

August 23, 2023

Ms. Donna Voliva, Asst. Planning Director  
Currituck County

**Subject: Response to TRC Comments  
Dollar Tree - Grandy  
Timmons Group Job #59040**

Dear Ms. Voliva:

Please accept the following for resubmittal to TRC. We have enclosed 2 full sized copies of the revised plans, one 8.5 X 11 reduced copy of the plans, a revised site plan application, a revised drainage narrative, a truck turning template exhibit, and a copy of the contract for purchase. A disc is also enclosed containing the plans and documents in pdf format.

My responses to your comments are below.

**Planning (Donna Voliva, 252-232-6032)**

Reviewed

1. The owner of the property must sign the application or provide necessary documentation to indicate the applicant has a recognized property interest.  
[A copy of the contract for purchase is enclosed.](#)
2. Correct the address on the site plan (6440 Caratoke Highway) and the PIN on the application (0094000122E0000).  
[Address and PIN have been corrected.](#)
3. Grading and fill are proposed within 10' of property lines. Section 7.3.5 of the UDO does not allow for fill and land disturbing activities within 10 feet of any lot line. Drainage and stormwater improvements may be approved by the county engineer, but it does not appear the proposed development is consistent with this allowance.  
[The fill has been reduced based on conversations with McAdams staff. Minor fill still exists in the 10' setback to properly construct the sidewalks along the highway and there is a small amount adjacent to the parking along the western property line.](#)
4. The maximum driveway width measured at the property line shall not exceed 36' and both driveways exceed the maximum width.  
[The driveway radii have been modified to reduce the width at the r/w line.](#)
5. Provide variable width drainage easement recording information for the drainage improvement along the northwestern property line.  
[The existing easement is now shown and referenced.](#)
6. Provide detail that illustrates the 20' x 40' loading space can be accessed and not impact the drive aisle/driveway.  
[See attached exhibit showing truck path through the parking lot. It illustrates that when the truck is parked for unloading there is still more than 16' of space for another vehicle to pass.](#)
7. Vehicular use area landscaping, landscaping located within a required perimeter buffer, or required screening cannot be used for site landscaping.  
[Understood. Landscaping has been modified accordingly. Please note that a 60' radius is shown for all trees that are designated as required parking lot trees.](#)
8. Provide details for sign and base landscaping. Otherwise, a separate review will be necessary for the sign.  
[It is understood that this will be handled at a later date.](#)

9. Streetscape is not provided on the northwest area of the driveway (area of sign and drainage easement).  
[We have relocated one tree to help meet this requirement.](#)
10. The owner shall sign the stormwater statement on sheet C4.0.  
[We do not yet have this in hand but will obtain owners signature and forward as soon as possible.](#)
11. Some canopy trees are proposed under the overhead powerline. Provide details from Dominion Energy to permit/authorize the landscaping in this area. If the powerlines are in an easement, provide the easement information.  
[We have rotated the portion of the buffer yard that was beneath the power lines so that it runs parallel to and not directly under the lines.](#)
12. Neuse Street is considered a quiet street in the Connecting Currituck Pedestrian Plan. Please indicate a pedestrian improvement that is consistent with the pedestrian plan.  
[Per our discussion, we are awaiting feedback from planning.](#)
13. Portions of the vehicular landscape strip not occupied by shrubs shall include appropriate ground cover and be a minimum width of five feet (general note).  
[We have added a note to the shrub detail indicating that shrubs planted in rows shall receive mulch continuously through the bed.](#)
14. The plans indicate some potential off-site activities. Provide easement information or authorization for proposed off-site development.  
[All off-site development has been limited to within existing drainage easements or in public rights-of-way.](#)
15. The UDO requires that all driveways be constructed so that vehicles can enter and exit from the lot without posing any substantial danger to themselves, pedestrians, or vehicles travelling on abutting streets. A left out onto Caratoke Highway must be further evaluated to conclude the access will not pose any substantial danger to travelers. Considering a signalized intersection is available, it is staff's recommendation that the access be limited to right in and right out on Caratoke Highway.  
[We have reached out to NCDOT and have not received any response. We are assuming we have full access based on the current center turn lane configuration.](#)
16. Provide the information/calculations for the minimum building pad/finished floor elevation to show how the elevation was established and consistency with the UDO.  
[We have reduced the proposed FFE by ½ foot. The FFE of the proposed building is similar to that of the adjacent Sonic building. The outer edge of the Sonic parking lot is noted on our plans to be above elevation 12. Part of our concern is not having low points of the project to be below existing grades, so we work from low points up to the building FEE.](#)
17. The building elevation review is based on no roof mounted equipment.  
[There will be no roof mounted equipment.](#)
18. It appears the building design feature of a series of four or more pilasters having a minimum depth of eight inches and a minimum width of eight inches, and a minimum height of 80 percent of the facade's height. Please indicate the other two other features being used on the façade visible from a street. [We understand that building review and discussion is ongoing.](#)
19. The building shall be configured so that building facades visible from streets include a window or functional general access doorway at least every 20 feet along the façade. False windows are proposed on two sides. The rear elevation includes a door, but it does not appear to be a general access doorway. Generally, false windows are allowed by the director when the building features provide additional design elements to address the purpose and intent of the nonresidential design standards. More specifically, elements that establish a higher quality development, foster greater compatibility between development, encourage a strong sense of place, and enhance the appearance of the development along the major arterials are considered when determining when false windows can be used. [We understand that building review and discussion is ongoing.](#)
20. The proposed dumpster is shown between the building and Neuse Street. Typically, dumpster facilities cannot be located between the principal structure and any adjacent street. Due to the configuration of the lot and the placement of the dumpster, would the applicant utilize materials similar to the exterior façade for the screening materials in order to blend in with the building?  
[A dumpster enclosure detail using split face block has been added.](#)

21. Prior to site plan approval all applications must be signed and copies of all approved permits and agreements must be provided.  
[Understood. These revised plans are being submitted for NCDEQ and NCDOT permits.](#)
22. Building wall pack lights shall not exceed 1,600 lumens.  
[Understood. Lighting plans will be updated.](#)
23. All light fixtures shall be mounted to be full cut-off.  
[Understood.](#)

#### **Currituck County Building and Fire Inspections (Bill News, 252-232-6023)**

Reviewed

1. Soil and compaction testing for footings.
2. Needed Fire Flow for construction is determined by the ISO method.
3. No new construction can occur that creates a Needed Fire Flow greater than the available fire flow on site.
4. Knox Box provided on buildings (Coordinate location with the local VFD for building and order the box at Knox website to order search for Currituck Co Fire-EMS at <http://www.knoxbox.com> for Knox Box location and setup of box call Chris Bailey 252-435-8120.
5. Connectivity of all required exits to a public way (hard surface asphalt/concrete) 48" accessible route to public way.
6. Curb cuts at vehicular traffic areas and pedestrian crossings must be ADA compliant and have detectable warning devices installed.

[Comments are understood and have been passed on to the contractor.](#)

#### **Currituck Soil and Water Conservation (Dylan Lloyd, 252-232-3360)**

Approved with corrections

1. All fill shall comply with setback requirement of 10' from toe of slope to lot lines.  
[Fill within 10' of the property line has been reduced.](#)
2. Invert for 18" RCP under drive entrance to Neuse Street shows an 8.3' inv out on the receiving end but a 9.1' inv on the outlet end. Is this ditch to be regraded?  
[I believe Dylan is seeing an existing spot grade of 9.06 in the ditch. The outlet of the pipe is proposed at 8.3' as labeled.](#)
3. Show downstream drainage path downstream to Dowdy Bay Outlet.

#### **Currituck County GIS (Harry Lee 252-232-4039)**

Reviewed

1. The address on the site plan application is incorrect. The physical address is 6440 Caratoke Hwy.
2. The Parcel ID Number on the site plan application is incorrect. The correct Parcel ID Number is 0094000122E0000.  
[These items have been corrected.](#)

#### **US Army Corps of Engineers (Anthony Scarbraugh, 910-251-4619)**

Reviewed

1. Any impacts to jurisdictional waters or wetlands of the US requires prior approval from the US Army Corps of Engineers.  
[No impact is proposed.](#)

## **STORMWATER DEVELOPMENT REVIEW COMMENTS**

### GENERAL

1. Please provide a complete copy of the required documentation to supplement Major Stormwater Plan Form SW-002 including design forms, design checklists, and inspection checklists.  
[See additional calculation information in the drainage study report.](#)

### STORMWATER PLAN

1. The Stormwater Plan indicates the Rational Method was used, but the checklist indicates the simple volume calculation was used. Please either provide Form SW-003 or update the Stormwater Plan and calculations.  
[See additional calculation information in the drainage study report.](#)
  - a. To demonstrate compliance recommend using the rational method for flows, the simple volume calculation from the Stormwater Manual for required volume, and demonstrate surface area and volume are sufficient using the sizing methodology in the NCDEQ infiltration system minimum design criteria  
[Please note that I have further researched the Modified Rational Method and its recommended use for initial sizing of stormwater basins. The report contains additional information to illustrate the development of rational C and the Time of Concentration. Additionally, we have used the state runoff volume calculations that are used for sizing infiltration basins to provide an additional estimate of the increase in runoff volume from the pre-development 2-year storm and the post-development 5-year storm.](#)
  - b. It is recommended that the engineer meet with the stormwater reviewers to better understand the presented methodology.  
[Revised calculations and grading are based on our meeting.](#)

### CONSTRUCTION DRAWINGS

1. Sheet C2.0 – Please note septic drain fields should be set back 25' from downslope stormwater drainage.  
[Septic systems are not required to maintain 25' separation from shallow drainage such as what is existing adjacent to the site. The bottom of the nitrification lines will be a minimum of 18 inches in depth in an area with an average elevation of 10.5' resulting in an approximate bottom elevation of 9.0'. The swale invert adjacent to the septic system is 9.53'.](#)
2. Sheet C3.0 and C3.2 – From Sheet C3.2 it appears that the infiltration basin will be used as a temporary sediment basin, but it appears slow will be diverted to a swale on Sheet C3.0. Please clarify and if necessary, provide information on how the temporary sediment basins will be converted to the permanent SCM to maintain required infiltration rates without clogging during construction.  
[As we discussed, the infiltration basin will not be used as a skimmer basin. The infiltration basin area is to remain undisturbed until the site is substantially stabilized.](#)
3. Sheet C4.0 – Per 7.3.4.C.(2) of the Currituck County UDO – filling is not permitted within ten feet from any lot line. Please demonstrate conformance with this requirement.  
[As discussed, we cannot eliminate the fill associated with the sidewalk due to keeping the sidewalk above back of curb grade along the highway. We have reduced the fill required along the western property line by lowering the outer edge of parking and installing curb and gutter. We also reduced that row of parking spaces from 20' in length to 18' to allow for additional separation from the property line.](#)

4. Sheet C4.0 – Per 7.3.4.C.(3) of the Currituck County UDO – unless all filling is at least 100 feet from all lot lines, a lot shall not be filled or graded higher than the average adjacent grade of the first 30 feet of adjoining property. Please provide calculations for determining the allowable fill elevation and that the proposed grading is in conformance with this requirement.  
*As we discussed, the project site is naturally higher than the adjacent site to the west. We have lowered the building by ½ foot and are maintaining grades that are similar to those on the site to the east. Development of the lot to the west will require fill. We have directed runoff from all of the proposed impervious surfaces away from the lower lot.*
5. Sheet C4.0 – Per 7.3.4.A.(6) of the Currituck County UDO please provide notes for cleaning of existing drainage ditches if they will be used for proposed drainage or stormwater management.  
*No cleanout of existing drainage ditches is proposed.*
6. Sheet C4.0 – Is the existing 30" RCP on the northwest side of the pipe going to be replaced in its entirety along with replacement of the drop inlet along Carotoke Highway? As it is under the driveway and the junction will be replaced, we recommend replacing the whole run rather than joining to prevent failure at the joint. Please also verify that this pipe will have enough cover under the driveway to support the proposed loads.  
  
*As we discussed, we are not replacing the existing curb inlet structure, we are only removing the frame and grate and replacing it with a drop inlet frame and grate to allow for the same drainage collection in the driveway apron. The 30" RCP has an approximate top elevation of 9.75' and the proposed finished grade above the pipe is approximately 11.75'. This is sufficient cover for RCP.*
7. Sheet C4.0 – What is the elevation of the inlet to the infiltration basin? Please provide energy dissipation calculations and appropriate end treatments.  
*The inlet into the basin is elevation 8.01'. The depressed area at the inlet will be riprap reinforced.*
8. Sheet C4.0 – Please provide information on the outlet structure (inverts, pipe size, etc.) from the infiltration basin and appropriate end treatments.  
*This information has been added to the plans.*
9. Sheet C5.0 – Please provide a planting plan for the infiltration basin.  
  
*No planting is proposed. Per NCDEQ, the infiltration basin bottom shall remain clean soil/sand or grass. Sod is not permitted.*

Please let me know if you need any additional information or have any questions.

Sincerely,



Kimberly D. Hamby  
Sr. Project Manager  
Timmons Group

Cc: File

**DOLLAR TREE – GRANDY**  
**POPLAR BRANCH TOWNSHIP, CURRITUCK COUNTY, NORTH CAROLINA**

**DRAINAGE NARRATIVE**

AUGUST 23, 2023

**PREPARED BY:**



**TIMMONS GROUP**  
YOUR VISION ACHIEVED THROUGH OURS.

1805 West City Drive, Unit E  
Elizabeth City, NC 27909  
252.621.5030  
License No. C-1652  
[www.timmons.com](http://www.timmons.com)



## Dollar Tree – Grandy Drainage Narrative

Cedar Run Capital, LLC is proposing to develop a vacant 1.85-acre site they are purchasing in Grandy, North Carolina. The site is located in a commercial subdivision and is bound by NC 168 (Caratoke Highway) to the north, a vacant lot to the west, an existing Sonic drive-in restaurant to the east, and Neuse Street to the south. The site is zoned GB (General Business) and will be served by public water and on-site septic.

Development for this project will include construction of a driveway that will run through the site from NC 168 to Neuse Street, a building with related parking and sidewalks, concrete pads for HVAC equipment and dumpster, subsurface drainage network, stormwater infiltration basin, and a septic field. The basin will serve as means of treatment and detention for the runoff generated by the site. Proposed coverage, on-site, will include 10,062 sf of building, 2,864 sf of concrete (including sidewalks and pads), and 26,265 sf of asphalt parking/drive. Off-site coverage will include 1,116 sf of driveway apron and sidewalk to be constructed within the adjacent street rights-of-way.

All runoff from on-site impervious coverage will be collected in the underground drainage system and routed to the infiltration basin. The infiltration basin has been designed with a bottom elevation of 9.75' based on a Seasonal High Water Table estimated at approximately elevation 7.75' by Protocol Sampling. The storm drainage will enter the basin in an area that will be lower than the basin bottom to receive the pipe. This area will be lined with rip rap. Side slopes for the basin will be 5:1. The top elevation will be 12' and the storage elevation has been set at 10.75' to provide the required storage. A drainage basin will provide for outflow of water in excess of the storage volume. This outflow will discharge into the roadside ditch along Neuse Street. The volume of the 12 inches of storage is 9,113 cf. The required volume per NCDEQ for treatment is only 4,915 cf. The basin has been oversized to meet the requirements of the Currituck County Stormwater Ordinance which requires commercial sites to control discharge of the post-development 5-yr, 24-hour storm to rates less than a 2-yr, 24-hour storm pre-development and as if wooded.

We utilized the rational method to determine peak runoff rates for both conditions. The results show a 1.538 cfs peak discharge for the 2-yr, pre-development condition and a 5.977 cfs peak discharge for the 5-yr, post-development condition. The modified rational method indicates that a storage volume of 6,206 cf is required to meet the reduction in peak discharge, reducing the post development discharge to only 1.442 cfs. While we have greatly increased the storage above what is required, the limited depth of 12 inches is estimated to infiltrate in only 24 hours at the minimum rate of 0.5 inches/hour estimated by Protocol Sampling.

In an effort to provide an alternative method to estimate required storage, we have utilized the NCDEQ method to approximate runoff volume. The results of these calculations show a runoff volume of 1298 cf for the 2-yr storm with no impervious coverage and 12614 cf for the 5-yr storm with the proposed coverage. The resulting increased volume is 11,316 cf. It should be noted that this calculation does not account for hydrologic soil classifications or type of coverage. Neither of the calculation methods account for the infiltration occurring in the basin.

The disturbed area for the entire project will not exceed 2.15 acres. Standard erosion control measures such as temporary gravel construction entrances, silt fence, check dams, culvert inlet protection and required seeding are shown on the plans and in details. The plans indicate that the sediment basin area shall be protected during construction and is not to be excavated until the site is substantially stabilized.

---

# Appendix A

## Stormwater & Erosion Control Calculations

- Infiltration Basin Summary (for DEQ stormwater treatment)
- Runoff Volume Estimates (based on DEQ runoff volume calculation)
- Hydraflow Data & Results - Includes 2, 5, and 10-year storms for Pre-development and Post-development conditions with Modified Rational Method showing Post-development control based on the 2-year Pre-development Peak Discharge)



# Pond Summary Sheets

## Proposed Infiltration Basin



Project Name: DT Grandy

TG Project No. 59040

Date: 7/25/2023

Calculated By: KDH

## Drainage Area Properties

Data Input		Notes and Descriptions
Drainage Area, $A_{TOT}$ (as acreage)	80,913 SF 1.86 AC	Total area draining to basin
Impervious Area (as acreage)	39,191 SF 0.90 AC	Total impervious area received by basin
Percent Impervious	48.44 %	
Runoff Coefficient	0.49	$R_v = 0.05 + 0.9 * I_A$ $I_A$ = Impervious Fraction
K (in/hr)	0.50	Hydraulic Conductivity of Soil
$R_D$ (in)	1.50	Design Storm Depth

### Impervious Area Breakdown

Coverage	Impervious Area (sf)
Buildings	10,062
Road	
Parking	26,265
Sidewalks	2,354
Gravel	
Other	510
Total Site Coverage	39,191

### Required Surface Area (SA)

Minimum Surface Area (sf)	3276.46	$SA = FS * (DV * 12 / K * T)$
FS (Safety Factor)	2	
Maximum Dewatering Time, T (hours)	72	
DV (Design volume - in $ft^3$ )	4915	$DV = 3630 * R_D * R_v * A$
Design Depth (ft)	1	
Surface Area Required (sf)	4915	Based on Design Volume and Depth

## Pond Volume Calculations

Description	Elevation	Area SF	Cumulative Volume CF
Pond Bottom	9.75	8,151	
Pond Top	10.75	10,074	9,113

# Stormwater Volume Estimate



Project Name: **DT Grandy**  
 TG Project No. **59040**  
 Date: **8/23/2023**  
 Calculated By: **KDH**

## Drainage Area Properties

Data Input		Notes and Descriptions
Drainage Area, A <sub>TOT</sub> (as acreage)	<b>80,913 SF</b> 1.86 AC	Total area draining to basin
Impervious Area (as acreage)	<b>0 SF</b> 0.00 AC	Total impervious area received by basin
Percent Impervious	0.00 %	
Runoff Coefficient	0.05	$R_V = 0.05 + 0.9 * I_A$ $I_A =$ Impervious Fraction
K (in/hr)	<b>0.50</b>	Hydraulic Conductivity of Soil
R <sub>D2</sub> (in)	<b>3.85</b>	Design Storm Depth (2-year storm)

DV 2-yr (Design volume - in ft <sup>3</sup> )	<b>1298</b>	DV = 3630 * R <sub>D</sub> * R <sub>V</sub> * A
---	-------------	---

Drainage Area, A <sub>TOT</sub> (as acreage)	<b>80,913 SF</b> 1.86 AC	Total area draining to basin
Impervious Area (as acreage)	<b>39,191 SF</b> 0.90 AC	Total impervious area received by basin
Percent Impervious	48.44 %	
Runoff Coefficient	0.49	$R_V = 0.05 + 0.9 * I_A$ $I_A =$ Impervious Fraction
K (in/hr)	<b>0.50</b>	Hydraulic Conductivity of Soil
R <sub>D5</sub> (in)	<b>3.85</b>	Design Storm Depth (2-year storm)

DV 5-yr (Design volume - in ft <sup>3</sup> )	<b>12614</b>	DV = 3630 * R <sub>D</sub> * R <sub>V</sub> * A
---	--------------	---

Volume Difference (in ft <sup>3</sup> )	<b>11316</b>
---	--------------

## Pond Volume Calculations

Description	Elevation	Area SF	Cumulative Volume CF
Pond Bottom	<b>9.75</b>	<b>8,151</b>	
Pond Top	<b>10.75</b>	<b>10,074</b>	9,113

Assuming 0.5" hour infiltration through the bottom area of 8151 sf will result in infiltration of up to 8151 cf during a 24-hr storm period

# Hydraflow Rational C determination

Rational Method Hydrograph

Description = Existing Conditions      Hyd. No. = 1

Std. Rational     Mod. Rational     Dekalb

Basin Data

Drainage Area (ac) ..... = 1.86

Runoff Coeff. (C) ..... = 0.12 %

User     FAA     TR55

Time of Conc. (Min) .... = 3 TR55

Options

Ascending Limb Factor = 1 x Tc

Receding Limb Factor . = 1 x Tc

Grandy.IDF      Time Interval = 1 min

Ok    Results...    Exit

---

Composite Runoff Coefficient

Area	Area (ac)	Coefficient, C
Area 1	1.25	0.05
Area 2	0.61	0.25
Area 3	0.00	0.00
Area 4	0.00	0.00
Area 5	0.00	0.00
Area 6	0.00	0.00
Composite C		0.12

Ok    Clear    Exit

# Hydraflow Rational C determination

Rational Method Hydrograph

Description = Proposed Conditions      Hyd. No. = 2

Std. Rational   
  Mod. Rational   
  Dekalb   
 Grandy.IDF   
 Time Interval = 1 min

Basin Data

Drainage Area (ac) ..... = 1.86

Runoff Coeff. (C) ..... = 0.52 %

User   
  FAA   
 TR55

Time of Conc. (Min) .... = 8 TR55

Options

Ascending Limb Factor = 1 x Tc

Receding Limb Factor = 1 x Tc

Ok    Results...    Exit

---

Composite Runoff Coefficient

<b>Area 1</b>	Area (ac) ..... = 0.90	Coefficient, C = 0.95
<b>Area 2</b>	Area (ac) ..... = 0.64	Coefficient, C = 0.05
<b>Area 3</b>	Area (ac) ..... = 0.32	Coefficient, C = 0.25
<b>Area 4</b>	Area (ac) ..... = 0.00	Coefficient, C = 0.00
<b>Area 5</b>	Area (ac) ..... = 0.00	Coefficient, C = 0.00
<b>Area 6</b>	Area (ac) ..... = 0.00	Coefficient, C = 0.00
<b>Composite C</b>	Coefficient, C = 0.52	

Ok    Clear    Exit

Rational Method Hydrograph

Description = Proposed Conditions      Hyd. No. = 3

Std. Rational   
 Mod. Rational   
 Dekalb   
 Grandy.IDF   
 Time Interval = 1 min

Basin Data

Drainage Area (ac) ..... = 1.86

Runoff Coeff. (C) ..... = 0.52 %

User   
 FAA   
 TR55

Time of Conc. (Min) .... = 8 TR55

	Active Return Period (yrs)		
	2	5	10
Qtarget	0.75	0.75	0.75
SDF	9.3	12.5	17.8

Ok    Results...    Exit

**Table 8.03b**  
**Value of Runoff Coefficient**  
**(C) for Rational Formula**

Land Use	C	Land Use	C
Business:		Lawns:	
Downtown areas	0.70-0.95	Sandy soil, flat, 2%	0.05-0.10
Neighborhood areas	0.50-0.70	Sandy soil, ave., 2-7%	0.10-0.15
Residential:		Sandy soil, steep, 7%	0.15-0.20
Single-family areas	0.30-0.50	Heavy soil, flat, 2%	0.13-0.17
Multi units, detached	0.40-0.60	Heavy soil, ave., 2-7%	0.18-0.22
Multi units, Attached	0.60-0.75	Heavy soil, steep, 7%	0.25-0.35
Suburban	0.25-0.40	Agricultural land:	
Industrial:		Bare packed soil	
Light areas	0.50-0.80	Smooth	0.30-0.60
Heavy areas	0.60-0.90	Rough	0.20-0.50
Parks, cemeteries	0.10-0.25	Cultivated rows	
Playgrounds	0.20-0.35	Heavy soil no crop	0.30-0.60
Railroad yard areas	0.20-0.40	Heavy soil with crop	0.20-0.50
Unimproved areas	0.10-0.30	Sandy soil no crop	0.20-0.40
Streets:		Sandy soil with crop	0.10-0.25
Asphalt	0.70-0.95	Pasture	
Concrete	0.80-0.95	Heavy soil	0.15-0.45
Brick	0.70-0.85	Sandy soil	0.05-0.25
Drives and walks	0.75-0.85	Woodlands	0.05-0.25
Roofs	0.75-0.85		

**NOTE:** The designer must use judgement to select the appropriate C value within the range for the appropriate land use. Generally, larger areas with permeable soils, flat slopes, and dense vegetation should have lowest C values. Smaller areas with slowly permeable soils, steep slopes, and sparse vegetation should be assigned highest C values.

Source: American Society of Civil Engineers

# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	1.538	1	3	277	----	----	----	Existing Conditions
2	Rational	5.248	1	8	2,519	----	----	----	Proposed Conditions
3	Mod. Rational	1.489	1	8	6,613	----	----	----	Post Control

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

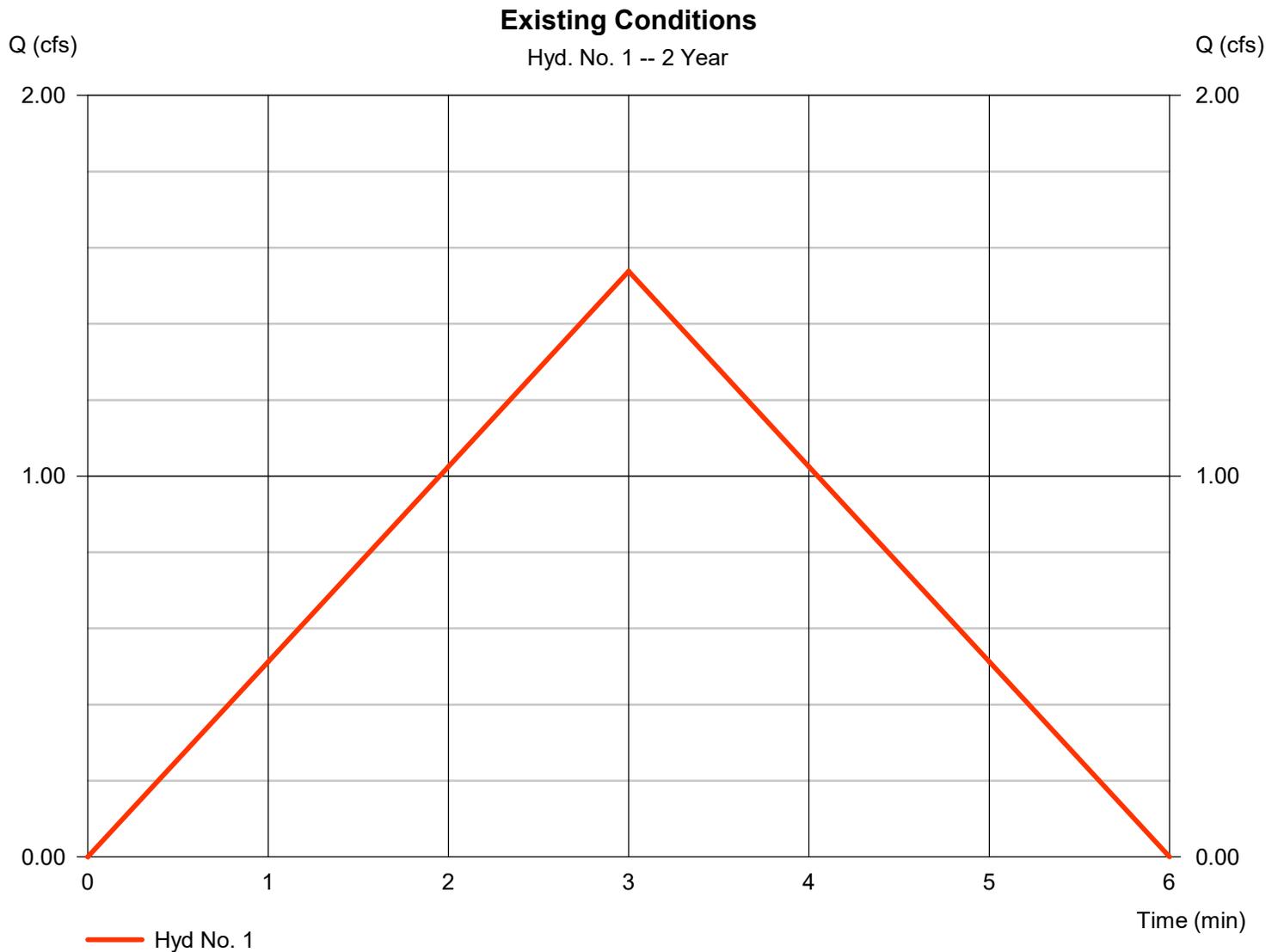
Wednesday, 08 / 23 / 2023

## Hyd. No. 1

### Existing Conditions

Hydrograph type	= Rational	Peak discharge	= 1.538 cfs
Storm frequency	= 2 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 277 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.12*
Intensity	= 6.890 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Grandy.IDF	Asc/Rec limb fact	= 1/1

\* Composite (Area/C) =  $[(1.250 \times 0.05) + (0.610 \times 0.25)] / 1.860$



# TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

## Hyd. No. 1

Existing Conditions

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>
<b>Sheet Flow</b>							
Manning's n-value	= 0.011		0.011		0.011		
Flow length (ft)	= 217.0		0.0		0.0		
Two-year 24-hr precip. (in)	= 3.85		0.00		0.00		
Land slope (%)	= 0.80		0.00		0.00		
<b>Travel Time (min)</b>	<b>= 2.96</b>	<b>+</b>	<b>0.00</b>	<b>+</b>	<b>0.00</b>	<b>=</b>	<b>2.96</b>
<b>Shallow Concentrated Flow</b>							
Flow length (ft)	= 0.00		0.00		0.00		
Watercourse slope (%)	= 0.00		0.00		0.00		
Surface description	= Paved		Paved		Paved		
Average velocity (ft/s)	=0.00		0.00		0.00		
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b>	<b>0.00</b>	<b>+</b>	<b>0.00</b>	<b>=</b>	<b>0.00</b>
<b>Channel Flow</b>							
X sectional flow area (sqft)	= 0.00		0.00		0.00		
Wetted perimeter (ft)	= 0.00		0.00		0.00		
Channel slope (%)	= 0.00		0.00		0.00		
Manning's n-value	= 0.015		0.015		0.015		
Velocity (ft/s)	=0.00		0.00		0.00		
Flow length (ft)	{{0}}0.0		0.0		0.0		
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b>	<b>0.00</b>	<b>+</b>	<b>0.00</b>	<b>=</b>	<b>0.00</b>
<b>Total Travel Time, Tc .....</b>							<b>3.00 min</b>

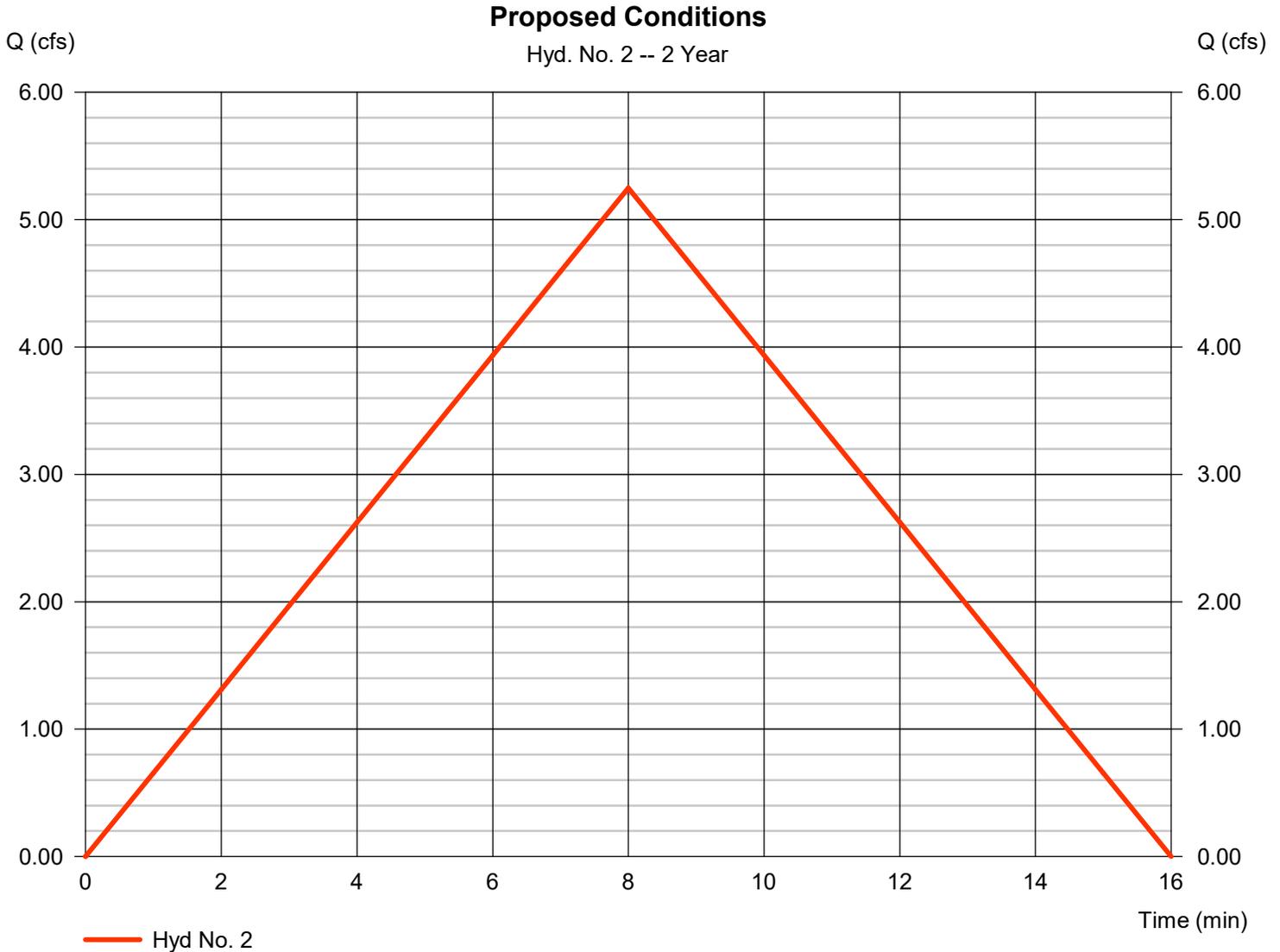
# Hydrograph Report

## Hyd. No. 2

### Proposed Conditions

Hydrograph type	= Rational	Peak discharge	= 5.248 cfs
Storm frequency	= 2 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 2,519 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.52*
Intensity	= 5.426 in/hr	Tc by TR55	= 8.00 min
IDF Curve	= Grandy.IDF	Asc/Rec limb fact	= 1/1

\* Composite (Area/C) = [(0.900 x 0.95) + (0.640 x 0.05) + (0.320 x 0.25)] / 1.860





# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

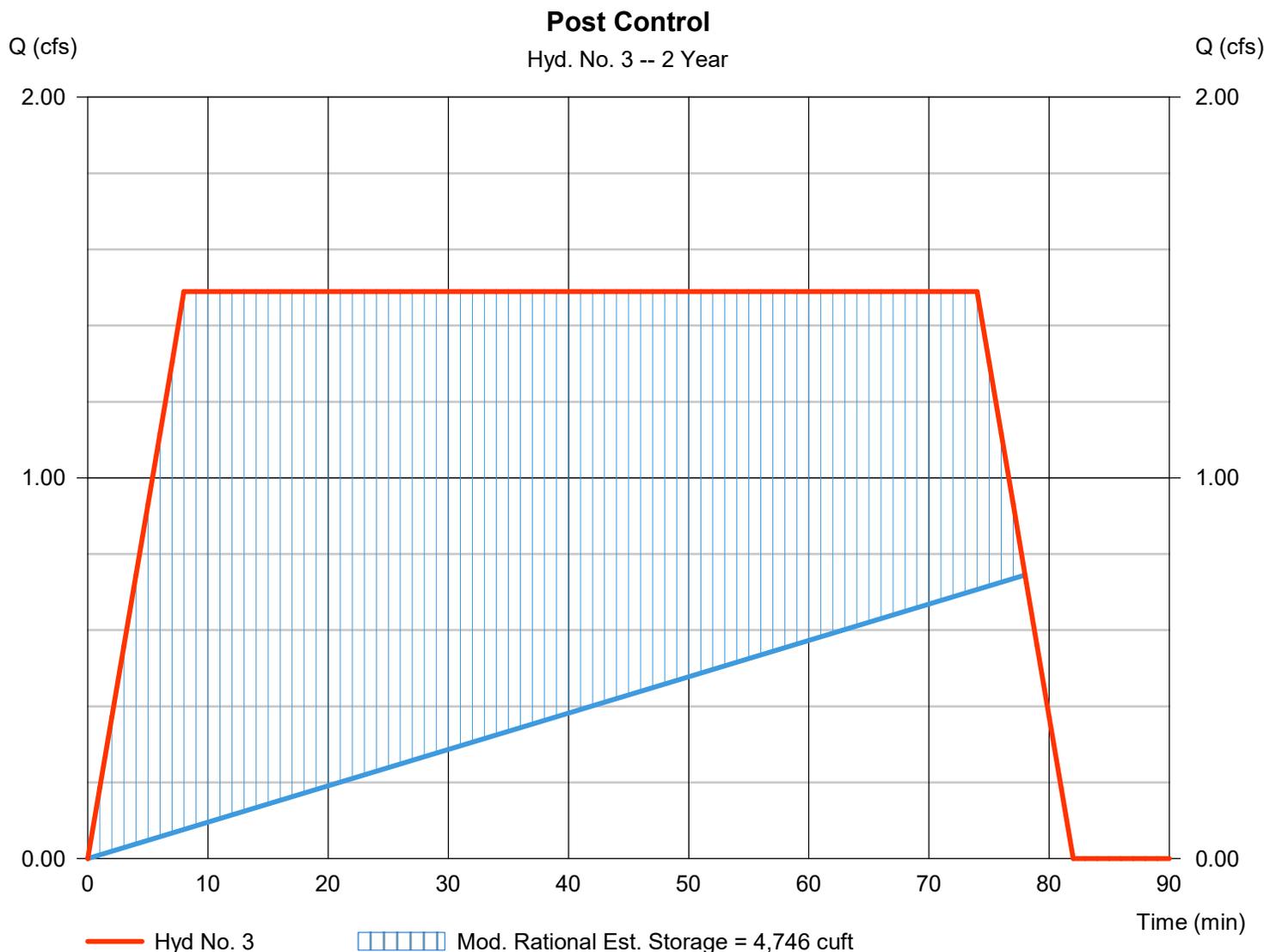
Wednesday, 08 / 23 / 2023

## Hyd. No. 3

Post Control

Hydrograph type	= Mod. Rational	Peak discharge	= 1.489 cfs
Storm frequency	= 2 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 6,613 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.52*
Intensity	= 1.540 in/hr	Tc by User	= 8.00 min
IDF Curve	= Grandy.IDF	Storm duration	= 9.3 x Tc
Target Q	=0.750 cfs	Est. Req'd Storage	=4,746 cuft

\* Composite (Area/C) = [(0.870 x 0.95) + (0.990 x 0.10)] / 1.860



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	1.732	1	3	312	----	----	----	Existing Conditions
2	Rational	5.977	1	8	2,869	----	----	----	Proposed Conditions
3	Mod. Rational	1.442	1	8	8,655	----	----	----	Post Control

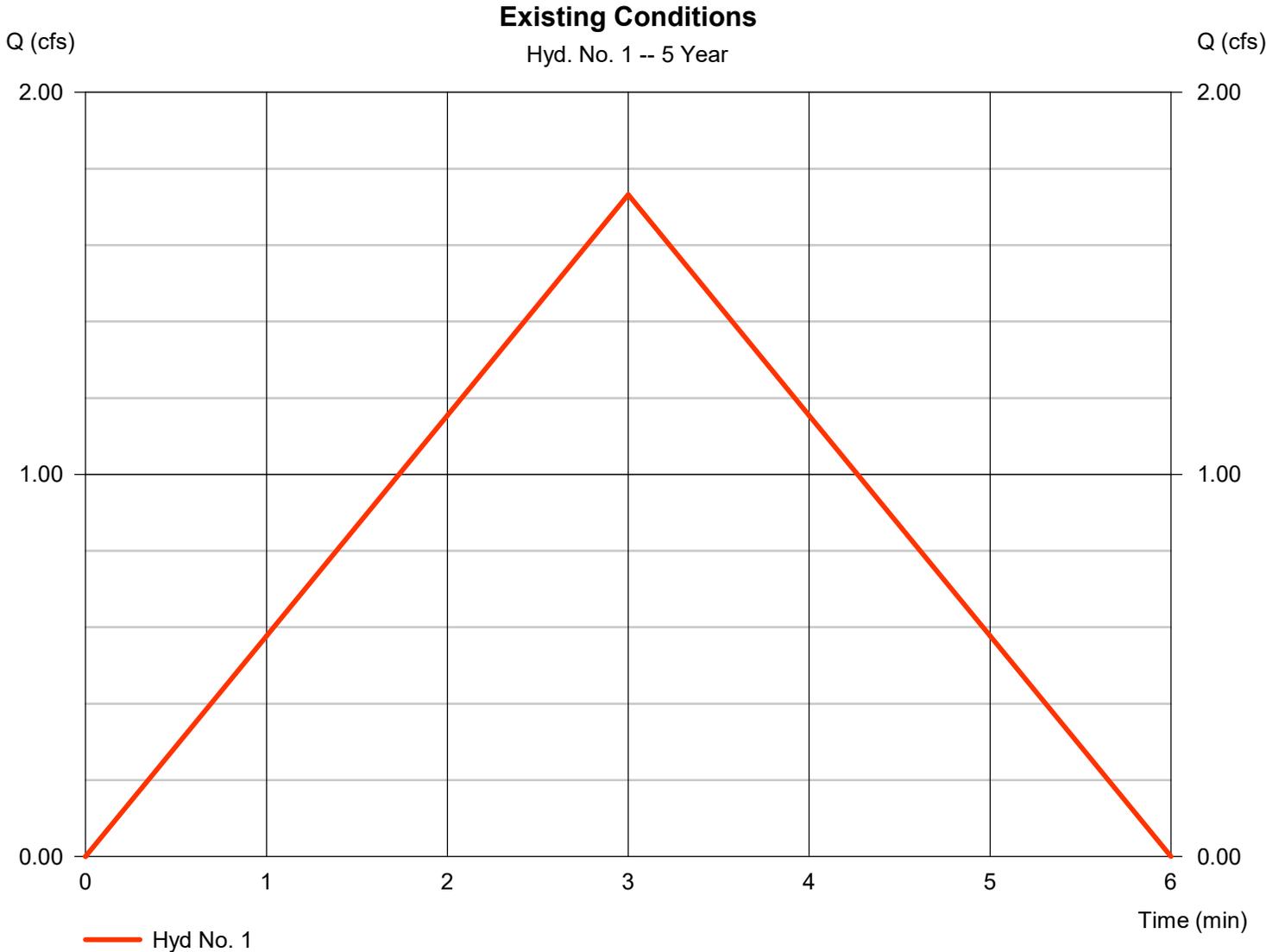
# Hydrograph Report

## Hyd. No. 1

### Existing Conditions

Hydrograph type	= Rational	Peak discharge	= 1.732 cfs
Storm frequency	= 5 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 312 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.12*
Intensity	= 7.759 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Grandy.IDF	Asc/Rec limb fact	= 1/1

\* Composite (Area/C) = [(1.250 x 0.05) + (0.610 x 0.25)] / 1.860



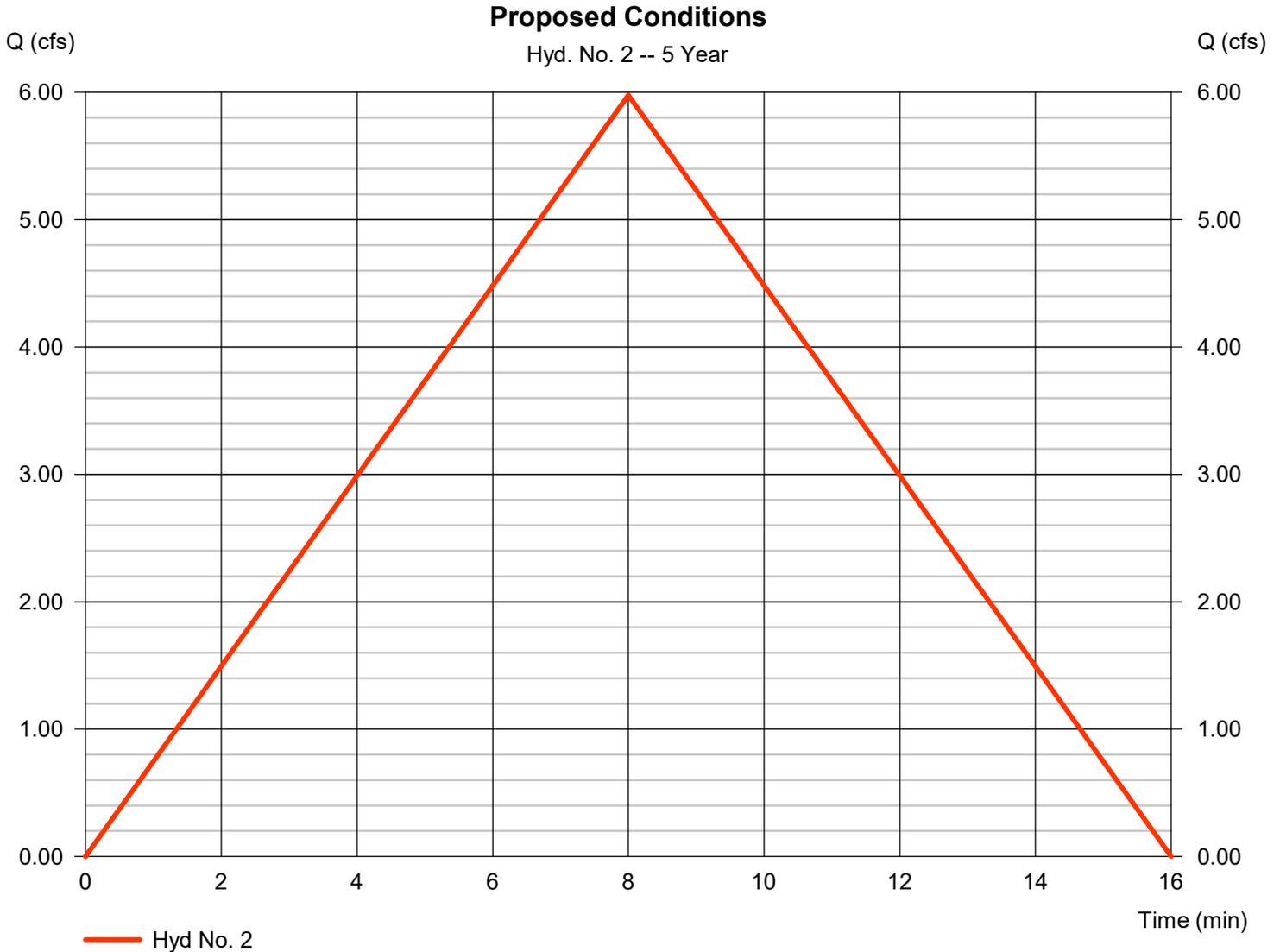
# Hydrograph Report

## Hyd. No. 2

### Proposed Conditions

Hydrograph type	= Rational	Peak discharge	= 5.977 cfs
Storm frequency	= 5 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 2,869 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.52*
Intensity	= 6.180 in/hr	Tc by TR55	= 8.00 min
IDF Curve	= Grandy.IDF	Asc/Rec limb fact	= 1/1

\* Composite (Area/C) = [(0.900 x 0.95) + (0.640 x 0.05) + (0.320 x 0.25)] / 1.860



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

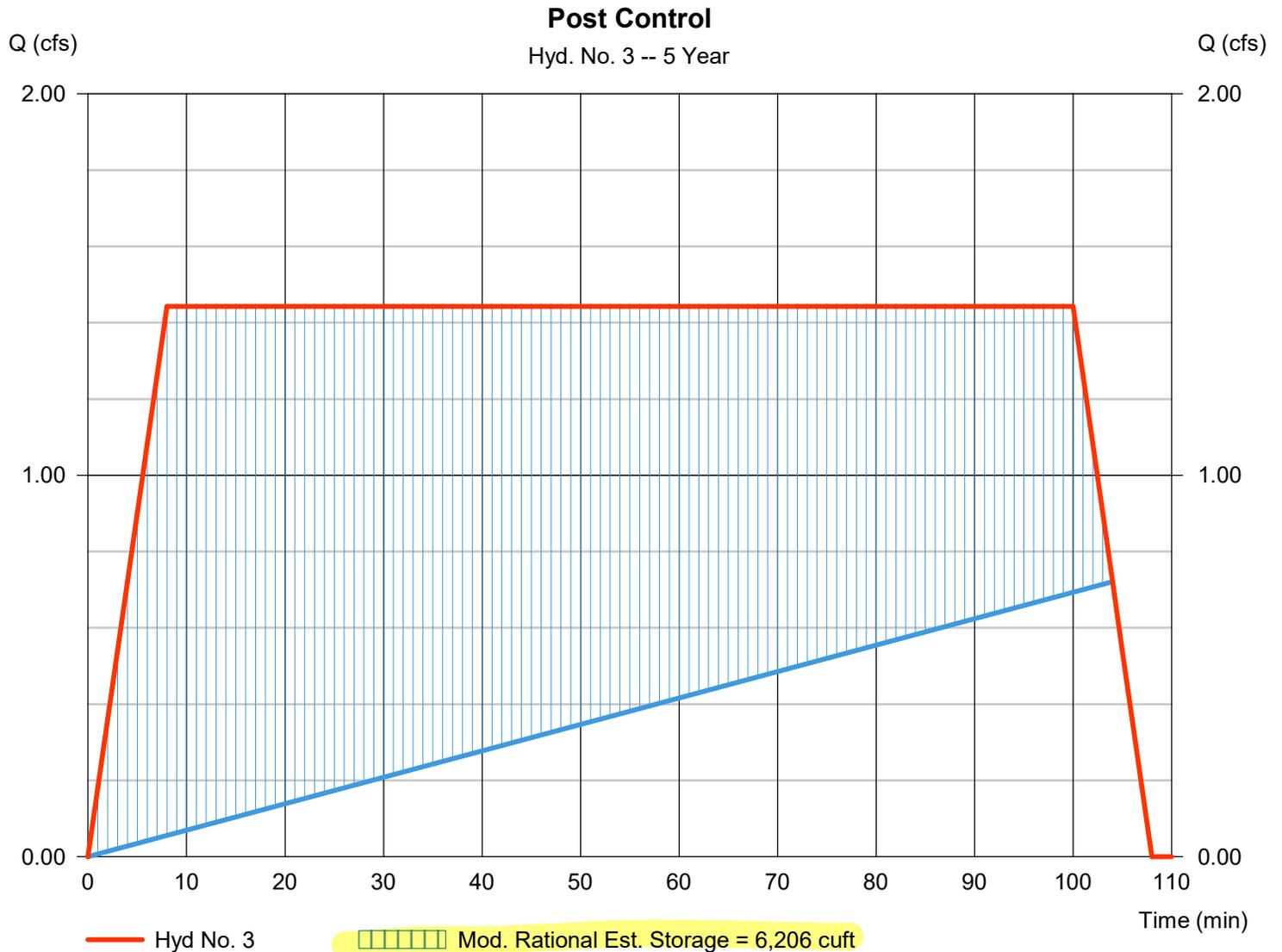
Wednesday, 08 / 23 / 2023

## Hyd. No. 3

Post Control

Hydrograph type	= Mod. Rational	Peak discharge	= 1.442 cfs
Storm frequency	= 5 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 8,655 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.52*
Intensity	= 1.491 in/hr	Tc by User	= 8.00 min
IDF Curve	= Grandy.IDF	Storm duration	= 12.5 x Tc
Target Q	= 0.750 cfs	Est. Req'd Storage	= 6,206 cuft

\* Composite (Area/C) = [(0.870 x 0.95) + (0.990 x 0.10)] / 1.860



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	1.989	1	3	358	----	----	----	Existing Conditions
2	Rational	6.862	1	8	3,294	----	----	----	Proposed Conditions
3	Mod. Rational	1.360	1	8	11,592	----	----	----	Post Control
DT Grandy hydraflow.gpw					Return Period: 10 Year			Wednesday, 08 / 23 / 2023	

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

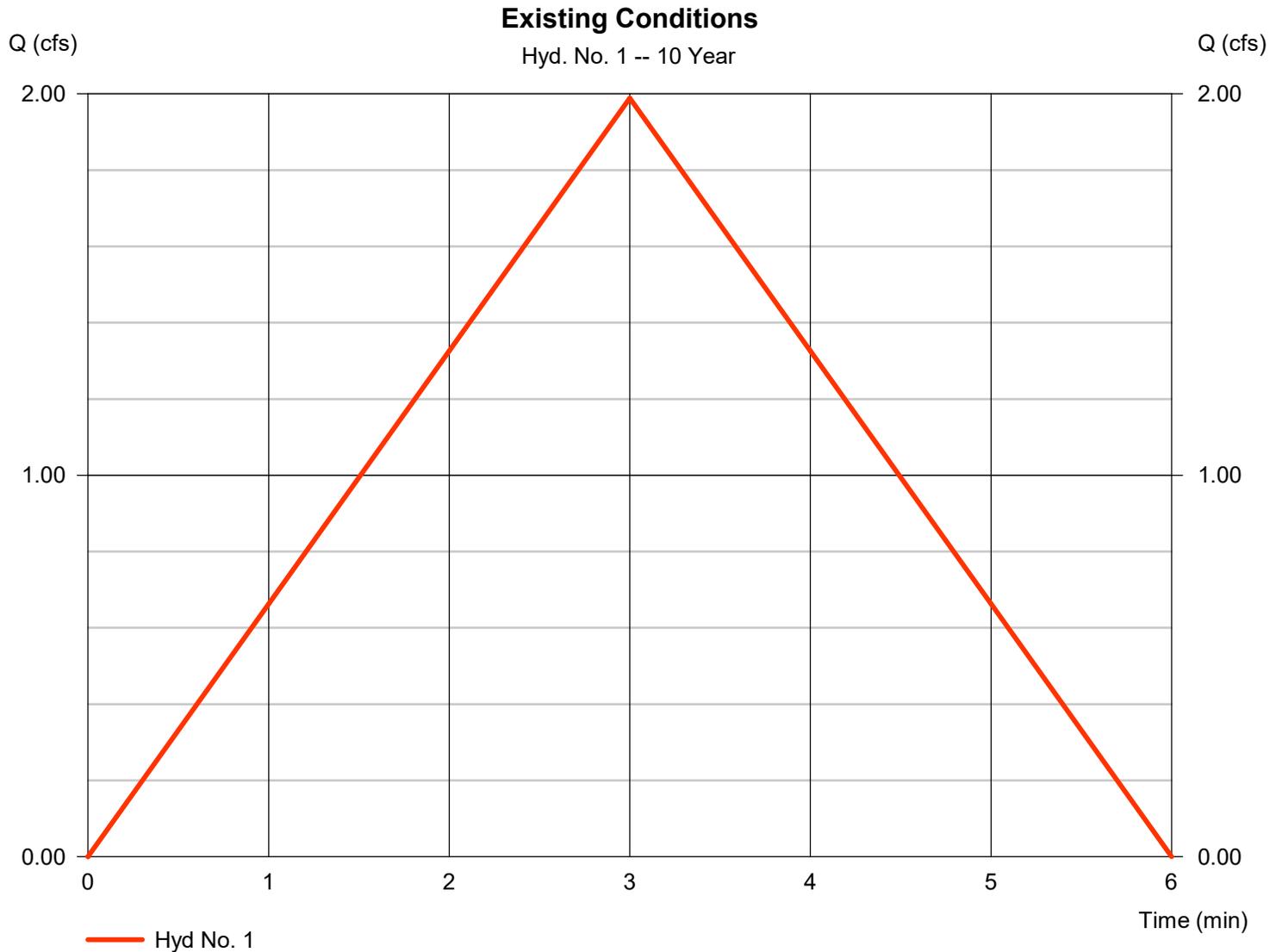
Wednesday, 08 / 23 / 2023

## Hyd. No. 1

### Existing Conditions

Hydrograph type	= Rational	Peak discharge	= 1.989 cfs
Storm frequency	= 10 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 358 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.12*
Intensity	= 8.912 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Grandy.IDF	Asc/Rec limb fact	= 1/1

\* Composite (Area/C) = [(1.250 x 0.05) + (0.610 x 0.25)] / 1.860



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

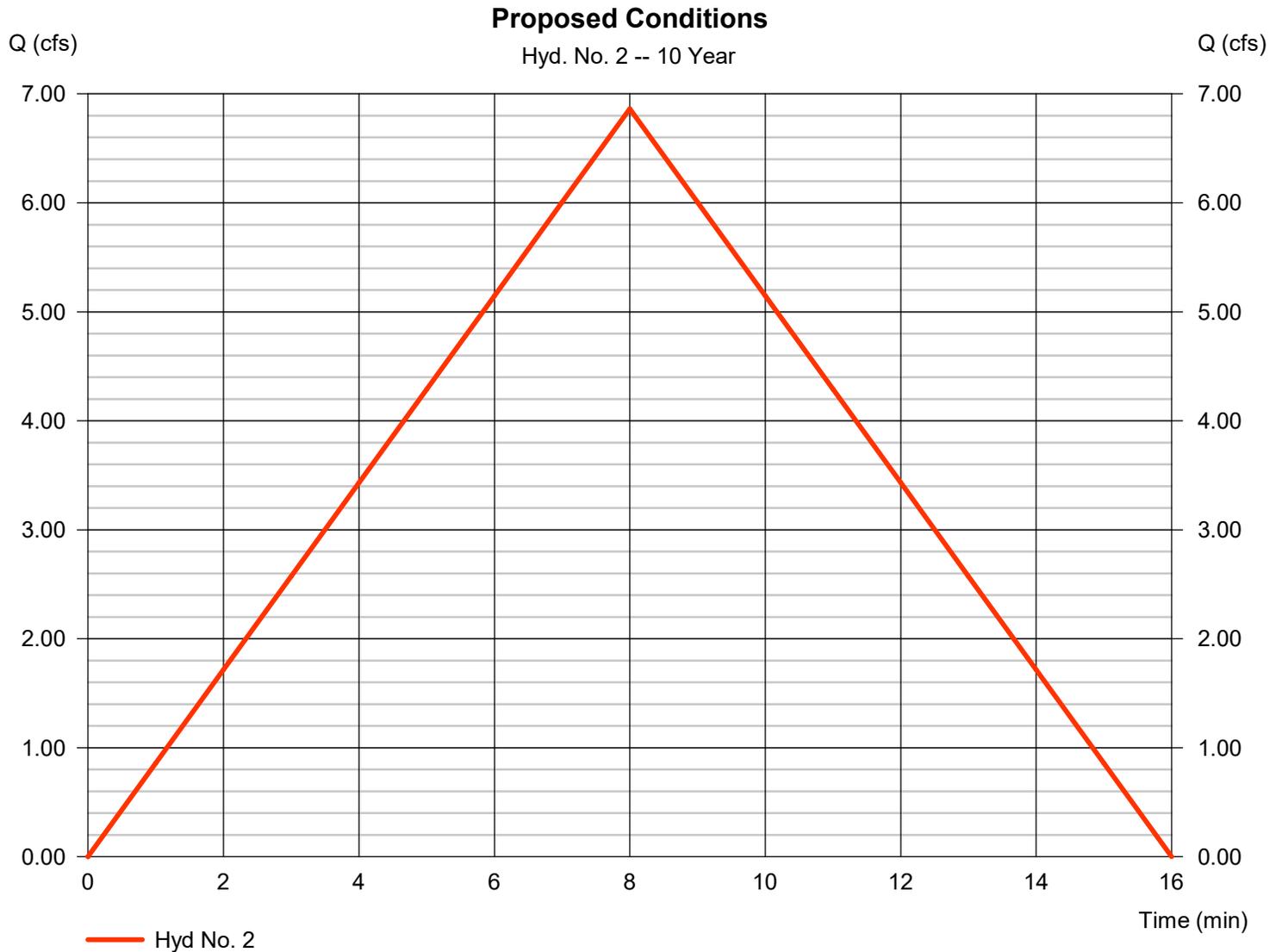
Wednesday, 08 / 23 / 2023

## Hyd. No. 2

### Proposed Conditions

Hydrograph type	= Rational	Peak discharge	= 6.862 cfs
Storm frequency	= 10 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 3,294 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.52*
Intensity	= 7.095 in/hr	Tc by TR55	= 8.00 min
IDF Curve	= Grandy.IDF	Asc/Rec limb fact	= 1/1

\* Composite (Area/C) = [(0.900 x 0.95) + (0.640 x 0.05) + (0.320 x 0.25)] / 1.860



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

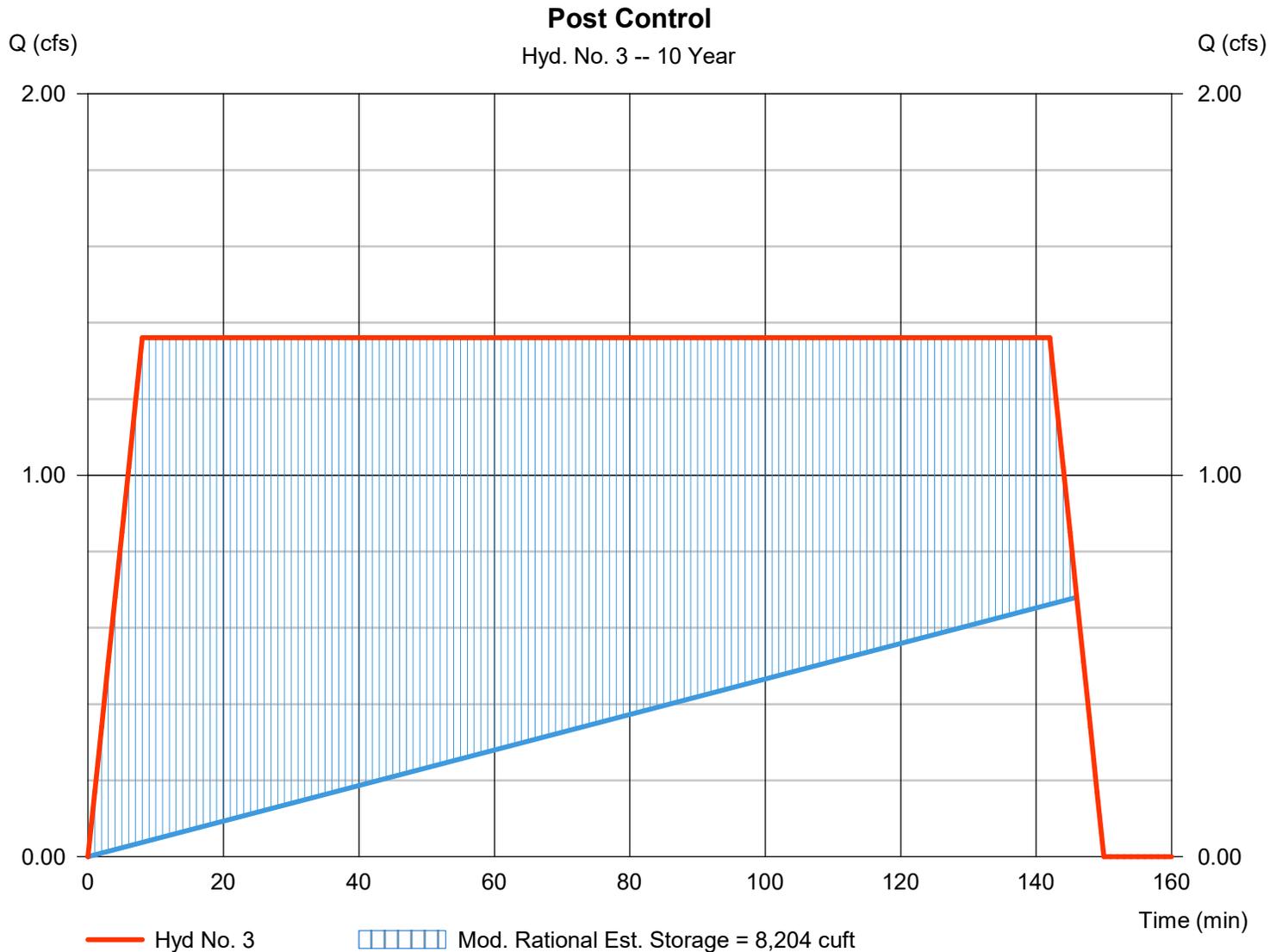
Wednesday, 08 / 23 / 2023

## Hyd. No. 3

Post Control

Hydrograph type	= Mod. Rational	Peak discharge	= 1.360 cfs
Storm frequency	= 10 yrs	Time to peak	= 8 min
Time interval	= 1 min	Hyd. volume	= 11,592 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.52*
Intensity	= 1.407 in/hr	Tc by User	= 8.00 min
IDF Curve	= Grandy.IDF	Storm duration	= 17.8 x Tc
Target Q	= 0.750 cfs	Est. Req'd Storage	= 8,204 cuft

\* Composite (Area/C) = [(0.870 x 0.95) + (0.990 x 0.10)] / 1.860



# Hydraflow Rainfall Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Wednesday, 08 / 23 / 2023

Return Period (Yrs)	Intensity-Duration-Frequency Equation Coefficients (FHA)			
	B	D	E	(N/A)
1	0.0000	0.0000	0.0000	-----
2	83.2783	13.3000	0.8929	-----
3	0.0000	0.0000	0.0000	-----
5	83.3544	13.3000	0.8506	-----
10	76.2576	12.0000	0.7927	-----
25	0.0000	0.0000	0.0000	-----
50	0.0000	0.0000	0.0000	-----
100	0.0000	0.0000	0.0000	-----

File name: Grandy.IDF

**Intensity = B / (Tc + D)^E**

Return Period (Yrs)	Intensity Values (in/hr)											
	5 min	10	15	20	25	30	35	40	45	50	55	60
1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	6.21	5.01	4.21	3.64	3.21	2.88	2.61	2.39	2.21	2.05	1.92	1.80
3	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	7.03	5.73	4.85	4.23	3.75	3.38	3.08	2.83	2.62	2.45	2.29	2.16
10	8.07	6.58	5.59	4.89	4.36	3.94	3.60	3.33	3.09	2.89	2.72	2.57
25	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
100	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Tc = time in minutes. Values may exceed 60.

Precip. file name: Sample.pcp

Storm Distribution	Rainfall Precipitation Table (in)							
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
SCS 24-hour	0.00	3.85	0.00	4.97	5.91	5.77	6.80	7.95
SCS 6-Hr	0.00	0.00	0.00	0.00	0.00	0.00	0.00	4.00
Huff-1st	0.00	0.00	0.00	0.00	0.00	5.38	6.50	8.00
Huff-2nd	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-3rd	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-4th	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-Indy	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Custom	0.00	0.00	0.00	0.00	0.00	5.25	6.00	7.10

## 2 - Year

<b>Summary Report</b> .....	<b>1</b>
<b>Hydrograph Reports</b> .....	<b>2</b>
Hydrograph No. 1, Rational, Existing Conditions.....	2
TR-55 Tc Worksheet.....	3
Hydrograph No. 2, Rational, Proposed Conditions.....	4
TR-55 Tc Worksheet.....	5
Hydrograph No. 3, Mod. Rational, Post Control.....	6

## 5 - Year

<b>Summary Report</b> .....	<b>7</b>
<b>Hydrograph Reports</b> .....	<b>8</b>
Hydrograph No. 1, Rational, Existing Conditions.....	8
Hydrograph No. 2, Rational, Proposed Conditions.....	9
Hydrograph No. 3, Mod. Rational, Post Control.....	10

## 10 - Year

<b>Summary Report</b> .....	<b>11</b>
<b>Hydrograph Reports</b> .....	<b>12</b>
Hydrograph No. 1, Rational, Existing Conditions.....	12
Hydrograph No. 2, Rational, Proposed Conditions.....	13
Hydrograph No. 3, Mod. Rational, Post Control.....	14

<b>IDF Report</b> .....	<b>15</b>
-------------------------	-----------

---

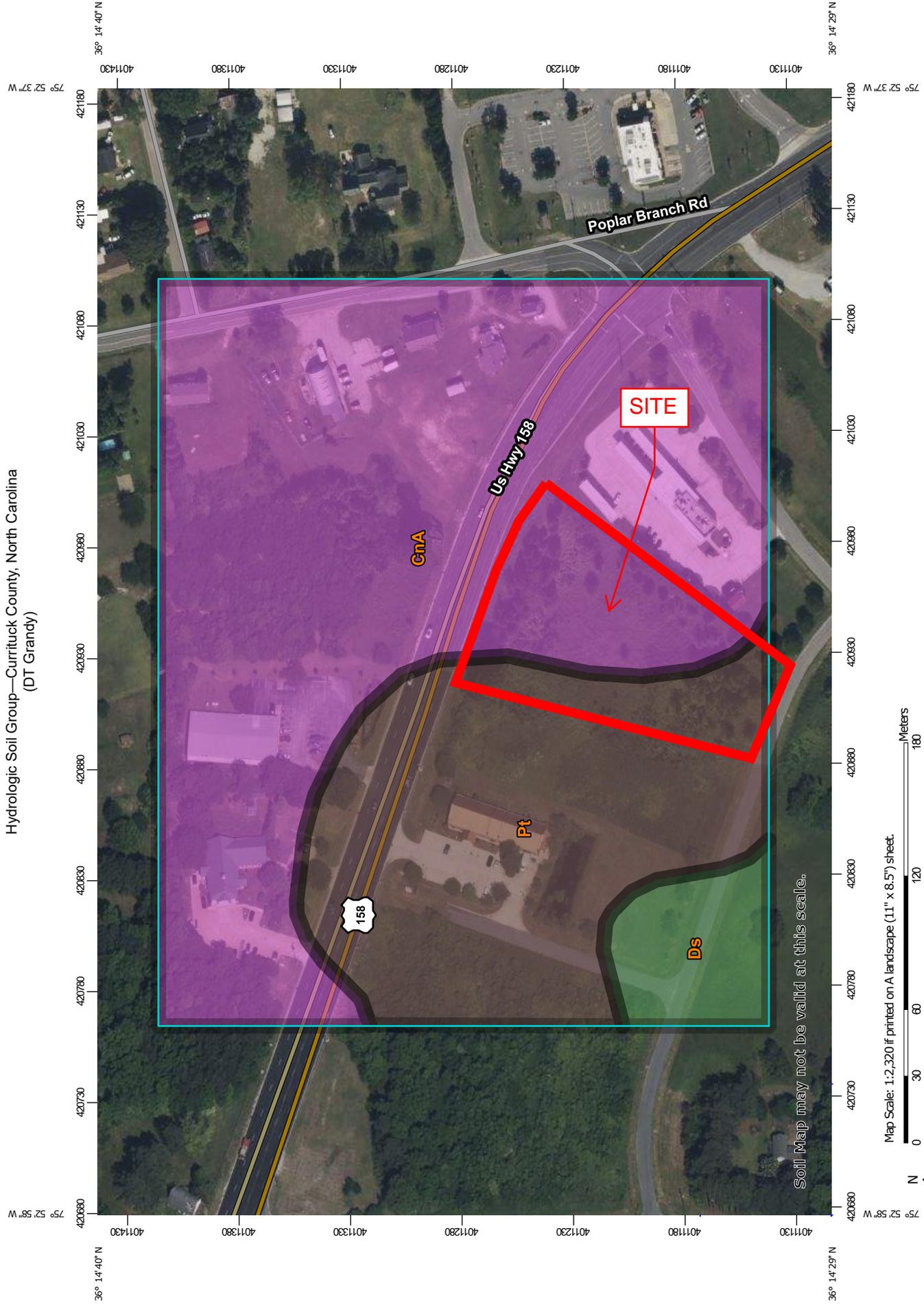
# Appendix B

## Soil Data

- Web Soil Survey
- Soil Report by Protocol Sampling Service, Inc.



Hydrologic Soil Group—Currituck County, North Carolina  
(DT Grandy)



Soil Map may not be valid at this scale.

Map Scale: 1:2,320 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

## MAP LEGEND

**Area of Interest (AOI)**  
 Area of Interest (AOI)

### Soils

#### Soil Rating Polygons

A   
 A/D   
 B   
 B/D   
 C   
 C/D   
 D   
 Not rated or not available 

#### Soil Rating Lines

A   
 A/D   
 B   
 B/D   
 C   
 C/D   
 D   
 Not rated or not available 

#### Soil Rating Points

A   
 A/D   
 B   
 B/D 

C   
 C/D   
 D   
 Not rated or not available 

**Water Features**  
 Streams and Canals

**Transportation**  
 Rails  
 Interstate Highways  
 US Routes  
 Major Roads  
 Local Roads

**Background**  
 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Currituck County, North Carolina  
 Survey Area Data: Version 22, Sep 8, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 18, 2022—May 31, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CnA	Conetoe loamy sand, 0 to 3 percent slopes	A	14.9	65.2%
Ds	Dragston loamy fine sand	A/D	1.2	5.3%
Pt	Portsmouth fine sandy loam	B/D	6.8	29.5%
<b>Totals for Area of Interest</b>			<b>22.9</b>	<b>100.0%</b>

### Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

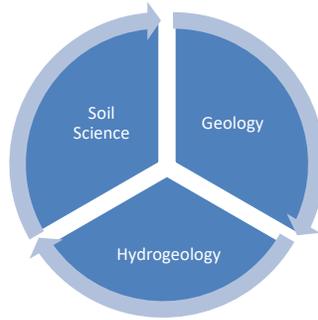
If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method: Dominant Condition*

*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*



4114 Laurel Ridge Drive  
Raleigh, North Carolina 27612

Protocol Sampling Service, Inc.  
"Experts in Environmental Compliance"  
(919) 210-6547

Protocolsampling@yahoo.com  
Environmentalservicesnc.com

June 26, 2023

Ms. Kim Hamby, P.E.  
Principal/Senior Project Manager  
TIMMONS GROUP |  
1805 West City Drive, Unit E  
Elizabeth City, North Carolina 27909

Re: **Storm Water Management Soil Investigation  
Dollar Tree  
NC Highway 168  
Grandy, Currituck County, North Carolina 27958  
Protocol Project #23-78**

Dear Ms. Hamby:

The following Soil Investigation is submitted to assist in a site assessment for the proposed storm water management improvements along NC Highway 168, Grandy, Currituck County, North Carolina.

#### **SITE HISTORY AND PHYSICAL CHARACTERISTICS**

The tract is currently undeveloped farmland and is surrounded by farmland and commercial development along NC Highway 168 in Grandy, North Carolina. Protocol Sampling Service, Inc. of Raleigh, North Carolina was hired to perform an investigation to identify the depth to seasonal high-water table, if any restrictive layers are present, subsurface permeability and the depth to a permeable layer for the installation of a storm water BMP. Surface elevations range from around 11.0 to approximately 12.0 feet msl from west to east across the study area.

#### **SOIL INVESTIGATION**

The field survey was conducted on Friday June 23, 2023. One (1) soil boring was advanced to 72 inches below land surface (bls) with a hand auger in the center of the proposed infiltration basin. Soil color was determined with a Munsell Soil Color Chart. The presence of fill or other disturbances, the depth to the seasonal high-water table, soil structure and consistence were noted. The boring was also checked for reduced colors, an anaerobic smell or obvious soil wetness.

#### **FINDINGS - Soil**

- The subject property contains soil belonging to the Conetoe series. This series belongs to the Hapludult subgroup that has a Arenic epipedon from surface to 2-inches.

- The soil was found to have an apparent depth to seasonal high-water table of 50-inches bls. The static water level was not found to a depth of 72-inches bls.
- A restrictive horizon was encountered from 19 to 28-inches bls where a loamy sand permeable layer was encountered. The permeable layer extends to at least 72-inches bls.

#### **FINDINGS – SOIL PERMEABILITY**

- Soil conductivity is estimated to be at least 0.50 inches/hour in the loamy sand found beneath the Bt horizon at a depth of 28-inches bls.

The findings presented herein are based on the site conditions observed during performance of the field survey on June 23, 2023.

Please call me at (919) 210-6547 if you have any questions or need further assistance.



David E. Meyer, N.C.L.S.S.  
Soil Scientist/President



Storm Water Management Investigation  
Dollar Tree  
Grandy, Currituck County, North Carolina  
June 26, 2023

- A 0 – 10 inches; dark brown (7.5YR 3/3) loamy fine sand; granular; friable.
- E 10 – 19 inches; yellowish brown (10YR 5/4) loamy sand; granular; friable.
- Bt 19 – 28 inches; brownish yellow (10YR 6/8) sandy clay loam; subangular blocky; friable.
- BC 28 – 50 inches; brownish yellow (10YR 6/8) and very pale brown (10YR 7/4) loamy sand; subangular blocky; friable.
- C1 50 – 60 inches; brownish yellow (10YR 6/8) fine sand with strong brown (7.5YR 5/6) concentrations and gray (10YR 6/1) depletions; single grained; loose
- C2 60 – 72 inches; light yellowish brown (10YR 6/4) fine sand; single grained; loose

Soil Series: **Conetoe**  
Landscape: Coastal Plain  
Landform: terrace  
Parent Material: Marine sediments  
Drainage Class: well drained  
Particle Size Class: sandy  
Temperature Regime: thermic  
Subgroup Classification: Arenic Hapludult  
Examination Method: auger boring  
Date: June 23, 2023  
Weather: Sunny, 78  
Investigators: David Meyer  
Shwt: 50"  
Measured water table depth: >72"

---

# Appendix C

## Precipitation Data





**NOAA Atlas 14, Volume 2, Version 3**  
**Location name: Grandy, North Carolina, USA\***  
**Latitude: 36.2455°, Longitude: -75.888°**  
**Elevation: 14 ft\*\***  
 \* source: ESRI Maps  
 \*\* source: USGS



**DEPTH**

**POINT PRECIPITATION FREQUENCY ESTIMATES**

G.M. Bonnin, D. Martin, B. Lin, T. Parzybok, M.Yekta, and D. Riley

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps & aerials](#)

**PF tabular**

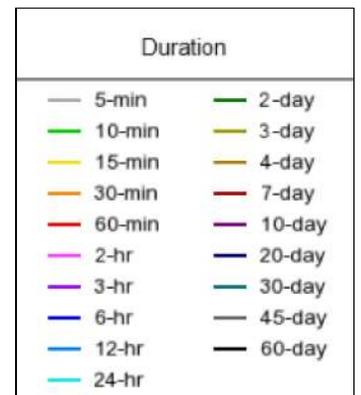
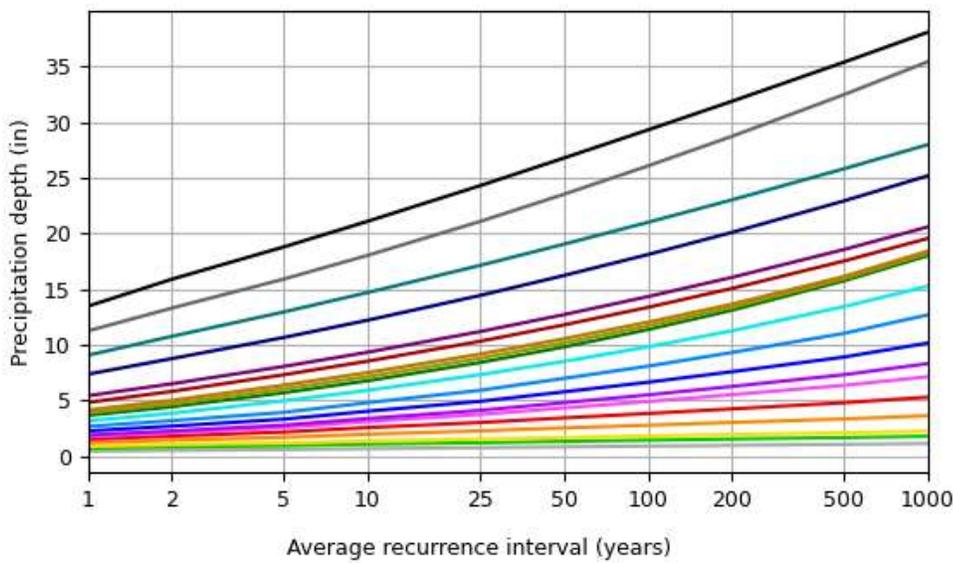
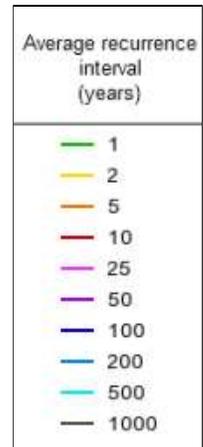
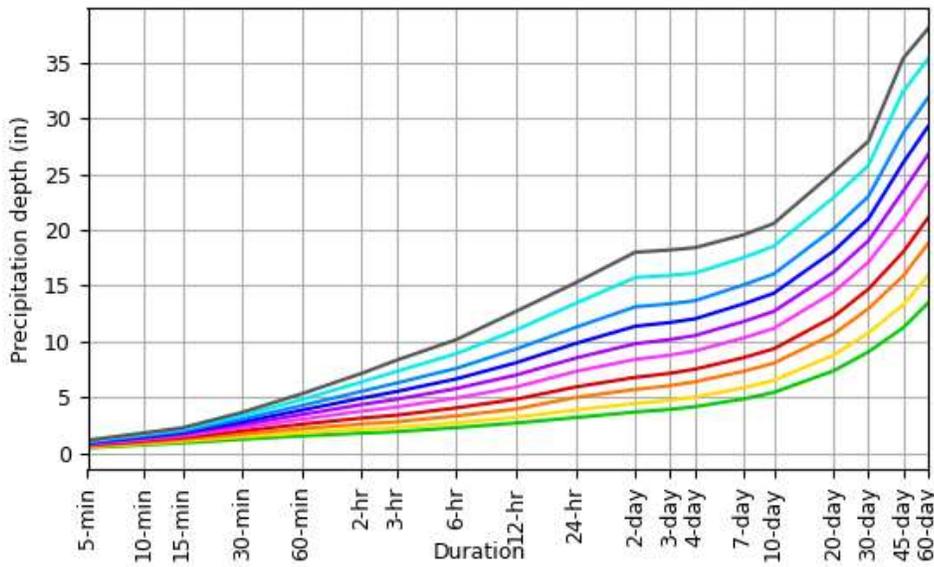
<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)<sup>1</sup></b>										
<b>Duration</b>	<b>Average recurrence interval (years)</b>									
	<b>1</b>	<b>2</b>	<b>5</b>	<b>10</b>	<b>25</b>	<b>50</b>	<b>100</b>	<b>200</b>	<b>500</b>	<b>1000</b>
<b>5-min</b>	0.444 (0.403-0.490)	0.518 (0.471-0.570)	0.587 (0.534-0.645)	0.673 (0.609-0.739)	0.758 (0.683-0.831)	0.834 (0.750-0.915)	0.904 (0.809-0.992)	0.972 (0.865-1.07)	1.06 (0.930-1.16)	1.14 (0.993-1.25)
<b>10-min</b>	0.709 (0.644-0.782)	0.828 (0.753-0.912)	0.940 (0.855-1.03)	1.08 (0.975-1.18)	1.21 (1.09-1.32)	1.33 (1.19-1.46)	1.44 (1.28-1.58)	1.54 (1.37-1.69)	1.67 (1.47-1.83)	1.79 (1.56-1.97)
<b>15-min</b>	0.886 (0.805-0.978)	1.04 (0.947-1.15)	1.19 (1.08-1.31)	1.36 (1.23-1.50)	1.53 (1.38-1.68)	1.68 (1.51-1.84)	1.82 (1.62-1.99)	1.94 (1.73-2.13)	2.10 (1.85-2.31)	2.24 (1.96-2.47)
<b>30-min</b>	1.22 (1.10-1.34)	1.44 (1.31-1.58)	1.69 (1.54-1.86)	1.97 (1.79-2.17)	2.27 (2.04-2.49)	2.53 (2.28-2.78)	2.78 (2.49-3.05)	3.03 (2.69-3.32)	3.34 (2.95-3.67)	3.63 (3.18-4.00)
<b>60-min</b>	1.52 (1.38-1.67)	1.80 (1.64-1.99)	2.16 (1.97-2.38)	2.57 (2.33-2.82)	3.02 (2.72-3.31)	3.43 (3.09-3.77)	3.83 (3.43-4.20)	4.24 (3.78-4.66)	4.80 (4.23-5.27)	5.30 (4.64-5.84)
<b>2-hr</b>	1.76 (1.59-1.96)	2.11 (1.90-2.33)	2.58 (2.33-2.85)	3.11 (2.80-3.43)	3.74 (3.35-4.12)	4.33 (3.86-4.76)	4.90 (4.36-5.40)	5.52 (4.88-6.08)	6.36 (5.56-7.00)	7.13 (6.19-7.86)
<b>3-hr</b>	1.89 (1.70-2.12)	2.26 (2.04-2.52)	2.78 (2.51-3.09)	3.38 (3.04-3.76)	4.10 (3.67-4.55)	4.80 (4.26-5.30)	5.50 (4.86-6.07)	6.26 (5.49-6.90)	7.31 (6.34-8.06)	8.31 (7.14-9.17)
<b>6-hr</b>	2.26 (2.04-2.52)	2.70 (2.44-3.01)	3.32 (2.99-3.70)	4.03 (3.62-4.49)	4.92 (4.39-5.45)	5.77 (5.13-6.38)	6.64 (5.85-7.32)	7.58 (6.63-8.36)	8.89 (7.69-9.81)	10.2 (8.68-11.2)
<b>12-hr</b>	2.67 (2.40-3.00)	3.19 (2.86-3.57)	3.93 (3.53-4.40)	4.80 (4.30-5.37)	5.90 (5.24-6.57)	6.98 (6.15-7.75)	8.08 (7.06-8.96)	9.31 (8.05-10.3)	11.0 (9.39-12.2)	12.7 (10.7-14.1)
<b>24-hr</b>	3.16 (2.91-3.45)	3.85 (3.54-4.20)	4.97 (4.57-5.42)	5.91 (5.42-6.44)	7.30 (6.65-7.94)	8.50 (7.67-9.23)	9.81 (8.77-10.6)	11.3 (9.96-12.2)	13.4 (11.7-14.6)	15.3 (13.1-16.7)
<b>2-day</b>	3.66 (3.36-4.01)	4.43 (4.07-4.85)	5.69 (5.22-6.22)	6.77 (6.19-7.38)	8.39 (7.61-9.13)	9.80 (8.80-10.6)	11.4 (10.1-12.4)	13.1 (11.5-14.3)	15.7 (13.5-17.2)	18.0 (15.2-19.8)
<b>3-day</b>	3.90 (3.60-4.25)	4.72 (4.36-5.15)	6.03 (5.56-6.57)	7.14 (6.55-7.76)	8.77 (7.99-9.52)	10.2 (9.18-11.0)	11.7 (10.5-12.7)	13.4 (11.8-14.6)	15.9 (13.8-17.4)	18.2 (15.6-20.0)
<b>4-day</b>	4.14 (3.83-4.50)	5.01 (4.64-5.45)	6.38 (5.89-6.92)	7.50 (6.91-8.14)	9.15 (8.36-9.92)	10.5 (9.57-11.4)	12.0 (10.8-13.0)	13.7 (12.1-14.8)	16.1 (14.1-17.6)	18.4 (15.9-20.2)
<b>7-day</b>	4.82 (4.48-5.23)	5.82 (5.40-6.31)	7.30 (6.77-7.91)	8.53 (7.88-9.23)	10.3 (9.46-11.1)	11.8 (10.7-12.7)	13.4 (12.1-14.4)	15.1 (13.5-16.3)	17.5 (15.4-19.1)	19.6 (17.0-21.4)
<b>10-day</b>	5.42 (5.07-5.83)	6.50 (6.07-6.98)	8.05 (7.51-8.65)	9.33 (8.68-10.0)	11.2 (10.3-12.0)	12.7 (11.7-13.6)	14.3 (13.0-15.4)	16.1 (14.5-17.3)	18.5 (16.5-20.1)	20.6 (18.1-22.4)
<b>20-day</b>	7.36 (6.91-7.85)	8.76 (8.24-9.35)	10.6 (10.0-11.4)	12.2 (11.4-13.0)	14.4 (13.4-15.4)	16.2 (15.0-17.3)	18.1 (16.6-19.3)	20.1 (18.3-21.5)	22.9 (20.6-24.7)	25.2 (22.3-27.3)
<b>30-day</b>	9.06 (8.54-9.62)	10.8 (10.1-11.4)	12.9 (12.2-13.8)	14.7 (13.8-15.6)	17.1 (16.0-18.2)	19.0 (17.7-20.2)	21.0 (19.4-22.4)	23.0 (21.1-24.6)	25.8 (23.5-27.7)	28.0 (25.2-30.2)
<b>45-day</b>	11.2 (10.6-11.9)	13.3 (12.5-14.1)	15.9 (15.0-16.9)	18.0 (16.9-19.2)	21.0 (19.7-22.4)	23.5 (21.9-25.0)	26.1 (24.1-27.7)	28.7 (26.4-30.7)	32.4 (29.4-34.8)	35.4 (31.8-38.1)
<b>60-day</b>	13.5 (12.7-14.2)	15.9 (15.0-16.8)	18.8 (17.7-19.9)	21.1 (19.9-22.3)	24.3 (22.8-25.7)	26.8 (25.1-28.3)	29.3 (27.3-31.1)	31.9 (29.5-33.9)	35.4 (32.4-37.8)	38.1 (34.6-40.9)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

**PF graphical**

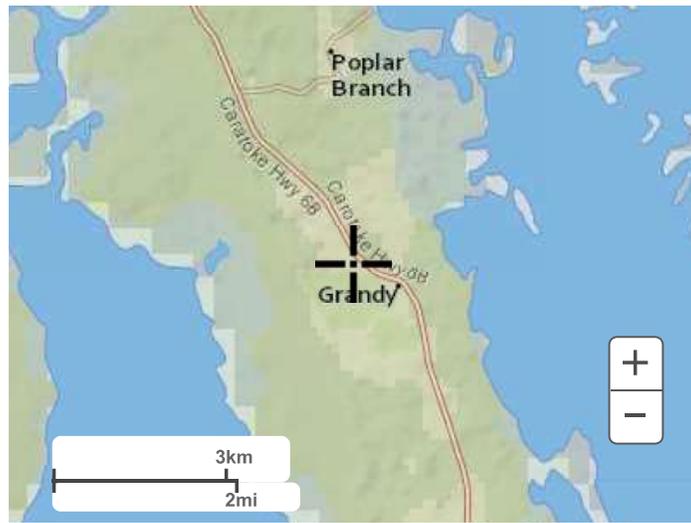
PDS-based depth-duration-frequency (DDF) curves  
 Latitude: 36.2455°, Longitude: -75.8880°



[Back to Top](#)

**Maps & aeriels**

**Small scale terrain**



Large scale terrain



Large scale map



Large scale aerial



**NOAA Atlas 14, Volume 2, Version 3**  
**Location name: Grandy, North Carolina, USA\***  
**Latitude: 36.2455°, Longitude: -75.888°**  
**Elevation: 14 ft\*\***  
 \* source: ESRI Maps  
 \*\* source: USGS



**INTENSITY**

**POINT PRECIPITATION FREQUENCY ESTIMATES**

G.M. Bonnin, D. Martin, B. Lin, T. Parzybok, M.Yekta, and D. Riley

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps & aerials](#)

**PF tabular**

<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)<sup>1</sup></b>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
<b>5-min</b>	<b>5.33</b> (4.84-5.88)	<b>6.22</b> (5.65-6.84)	<b>7.04</b> (6.41-7.74)	<b>8.08</b> (7.31-8.87)	<b>9.10</b> (8.20-9.97)	<b>10.0</b> (9.00-11.0)	<b>10.8</b> (9.71-11.9)	<b>11.7</b> (10.4-12.8)	<b>12.7</b> (11.2-13.9)	<b>13.6</b> (11.9-15.0)
<b>10-min</b>	<b>4.25</b> (3.86-4.69)	<b>4.97</b> (4.52-5.47)	<b>5.64</b> (5.13-6.20)	<b>6.46</b> (5.85-7.09)	<b>7.25</b> (6.53-7.95)	<b>7.97</b> (7.16-8.74)	<b>8.62</b> (7.71-9.46)	<b>9.25</b> (8.23-10.1)	<b>10.0</b> (8.83-11.0)	<b>10.7</b> (9.38-11.8)
<b>15-min</b>	<b>3.54</b> (3.22-3.91)	<b>4.16</b> (3.79-4.58)	<b>4.76</b> (4.33-5.23)	<b>5.44</b> (4.93-5.98)	<b>6.12</b> (5.52-6.72)	<b>6.73</b> (6.05-7.38)	<b>7.26</b> (6.50-7.97)	<b>7.78</b> (6.92-8.53)	<b>8.40</b> (7.41-9.23)	<b>8.98</b> (7.86-9.88)
<b>30-min</b>	<b>2.43</b> (2.21-2.68)	<b>2.88</b> (2.62-3.17)	<b>3.38</b> (3.07-3.71)	<b>3.94</b> (3.57-4.33)	<b>4.54</b> (4.09-4.97)	<b>5.07</b> (4.55-5.56)	<b>5.56</b> (4.98-6.10)	<b>6.05</b> (5.39-6.64)	<b>6.68</b> (5.90-7.34)	<b>7.27</b> (6.36-8.00)
<b>60-min</b>	<b>1.52</b> (1.38-1.67)	<b>1.80</b> (1.64-1.99)	<b>2.16</b> (1.97-2.38)	<b>2.57</b> (2.33-2.82)	<b>3.02</b> (2.72-3.31)	<b>3.43</b> (3.09-3.77)	<b>3.83</b> (3.43-4.20)	<b>4.24</b> (3.78-4.66)	<b>4.80</b> (4.23-5.27)	<b>5.30</b> (4.64-5.84)
<b>2-hr</b>	<b>0.881</b> (0.795-0.978)	<b>1.05</b> (0.952-1.17)	<b>1.29</b> (1.16-1.43)	<b>1.56</b> (1.40-1.72)	<b>1.87</b> (1.68-2.06)	<b>2.16</b> (1.93-2.38)	<b>2.45</b> (2.18-2.70)	<b>2.76</b> (2.44-3.04)	<b>3.18</b> (2.78-3.50)	<b>3.57</b> (3.10-3.93)
<b>3-hr</b>	<b>0.630</b> (0.567-0.704)	<b>0.753</b> (0.680-0.840)	<b>0.925</b> (0.835-1.03)	<b>1.12</b> (1.01-1.25)	<b>1.37</b> (1.22-1.51)	<b>1.60</b> (1.42-1.77)	<b>1.83</b> (1.62-2.02)	<b>2.08</b> (1.83-2.30)	<b>2.43</b> (2.11-2.68)	<b>2.77</b> (2.38-3.05)
<b>6-hr</b>	<b>0.377</b> (0.340-0.421)	<b>0.450</b> (0.406-0.502)	<b>0.553</b> (0.499-0.617)	<b>0.673</b> (0.605-0.749)	<b>0.820</b> (0.733-0.910)	<b>0.963</b> (0.856-1.06)	<b>1.11</b> (0.977-1.22)	<b>1.27</b> (1.11-1.40)	<b>1.48</b> (1.28-1.64)	<b>1.70</b> (1.45-1.87)
<b>12-hr</b>	<b>0.221</b> (0.199-0.248)	<b>0.264</b> (0.237-0.296)	<b>0.326</b> (0.292-0.365)	<b>0.398</b> (0.356-0.445)	<b>0.489</b> (0.434-0.545)	<b>0.579</b> (0.510-0.643)	<b>0.670</b> (0.586-0.743)	<b>0.772</b> (0.668-0.855)	<b>0.914</b> (0.779-1.01)	<b>1.05</b> (0.886-1.17)
<b>24-hr</b>	<b>0.131</b> (0.121-0.143)	<b>0.160</b> (0.147-0.175)	<b>0.207</b> (0.190-0.225)	<b>0.246</b> (0.225-0.268)	<b>0.304</b> (0.276-0.330)	<b>0.354</b> (0.319-0.384)	<b>0.408</b> (0.365-0.443)	<b>0.469</b> (0.415-0.509)	<b>0.559</b> (0.486-0.610)	<b>0.635</b> (0.544-0.696)
<b>2-day</b>	<b>0.076</b> (0.070-0.083)	<b>0.092</b> (0.084-0.101)	<b>0.118</b> (0.108-0.129)	<b>0.141</b> (0.128-0.153)	<b>0.174</b> (0.158-0.190)	<b>0.204</b> (0.183-0.221)	<b>0.236</b> (0.210-0.257)	<b>0.273</b> (0.239-0.297)	<b>0.327</b> (0.281-0.359)	<b>0.375</b> (0.317-0.412)
<b>3-day</b>	<b>0.054</b> (0.049-0.059)	<b>0.065</b> (0.060-0.071)	<b>0.083</b> (0.077-0.091)	<b>0.099</b> (0.090-0.107)	<b>0.121</b> (0.110-0.132)	<b>0.141</b> (0.127-0.153)	<b>0.162</b> (0.145-0.176)	<b>0.185</b> (0.164-0.202)	<b>0.221</b> (0.192-0.242)	<b>0.252</b> (0.216-0.278)
<b>4-day</b>	<b>0.043</b> (0.039-0.046)	<b>0.052</b> (0.048-0.056)	<b>0.066</b> (0.061-0.072)	<b>0.078</b> (0.072-0.084)	<b>0.095</b> (0.087-0.103)	<b>0.109</b> (0.099-0.118)	<b>0.125</b> (0.112-0.135)	<b>0.142</b> (0.126-0.154)	<b>0.167</b> (0.147-0.183)	<b>0.191</b> (0.165-0.210)
<b>7-day</b>	<b>0.028</b> (0.026-0.031)	<b>0.034</b> (0.032-0.037)	<b>0.043</b> (0.040-0.047)	<b>0.050</b> (0.046-0.054)	<b>0.061</b> (0.056-0.066)	<b>0.070</b> (0.063-0.075)	<b>0.079</b> (0.071-0.085)	<b>0.089</b> (0.080-0.097)	<b>0.104</b> (0.091-0.113)	<b>0.116</b> (0.101-0.127)
<b>10-day</b>	<b>0.022</b> (0.021-0.024)	<b>0.027</b> (0.025-0.029)	<b>0.033</b> (0.031-0.036)	<b>0.038</b> (0.036-0.041)	<b>0.046</b> (0.043-0.049)	<b>0.052</b> (0.048-0.056)	<b>0.059</b> (0.054-0.064)	<b>0.066</b> (0.060-0.072)	<b>0.077</b> (0.068-0.083)	<b>0.085</b> (0.075-0.093)
<b>20-day</b>	<b>0.015</b> (0.014-0.016)	<b>0.018</b> (0.017-0.019)	<b>0.022</b> (0.020-0.023)	<b>0.025</b> (0.023-0.027)	<b>0.030</b> (0.027-0.032)	<b>0.033</b> (0.031-0.036)	<b>0.037</b> (0.034-0.040)	<b>0.041</b> (0.038-0.044)	<b>0.047</b> (0.042-0.051)	<b>0.052</b> (0.046-0.056)
<b>30-day</b>	<b>0.012</b> (0.011-0.013)	<b>0.014</b> (0.014-0.015)	<b>0.017</b> (0.016-0.019)	<b>0.020</b> (0.019-0.021)	<b>0.023</b> (0.022-0.025)	<b>0.026</b> (0.024-0.028)	<b>0.029</b> (0.026-0.031)	<b>0.031</b> (0.029-0.034)	<b>0.035</b> (0.032-0.038)	<b>0.038</b> (0.034-0.041)
<b>45-day</b>	<b>0.010</b> (0.009-0.011)	<b>0.012</b> (0.011-0.013)	<b>0.014</b> (0.013-0.015)	<b>0.016</b> (0.015-0.017)	<b>0.019</b> (0.018-0.020)	<b>0.021</b> (0.020-0.023)	<b>0.024</b> (0.022-0.025)	<b>0.026</b> (0.024-0.028)	<b>0.030</b> (0.027-0.032)	<b>0.032</b> (0.029-0.035)
<b>60-day</b>	<b>0.009</b> (0.008-0.009)	<b>0.011</b> (0.010-0.011)	<b>0.013</b> (0.012-0.013)	<b>0.014</b> (0.013-0.015)	<b>0.016</b> (0.015-0.017)	<b>0.018</b> (0.017-0.019)	<b>0.020</b> (0.018-0.021)	<b>0.022</b> (0.020-0.023)	<b>0.024</b> (0.022-0.026)	<b>0.026</b> (0.024-0.028)

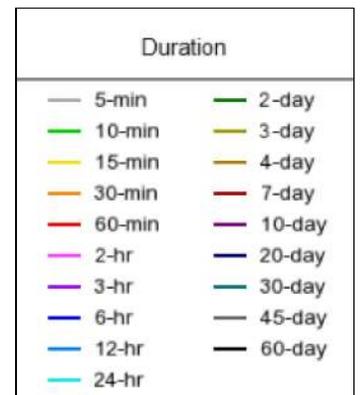
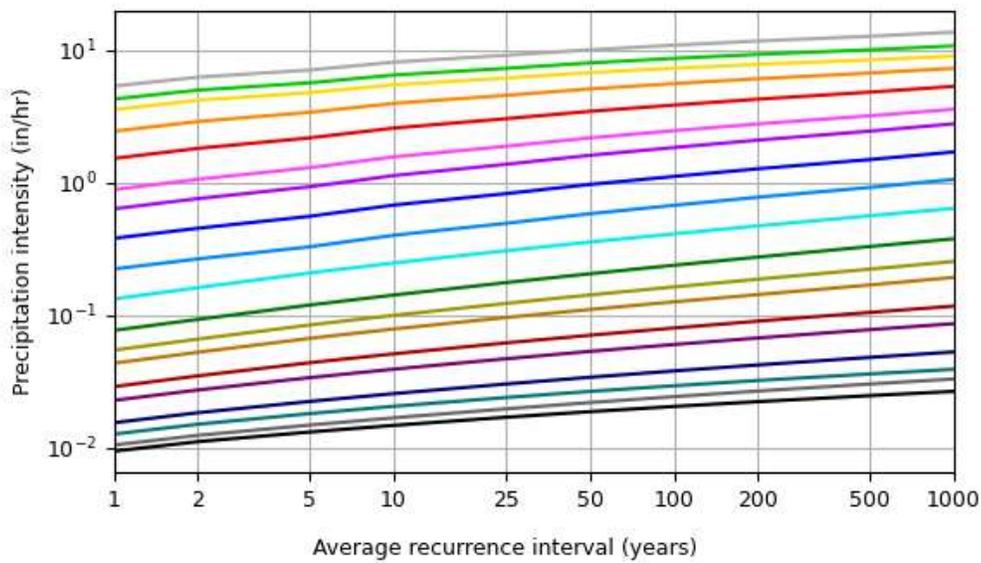
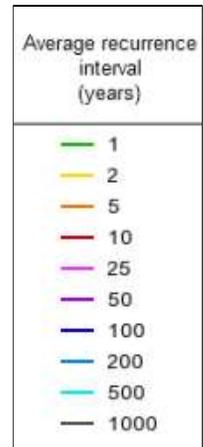
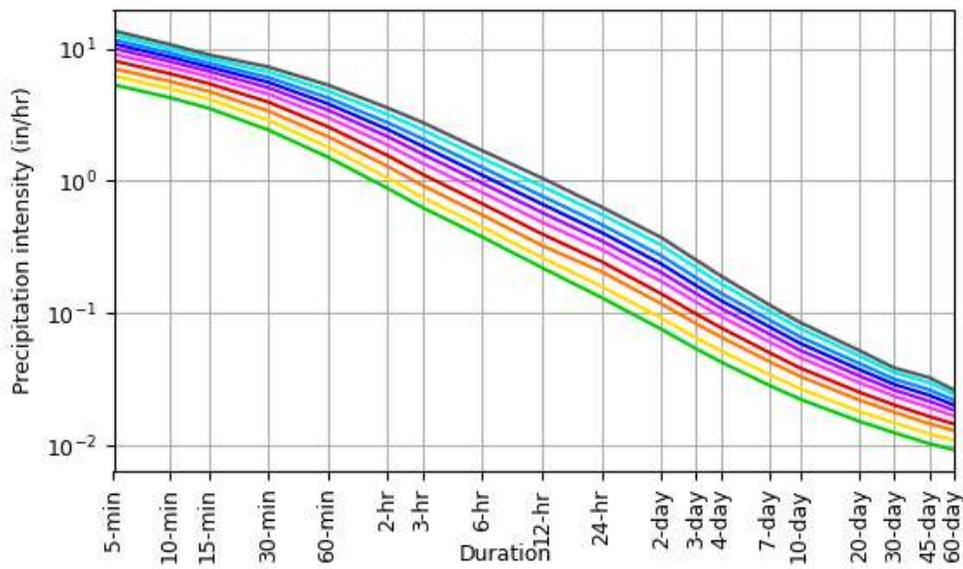
<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

**PF graphical**

PDS-based intensity-duration-frequency (IDF) curves

Latitude: 36.2455°, Longitude: -75.8880°



[Back to Top](#)

**Maps & aerials**

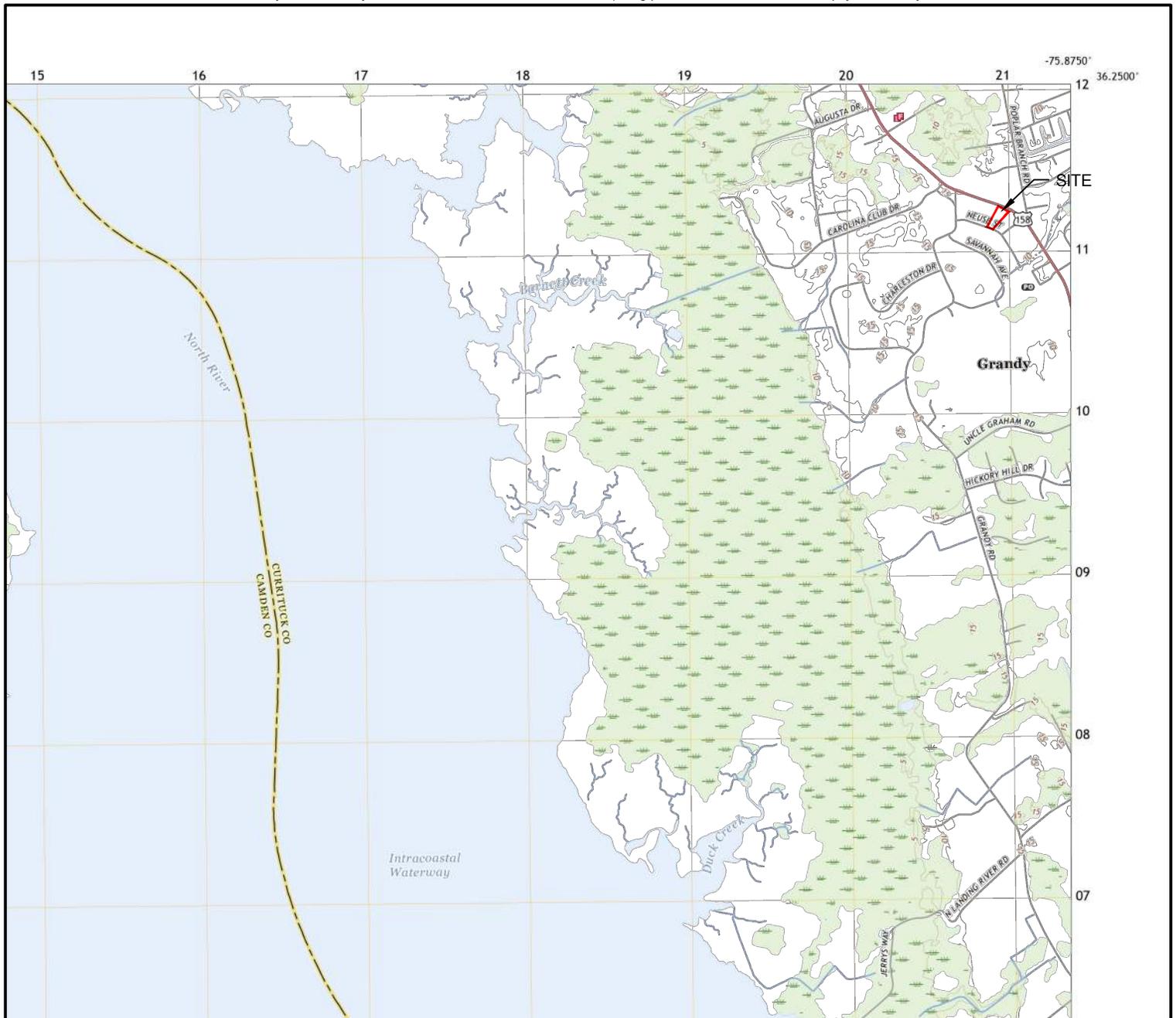
**Small scale terrain**

---

# Appendix D

## Quad Map





USGS QUAD MAP EXHIBIT

CAMDEN POINT, NC  
2022



THIS DRAWING PREPARED AT THE <b>ELIZABETH CITY OFFICE</b> 1805 West City Drive, Unit E   Elizabeth City, NC 27909 TEL 252.621.5030 FAX 252.562.6974 www.timmons.com	YOUR VISION ACHIEVED THROUGH OURS.	POPLAR BRANCH TNSP	CURRITUCK COUNTY
		Date: 07/25/2023	Scale: 1" = 3000'
		Sheet 1 of 1	J.N.: 59040
		Drawn by: KH	Checked by: KH

**TIMMONS GROUP**

---

# Appendix E

## FEMA Firmette





**SITE DATA:**

- OWNER:  
JASON ROADCAP  
631 FERNWOOD FARMS ROAD  
CHESAPEAKE, VA 23320
- DEVELOPER:  
CEDAR RUN CAPITAL, LLC  
2405 F NASH ST. NW  
WILSON, NC 27896  
BARNES BOYKIN, MEMBER  
(252) 230-0632  
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:  
PIN: 009400122E0000  
9922-01-0614  
D.B. 19, PG. 120  
ZONING: GB (GENERAL BUSINESS)  
PARCEL AREA: 1.85 AC  
SITE AREA: 1.85 AC  
SITE ADDRESS: 6440 CARATOKE HWY  
CURRITUCK, NC 27939
- BUILDING SETBACKS:  
MAJOR ARTERIAL: 30'  
SIDE: 15'  
CORNER: 20'  
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:  
10,062 SF @ 1/300 SF = 34 SPACES  
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:  
PROPOSED:  
BUILDING (ROOF): 10,062 SF (12.44%)  
PARKING/DRIVE: 26,265 SF (32.46%)  
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)  
EQUIPMENT PADS: 510 SF (0.63%)  
OPEN SPACE: 41,979 SF (51.88%)  
TOTAL: 80,913 SF (100.00%)  
OFFSITE: 1,616 SF

**7. LANDSCAPE REQUIREMENTS:**

- SITE LANDSCAPING:**  
2 ACI OF CANOPY TREE PER ACRE  
1 TREE WITHIN 60' OF EACH PARKING SPACE  
1 SHRUB PER 5' OF BUILDING FACADE  
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI  
38 SHRUBS
- PARKING PERIMETER:**  
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER  
PROVIDED: 65 SHRUBS
- STREETSCAPE:**  
BASED ON 246 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT  
R/W: 246 LF - 36 LF = 210 LF  
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS  
PER 100 LF OF STREET FRONTAGE  
REQUIRED: 17 ACI CANOPY TREES  
10 ACI UNDERSTORY TREES  
21 SHRUBS  
PROVIDED: 6 CANOPY TREES @ 3 ACI EACH = 17 ACI  
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI  
21 SHRUBS
- ALL UTILITY CONNECTIONS SHALL CONFORM TO CURRITUCK COUNTY STANDARDS AND SHALL BE COORDINATED WITH THE CURRITUCK COUNTY PUBLIC WORKS DEPARTMENT.
  - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF STOP WORK ORDER.
  - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
  - DISTURBED AREA SHALL NOT EXCEED 2.08 ACRES.
  - ALL STORAGE BINS, TRASH RECEPTACLES AND RECYCLE CONTAINERS SHALL BE SCREENED.
  - TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.

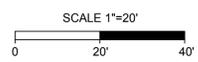
**PERMIT DRAWINGS**  
**AUG 23, 2023**  
**NOT FOR CONSTRUCTION**

**VICINITY MAP**  
NO SCALE

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3000 FAX 252.592.0974 www.timmons.com

**LEGEND**

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CONCRETE MONUMENT
- EXISTING IRON PIPE
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX SEWER MANHOLE
- EX SEWER CLEANOUT
- EX TELEPHONE PEDESTAL
- EX TELECOM VAULT
- EX POWER POLE
- EX GUY ANCHOR
- EX SIGN
- EX BOLLARD
- EX TREE
- PROP CURB INLET
- PROP DROP INLET
- PROP SEWER CLEANOUT
- PROP SEWER MANHOLE
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROP STORM MANHOLE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- DRAINAGE EASEMENT
- EX FLOOD ZONE LINE
- EX EDGE OF PAVEMENT
- EX EDGE OF GRAVEL
- EX FENCE
- EX UNDERGROUND POWER
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX SEWER LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE
- PROP REINFORCED CONCRETE
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP SEWER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE



**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**DOLLAR TREE CARATOKE HWY**  
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
**EXISTING CONDITIONS**

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	08/23/2023

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3000 FAX 252.592.0974 www.timmons.com

JOB NO. 59040  
SHEET NO. C1.0



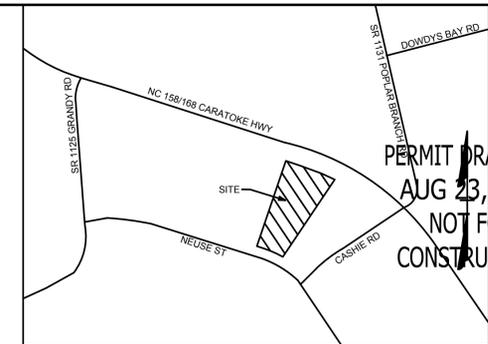
These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

**SITE DATA**

- OWNER:  
JASON ROADCAP  
631 FERWOOD FARMS ROAD  
CHESAPEAKE, VA 23320
- DEVELOPER:  
CEDAR RUN CAPITAL, LLC  
2405-F NASH ST., NW  
WILSON, NC 27896  
BARNES BOYKIN, MEMBER  
(252) 230-0632  
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:  
PIN: 0094000122E0000  
9922-01-0614  
D.B. 19, PG. 120  
ZONING: GB (GENERAL BUSINESS)  
PARCEL AREA: 1.85 AC  
SITE AREA: 1.85 AC  
SITE ADDRESS: 6440 CARATOKE HWY  
CURRITUCK, NC 27939
- BUILDING SETBACKS:  
MAJOR ARTERIAL: 30'  
SIDE: 15'  
CORNER: 20'  
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:  
10,062 SF @ 1300 SF = 34 SPACES  
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:  
PROPOSED:  
BUILDING (ROOF): 10,062 SF (12.44%)  
PARKING/DRIVEWAY: 26,265 SF (32.46%)  
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)  
EQUIPMENT PADS: 510 SF (0.63%)  
OPEN SPACE: 41,979 SF (51.88%)  
TOTAL: 60,913 SF (100.00%)  
OFFSITE: 1,616 SF

**7. LANDSCAPE REQUIREMENTS:**

- SITE LANDSCAPING:**  
2 ACI OF CANOPY TREE PER ACRE  
1 TREE WITHIN 60' OF EACH PARKING SPACE  
1 SHRUB PER 5' OF BUILDING FACADE  
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI  
38 SHRUBS
- PARKING PERIMETER:**  
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER  
PROVIDED: 65 SHRUBS
- STREETSCAPE:**  
BASED ON 246 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT  
RW: 246 LF - 36 LF = 210 LF  
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS  
PER 100 LF OF STREET FRONTAGE  
REQUIRED: 17 ACI CANOPY TREES  
10 ACI UNDERSTORY TREES  
21 SHRUBS  
PROVIDED: 6 CANOPY TREES @ 3 ACI EACH = 17 ACI  
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI  
21 SHRUBS
- ALL UTILITY CONNECTIONS SHALL CONFORM TO CURRITUCK COUNTY STANDARDS AND SHALL BE COORDINATED WITH THE CURRITUCK COUNTY PUBLIC WORKS DEPARTMENT.
  - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF STOP WORK ORDER.
  - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
  - DISTURBED AREA SHALL NOT EXCEED 2.08 ACRES.
  - ALL STORAGE BINS, TRASH RECEPTACLES AND RECYCLE CONTAINERS SHALL BE SCREENED.
  - TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.



**VICINITY MAP**  
NO SCALE



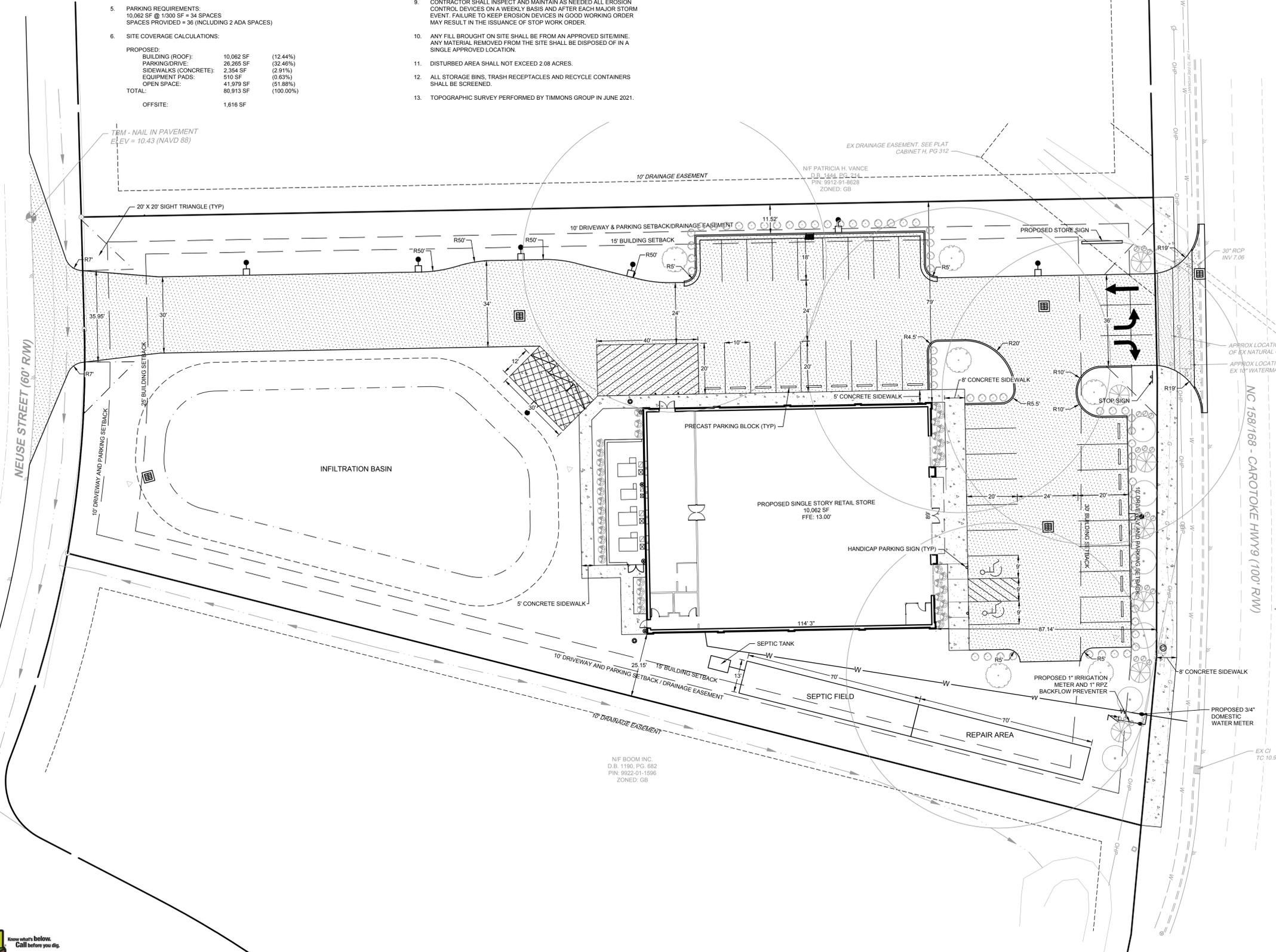
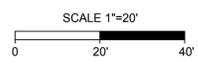
**PERMIT DRAWINGS**  
**AUG 23, 2023**  
**NOT FOR CONSTRUCTION**

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3000 FAX 252.592.0974 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	08/23/2023

**LEGEND**

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CONCRETE MONUMENT
- EXISTING IRON PIPE
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
- EX SEWER MANHOLE
- EX SEWER CLEANOUT
- EX TELEPHONE PEDESTAL
- EX TELECOM VAULT
- EX POWER POLE
- EX GUY ANCHOR
- EX SIGN
- EX BOLLARD
- EX TREE
- PROP CURB INLET
- PROP DROP INLET
- PROP SEWER CLEANOUT
- PROP SEWER MANHOLE
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROP STORM MANHOLE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- DRAINAGE EASEMENT
- EX FLOOD ZONE LINE
- EX EDGE OF PAVEMENT
- EX EDGE OF GRAVEL
- EX FENCE
- EX UNDERGROUND POWER
- EX OVERHEAD POWER
- EX NATURAL GAS LINE
- EX SEWER LINE
- EX WATER LINE
- EX CENTER OF DITCH
- EX TOP OF BANK
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX STORM PIPE
- EX EDGE OF TREE LINE
- PROP ASPHALT PAVEMENT
- PROP CONCRETE
- PROP REINFORCED CONCRETE
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP STORM PIPE
- PROP WATER LINE
- PROP SEWER LINE
- PROP EDGE OF TREE LINE
- PROP SWALE



TRM - NAIL IN PAVEMENT  
ELEV = 10.43 (NAVD 88)

20' X 20' SIGHT TRIANGLE (TYP)

10' DRAINAGE EASEMENT

EX DRAINAGE EASEMENT - SEE PLAT  
CABINET H, PG 312

NIF PATRICIA H. VANCE  
P.B. 1444, PG. 214  
PIN: 9912-91-8628  
ZONED: GB

APPROX LOCATION OF EX NATURAL GAS

APPROX LOCATION OF EX 10" WATERMAIN

NIF BOOM INC.  
D.B. 1190, PG. 882  
PIN: 9922-01-1596  
ZONED: GB

S:\10905640 - Dollar Tree - 6440 Caratoke Hwy Lot 1 - Grandy, NC\DWG\Sheet\CD\99040C-C2.D SITE.dwg | Plotted on 08/23/2023 4:16 PM | by Kim Hamby



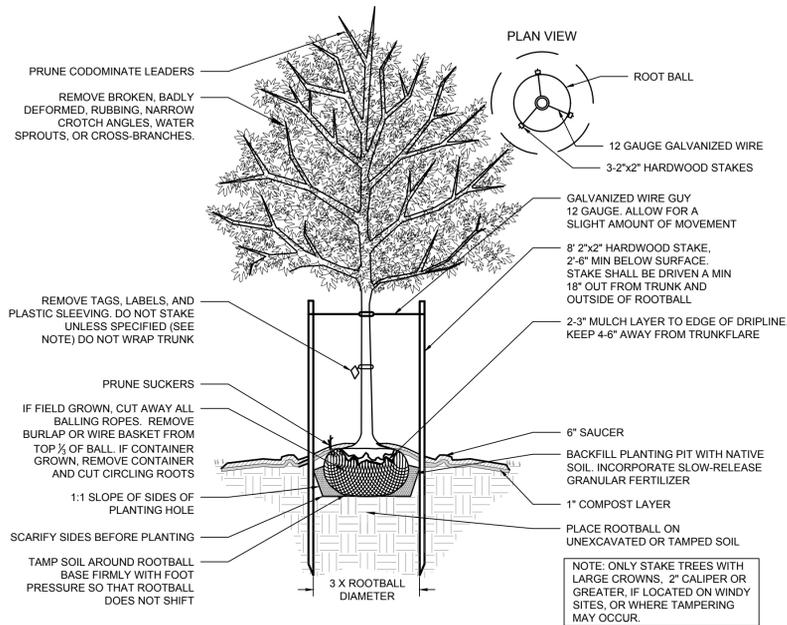
**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**DOLLAR TREE CARATOKE HWY**  
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA

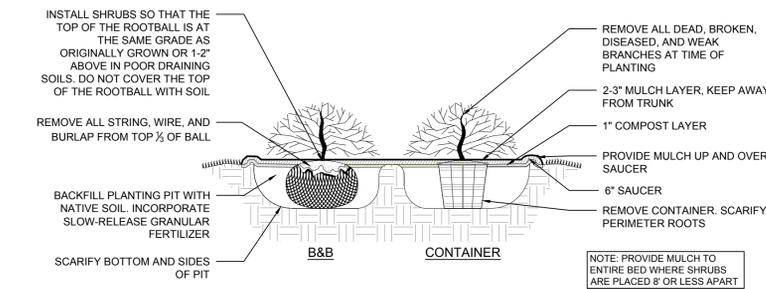
**SITE & UTILITY PLAN**

JOB NO.	59040
SHEET NO.	C2.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



**CANOPY TREE DETAIL**  
NO SCALE

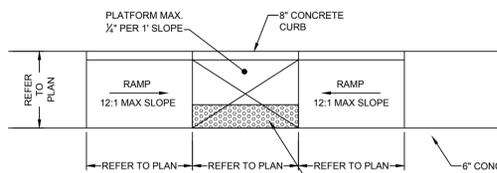


**SHRUB DETAIL**  
NO SCALE

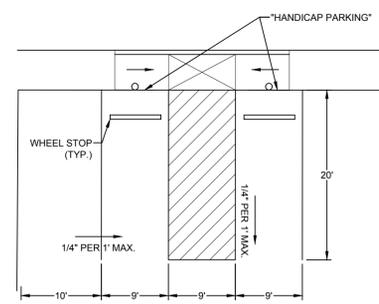
- NOTES:
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN ON PLANS OR DIRECTED BY THE ENGINEER.
  - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 12:1 (8.33%) MAXIMUM SLOPE.
  - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
  - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10:1 (10%) MEASURED ALONG THE CURB LINE.
  - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
  - CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4' X 4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
  - PLACE A 1/2\"/>



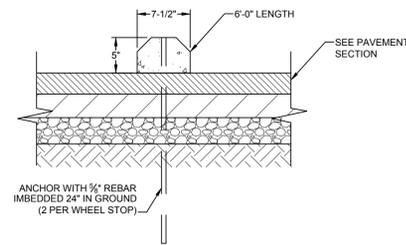
**HANDICAP RAMP DETAIL (SECTION)**  
NO SCALE



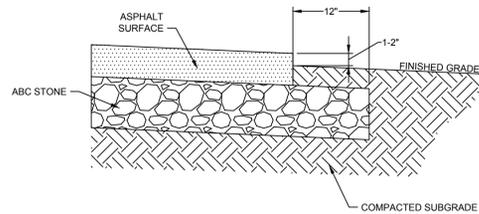
**HANDICAP RAMP DETAIL (PLAN)**  
NO SCALE



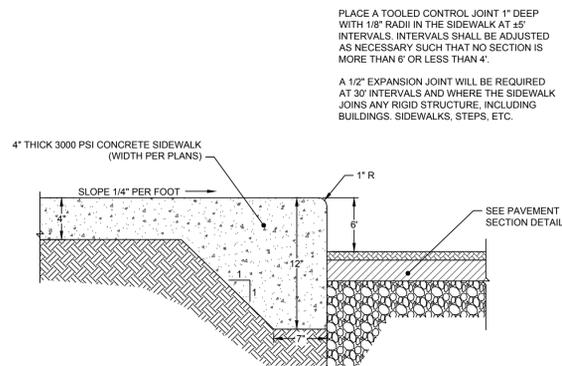
**HANDICAP PARKING DETAIL**  
NO SCALE



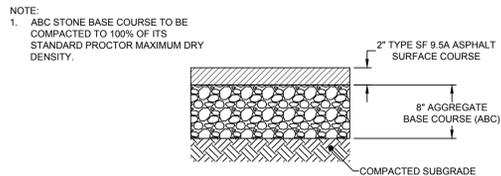
**PRECAST BUMPER BLOCK (WHEEL STOP)**  
NO SCALE



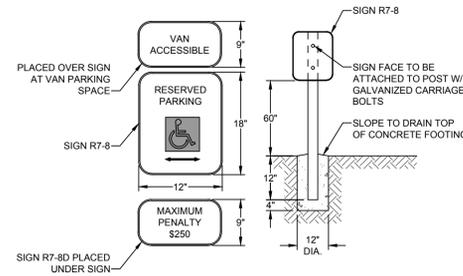
**EDGE OF PAVEMENT**  
NO SCALE



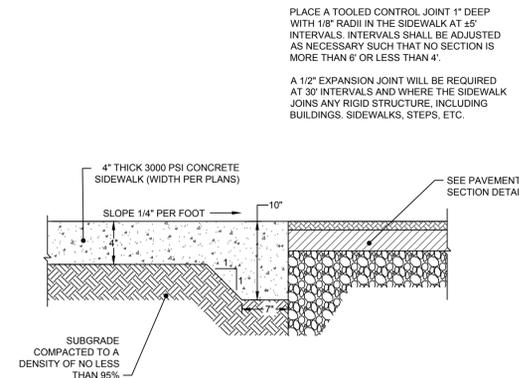
**TURNDOWN SIDEWALK**  
NO SCALE



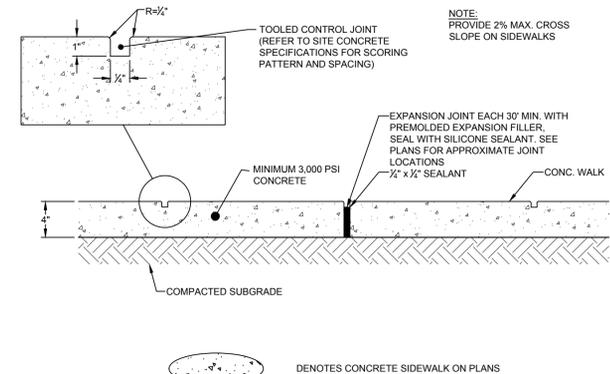
**LIGHT DUTY PAVEMENT**  
NO SCALE



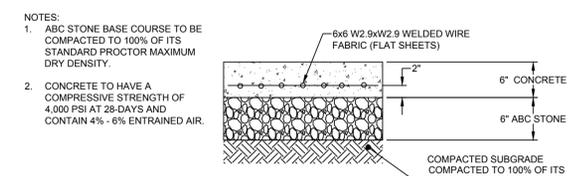
**HANDICAP PARKING SIGN**  
NO SCALE



**FLUSH SIDEWALK**  
NO SCALE



**CONCRETE SIDEWALKS**  
NO SCALE



**REINFORCED CONCRETE PAVEMENT**  
NO SCALE



PERMIT DRAWINGS  
AUG 23, 2023  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
ELIZABETH CITY OFFICE  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.392.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	08/23/2023
BCD	
KDH	
KDH	
N/A	

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**DOLLAR TREE CARATOKE HWY**  
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
**SITE DETAILS**

JOB NO.  
59040  
SHEET NO.  
C2.1





PERMIT DRAWINGS  
AUG 23, 2023  
NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.592.0574 www.timmons.com

REVISION DESCRIPTION	DATE

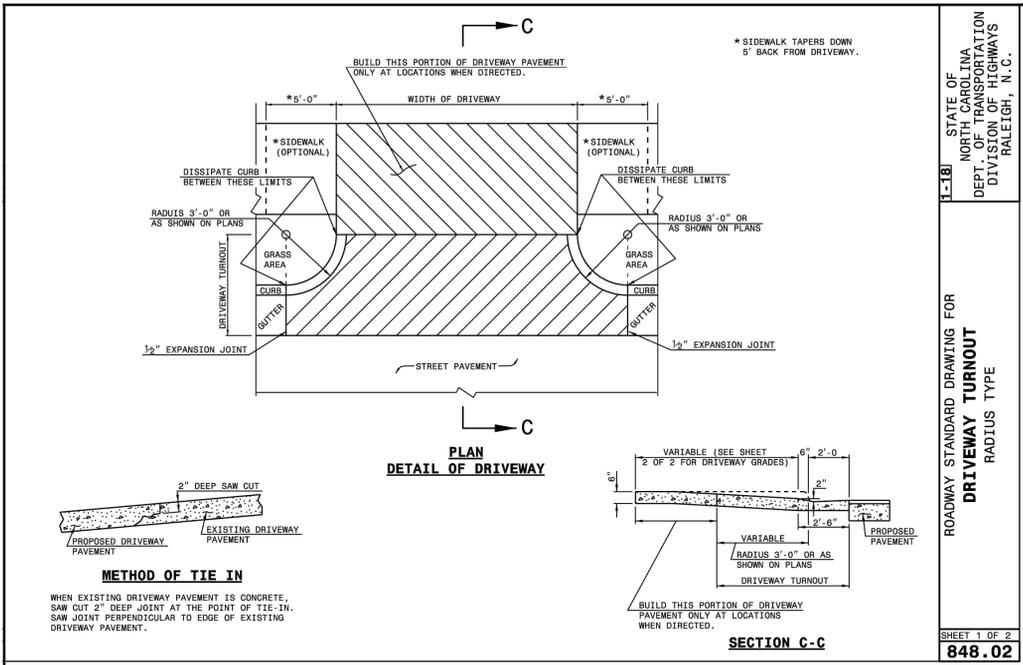
YOUR VISION ACHIEVED THROUGH OURS.

DATE	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
08/23/2023	BCD	KDH	KDH	N/A

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
DOLLAR TREE CARATOKE HWY  
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
SITE DETAILS

JOB NO.	SHEET NO.
59040	C2.2

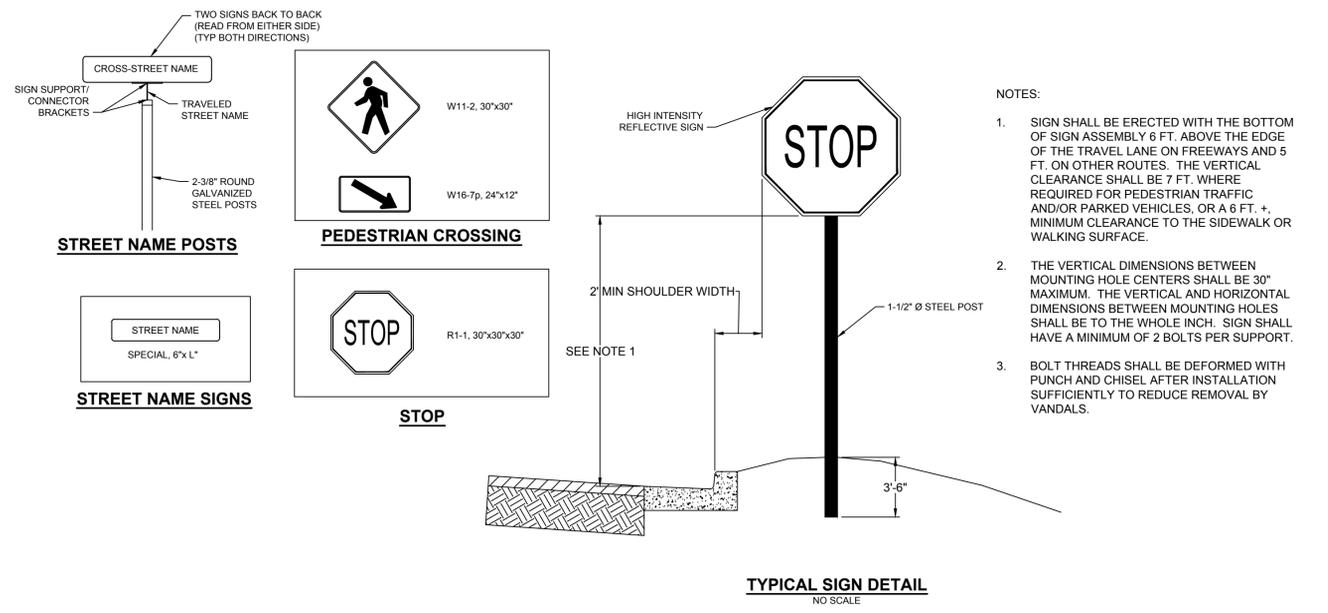
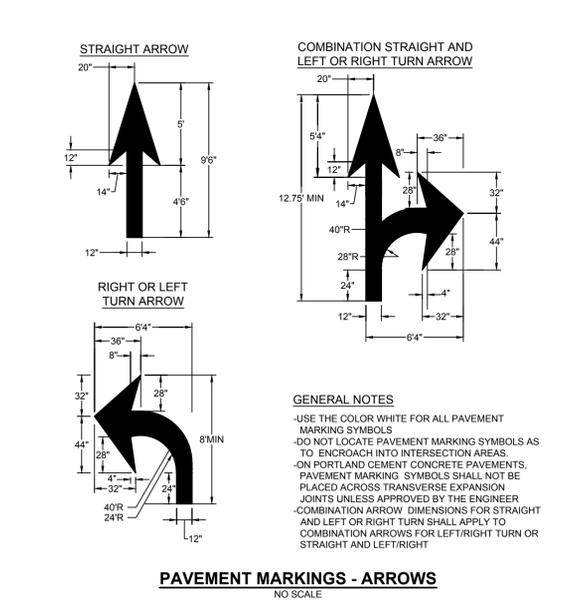
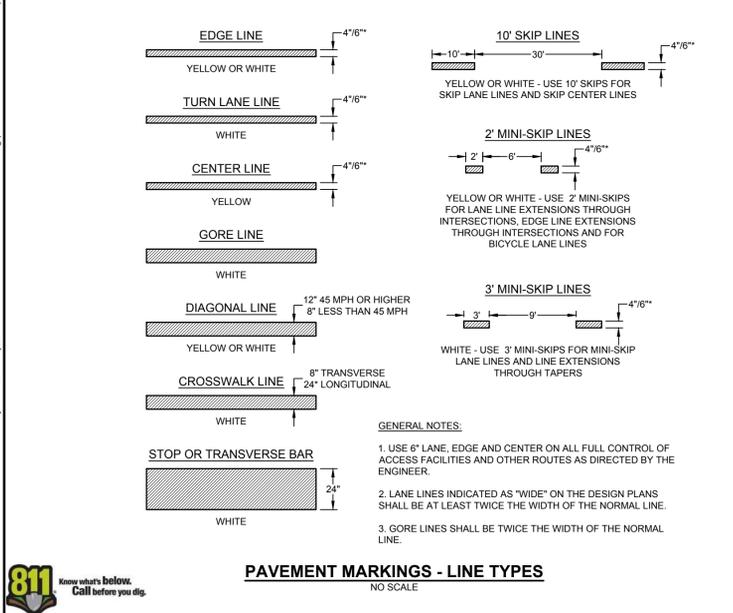
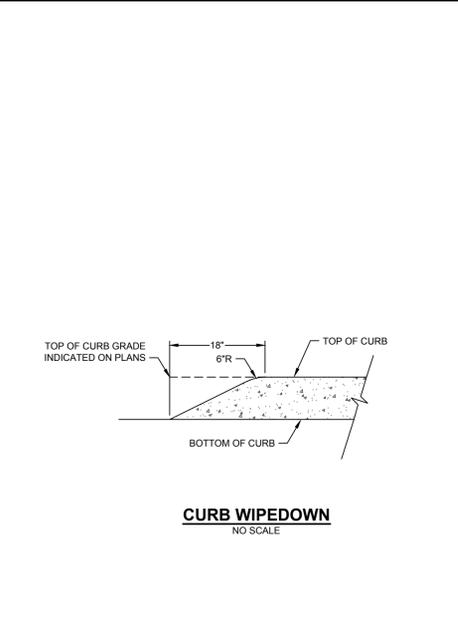
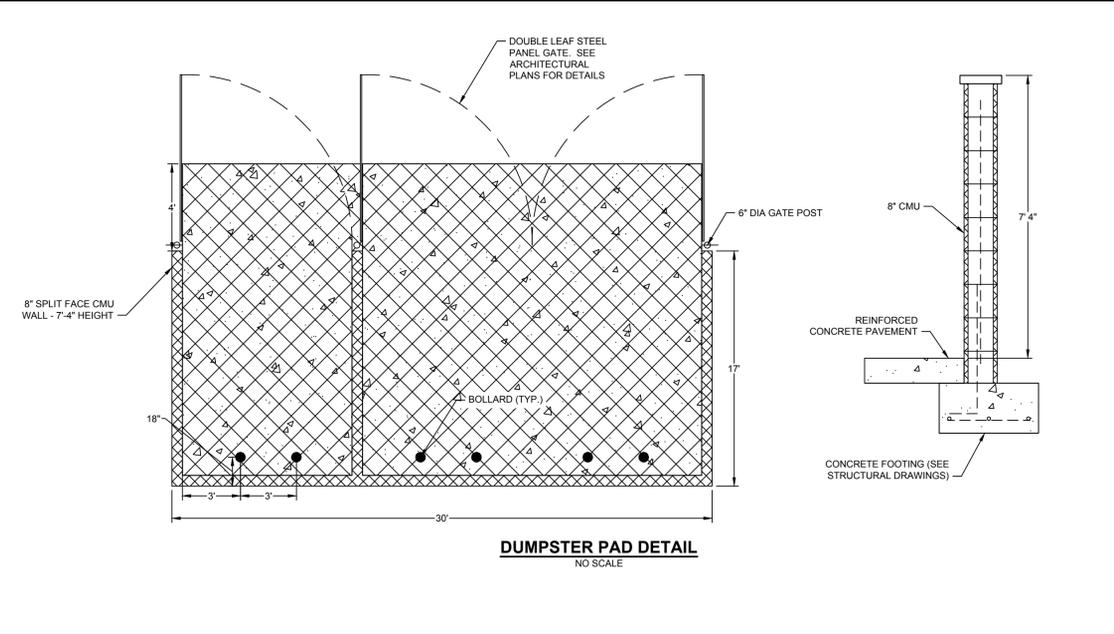
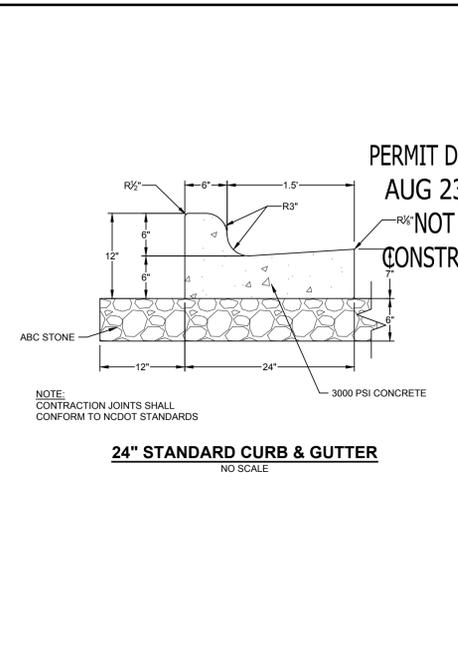
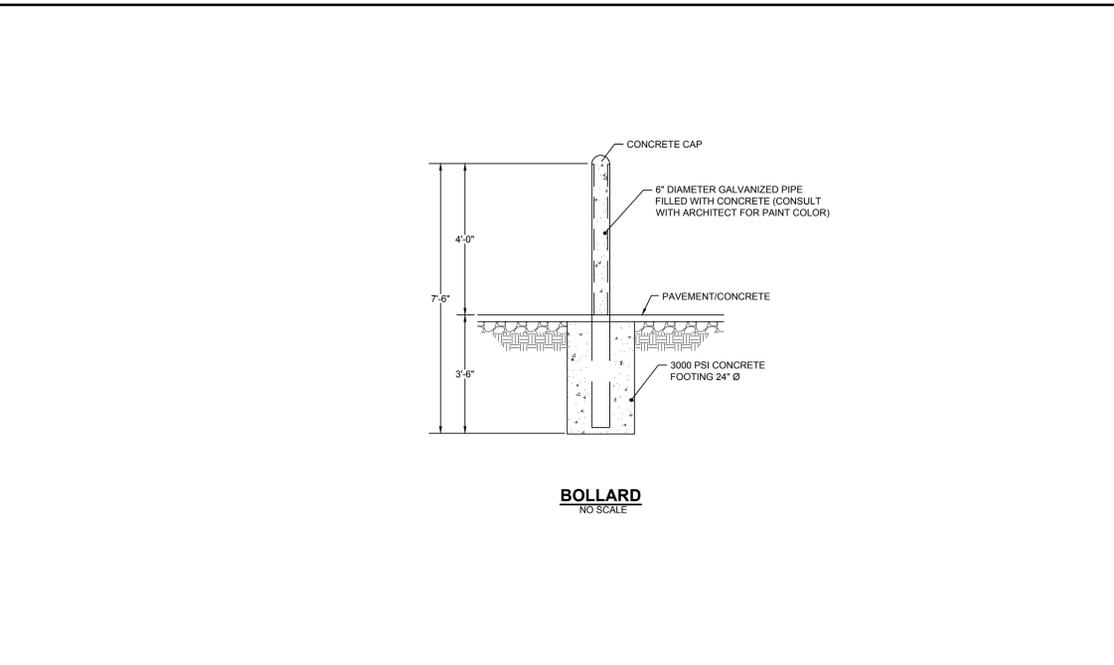
These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**DRIVEWAY TURNOUT**  
RADIUS TYPE

SHEET 1 OF 2  
**848.02**



S:\10905040 - Dollar Tree - 644E Caratoka Hwy Lot 1 - Granby, NC\DWG\Sheet\CD\89040C-C2.1-DT SITE.dwg | Printed on 8/23/2023 4:17 PM | By: Kim Hamby



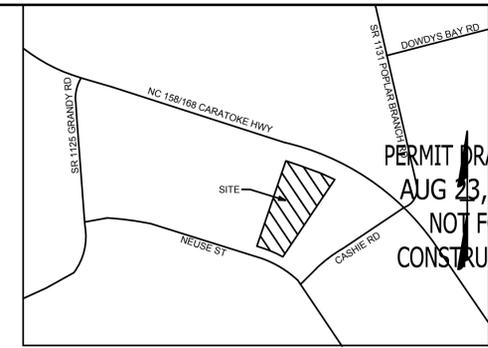
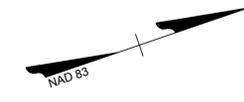
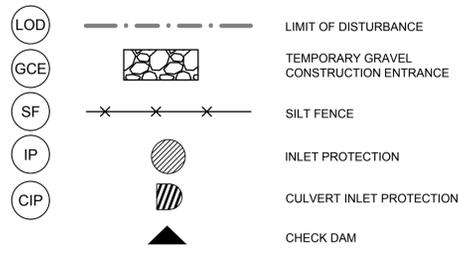


**SITE DATA:**

- OWNER:**  
JASON ROADCAP  
631 FERNWOOD FARMS ROAD  
CHESAPEAKE, VA 23320
- DEVELOPER:**  
CEDAR RUN CAPITAL, LLC  
2405 F NASH ST, NW  
WILSON, NC 27896  
BARNES BOYKIN, MEMBER  
(252) 230-0632  
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:**  
PIN: 0094000122E0000  
9922-01-0614  
D.B. 19, PG. 120  
ZONING: GB (GENERAL BUSINESS)  
PARCEL AREA: 1.85 AC  
SITE AREA: 1.85 AC  
SITE ADDRESS: 6440 CARATOKE HWY  
CURRITUCK, NC 27939
- BUILDING SETBACKS:**  
MAJOR ARTERIAL: 30'  
SIDE: 15'  
CORNER: 20'  
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:**  
10,062 SF @ 1,300 SF = 34 SPACES  
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:**  
PROPOSED:  
BUILDING (ROOF): 10,062 SF (12.44%)  
PARKING/DRIVE: 26,265 SF (32.46%)  
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)  
EQUIPMENT PADS: 510 SF (0.63%)  
OPEN SPACE: 41,979 SF (51.88%)  
TOTAL: 80,913 SF (100.00%)  
OFFSITE: 1,616 SF

- LANDSCAPE REQUIREMENTS:**  
**SITE LANDSCAPING:**  
2 ACI OF CANOPY TREE PER ACRE  
1 TREE WITHIN 60' OF EACH PARKING SPACE  
1 SHRUB PER 5' OF BUILDING FACADE  
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI  
38 SHRUBS
- PARKING PERIMETER:**  
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER  
PROVIDED: 65 SHRUBS
- STREETSCAPE:**  
BASED ON 248 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT  
RW: 246 LF - 36 LF = 210 LF  
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS  
PER 100 LF OF STREET FRONTAGE  
REQUIRED: 17 ACI CANOPY TREES  
10 ACI UNDERSTORY TREES  
21 SHRUBS  
PROVIDED: 6 CANOPY TREES @ 3 ACI EACH = 17 ACI  
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI  
21 SHRUBS
- ALL UTILITY CONNECTIONS SHALL CONFORM TO CURRITUCK COUNTY STANDARDS AND SHALL BE COORDINATED WITH THE CURRITUCK COUNTY PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF STOP WORK ORDER.
- ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
- DISTURBED AREA SHALL NOT EXCEED 2.08 ACRES.
- ALL STORAGE BINS, TRASH RECEPTACLES AND RECYCLE CONTAINERS SHALL BE SCREENED.
- TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.

**LEGEND**



**VICINITY MAP**  
NO SCALE

**PERMIT DRAWINGS**  
**AUG 23, 2023**  
**NOT FOR CONSTRUCTION**



THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.692.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
08/23/2023	

DATE: 08/23/2023  
DRAWN BY: BCD  
DESIGNED BY: KDH  
CHECKED BY: KDH  
SCALE: 1" = 20'

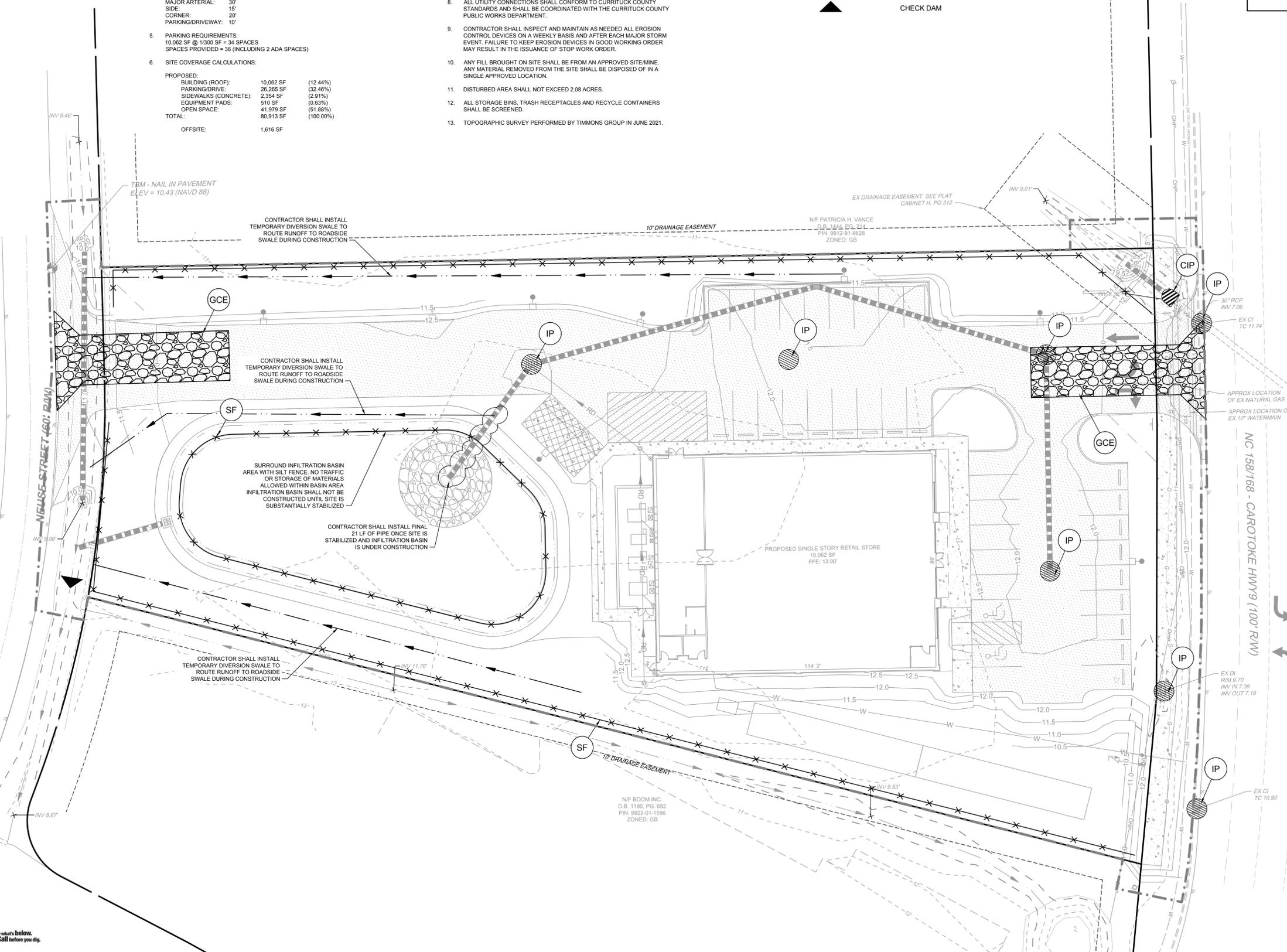
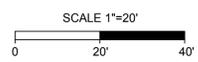
**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**DOLLAR TREE CARATOKE HWY**  
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
**EROSION AND SEDIMENT CONTROL PLAN**

JOB NO.	59040
SHEET NO.	C3.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

S:\10959540 - Dollar Tree - 6440 Caratoke Hwy Lot 1 - Grndy - NCDWG\Sheet\CD\99040C-C3.D\EROS.dwg | Plotted on 8/23/2023 4:17 PM | by Kim Henny





**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCGO1 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCGO1 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timelines		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	-10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
• Temporary grass seed covered with straw or other mulches and tackifiers	• Permanent grass seed covered with straw or other mulches and tackifiers
• Hydroseeding	• Geotextile fabric such as permanent soil reinforcement matting
• Rolled erosion control products with or without temporary grass seed	• Hydroseeding
• Appropriately applied straw or other mulch	• Straw or other permanent plantings covered with mulch
• Plastic sheeting	• Uniform and evenly distributed ground cover sufficient to restrain erosion
	• Structural methods such as concrete, asphalt or retaining walls
	• Rolled erosion control products with grass seed

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description of evidence, and date of corrective actions taken.
(3) Stormwater discharge (SDC)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids discharge. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Visible sedimentation is found outside the limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An application as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (3)(b) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or re-vegetation, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required time frame or as assurance that they will be provided as soon as possible.

**NOTE:** The rain inspection resets the required 7 calendar day inspection requirement.

**PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices.
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&S Plan Documentation**

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S plan.	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measures or if the E&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S measures.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be Kept on Site**

In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspection at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained For Three Years**

All data used to complete the e-NCI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that Must be Reported**

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Release of hazardous substances in excess of reportable quantities under Section 102 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li>• Within 24 hours, in oral or electronic notification.</li> <li>• Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>• If the stream is named on the <a href="#">NC 303(d) list</a> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> <li>• Within 24 hours, in oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> <li>• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(c) Unanticipated bypasses [40 CFR 122.41(i)(3)]	<ul style="list-style-type: none"> <li>• Within 24 hours, in oral or electronic notification.</li> <li>• Within 7 calendar days, a report that contains a description of the noncompliance, and its cause; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)].</li> <li>• Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>
(d) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	<ul style="list-style-type: none"> <li>• Within 24 hours, in oral or electronic notification.</li> </ul>

**PERMIT DRAWINGS**  
AUG 23, 2023  
**NOT FOR CONSTRUCTION**

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.392.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**DOLLAR TREE CARATOKE HWY**  
POPULAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
**EROSION AND SEDIMENT CONTROL DETAILS**

REVISION DESCRIPTION	DATE	DATE
		08/23/2023
		DRAWN BY
		BCD
		DESIGNED BY
		KDH
		CHECKED BY
		KDH
		SCALE
		N/A
		JOB NO.
		59040
		SHEET NO.
		C3.2

This plan and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

**NCGO1 GROUND STABILIZATION AND MATERIALS HANDLING** EFFECTIVE: 04/01/19

**NCGO1 SELF-INSPECTION, RECORDKEEPING AND REPORTING** EFFECTIVE: 04/01/19

**Channel Installation Instructions EXCEL CS-3™**

**Step 1 - Site Preparation**

Prepare site to design profile and grade. Remove debris, rocks, clods, etc. Ground surface should be smooth prior to installation to ensure blanket remains in contact with slope.

**Step 2 - Seeding**

Seeding of site should be conducted to design requirements or to follow local or state seeding requirements as necessary.

**Step 3 - Staple Selection**

At a minimum, 6" long by 1" crown, 11 gauge staples are to be used to secure the blanket to the ground surface. Installation in rocky, sandy or other loose soil may require longer staples.

**Step 4 - Excavate Anchor Trench and Secure Blanket**

Excavate a trench along the top of the channel side slopes and the upstream terminal end of the channel to secure the edges of the blanket. The trench should run along the length and width of the installation, be 6" wide and 6" deep. Staple blanket along bottom of trench, fill with compacted soil, overlap blanket towards toe of slope and secure with row of staples (shown in Figures A, E and F).

**Step 5 - Secure Body of Blanket**

Roll blanket down slope from anchor trench. Staple body of blanket following the pattern shown in Figure D. Leave end of blanket unstapled to allow for overlap shown in Figure B. Place downstream blanket underneath upstream blanket to form shingle pattern. Staple seam as shown in Figure E. Secure downstream blanket with stapling pattern shown in Figure D. Stapling pattern shown in Figure D reflects minimum staples to be used. More staples may be required to ensure blanket is sufficiently secured to resist mowers and foot traffic and to ensure blanket is in contact with soil surface over the entire area of blanket. Further, critical points require additional staples. Critical points are identified in Figure G.

**Step 6 - Continue Along Slope - Complete Installation**

Overlap adjacent blankets as shown in Figure C and repeat Step 5. Secure toe of slope using stapling pattern shown in Figure E. Secure edges of installation by stapling at 1.5' intervals along the terminal edge.

Document # WE\_EXCEL\_CS3\_CII

\*Approximately 360 Staples per 7.5' Roll & 720 Staples per 15' Roll Required - Drawings Not to Scale 15' Wide Blanket Shown

**Product Application/Equivalency Specifications**

Excel CS-3 is produced by Western Excelsior and consists of an extended term Rolled Erosion Control Product (RECP) comprised of a coconut/straw blend matrix mechanically (stitch) bound between two, UV stabilized, photodegradable synthetic nets (top and bottom). The expected longevity of Excel CS-3 is approximately 24 months (actual longevity dependent on field and climatic conditions). Excel CS-3 is manufactured to include physical properties sufficient to provide the intended longevity and performance. Product specifications may be found on document WE\_EXCEL\_CS3\_SPEC and performance information may be found on document WE\_EXCEL\_CS3\_PERF. All documents are available from Western Excelsior Technical Support or www.westernexcelsior.com. Additional to above, equivalent products to Excel CS-3 must meet identical criteria as Excel CS-3 as follows:

- Consist of a coconut/straw blend matrix mechanically (stitch) bound between two, synthetic, UV stabilized photodegradable nets.
- Sufficient tensile strength, thickness and coverage to maintain integrity during installation and ensure material performance.
- Listing within AASHTO NTPEP database.

**SEEDBED PREPARATION**

**CONSTRUCTION SPECIFICATIONS**

- PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEED USING TILLAGE AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL, COMPACTED AREAS AND SPREAD TOPSOIL TO INCREASE DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- SOIL SHALL RECEIVE LIME, FERTILIZER AND/OR SUPERPHOSPHATE UNIFORMLY AS NEEDED PER RECOMMENDATIONS FROM NORTH CAROLINA DEPARTMENT OF AGRICULTURE OR OTHER COMMERCIAL LABORATORY.
- SEED ON A FRESHLY PREPARED SEEDBED AND ENSURE SEED IS LIGHTLY COVERED FOLLOWING INSTALLATION.
- MULCH IMMEDIATELY AFTER SEEDING.
- CONTRACTOR SHALL REPORT ALL AREAS THAT ARE DISTURBED WITHIN TWO DAYS. INSPECT ALL SEEDBED AREAS AND MAKE SURE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF POSSIBLE, AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETE, AN INSPECTION WILL BE COMPLETED TO DETERMINE IF ADDITIONAL SEEDING WILL BE REQUIRED.

\*APPLY: FERTILIZER, LIME, AND MULCH SHALL BE APPLIED AT RATES RECOMMENDED BY NCDA (OR OTHERS), OTHERWISE, APPLY AS DESCRIBED BELOW.

AGRICULTURAL LIMESTONE - 1-1.5 TONS/ACRE ON COURSE TEXTURED SOILS AND 2-3 TONS/ACRE IN FINE-TEXTURED SOILS  
SOILS WITH PH 6.0 OR HIGHER NEED NOT BE LIMED.  
FERTILIZER - 700/1000 LBS/ACRE (10-10-10)  
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)  
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE

**PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN**

DATE	TYPE	BROADCAST SEEDING RATES
OCT 1 - APR 1	SERICA LESPEDEZA	15 LBS/ACRE
AUG 30 - MAR 15	KY 31 TALL FESCUE	200-250 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	40 LBS/ACRE
APR 15 - AUG 15	GERMAN MILLET	10 LBS/ACRE

**TEMPORARY SEEDING SCHEDULE**

DATE	TYPE	PLANTING RATES
DEC 1 - APR 15	ANNUAL LESPEDEZA (KOBÉ IN PIEDMONT AND COASTAL PLAIN)	50 LBS/ACRE
APR 15 - AUG 15 (COASTAL PLAIN)	GERMAN MILLET	40 LBS/ACRE
AUG 15 - DEC 30 (COASTAL PLAIN)	RYE	120 LBS/ACRE

**EROSION CONTROL MEASURES**

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED ON ALL AREAS OF THE SITE WHICH ALL DISTURBED OR GRADED.

PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 14 CALENDAR DAYS FOR SLOPES STEEPER THAN 3:1 OR SLOPES 3:1 OR FLATTER GREATER THAN 50' IN LENGTH, FOR SLOPES 4:1 OR FLATTER OF ANY LENGTH (EXCEPT FOR PERIMETERS AND HOW ZONES), AND SLOPES NO STEEPER THAN 2:1 AND LESS THAN 10' IN LENGTH.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOR SLOPES STEEPER THAN 3:1 OR SLOPES 3:1 OR FLATTER GREATER THAN 50' IN LENGTH, FOR HIGH QUALITY WATER (HQW) ZONES, AND PERIMETER DIKES, SWALES, DITCHES AND SLOPES.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON ALL EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND, A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS FOR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

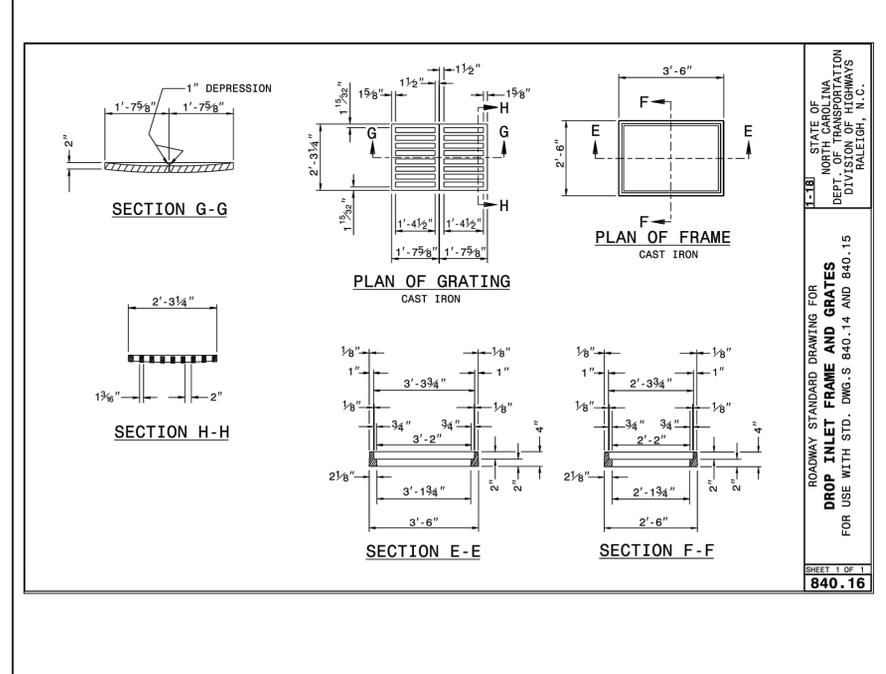
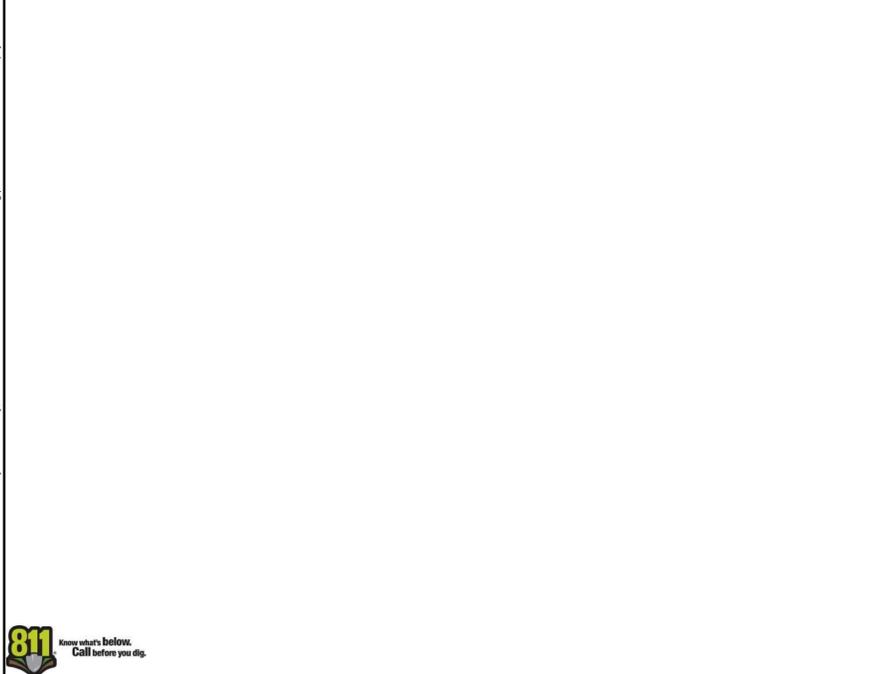
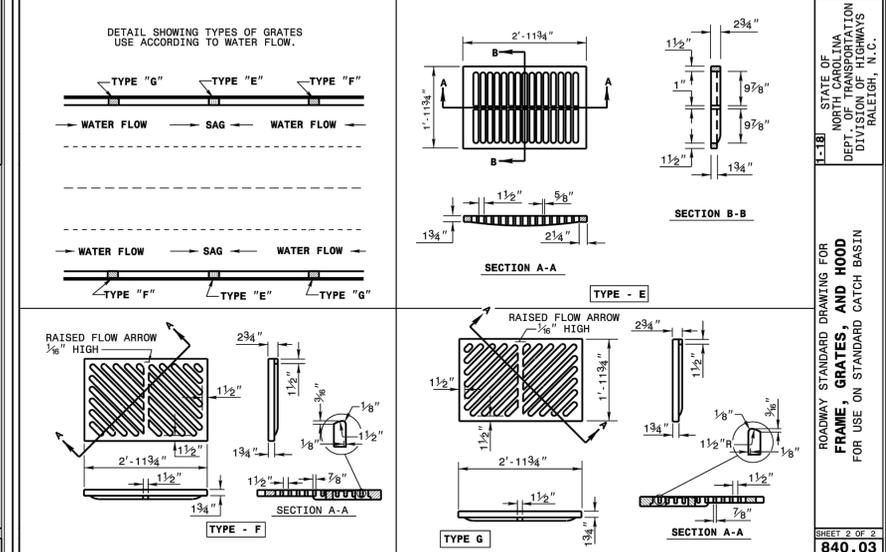
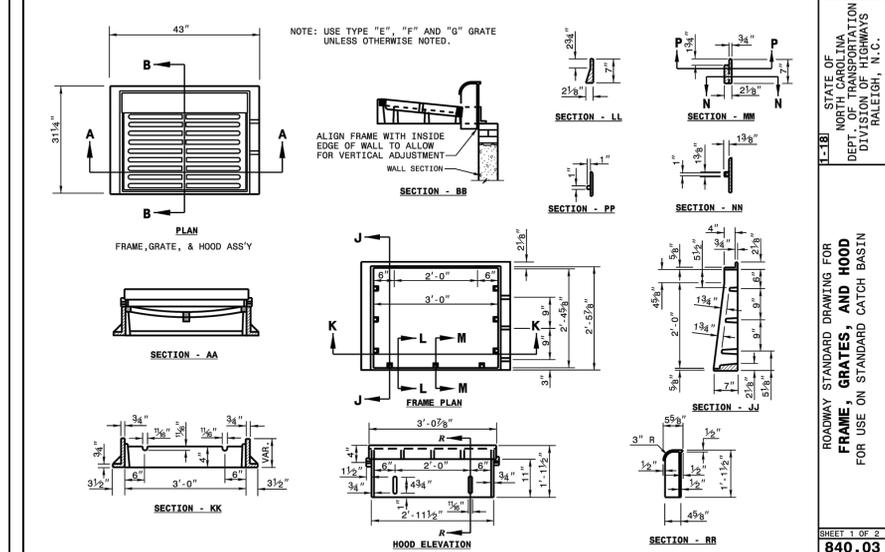
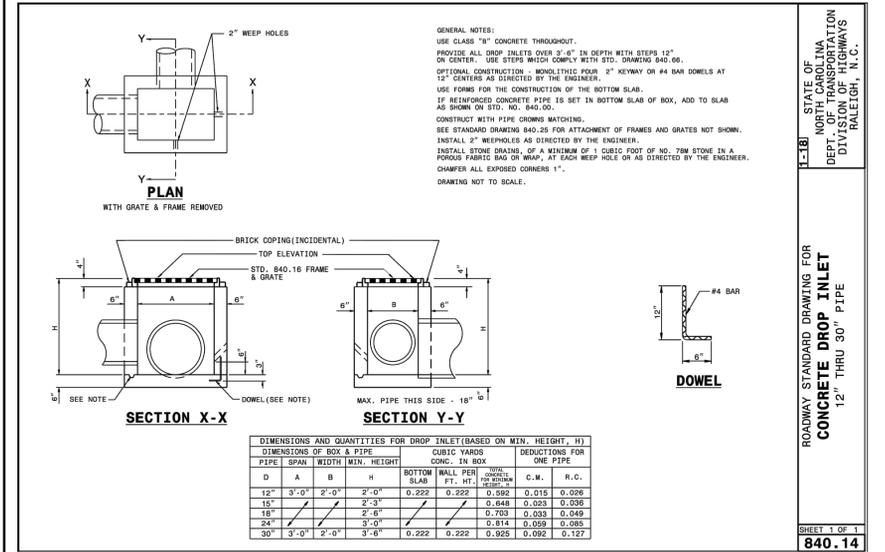
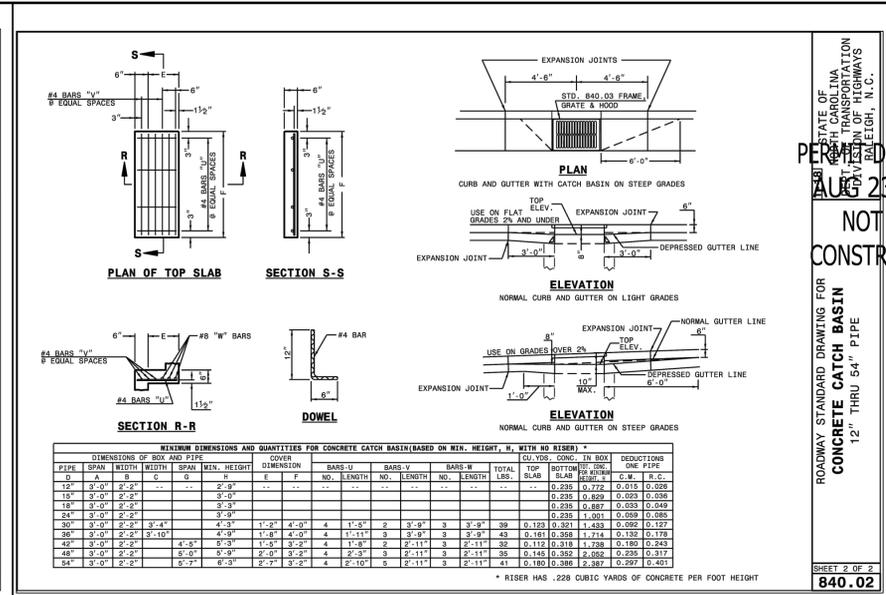
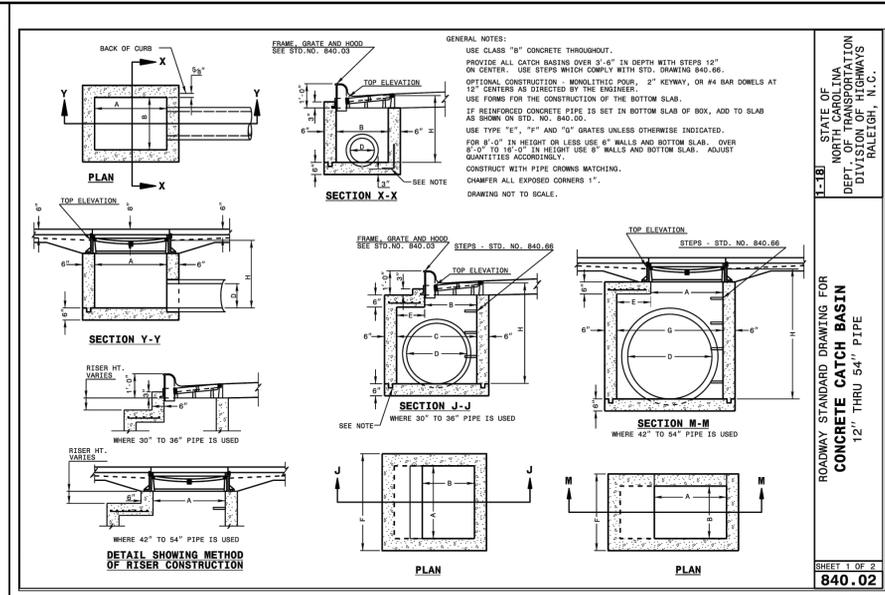
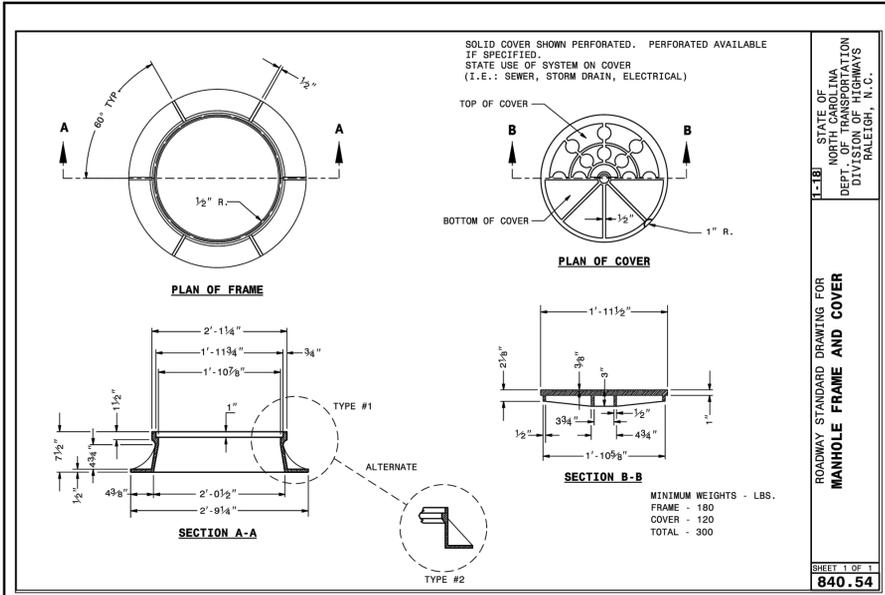
THE CONTROL MEASURES SHALL BEGIN PRIOR TO ANY LAND DISTURBING ACTIVITY INCLUDING CLEARING, SHALL CONTINUE DURING CONSTRUCTION AND SHALL CONTINUE UNTIL THE NECESSARY MAINTENANCE UNTIL THE DISTURBED LAND IS STABILIZED. COMPLIANCE WITH LOCAL AND/OR STATE SOIL EROSION AND SEDIMENTATION CONTROL LAWS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR. THIS PARAGRAPH IS INTENDED TO SERVE ONLY AS A GUIDE TO THE CONTRACTOR FOR COMPLIANCE WITH SUCH LAWS, ORDERS, RULES AND REGULATIONS CONCERNING EROSION AND SEDIMENTATION CONTROL PROTECTION OF EXISTING STRUCTURES AND FACILITIES FROM SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO, CATCH BASINS, NATURAL WATERWAYS, DRAINAGE DITCHES, WALKS, DRIVES, ROADS, LAWNS, AND STREAMS.

**CONSTRUCTION SEQUENCING**

- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS. (SEE DETAIL)
- INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS AND ALL SILT FENCE TO PREVENT OFF SITE SEDIMENTATION AND TO PROTECT INFILTRATION BASIN AREA.
- INSTALL UTILITIES AND STORMWATER DRAINAGE AND GRADE SITE.
- INSTALL THE REMAINING SEDIMENT AND EROSION CONTROL PROTECTION.
- INSTALL THE STONE BASE, CURB AND GUTTER AND ASPHALT FOR THE PROPOSED PARKING.
- CONSTRUCT INFILTRATION BASIN.
- PROVIDE GROUND COVER IN ACCORDANCE WITH DETAIL MARKED 'EROSION CONTROL MEASURES', THIS SHEET.
- MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
- ONCE VEGETATION IS ESTABLISHED, REMOVE ANY REMAINING CONTROL DEVICES.







PERMITS DRAWINGS  
AUG 23, 2023  
NOT FOR CONSTRUCTION

ROADWAY STANDARD DRAWING FOR  
CONCRETE CATCH BASIN  
12" THRU 54" PIPE

SHEET 2 OF 2  
840.02

ROADWAY STANDARD DRAWING FOR  
FRAME, GRATES, AND HOOD  
FOR USE ON STANDARD CATCH BASIN

SHEET 2 OF 2  
840.03

ROADWAY STANDARD DRAWING FOR  
DROP INLET FRAME AND GRATES  
FOR USE WITH STD. DNG. S 840.14 AND 840.15

SHEET 1 OF 1  
840.16

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.392.0574 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
DOLLAR TREE CARATOKE HWY  
POPULAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING AND DRAINAGE DETAILS

DATE: 08/23/2023  
DRAWN BY: BCD  
DESIGNED BY: KDH  
CHECKED BY: KDH  
SCALE: N/A

JOB NO.: 59040  
SHEET NO.: C4.1

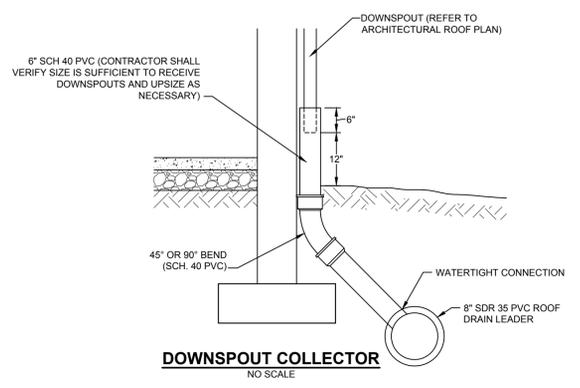
REVISION DESCRIPTION



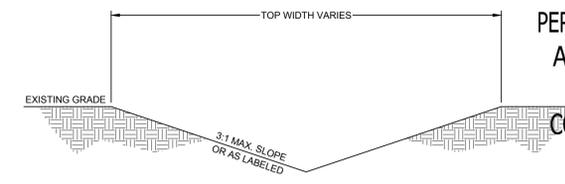
These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



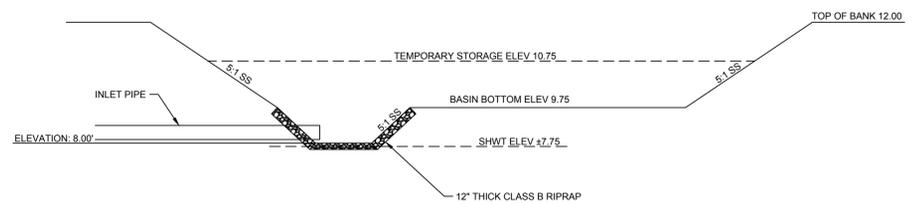
PERMIT DRAWINGS  
AUG 23, 2023  
NOT FOR  
CONSTRUCTION



**DOWNSPOUT COLLECTOR**  
NO SCALE



**TYPICAL DITCH/SWALE**  
NO SCALE



**INFILTRATION BASIN CROSS SECTION**  
NO SCALE

THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.661.5000 FAX 252.662.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
08/23/2023  
DRAWN BY  
BCD  
DESIGNED BY  
KDH  
CHECKED BY  
KDH  
SCALE  
N/A

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
DOLLAR TREE CARATOKE HWY  
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
GRADING AND DRAINAGE DETAILS

JOB NO.  
59040  
SHEET NO.  
C4.2



These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

**SITE DATA:**

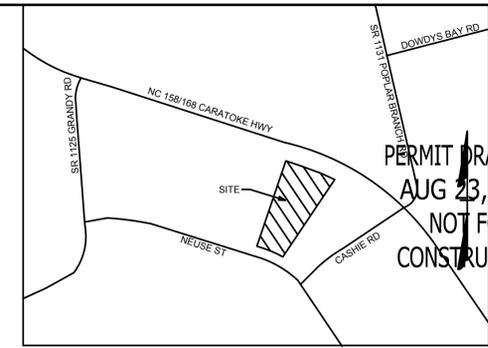
- OWNER:**  
JASON ROADCAP  
631 FERWOOD FARMS ROAD  
CHESAPEAKE, VA 23320
- DEVELOPER:**  
CEDAR RUN CAPITAL, LLC  
2405-F NASH ST. NW  
WILSON, NC 27895  
BARNES BOYKIN, MEMBER  
(252) 230-0632  
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:**  
PIN: 0094000122E0000  
9922-01-0514  
D.B. 19, PG. 120  
ZONING: GB (GENERAL BUSINESS)  
PARCEL AREA: 1.85 AC  
SITE AREA: 1.85 AC  
SITE ADDRESS: 6440 CARATOKE HWY  
CURRITUCK, NC 27939
- BUILDING SETBACKS:**  
MAJOR ARTERIAL: 30'  
SIDE: 15'  
CORNER: 20'  
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:**  
10,062 SF @ 1/300 SF = 34 SPACES  
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:**  
PROPOSED:  
BUILDING (ROOF): 10,062 SF (12.44%)  
PARKING/DRIVE: 26,265 SF (32.46%)  
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)  
EQUIPMENT PADS: 510 SF (0.63%)  
OPEN SPACE: 41,979 SF (51.88%)  
TOTAL: 80,913 SF (100.00%)  
OFFSITE: 1,616 SF

**7. LANDSCAPE REQUIREMENTS:**

- SITE LANDSCAPING:**  
2 ACI OF CANOPY TREE PER ACRE  
1 TREE WITHIN 60' OF EACH PARKING SPACE  
1 SHRUB PER 5' OF BUILDING FACADE  
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI  
38 SHRUBS
- PARKING PERIMETER:**  
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER  
PROVIDED: 65 SHRUBS
- STREETSCAPE:**  
BASED ON 246 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT  
RW: 246 LF - 36 LF = 210 LF  
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS  
PER 100 LF OF STREET FRONTAGE  
REQUIRED: 17 ACI CANOPY TREES  
21 SHRUBS  
PROVIDED: 6 CANOPY TREES @ 3 ACI EACH = 17 ACI  
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI  
21 SHRUBS
- ALL UTILITY CONNECTIONS SHALL CONFORM TO CURRITUCK COUNTY STANDARDS AND SHALL BE COORDINATED WITH THE CURRITUCK COUNTY PUBLIC WORKS DEPARTMENT.
  - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF STOP WORK ORDER.
  - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
  - DISTURBED AREA SHALL NOT EXCEED 2.08 ACRES.
  - ALL STORAGE BINS, TRASH RECEPTACLES AND RECYCLE CONTAINERS SHALL BE SCREENED.
  - TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.

**LANDSCAPE LEGEND**

PLANT NAME	SIZE	QTY
NORWAY MAPLE ACER PLATANOIDES	3" CALIPER @ 8' MIN. HEIGHT	6
EASTERN RED CEDAR JUNIPERUS VIRGINIANA	2" CALIPER @ 8' MIN. HEIGHT	5
SHADBUSH SERVICEBERRY PERSEA BORBONIA	1.5" CALIPER @ 8' MIN. HEIGHT	7
DWARF COASTAL AZALEA RHODODENDRON ATLANTICUM	3 GALLON	65
WINTERGREEN BARBERRY BERBERIS JULIANAE	3 GALLON	18
DWARF YAUPON HOLLY ILEX VOMITORIA NANA	3 GALLON	38



**VICINITY MAP**  
NO SCALE

**PERMIT DRAWINGS**  
AUG 23, 2023  
**NOT FOR CONSTRUCTION**

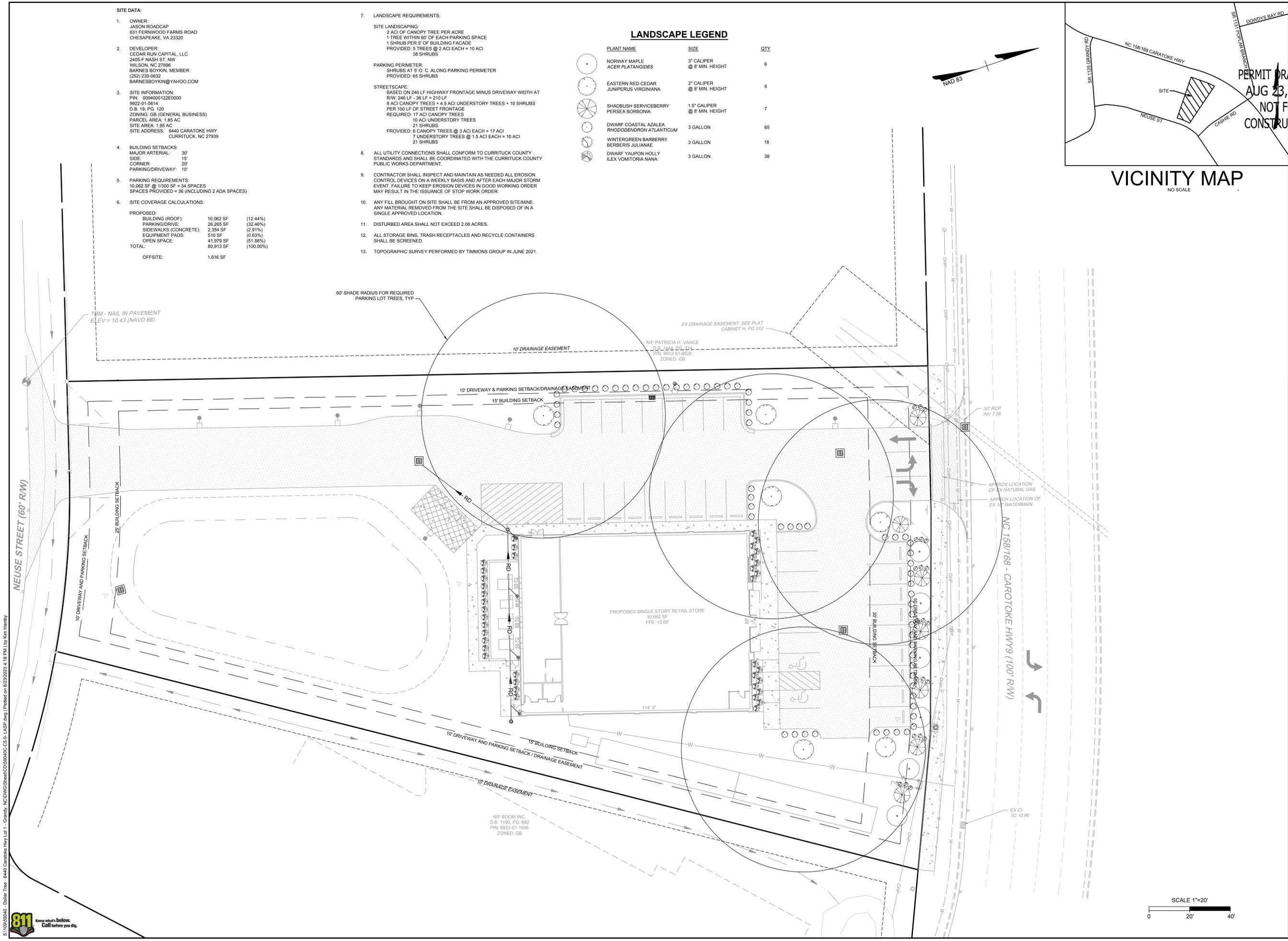
THIS DRAWING PREPARED AT THE  
**ELIZABETH CITY OFFICE**  
1805 West City Drive, Unit E | Elizabeth City, NC 27909  
TEL 252.621.3030 FAX 252.592.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
08/23/2023  
DRAWN BY  
BCD  
DESIGNED BY  
KDH  
CHECKED BY  
KDH  
SCALE  
1" = 20'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
DOLLAR TREE CARATOKE HWY  
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA  
LANDSCAPE PLAN

JOB NO.  
59040  
SHEET NO.  
C5.0



SCALE 1"=20'  
0 20' 40'



These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



AGREEMENT FOR PURCHASE AND SALE OF LAND

THIS AGREEMENT, including any and all addenda attached hereto ("Agreement"), is by and between

Cedar Run Capital, LLC
a(n) NC LLC ("Buyer"), and
(individual or State of formation and type of entity)

Jason R. Roadcap
a(n) individual ("Seller").
(individual or State of formation and type of entity)

(NOTE: If the Buyer or Seller is an entity, in order to form a binding agreement and complete a transaction, the entities listed as Buyer or Seller in this Agreement should be validly formed and in good standing with the Secretary of State in the State of formation of the entity.)

FOR AND IN CONSIDERATION OF THE MUTUAL PROMISES SET FORTH HEREIN AND OTHER GOOD AND VALUABLE CONSIDERATION, THE RECEIPT AND SUFFICIENCY OF WHICH ARE HEREBY ACKNOWLEDGED, THE PARTIES HERETO AGREE AS FOLLOWS:

Section 1. Terms and Definitions: The terms listed below shall have the respective meaning given them as set forth adjacent to each term.

(a) "Property": (Address) 6440 Caratoke Highway, Grandy, NC 27939

Plat Reference: Lot(s) 1, Block or Section H, as shown on Plat Book or Slide H at Page(s) 312, Currituck County, consisting of 1.85 acres.

If this box is checked, "Property" shall mean that property described on Exhibit A attached hereto and incorporated herewith by reference,

(For information purposes: (i) the tax parcel number of the Property is: 0094000122E0000; and, (ii) some or all of the Property, consisting of approximately 1.85 acres, is described in Deed Book 1364, Page No. 597, Currituck County.)

together with all buildings and improvements thereon and all fixtures and appurtenances thereto.

\$ (b) "Purchase Price" shall mean the sum of Dollars,

or, if this box is checked, Purchase Price shall mean the sum of \$ per gross acre ("Price Per Acre") as determined by a survey obtained by Buyer prior to the expiration of the Examination Period ("Survey"). Buyer shall provide a copy of the Survey to Seller not later than the expiration of the Examination Period. The purchase price shall be determined by multiplying the Price Per Acre by the number of gross acres as determined by the Survey. Adjustments to the amounts due under Sections 1(b)(ii) - 1(b)(iii) shall be made, as applicable, to reflect any adjustment in the Purchase Price in accordance with this provision. The Purchase Price shall be payable on the following terms:

\$ (i) "Earnest Money" shall mean Five Thousand Dollars or terms as follows:

The Earnest Money shall be deposited in escrow with

This form jointly approved by: North Carolina Bar Association's Real Property Section North Carolina Association of REALTORS®, Inc

STANDARD FORM 580L-T Revised 7/2022 © 7/2022

Buyer Initials Seller Initials

Rich Company Trust Account (name of person/entity with whom deposited- "Escrow Agent") within five (5) calendar days of the Contract Date, to be applied as part payment of the Purchase Price of the Property at Closing, or disbursed as agreed upon under the provisions of Section 10 herein. Should Buyer fail to deliver the Earnest Money by the date required hereunder, or should any check or other funds paid by Buyer be dishonored, for any reason, by the institution upon which the payment is drawn, Buyer shall have one (1) banking day after written notice of such dishonor to deliver cash, official bank check, wire transfer or electronic transfer to the Escrow Agent. If Buyer fails to deliver the required funds within one (1) banking day after written notice, then Seller may terminate this Agreement by written notice to Buyer at any time thereafter, provided Seller has not then received acknowledgement by Escrow Agent of its receipt of funds from Buyer. If the Escrow Agent has not delivered to the Seller the acknowledgement of Earnest Money on the last page of this Agreement by the calendar day following the date the Earnest Money is required to be delivered hereunder, it shall be presumed that the Earnest Money was not delivered by the required time (unless, upon the written request of Seller, Escrow Agent can provide proof of its receipt of the Earnest Money by the required time). Buyer and Seller consent to the disclosure by the Escrow Agent, to the parties to this Agreement, the Broker(s) and any Buyer lender, of any material facts pertaining to the Earnest Money.

ANY EARNEST MONEY DEPOSITED BY BUYER IN A TRUST ACCOUNT MAY BE PLACED IN AN INTEREST BEARING TRUST ACCOUNT, AND: (check only ONE box)

ANY INTEREST EARNED THEREON SHALL BE APPLIED AS PART PAYMENT OF THE PURCHASE PRICE OF THE PROPERTY AT CLOSING, OR DISBURSED AS AGREED UPON UNDER THE PROVISIONS OF SECTION 10 HEREIN. (Buyer's Taxpayer Identification Number is: \_\_\_\_\_)

ANY INTEREST EARNED THEREON SHALL BELONG TO THE ACCOUNT HOLDER IN CONSIDERATION OF THE EXPENSES INCURRED BY MAINTAINING SUCH ACCOUNT AND RECORDS ASSOCIATED THEREWITH.

\$ \_\_\_\_\_ (ii) **Delivery of a promissory note** secured by a deed of trust, said promissory note in the amount of \_\_\_\_\_ Dollars being payable over a term of \_\_\_\_\_ years, with an amortization period of \_\_\_\_\_ years, payable in monthly installments of principal, together with accrued interest on the outstanding principal balance at the rate of \_\_\_\_\_ percent ( \_\_\_\_\_ %) per annum in the amount of \$ \_\_\_\_\_, with the first principal payment beginning on the first day of the month next succeeding the date of Closing, or such other terms as may be set forth on **Exhibit B**. At any time, the promissory note may be prepaid in whole or in part without penalty and without further interest on the amounts prepaid from the date of such prepayment. (NOTE: In the event of Buyer's subsequent default upon a promissory note and deed of trust given hereunder, Seller's remedies may be limited to foreclosure of the Property. If the deed of trust given hereunder is subordinated to senior financing, the material terms of such financing must be set forth on Exhibit B. If such senior financing is subsequently foreclosed, the Seller may have no remedy to recover under the note.)

\$ \_\_\_\_\_ (iii) **Cash, balance of Purchase Price**, at Closing in the amount of \_\_\_\_\_

Buyer, at Buyer's expense, shall be entitled to pursue qualification for and approval of any loan Buyer intends to obtain in connection with the transaction contemplated by this Agreement. (Note: Buyer's obligations under this Agreement are not conditioned upon obtaining or closing any loan. Therefore, Buyer is advised to consult with Buyer's lender prior to signing this offer to assure that the Examination Period allows sufficient time for Buyer's lender to provide Buyer sufficient information to decide whether to proceed with or terminate the transaction.)

(c) "**Closing**" shall mean the date of completion of the process detailed in Section 11 of this Agreement. Closing shall occur on or before \_\_\_\_\_ or **Within thirty (30) days of the Expiration of the Examination Period**

Buyer Initials CT Seller Initials JRR  Page 2 of 9

STANDARD FORM 580L-T  
Revised 7/2022  
© 7/2022

- (d) **"Contract Date"** means the date this Agreement has been fully executed by both Buyer and Seller.
- (e) **"Examination Period"** shall mean the period beginning on the first day after the Contract Date and extending through 5:00pm (based upon time at the locale of the Property) on One Hundred Thirty - Five (135) days after contract date.  
**TIME IS OF THE ESSENCE AS TO THE EXAMINATION PERIOD.**

(f) **"Broker(s)"** shall mean:  
Sun Realty of Nags Head/Harbin ("Listing Agency"),  
Suzie Sullivan Rainwater ("Listing Agent" - License # 188897)  
 Acting as:  Seller's Agent;  Dual Agent  
 and Rich Company ("Selling Agency"),  
Alexander Rich ("Selling Agent" - License # 261159)  
 Acting as:  Buyer's Agent;  Seller's (Sub) Agent;  Dual Agent

(g) **"Seller's Notice Address"** shall be as follows:  
631 Fernwood Farms Road  
Chesapeake VA 23320  
 e-mail address: \_\_\_\_\_ fax number: \_\_\_\_\_  
 except as same may be changed pursuant to Section 12.

(h) **"Buyer's Notice Address"** shall be as follows:  
2405 W Nash Street, Suite F  
Wilson NC 27896 252-399-1964  
 e-mail address: \_\_\_\_\_ fax number: \_\_\_\_\_  
 except as same may be changed pursuant to Section 12.

- (i) If this block is marked, additional terms of this Agreement are set forth on Exhibit B attached hereto and incorporated herein by reference. **(Note: Under North Carolina law, real estate agents are not permitted to draft conditions or contingencies to this Agreement.)**
- (j) If this block is marked, additional terms of this Agreement are set forth on the Additional Provisions Addendum (Form 581-T) attached hereto and incorporated herein by reference.
- (k) If this block is marked, additional terms of this Agreement are set forth on the Back Up Agreement Addendum (Form 581A-T) attached hereto and incorporated herein by reference.

**Section 2. Sale of Property and Payment of Purchase Price:** Seller agrees to sell and Buyer agrees to buy the Property for the Purchase Price.

**Section 3. Proration of Expenses and Payment of Costs:** Seller and Buyer agree that all property taxes (on a calendar year basis), leases, rents, mortgage payments and utilities or any other assumed liabilities as detailed on attached **Exhibit B, and/or Exhibit C, as applicable**, if any, shall be prorated as of the date of Closing. Seller shall pay for preparation of a deed and all other documents necessary to perform Seller's obligations under this Agreement, excise tax (revenue stamps), and other conveyance fees or taxes required by law, any fees required for confirming Seller's account payment information on owners' association dues or assessments for payment or proration; any fees imposed by an owners' association and/or a management company as agent of the owners' association in connection with the transaction contemplated by this Agreement other than those fees required to be paid by Buyer in this Section 3 below, and the following:

\_\_\_\_\_  
 Buyer shall pay recording costs, costs of any title search, title insurance, survey, the cost of any inspections or investigations undertaken by Buyer under this Agreement, charges required by an owners' association declaration to be paid by Buyer for Buyer's future use and enjoyment of the Property, including, without limitation, working capital contributions, membership fees, or charges for Buyer's use of the common elements and/or services provided to Buyer, any costs or charges for determining restrictive covenant compliance, and the following:  
N/A

Each party shall pay its own attorney's fees.

Buyer Initials CT Seller Initials JRR  age 3 of 9

**STANDARD FORM 580L-T**  
**Revised 7/2022**  
**© 7/2022**

Deferred/Rollback Taxes: Buyer  intends to continue  does not intend to continue the existing present use valuation property tax deferral(s) relating to the Property. In the event the Buyer intends to continue the existing present use valuation property tax deferral(s) relating to the Property, Buyer shall be responsible for making all necessary applications for continuation of the existing present use valuation property tax deferral(s) relating to the Property and shall be responsible for payment of any deferred/rollback taxes applicable to the Property.

If Buyer does not intend to continue the existing present use valuation property tax deferral(s) relating to the Property,  Seller  Buyer shall be responsible for payment of any deferred/rollback taxes applicable to the Property

**Section 4. Deliveries:** Seller agrees to use best efforts to deliver to Buyer, as soon as reasonably possible after the Contract Date, copies of all material information relevant to the Property in the possession of Seller, including but not limited to: information regarding matters detailed on Form 502- Land Information Worksheet, title insurance policies (and copies of any documents referenced therein), surveys, soil test reports, environmental surveys or reports, site plans, civil drawings, building plans, maintenance records and copies of all presently effective warranties or service contracts related to the Property. Seller authorizes (1) any attorney presently or previously representing Seller to release and disclose any title insurance policy in such attorney's file to Buyer and both Buyer's and Seller's agents and attorneys; and (2) the Property's title insurer or its agent to release and disclose all materials in the Property's title insurer's (or title insurer's agent's) file to Buyer and both Buyer's and Seller's agents and attorneys. If Buyer does not consummate the Closing for any reason other than Seller default, then Buyer shall return to Seller all hard copy materials delivered by Seller to Buyer pursuant to this Section 4 (or Section 7, if applicable), if any, and shall, upon Seller's request, following release of the Earnest Money, provide to Seller copies of (subject to the ownership and copyright interests of the preparer thereof) any and all studies, reports, surveys and other information relating directly to the Property prepared by or at the request of Buyer, its employees and agents, without any warranty or representation by Buyer as to the contents, accuracy or correctness thereof. Notwithstanding the above provisions regarding delivery and return of information and documentation, should there exist a separate non-disclosure, confidentiality, or similar agreement between Buyer and Seller, the terms of which conflict with this provision insofar as delivery and return of information and documentation, then the terms of such non-disclosure, confidentiality, or similar agreement shall control as to the delivery and return of information and documentation.

**Section 5. Evidence of Title:** Seller agrees to convey fee simple insurable title to the Property without exception for mechanics' liens, free and clear of all liens, encumbrances and defects of title other than: (a) zoning ordinances affecting the Property, (b) Leases (as defined in Section 7, if applicable) and (c) specific instruments on the public record at the Contract Date agreed to by Buyer (not objected to by Buyer prior to the end of the Examination Period), which specific instruments shall be enumerated in the deed referenced in Section 11 (items 5(a), 5(b) and 5(c) being collectively "Permitted Exceptions"); provided that Seller shall be required to satisfy, at or prior to Closing, any encumbrances that may be satisfied by the payment of a fixed sum of money, such as deeds of trust, mortgages or statutory liens. Seller shall not enter into or record any instrument that affects the Property after the Contract Date without the prior written consent of Buyer, which consent shall not be unreasonably withheld, conditioned or delayed.

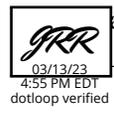
**Section 6. Conditions:** This Agreement and the rights and obligations of the parties under this Agreement are hereby made expressly conditioned upon fulfillment (or waiver by Buyer, whether explicit or implied) of the following conditions:

(a) **Title Examination:** After the Contract Date, Buyer shall, at Buyer's expense, cause a title examination to be made of the Property before the end of the Examination Period. In the event that such title examination shall show that Seller's title is not fee simple insurable, subject only to Permitted Exceptions, then Buyer shall promptly notify Seller in writing of all such title defects and exceptions, in no case later than the end of the Examination Period, and Seller shall have thirty (30) days to cure said noticed defects. If Seller does not cure the defects or objections within thirty (30) days of notice thereof, then Buyer may terminate this Agreement and receive a return of Earnest Money (notwithstanding that the Examination Period may have expired). If Buyer is to purchase title insurance, the insuring company must be licensed to do business in the state in which the Property is located. Title to the Property must be insurable at regular rates, subject only to standard exceptions and Permitted Exceptions.

(b) **Same Condition:** If the Property is not in substantially the same condition at Closing as of the date of the offer, reasonable wear and tear excepted, then the Buyer may (i) terminate this Agreement and receive a return of the Earnest Money or (ii) proceed to Closing whereupon Buyer shall be entitled to receive, in addition to the Property, any of the Seller's insurance proceeds payable on account of the damage or destruction applicable to the Property.

Buyer Initials CT

Seller Initials JRR



(c) **Inspections:** Buyer, its agents or representatives, at Buyer's expense and at reasonable times during normal business hours, shall have the right to enter upon the Property for the purpose of investigating matters such as those detailed on Form 502-Land Information Worksheet, conducting timber cruises, and examining and surveying the Property; provided, however, that Buyer shall not conduct any invasive testing of any nature without the prior express written approval of Seller as to each specific invasive test intended to be conducted by Buyer. Buyer shall conduct all such on-site inspections, examinations, testing, timber cruises and surveying of the Property in a good and workmanlike manner, at Buyer's expense, shall repair any damage to the Property caused by Buyer's entry and on-site inspections and shall conduct same in a manner that does not unreasonably interfere with Seller's or any tenant's use and enjoyment of the Property. In that respect, Buyer shall make reasonable efforts to undertake on-site inspections outside of the hours Seller's or any tenant's business is open to the public. Buyer shall provide Seller or any tenant (as applicable) reasonable advance notice of and Buyer shall cause its agents or representatives and third party service providers (e.g. inspectors, surveyors, etc.) to give reasonable advance notice of any entry onto the Property. Buyer shall be obligated to observe and comply with any terms of any tenant lease which conditions access to such tenant's space at the Property. Upon Seller's request, Buyer shall provide to Seller evidence of general liability insurance. Buyer shall also have a right to review and inspect all contracts or other agreements affecting or related directly to the Property and shall be entitled to review such books and records of Seller that relate directly to the operation and maintenance of the Property, provided, however, that Buyer shall not disclose any information regarding this Property (or any tenant therein) unless required by law, and the same shall be regarded as confidential, to any person, except to its attorneys, accountants, lenders and other professional advisors, in which case Buyer shall obtain their agreement to maintain such confidentiality. Buyer assumes all responsibility for the acts of itself and its agents or representatives in exercising its rights under this Section 6(c) and agrees to indemnify and hold Seller harmless from any damages resulting therefrom. This indemnification obligation of Buyer shall survive the Closing or earlier termination of this Agreement. Except as provided in Section 6(a) above, Buyer shall have from the Contract Date through the end of the Examination Period to perform the above inspections, examinations and testing. **IF BUYER CHOOSES NOT TO PURCHASE THE PROPERTY, FOR ANY REASON OR NO REASON, AND PROVIDES WRITTEN NOTICE TO SELLER THEREOF PRIOR TO THE EXPIRATION OF THE EXAMINATION PERIOD, THEN THIS AGREEMENT SHALL TERMINATE, AND BUYER SHALL RECEIVE A RETURN OF THE EARNEST MONEY.**

**Section 7. Leases (Check one of the following, as applicable):**

If this box is checked, Seller affirmatively represents and warrants that there are no Leases (as hereinafter defined) affecting the Property.

If this box is checked, Seller discloses that there are one or more leases affecting the Property ("Leases") and the following provisions are hereby made a part of this Agreement.

(a) A list of all Leases shall be set forth on **Exhibit C**. Seller represents and warrants that as of the Contract Date, there are no other Leases, oral or written, recorded or not, nor any subleases affecting the Property, except as set forth on **Exhibit C**;

(b) Seller shall deliver copies of any Leases to Buyer pursuant to Section 3 as if the Leases were listed therein;

(c) Seller represents and warrants that, as of the Contract Date, there are no current defaults (or any existing situation which, with the passage of time, or the giving of notice, or both, or at the election of either landlord or tenant could constitute a default) either by Seller, as landlord, or by any tenant under any Lease ("Lease Default"). In the event there is any Lease Default as of the Contract Date, Seller agrees to provide Buyer with a detailed description of the situation in accordance with Section 3. Seller agrees not to commit a Lease Default as Landlord after the Contract Date; and agrees further to notify Buyer immediately in the event a Lease Default arises or is claimed, asserted or threatened to be asserted by either Seller or a tenant under the Lease.

(d) During the Examination Period, Buyer and Seller shall cooperate in good faith to determine if any Lease shall be terminated prior to Closing or shall continue after Closing. As to any Lease determined to continue after Closing, Seller shall deliver an assignment of Seller's interest in such Lease to Buyer in form and content acceptable to Buyer (with tenant's written consent and acknowledgement, if required under the Lease). Seller agrees to deliver such assignment of Lease at or before Closing, with any security deposits held by Seller under any Leases to be transferred or credited to Buyer at or before Closing. The assignment shall provide: (i) that Seller shall defend, indemnify and hold Buyer harmless from claims, losses, damages and liabilities (including, without limitation, court costs and attorneys' fees) asserted against or incurred by Buyer which are caused by or the result of any default by Seller under any Lease prior to the date of Closing, and (ii) that Buyer shall defend, indemnify and hold Seller harmless from claims, losses, damages and liabilities (including, without limitation, court costs and attorneys' fees) asserted against or incurred by Seller which are caused by or the result of any default by Buyer under any Lease after the date of Closing.

Buyer Initials CT Seller Initials JRR  Page 5 of 9

**STANDARD FORM 580L-T**  
**Revised 7/2022**  
**© 7/2022**

(e) Seller also agrees to work diligently to obtain any tenant signatures on any estoppel certificates in such form as Buyer may reasonably request and to work diligently to obtain any subordination, nondisturbance and attornment agreements in such form as Buyer may reasonably request.

**Section 8. Environmental/Physical Aspects of Property:** Seller represents and warrants that it has no actual knowledge of the presence or disposal, except as in accordance with applicable law, within any structures on the Property or on the Property of hazardous or toxic waste or substances, which are defined as those substances, materials, and wastes, including, but not limited to: those substances, materials and wastes listed in the United States Department of Transportation Hazardous Materials Table (49 CFR Part 172.101) or by the Environmental Protection Agency as hazardous substances (40 CFR Part 302.4) and amendments thereto, or such substances, materials and wastes, which are or become regulated under any applicable local, state or federal law, including, without limitation, any material, waste or substance which is (i) petroleum, (ii) asbestos, (iii) polychlorinated biphenyls, (iv) designated as a Hazardous Substance pursuant to Section 311 of the Clean Water Act of 1977 (33 U.S.C. §1321) or listed pursuant to Section 307 of the Clean Water Act of 1977 (33 U.S.C. §1317), (v) defined as a hazardous waste pursuant to Section 1004 of the Resource Conservation and Recovery Act of 1976 (42 U.S.C. §6903) or (vi) defined as a hazardous substance pursuant to Section 101 of the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (42 U.S.C. §9601). Seller has no actual knowledge of any contamination of the Property from such substances as may have been disposed of or stored on neighboring tracts.

**Section 9. Risk of Loss/Damage/Repair:** Until Closing, the risk of loss or damage to the Property, except as otherwise provided herein, shall be borne by Seller. Except as to maintaining the Property in its same condition, Seller shall have no responsibility for the repair of the Property, including any improvements, unless the parties hereto agree in writing.

**Section 10. Earnest Money Disbursement:** In the event that any condition hereto is not satisfied, then the Earnest Money shall be refunded to Buyer. In the event of breach of this Agreement by Seller, the Earnest Money shall be refunded to Buyer upon Buyer's request, but such return shall not affect any other remedies available to Buyer for such breach. In the event of breach of this Agreement by Buyer, the Earnest Money shall be paid to Seller as liquidated damages and as Seller's sole and exclusive remedy for such breach, but without limiting Seller's rights under Section 6(c) or Section 22 of this Agreement. It is acknowledged by the parties that payment of the Earnest Money to Seller in the event of a breach of this Agreement by Buyer is compensatory and not punitive, such amount being a reasonable estimation of the actual loss that Seller would incur as a result of such breach. The payment of the Earnest Money to Seller shall not constitute a penalty or forfeiture but actual compensation for Seller's anticipated loss, both parties acknowledging the difficulty determining Seller's actual damages for such breach.

NOTE: In the event of a dispute between Seller and Buyer over the disposition of the Earnest Money held in escrow, a licensed real estate broker is required by state law (and Escrow Agent, if not a broker, hereby agrees) to retain the Earnest Money in the Escrow Agent's trust or escrow account until Escrow Agent has obtained a written release from the parties consenting to its disposition or until disbursement is ordered by a court of competent jurisdiction. Alternatively, if a broker or an attorney licensed to practice law in North Carolina is holding the Earnest Money, the broker or attorney may deposit the disputed monies with the appropriate clerk of court in accordance with the provisions of N.C.G.S. §93A- 12.

Seller and Buyer hereby agree and acknowledge that the Escrow Agent assumes no liability in connection with the holding of the Earnest Money pursuant hereto except for negligence or willful misconduct of Escrow Agent. Escrow Agent shall not be responsible for the validity, correctness or genuineness of any document or notice referred to under this Agreement. Seller and Buyer hereby agree to indemnify, protect, save and hold harmless Escrow Agent and its successors, assigns and agents pursuant to this Agreement, from any and all liabilities, obligations, losses, damages, claims, actions, suits, costs or expenses (including attorney fees) of whatsoever kind or nature imposed on, incurred by or asserted against Escrow Agent which in any way relate to or arise out of the execution and delivery of this Agreement and any action taken hereunder; provided, however, that Seller and Buyer shall have no such obligation to indemnify, save and hold harmless Escrow Agent for any liability incurred by, imposed upon or established against it as a result of Escrow Agent's negligence or willful misconduct.

**Section 11. Closing:** At or before Closing, Seller shall deliver to Buyer a special warranty deed unless otherwise specified on **Exhibit B** and other documents customarily executed or delivered by a seller in similar transactions, including without limitation, an owner's affidavit, lien waiver forms (and such other lien related documentation as shall permit the Property to be conveyed free and clear of any claim for mechanics' liens) and a non-foreign status affidavit (pursuant to the Foreign Investment in Real Property Tax Act), and Buyer shall cause to be delivered the funds necessary to pay to Seller the Purchase Price. The Closing shall be conducted by Buyer's attorney or handled in such other manner as the parties hereto may mutually agree in writing. Possession shall be delivered at Closing, unless otherwise agreed herein. The Purchase Price and other funds to be disbursed pursuant to this Agreement shall not be disbursed until the Buyer's attorney's (or other designated settlement agent's) receipt of authorization to disburse all necessary funds.

**Section 12. Notices:** Unless otherwise provided herein, all notices and other communications which may be or are required to be given or made by any party to the other in connection herewith shall be in writing (which shall include electronic mail) and shall be deemed to have been properly given and received (i) on the date delivered in person or (ii) the date deposited in the United States mail,

Buyer Initials      Seller Initials      Page 6 of 9



**STANDARD FORM 580L-T**  
**Revised 7/2022**  
**© 7/2022**



company; (iv) the owners' association website address; (v) the Seller's statement of account; (vi) the master insurance policy showing the coverage provided and the deductible amount; (vii) copies of any Declaration and/or Restrictive Covenants; (viii) the Rules and Regulations, (ix) the Articles of Incorporation and Bylaws of the owners' association; (x) the current financial statement and budget of the owners' association; (xi) the parking restrictions and information; and (xii) the architectural guidelines. Seller authorizes and directs any owners' association, any management company of the owners' association, any insurance company and any attorney who has previously represented the Seller to release to Buyer, Buyer's agents, representative, closing attorney or lender true and accurate copies of the foregoing items affecting the Property, including any amendments thereto.

**Section 16. Survival of Representations and Warranties:** All representations, warranties, covenants and agreements made by the parties hereto shall survive the Closing and delivery of the deed. Seller shall, at or within six (6) months after the Closing, and without further consideration, execute, acknowledge and deliver to Buyer such other documents and instruments, and take such other action as Buyer may reasonably request or as may be necessary to more effectively transfer to Buyer the Property described herein in accordance with this Agreement.

**Section 17. Applicable Law:** This Agreement shall be construed under the laws of the state in which the Property is located. This form has only been approved for use in North Carolina.

**Section 18. Assignment:** This Agreement is freely assignable unless otherwise expressly provided on **Exhibit B**.

**Section 19. Tax-Deferred Exchange:** In the event Buyer or Seller desires to effect a tax-deferred exchange in connection with the conveyance of the Property, Buyer and Seller agree to cooperate in effecting such exchange; provided, however, that the exchanging party shall be responsible for all additional costs associated with such exchange, and provided further, that a non-exchanging party shall not assume any additional liability with respect to such tax-deferred exchange. Seller and Buyer shall execute such additional documents, at no cost to the non-exchanging party, as shall be required to give effect to this provision.

**Section 20. Memorandum of Contract:** Upon request by either party, the parties hereto shall execute a memorandum of contract in recordable form setting forth such provisions hereof (other than the Purchase Price and other sums due) as either party may wish to incorporate. Such memorandum of contract shall contain a statement that it automatically terminates and the Property is released from any effect thereby as of a specific date to be stated in the memorandum (which specific date shall be no later than the date of Closing). The cost of recording such memorandum of contract shall be borne by the party requesting execution of same.

**Section 21. Authority:** Each signatory to this Agreement represents and warrants that he or she has full authority to sign this Agreement and such instruments as may be necessary to effectuate any transaction contemplated by this Agreement on behalf of the party for whom he or she signs and that his or her signature binds such party.

**Section 22. Brokers:** Except as expressly provided herein, Buyer and Seller agree to indemnify and hold each other harmless from any and all claims of brokers, consultants or real estate agents by, through or under the indemnifying party for fees or commissions arising out of the sale of the Property to Buyer. Buyer and Seller represent and warrant to each other that: (i) except as to the Brokers designated under Section 1(f) of this Agreement, they have not employed nor engaged any brokers, consultants or real estate agents to be involved in this transaction and (ii) that the compensation of the Brokers is established by and shall be governed by separate agreements entered into as amongst the Brokers, the Buyer and/or the Seller.

**Section 23. Attorneys Fees:** If legal proceedings are instituted to enforce any provision of this Agreement, the prevailing party in the proceeding shall be entitled to recover from the non-prevailing party reasonable attorneys fees and court costs incurred in connection with the proceeding.

THE NORTH CAROLINA ASSOCIATION OF REALTORS®, INC. AND THE NORTH CAROLINA BAR ASSOCIATION MAKE NO REPRESENTATION AS TO THE LEGAL VALIDITY OR ADEQUACY OF ANY PROVISION OF THIS FORM IN ANY SPECIFIC TRANSACTION. IF YOU DO NOT UNDERSTAND THIS FORM OR FEEL THAT IT DOES NOT PROVIDE FOR YOUR LEGAL NEEDS, YOU SHOULD CONSULT A NORTH CAROLINA REAL ESTATE ATTORNEY BEFORE YOU SIGN IT.

Buyer Initials CT Seller Initials JRR 03/13/23  
4:55 PM EDT  
dotloop verified ge 8 of 9

**STANDARD FORM 580L-T**  
**Revised 7/2022**  
**© 7/2022**

**BUYER:**

**Individual**

N/A  
Date: \_\_\_\_\_

N/A  
Date: \_\_\_\_\_

**Business Entity**

Cedar Run Capital, LLC  
(Name of Entity)

By: Charles A. Thomas

Name: Charles Thomas

Title: Member

Date: 03 / 09 / 2023

**SELLER:**

**Individual**

Jason R. Roadcap  
dotloop verified  
03/13/23 4:55 PM EDT  
XYVQ-UUXP-F7UF-MQHT  
Jason R. Roadcap  
Date: \_\_\_\_\_

N/A  
Date: \_\_\_\_\_

**Business Entity**

N/A  
(Name of Entity)

By: \_\_\_\_\_

Name: N/A

Title: N/A

Date: \_\_\_\_\_

**WIRE FRAUD WARNING**

**To Buyers:** Before sending any wire, you should call the closing agent's office to verify the instructions. If you receive wiring instructions for a different bank, branch location, account name or account number, they should be presumed fraudulent. Do not send any funds and contact the closing agent's office immediately.

**To Sellers:** If your proceeds will be wired, it is recommended that you provide wiring instructions at closing in writing in the presence of the closing agent. If you are unable to attend closing, you may be required to send an original notarized directive to the closing agent's office containing the wiring instructions. This directive may be sent with the deed, lien waiver and tax forms if those documents are being prepared for you by the closing agent. At a minimum, you should call the closing agent's office to provide the wire instructions. The wire instructions should be verified over the telephone via a call to you initiated by the closing agent's office to ensure that they are not from a fraudulent source.

Whether you are a buyer or a seller, you should call the closing agent's office at a number that is independently obtained. To ensure that your contact is legitimate, you should not rely on a phone number in an email from the closing agent's office, your real estate agent or anyone else.

**The undersigned hereby acknowledges receipt of the Earnest Money set forth herein and agrees to hold said Earnest Money in accordance with the terms hereof.**

Rich Company Trust Account  
(Name of Escrow Agent)

Date: \_\_\_\_\_

By: \_\_\_\_\_

Escrow Agent's contact/notice information is as follows:

204 S Poindexter Street

Elizabeth City, NC 27909 mobile number 252-256-1279

e-mail address: alexanderbrich@gmail.com fax number: \_\_\_\_\_

except as same may be changed pursuant to Section 12.



# Major Site Plan Application

OFFICIAL USE ONLY:

Case Number: \_\_\_\_\_  
Date Filed: \_\_\_\_\_  
Gate Keeper: \_\_\_\_\_  
Amount Paid: \_\_\_\_\_

Contact Information

APPLICANT:

Name: Cedar Run Capital, LLC  
Address: 2405-F Nash St. NW  
Wilson, NC 27896  
Telephone: 252-230-0632  
E-Mail Address: barnesboykin@yahoo.com

PROPERTY OWNER:

Name: Jason Roadcap  
Address: 631 Fernwood Farms Rd  
Chesapeake, VA 23320  
Telephone: \_\_\_\_\_  
E-Mail Address: \_\_\_\_\_

LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER: had property under contract for purchase

Property Information

Physical Street Address: 6440 Caratoke Hwy., Currituck, NC 27939  
Location: \_\_\_\_\_  
Parcel Identification Number(s): 0094000122E0000  
Total Parcel(s) Acreage: 1.85  
Existing Land Use of Property: vacant

Request

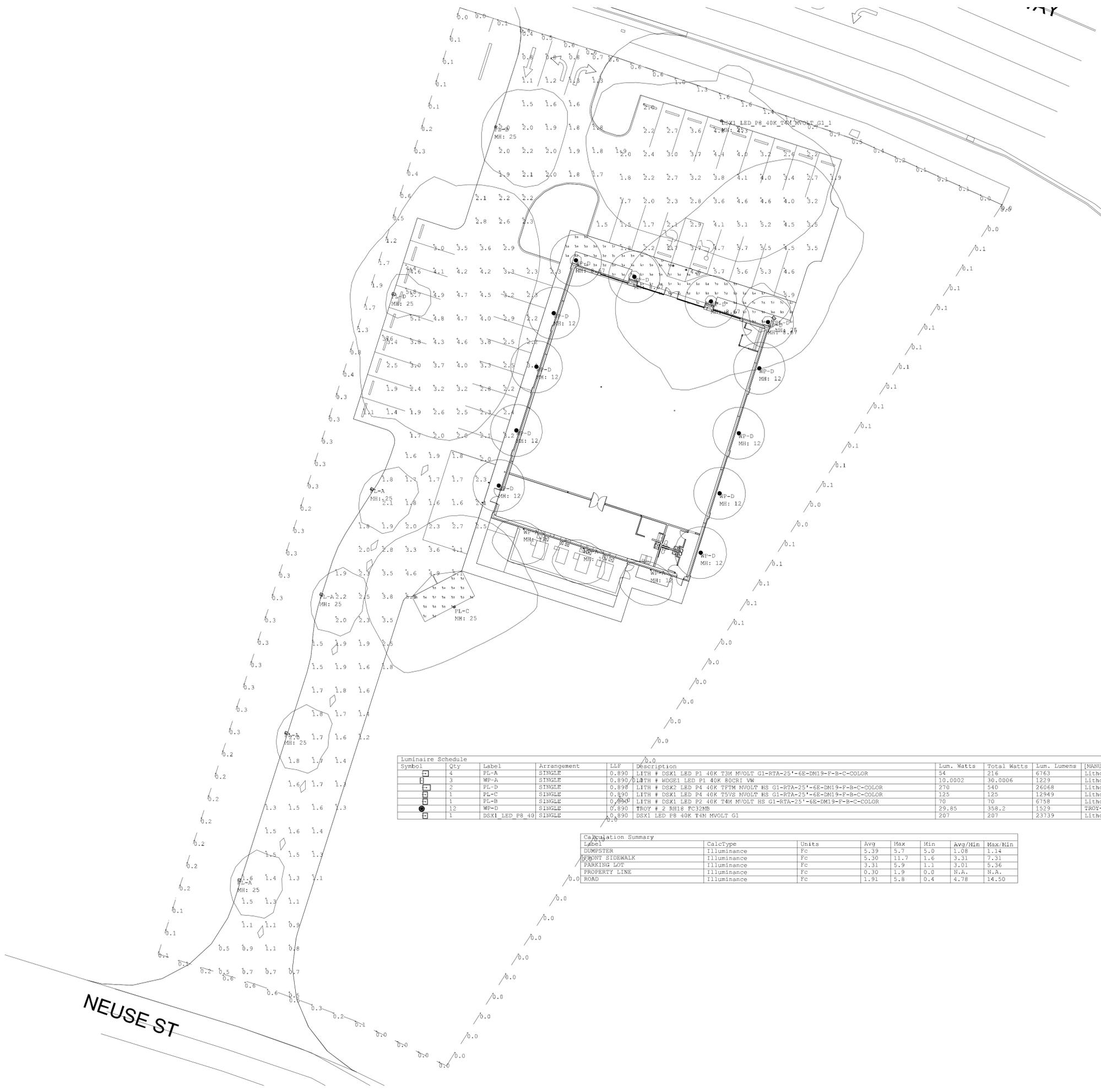
Project Name: Dollar Tree - Grandy  
Proposed Use of the Property: General Business  
Deed Book/Page Number and/or Plat Cabinet/Slide Number: DB 1364 Pg 597  
Total square footage of land disturbance activity: 93,574  
Total lot coverage: 39,191 Total vehicular use area: 26,265  
Existing gross floor area: 0 Proposed gross floor area: 10,062 sf

I hereby authorize county officials to enter my property for purposes of determining zoning compliance. All information submitted and required as part of this process shall become public record.

[Signature]  
Property Owner(s)/Applicant\*

7/24/23  
Date

**\*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.**



Symbol	Qty	Label	Arrangement	LF	Description	Lum. Watts	Total Watts	Lum. Lumens	[MANUFAC]
□	4	PL-A	SINGLE	0.890	LITH # DSX1 LED P1 40K T3M MVOLT G1-RTA-25'-6E-DM19-F-B-C-COLOR	54	216	6763	Lithonia Lighting
□	3	WP-A	SINGLE	0.890	LITH # WDG2 LED P1 40K 80CRI VM	10.0002	30.0006	1229	Lithonia Lighting
□	2	PL-D	SINGLE	0.890	LITH # DSX2 LED P4 40K TPTM MVOLT HS G1-RTA-25'-6E-DM19-F-B-C-COLOR	270	540	26068	Lithonia Lighting
□	1	PL-C	SINGLE	0.890	LITH # DSX1 LED P4 40K T5VS MVOLT HS G1-RTA-25'-6E-DM19-F-B-C-COLOR	125	125	12949	Lithonia Lighting
□	1	PL-B	SINGLE	0.890	LITH # DSX1 LED P2 40K T4M MVOLT HS G1-RTA-25'-6E-DM19-F-B-C-COLOR	70	70	6758	Lithonia Lighting
●	12	WP-D	SINGLE	0.890	TROY # 2 RH18 FC12MB	29.85	358.2	1529	TROY-SSL LIGHTING
□	1	DSX1 LED P8 40	SINGLE	0.890	DSX1 LED P8 40K T4M MVOLT G1	207	207	23739	Lithonia Lighting

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BUMPFSTER	Illuminance	Fc	5.39	5.7	5.0	1.08	1.14
FRONT SIDEWALK	Illuminance	Fc	5.30	11.7	1.6	3.31	7.31
PARKING LOT	Illuminance	Fc	3.31	5.9	1.1	3.01	5.36
PROPERTY LINE	Illuminance	Fc	0.30	1.9	0.0	N.A.	N.A.
ROAD	Illuminance	Fc	1.91	5.8	0.4	4.78	14.50



# HELT DESIGN

ARCHITECTURE INTERIORS

6405 W. WILKINSON  
BLVD, STE. 100  
BELMONT, NC 28012  
HELTDDESIGN.COM  
INFO@HELTDDESIGN.COM

**PROJECT NAME:**  
DOLLAR TREE  
'RURAL' VANILLA BOX  
FOR  
STOCKS & TAYLOR  
CONSTRUCTION, INC

**PROJECT NO:** 23086

**PROJECT ADDRESS:**  
NC HWY 158/168  
GRANDY, NC  
(CURRITUCK COUNTY)

**SEAL:**

**CORPORATE ENTITY:**  
C.L. HELT, ARCHITECT, INC. A NORTH CAROLINA  
PROFESSIONAL CORPORATION DBA HELT  
DESIGN

**COPYRIGHT:**  
THIS DRAWING AND ITS COPIES ARE THE  
ARCHITECT'S INSTRUMENTS OF SERVICE. THEY  
RETAIN ALL COMMON LAW AND STATUTORY  
RIGHTS, INCLUDING COPYRIGHT. THEY SHALL  
NOT BE USED OR COPIED FOR ANY PROJECT  
OTHER THAN THE ONE TITLED HERE IN.

**DRAWING RELEASE:**

NO.	DATE	DESCRIPTION

**DRAWN BY:**      **CHECKED BY:**  
----                      ----

**DATE:** 08/24/23

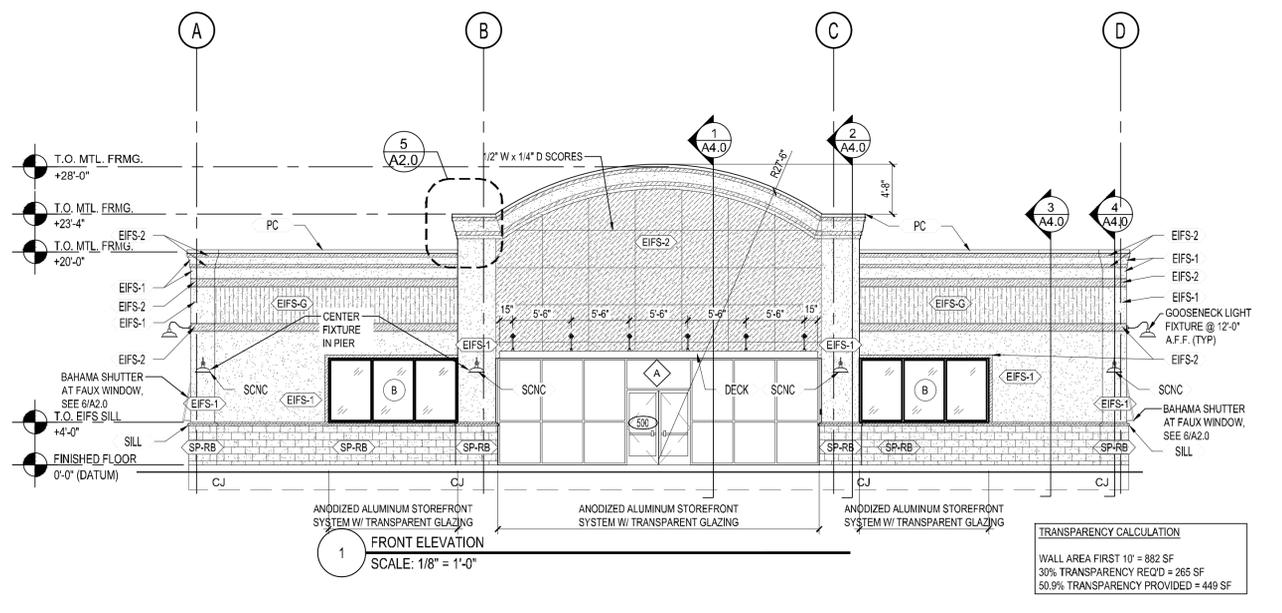
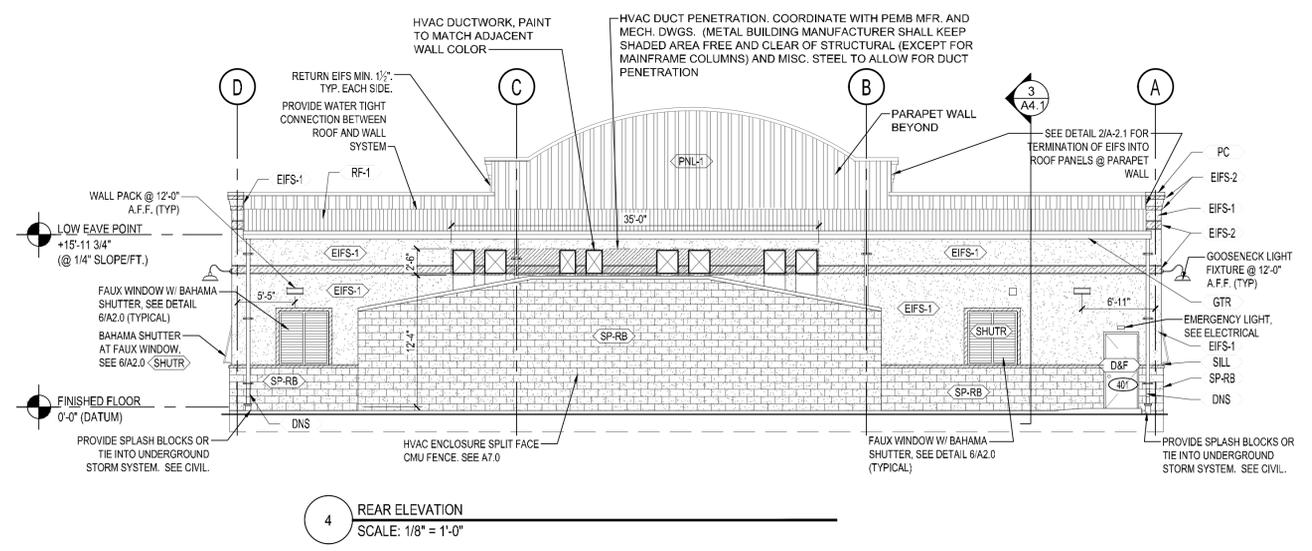
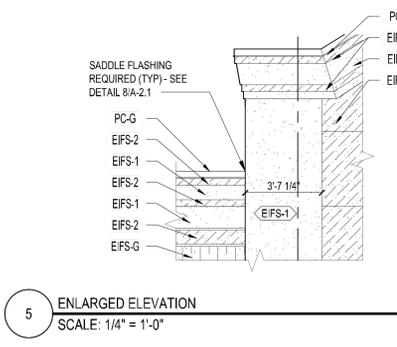
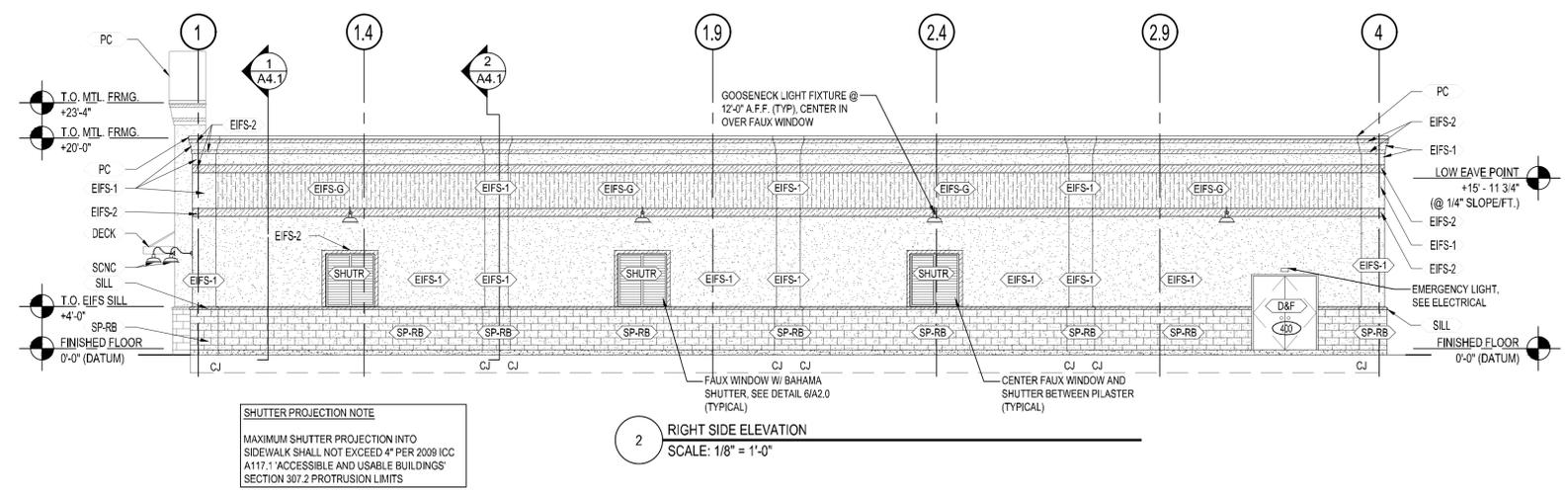
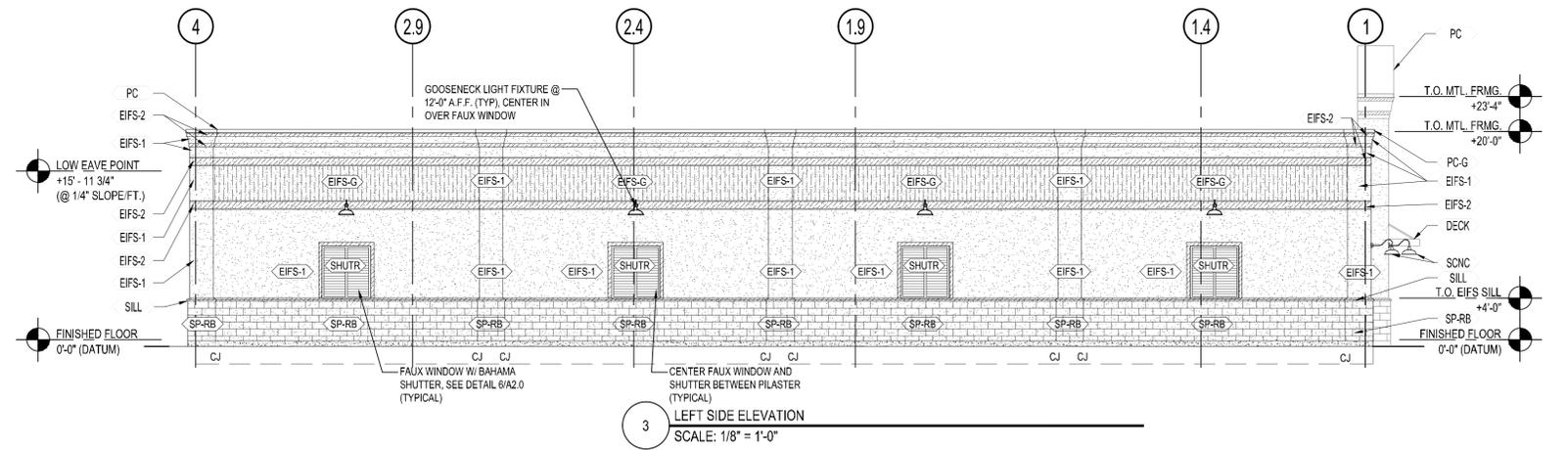
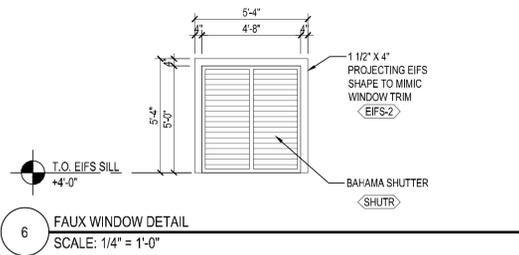
**SHEET TITLE:**  
PROPOSED  
SITE LIGHTING

**SHEET NUMBER:**

NEUSE ST

# ELEVATION LEGEND

KEYNOTE	HATCH	DESCRIPTION	COLOR
SP-RB	[Hatch]	SPLIT FACED CMU VENEER - RUNNING BOND	SHERWIN WILLIAMS - 'VIRTUAL TAUPE' - SW7039
EIFS-1	[Hatch]	EIFS - COLOR 1 (FINISH - PRODUCT STO 310)	STO 'SANDSTONE' 93860 (NA10-0052)
EIFS-2	[Hatch]	EIFS - COLOR 2 (FINISH - PRODUCT STO 310)	STO 'SMOKED PUTTY' 93240 (NA10-0053)
EIFS-G	[Hatch]	EIFS - ACCENT COLOR (FINISH - PRODUCT STOLT 130D)	SHERWIN WILLIAMS - 'ENVY' - SW6925
PNL-1	[Hatch]	1 1/4" 26 GAUGE MBCI PBR METAL WALL PANEL (PROVIDED BY METAL BUILDING MANF.)	MBCI SIGNATURE 200 - 'LIGHT STONE'
RF-1	[Hatch]	3"-24 GAUGE DOUBLE LOK METAL ROOF SYSTEM	MBCI SIGNATURE 200 - 'SOLAR WHITE'
SILL	[Hatch]	3 3/8" x 3 5/8" EIFS SILL W/ BEVEL - SEE DETAIL 7/A-2.1	STO 'SMOKED PUTTY' 93240 (NA10-0053)
SHUTR	[Hatch]	BAHAMA SHUTTER	EQUAL TO SHERWIN WILLIAMS - 'PROSPECT' - SW9615
PC	N/A	24 GAUGE KYNAR COATED METAL COPING (PROVIDED BY METAL BUILDING MANF.)	SHERWIN WILLIAMS - 'ENVY' - SW6925
DNS	N/A	PRE-FINISHED METAL DOWNSPOUT (SIZED & PROVIDED BY METAL BUILDING MANF.)	MBCI SIGNATURE 200 - 'LIGHT STONE'
GTR	N/A	PRE-FINISHED METAL GUTTER (SIZED & PROVIDED BY METAL BUILDING MANF.)	MBCI SIGNATURE 200 - 'LIGHT STONE'
DECK	N/A	3'-0" METAL DECK CANOPY - HANGER ROD SUPPORTED W/ 8" FASCIA - SUPPLIED & INSTALLED BY SIGN VENDOR - GC TO PROVIDE & INSTALL WALL BOLTS (SEE A-4.0)	SHERWIN WILLIAMS - 'ENVY' - SW6925
SCNC	[Hatch]	WALL SCANCE @ 8'-8" A.F.F. (SEE ELECTRICAL)	BRZ - 'DARK BRONZE'
D&F	N/A	STEEL DOOR & HOLLOW METAL FRAME	SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037
A	STOREFRONT TYPE (REFER TO SHEET A3.0)		
500	DOOR NUMBER (REFER TO SHEET A1.0)		
PAINTING NOTES:		(1) COAT OF S-W LOXON BLOCK SURFACER A24W200 (OR EQUAL), (2) COATS OF S-W CONFLX XL ELASTOMERIC HIGH BUILD COATING, A5-400 SERIES (OR EQUAL)	
METAL-		(2) COATS OF S-W METALTEX ACRYLIC SEMI-GLOSS (B42 SERIES)	
LINTELS-		PAINT STOREFRONT LINTELS PER 'METAL' NOTE ABOVE WITH SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037 AFTER PRIMING WITH (1) COAT OF S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER (B66-310 SERIES)	



TRANSPARENCY CALCULATION

WALL AREA FIRST 10' = 882 SF
30% TRANSPARENCY REQ'D = 265 SF
50.9% TRANSPARENCY PROVIDED = 449 SF

# HELT DESIGN ARCHITECTURE INTERIORS

6405 W. WILKINSON BLVD, STE. 100 BELMONT, NC 28012  
HELTDDESIGN.COM  
INFO@HELTDDESIGN.COM

PROJECT NAME:  
**DOLLAR TREE 'RURAL' VANILLA BOX FOR STOCKS & TAYLOR CONSTRUCTION, INC**

PROJECT NO: 23086  
PROJECT ADDRESS:  
NC HWY 158/168 GRANDY, NC (CURRITUCK COUNTY)

SEAL:  
  
CORPORATE ENTITY:  
C.L. HELT, ARCHITECT, INC. A NORTH CAROLINA PROFESSIONAL CORPORATION DBA HELT DESIGN

COPYRIGHT:  
THIS DRAWING AND ITS COPIES ARE THE ARCHITECT'S INSTRUMENTS OF SERVICE. THEY RETAIN ALL COMMON LAW AND STATUTORY RIGHTS, INCLUDING COPYRIGHT. THEY SHALL NOT BE USED OR COPIED FOR ANY PROJECT OTHER THAN THE ONE TITLED HERE IN.

DRAWING RELEASE:  
NO. DATE DESCRIPTION

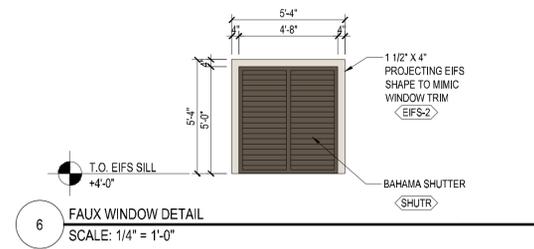
DRAWN BY: CHECKED BY:  
DATE: 08/24/23

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

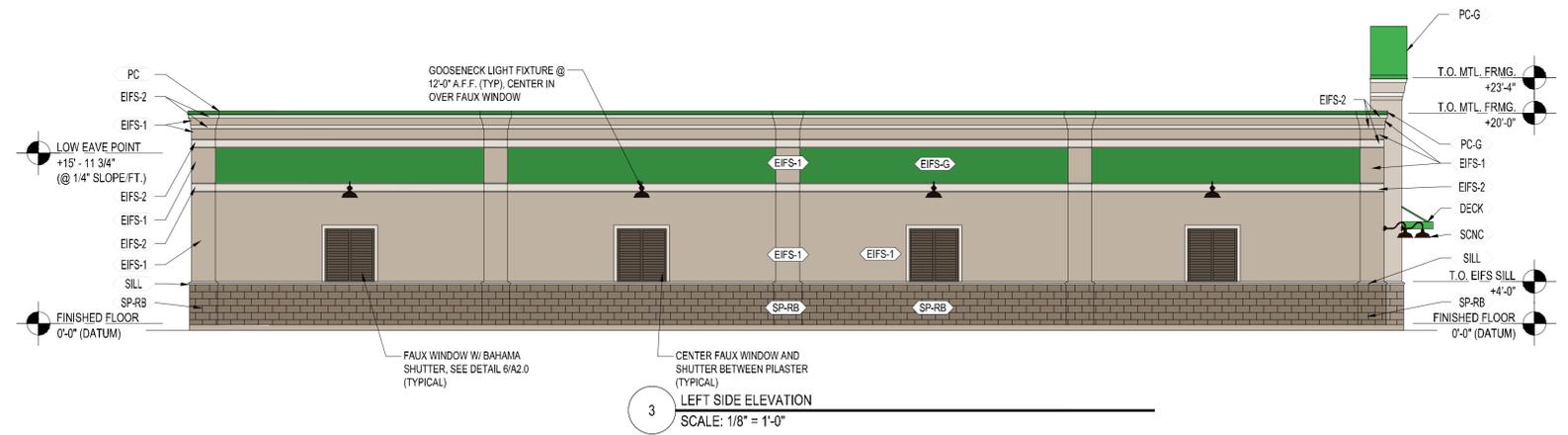
SHEET NUMBER:  
**A2.0**

# ELEVATION LEGEND

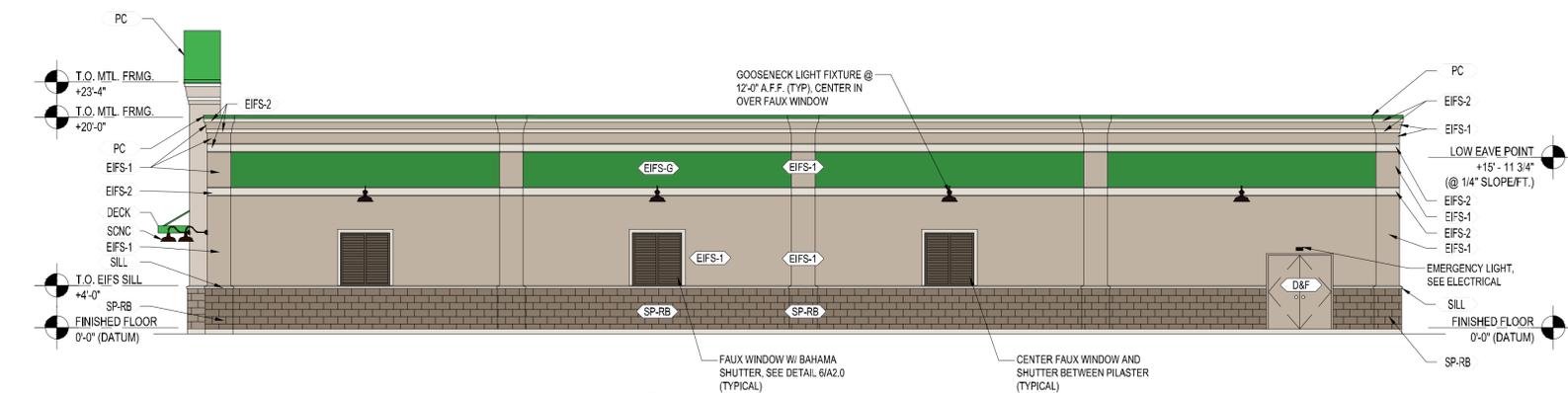
KEYNOTE	HATCH	DESCRIPTION	COLOR
<SP-RB>		SPLIT FACED CMU VENEER - RUNNING BOND	SHERWIN WILLIAMS - 'VIRTUAL TAUPE' - SW7039
<EIFS-1>		EIFS - COLOR 1 (FINISH - PRODUCT STO 310)	STO 'SANDSTONE' 93860 (NA10-0052)
<EIFS-2>		EIFS - COLOR 2 (FINISH - PRODUCT STO 310)	STO 'SMOKED PUTTY' 93240 (NA10-0053)
<EIFS-G>		EIFS - ACCENT COLOR (FINISH - PRODUCT STOLTIT 1300)	SHERWIN WILLIAMS - 'ENVY' - SW6925
<PNL-1>		1 1/4" 26 GAUGE MBCI PBR METAL WALL PANEL (PROVIDED BY METAL BUILDING MANF.)	MBCI SIGNATURE 200 - 'LIGHT STONE'
<RF-1>		3"-24 GAUGE DOUBLE LOK METAL ROOF SYSTEM	MBCI SIGNATURE 200 - 'SOLAR WHITE'
<SILL>		3 3/8" x 3 5/8" EIFS SILL W/ BEVEL - SEE DETAIL 7/A-2.1	STO 'SMOKED PUTTY' 93240 (NA10-0053)
<SHUTR>		BAHAMA SHUTTER	EQUAL TO SHERWIN WILLIAMS - 'PROSPECT' - SW9615
<PC>		24 GAUGE KYNAR COATED METAL COPING (PROVIDED BY METAL BUILDING MANF.)	SHERWIN WILLIAMS - 'ENVY' - SW6925
<DNS>		PRE-FINISHED METAL DOWNSPOUT (SIZED & PROVIDED BY METAL BUILDING MANF.)	MBCI SIGNATURE 200 - 'LIGHT STONE'
<GTR>		PRE-FINISHED METAL GUTTER (SIZED & PROVIDED BY METAL BUILDING MANF.)	MBCI SIGNATURE 200 - 'LIGHT STONE'
<DECK>		3'-0" METAL DECK CANOPY - HANGER ROD SUPPORTED W/ 8" FASCIA - SUPPLIED & INSTALLED BY SIGN VENDOR - GC TO PROVIDE & INSTALL WALL BOLTS (SEE A-4.0)	SHERWIN WILLIAMS - 'ENVY' - SW6925
<SCNC>		GOOSENECK WALL SCONCE @ 8'-8" A.F.F. (SEE ELECTRICAL)	BRZ - 'DARK BRONZE'
<D&F>		STEEL DOOR & HOLLOW METAL FRAME	SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037
<A>	STOREFRONT TYPE (REFER TO SHEET A3.0)	PAINTING NOTES: CMU - (1) COAT OF S-W LOXON BLOCK SURFACER A24W200 (OR EQUAL), (2) COATS OF S-W CONFLX XL ELASTOMERIC HIGH BUILD COATING, A5-400 SERIES (OR EQUAL)	
<500>	DOOR NUMBER (REFER TO SHEET A1.0)	METAL - (2) COATS OF S-W METALTEX ACRYLIC SEMI-GLOSS (B42 SERIES)	
		LINTELS - PAINT STOREFRONT LINTELS PER 'METAL' NOTE ABOVE WITH SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037 AFTER PRIMING WITH (1) COAT OF S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER (B66-310 SERIES)	



6 FAUX WINDOW DETAIL  
SCALE: 1/4" = 1'-0"

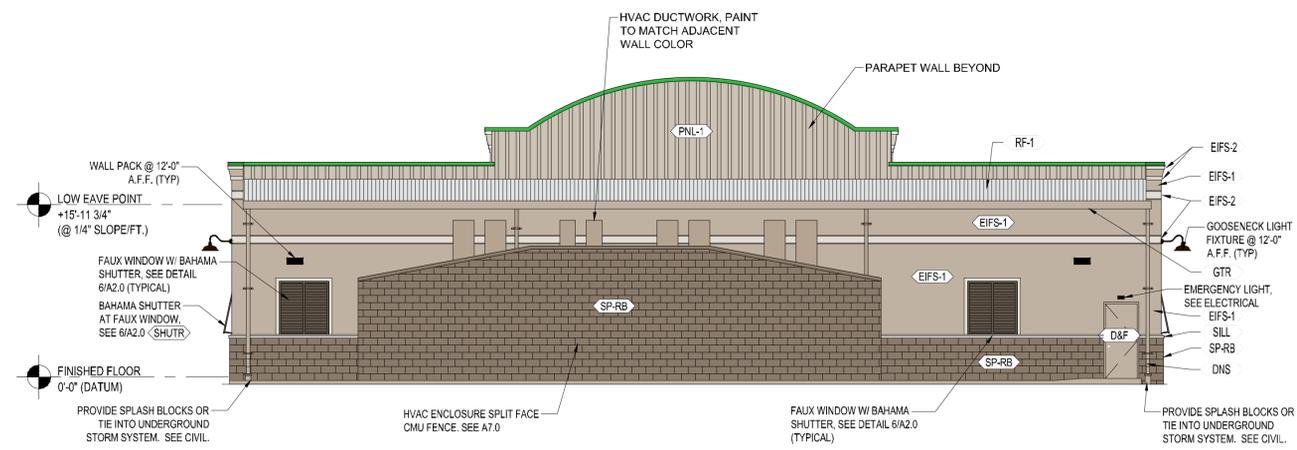


3 LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

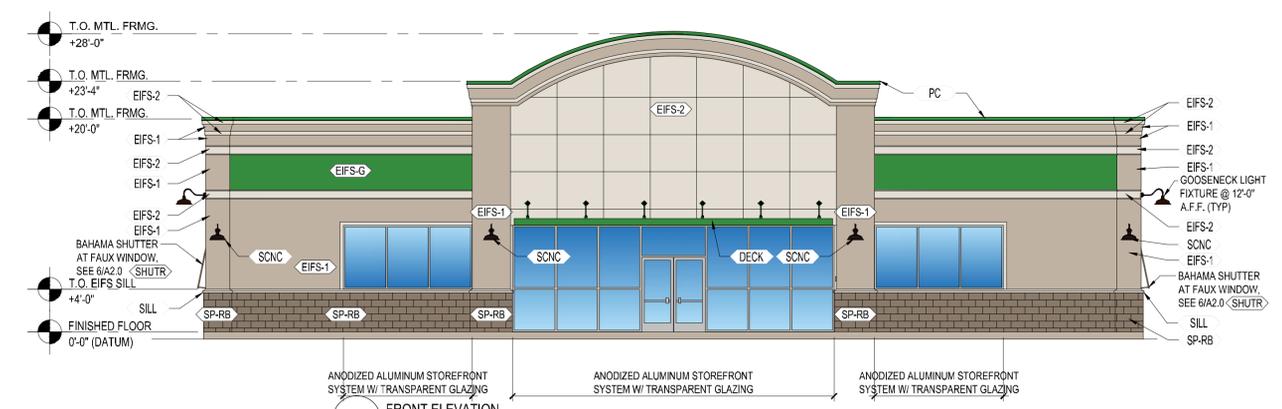


2 RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

**SHUTTER PROJECTION NOTE**  
MAXIMUM SHUTTER PROJECTION INTO SIDEWALK SHALL NOT EXCEED 4" PER 2009 ICC A117.1 'ACCESSIBLE AND USABLE BUILDINGS' SECTION 307.2 PROTRUSION LIMITS



4 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

# HELT DESIGN

ARCHITECTURE INTERIORS

6405 W. WILKINSON  
BLVD, STE. 100  
BELMONT, NC 28012

HELTDESIGN.COM  
INFO@HELTDESIGN.COM

**PROJECT NAME:**  
DOLLAR TREE  
'RURAL' VANILLA BOX  
FOR  
STOCKS & TAYLOR  
CONSTRUCTION, INC

**PROJECT NO:** 23086

**PROJECT ADDRESS:**  
NC HWY 158/168  
GRANDY, NC  
(CURRITUCK COUNTY)

**SEAL:**

**CORPORATE ENTITY:**  
C.L. HELT, ARCHITECT, INC. A NORTH CAROLINA PROFESSIONAL CORPORATION DBA HELT DESIGN

**COPYRIGHT:**  
THIS DRAWING AND ITS COPIES ARE THE ARCHITECT'S INSTRUMENTS OF SERVICE. THEY RETAIN ALL COMMON LAW AND STATUTORY RIGHTS, INCLUDING COPYRIGHT. THEY SHALL NOT BE USED OR COPIED FOR ANY PROJECT OTHER THAN THE ONE TITLED HERE IN.

**DRAWING RELEASE:**

NO.	DATE	DESCRIPTION

**DRAWN BY:**      **CHECKED BY:**

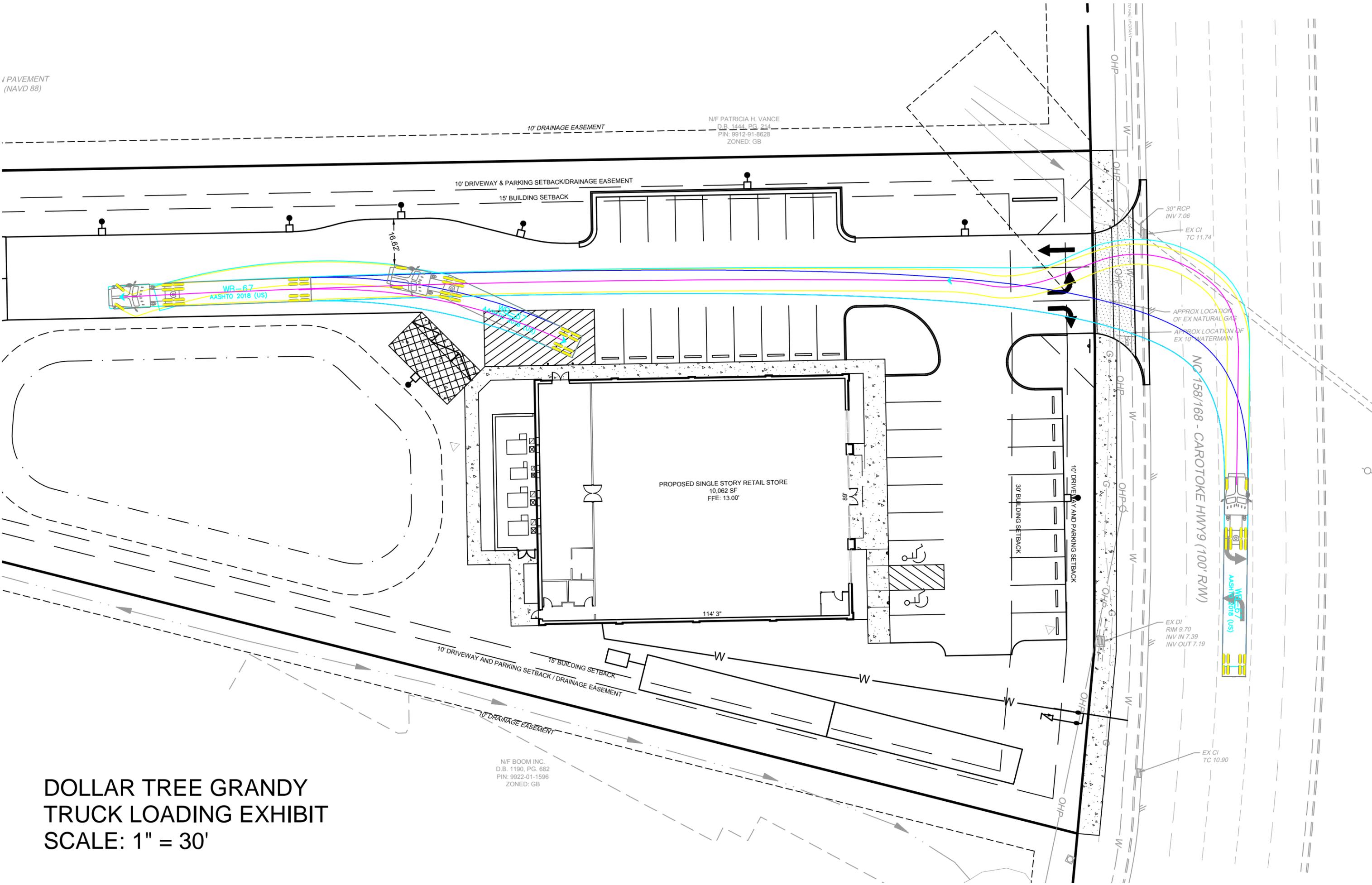
**DATE:** 07/24/23

**SHEET TITLE:**  
EXTERIOR  
ELEVATIONS

**SHEET NUMBER:**

# A2.0

PAVEMENT  
(NAVD 88)



**DOLLAR TREE GRANDY  
TRUCK LOADING EXHIBIT  
SCALE: 1" = 30'**