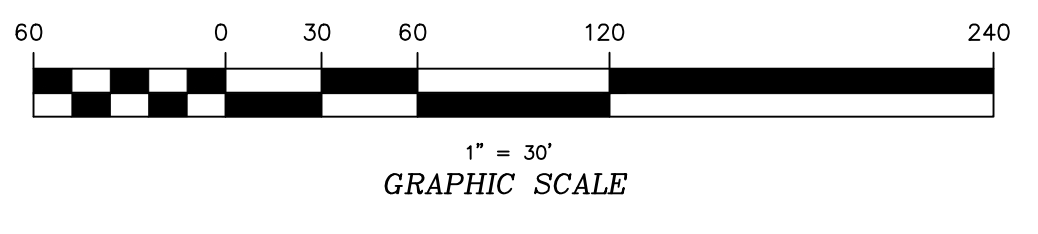


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FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT



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and Environmental Specialists

WASTE WATER & SANITARY SEWER PLAN

THE POST TRACT PD-R - PHASE 4

CURRITUCK COUNTY NORTH CAROLINA

MOYOCK TOWNSHIP

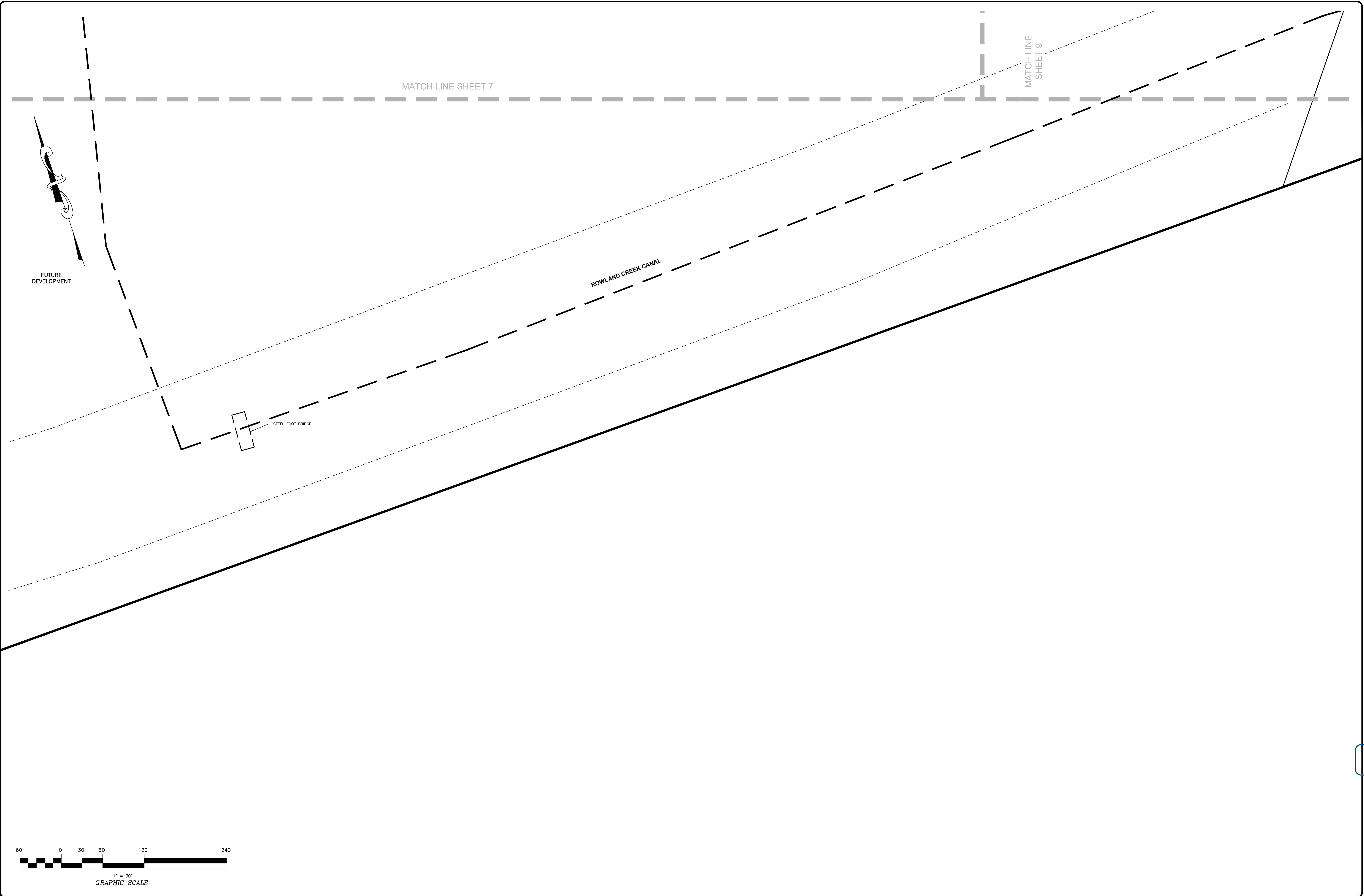
RECORD DRAWINGS - PHASE 4

NO.	DATE	DESCRIPTION

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DRAWN: AKM	CHECKED: KFW
SHEET: 6	APPROVED: BPG
OF 13	

CAD FILE: 4651ASB-PH4
PROJECT NO: 4651



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1" = 30'
GRAPHIC SCALE

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WASTE WATER & SANITARY SEWER PLAN

THE FOST TRACT PD-R - PHASE 4
MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

RECORD DRAWINGS - PHASE 4

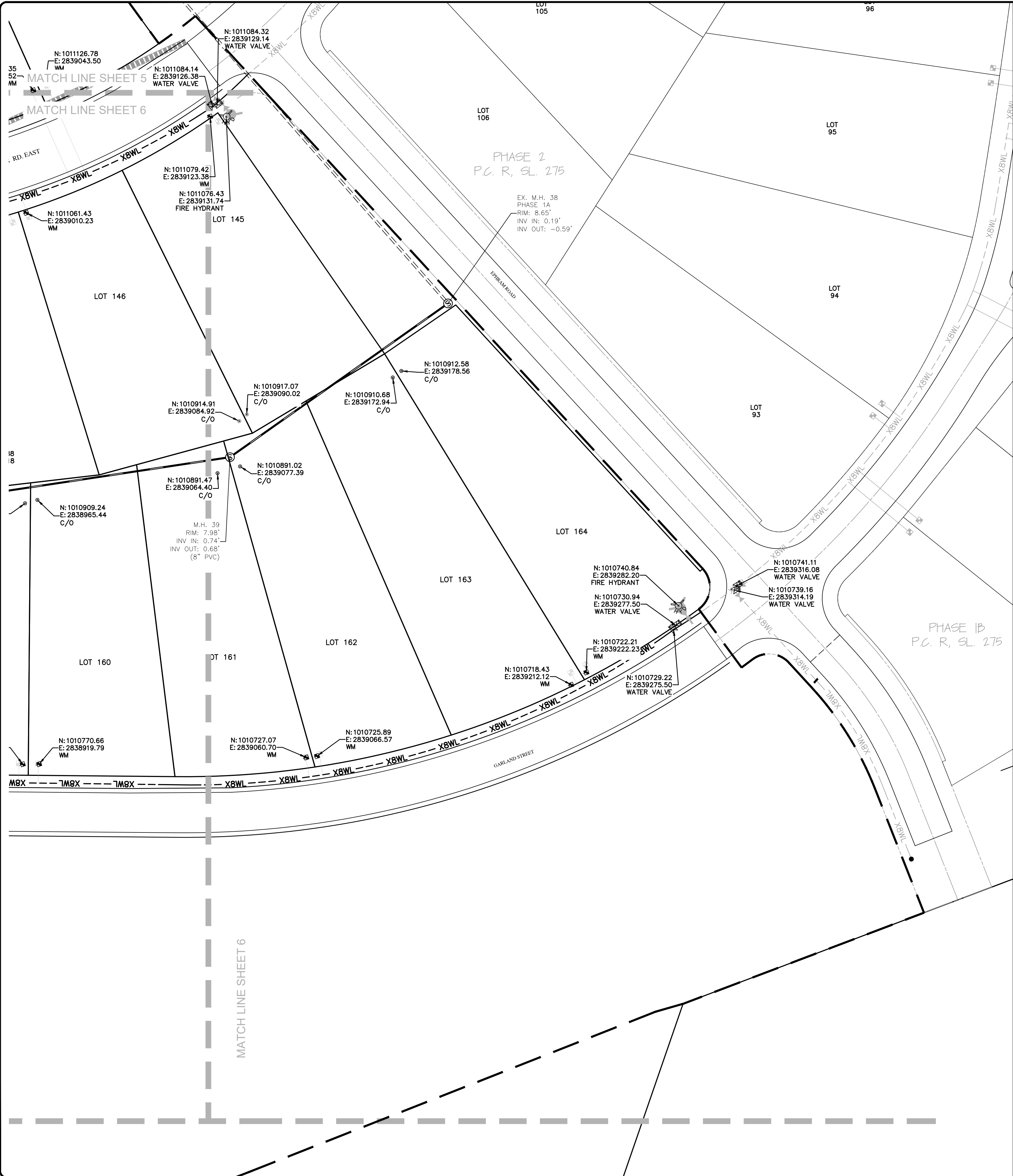
REVISIONS	
NO.	DESCRIPTION

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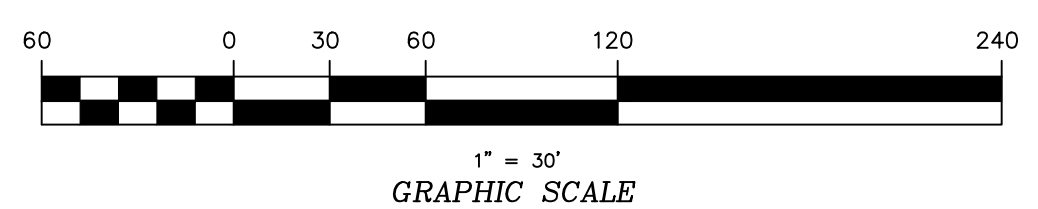
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SHEET: **8** OF **13**

CAD FILE: 4651ASB-PH4
PROJECT NO: 4651



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PROJECT: THE FOST TRACT PD-R - PHASE 4
MUYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

BISSELL
PROFESSIONAL GROUP
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P.O. Box 1008
10001 North Carolina 27619
City of Raleigh, North Carolina 27619
FAX (336) 281-1760

**WASTE WATER &
SANITARY SEWER PLAN**

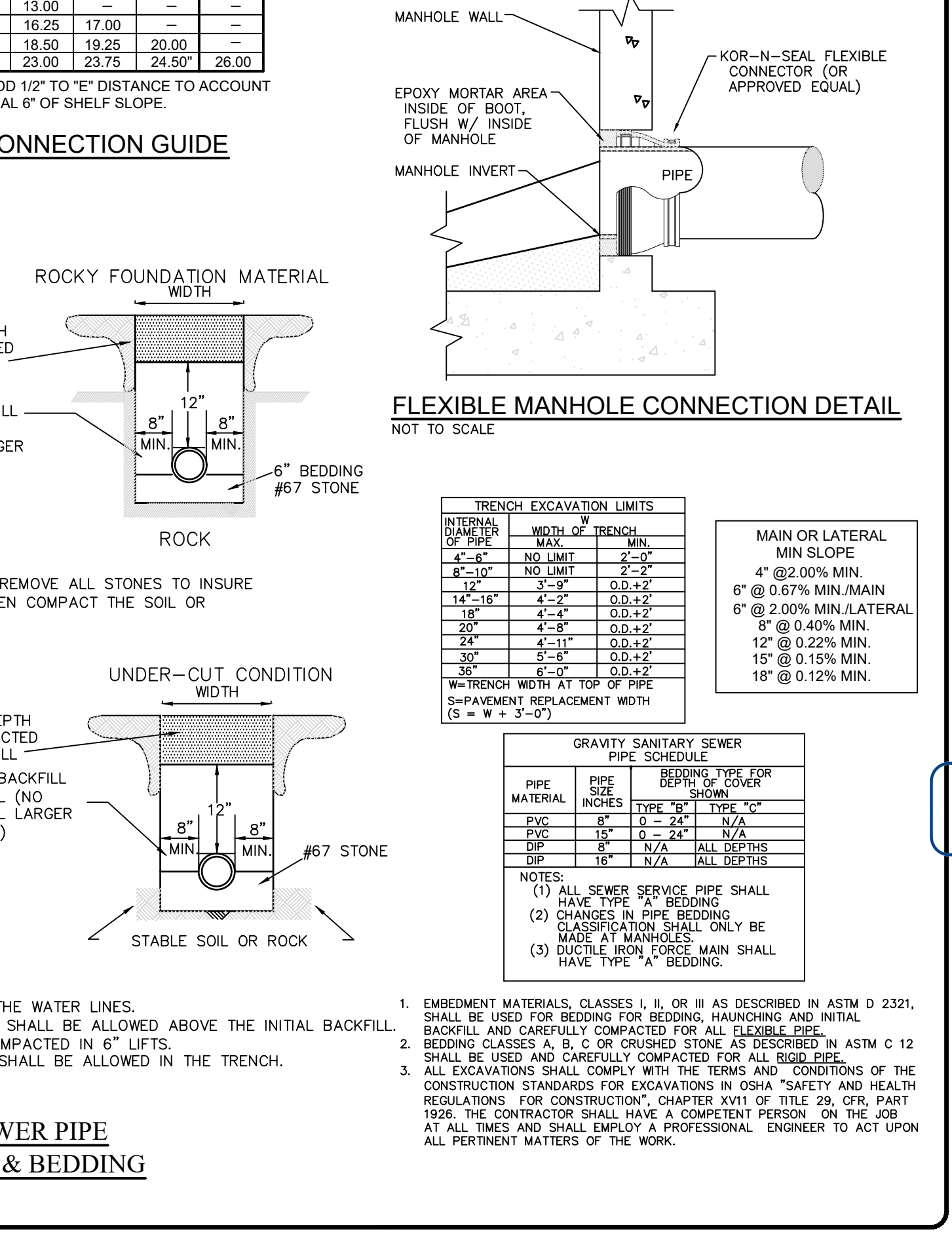
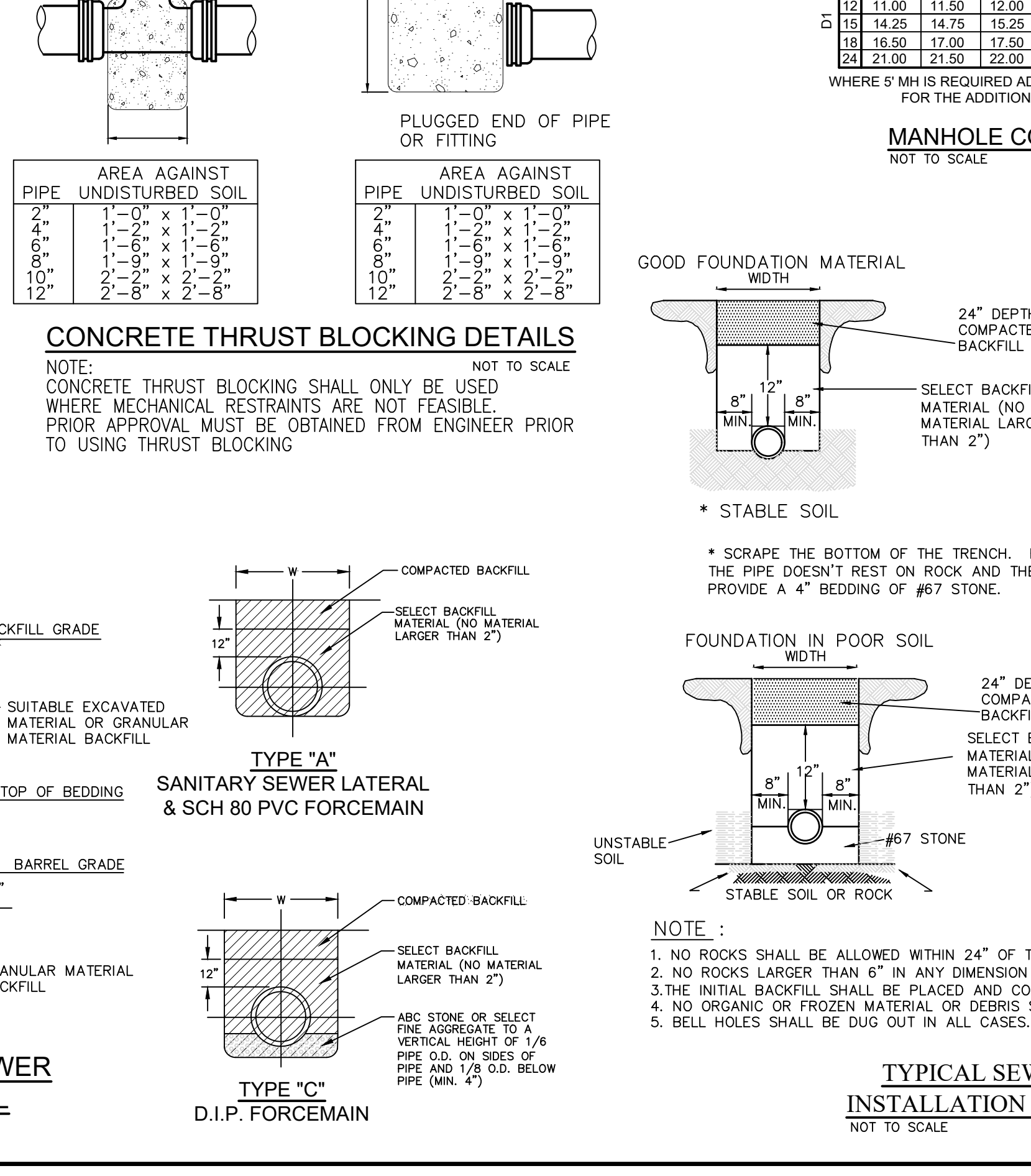
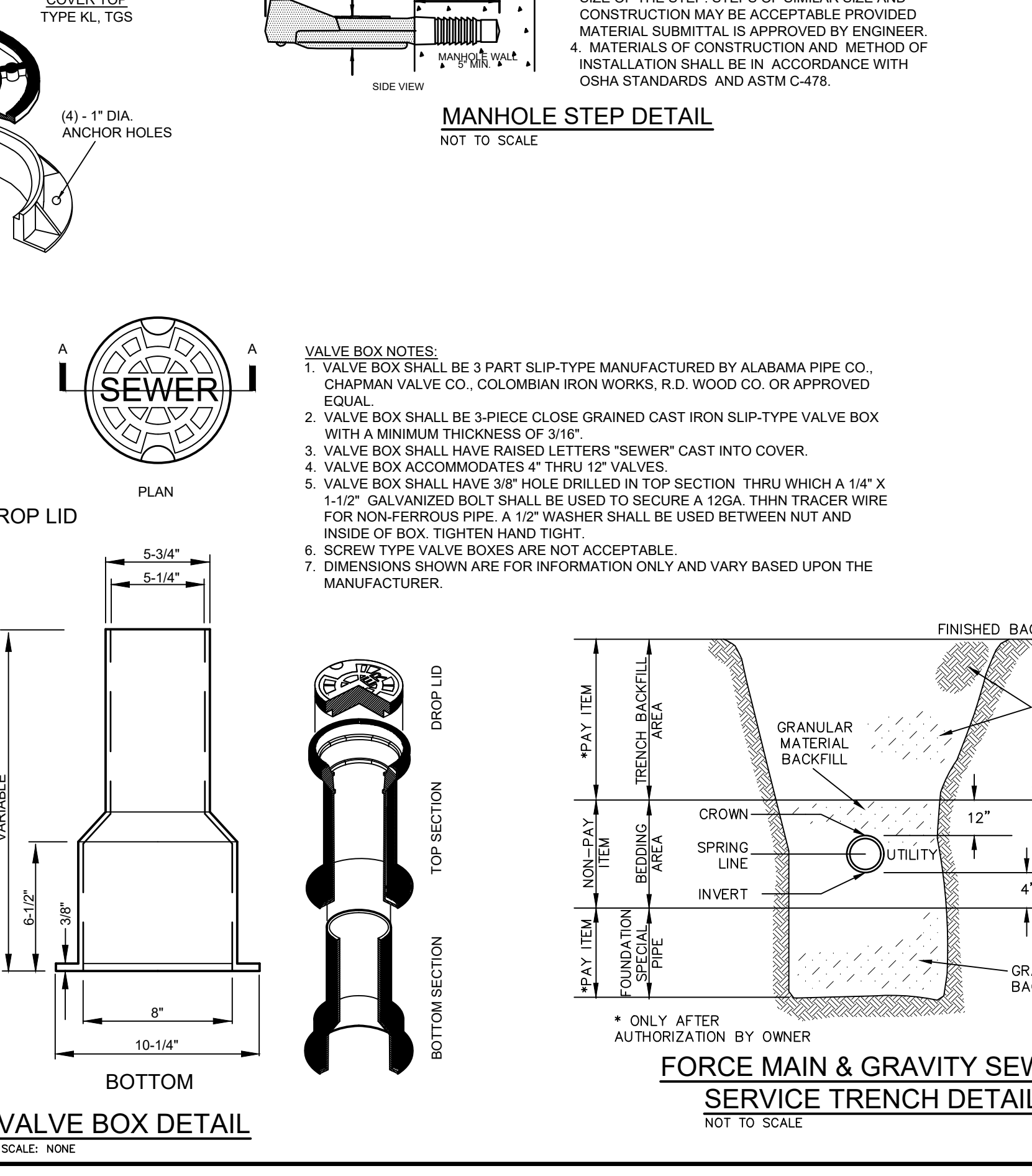
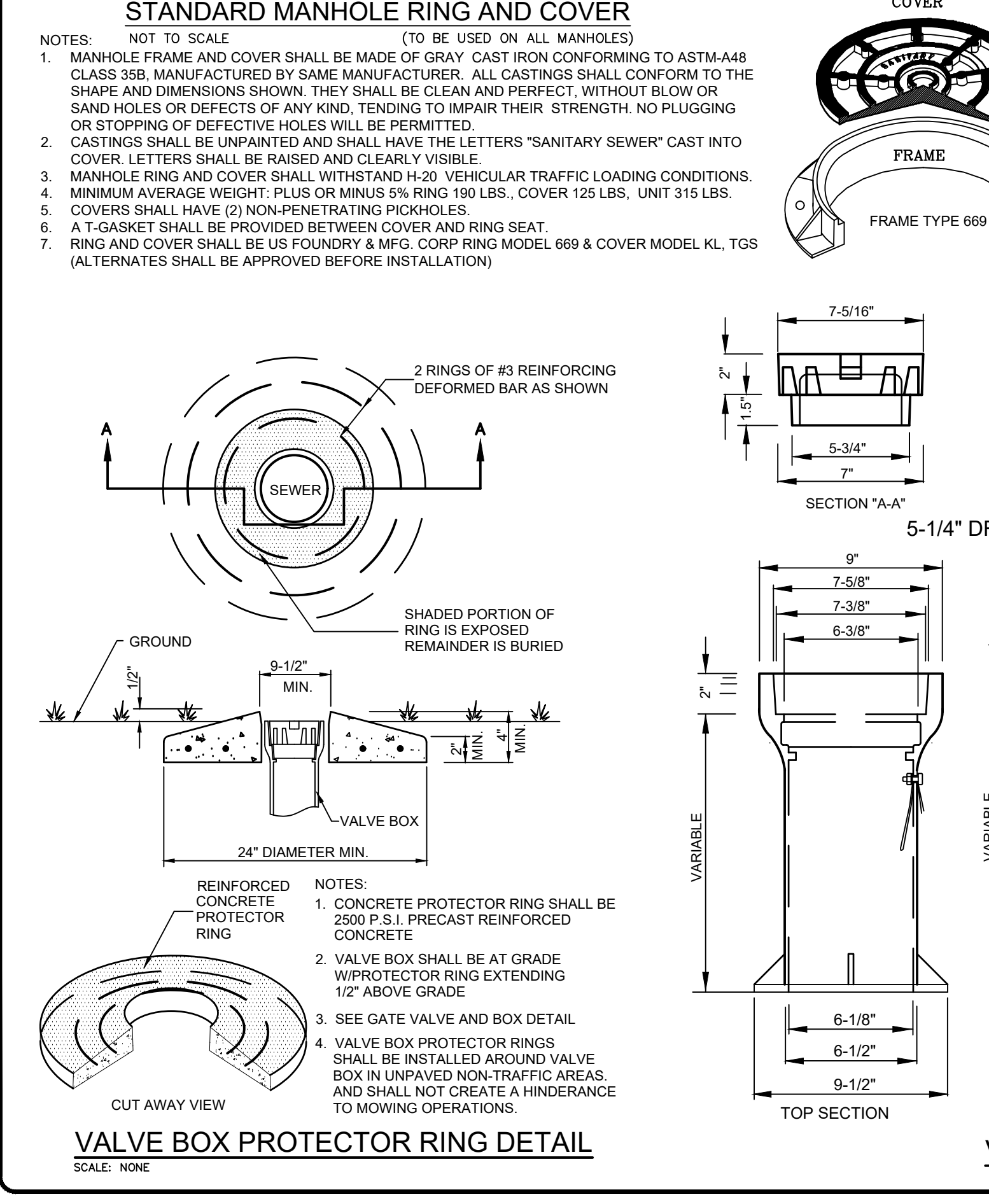
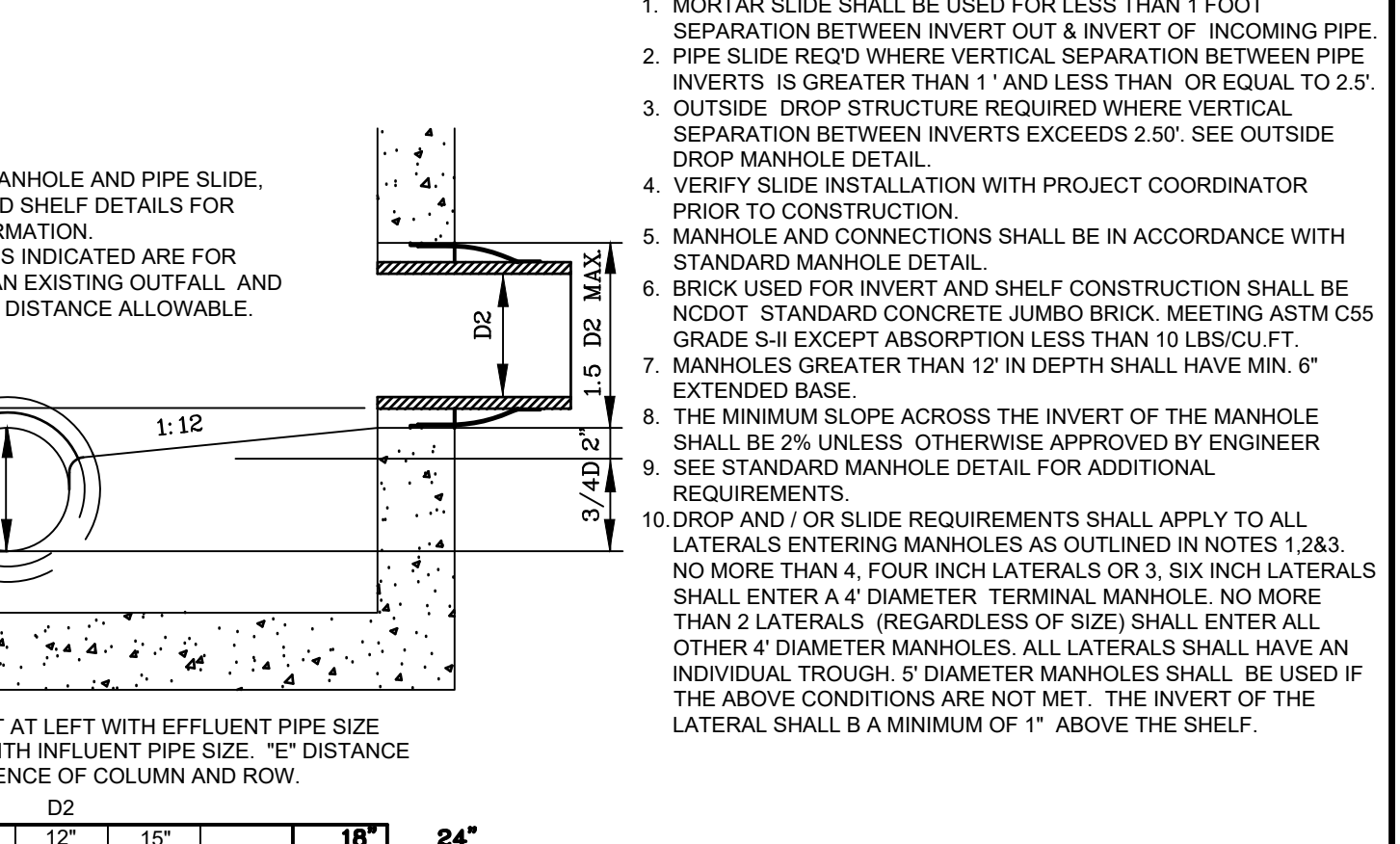
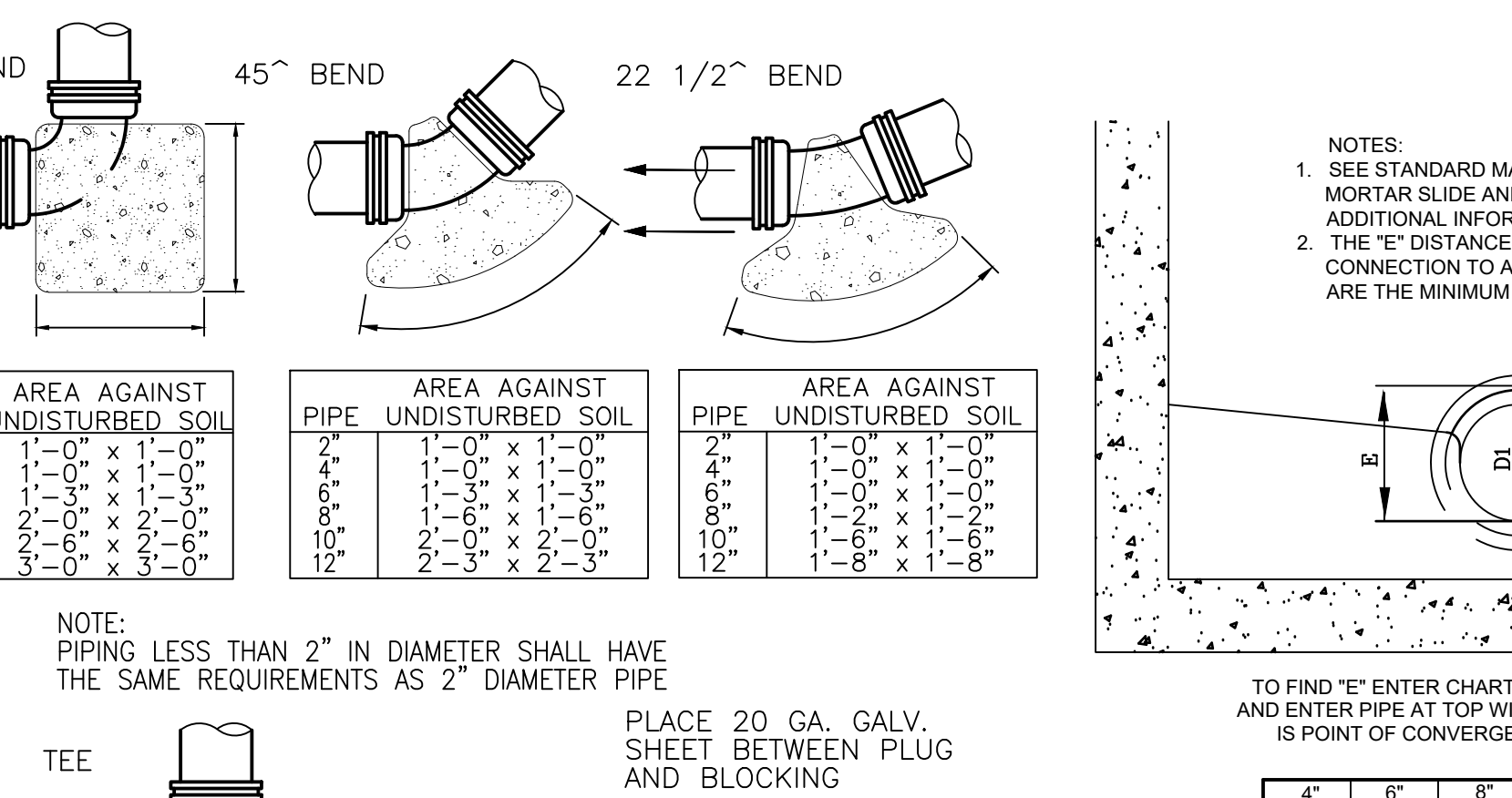
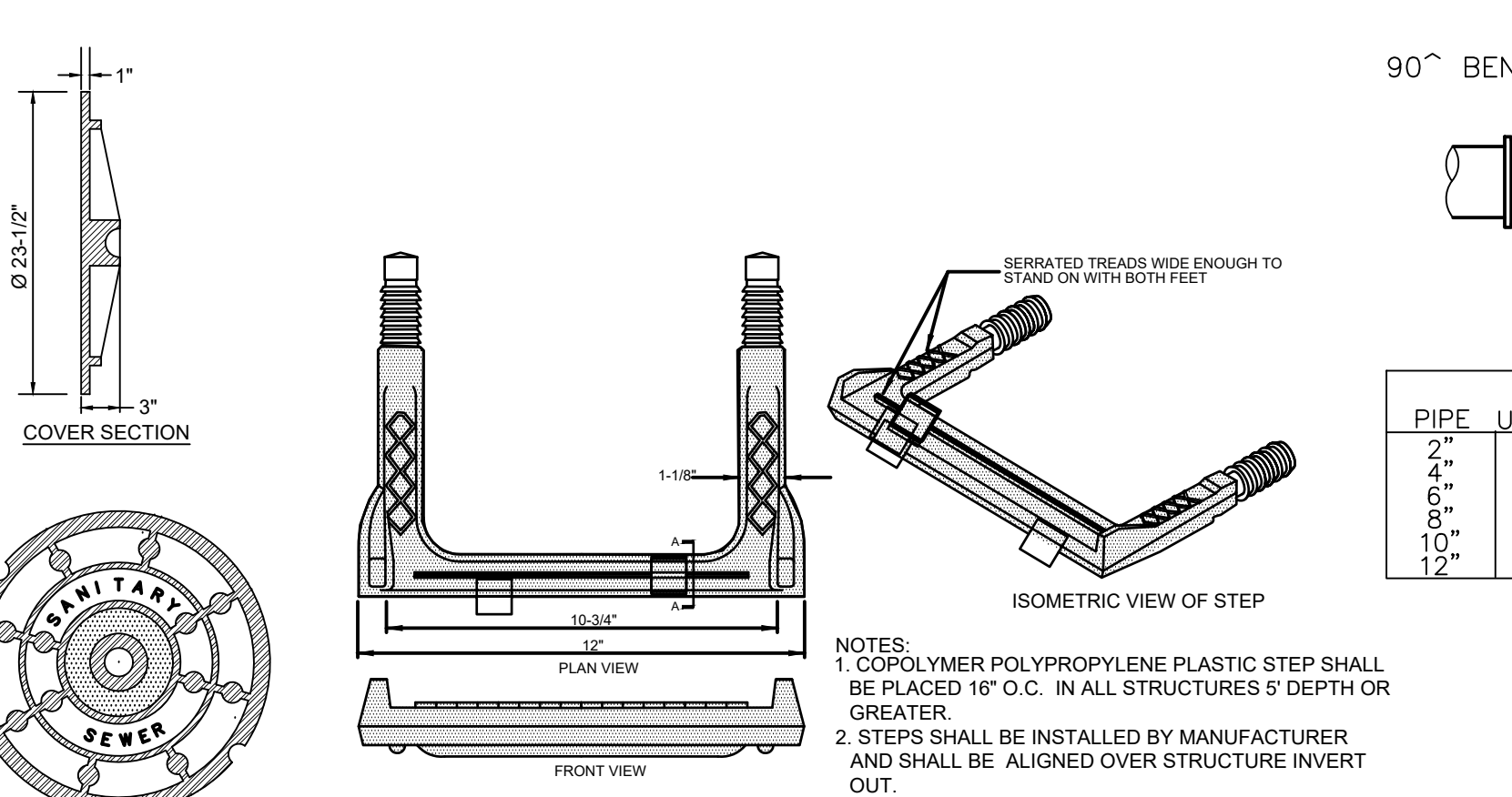
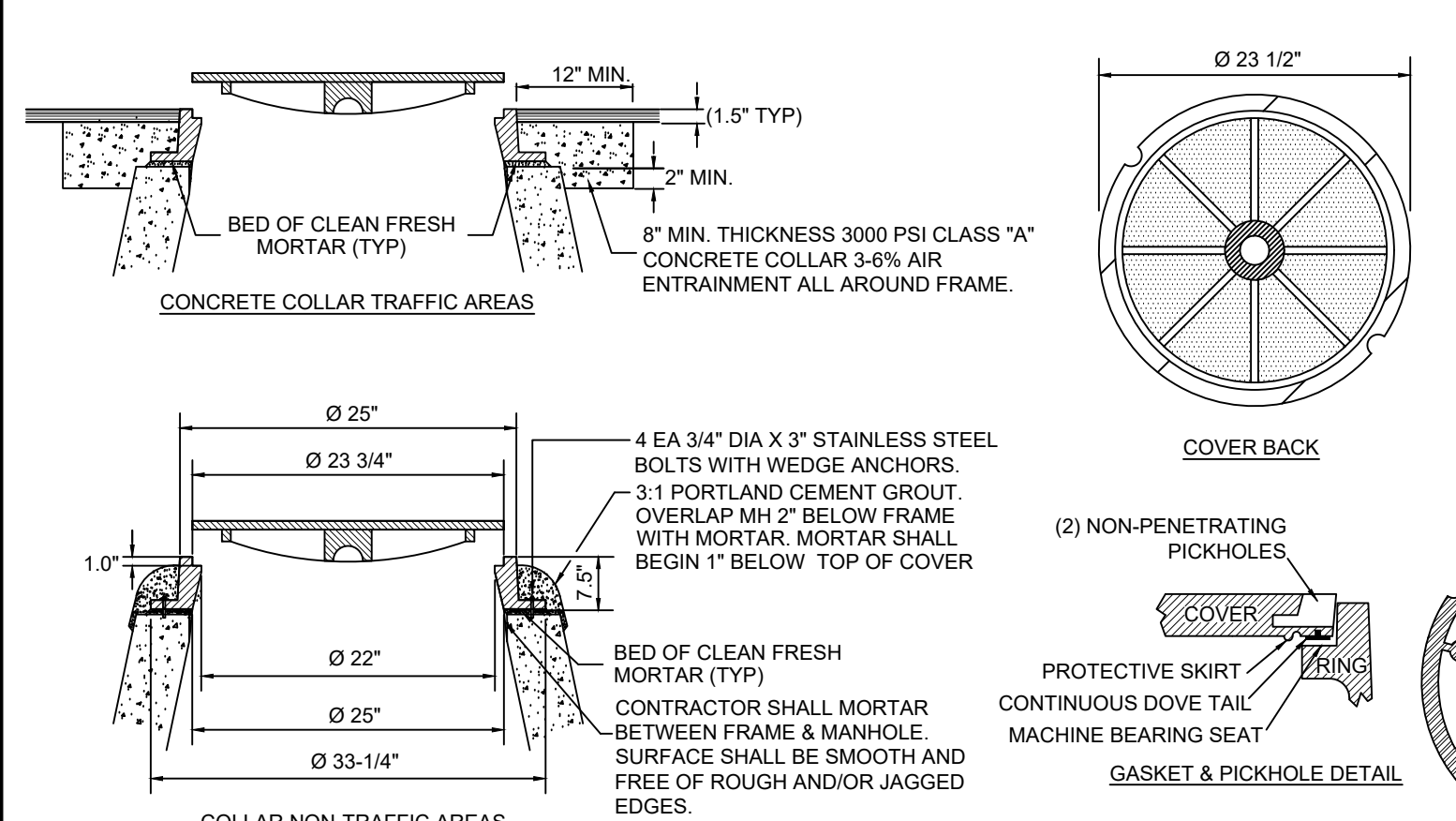
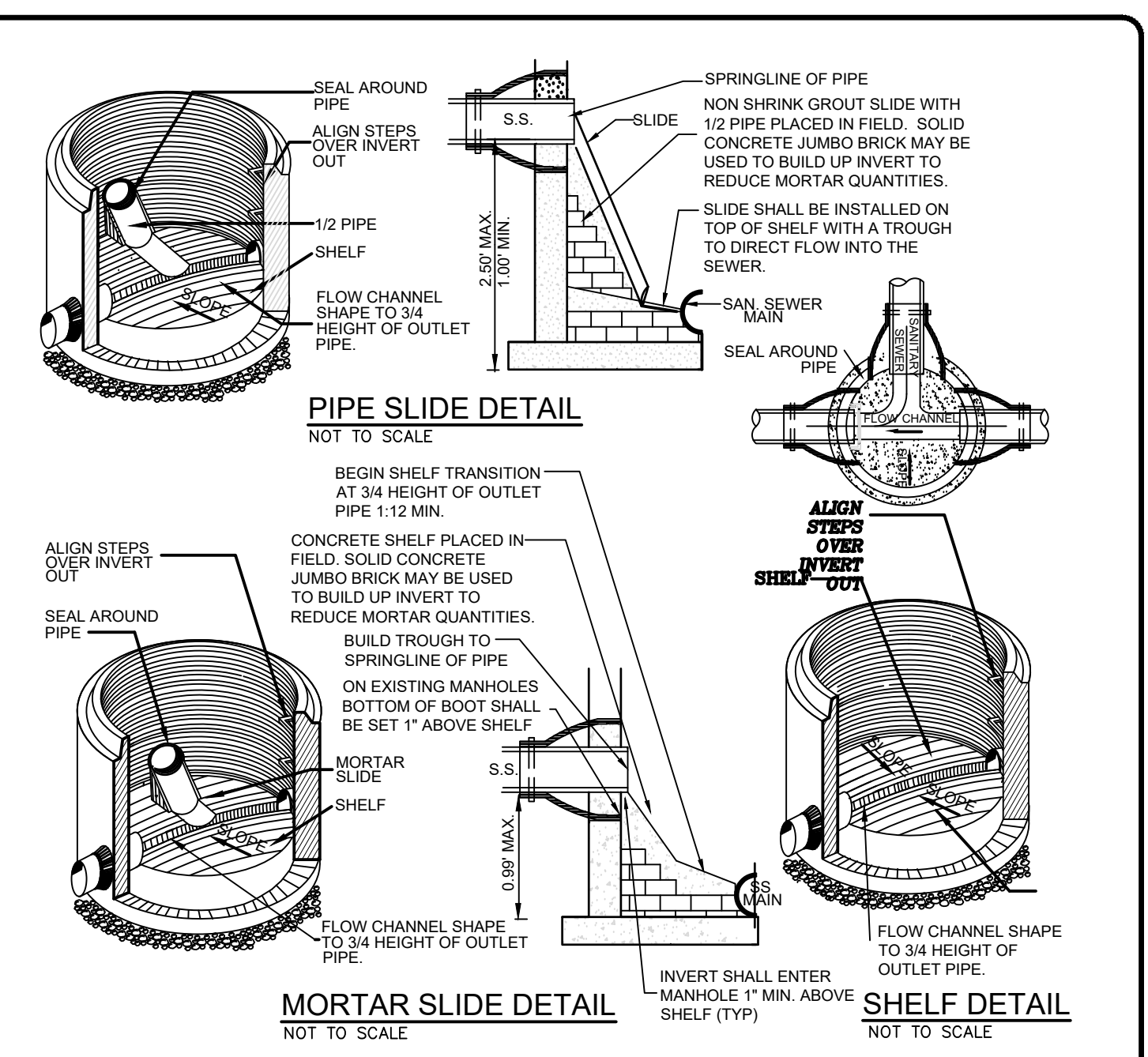
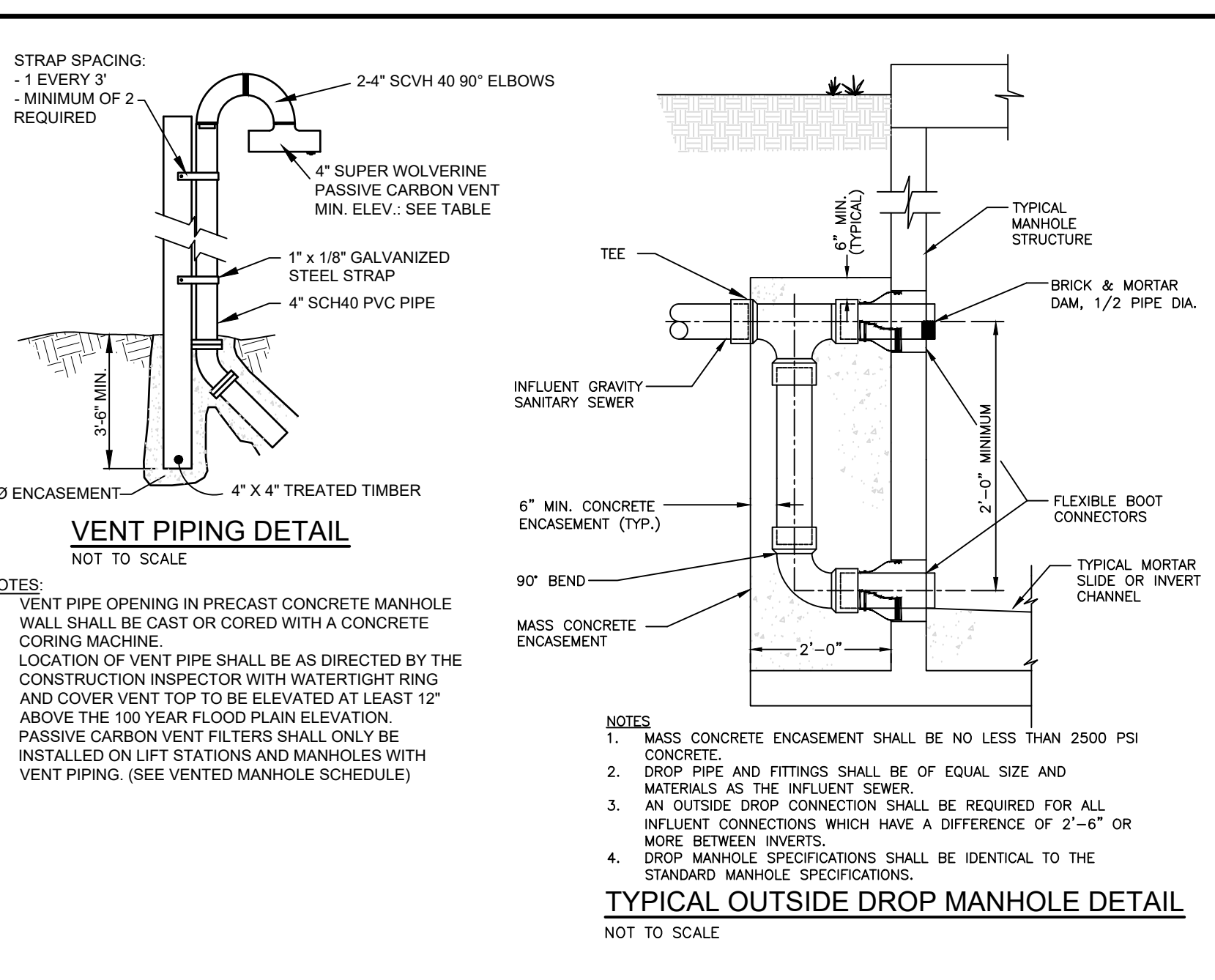
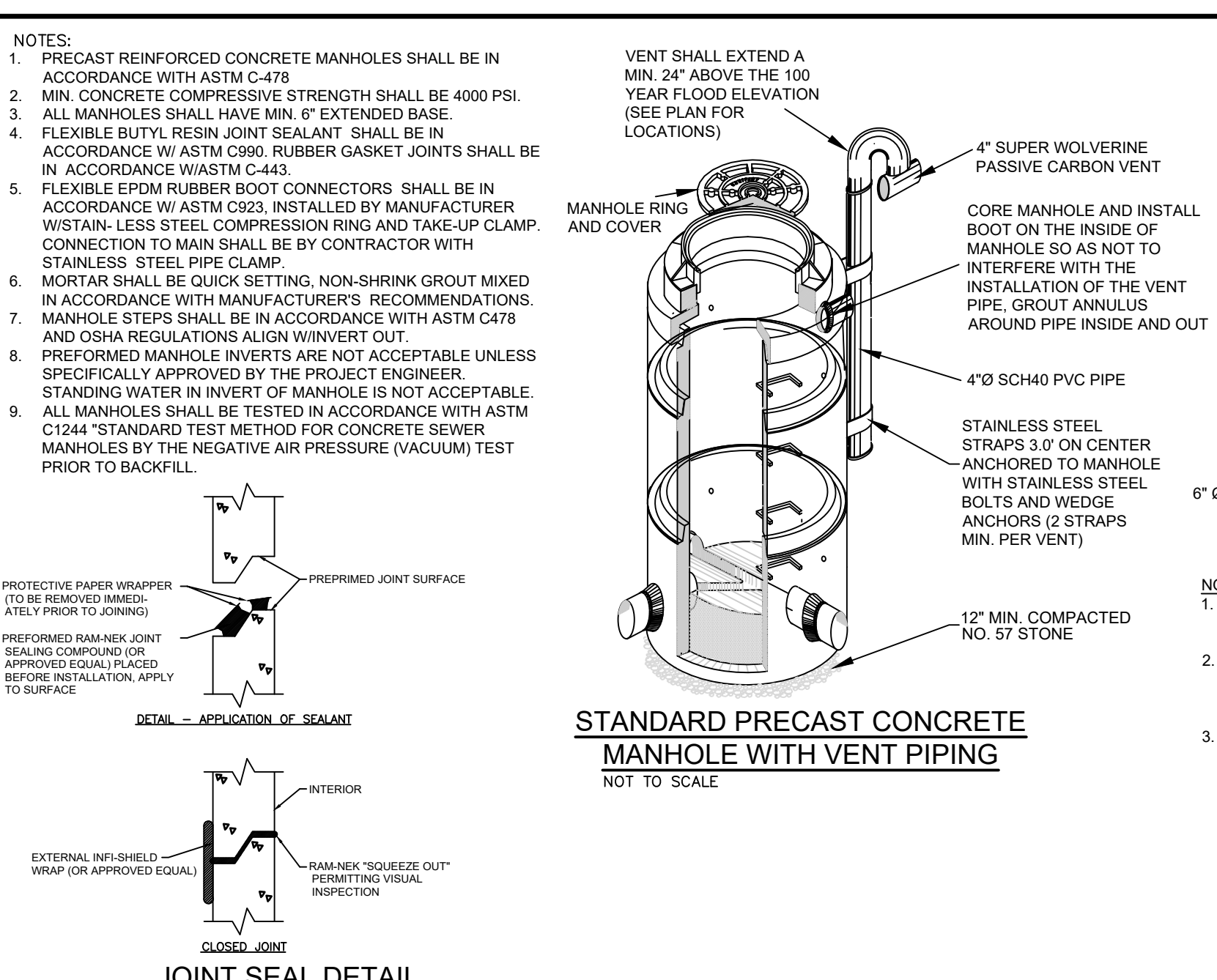
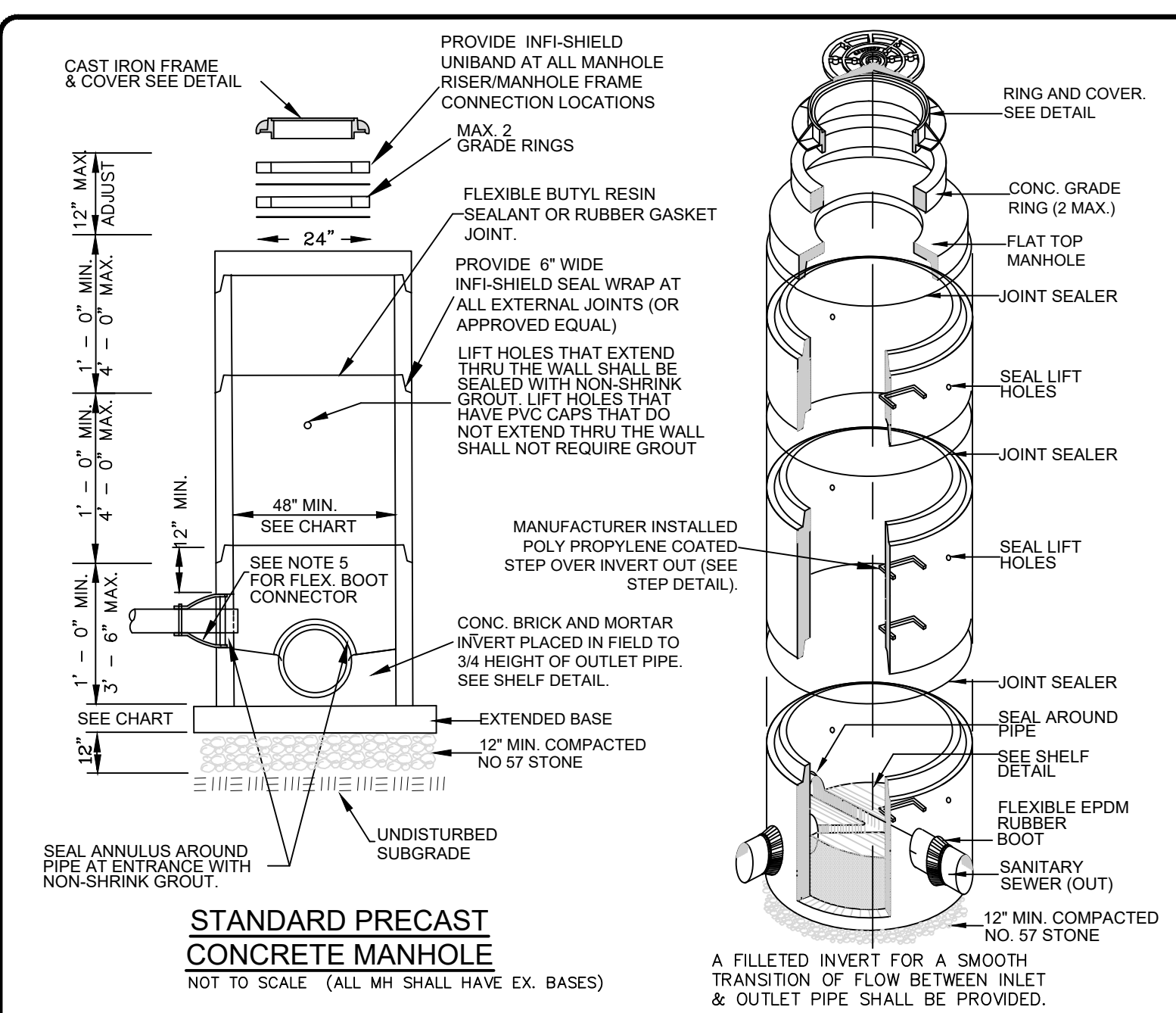
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PROJECT: THE FOST TRACT PD-R - PHASE 4
MUYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

RECORD DRAWINGS - PHASE 4

NO.	DATE	REVISIONS DESCRIPTION	BY

DESIGNED BY: *M. Deshpande*
 DRAWN BY: AKM
 CHECKED BY: KFW
 APPROVED BY: BPG
 DATE: 11-06-23
 SCALE: 1" = 30'
 SHEET: 9 OF 13
 CAD FILE: 4651ASB-PH4
 PROJECT NO: 4651



BRSSELL PROFESSIONAL GROUP
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THE POST TRACT PD-R - PHASE 4
NORTH CAROLINA
CURRITUCK COUNTY
MOYOCK TOWNSHIP

RECORD DRAWINGS - PHASE 4

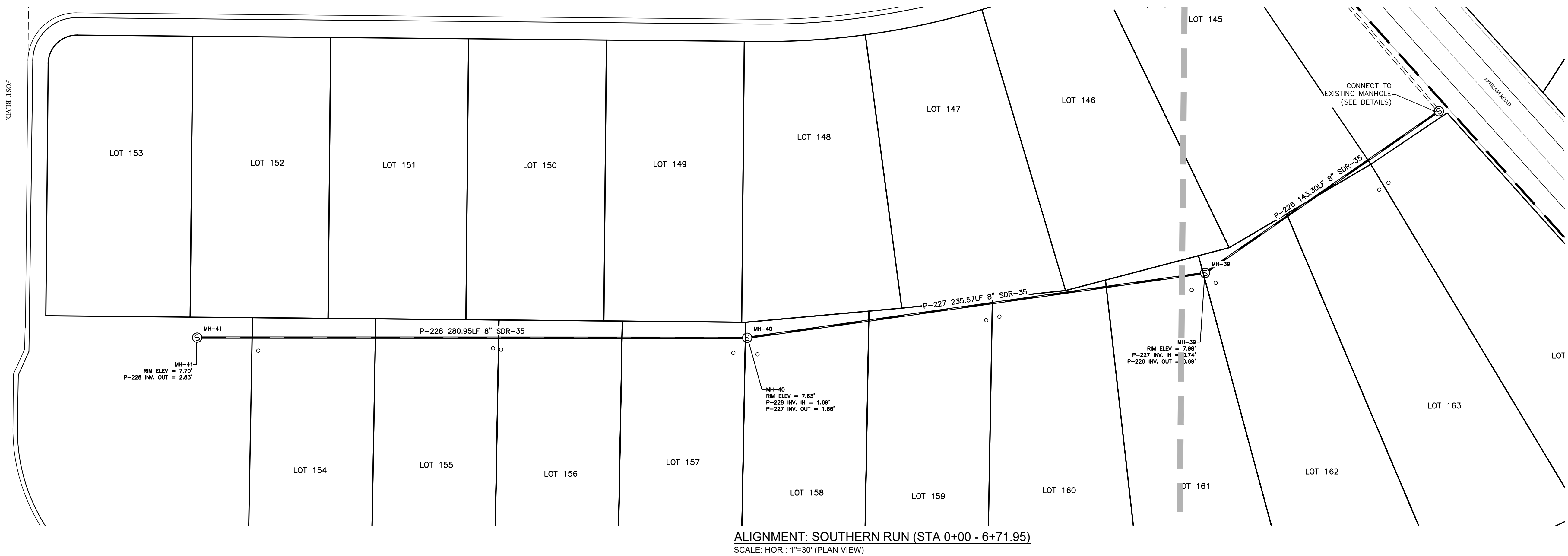
REVISIONS

NO.	DATE	DESCRIPTION
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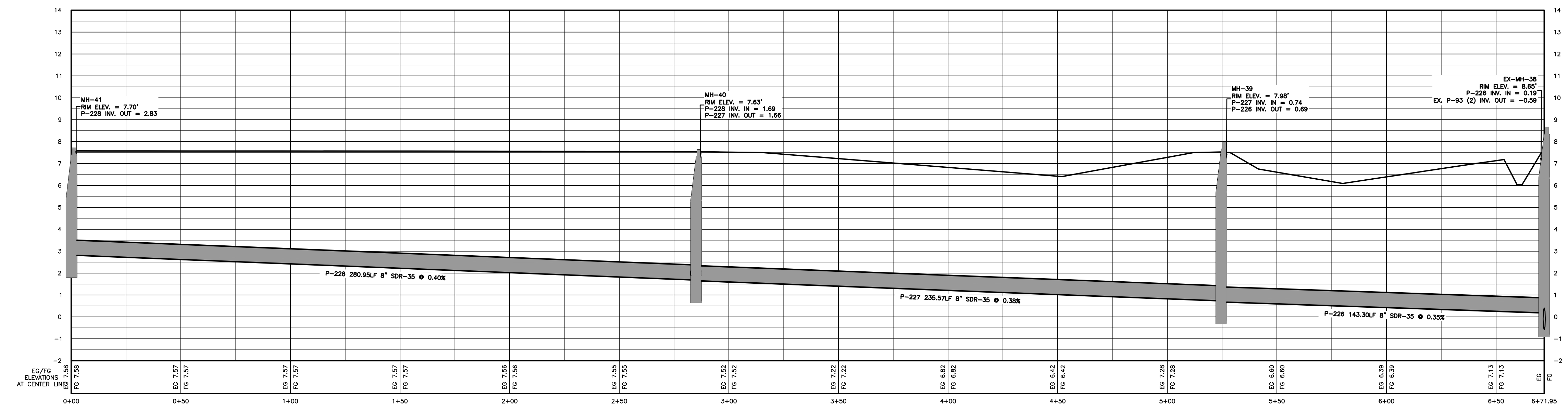
DESIGNED BY: [Signature]
CHECKED BY: [Signature]

DATE: 11-06-23
SCALE: 1" = 30'

SHEET: 10 OF 13
CAD FILE: 46511528-PD-R-17000-03
PROJECT NO.: 46511



ALIGNMENT: SOUTHERN RUN (STA 0+00 - 6+71.95)
SCALE: HOR.: 1"=30' (PLAN VIEW)



ALIGNMENT: SOUTHERN RUN (STA 0+00 - 6+71.95)
SCALE: HOR.: 1"=30' (PLAN VIEW)

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Bissell Professional Group
Firm License # C-96
P.O. Box 1008
1007 W. North Carolina Highway
Cary, NC 27513
Tel: (919) 232-1760
Fax: (919) 232-1760

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PROFESSIONAL GROUP

Engineers, Planners, Surveyors
and Environmental Specialists

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PROJECT: THE FOST TRACT PD-R PHASE 4
MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

SEWER PROFILES

NO. DATE DESCRIPTION

DESIGNED BY: *[Signature]*

CHECKED BY: *[Signature]*

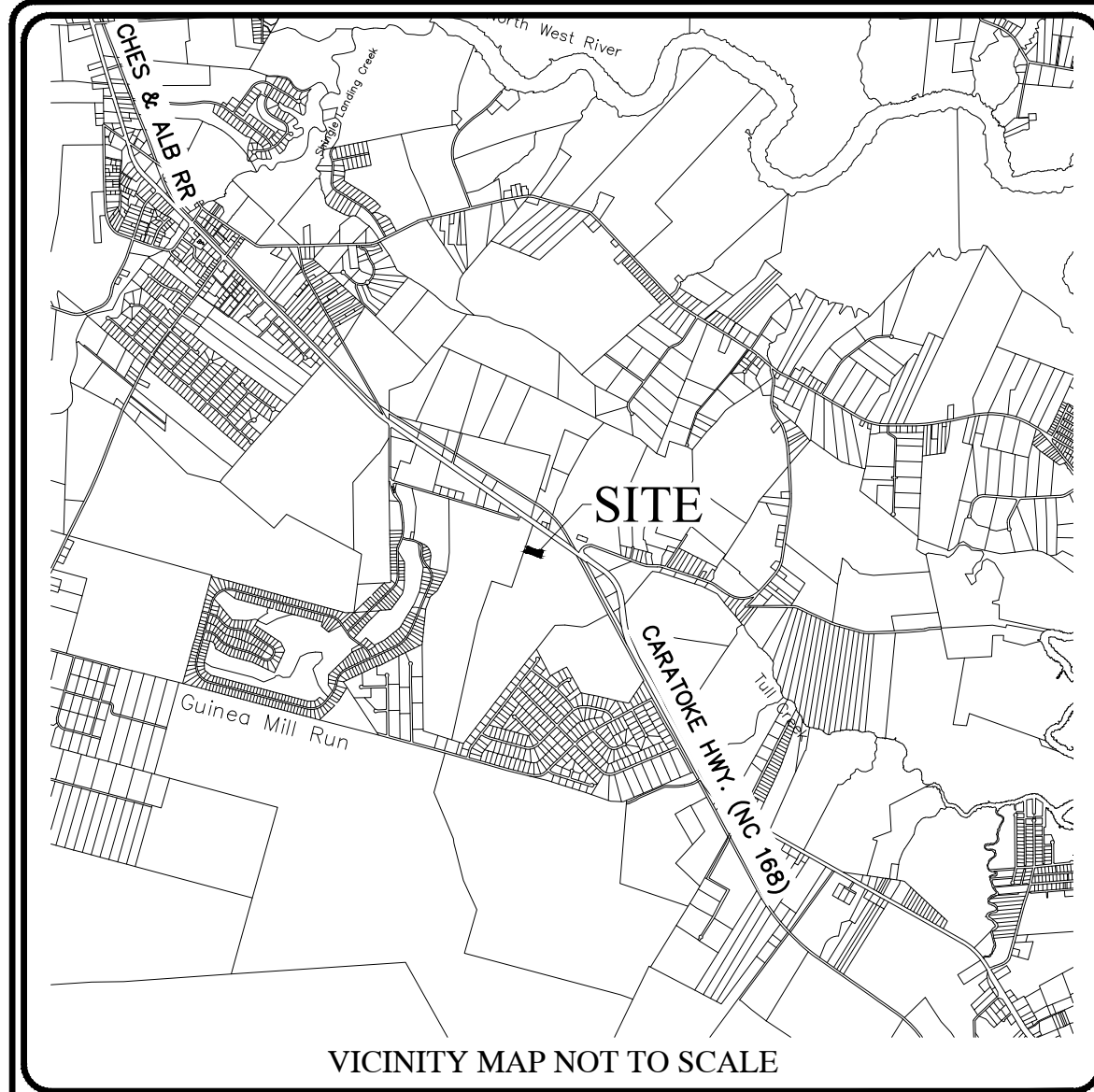
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DRAWN: AKM APPROVED: BPG

SHEET: 12 OF 13

CAD FILE: 4651ASB-PH4

PROJECT NO: 4651



THE FOST TRACT

MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PHASE 4

FINAL PLAT

GENERAL NOTES:

- PROJECT NAME: THE FOST TRACT
- APPLICANT: MOYOCK DEVELOPMENT, LLC

OWNERS: MOYOCK DEVELOPMENT, LLC
417-D CARATOKE HWY.
MOYOCK, NC 27958
- PROPERTY DATA:
ADDRESS: FOST BLVD., MOYOCK, NC 27958
PARCEL ID: 0015-000-0086-0000
RECORD DOCUMENT(S): D.B.13, PG:E/12; D.B. 1524, PG. 456
ACREAGE: 228.83 ACRES
PROPERTY ZONING: PD-R (PLANNED DEVELOPMENT - RESIDENTIAL)
- F.I.R.M. DATA:
ZONE X PER F.I.R.M. MAP NOS. 3721803100 K, 3721803000 K, & 3721804000 K ALL HAVING AN EFFECTIVE DATE DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
- THIS PROPERTY CONTAINS ACOE "404" JURISDICTIONAL WETLANDS AS SHOWN AND CONFIRMED BY USACOE ACTION ID# SAW 2018-00838, DATED APRIL 30, 2018, AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.
- A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES (EXCLUDING TOWNHOME LOTS WHICH HAVE A 15' DRAINAGE & UTILITY EASEMENTS ALONG REAR PROPERTY LINES ADJACENT TO PRIVATE STREETS). EASEMENTS FOR UTILITIES AND DRAINAGE ALONG FRONT PROPERTY LINES AND PEDESTRIAN ACCESS AND STREET TREE EASEMENTS ARE HEREBY PROVIDED PER TYPICAL SECTIONS SHOWN ON SHEET 5.
- A 25' DRAINAGE EASEMENT SHALL BE ESTABLISHED ALONG ALL MAJOR DRAINAGE WAYS SERVING MORE THAN 5 ACRES. A BLANKET DRAINAGE, UTILITY, AND PEDESTRIAN ACCESS EASEMENT IS HEREBY ESTABLISHED ACROSS ALL OPEN SPACE AREAS.
- SECTION 7.6.5 OF THE CURRITUCK U.D.O. SUBSTANTIALLY RESTRICTS DEVELOPMENT WITHIN A 30' RIPARIAN BUFFER.
- ALL UTILITIES ARE TO BE UNDERGROUND.
- THIS SUBDIVISION CONTAINS RIGHTS-OF-WAY THAT ARE PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHTS-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

OWNERSHIP AND DEDICATION CERTIFICATE
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE _____ OWNER _____
I, _____, A NOTARY PUBLIC
OF _____ COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT _____ PERSONALLY
APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.
WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____
20_____

NOTARY PUBLIC

REQUIRED IMPROVEMENTS CERTIFICATE
I HEREBY CERTIFY THAT ALL OF THE IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND THAT SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS, EXCEPT THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED WITH CURRITUCK COUNTY GUARANTEEING THAT ALL REMAINING IMPROVEMENTS MUST BE COMPLETED BY THE 21ST OF AUGUST, 2025 ACCORDING TO THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP. REMAINING IMPROVEMENTS INCLUDE:
• SIDEWALKS & MULTI-USE PATH
• STREET TREES
• FARM BUFFER
• FLORA PORTION OF ROWLAND CREEK IMPROVEMENTS
• PERMANENT STREET SIGNS AND NO PARKING SIGNS
• PAVEMENT MARKINGS
12/14/23
DATE REGISTERED LAND SURVEYOR/ENGINEER
L-1756
REGISTRATION NUMBER

SURVEYOR'S CERTIFICATION
I, MICHAEL D. BARR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN BOOKS REFERENCED); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOKS REFERENCED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 14th DAY OF DECEMBER, A.D., 2023.

DocuSigned by:
Michael D. Barr
SIGNATURE L-1756
C6DA34E9C9CBF428...

Sheet Number	Sheet Title
1	COVER
2	OVERALL
3	LOT LAYOUT
4	LOT LAYOUT
5	DETAILS

STORMWATER STATEMENT
NO MORE THAN THE AMOUNT SHOWN ON ATTACHMENT A TO THE RECORDED DECLARATION SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER SW7200202 & 7200203 ISSUED BY THE STATE OF NORTH CAROLINA. THE COVENANT MAY NOT BE CHANGED OR DELETED WITHOUT THE CONSENT OF THE STATE. FILLING IN OR PIPING OF ANY VEGETATIVE CONVEYANCES (DITCHES, SWALES, ETC.) ASSOCIATED WITH THIS DEVELOPMENT, EXCEPT FOR AVERAGE DRIVEWAY CROSSINGS, IS STRICTLY PROHIBITED BY ANY PERSON. THE LOT COVERAGE ALLOWANCE PROVIDED IN THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE MAY BE DIFFERENT THAN THE NC STATE STORMWATER PERMIT. THE MOST RESTRICTIVE LOT COVERAGE SHALL APPLY. CURRENT COVERAGE LIMITATIONS BY LOT NUMBERS ARE: LOTS 1-16 & 38-106, 45%; LOTS 17-37 & 107-113, 60%; LOTS T1-T44, 100%; LOTS 114-120, 60%; LOTS 135-164 45%.

PUBLIC DEDICATION OF RECREATION AND PARK AREA STATEMENT
A PAYMENT IN LIEU OF RECREATION AND PARK AREA DEDICATION WILL BE PROVIDED IN ACCORDANCE WITH CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. PAYMENT IN LIEU OF RECEIVED BY THE COUNTY SHALL BE USED ONLY FOR THE ACQUISITION AND DEVELOPMENT OF RECREATION PARK AREAS, AND OPEN SPACE SITES CONSISTENT WITH THE REQUIREMENTS OF THE NORTH CAROLINA GENERAL STATUTES SECTION 153A-331.

APPROVAL CERTIFICATE
I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE AND, THEREFORE, THIS PLAT HAS BEEN APPROVED BY THE CURRITUCK COUNTY TECHNICAL REVIEW COMMITTEE AND SIGNED BY THE ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE CURRITUCK COUNTY REGISTRY WITHIN 90 DAYS OF THE DATE BELOW.

DATE _____ ADMINISTRATOR _____

REVIEW OFFICER CERTIFICATE
STATE OF NORTH CAROLINA
COUNTY OF CURRITUCK
I, _____ REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE _____ REVIEW OFFICER _____

PUBLIC STREETS DIVISION OF HIGHWAY DISTRICT ENGINEER CERTIFICATE
I HEREBY CERTIFY THAT THE PUBLIC STREETS SHOWN ON THIS PLAT ARE INTENDED FOR DEDICATION AND HAVE BEEN DESIGNED OR COMPLETED IN ACCORDANCE WITH AT LEAST THE MINIMUM SPECIFICATIONS AND STANDARDS OF THE NC DEPARTMENT OF TRANSPORTATION FOR ACCEPTANCE OF SUBDIVISION STREETS ON THE NC HIGHWAY SYSTEM FOR MAINTENANCE.

DATE _____ DISTRICT ENGINEER _____

PRIVATE STREETS OWNER CERTIFICATE
I HEREBY CERTIFY THAT THE PRIVATE STREETS SHOWN ON THIS PLAT ARE INTENDED FOR PRIVATE USE AND WILL REMAIN UNDER THE CONTROL, MAINTENANCE AND RESPONSIBILITY OF THE DEVELOPER AND/OR A HOMEOWNER'S ASSOCIATION AND ACKNOWLEDGE THAT SOME PUBLIC SERVICES MAY NOT BE PROVIDED DUE TO THE PRIVATE NATURE OF THE ROAD.

DATE _____ OWNER _____

DEVELOPMENT NOTES:

TOTAL TRACT AREA:	228.28 AC.
TOTAL AREA PHASE 1A, 1B, 2, 3A & 3B	77.94 AC.
TOTAL AREA PHASE 4:	19.98 AC.
TOTAL AREA PHASE 1A, 1B, 2, 3A,3B &4	97.92 AC.
TOTAL AREA LOTS IN PHASE 4:	13.23 AC.
PUBLIC R/W TOTAL AREA PHASE 4:	4.37 AC.
PRIVATE R/W AREA PHASE 4:	0.33 AC
REQUIRED OPEN SPACE PHASE 1A, 1B, 2, 3A, 3B & 4 (30%):	29.37 AC.
OPEN SPACE PROVIDED PHASE 1A, 1B, 2,3A,3B, &4:	41.87 AC. (42.76%)
# OF PROPOSED LOTS PHASE 3B:	37 LOTS
PROPOSED RIGHT-OF-WAY WIDTH:	40'
PROPOSED PAVED ROADWAY WIDTH:	22'
LINEAR FEET OF ROADWAY PHASE 3A:	3773'
LOT DEVELOPMENT CONFIGURATION:	
LOT AREAS: VARY FROM 6,905 S.F. TO 14,564 S.F.	

SURVEY LEGEND	
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE OF ROADWAY
---	TOP OF BANK
+	SET IRON ROD
O	EXISTING IRON ROD
o	EXISTING IRON PIPE
□	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
(T)	TOTAL
P.C.	PLAT CABINET
SL.	SLIDE
D.B.	DEED BOOK
M.B.	MAP BOOK
PG.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
---	ADDRESS
P/O	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
O.S.	OPEN SPACE
R/W	RIGHT-OF-WAY

BISSELL PROFESSIONAL GROUP
Firm License # C-956
3512 North Croatan Highway
K-10, Box 1068
Kittlingham, North Carolina 27949
(252) 261-3266
FAX (252) 261-1760

PROFESSIONAL GROUP
Engineers, Planners, Surveyors
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PROJECT: THE FOST TRACT PD-R
PHASE 4
CURRITUCK COUNTY
MOYOCK TWP.
NORTH CAROLINA
FINAL SUBDIVISION PLAT

REVISIONS

NO.	DATE	DESCRIPTION	BY



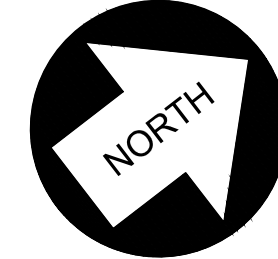
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AKM	MSB
DRAWN:	APPROVED:
AKM	MSB
SHEET:	
1 OF 5	
CAD FILE:	
465100FP-PH4-2	
PROJECT NO:	
4651	

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C-P8	11.52'	50.00'	11.50'	S28° 05' 45"W	13°12'15"
C1	118.97'	120.28'	114.18'	S47° 37' 33"W	56°40'33"
C2	171.08'	120.28'	157.02'	S21° 27' 43"E	81°29'55"
C3	74.45'	120.28'	73.27'	S89° 07' 04"E	35°28'00"
C4	112.81'	180.00'	110.97'	S89° 20' 19"E	35°54'31"
C5	249.46'	363.00'	244.58'	N88° 55' 42"E	39°22'29"
C6	320.23'	500.00'	314.78'	S89° 12' 57"E	36°41'44"
C7	112.36'	150.30'	109.76'	S54° 32' 41"W	42°49'56"
C9	19.76'	15.00'	18.36'	N70° 52' 15"E	75°29'24"
C10	20.03'	15.00'	18.57'	N33° 08' 08"W	76°29'51"
C11	130.70'	150.28'	126.62'	S19° 48' 06"E	49°50'00"
C13	16.58'	15.00'	15.75'	N13° 03' 05"W	63°20'02"
C14	23.56'	15.00'	21.21'	N63° 36' 57"E	90°00'00"
C15	23.56'	15.00'	21.21'	N26° 23' 03"W	90°00'00"
C16	23.56'	15.00'	21.21'	N63° 36' 57"E	90°00'00"
C17	23.56'	15.00'	21.21'	N26° 23' 03"W	90°00'00"
C18	85.69'	108.00'	83.46'	N41° 20' 43"E	45°27'32"
C19	84.24'	103.00'	81.92'	S40° 38' 35"W	46°51'46"
C20	58.36'	108.00'	57.65'	N32° 41' 34"E	30°57'43"
C21	58.36'	108.00'	57.65'	N72° 57' 45"W	30°57'43"
C22	118.72'	103.00'	112.26'	N89° 29' 55"E	66°02'24"
C23	99.25'	108.00'	95.79'	S82° 48' 19"W	52°39'12"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C24	333.04'	520.00'	327.38'	S89° 12' 57"E	36°41'44"
C25	22.12'	15.00'	20.17'	N66° 09' 27"W	84°28'50"
C26	65.97'	180.00'	65.61'	N13° 25' 02"W	21°00'02"
C27	51.47'	90.28'	50.77'	N87° 42' 16"W	32°39'49"
C28	232.16'	90.28'	173.27'	S2° 17' 23"W	147°20'52"
C29	55.88'	90.28'	54.99'	S89° 07' 04"E	35°28'00"
C30	34.92'	150.28'	34.84'	N79° 48' 21"E	13°18'51"
C31	35.24'	150.28'	35.16'	S86° 49' 10"E	13°26'08"
C32	22.86'	150.28'	22.84'	S75° 44' 34"E	8°43'02"
C33	23.56'	15.00'	21.21'	S63° 36' 57"W	90°00'00"
C34	23.56'	15.00'	21.21'	S26° 23' 01"E	89°59'55"
C35	2.04'	165.00'	2.04'	S71° 44' 18"E	0°42'28"
C36	103.43'	165.81'	101.76'	S89° 17' 50"E	35°44'20"
C37	40.00'	195.00'	39.93'	N78° 37' 00"E	11°45'14"
C38	40.00'	195.00'	39.93'	S89° 37' 49"E	11°45'09"
C39	39.39'	195.00'	39.33'	S77° 57' 59"E	11°34'30"
C40	2.70'	195.00'	2.70'	S71° 46' 54"E	0°47'41"
C41	23.56'	15.00'	21.21'	S63° 36' 49"W	89°59'45"
C42	23.56'	15.00'	21.21'	S26° 23' 03"E	90°00'00"
C43	63.99'	338.00'	63.90'	S76° 48' 29"E	10°50'52"
C44	70.62'	338.00'	70.49'	S88° 13' 03"E	11°58'15"
C45	70.95'	338.00'	70.82'	N79° 47' 01"E	12°01'37"

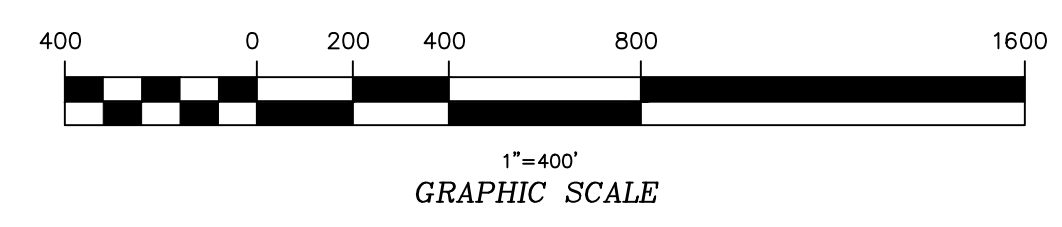
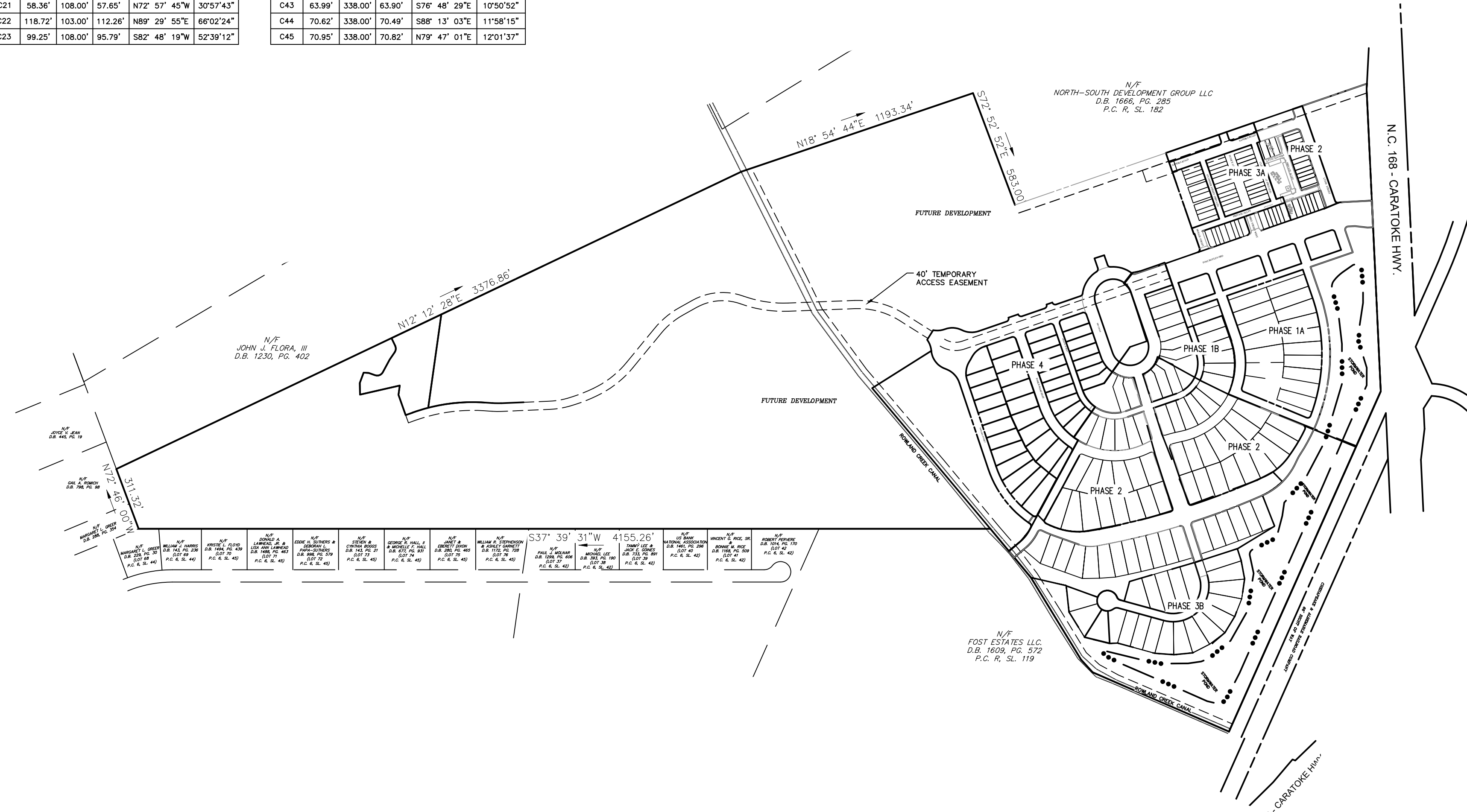
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C46	25.34'	338.00'	25.33'	N71° 37' 21"E	4°17'43"
C47	22.26'	15.00'	20.27'	N66° 25' 34"W	85°01'04"
C48	13.40'	388.00'	13.40'	N72° 03' 16"E	1°58'45"
C49	61.72'	388.00'	61.65'	N77° 36' 04"E	9°06'50"
C50	61.86'	388.00'	61.80'	N86° 43' 32"E	9°08'07"
C51	61.86'	388.00'	61.80'	S84° 08' 21"E	9°08'07"
C52	55.44'	388.00'	55.40'	S75° 28' 41"E	8°11'15"
C53	23.56'	15.00'	21.21'	S63° 36' 57"W	90°00'00"
C54	85.69'	108.00'	83.46'	S4° 06' 49"E	45°27'32"
C55	15.51'	103.00'	15.50'	N22° 31' 44"W	8°37'42"
C56	77.00'	108.00'	75.38'	S38° 38' 23"E	40°51'00"
C57	22.25'	108.00'	22.21'	S64° 57' 59"E	11°48'12"
C58	76.10'	480.00'	76.02'	S75° 24' 37"E	9°05'03"
C59	77.33'	480.00'	77.24'	S84° 34' 03"E	9°13'49"
C60	79.72'	480.00'	79.63'	N86° 03' 33"E	9°30'59"
C61	74.26'	480.00'	74.19'	N76° 52' 07"E	8°51'53"
C62	25.23'	15.00'	22.36'	N24° 15' 34"E	96°21'13"
C63	19.26'	120.28'	19.24'	S66° 47' 52"E	9°10'23"
C64	7.57'	520.00'	7.57'	N72° 01' 09"E	0°50'03"

DEVELOPMENT STANDARDS & SETBACKS			
STYLE	TND T.H.	TND S.F. LOT	CONV. S.F. LOT
MIN. LOT SIZE	1,800 SF	6,900 SF	9,500 SF
TYPICAL LOT SIZE	1,800 - 3,000 SF	7,000 - 9,000 SF	10,000 - 15,000 SF
MIN. LOT WIDTH	20'	35'	35'
TYPICAL LOT WIDTH	20'-25'	50'-60'	62'
FRONT SETBACK	15'	20'	20'
SIDE SETBACK	0	10'	10'
REAR SETBACK	20'	20'	25'
CORNER SIDE SETBACK	15'	15'	15'
MAXIMUM SETBACK	25'	75'	140'
MAXIMUM HEIGHT	35'	35'	35'
MAXIMUM BUILDING SIZE	16,000 SF	N/A	N/A
MAXIMUM LOT COVERAGE	100%	60%	45%



NC NAD 83(2011) GRID NORTH

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 FAX (252) 261-1760

PROJECT:
**THE FOAT TRACT PD-R
 PHASE 4
 FINAL SUBDIVISION PLAT**

MAYOCK TWPSP.
 CURRITUCK COUNTY
 NORTH CAROLINA

REVISIONS	
NO.	DATE DESCRIPTION BY

DocuSigned by:

 C6DA34EC9CBF428
 12/14/2023

DATE: 11-09-2023
 SCALE: AS SHOWN

DESIGNED: CHECKED:
 MSB

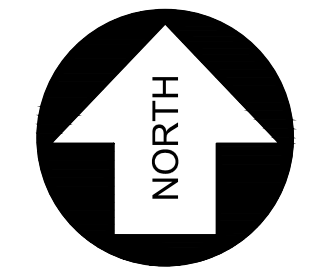
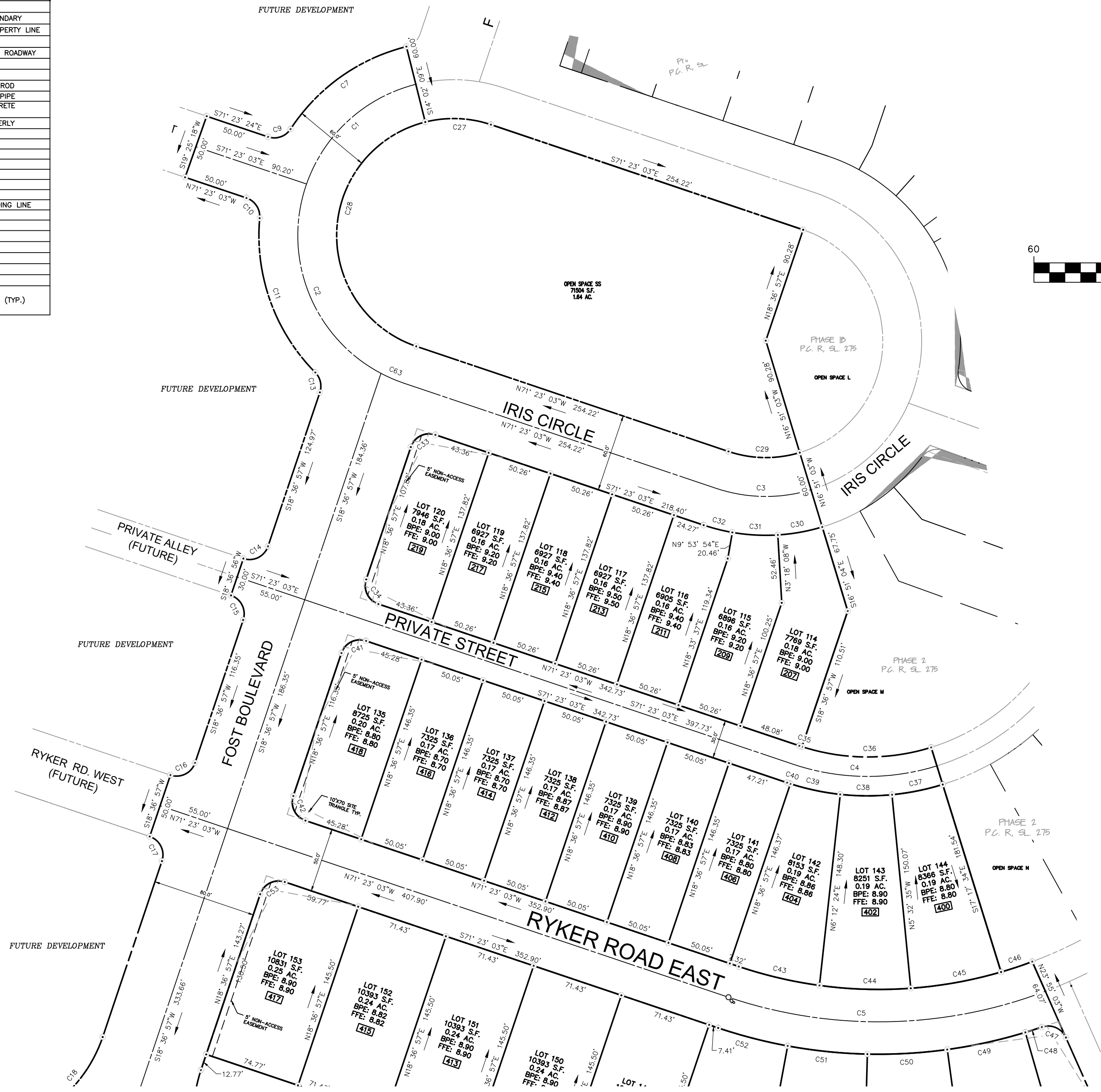
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 AKM MSB

SHEET:
2 OF **5**

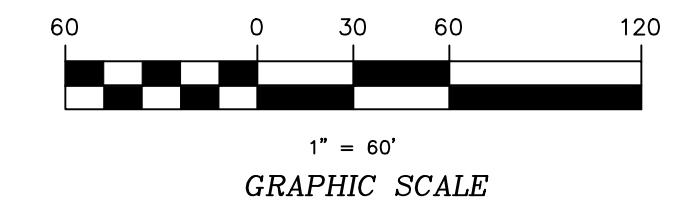
CAD FILE:
 465100FP-PH4-2

PROJECT NO:
 4651

SURVEY LEGEND	
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE OF ROADWAY
---	TOP OF BANK
+	SET IRON ROD
○	EXISTING IRON ROD
□	EXISTING IRON PIPE
□	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
P.C.	PLAT CABINET
SL	SLIDE
D.B.	DEED BOOK
M.B.	MAP BOOK
P.G.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
123	ADDRESS
P/O	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
O.S.	OPEN SPACE
R/W	RIGHT-OF-WAY
▽	SITE TRIANGLES (TYP.)



NC NAD 83(2011) GRID NORTH



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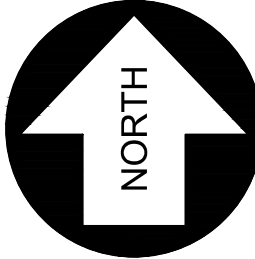
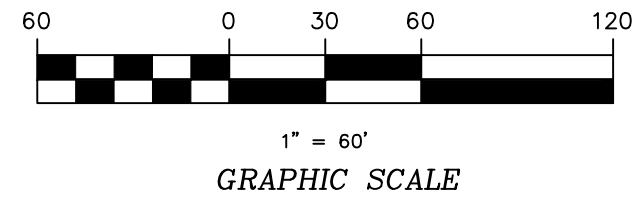
PROJECT: **THE FOST TRACT PD-R PHASE 4**
 CURRITUCK COUNTY NORTH CAROLINA
 MOYOCK TWP. FINAL SUBDIVISION PLAT

REVISIONS	
NO.	DATE / DESCRIPTION / BY

DocuSigned by:

 MICHAEL D. ZAMPIERI
 CURRITUCK COUNTY SURVEYOR

DATE:	11-09-2023	SCALE:	AS SHOWN
DESIGNED:		CHECKED:	MSB
DRAWN:	AKM	APPROVED:	MSB
SHEET:	3 OF 5		
CAD FILE:	465100FP-PH4-2		
PROJECT NO:	4651		



NC NAD 83(2011) GRID NORTH

SURVEY LEGEND	
---	RIGHT-OF-WAY
---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE OF ROADWAY
---	TOP OF BANK
•	SET IRON ROD
○	EXISTING IRON ROD
○	EXISTING IRON PIPE
□	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
P.C.	PLAT CABINET
SL	SLIDE
D.B.	DEED BOOK
M.B.	MAP BOOK
P.G.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
[422]	ADDRESS
P/O	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
O.S.	OPEN SPACE
R/W	RIGHT-OF-WAY
△	SITE TRIANGLES (TYP.)

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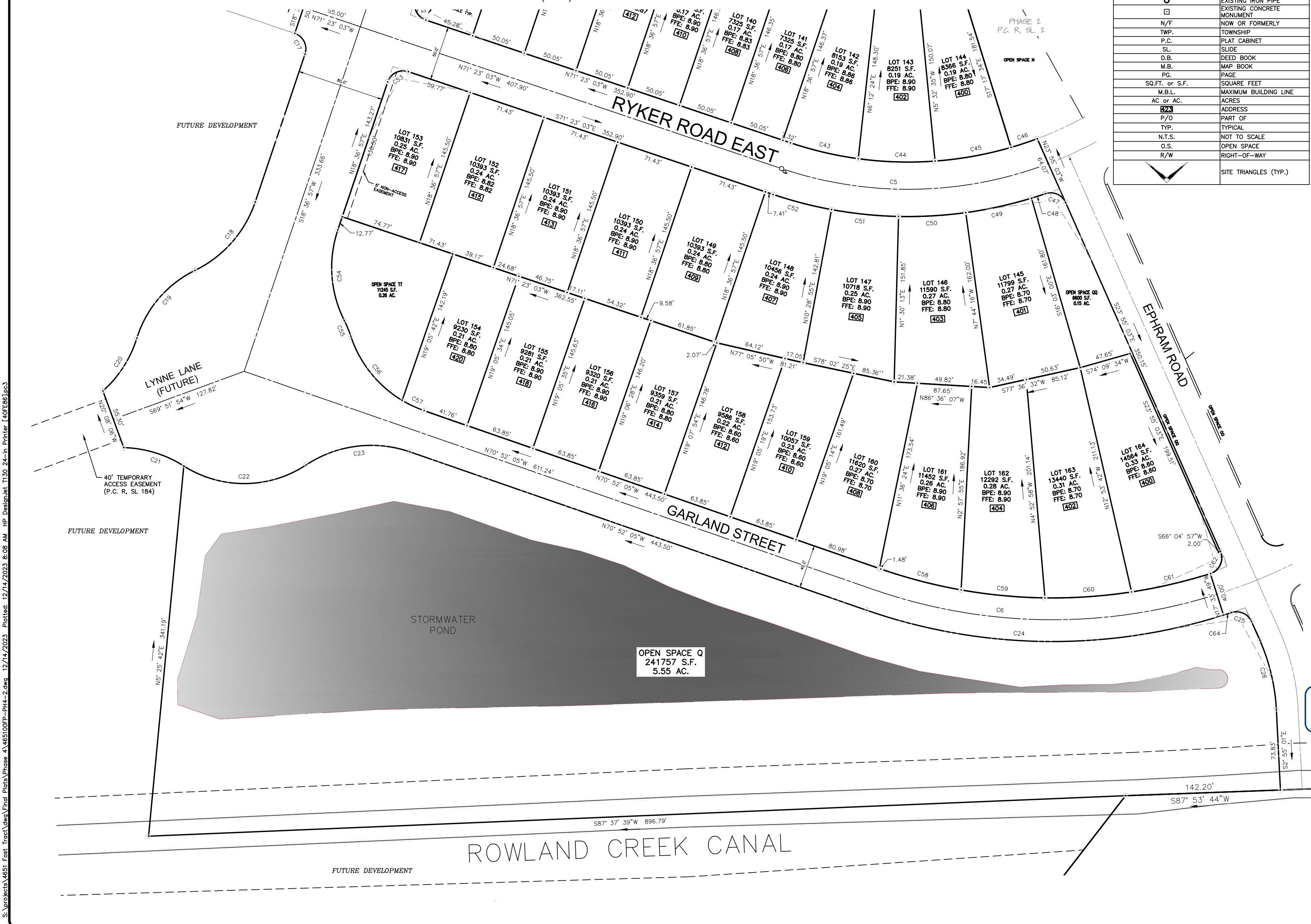
THE FOST TRACT PD-R
PHASE 4
 CURRITUCK COUNTY NORTH CAROLINA
 MOYOCK TWP.
FINAL SUBDIVISION PLAT

REVISIONS			
NO.	DATE	DESCRIPTION	BY

DocuSigned by:

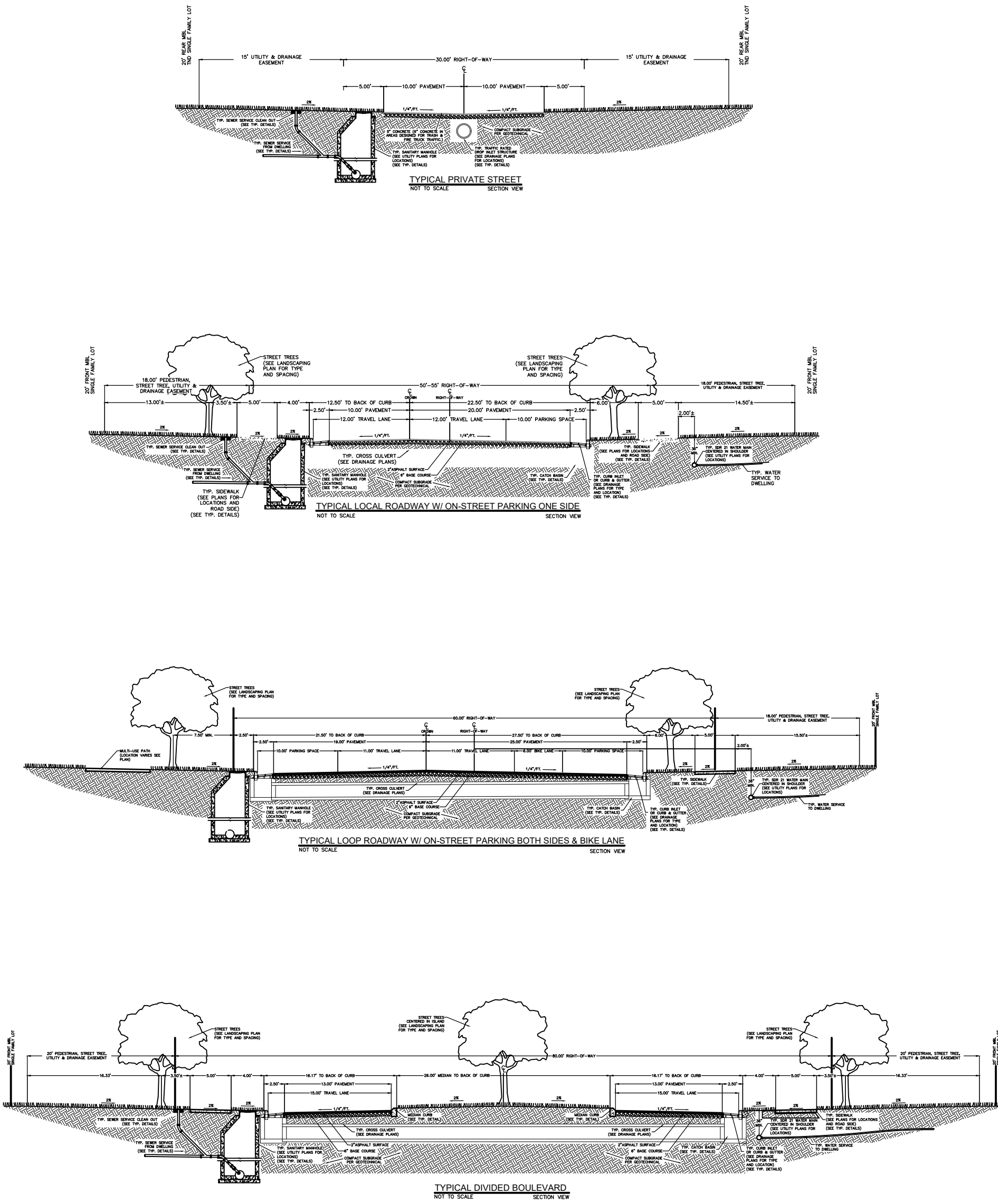
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 MICHAEL D. BISSELL

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DESIGNED:		CHECKED:	MSB
DRAWN:	AKM	APPROVED:	MSB
SHEET:	4 OF 5		
CAD FILE:	465100FP-PH4-2		
PROJECT NO:	4651		



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PROJECT:
THE FOST TRACT PD-R
PHASE 4
CURLITUCK COUNTY NORTH CAROLINA
MOYOCK TWP.
FINAL SUBDIVISION PLAT

NO.	DATE	DESCRIPTION	BY

DocuSigned by:
Michael W. Surver
66DA34EC9C8E428
MICHAEL W. SURVER
12/14/23

DATE:	11-09-2023	SCALE:	AS SHOWN
DESIGNED:		CHECKED:	MSB
DRAWN:	AKM	APPROVED:	MSB
SHEET: 5 OF 5			
CAD FILE: 465100FP-PH4-2			
PROJECT NO: 4651			