



1805 West City Drive
Unit E
Elizabeth City, NC 27909

P 252.621.5030
F 252.562.6974
www.timmons.com

November 9, 2023

Mr. Randall Jones, Jr., PE
NC Dept. of Environmental Quality
Division of Energy, Mineral and Land Resources
943 Washington Square Mall
Washington, NC 27889

RE: Erosion and Sediment Control Permit
Dollar Tree - Grandy
Timmons Project No. 59040

Dear Mr. Jones:

Enclosed for your review and approval, please find the following items:

1. Three (3) copies of the plans for the above referenced project.
2. The original and two (2) copies of the executed Financial Responsibility Form.
3. The original of the permission letter from the seller/current property owner.
4. Three (3) copies of the project narrative and appendix containing: Stormwater and Erosion Control Calculations; soil data from the USDA Web Soil Survey website and the Soil Report by Protocol Sampling Service, Inc.; precipitation data; a portion of the USGS quad map showing project location; the FEMA FIRMette for the site; property data including the current deed for the site and the Secretary of State Printout for the permittee.
5. A check in the amount of \$300.00 for the required fee.

If you have any questions or require any additional information, please do not hesitate to contact me at (252) 621-5029.

Sincerely,
Timmons Group

Kimberly D. Hamby, PE
Sr. Project Manager

cc: file
Mr. Selden Taylor

**FINANCIAL RESPONSIBILITY/OWNERSHIP FORM
SEDIMENTATION POLLUTION CONTROL ACT**

No person may initiate any land-disturbing activity on one or more acres as covered by the Act, including any activity under a common plan of development of this size as covered by the NCG01 permit, before this form and an acceptable erosion and sedimentation control plan have been completed and approved by the Land Quality Section, N.C. Department of Environmental Quality. Submit the completed form to the appropriate Regional Office. (Please type or print and, if the question is not applicable or the e-mail address or phone number is unavailable, place N/A in the blank.)

Part A.

1. Project Name Dollar Tree - Grandy

**If this project involves American Rescue Plan Act (ARPA) funds, list the Project Name below under which you applied for funding through the Division of Water Infrastructure (DWI).*

2. Location of land-disturbing activity: County Currituck City or Township Grandy

Highway/Street Caratoke Highway Latitude(decimal degrees) 36.242953 Longitude(decimal degrees) -75.879396

3. Approximate date land-disturbing activity will commence: December 2023

4. Purpose of development (residential, commercial, industrial, institutional, etc.): commercial

5. Total acreage disturbed or uncovered (including off-site borrow and waste areas): 2.08

6. Amount of fee enclosed: \$ 300.00. The application fee of \$100.00 per acre (rounded up to the next acre) is assessed without a ceiling amount (Example: 8.10-acre application fee is \$900). Checks should be addressed to NCDEQ.

7. Has an erosion and sediment control plan been filed? Yes Enclosed No

8. Person to contact should erosion and sediment control issues arise during land-disturbing activity:

Name Selden Taylor E-mail Address staylor@stockstaylor.com

Phone: Office # 252.975.5811 Mobile # 252.714.1108

9. Landowner(s) of Record (attach accompanied page to list additional owners):

Cedar Run Capital, LLC barnesboykin@yahoo.com

Name Phone: Office # Mobile #

2405-F Nash St. NW 2405-F Nash St. NW

Current Mailing Address Current Street Address

Wilson, NC 27896 Wilson, NC 27896

City State Zip City State Zip

10. Deed Book No. 1747 Page No. 504 Provide a copy of the most current deed.

Part B.

1. Company(ies) who are financially responsible for the land-disturbing activity (Provide a comprehensive list of all responsible parties on accompanied page.) *If the company is a sole proprietorship or if the landowner(s) is an individual(s), the name(s) of the owner(s) may be listed as the financially responsible party(ies).*

Cedar Run Capital, LLC
Company Name
2405-F Nash St. NW
Current Mailing Address
Wilson NC 27896
City State Zip
Phone: Office # 252-230-0632

barnesboykin@yahoo.com
E-mail Address
2405-F Nash St. NW
Current Street Address
Wilson NC 27896
City State Zip
Mobile # _____

Note: If the Financially Responsible Party is not the owner of the land to be disturbed, include with this form the landowner's signed and dated written consent for the applicant to submit a draft erosion and sedimentation control plan and to conduct the anticipated land disturbing activity.

2. (a) If the Financially Responsible Party is a domestic company registered on the NC Secretary of State business registry, give name and street address of the Registered Agent:

Barnes Boykin
Name of Registered Agent
2405-F Nash St. NW
Current Mailing Address
Wilson NC 27896
City State Zip
Phone: Office # 252-399-1964

barnesboykin@yahoo.com
E-mail Address
2405-F Nash St. NW
Current Street Address
Wilson NC 27896
City State Zip
Mobile # _____

Name of Individual to Contact (if Registered Agent is a company)

- (b) If the Financially Responsible Party is not a resident of North Carolina, give name and street address of the designated North Carolina agent who is registered on the NC Secretary of State business registry:

Name of Registered Agent

Current Mailing Address

City State Zip
Phone: Office # _____

E-mail Address

Current Street Address

City State Zip
Mobile # _____

Name of Individual to Contact (if Registered Agent is a company)

(c) If the Financially Responsible Party is engaging in business under an assumed name, give name under which the company is Doing Business As. If the Financially Responsible Party is an individual, General Partnership, or other company not registered and doing business under an assumed name, **attach a copy of the Certificate of Assumed Name.**

Company DBA Name

The above information is true and correct to the best of my knowledge and belief and was provided by me under oath. (This form must be signed by the Financially Responsible Person if an individual(s) or his attorney-in-fact, or if not an individual, by an officer, director, partner, or registered agent with the authority to execute instruments for the Financially Responsible Party). I agree to provide corrected information should there be any change in the information provided herein.

Barnes Boykin

Type or print name

Barnes Boykin

Signature

Member

Title or Authority

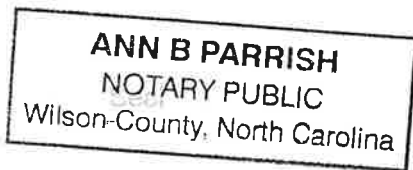
8/17/23

Date

I, Ann B Parrish, a Notary Public of the County of Wilson

State of North Carolina, hereby certify that Barnes Boykin appeared personally before me this day and being duly sworn acknowledged that the above form was executed by him/her.

Witness my hand and notarial seal, this 7th day of Aug, 2023



Ann B Parrish

Notary

My commission expires March 1, 2025

91020

TIMMONS GROUP

1001 Boulders Pkwy., Suite 300
North Chesterfield, Virginia 23225
(804) 200-6500 Fax (804) 560-1016
FED I.D.# 54-1301413

TOWNE BANK

68-894/514

November 7, 2023

PAY

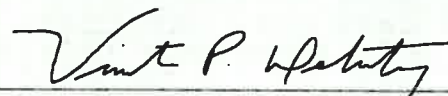
Three Hundred and 00/100 Dollars

TIMMONS GROUP

\$300.00

TO THE
ORDER
OF

NCDEQ



THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE - RED IMAGE DISAPPEARS WITH HEAT

⑈091020⑈ ⑆051408949⑆ 0281001456⑈

TIMMONS GROUP

Check Date: 11/7/2023

91020

Invoice Number	Date	Voucher	Amount	Discounts	Previous Pay	Net Amount
110723-300.00	11/7/2023	000000181962	\$300.00			\$300.00
NCDEQ		TOTAL	\$300.00			\$300.00
Operating Account	1	001525				

TIMMONS GROUP
YOUR VISION ACHIEVED THROUGH Ours



1805 West City Drive
Unit E
Elizabeth City, NC 27909

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November 9, 2023

Mr. Samir Dumpor, PE
NC Dept. of Environmental Quality
Division of Energy, Mineral and Land Resources
943 Washington Square Mall
Washington, NC 27889

RE: Stormwater Management Permit
Dollar Tree - Grandy
Timmons Project No. 59040

Dear Mr. Dumpor:

Enclosed for your review and approval, please find the following items:

1. Two (2) copies of the design plans for the above referenced project.
2. The original and one (1) copy of the executed Stormwater Permit Application with the Supplement EZ Form and Operation and Maintenance Agreement.
3. Two (2) copies of the project narrative and appendix containing: Stormwater and Erosion Control Calculations; soil data from the USDA Web Soil Survey website and the Soil Report by Protocol Sampling Service, Inc.; precipitation data; a portion of the USGS quad map showing project location; the FEMA FIRMette for the site; property data including the current deed for the site and the Secretary of State Printout for the permittee.
4. A check in the amount of \$1000.00 for the required fee.

If you have any questions or require any additional information, please do not hesitate to contact me at (252) 621-5029.

Sincerely,
Timmons Group

Kimberly D. Hamby, PE
Sr. Project Manager

cc: file
Selden Taylor

DEMLR USE ONLY		
Date Received	Fee Paid	Permit Number
Applicable Rules: <input type="checkbox"/> Coastal SW - 1995 <input type="checkbox"/> Coastal SW - 2008 <input type="checkbox"/> Ph II - Post Construction (select all that apply) <input type="checkbox"/> Non-Coastal SW- HQW/ORW Waters <input type="checkbox"/> Universal Stormwater Management Plan <input type="checkbox"/> Other WQ Mgmt Plan: _____		

State of North Carolina
Department of Environment and Natural Resources
Division of Energy, Mineral and Land Resources

STORMWATER MANAGEMENT PERMIT APPLICATION FORM

This form may be photocopied for use as an original

I. GENERAL INFORMATION

1. Project Name (subdivision, facility, or establishment name - should be consistent with project name on plans, specifications, letters, operation and maintenance agreements, etc.):
Dollar Tree - Grandy
2. Location of Project (street address):
6440 Caratoke Hwy
 City: Grandy County: Currituck Zip: 27939
3. Directions to project (from nearest major intersection):
From the intersection of NC 158 (Shortcut Road) and US 168 (Caratoke Highway), travel south on Caratoke Hwy. for 11.6 miles. The site will be on the right (west) side of the road adjacent to the Sonic, just before the signalized intersection at Caratoke Hwy and Poplar Branch Road (SR 1131)
4. Latitude: 36° 14' 34.63" N Longitude: 75° 52' 45.83" W of the main entrance to the project.

II. PERMIT INFORMATION:

- a. Specify whether project is (check one): New Modification Renewal w/ Modification[†]
[†]Renewals with modifications also requires SWU-102 - Renewal Application Form
- b. If this application is being submitted as the result of a **modification** to an existing permit, list the existing permit number _____, its issue date (if known) _____, and the status of construction: Not Started Partially Completed* Completed* *provide a designer's certification
2. Specify the type of project (check one):
 Low Density High Density Drains to an Offsite Stormwater System Other
3. If this application is being submitted as the result of a **previously returned application** or a **letter from DEMLR requesting a state stormwater management permit application**, list the stormwater project number, if assigned, _____ and the previous name of the project, if different than currently proposed, _____.
4. a. Additional Project Requirements (check applicable blanks; information on required state permits can be obtained by contacting the Customer Service Center at 1-877-623-6748):
 CAMA Major Sedimentation/Erosion Control: 2.08 ac of Disturbed Area
 NPDES Industrial Stormwater 404/401 Permit: Proposed Impacts _____
- b. If any of these permits have already been acquired please provide the Project Name, Project/Permit Number, issue date and the type of each permit: _____
5. Is the project located within 5 miles of a public airport? No Yes
If yes, see S.L. 2012-200, Part VI: <http://portal.ncdenr.org/web/1r/rules-and-regulations>

III. CONTACT INFORMATION

1. a. Print Applicant / Signing Official's name and title (specifically the developer, property owner, lessee, designated government official, individual, etc. who owns the project):

Applicant/Organization: Cedar Run Capital, LLC
Signing Official & Title: Barnes Boykin, Member

b. Contact information for person listed in item 1a above:

Street Address: 2405-F Nash St. NW
City: Wilson State: NC Zip: 27896
Mailing Address (if applicable): same as street address
City: State: Zip:
Phone: (252) 230.0632 Fax: ()
Email: barnesboykin@yahoo.com

c. Please check the appropriate box. The applicant listed above is:

- [X] The property owner (Skip to Contact Information, item 3a)
[] Lessee* (Attach a copy of the lease agreement and complete Contact Information, item 2a and 2b below)
[] Purchaser* (Attach a copy of the pending sales agreement and complete Contact Information, item 2a and 2b below)
[] Developer* (Complete Contact Information, item 2a and 2b below.)

2. a. Print Property Owner's name and title below, if you are the lessee, purchaser or developer. (This is the person who owns the property that the project is located on):

Property Owner/Organization:
Signing Official & Title:

b. Contact information for person listed in item 2a above:

Street Address:
City: State: Zip:
Mailing Address (if applicable):
City: State: Zip:
Phone: () Fax: ()
Email:

3. a. (Optional) Print the name and title of another contact such as the project's construction supervisor or other person who can answer questions about the project:

Other Contact Person/Organization:
Signing Official & Title:

b. Contact information for person listed in item 3a above:

Mailing Address:
City: State: Zip:
Phone: () Fax: ()
Email:

4. Local jurisdiction for building permits: Currituck County

Point of Contact: Kevin Kemp Phone #: (252) 232.3055

IV. PROJECT INFORMATION

1. In the space provided below, briefly summarize how the stormwater runoff will be treated.

Runoff from impervious surfaces will be routed to an infiltration basin for treatment.

2. a. **If claiming vested rights**, identify the supporting documents provided and the date they were approved:

- Approval of a Site Specific Development Plan or PUD Approval Date: _____
- Valid Building Permit Issued Date: _____
- Other: _____ Date: _____

b. **If claiming vested rights**, identify the regulation(s) the project has been designed in accordance with:

- Coastal SW - 1995 Ph II - Post Construction

3. Stormwater runoff from this project drains to the Pasquotank River basin.

4. Total Property Area: 1.85 acres 5. Total Coastal Wetlands Area: 0 acres
 6. Total Surface Water Area: 0 acres

7. Total Property Area (4) - Total Coastal Wetlands Area (5) - Total Surface Water Area (6) = Total Project Area*: 1.85 acres

* *Total project area shall be calculated to exclude the following: the normal pool of impounded structures, the area between the banks of streams and rivers, the area below the Normal High Water (NHW) line or Mean High Water (MHW) line, and coastal wetlands landward from the NHW (or MHW) line. The resultant project area is used to calculate overall percent built upon area (BUA). Non-coastal wetlands landward of the NHW (or MHW) line may be included in the total project area.*

8. Project percent of impervious area: (Total Impervious Area / Total Project Area) X 100 = 48.09 %

9. How many drainage areas does the project have? 1 (For high density, count 1 for each proposed engineered stormwater BMP. For low density and other projects, use 1 for the whole property area)

10. Complete the following information for each drainage area identified in Project Information item 9. If there are more than four drainage areas in the project, attach an additional sheet with the information for each area provided in the same format as below.

Basin Information	Drainage Area <u>1</u>	Drainage Area <u> </u>	Drainage Area <u> </u>	Drainage Area <u> </u>
Receiving Stream Name	Douwdy's Bay			
Stream Class *	SC			
Stream Index Number *	30-5-15			
Total Drainage Area (sf)	80913			
On-site Drainage Area (sf)	80913			
Off-site Drainage Area (sf)	0			
Proposed Impervious Area** (sf)	38911			
% Impervious Area** (total)	48.09			

Impervious** Surface Area	Drainage Area <u>1</u>	Drainage Area <u> </u>	Drainage Area <u> </u>	Drainage Area <u> </u>
On-site Buildings/Lots (sf)	10062			
On-site Streets (sf)				
On-site Parking (sf)	25984			
On-site Sidewalks (sf)	2354			
Other on-site (sf)	510			
Future (sf)				
Off-site (sf)				
Existing BUA*** (sf)				
Total (sf):	38911			

* Stream Class and Index Number can be determined at: <http://portal.ncdenr.org/web/wq/ps/csu/classifications>

** Impervious area is defined as the built upon area including, but not limited to, buildings, roads, parking areas, sidewalks, gravel areas, etc.

*** Report only that amount of existing BUA that will remain after development. Do not report any existing BUA that is to be removed and which will be replaced by new BUA.

11. How was the off-site impervious area listed above determined? Provide documentation. N/A

Projects in Union County: Contact DEMLR Central Office staff to check if the project is located within a Threatened & Endangered Species watershed that may be subject to more stringent stormwater requirements as per 15A NCAC 02B .0600.

V. SUPPLEMENT AND O&M FORMS

The applicable state stormwater management permit supplement and operation and maintenance (O&M) forms must be submitted for each BMP specified for this project. The latest versions of the forms can be downloaded from <http://portal.ncdenr.org/web/wq/ws/su/bmp-manual>.

VI. SUBMITTAL REQUIREMENTS

Only complete application packages will be accepted and reviewed by the Division of Energy, Mineral and Land Resources (DEMLR). A complete package includes all of the items listed below. A detailed application instruction sheet and BMP checklists are available from http://portal.ncdenr.org/web/wq/ws/su/statesw/forms_docs. The complete application package should be submitted to the appropriate DEMLR Office. (The appropriate office may be found by locating project on the interactive online map at <http://portal.ncdenr.org/web/wq/ws/su/maps>.)

Please **indicate that the following required information have been provided by initialing** in the space provided for each item. All original documents MUST be signed and initialed in **blue ink**. Download the latest versions for each submitted application package from http://portal.ncdenr.org/web/wq/ws/su/statesw/forms_docs.

- | | Initials |
|--|-----------------------------|
| 1. Original and one copy of the Stormwater Management Permit Application Form. | <u>kedh</u> |
| 2. Original and one copy of the signed and notarized Deed Restrictions & Protective Covenants Form. (if required as per Part VII below) | <u>N/P</u> |
| 3. Original of the applicable Supplement Form(s) (sealed, signed and dated) and O&M agreement(s) for each BMP. | <u>kedh</u> |
| 4. Permit application processing fee of \$505 ^{\$1000} payable to NCDENR. (For an Express review, refer to http://www.envhelp.org/pages/onestopexpress.html for information on the Express program and the associated fees. Contact the appropriate regional office Express Permit Coordinator for additional information and to schedule the required application meeting.) | <u>kedh</u> |
| 5. A detailed narrative (one to two pages) describing the stormwater treatment/ management | for <u>kedh</u> <u>kedh</u> |
| 6. A USGS map identifying the site location. If the receiving stream is reported as class SA or the receiving stream drains to class SA waters within 1/2 mile of the site boundary, include the 1/2 mile radius on the map. | <u>kedh</u> |
| 7. Sealed, signed and dated calculations (one copy). | <u>kedh</u> |
| 8. Two sets of plans <u>folded to 8.5" x 14"</u> (sealed, signed, & dated), including: | <u>kedh</u> |
| a. Development/Project name. | |
| b. Engineer and firm. | |
| c. Location map with named streets and NCSR numbers. | |
| d. Legend. | |
| e. North arrow. | |
| f. Scale. | |
| g. Revision number and dates. | |
| h. Identify all surface waters on the plans by delineating the normal pool elevation of impounded structures, the banks of streams and rivers, the MHW or NHW line of tidal waters, and any coastal wetlands landward of the MHW or NHW lines. <ul style="list-style-type: none">• Delineate the vegetated buffer landward from the normal pool elevation of impounded structures, the banks of streams or rivers, and the MHW (or NHW) of tidal waters. | |
| i. Dimensioned property/project boundary with bearings & distances. | |
| j. Site Layout with all BUA identified and dimensioned. | |
| k. Existing contours, proposed contours, spot elevations, finished floor elevations. | |
| l. Details of roads, drainage features, collection systems, and stormwater control measures. | |
| m. Wetlands delineated, or a note on the plans that none exist. (Must be delineated by a qualified person. Provide documentation of qualifications and identify the person who made the determination on the plans. | |
| n. Existing drainage (including off-site), drainage easements, pipe sizes, runoff calculations. | |
| o. Drainage areas delineated (included in the main set of plans, not as a separate document). | |

- p. Vegetated buffers (where required).
9. Copy of any applicable soils report with the associated SHWT elevations (Please identify elevations in addition to depths) as well as a map of the boring locations with the existing elevations and boring logs. Include an 8.5"x11" copy of the NRCS County Soils map with the project area clearly delineated. For projects with infiltration BMPs, the report should also include the soil type, expected infiltration rate, and the method of determining the infiltration rate. (Infiltration Devices submitted to WiRO: Schedule a site visit for DEMLR to verify the SHWT prior to submittal, (910) 796-7378.)

kehn

10. A copy of the most current property deed. Deed book: 1747 Page No: 504
11. For corporations and limited liability corporations (LLC): Provide documentation from the NC Secretary of State or other official documentation, which supports the titles and positions held by the persons listed in Contact Information, item 1a, 2a, and/or 3a per 15A NCAC 2H.1003(e). The corporation or LLC must be listed as an active corporation in good standing with the NC Secretary of State, otherwise the application will be returned.
<http://www.secretary.state.nc.us/Corporations/CSearch.aspx>

kehn
kehn

VII. DEED RESTRICTIONS AND PROTECTIVE COVENANTS

For all subdivisions, outparcels, and future development, the appropriate property restrictions and protective covenants are required to be recorded prior to the sale of any lot. If lot sizes vary significantly or the proposed BUA allocations vary, a table listing each lot number, lot size, and the allowable built-upon area must be provided as an attachment to the completed and notarized deed restriction form. The appropriate deed restrictions and protective covenants forms can be downloaded from http://portal.ncdenr.org/web/lr/state-stormwater-forms_docs. Download the latest versions for each submittal.

In the instances where the applicant is different than the property owner, it is the responsibility of the property owner to sign the deed restrictions and protective covenants form while the applicant is responsible for ensuring that the deed restrictions are recorded.

By the notarized signature(s) below, the permit holder(s) certify that the recorded property restrictions and protective covenants for this project, if required, shall include all the items required in the permit and listed on the forms available on the website, that the covenants will be binding on all parties and persons claiming under them, that they will run with the land, that the required covenants cannot be changed or deleted without concurrence from the NC DEMLR, and that they will be recorded prior to the sale of any lot.

VIII. CONSULTANT INFORMATION AND AUTHORIZATION

Applicant: Complete this section if you wish to designate authority to another individual and/or firm (such as a consulting engineer and/or firm) so that they may provide information on your behalf for this project (such as addressing requests for additional information).

Consulting Engineer: Kimberly Hamby

Consulting Firm: Timmons Group

Mailing Address: 1805 W City Drive, Unit E

City: Elizabeth City State: NC Zip: 27909

Phone: (252) 621-5029 Fax: (252) 562-6974

Email: kim.hamby@timmons.com

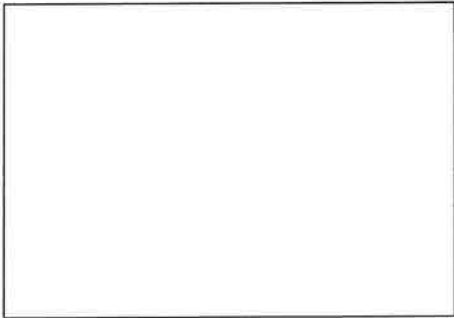
IX. PROPERTY OWNER AUTHORIZATION (if Contact Information, item 2 has been filled out, complete this section)

I, (print or type name of person listed in Contact Information, item 2a) _____, certify that I own the property identified in this permit application, and thus give permission to (print or type name of person listed in Contact Information, item 1a) _____ with (print or type name of organization listed in Contact Information, item 1a) _____ to develop the project as currently proposed. A copy of the lease agreement or pending property sales contract has been provided with the submittal, which indicates the party responsible for the operation and maintenance of the stormwater system.

As the legal property owner I acknowledge, understand, and agree by my signature below, that if my designated agent (entity listed in Contact Information, item 1) dissolves their company and/or cancels or defaults on their lease agreement, or pending sale, responsibility for compliance with the DEMLR Stormwater permit reverts back to me, the property owner. As the property owner, it is my responsibility to notify DEMLR immediately and submit a completed Name/Ownership Change Form within 30 days; otherwise I will be operating a stormwater treatment facility without a valid permit. I understand that the operation of a stormwater treatment facility without a valid permit is a violation of NC General Statute 143-215.1 and may result in appropriate enforcement action including the assessment of civil penalties of up to \$25,000 per day, pursuant to NCGS 143-215.6.

Signature: _____ Date: _____

I, _____, a Notary Public for the State of _____, County of _____, do hereby certify that _____ personally appeared before me this ___ day of _____, _____, and acknowledge the due execution of the application for a stormwater permit. Witness my hand and official seal, _____



SEAL

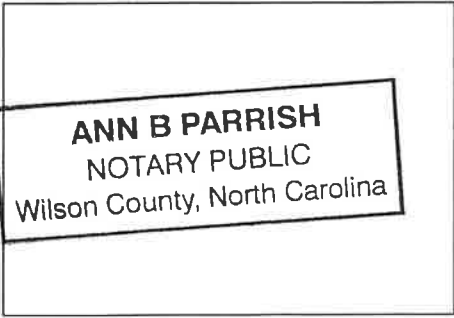
My commission expires _____

X. APPLICANT'S CERTIFICATION

I, (print or type name of person listed in Contact Information, item 1a) Barnes Boykin, certify that the information included on this permit application form is, to the best of my knowledge, correct and that the project will be constructed in conformance with the approved plans, that the required deed restrictions and protective covenants will be recorded, and that the proposed project complies with the requirements of the applicable stormwater rules under 15A NCAC 2H .1000 and any other applicable state stormwater requirements.

Signature: Barnes Boykin Date: 9/17/23

I, Ann B Parrish, a Notary Public for the State of NC, County of Wilson, do hereby certify that Barnes Boykin personally appeared before me this 7th day of Aug, 2023, and acknowledge the due execution of the application for a stormwater permit. Witness my hand and official seal, A B Parrish



SEAL

My commission expires March 1, 2025

Operation & Maintenance Agreement

Project Name: Dollar Tree
Project Location: 6640 Caratoke Hwy., Currituck, NC 27939

Cover Page

Maintenance records shall be kept on the following SCM(s). This maintenance record shall be kept in a log in a known set location. Any deficient SCM elements noted in the inspection will be corrected, repaired, or replaced immediately. These deficiencies can affect the integrity of structures, safety of the public, and the pollutant removal efficiency of the SCM(s).

The SCM(s) on this project include (check all that apply & corresponding O&M sheets will be added automatically):

Infiltration Basin	Quantity: 1	Location(s): On site
Infiltration Trench	Quantity:	Location(s):
Bioretention Cell	Quantity:	Location(s):
Wet Pond	Quantity:	Location(s):
Stormwater Wetland	Quantity:	Location(s):
Permeable Pavement	Quantity:	Location(s):
Sand Filter	Quantity:	Location(s):
Rainwater Harvesting	Quantity:	Location(s):
Green Roof	Quantity:	Location(s):
Level Spreader - Filter Strip	Quantity:	Location(s):
Proprietary System	Quantity:	Location(s):
Treatment Swale	Quantity:	Location(s):
Dry Pond	Quantity:	Location(s):
Disconnected Impervious Surface	Present: No	Location(s):
User Defined SCM	Present: No	Location(s):
Low Density	Present: No	Type:

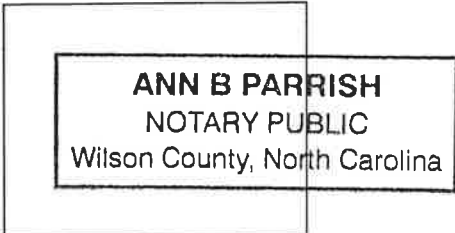
I acknowledge and agree by my signature below that I am responsible for the performance of the maintenance procedures listed for each SCM above, and attached O&M tables. I agree to notify NCDEQ of any problems with the system or prior to any changes to the system or responsible party.

Responsible Party:	Barnes Boykin
Title & Organization:	Cedar Run Capital, LLC, Member
Street address:	2405-F Nash St. NW
City, state, zip:	Wilson, NC 27896
Phone number(s):	252-230-0632
Email:	barnesboykin@yahoo.com

Signature: Barnes Boykin Date: 8/17/23

I, Ann B Parrish, a Notary Public for the State of NC
 County of Wilson, do hereby certify that Barnes Boykin
 personally appeared before me this 07th day of August 2023 and
 acknowledge the due execution of the Operations and Maintenance Agreement.

Witness my hand and official seal, Ann B Parrish.



Seal My commission expires March 1, 2025

Infiltration Basin Maintenance Requirements

Important operation and maintenance procedures:

- The drainage area will be carefully managed to reduce the sediment load to the infiltration basin.
No portion of the infiltration basin will be fertilized after the initial fertilization that is required to establish the vegetation. Lime may be allowed if vegetation is planted on the surface of the infiltration basin and a soil test shows that it is needed.
- The vegetation in and around the basin will be maintained at a height of four to six inches.

After the infiltration basin is established, it will be inspected **quarterly and within 24 hours after every storm event greater than 1.0 inches (or 1.5 inches if in a Coastal County)**. Records of operation and maintenance shall be kept in a known set location and shall be available upon request.

Inspection activities shall be performed as follows. Any problems that are found shall be repaired immediately.

SCM element:	Potential problem:	How to remediate the problem:
The entire infiltration basin	Trash/debris is present.	Remove the trash/debris.
The grass filter strip or other pretreatment area	Areas of bare soil and/or erosive gullies have formed.	Regrade the soil if necessary to remove the gully, plant ground cover and water until it is established. Provide lime and a one-time fertilizer application.
	Sediment has accumulated to a depth of greater than three inches.	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.
The flow diversion structure (if applicable)	The structure is clogged.	Unclog the conveyance and dispose of any sediment in a location where it will not cause impacts to streams or the SCM.
	The structure is damaged.	Make any necessary repairs or replace if damage is too much for repair.
The inlet device	The inlet pipe is clogged (if applicable).	Unclog the pipe and dispose of any sediment in a location where it will not cause impacts to streams or the SCM.
	The inlet pipe is cracked or otherwise damaged (if applicable).	Repair or replace the pipe.
	Erosion is occurring in the swale (if applicable).	Regrade the swale if necessary and provide erosion control devices such as reinforced turf matting or riprap to avoid future erosion problems.
	Stone verge is clogged or covered in sediment (if applicable).	Remove sediment and clogged stone and replace with clean stone.
The basin	More than four inches of sediment has accumulated.	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.
	Erosion of the basin surface has occurred or riprap is displaced.	Provide additional erosion protection such as reinforced turf matting or riprap if needed to prevent future erosion problems.
	Water is standing more than three days after a storm event.	Replace the top few inches of soil to see if this corrects the standing water problem. If not, consult an appropriate professional for a more extensive repair.

Infiltration Basin Maintenance Requirements (continued)

SCM element:	Potential problem:	How to remediate the problem:
The embankment	Shrubs or trees are growing on the embankment.	Remove shrubs and trees immediately.
	An annual inspection by an appropriate professional shows that the embankment needs repair.	Make needed repairs immediately.
The outlet device	Clogging has occurred.	Clean out the outlet device and dispose of sediment in a location where it will not cause impacts to streams or the SCM.
	The outlet device is damaged	Repair or replace the outlet device.
The receiving water	Erosion or other signs of damage have occurred at the outlet.	Repair the damage and improve the flow dissipation structure.
	Discharges from the infiltration basin are causing erosion or sedimentation in the receiving water.	Contact the local NCDEQ Regional Office.

SUPPLEMENT-EZ COVER PAGE

[FORMS LOADED](#)

PROJECT INFORMATION		
1	Project Name	Dollar Tree
2	Project Area (ac)	1.86
3	Coastal Wetland Area (ac)	0
4	Surface Water Area (ac)	0
5	Is this project High or Low Density?	High
6	Does this project use an off-site SCM?	No

COMPLIANCE WITH 02H .1003(4)		
7	Width of vegetated setbacks provided (feet)	N/A
8	Will the vegetated setback remain vegetated?	N/A
9	If BUA is proposed in the setback, does it meet NCAC 02H.1003(4)(c-d)?	N/A
10	Is streambank stabilization proposed on this project?	No

NUMBER AND TYPE OF SCMs:		
11	Infiltration System	1
12	Bioretention Cell	
13	Wet Pond	
14	Stormwater Wetland	
15	Permeable Pavement	
16	Sand Filter	
17	Rainwater Harvesting (RWH)	
18	Green Roof	
19	Level Spreader-Filter Strip (LS-FS)	
20	Disconnected Impervious Surface (DIS)	
21	Treatment Swale	
22	Dry Pond	
23	StormFilter	
24	Silva Cell	
25	Bayfilter	
26	Filterra	

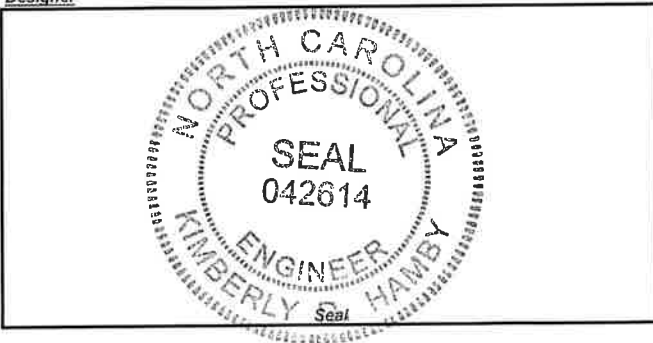
[FORMS LOADED](#)

DESIGNER CERTIFICATION		
27	Name and Title:	Kimberly D. Hamby, PE
28	Organization:	Timmons Group
29	Street address:	1805 W. City Drive, Unit E
30	City, State, Zip:	Elizabeth City, NC 27909
31	Phone number(s):	252-621-5029
32	Email:	kim.hamby@timmons.com

Certification Statement:

I certify, under penalty of law that this Supplement-EZ form and all supporting information were prepared under my direction or supervision; that the information provided in the form is, to the best of my knowledge and belief, true, accurate, and complete; and that the engineering plans, specifications, operation and maintenance agreements and other supporting information are consistent with the information provided here.

Designer



Kimberly D. Hamby
Signature of Designer

11/9/23
Date

DRAINAGE AREAS

1	Is this a high density project?	Yes
2	If so, number of drainage areas/SCMs	1
3	Does this project have low density areas?	No
4	If so, number of low density drainage areas	0
5	Is all/part of this project subject to previous rule versions?	No

[FORMS LOADED](#)

DRAINAGE AREA INFORMATION		Entire Site	1
4	Type of SCM	Infiltration Basin	Infiltration Basin
5	Total drainage area (sq ft)	80913	80913
6	Onsite drainage area (sq ft)	0	0
7	Offsite drainage area (sq ft)	0	0
8	Total BUA in project (sq ft)	38911 sf	38911 sf
9	New BUA on subdivided lots (subject to permitting) (sq ft)		
10	New BUA not on subdivided lots (subject to permitting) (sf)		
11	Offsite BUA (sq ft)	1616 sf	1616 sf
12	Breakdown of new BUA not on subdivided lots:		
	- Parking (sq ft)	25985 sf	25985 sf
	- Sidewalk (sq ft)	2354 sf	2354 sf
	- Roof (sq ft)	10062 sf	10062 sf
	- Roadway (sq ft)		
	- Future (sq ft)		
	- Other, please specify in the comment box below (sq ft)	510 sf	510 sf
13	New infiltrating permeable pavement on subdivided lots (sq ft)		
14	New infiltrating permeable pavement not on subdivided lots (sq ft)		
15	Existing BUA that will remain (not subject to permitting) (sq ft)		
16	Existing BUA that is already permitted (sq ft)		
17	Existing BUA that will be removed (sq ft)		
18	Percent BUA	48%	48%
19	Design storm (inches)	1.5 in	1.5 in
20	Design volume of SCM (cu ft)	6706 cf	6706 cf
21	Calculation method for design volume	Simple Method	Simple Method

ADDITIONAL INFORMATION	
22	Please use this space to provide any additional information about the drainage area(s):
Other coverage represents equipment pads.	

INFILTRATION SYSTEM

1	Drainage area number	1
2	Minimum required treatment volume (cu ft)	6706 cf
GENERAL MDC FROM 02H .1050		
3	Is the SCM sized to treat the SW from all surfaces at build-out?	Yes
4	Is the SCM located away from contaminated soils?	Yes
5	What are the side slopes of the SCM (H:V or enter "Vertical" for trenches)?	5:1
6	Does the SCM have retaining walls, gabion walls or other engineered side slopes?	No
7	Are the inlets, outlets, and receiving stream protected from erosion (10-year storm)?	Yes
8	Is there an overflow or bypass for inflow volume in excess of the design volume?	Yes
9	What is the method for dewatering the SCM for maintenance?	Pump (preferred)
10	If applicable, will the SCM be cleaned out after construction?	N/A
11	Does the maintenance access comply with General MDC (8)?	Yes
12	Does the drainage easement comply with General MDC (9)?	N/A
13	If the SCM is on a single family lot, does (will?) the plat comply with General MDC (10)?	N/A
14	Is there an O&M Agreement that complies with General MDC (11)?	Yes
15	Is there an O&M Plan that complies with General MDC (12)?	Yes
16	Does the SCM follow the device specific MDC?	Yes
17	Was the SCM designed by an NC licensed professional?	Yes
INFILTRATION SYSTEM MDC FROM 02H .1051		
18	Proposed slope of the subgrade surface (%)	N/A
19	Are terraces or baffles provided?	No
20	Type of pretreatment:	Forebay
Soils Data		
21	Was the soil investigated in the footprint and at the elevation of the infiltration system?	Yes
22	SHWT elevation (fmsl)	7.75
23	Depth to SHWT per soils report (in)	50.00
24	Ground elevation at boring in soils report (fmsl)	11.75
25	Is a detailed hydrogeologic study attached if the separation is between 1 and 2 feet?	N/A
26	Soil infiltration rate (in/hr)	0.50
27	Factor of safety (FS) (2 is recommended):	2.00
Elevations		
29	Bottom elevation (fmsl)	10 ft
30	Storage elevation (fmsl)	10.75 ft
31	Bypass elevation (fmsl)	11 ft
For Basins Only		
32	Bottom surface area (ft ²)	8151 ft
33	Storage elevation surface area (ft ²)	10074. ft
For Trenches Only		
34	Length (ft)	
35	Width (ft)	
36	Perforated pipe diameter, if applicable (inches)	
37	Number of laterals	
38	Total length of perforated piping	
39	Stone type, if applicable	
40	Stone porosity (%)	
41	Is stone free of fines?	
42	Is the stone wrapped in geotextile fabric?	
43	Has at least one inspection port been provided?	
Volumes/Drawdown		
44	Design volume of SCM (cu ft)	9113 cf
45	Time to draw down (hours)	24 hrs
ADDITIONAL INFORMATION		
46	Please use this space to provide any additional information about the infiltration system(s):	
<p>basin bottom is 9.75' and overflow is set at 10.75' - the form rounds these values.</p>		

91019

TIMMONS GROUP

1001 Boulders Pkwy., Suite 300
North Chesterfield, Virginia 23225
(804) 200-6500 Fax (804) 560-1016
FED I.D.# 54-1301413

TOWNE BANK

68-894/514

November 7, 2023

PAY

One Thousand and 00/100 Dollars



\$1,000.00

TO THE
ORDER
OF

NCDEQ

Vinit P. Hattaraj



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TIMMONS GROUP

Check Date: 11/7/2023

91019

Invoice Number	Date	Voucher	Amount	Discounts	Previous Pay	Net Amount
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NCDEQ		TOTAL	\$1,000.00			\$1,000.00
Operating Account	2	001525				

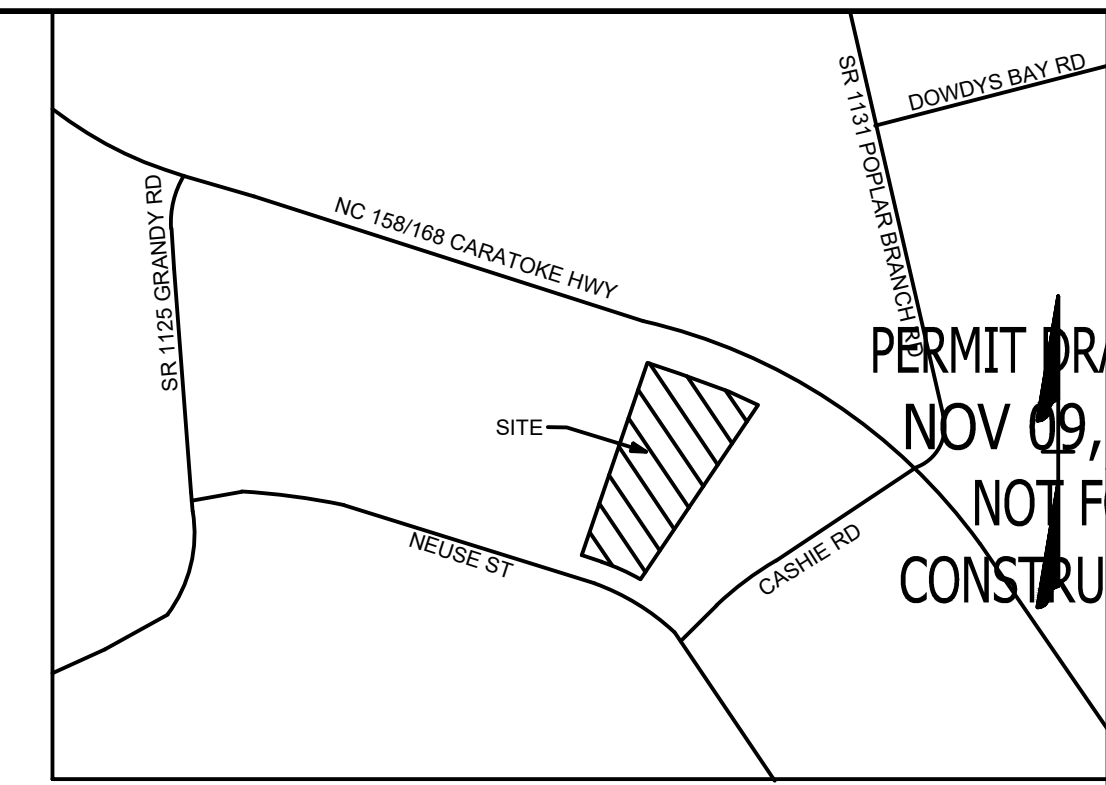


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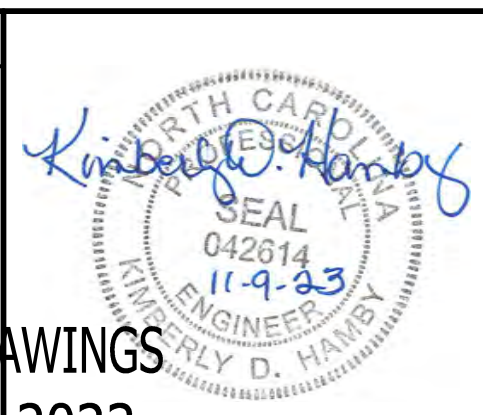
- OWNER & DEVELOPER:
CEDAR RUN CAPITAL, LLC
2405-F NASH ST. NW
WILSON, NC 27786
BARNES BOYKIN, MEMBER
(252) 230-0632
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:
PIN: 0094000122E0000
9922-01-0614
D.B. 1747, PG. 504
ZONING: GB (GENERAL BUSINESS)
PARCEL AREA: 1.85 AC
SITE AREA: 1.85 AC
SITE ADDRESS: 6440 CARATOKE HWY
CURRITUCK, NC 27939
- BUILDING SETBACKS:
MAJOR ARTERIAL: 30'
SIDE: 15'
CORNER: 20'
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:
10,062 SF @ 11000 SF = 34 SPACES
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:
PROPOSED:
BUILDING (ROOF): 10,062 SF (12.44%)
PARKING/DRIVE: 26,265 SF (32.46%)
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)
EQUIPMENT PADS: 510 SF (0.63%)
OPEN SPACE: 41,976 SF (51.88%)
TOTAL: 80,913 SF (100.00%)
OFFSITE: 1,616 SF

6. LANDSCAPE REQUIREMENTS:

- SITE LANDSCAPING:**
2 ACI OF CANOPY TREE PER ACRE
1 TREE WITHIN 60' OF EACH PARKING SPACE
1 SHRUB PER 5' OF BUILDING FACADE
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI
38 SHRUBS
- PARKING PERIMETER:**
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER
PROVIDED: 65 SHRUBS
- STREETSCAPE:**
BASED ON 246 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT
RW: 246 LF - 36 LF = 210 LF
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS
PER 100 LF OF STREET FRONTAGE
REQUIRED: 17 ACI CANOPY TREES
10 ACI UNDERSTORY TREES
21 SHRUBS
PROVIDED: 6 CANOPY TREES @ 3 ACI EACH = 17 ACI
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI
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 - TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.



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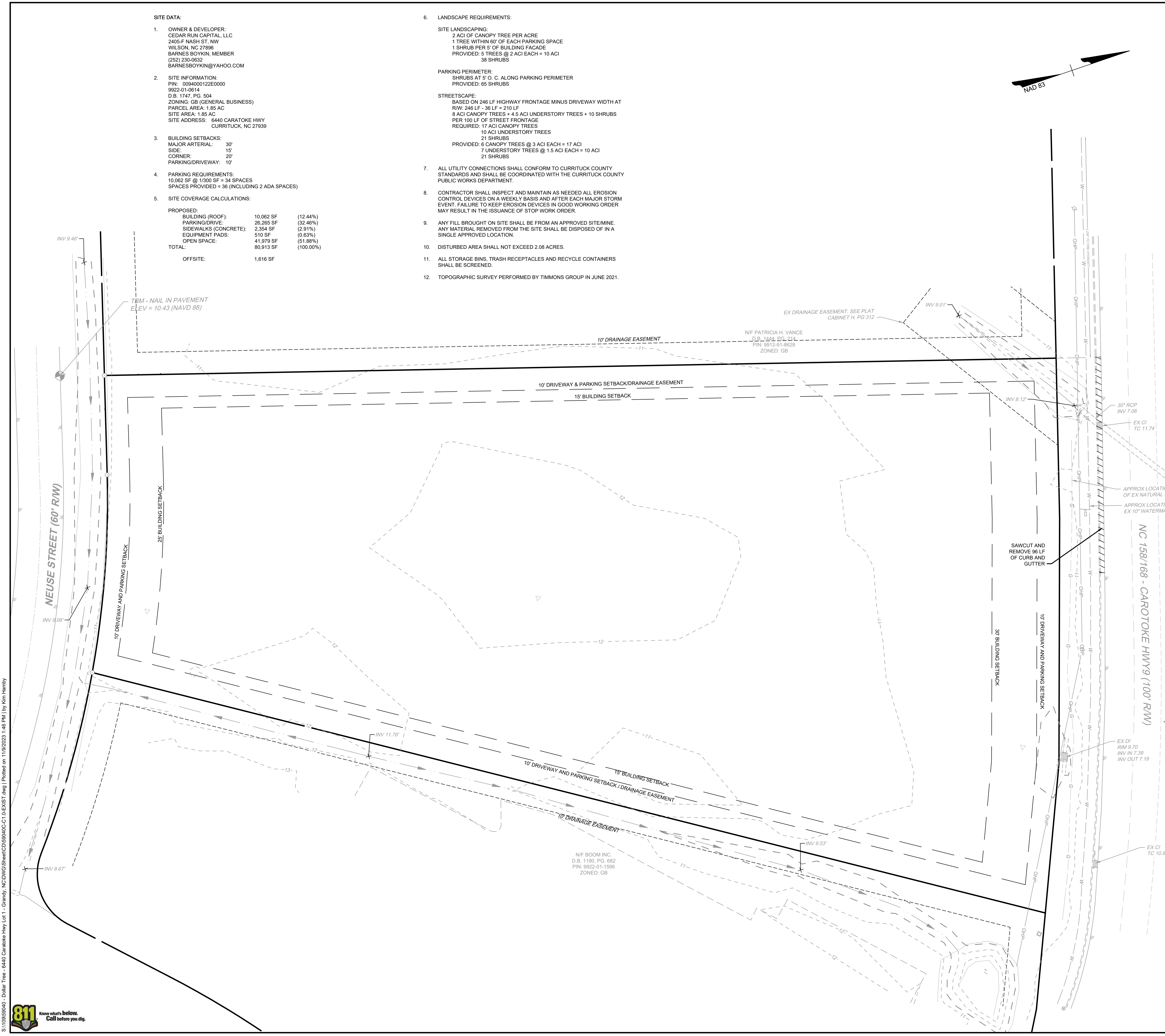
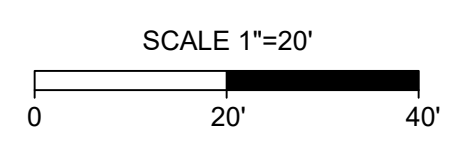
DATE: 11/09/2023
DRAWN BY: BCD
DESIGNED BY: KDH
CHECKED BY: KDH
SCALE: 1" = 20'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
DOLLAR TREE CARATOKE HWY
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
EXISTING CONDITIONS

JOB NO.: 59040
SHEET NO.: C1.0

LEGEND

- BENCHMARK
- EXISTING IRON REBAR (EIR)
- CONCRETE MONUMENT
- EXISTING IRON PIPE
- CALCULATED POINT
- EX FIRE HYDRANT
- EX WATER VALVE
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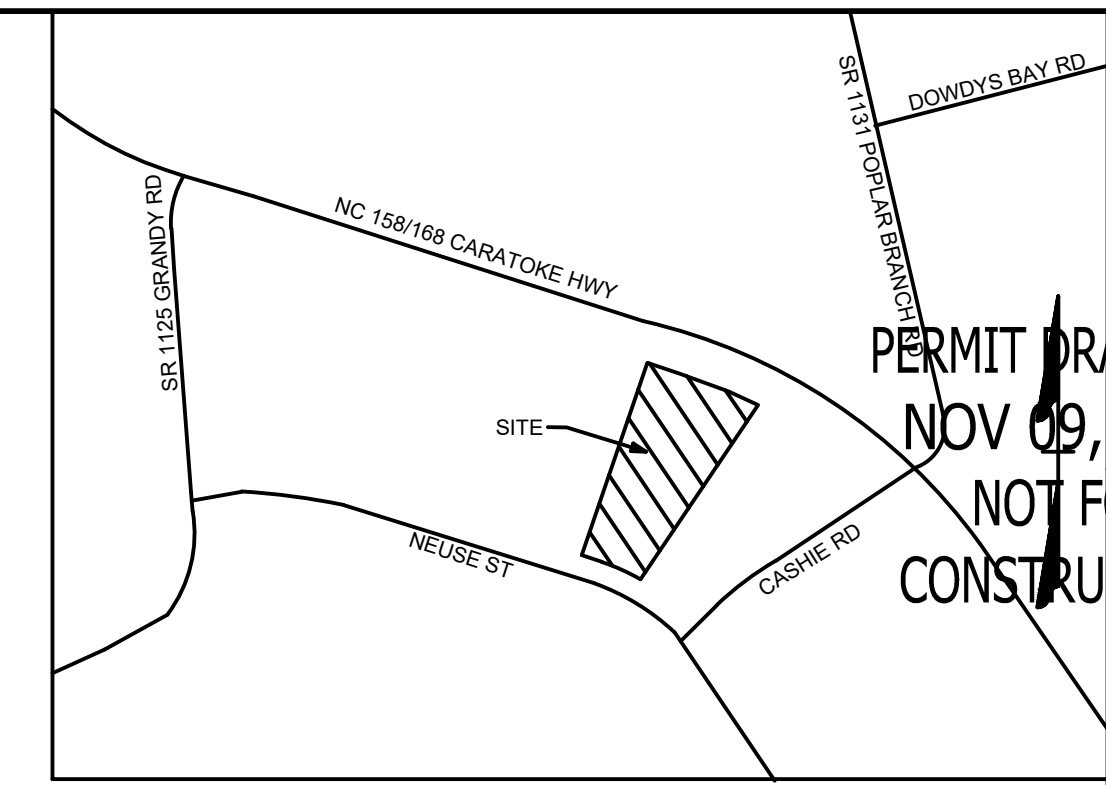
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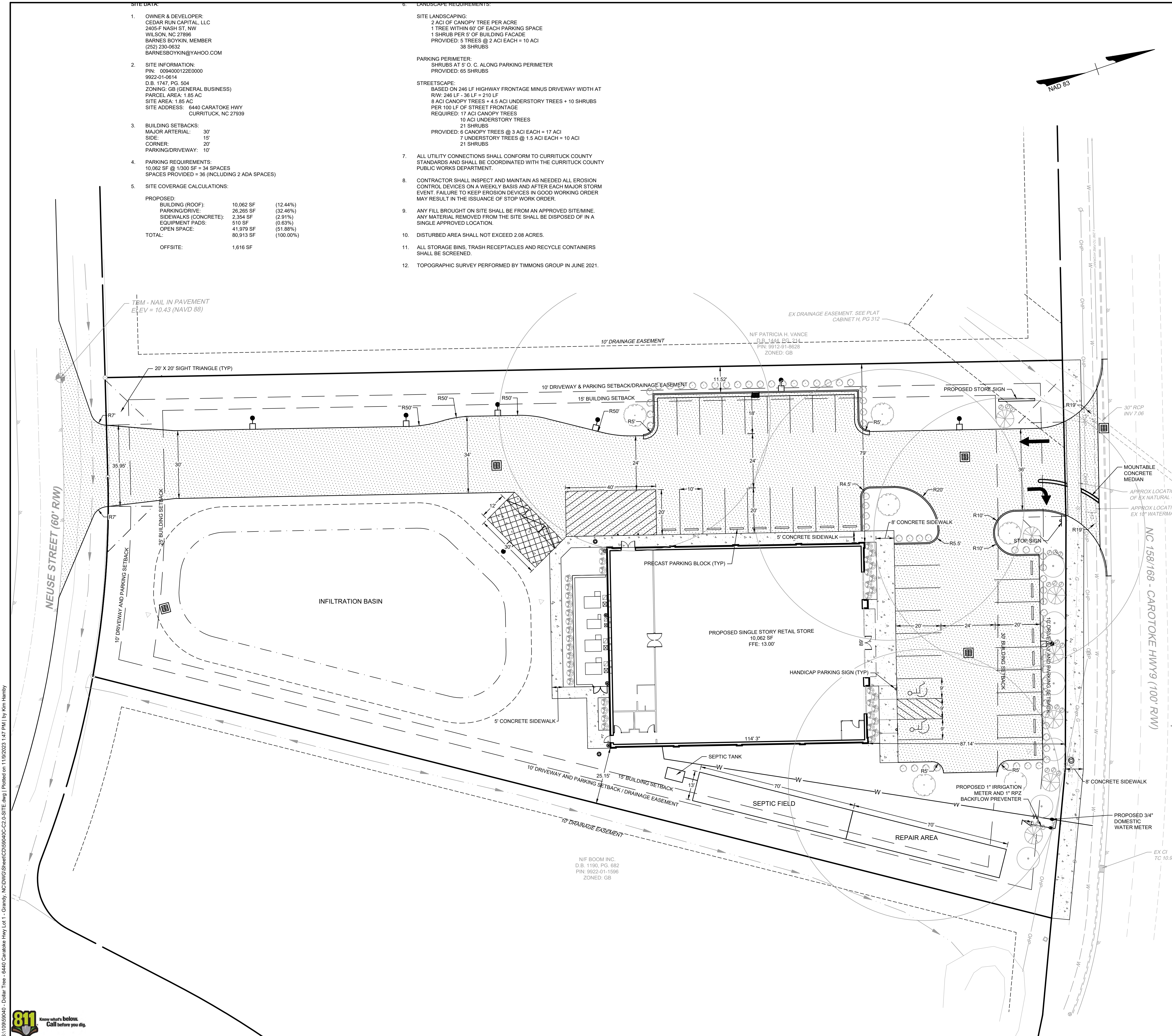
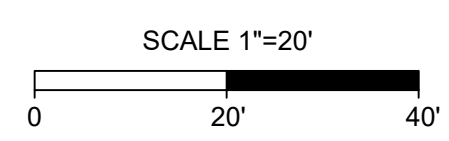
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TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
DOLLAR TREE CARATOKE HWY
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
SITE & UTILITY PLAN

JOB NO.: 59040
SHEET NO.: C2.0

LEGEND

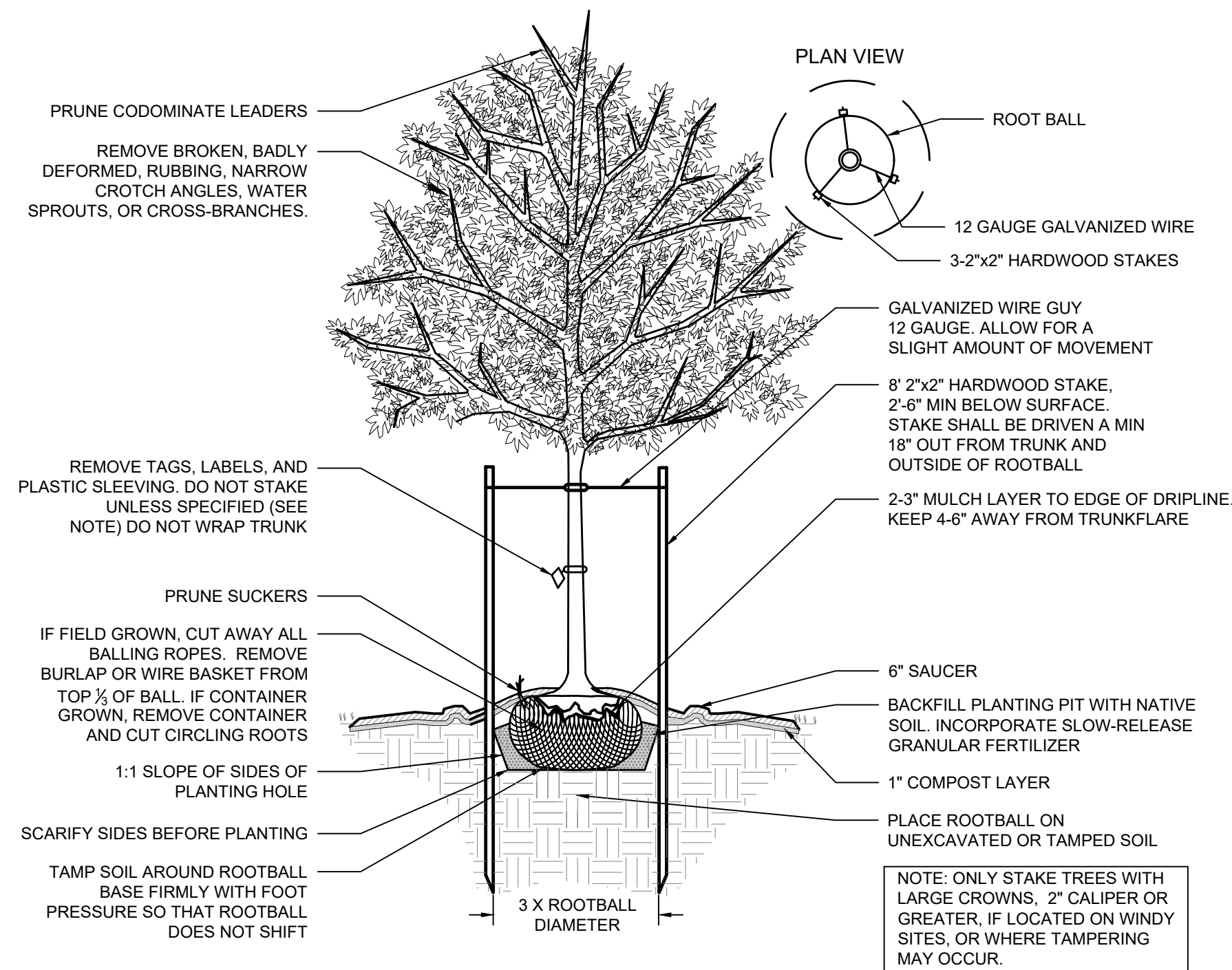
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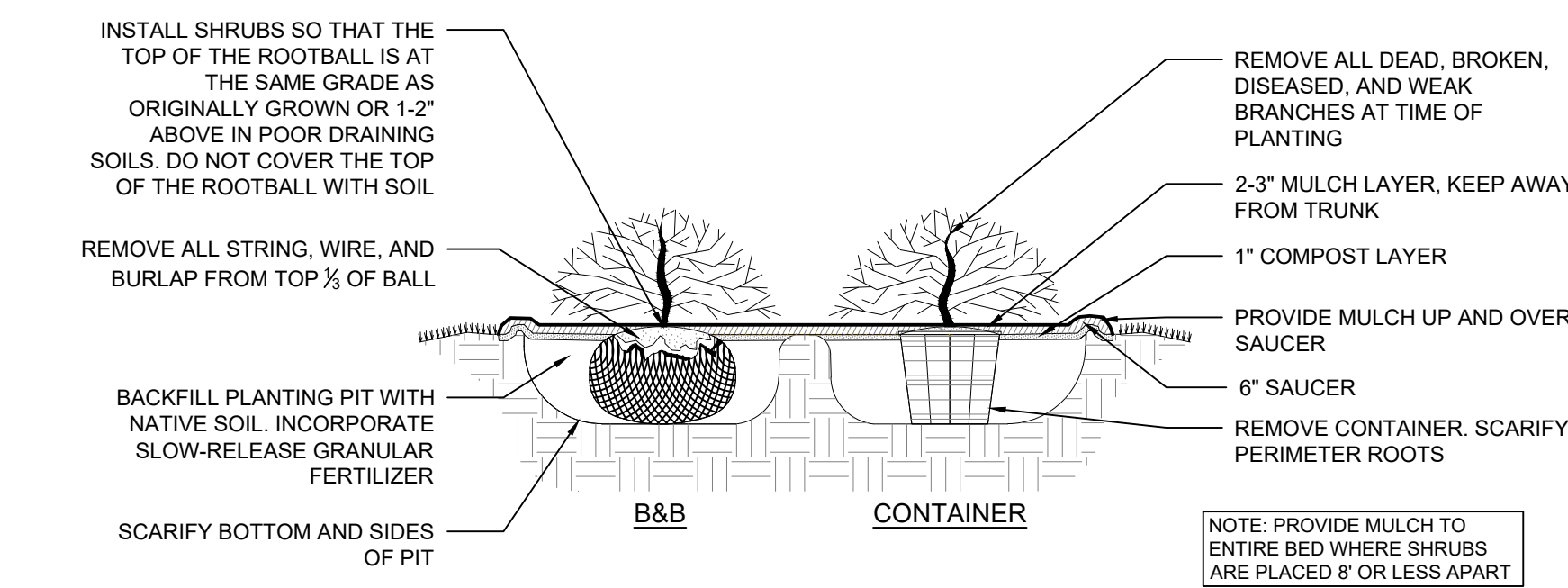
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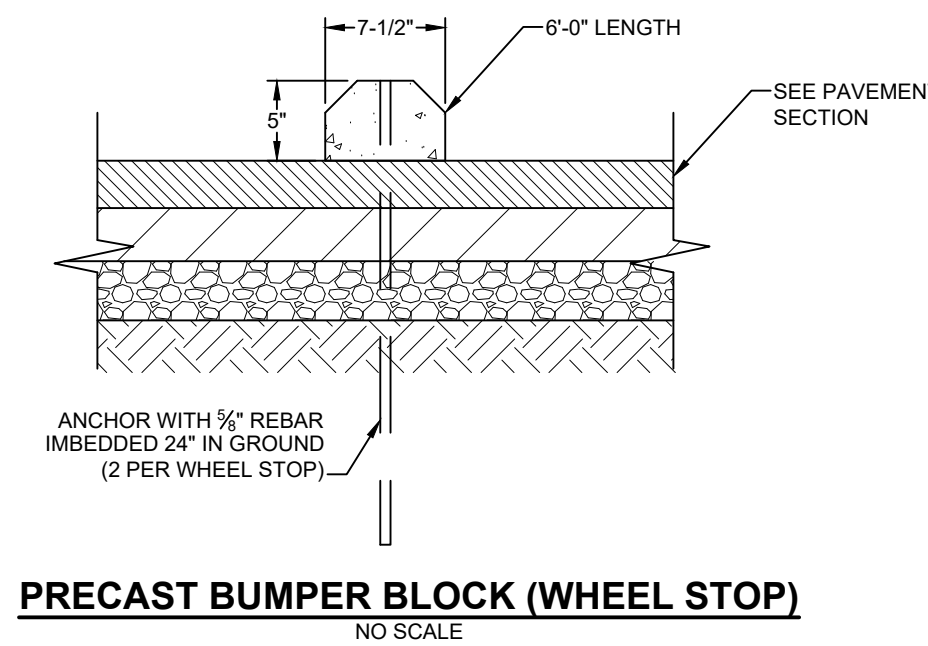
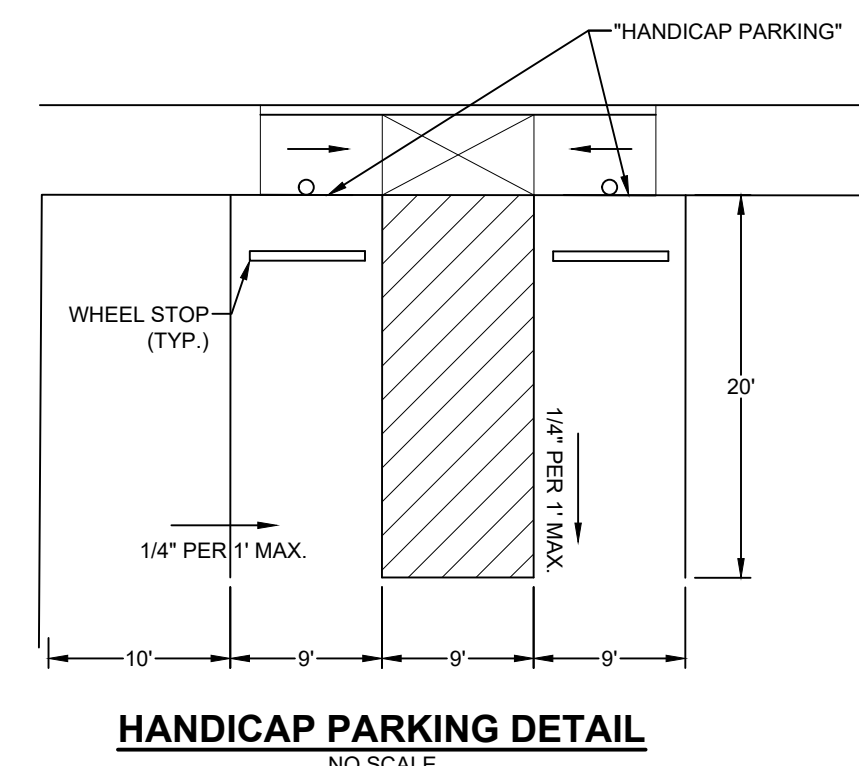
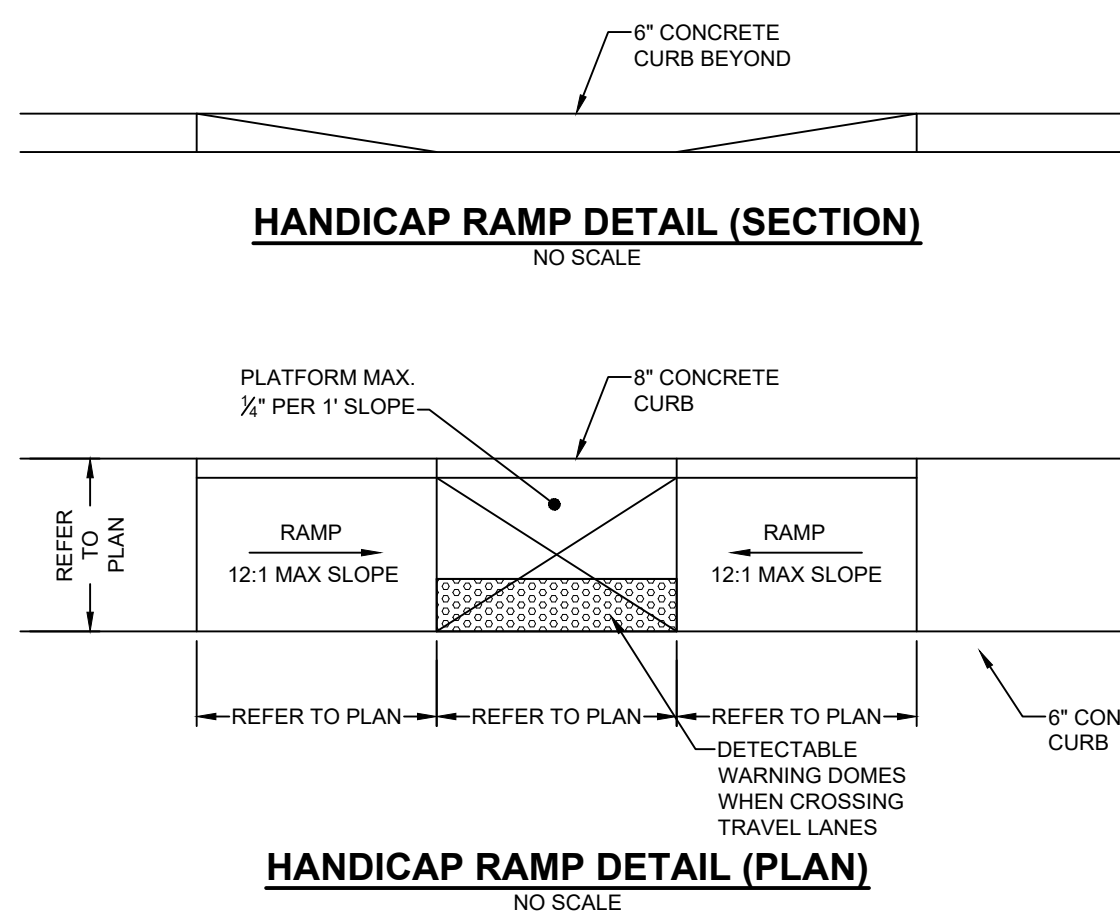


CANOPY TREE DETAIL
NO SCALE

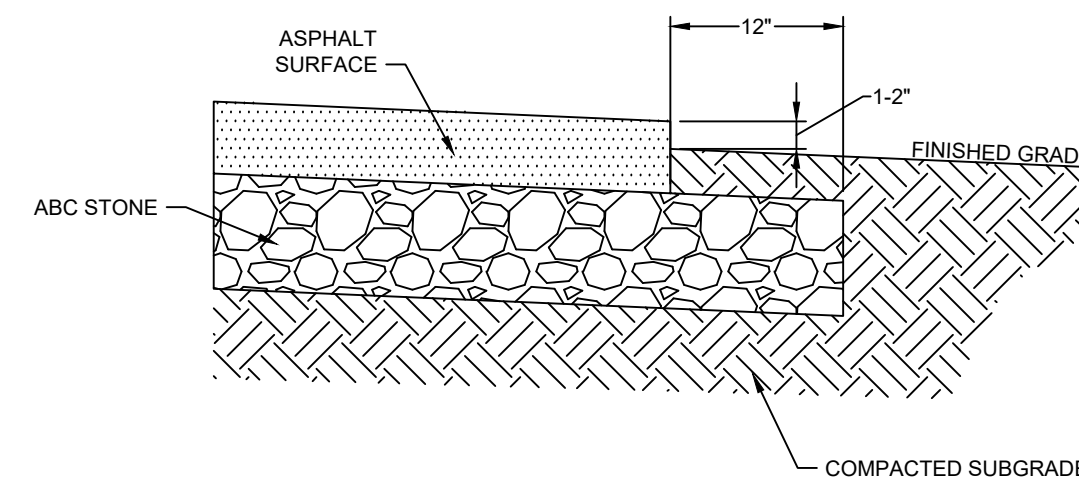


SHRUB DETAIL
NO SCALE

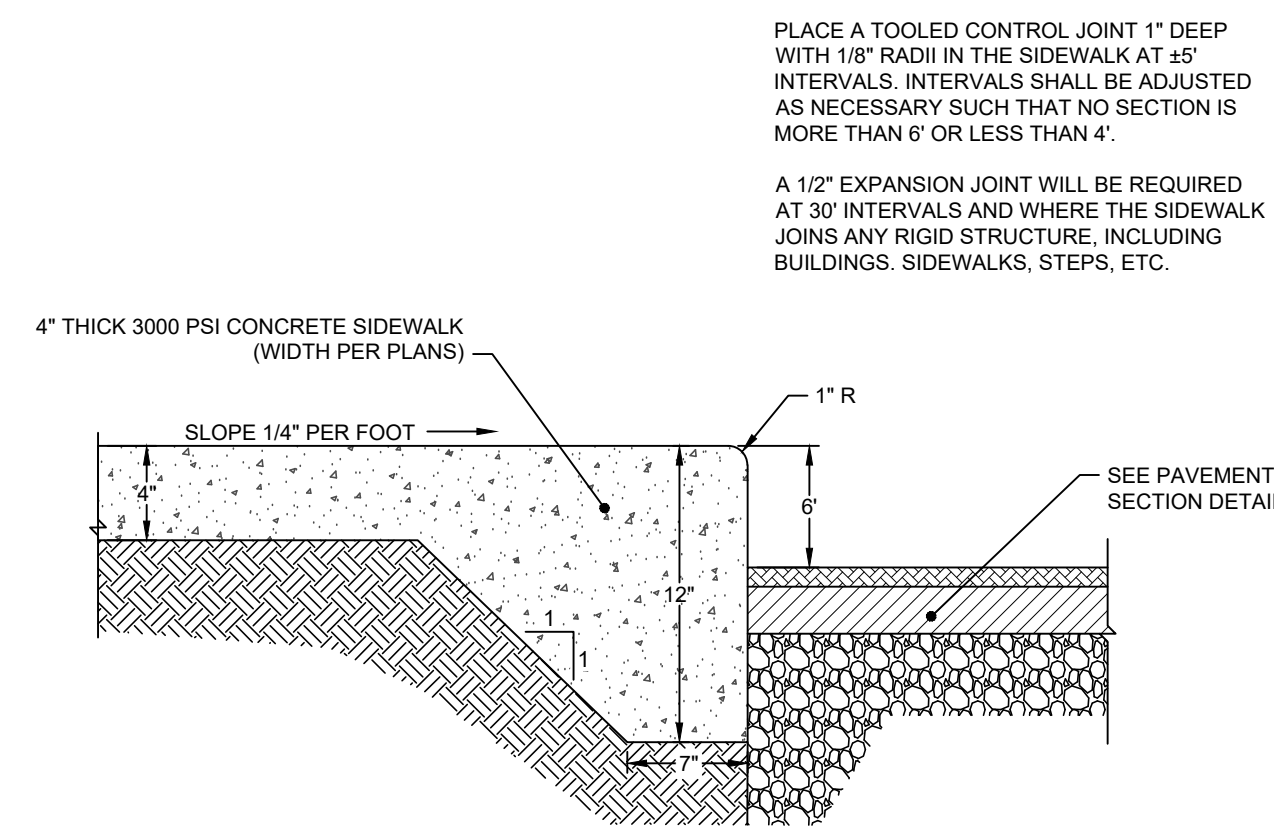
- NOTES:
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN ON PLANS OR DIRECTED BY THE ENGINEER.
 - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 12:1 (8.33%) MAXIMUM SLOPE.
 - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
 - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10:1 (10%) MEASURED ALONG THE CURB LINE.
 - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
 - CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4' X 4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AND AS SHOWN ON NCDOT 848.01.



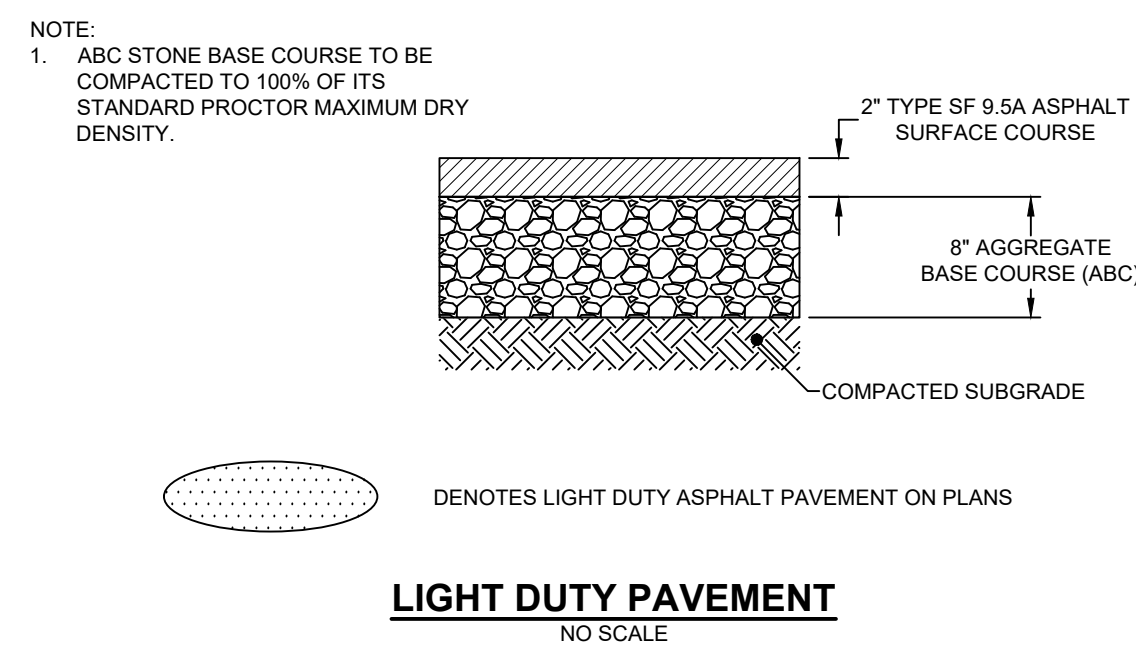
PRECAST BUMPER BLOCK (WHEEL STOP)
NO SCALE



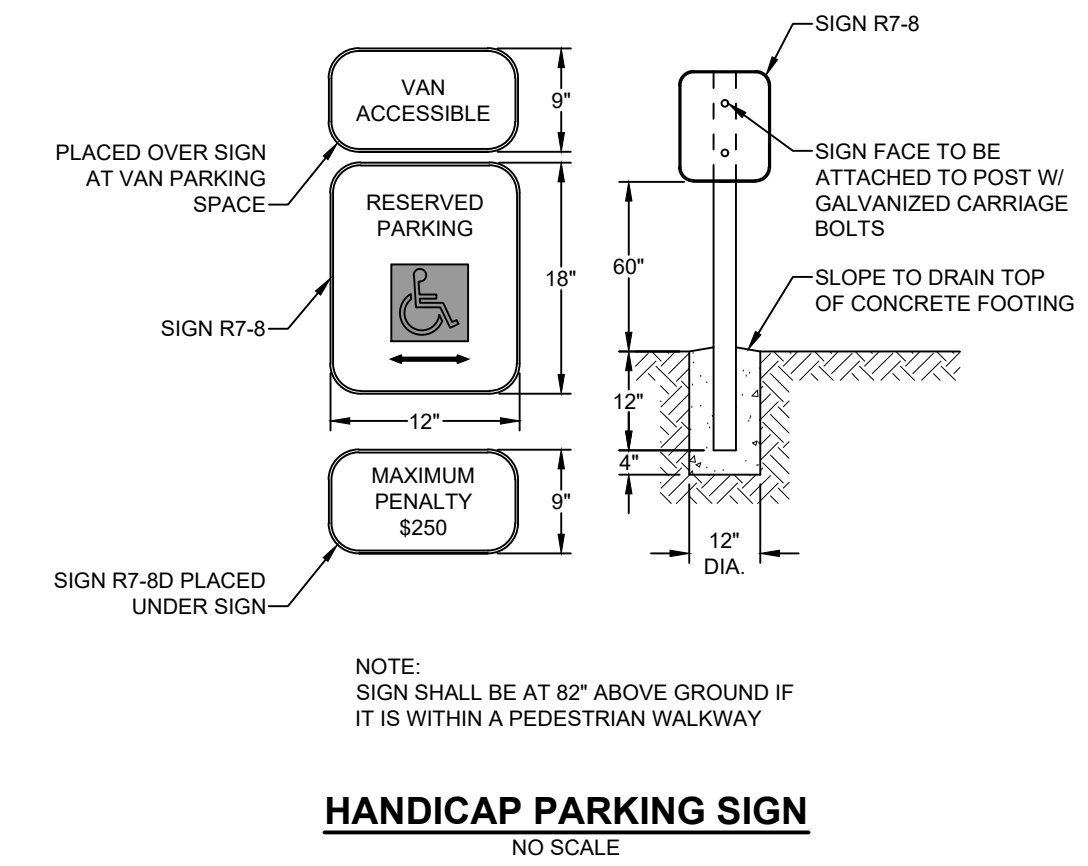
EDGE OF PAVEMENT
NO SCALE



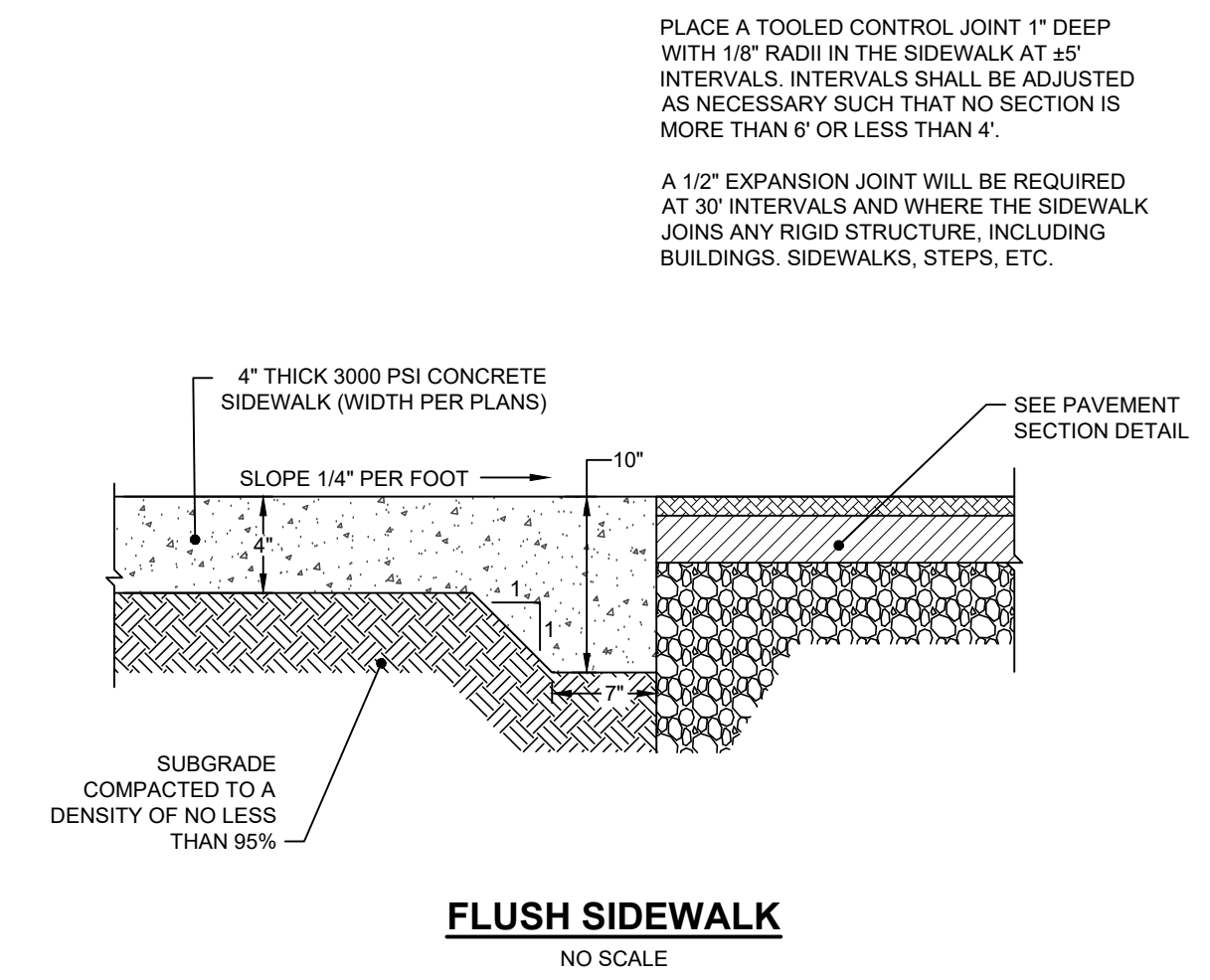
TURNDOWN SIDEWALK
NO SCALE



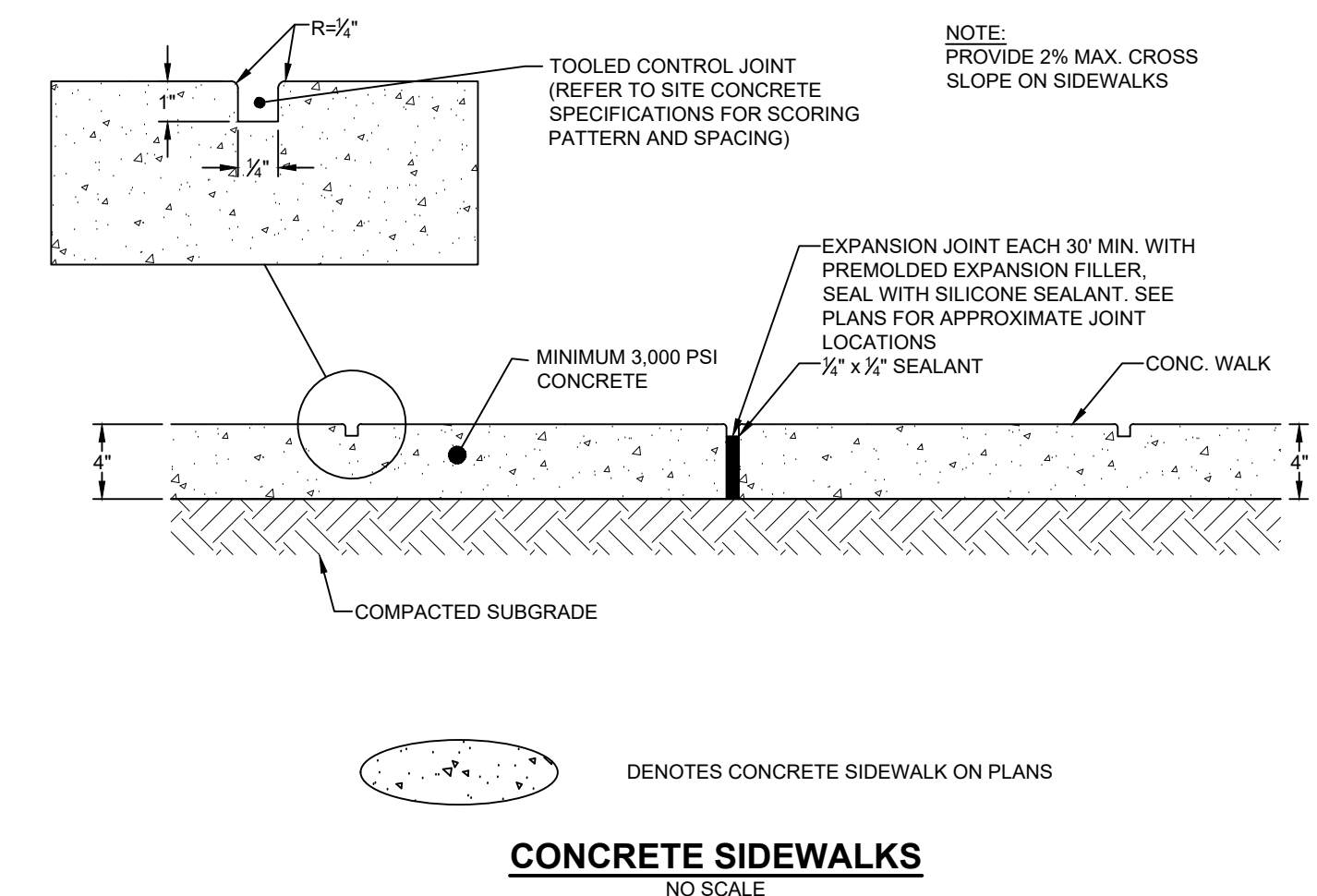
LIGHT DUTY PAVEMENT
NO SCALE



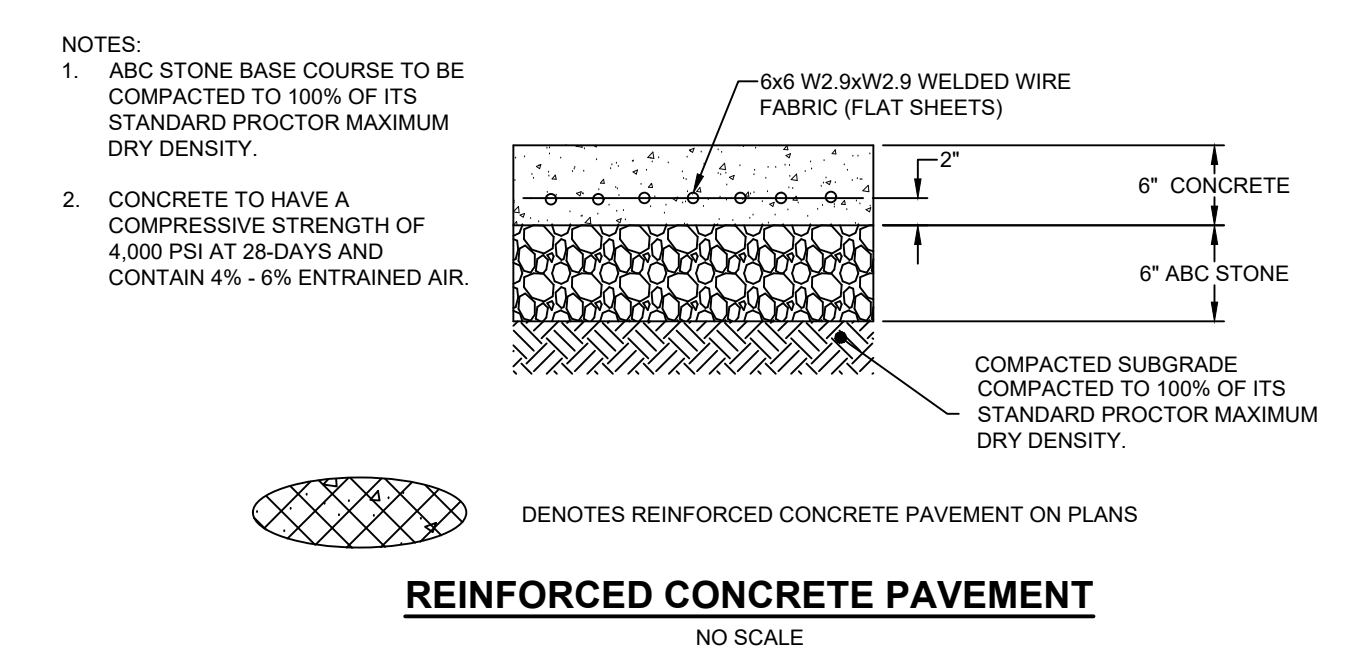
HANDICAP PARKING SIGN
NO SCALE



FLUSH SIDEWALK
NO SCALE



CONCRETE SIDEWALKS
NO SCALE



REINFORCED CONCRETE PAVEMENT
NO SCALE



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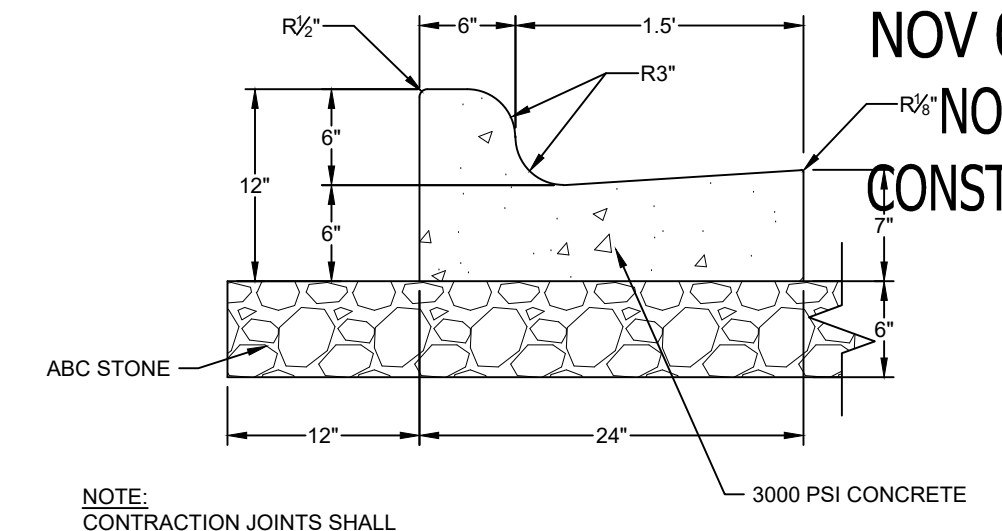
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
DOLLAR TREE CARATOKE HWY
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
SITE DETAILS

JOB NO. 59040
SHEET NO. C2.1





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24" STANDARD CURB & GUTTER
NO SCALE

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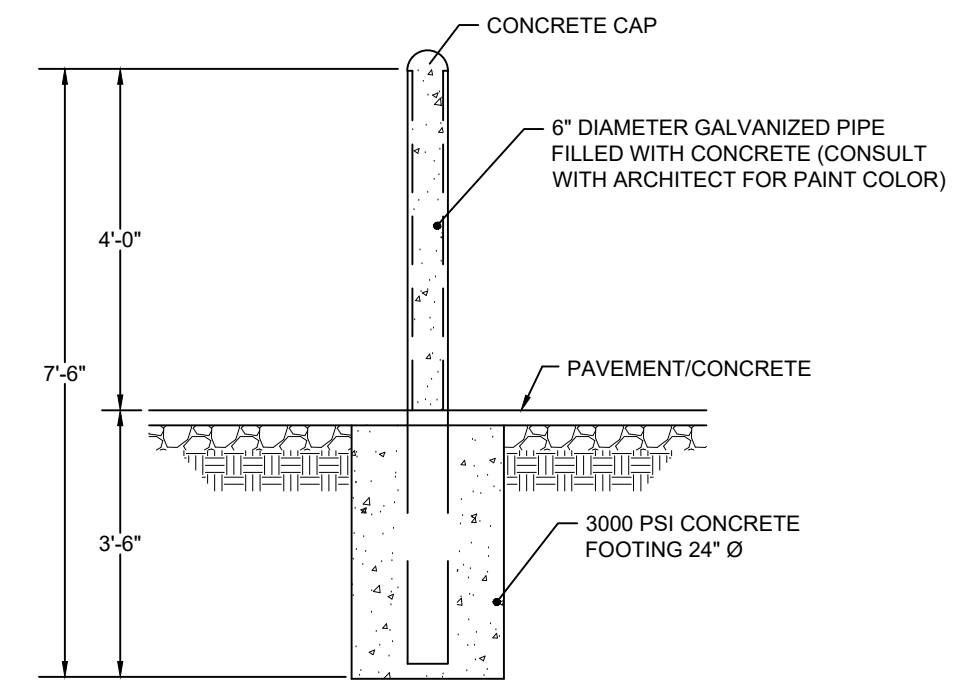
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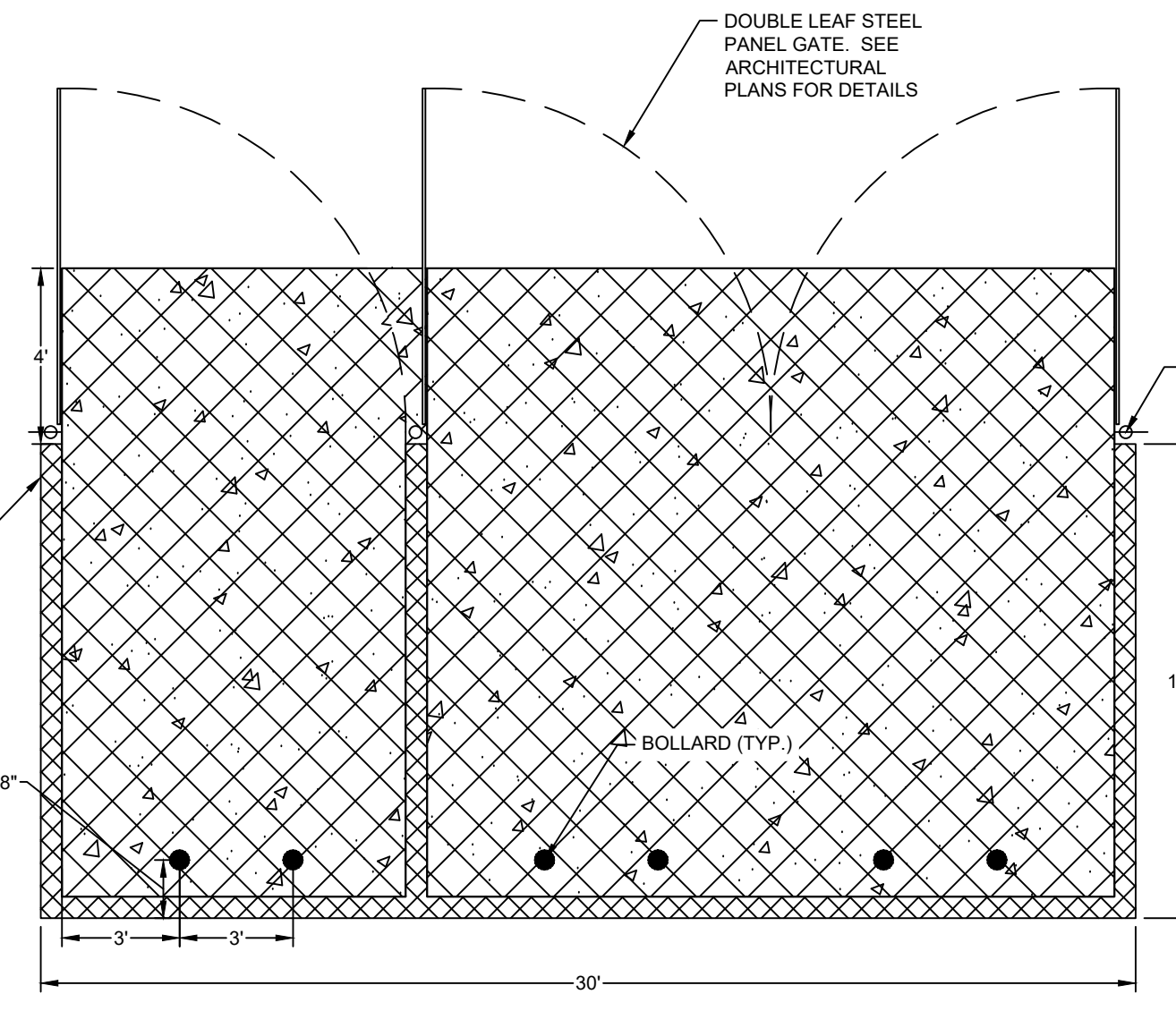
DOLLAR TREE CARATOKE HWY
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA

SITE DETAILS

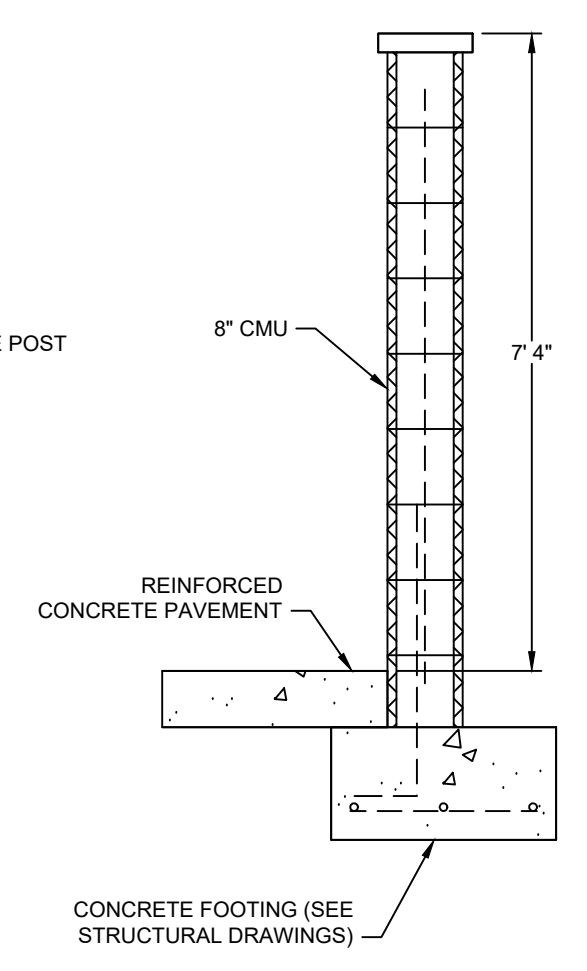
JOB NO.	59040
SHEET NO.	C2.2



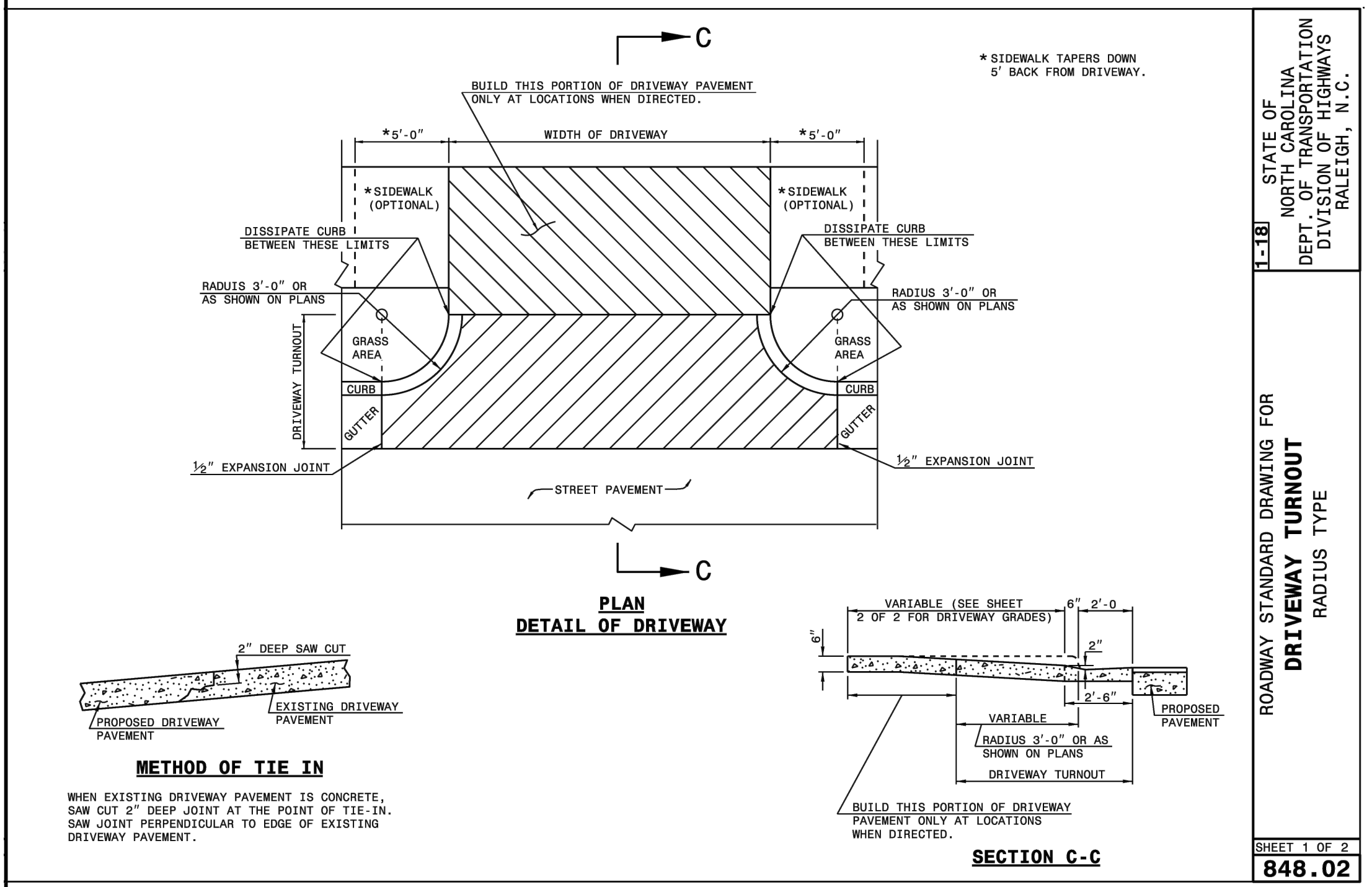
BOLLARD
NO SCALE



DUMPSTER PAD DETAIL
NO SCALE



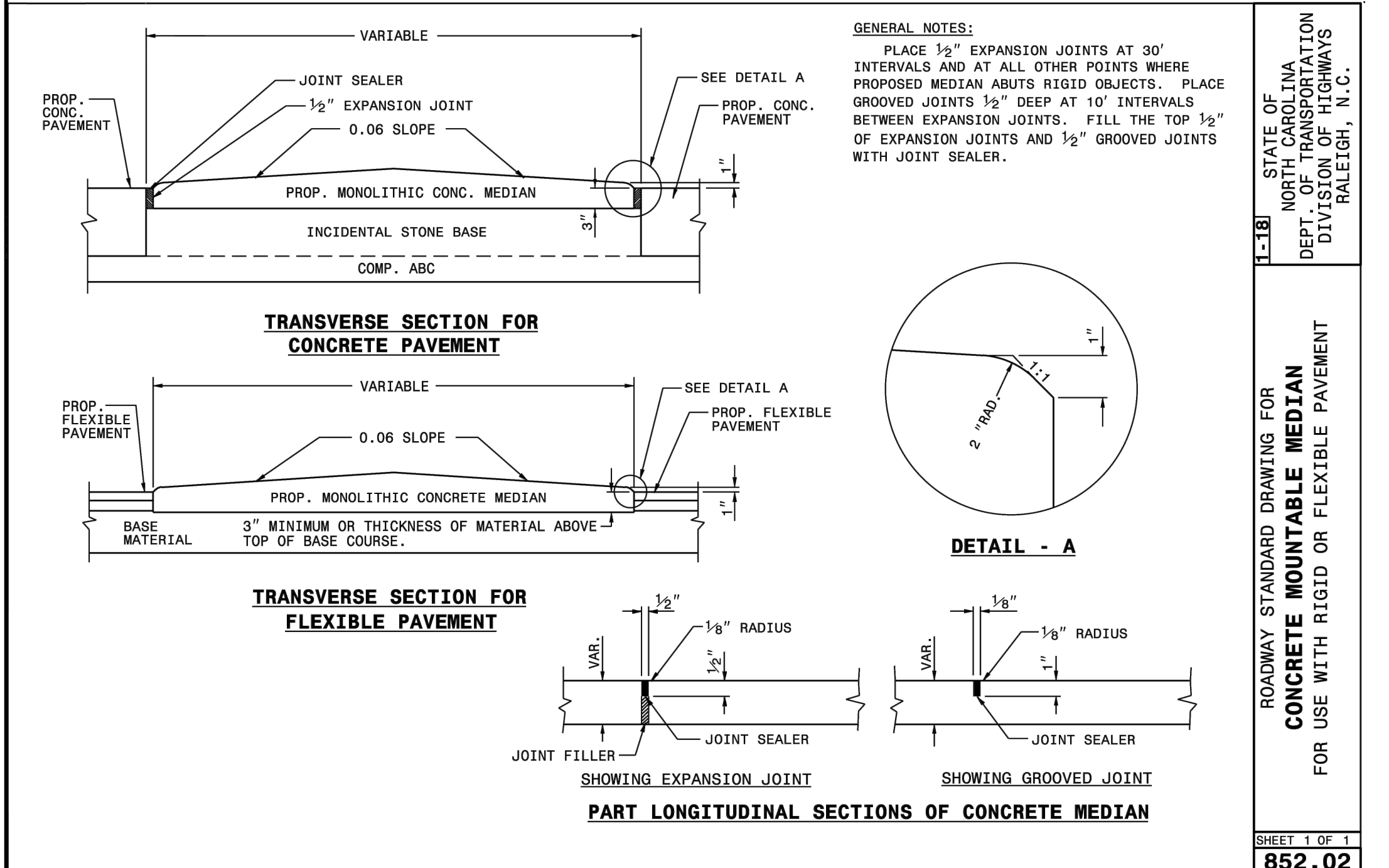
CURB WIPEDOWN
NO SCALE



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
DRIVEWAY TURNOUT
RADIUS TYPE

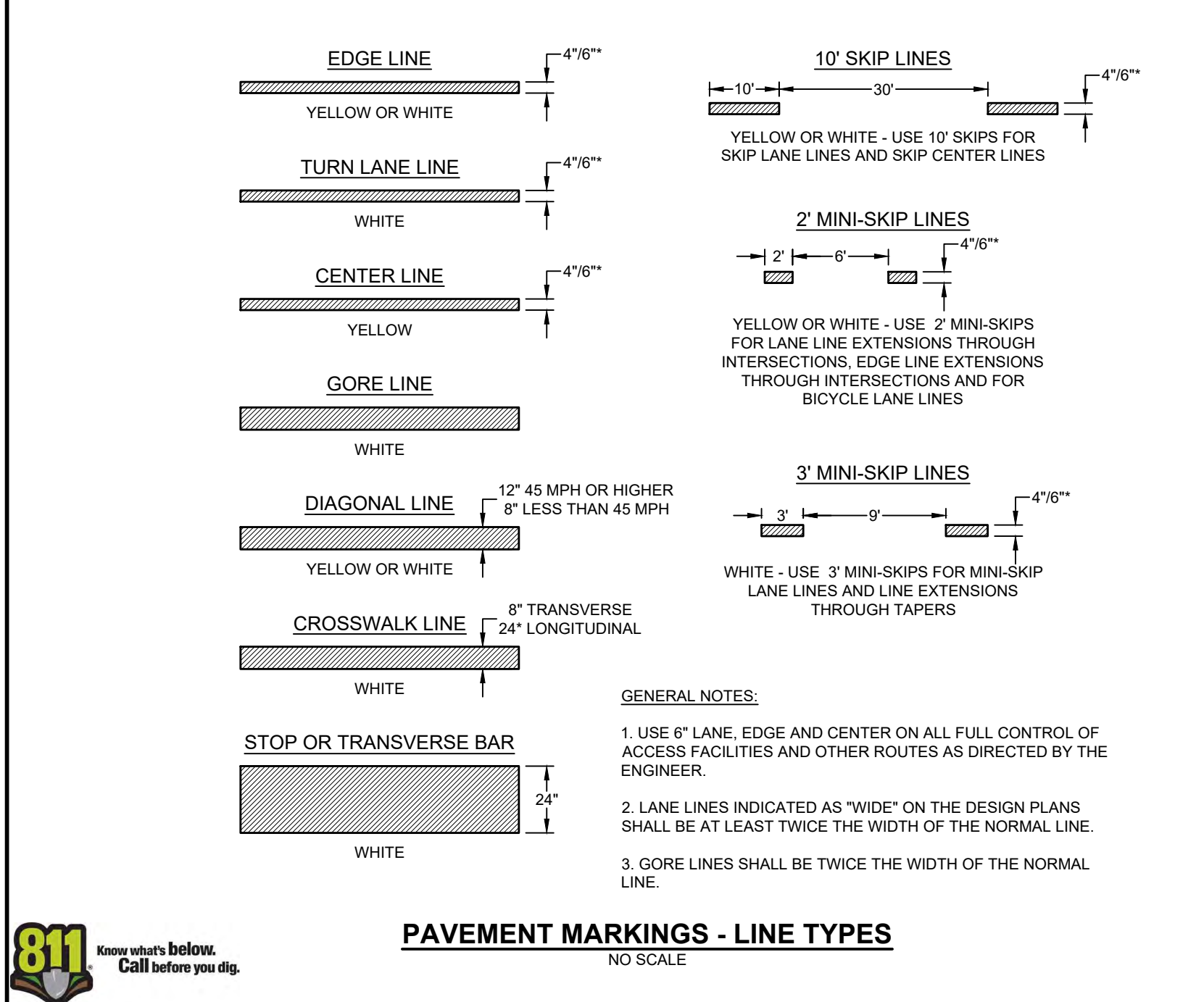
SHEET 1 OF 2
848.02



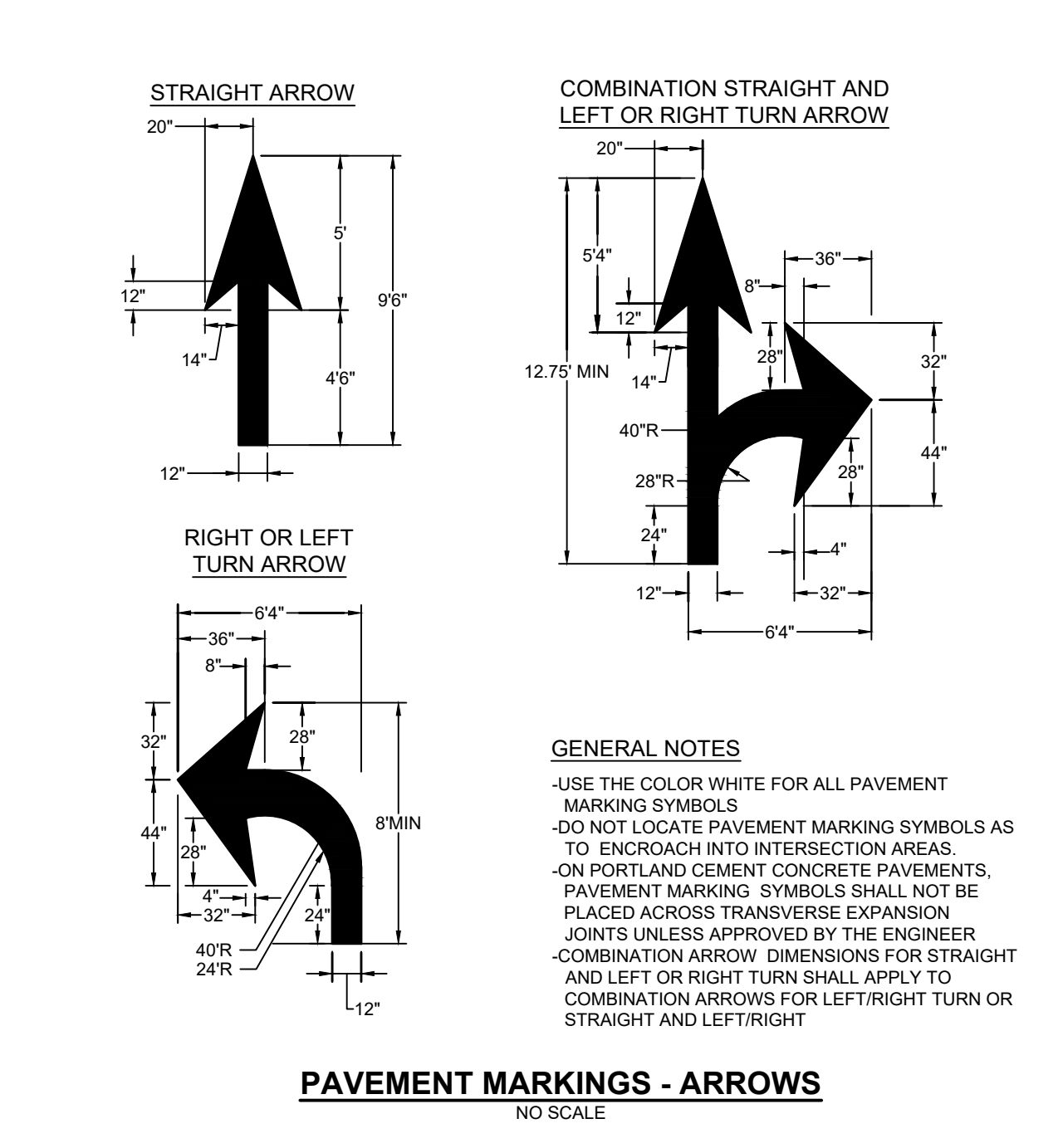
STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE MOUNTABLE MEDIAN
FOR USE WITH RIGID OR FLEXIBLE PAVEMENT

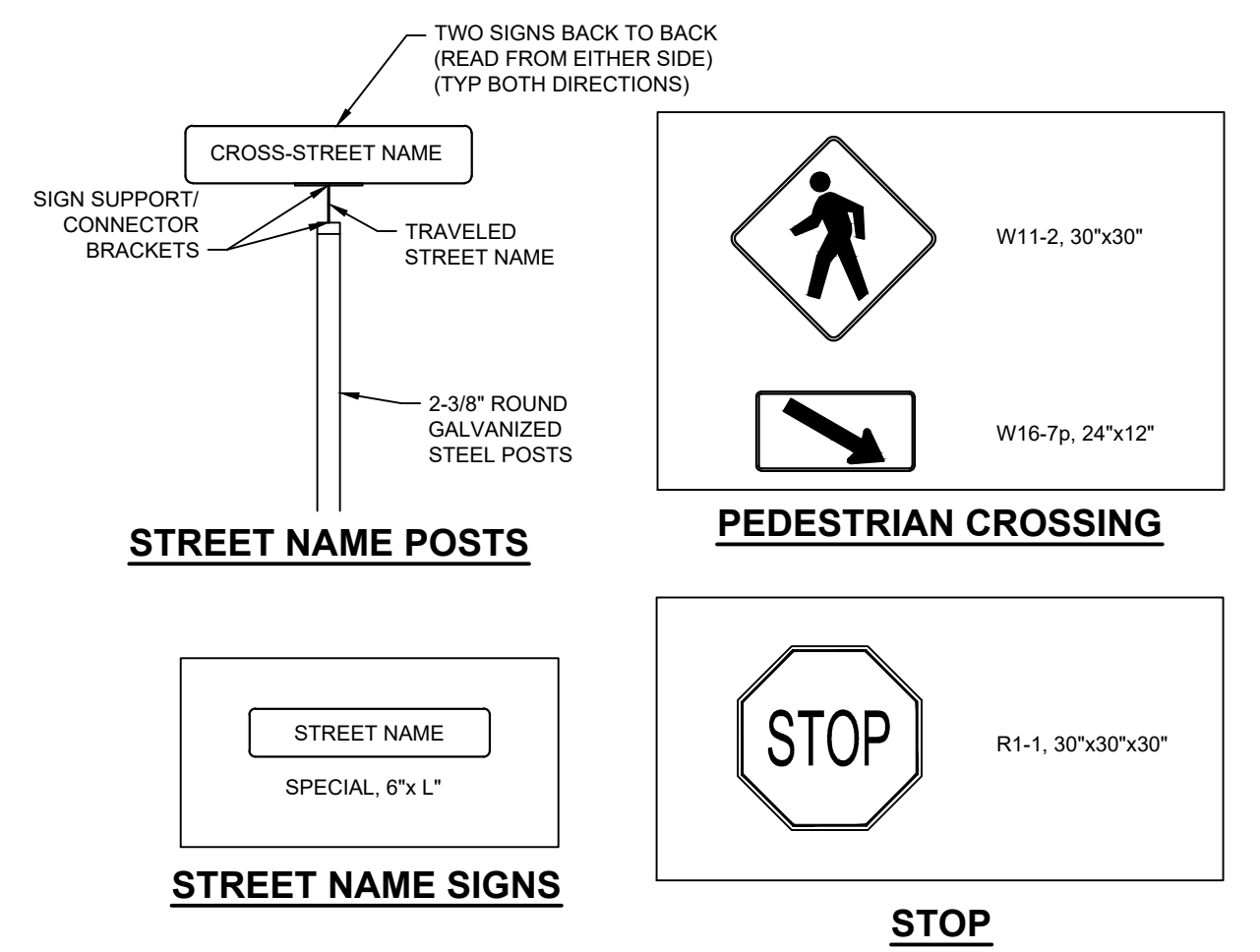
SHEET 1 OF 1
852.02



PAVEMENT MARKINGS - LINE TYPES
NO SCALE



PAVEMENT MARKINGS - ARROWS
NO SCALE

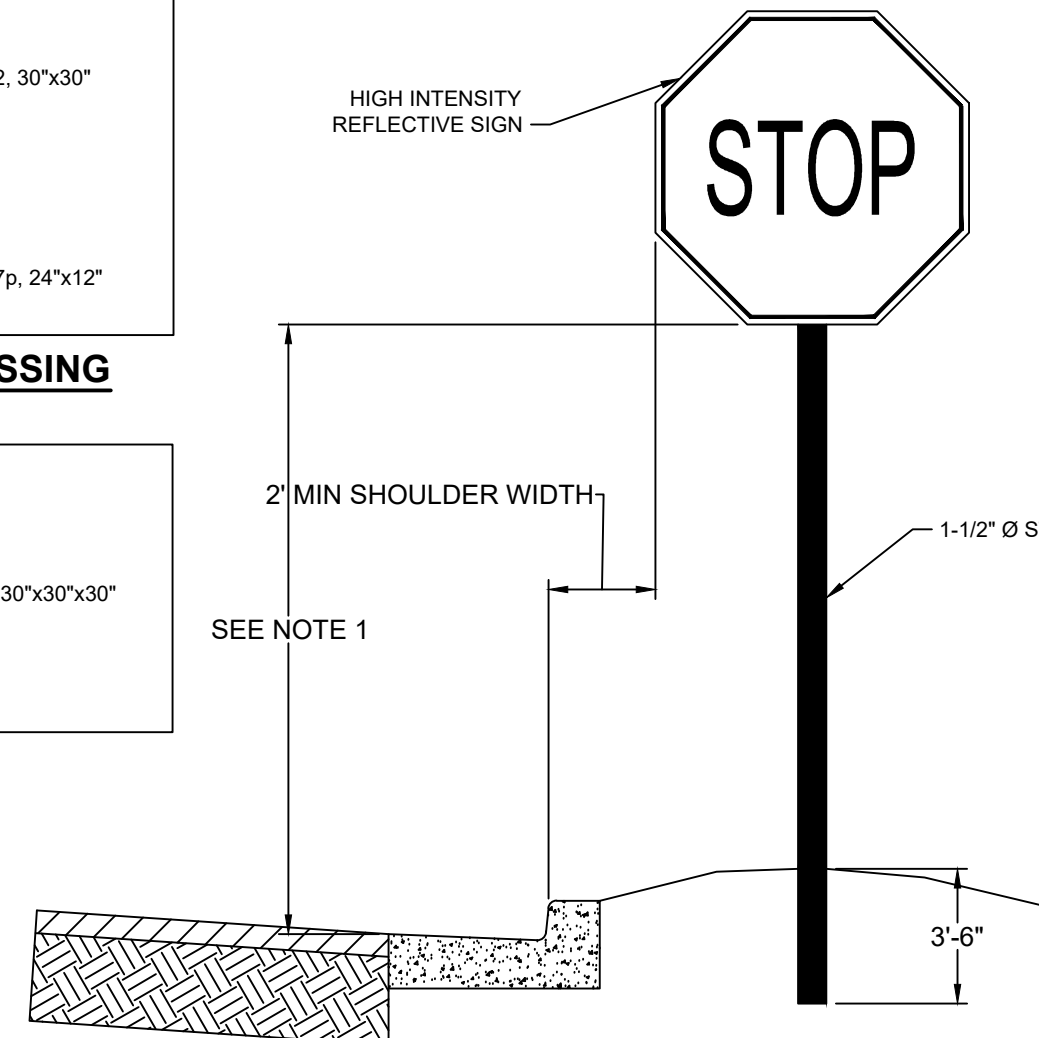


STREET NAME POSTS

STREET NAME SIGNS

PEDESTRIAN CROSSING

STOP



TYPICAL SIGN DETAIL
NO SCALE

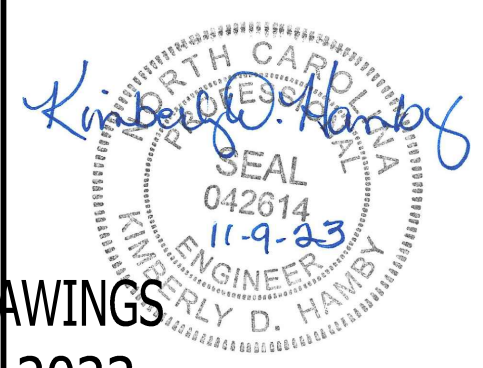
NOTES:

- SIGN SHALL BE ERECTED WITH THE BOTTOM OF SIGN ASSEMBLY 6 FT. ABOVE THE EDGE OF THE TRAVEL LANE ON FREEWAYS AND 5 FT. ON OTHER ROUTES. THE VERTICAL CLEARANCE SHALL BE 7 FT. WHERE REQUIRED FOR PEDESTRIAN TRAFFIC AND/OR PARKED VEHICLES, OR A 6 FT. + MINIMUM CLEARANCE TO THE SIDEWALK OR WALKING SURFACE.
- THE VERTICAL DIMENSIONS BETWEEN MOUNTING HOLE CENTERS SHALL BE 30" MAXIMUM. THE VERTICAL AND HORIZONTAL DIMENSIONS BETWEEN MOUNTING HOLES SHALL BE TO THE WHOLE INCH. SIGN SHALL HAVE A MINIMUM OF 2 BOLTS PER SUPPORT.
- BOLT THREADS SHALL BE DEFORMED WITH PUNCH AND CHISEL AFTER INSTALLATION SUFFICIENTLY TO REDUCE REMOVAL BY VANDALS.

S:\10856340 - Dollar Tree - 6440 Caratoke Hwy Lot 1 - Granby, NC\DWG\Sheet\C2\02\01\01.dwg | Printed on 11/09/2023 1:38 PM | by Kim Hamby



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11/09/2023	08/23/2023

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SCALE	N/A

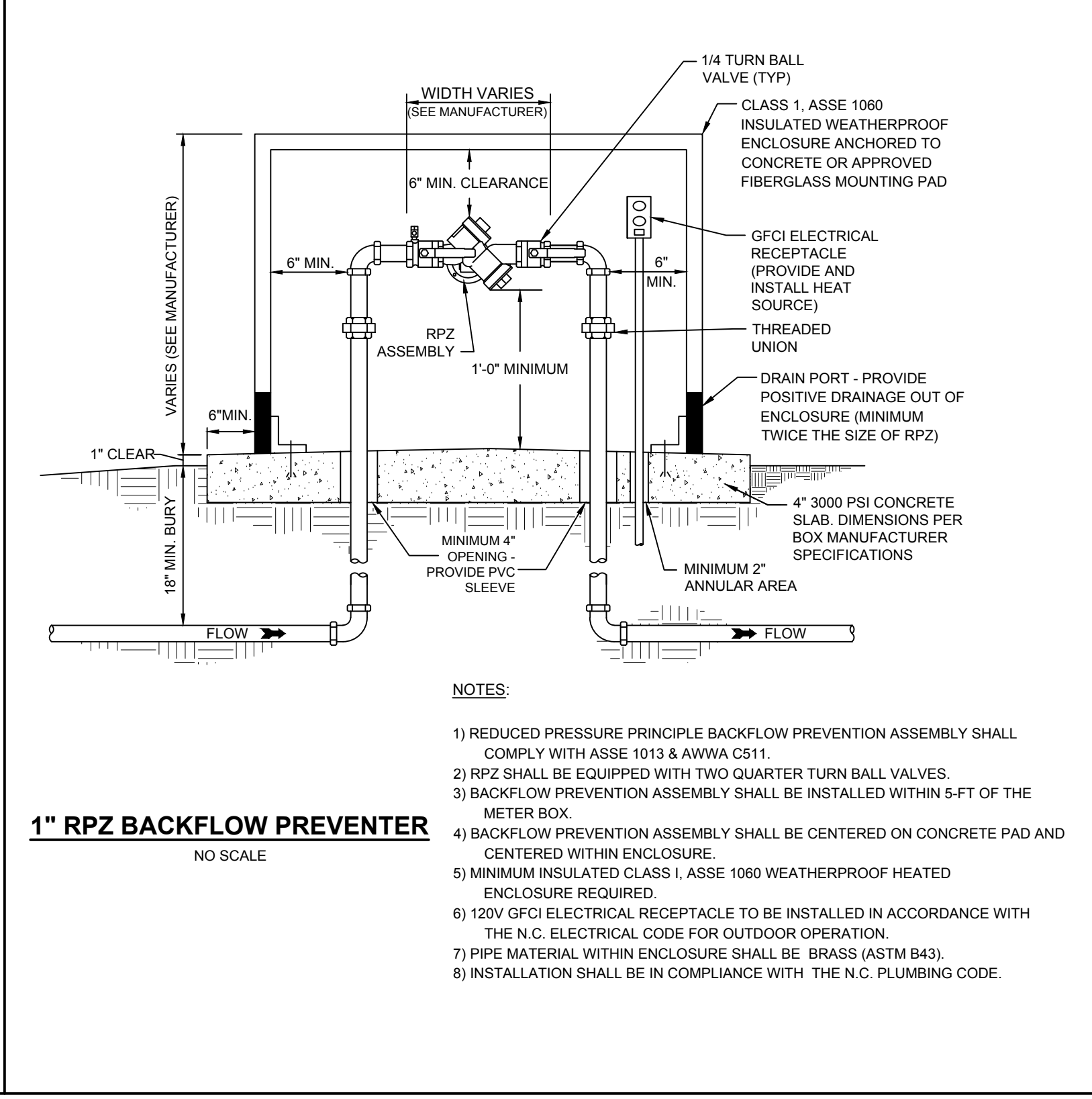
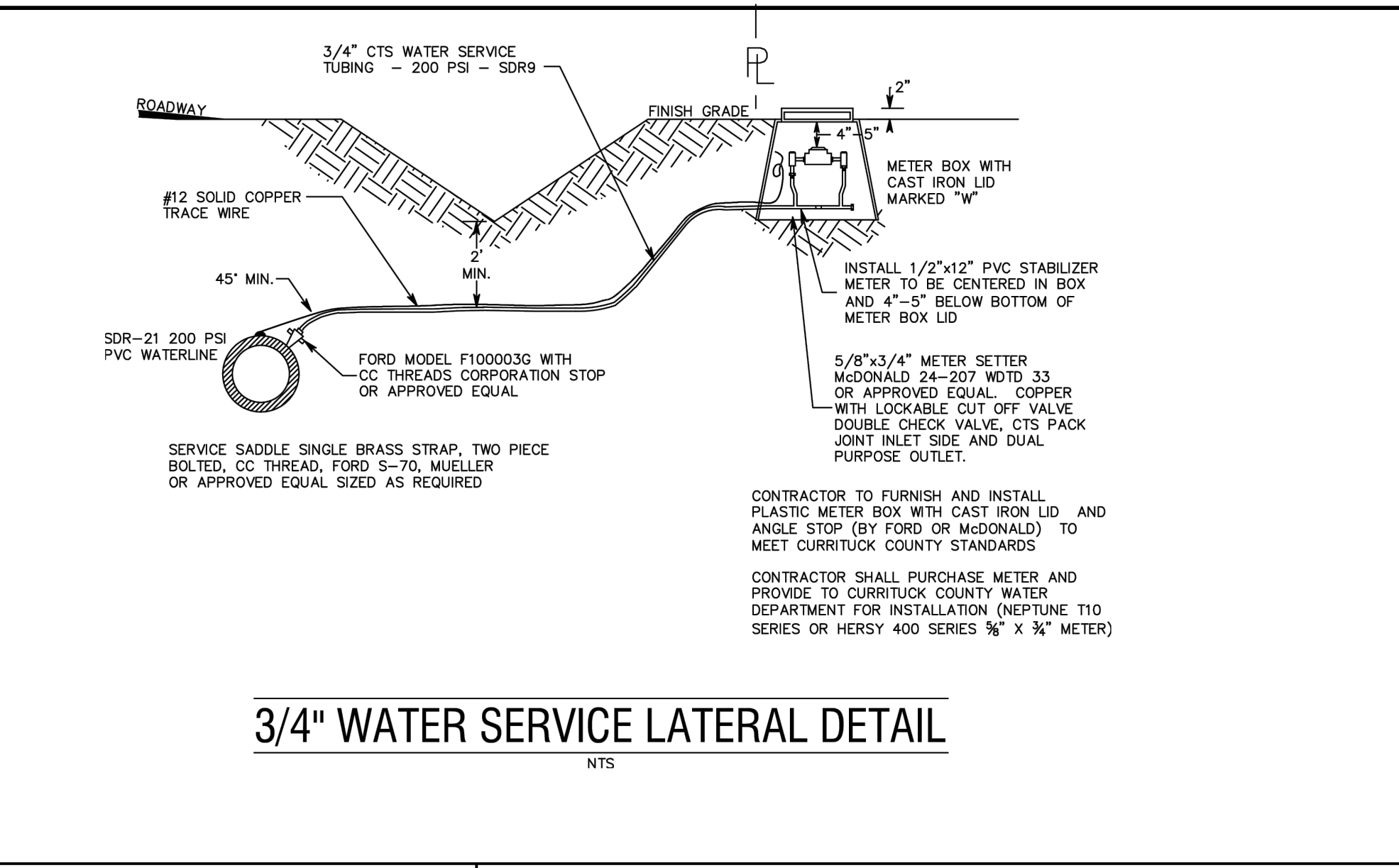
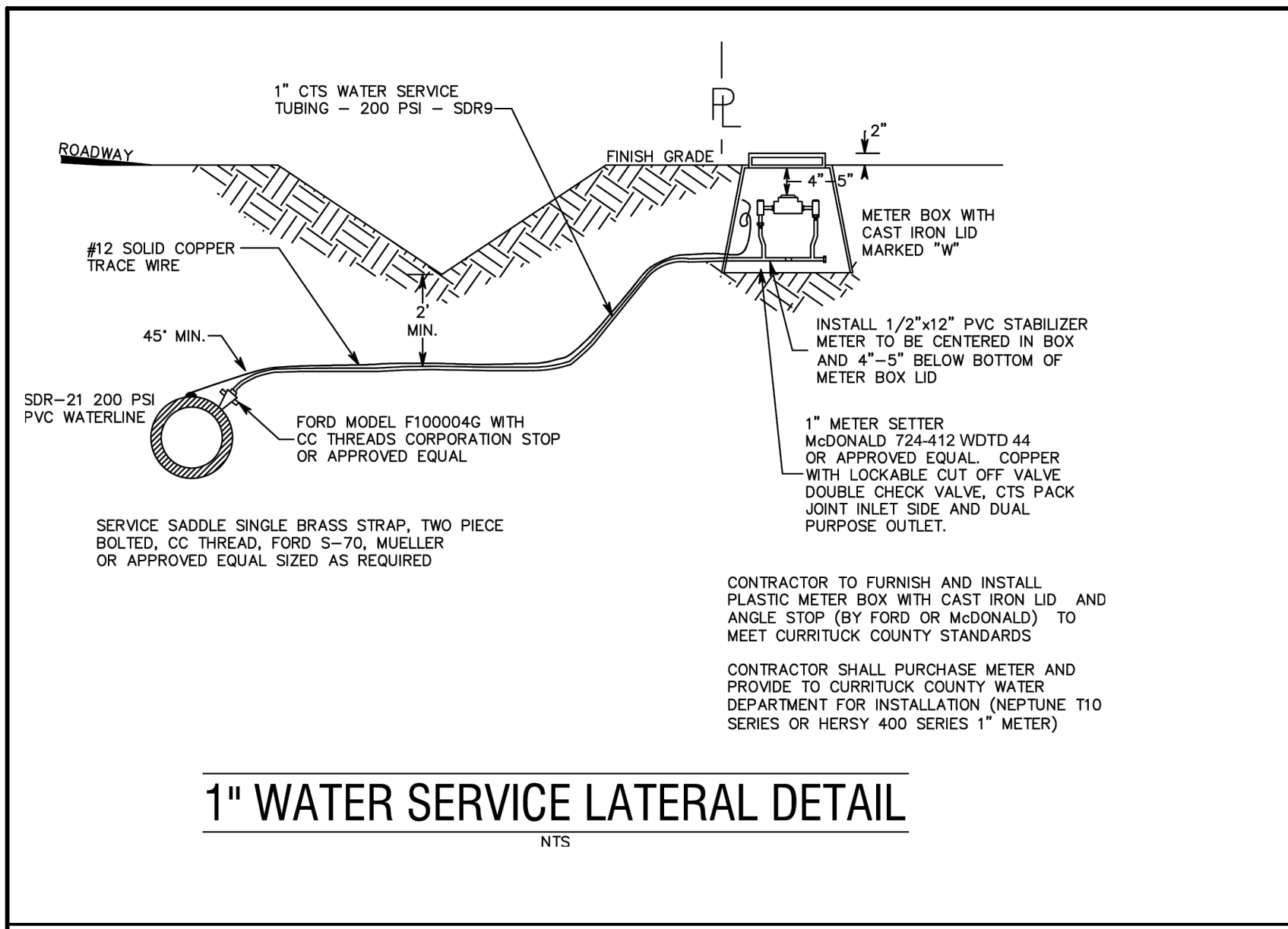
TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652

DOLLAR TREE CARATOKE HWY
 POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA

SITE DETAILS

JOB NO.	59040
SHEET NO.	C2.3

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SITE DATA:

- OWNER & DEVELOPER:
CEDAR RUN CAPITAL, LLC
2405-F NASH ST. NW
WILSON, NC 27896
BARNES BOYKIN, MEMBER
(252) 230-0632
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:
PIN: 0094000122E0000
9922-01-0614
D.B. 1747, PG. 504
ZONING: GB (GENERAL BUSINESS)
PARCEL AREA: 1.85 AC
SITE AREA: 1.85 AC
SITE ADDRESS: 6440 CARATOKE HWY
CURRITUCK, NC 27939
- BUILDING SETBACKS:
MAJOR ARTERIAL: 30'
SIDE: 15'
CORNER: 20'
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:
10,962 SF @ 1300 SF = 84 SPACES
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:
PROPOSED:
BUILDING (ROOF): 10,962 SF (12.44%)
PARKING/DRIVE: 26,265 SF (32.46%)
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)
EQUIPMENT PADS: 510 SF (0.63%)
OPEN SPACE: 41,979 SF (51.88%)
TOTAL: 80,913 SF (100.00%)
OFFSITE: 1,616 SF

6. LANDSCAPE REQUIREMENTS:

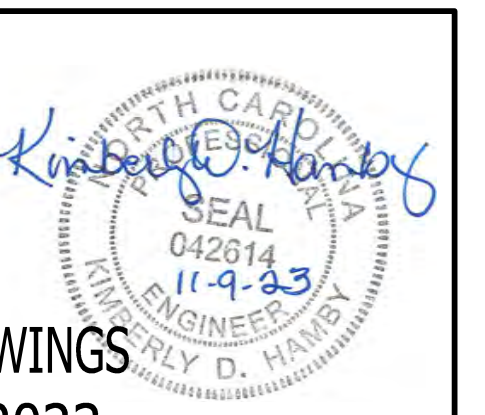
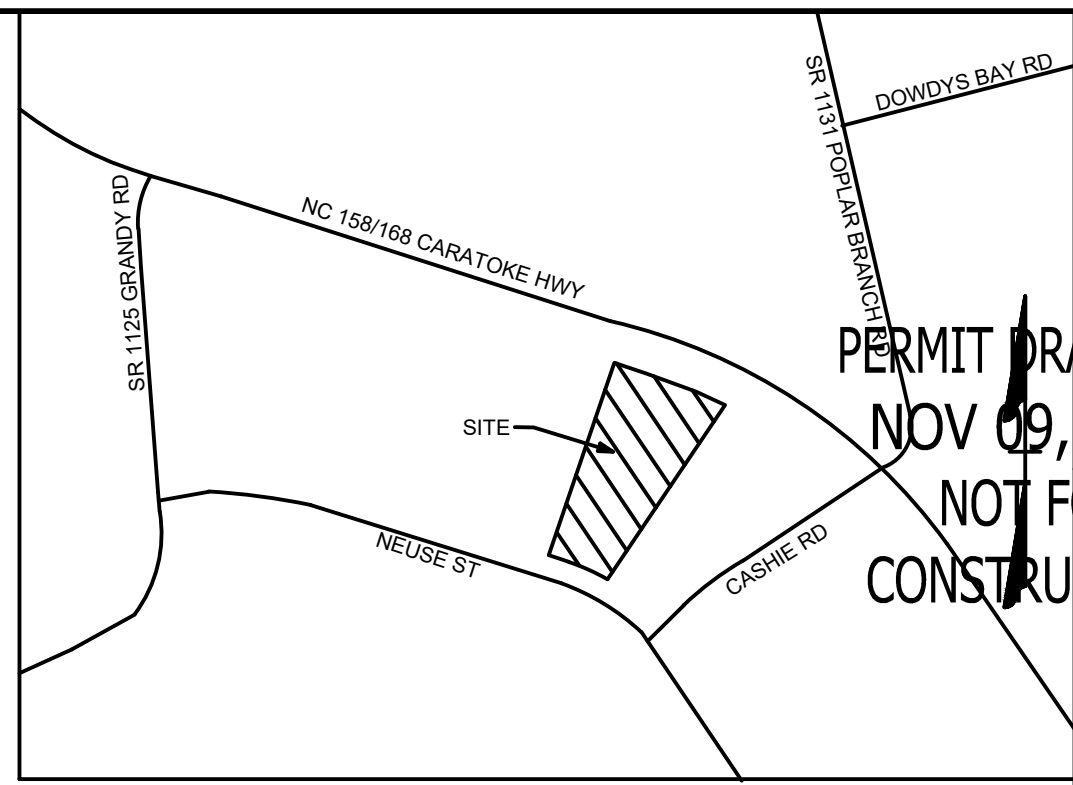
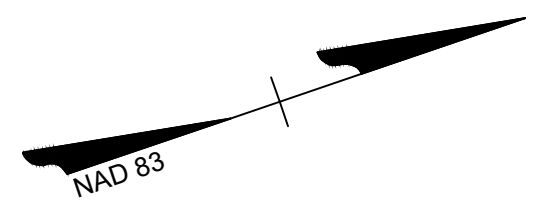
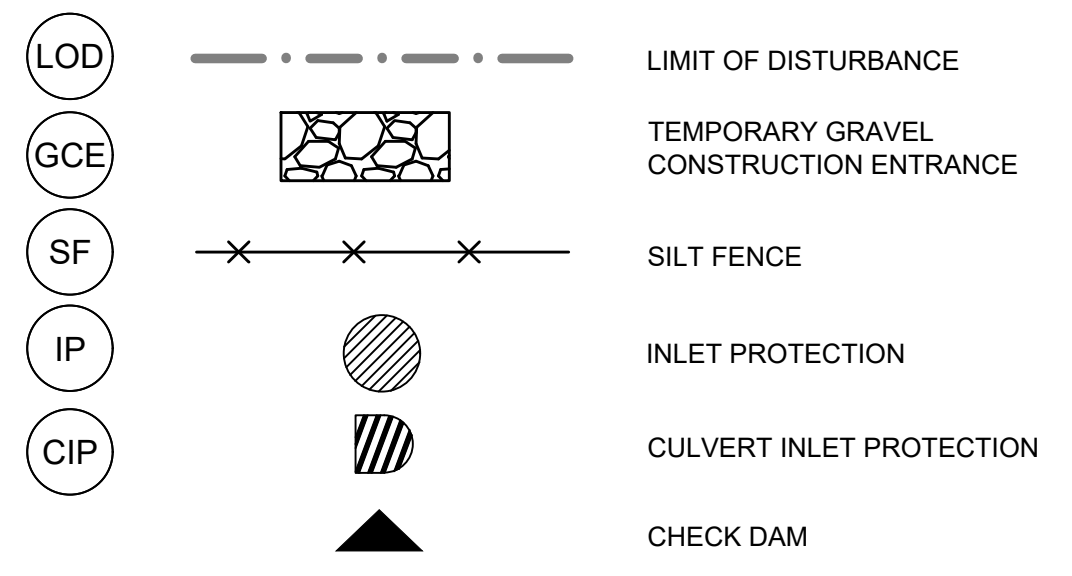
SITE LANDSCAPING:
2 ACI OF CANOPY TREE PER ACRE
1 TREE WITHIN 60' OF EACH PARKING SPACE
1 SHRUB PER 5' OF BUILDING FACADE
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI
38 SHRUBS

PARKING PERIMETER:
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER
PROVIDED: 65 SHRUBS

STREETSCAPE:
BASED ON 246 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT
RW: 246 LF - 36 LF = 210 LF
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS
PER 100 LF OF STREET FRONTAGE
REQUIRED: 17 ACI CANOPY TREES
21 SHRUBS
PROVIDED: 6 CANOPY TREES @ 3 ACI EACH = 17 ACI
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI
21 SHRUBS

- ALL UTILITY CONNECTIONS SHALL CONFORM TO CURRITUCK COUNTY STANDARDS AND SHALL BE COORDINATED WITH THE CURRITUCK COUNTY PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF STOP WORK ORDER.
- ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
- DISTURBED AREA SHALL NOT EXCEED 2.08 ACRES.
- ALL STORAGE BINS, TRASH RECEPTACLES AND RECYCLE CONTAINERS SHALL BE SCREENED.
- TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.

LEGEND



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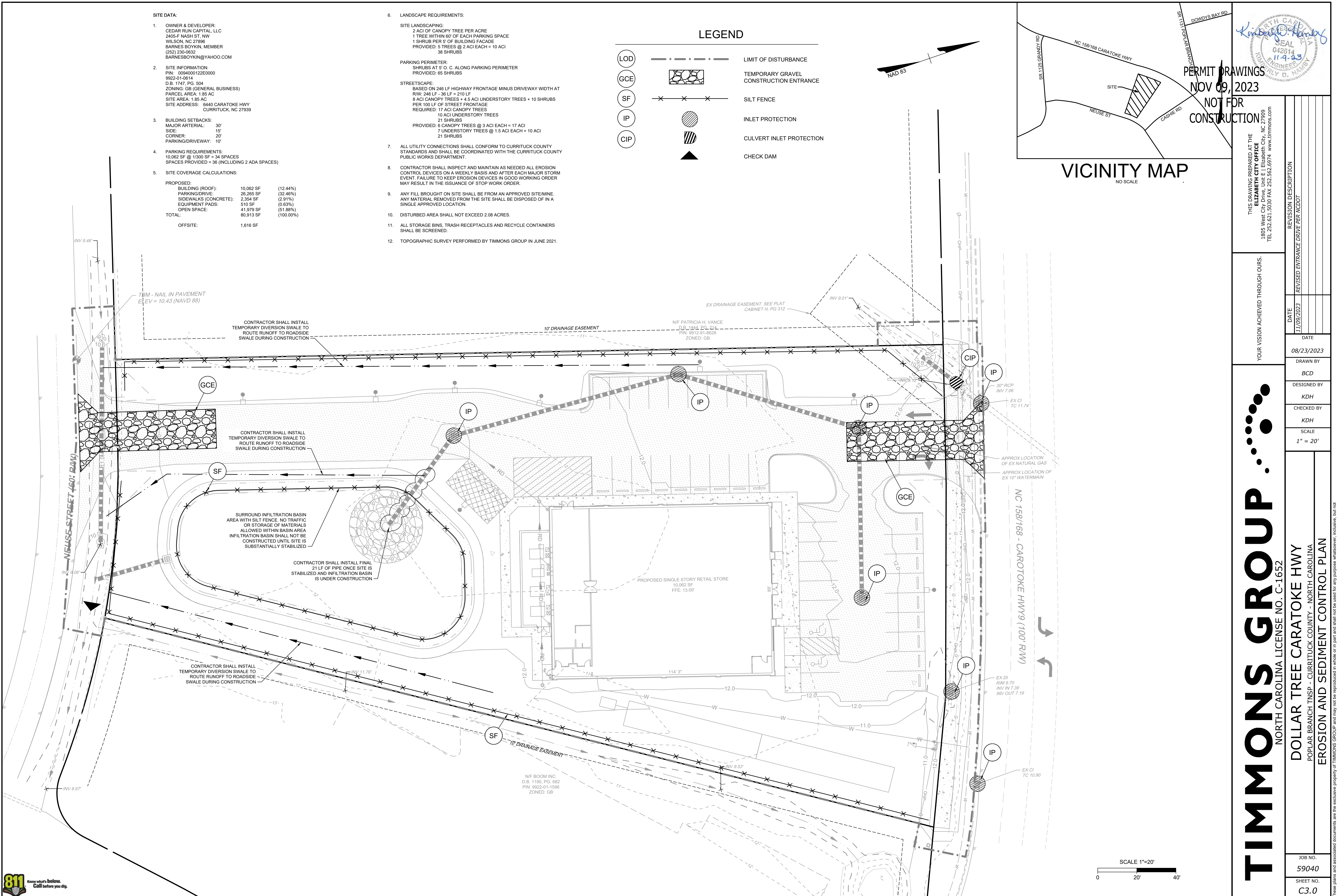
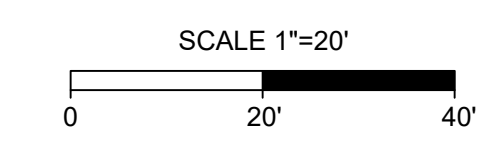
DATE	REVISION DESCRIPTION
11/09/2023	REVISED ENTRANCE DRIVE PER MCDOT

DATE	DESIGNED BY	CHECKED BY	SCALE
08/23/2023	BCD	KDH	1" = 20'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
DOLLAR TREE CARATOKE HWY
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION AND SEDIMENT CONTROL PLAN

JOB NO.	SHEET NO.
59040	C3.0

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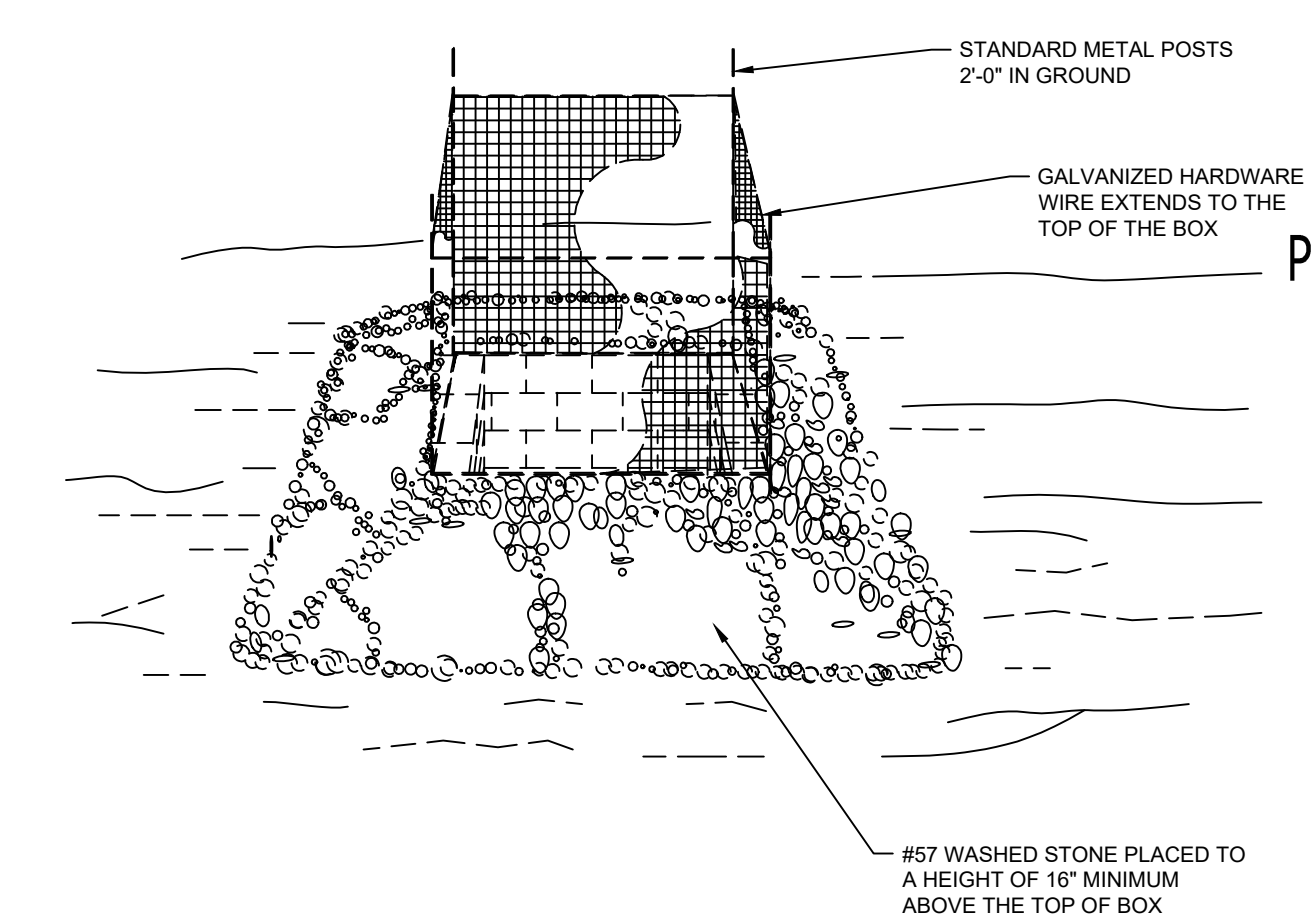
DATE	REVISION DESCRIPTION
11/09/2023	REVISED ENTRANCE DRIVE PER NCDOT

DATE	DRAWN BY
08/23/2023	BCD

DESIGNED BY	CHECKED BY	SCALE
KDH	KDH	N/A

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
 DOLLAR TREE CARATOKE HWY
 POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
 EROSION AND SEDIMENT CONTROL DETAILS

JOB NO.	SHEET NO.
59040	C3.1

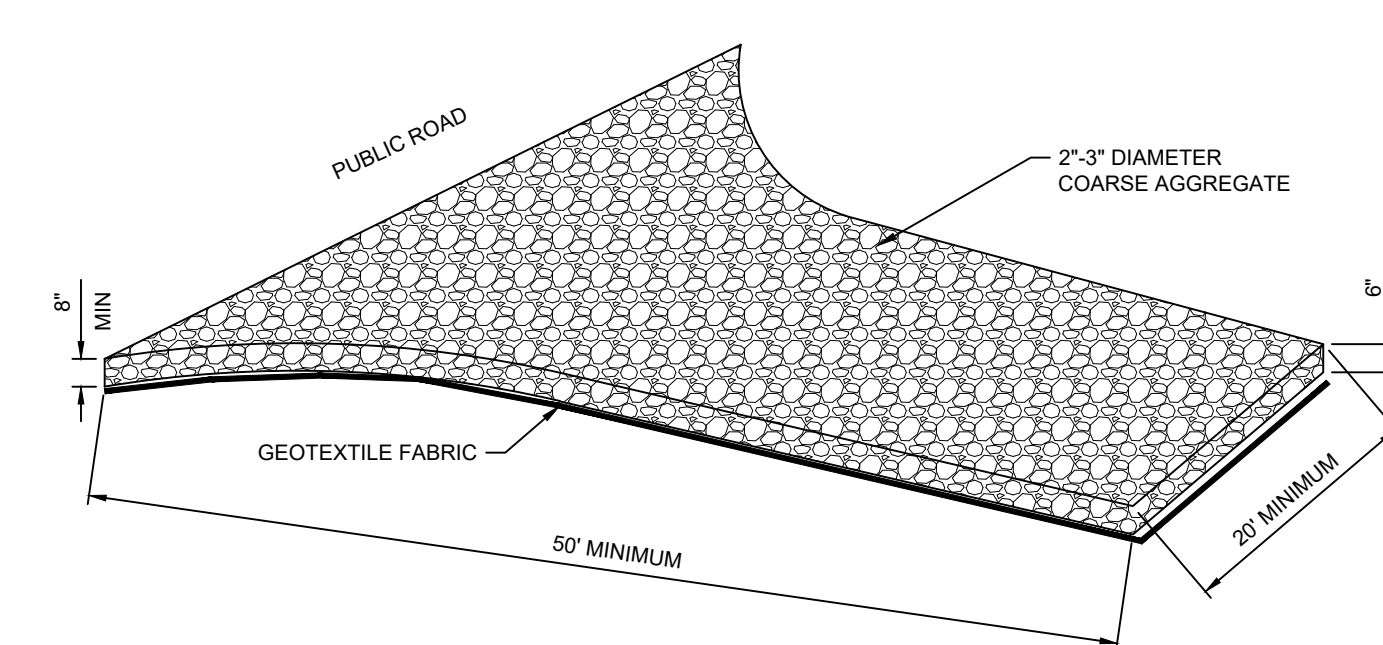


MAINTENANCE
 INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

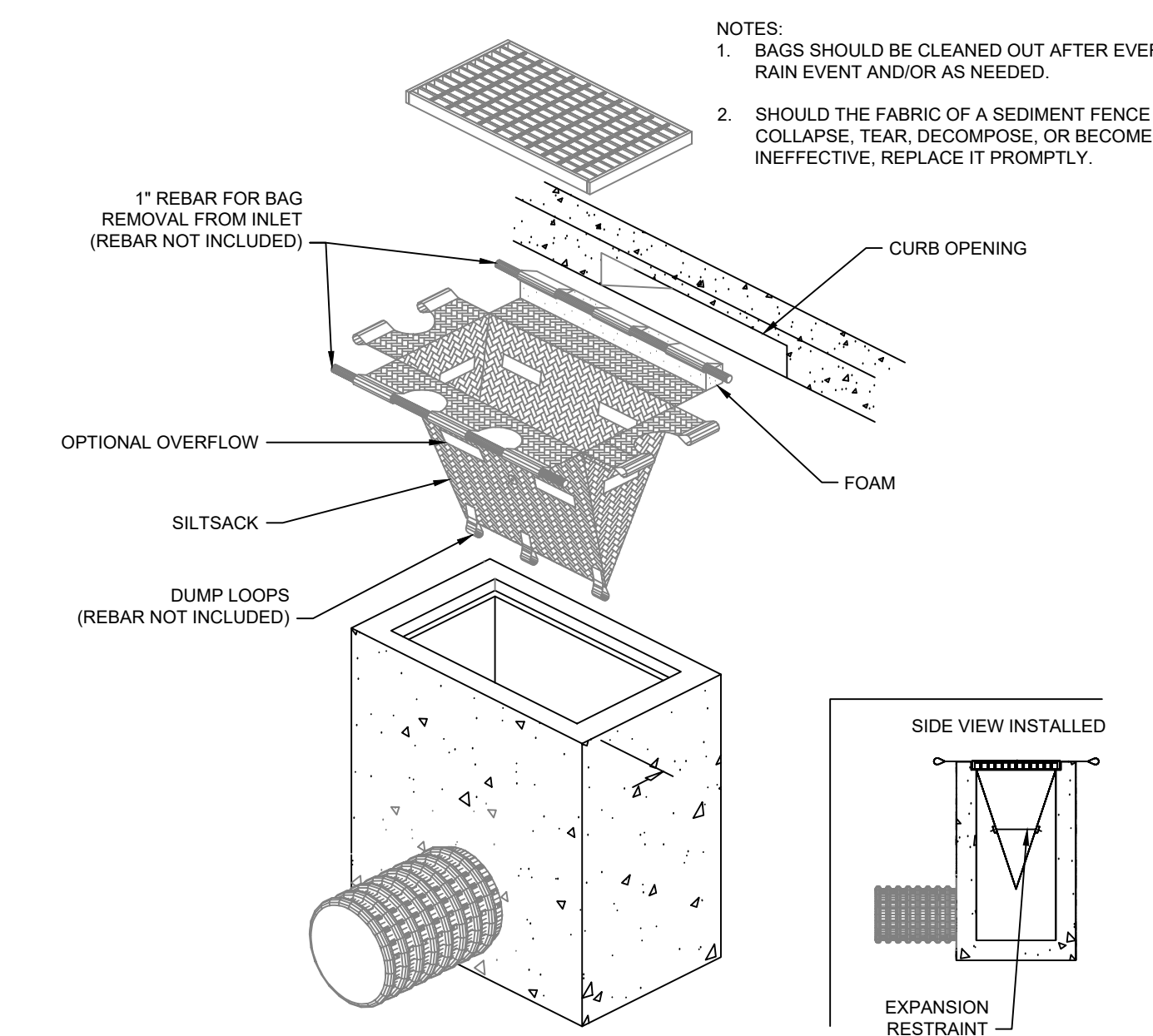
INLET PROTECTION
 NO SCALE

CONSTRUCTION SPECIFICATIONS:
 1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, AND PROPERLY GRADE IT.
 2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLAN.
 3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
 4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

MAINTENANCE
 MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TWO-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

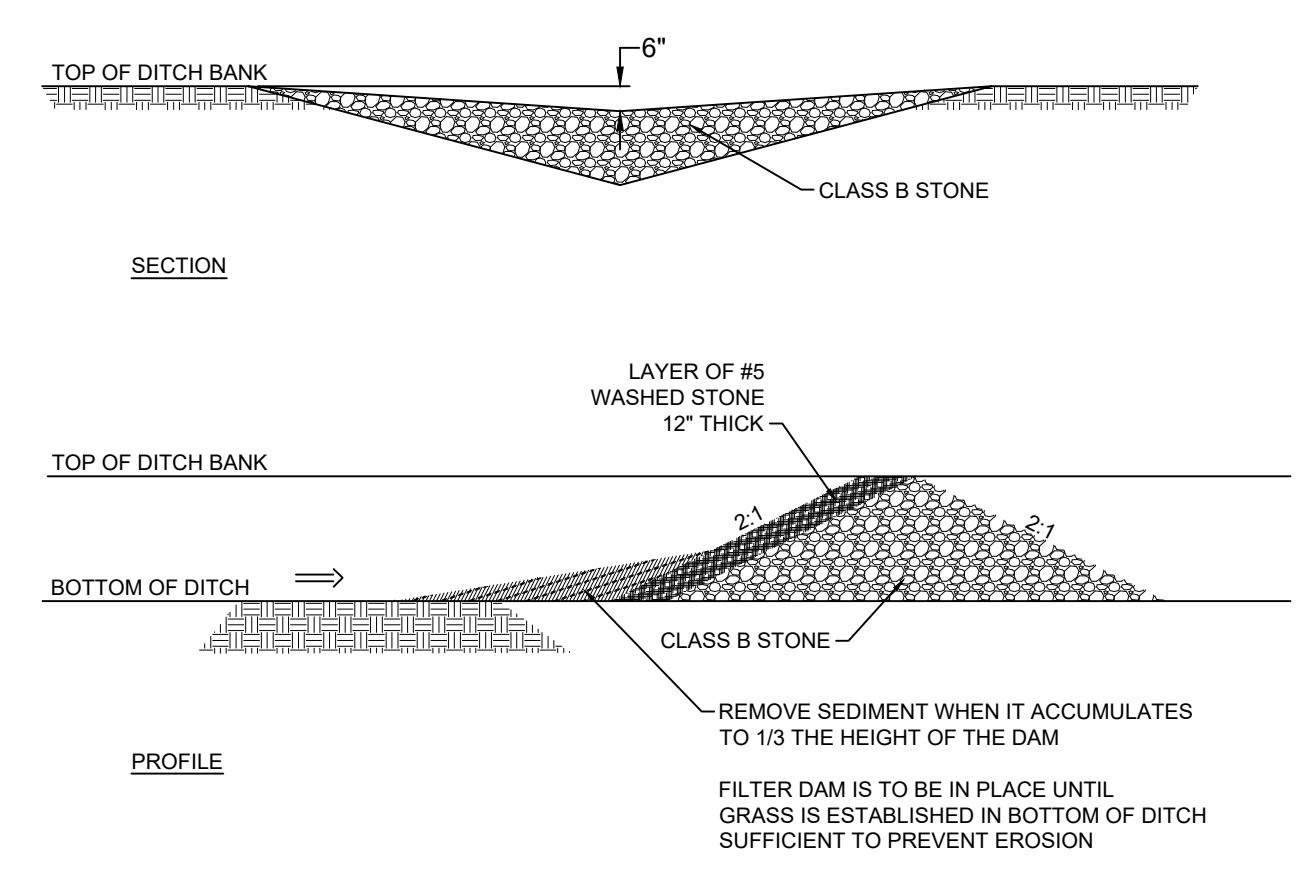


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
 NO SCALE

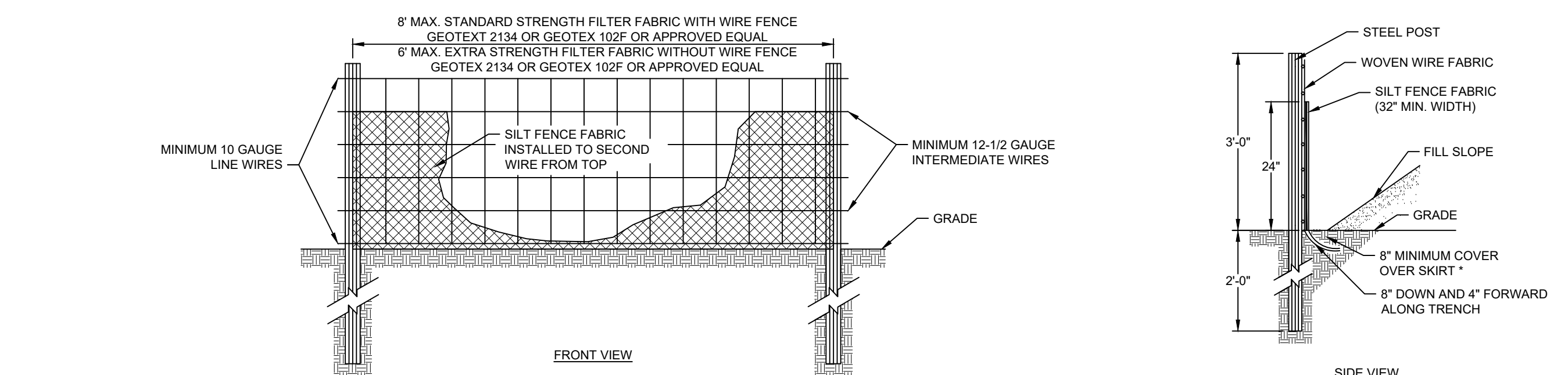


NOTES:
 1. BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.
 2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

INLET PROTECTION INSERT
 NO SCALE



CHECK DAM
 NO SCALE



CONSTRUCTION SPECIFICATIONS
 1. USE SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461.
 2. SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0-120 DEGREES F.
 3. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.33 LBLF STEEL WITH A MINIMUM LENGTH OF 5'. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.
 4. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 14 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

MAINTENANCE
 1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE
 NO SCALE

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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed. -7 days for slopes greater than 50' in length with slopes steeper than 4:1. -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones. -10 days for Falls Lake Watershed.
(d) Slopes 3:1 to 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones. -10 days for Falls Lake Watershed unless there is zero slope.
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones. -10 days for Falls Lake Watershed unless there is zero slope.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
• Temporary grass seed covered with straw or other mulches and tackifiers	• Permanent grass seed covered with straw or other mulches and tackifiers
• Hydroseeding	• Geotextile fabrics such as permanent soil reinforcement matting
• Rolled erosion control products with or without temporary grass seed	• Hydroseeding
• Appropriately applied straw or other mulch	• Straw or other permanent plantings covered with mulch
• Plastic sheeting	• Uniform and evenly distributed ground cover sufficient to restrain erosion
	• Structural methods such as concrete, asphalt or retaining walls
	• Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Anchor all lightweight items in waste containers during times of high winds.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Install at least one sign directing construction trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

ON-SITE CONCRETE WASHOUT STRUCTURE WITH LINER

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle/settle, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within 10' perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing construction trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials on-site.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Identification of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description of evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids discharge. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside the limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. Any application as to the actions taken to control future releases.
(5) Streams or wetlands onsite or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 1(b) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required time frame or as evidence that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S Plan Documentation

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S plan.	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measures or if the E&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S measures.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NCI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 102 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrences	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, in oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the <i>NC 303(d) List</i> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, in oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, in oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass. • Within 24 hours, in oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, in oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(f)(7)]	<ul style="list-style-type: none"> • Within 24 hours, in oral or electronic notification.

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE	REVISION DESCRIPTION
11/09/2023	REVISED ENTRANCE DRIVE PER NCG01

DATE: 08/23/2023

DRAWN BY: BCD

DESIGNED BY: KDH

CHECKED BY: KDH

SCALE: N/A

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



PERMIT DRAWINGS
NOV 09, 2023
NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE
ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.3030 FAX 252.302.8974 www.timmons.com

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TIMMONS GROUP

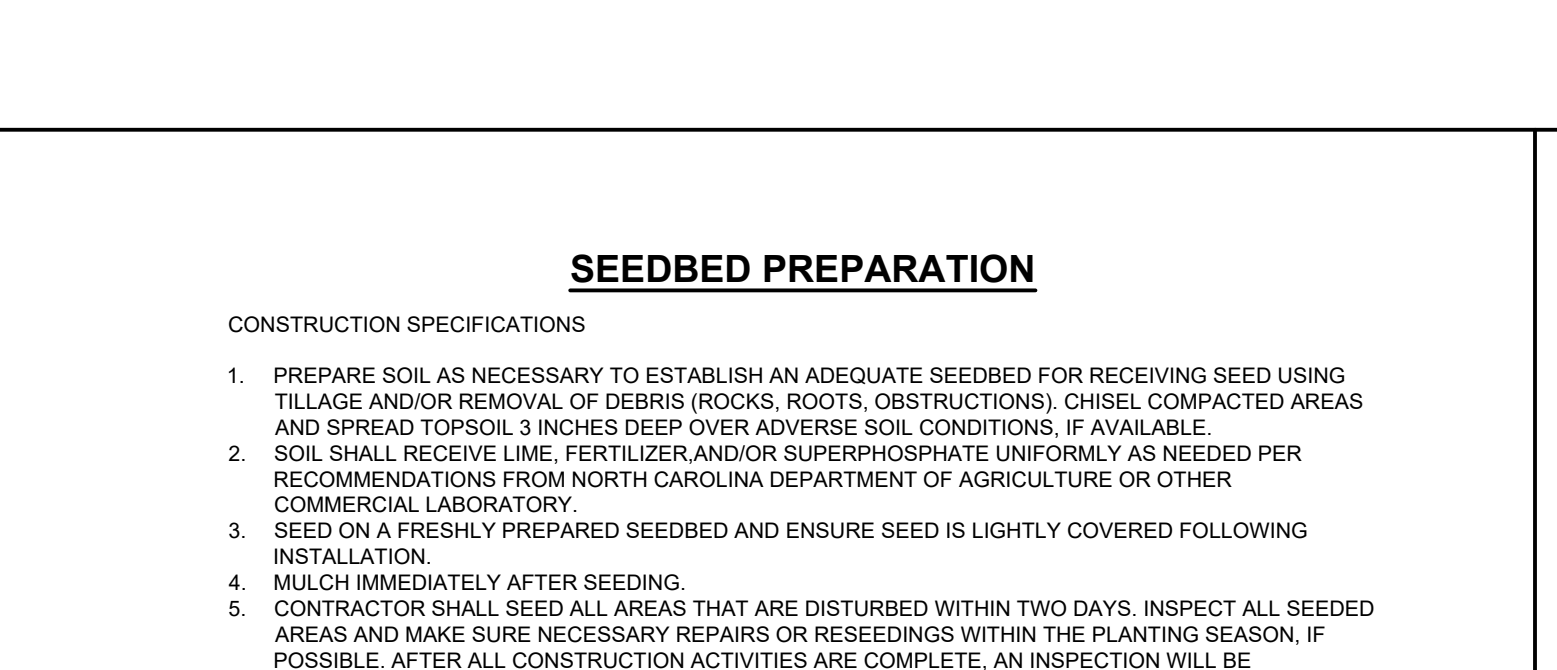
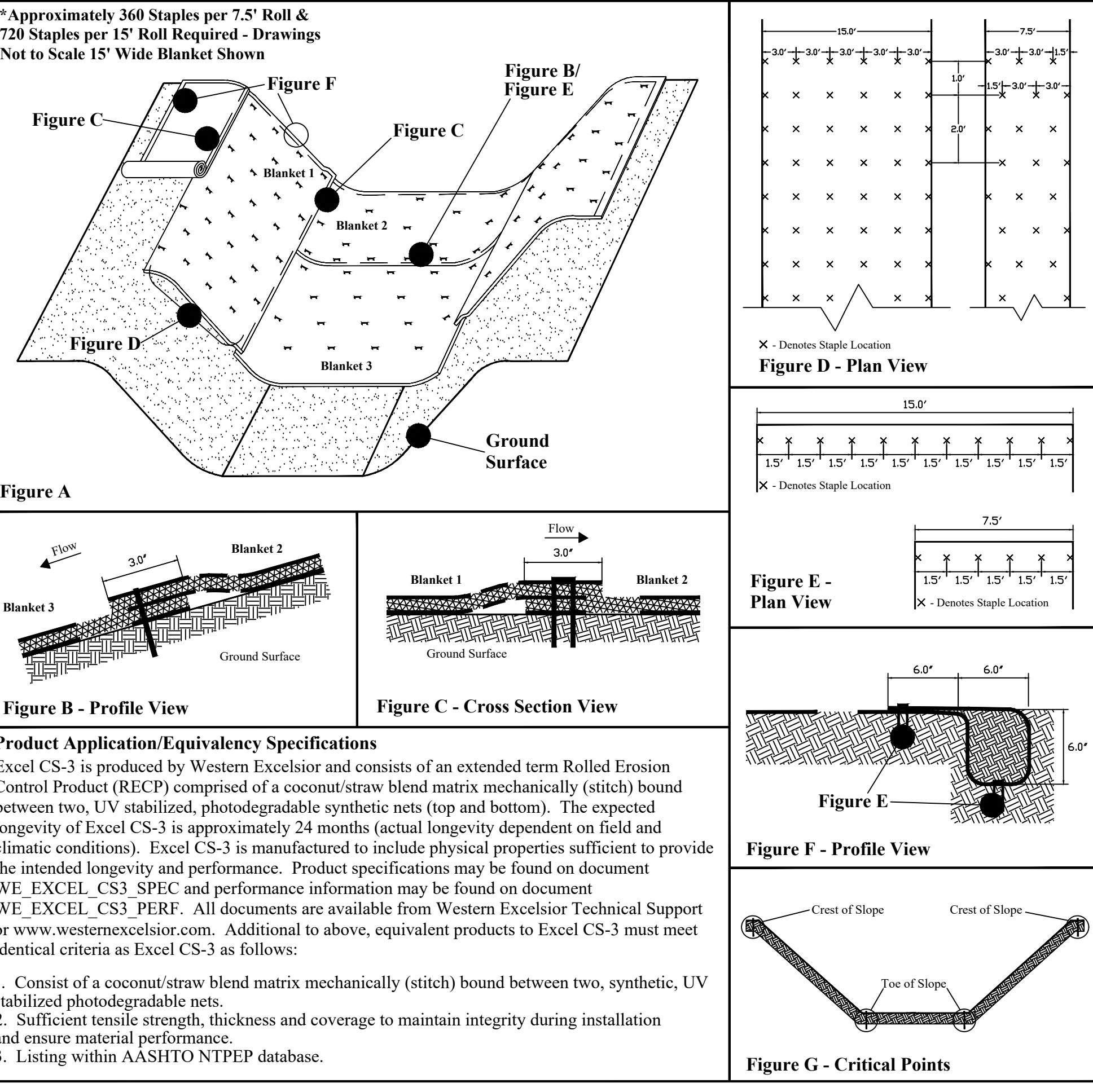
NORTH CAROLINA LICENSE NO. C-1652

DOLLAR TREE CARATOKE HWY
POPULAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
EROSION AND SEDIMENT CONTROL DETAILS

JOB NO.
59040
SHEET NO.
C3.2

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11/09/2023 - Dollar Tree - 6440 Caratoka Hwy Lot 1 - Granby, NC DWMG (Sheet) C3 - UTIENOS.dwg | Plot on 11/09/2023, 1:39 PM | by Kim Hamby



PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN

DATE	TYPE	BROADCAST SEEDING RATES
OCT 1 - APR 1	SERICA LESPEDeza	15 LBS/ACRE
AUG 30 - MAR 15	KY 31 TALL FESCUE	200-250 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	40 LBS/ACRE
APR 15 - AUG 15	GERMAN MILLET	10 LBS/ACRE

TEMPORARY SEEDING SCHEDULE

DATE	TYPE	PLANTING RATES
DEC 1 - APR 15	ANNUAL LESPEDEZA (KOBÉ IN PIEDMONT AND COASTAL PLAIN)	50 LBS/ACRE
APR 15 - AUG 15 (COASTAL PLAIN)	GERMAN MILLET	40 LBS/ACRE
AUG 15 - DEC 30 (COASTAL PLAIN)	RYE	120 LBS/ACRE

EROSION CONTROL MEASURES

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED ON ALL AREAS OF THE SITE WHICH ALL DISTURBED OR GRADED.

PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY FOR SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH, FOR SLOPES 4:1 OR FLATTER OF ANY LENGTH (EXCEPT FOR PERIMETERS AND HOW ZONES), AND SLOPES NO STEEPER THAN 2:1 AND LESS THAN 10' IN LENGTH.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOR SLOPES STEEPER THAN 3:1 OR SLOPES 3:1 OR FLATTER GREATER THAN 50' IN LENGTH, FOR HIGH QUALITY WATER (HQW) ZONES, AND PERIMETER DIKES, SWALES, DITCHES AND SLOPES.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON ALL EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND, A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

THE CONTROL MEASURES SHALL BEGIN PRIOR TO ANY LAND DISTURBING ACTIVITY INCLUDING CLEARING, SHALL CONTINUE DURING CONSTRUCTION AND SHALL CONTINUE WITH THE NECESSARY MAINTENANCE UNTIL THE DISTURBED LAND IS STABILIZED. COMPLIANCE WITH LOCAL AND/OR STATE SOIL EROSION AND SEDIMENTATION CONTROL LAWS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR. THIS PARAGRAPH IS INTENDED TO SERVE ONLY AS A GUIDE TO THE CONTRACTOR FOR COMPLIANCE WITH SUCH LAWS, ORDERS, RULES AND REGULATIONS CONCERNING EROSION AND SEDIMENTATION CONTROL PROTECTION OF EXISTING STRUCTURES AND FACILITIES FROM SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO, CATCH BASINS, NATURAL WATERWAYS, DRAINAGE DITCHES, WALKS, DRIVES, ROADS, LAWNS, AND STREAMS.

- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS. (SEE DETAIL)
- INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS AND ALL SILT FENCE TO PREVENT OFF SITE SEDIMENTATION AND TO PROTECT INFILTRATION BASIN AREA.
- INSTALL UTILITIES AND STORMWATER DRAINAGE AND GRADE SITE.
- INSTALL THE REMAINING SEDIMENT AND EROSION CONTROL PROTECTION.
- INSTALL THE STONE BASE, CURB AND GUTTER AND ASPHALT FOR THE PROPOSED PARKING.
- CONSTRUCT INFILTRATION BASIN.
- PROVIDE GROUND COVER IN ACCORDANCE WITH DETAIL MARKED 'EROSION CONTROL MEASURES', THIS SHEET.
- MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
- ONCE VEGETATION IS ESTABLISHED, REMOVE ANY REMAINING CONTROL DEVICES.

CONSTRUCTION SEQUENCING

SITE DATA:

- OWNER & DEVELOPER:
CEDAR RUN CAPITAL, LLC
2405-F NASH ST, NW
WILSON, NC 27896
BARNES BOYKIN, MEMBER
(252) 230-0632
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:
PIN: 0094000122E0000
9922-01-0614
D.B. 1747, PG. 504
ZONING: GB (GENERAL BUSINESS)
PARCEL AREA: 1.85 AC
SITE AREA: 1.85 AC
SITE ADDRESS: 6440 CARATOKE HWY
CURRITUCK, NC 27939
- BUILDING SETBACKS:
MAJOR ARTERIAL: 30'
SIDE: 15'
CORNER: 20'
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:
10,062 SF @ 1/300 SF = 34 SPACES
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:
PROPOSED:
BUILDING (ROOF): 10,062 SF (12.44%)
PARKING/DRIVE: 26,265 SF (32.46%)
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)
EQUIPMENT PADS: 510 SF (0.63%)
OPEN SPACE: 41,979 SF (51.88%)
TOTAL: 80,913 SF (100.00%)
OFFSITE: 1,616 SF

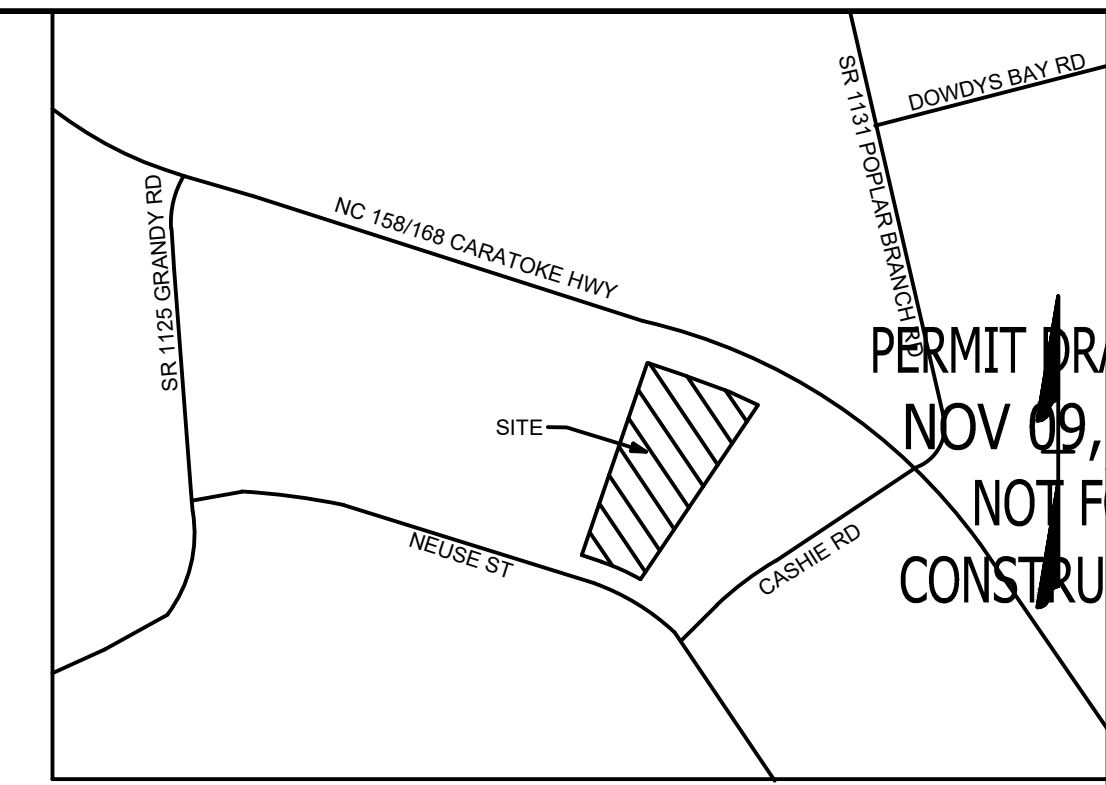
6. LANDSCAPE REQUIREMENTS:

- SITE LANDSCAPING:**
2 ACI OF CANOPY TREE PER ACRE
1 TREE WITHIN 60' OF EACH PARKING SPACE
1 SHRUB PER 5' OF BUILDING FACADE
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI
38 SHRUBS
- PARKING PERMETER:**
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER
PROVIDED: 65 SHRUBS
- STREETSCAPE:**
BASED ON 246 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT
R/W: 248 LF - 36 LF = 210 LF
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS
PER 100 LF OF STREET FRONTAGE
REQUIRED: 17 ACI CANOPY TREES
21 SHRUBS
PROVIDED: 6 CANOPY TREES @ 3 ACI EACH = 17 ACI
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI
21 SHRUBS
- ALL UTILITY CONNECTIONS SHALL CONFORM TO CURRITUCK COUNTY STANDARDS AND SHALL BE COORDINATED WITH THE CURRITUCK COUNTY PUBLIC WORKS DEPARTMENT.
 - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF STOP WORK ORDER.
 - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITEMINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
 - DISTURBED AREA SHALL NOT EXCEED 2.08 ACRES.
 - ALL STORAGE BINS, TRASH RECEPTACLES AND RECYCLE CONTAINERS SHALL BE SCREENED.
 - TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.

I, _____, OWNER/AGENT HEREBY CERTIFY THE INFORMATION INCLUDED ON THIS AND ATTACHED PAGES IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

ONE THE PLAN ENTITLED "DOLLAR TREE - GRANDY", STORMWATER DRAINAGE IMPROVEMENTS SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS APPROVED BY CURRITUCK COUNTY. YEARLY INSPECTIONS ARE REQUIRED AS PART OF THE STORMWATER PLAN. THE OWNER IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED. CURRITUCK COUNTY ASSUMES NO RESPONSIBILITY FOR THE DESIGN, MAINTENANCE, OR PERFORMANCE OF THE STORMWATER IMPROVEMENTS.

DATE: _____ OWNER/AGENT: _____

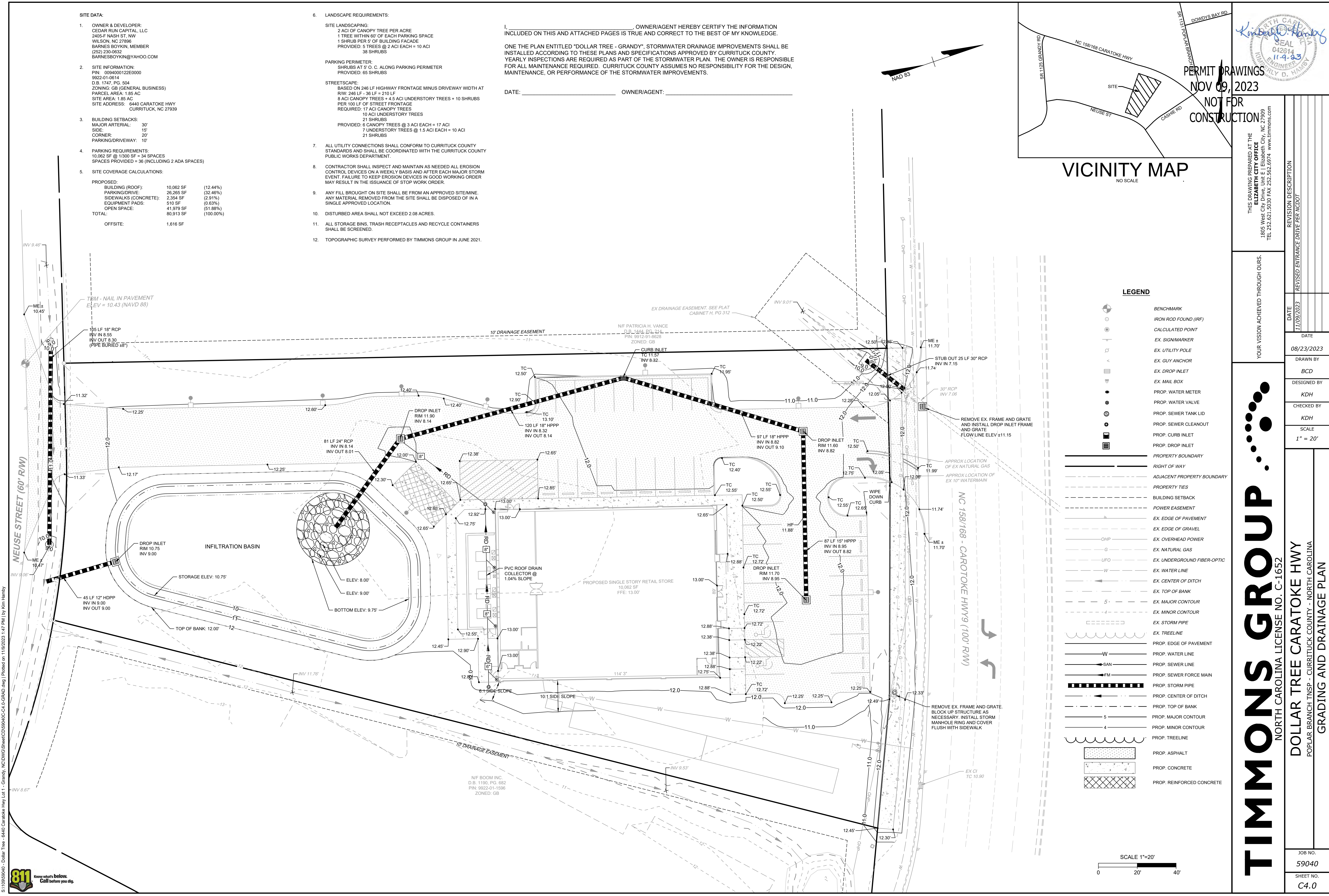


VICINITY MAP
NO SCALE



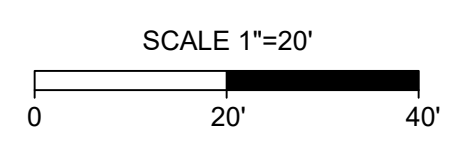
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ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.3030 FAX 252.592.0974 www.timmons.com



LEGEND

- BENCHMARK
- IRON ROD FOUND (IRF)
- CALCULATED POINT
- EX. SIGNMARKER
- EX. UTILITY POLE
- EX. GUY ANCHOR
- EX. DROP INLET
- EX. MAIL BOX
- PROP. WATER METER
- PROP. WATER VALVE
- PROP. SEWER TANK LID
- PROP. SEWER CLEANOUT
- PROP. CURB INLET
- PROP. DROP INLET
- PROPERTY BOUNDARY
- RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- PROPERTY TIES
- BUILDING SETBACK
- POWER EASEMENT
- EX. EDGE OF PAVEMENT
- EX. EDGE OF GRAVEL
- EX. OVERHEAD POWER
- EX. NATURAL GAS
- EX. UNDERGROUND FIBER-OPTIC
- EX. WATER LINE
- EX. CENTER OF DITCH
- EX. TOP OF BANK
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. STORM PIPE
- EX. TREELINE
- PROP. EDGE OF PAVEMENT
- PROP. WATER LINE
- PROP. SEWER LINE
- PROP. SEWER FORCE MAIN
- PROP. STORM PIPE
- PROP. CENTER OF DITCH
- PROP. TOP OF BANK
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. TREELINE
- PROP. ASPHALT
- PROP. CONCRETE
- PROP. REINFORCED CONCRETE



YOUR VISION ACHIEVED THROUGH OURS.

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

DOLLAR TREE CARATOKE HWY
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
GRADING AND DRAINAGE PLAN

DATE	REVISION DESCRIPTION
11/09/2023	REVISED ENTRANCE DRIVE PER NCDOT

DATE	DRAWN BY
08/23/2023	BCD

DESIGNED BY	CHECKED BY	SCALE
KDH	KDH	1" = 20'

JOB NO.	SHEET NO.
59040	C4.0

S:\10185610 - Dollar Tree - 6440 Caratoke Hwy Lot 1 - Grandy, NC\DWG\Sheet\CD59040-C4-C-65040.dwg | Plotted on 11/09/2023 1:47 PM by Kim Hamby



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ROADWAY STANDARD DRAWING FOR CONCRETE DROP INLET 12" THRU 30" PIPE

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

GENERAL NOTES:
 USE CLASS "B" CONCRETE THROUGHOUT.
 PROVIDE ALL DROP INLETS OVER 3'-0" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
 OPTIONAL CONSTRUCTION - MONOLITHIC FOUR 2" KEYWAY OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
 USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
 IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
 CONSTRUCT WITH PIPE CHAINS MATCHING.
 SEE STANDARD DRAWING 840.25 FOR ATTACHMENT OF FRAMES AND GRATES NOT SHOWN.
 INSTALL 2" WEEP HOLES AS DIRECTED BY THE ENGINEER.
 INSTALL STONE DRAINING OF A MINIMUM OF 1 CUBIC FOOT OF NO. 7MM STONE IN A FORCE MAINS SAG OR HUMP. AT EACH WEEP HOLE OR AS DIRECTED BY THE ENGINEER.
 CHAMFER ALL EXPOSED CORNERS 1".
 DRAWING NOT TO SCALE.

DIMENSIONS OF BOX & PIPE		CUBIC YARDS CONC. IN BOX		DEDUCTIONS FOR ONE PIPE	
PIPE SPAN	HEIGHT	SPAN	HEIGHT	SPAN	HEIGHT
12"	3'-0"	2'-0"	2'-0"	0.222	0.222
15"	3'-0"	2'-3"	2'-3"	0.250	0.250
18"	3'-0"	2'-6"	2'-6"	0.278	0.278
24"	3'-0"	3'-0"	3'-0"	0.314	0.314
30"	3'-0"	3'-6"	3'-6"	0.350	0.350

SHEET 1 OF 1
840.14

ROADWAY STANDARD DRAWING FOR MANHOLE FRAME AND COVER

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

SOLID COVER SHOWN PERFORATED. PERFORATED AVAILABLE IF SPECIFIED.
 STATE USE OF SYSTEM ON COVER (I.E.: SEWER, STORM DRAIN, ELECTRICAL)

MINIMUM WEIGHTS - LBS.
 FRAME - 180
 COVER - 120
 TOTAL - 300

SHEET 1 OF 1
840.54

ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

GENERAL NOTES:
 USE CLASS "B" CONCRETE THROUGHOUT.
 PROVIDE ALL CATCH BASINS OVER 2'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
 OPTIONAL CONSTRUCTION - MONOLITHIC FOUR 2" KEYWAY OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
 USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
 IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
 USE TYPE "E", "F", AND "G" GRATES UNLESS OTHERWISE INDICATED.
 FOR 8'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. OVER 8'-0" TO 16'-0" IN HEIGHT USE 8" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
 CHAMFER ALL EXPOSED CORNERS 1".
 DRAWING NOT TO SCALE.

NOTE: USE TYPE "E", "F" AND "G" GRATE UNLESS OTHERWISE NOTED.

ALIGN FRAME WITH INSIDE EDGE OF WALL TO ALLOW FOR VERTICAL ADJUSTMENT.

SHEET 1 OF 2
840.03

ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN 12" THRU 54" PIPE

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

GENERAL NOTES:
 USE CLASS "B" CONCRETE THROUGHOUT.
 PROVIDE ALL CATCH BASINS OVER 2'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
 OPTIONAL CONSTRUCTION - MONOLITHIC FOUR 2" KEYWAY OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
 USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
 IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
 USE TYPE "E", "F", AND "G" GRATES UNLESS OTHERWISE INDICATED.
 FOR 8'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. OVER 8'-0" TO 16'-0" IN HEIGHT USE 8" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
 CHAMFER ALL EXPOSED CORNERS 1".
 DRAWING NOT TO SCALE.

MINIMUM DIMENSIONS AND QUANTITIES FOR CONCRETE CATCH BASIN (BASED ON MIN. HEIGHT, H, WITH NO RISER) *

PIPE SPAN	HEIGHT	DIMENSIONS OF BOX & PIPE		CUBIC YARDS CONC. IN BOX	DEDUCTIONS FOR ONE PIPE
		SPAN	HEIGHT		
12"	3'-0"	2'-0"	2'-0"	0.222	0.222
15"	3'-0"	2'-3"	2'-3"	0.250	0.250
18"	3'-0"	2'-6"	2'-6"	0.278	0.278
24"	3'-0"	3'-0"	3'-0"	0.314	0.314
30"	3'-0"	3'-6"	3'-6"	0.350	0.350

SHEET 1 OF 2
840.02

ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

DETAIL SHOWING TYPES OF GRATES USE ACCORDING TO WATER FLOW.

RAISED FLOW ARROW 1/8" HIGH

SHEET 2 OF 2
840.03

ROADWAY STANDARD DRAWING FOR DROP INLET FRAME AND GRATES FOR USE WITH STD. DWG. S 840.14 AND 840.15

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

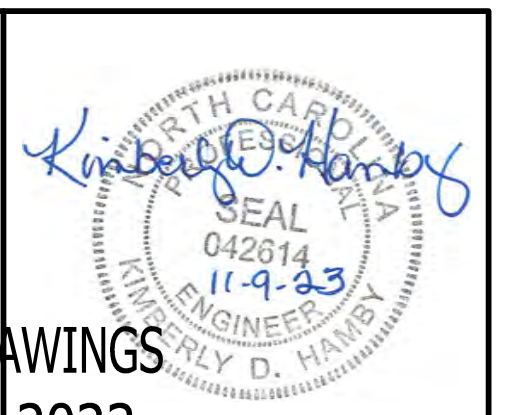
SHEET 1 OF 1
840.16

PERMITS DRAWINGS
 NOV 09, 2023
 NOT FOR CONSTRUCTION

ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN 12" THRU 54" PIPE
 SHEET 2 OF 2
840.02

ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN
 SHEET 2 OF 2
840.03

ROADWAY STANDARD DRAWING FOR DROP INLET FRAME AND GRATES FOR USE WITH STD. DWG. S 840.14 AND 840.15
 SHEET 1 OF 1
840.16



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DATE: 08/23/2023
 DRAWN BY: BCD
 DESIGNED BY: KDH
 CHECKED BY: KDH
 SCALE: N/A

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

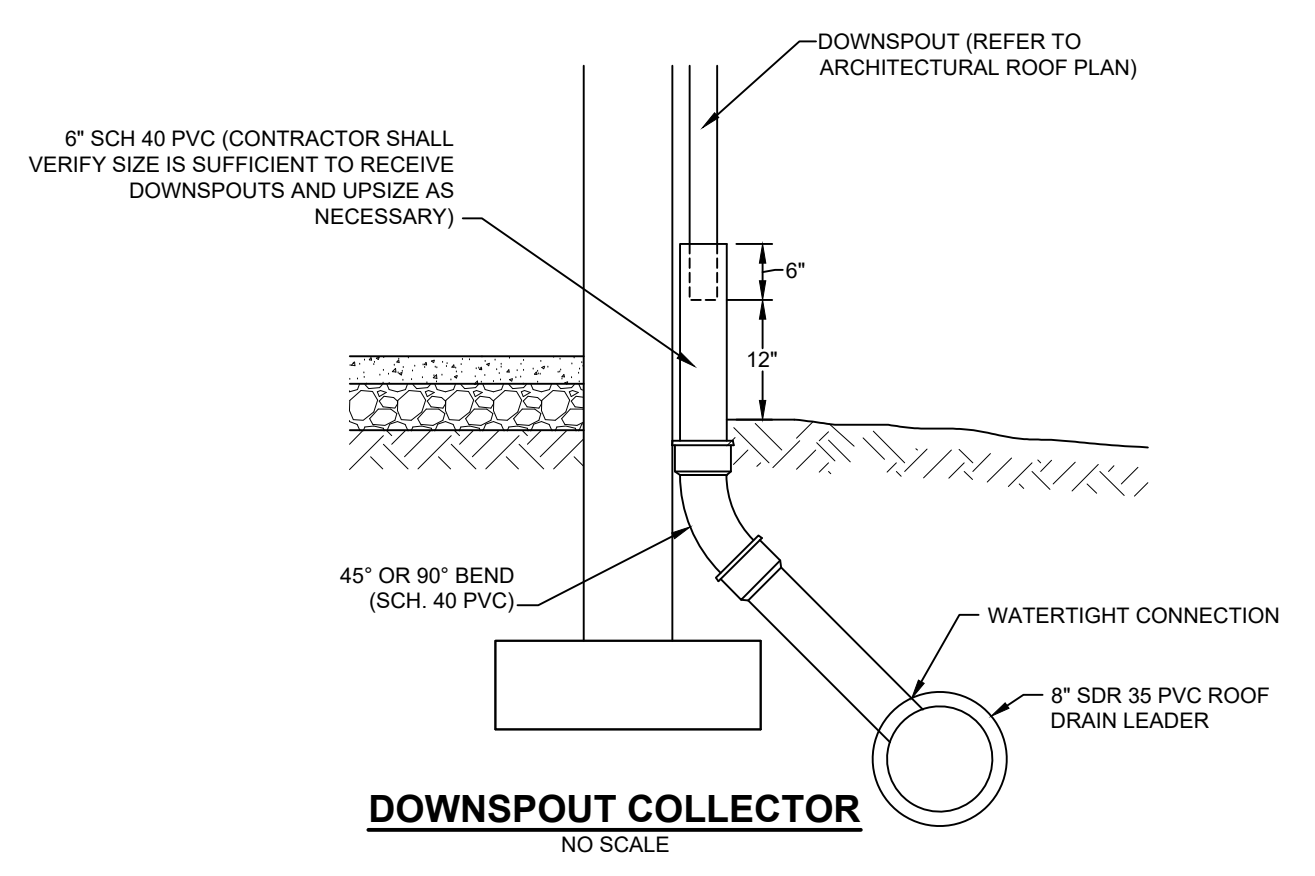
DOLLAR TREE CARATOKE HWY
 POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
 GRADING AND DRAINAGE DETAILS

JOB NO. 59040
 SHEET NO. C4.1

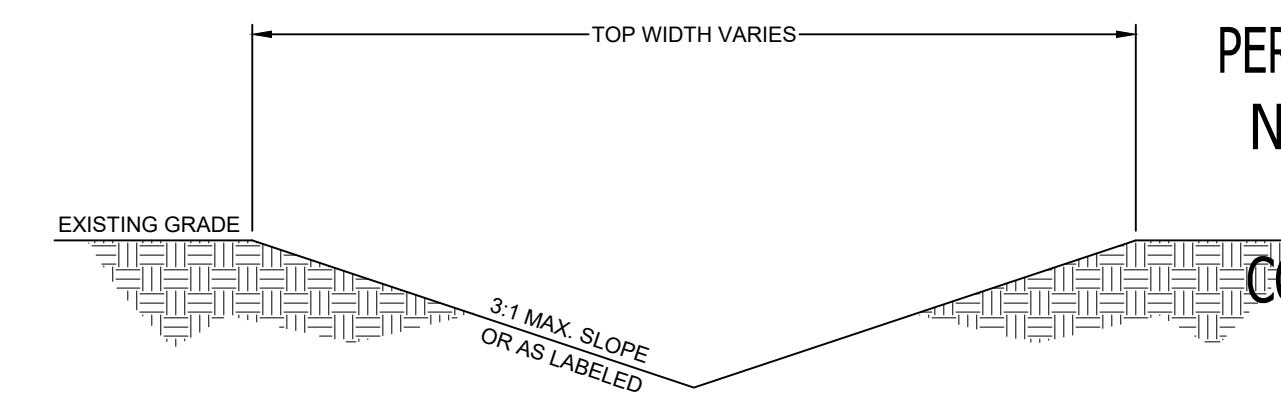
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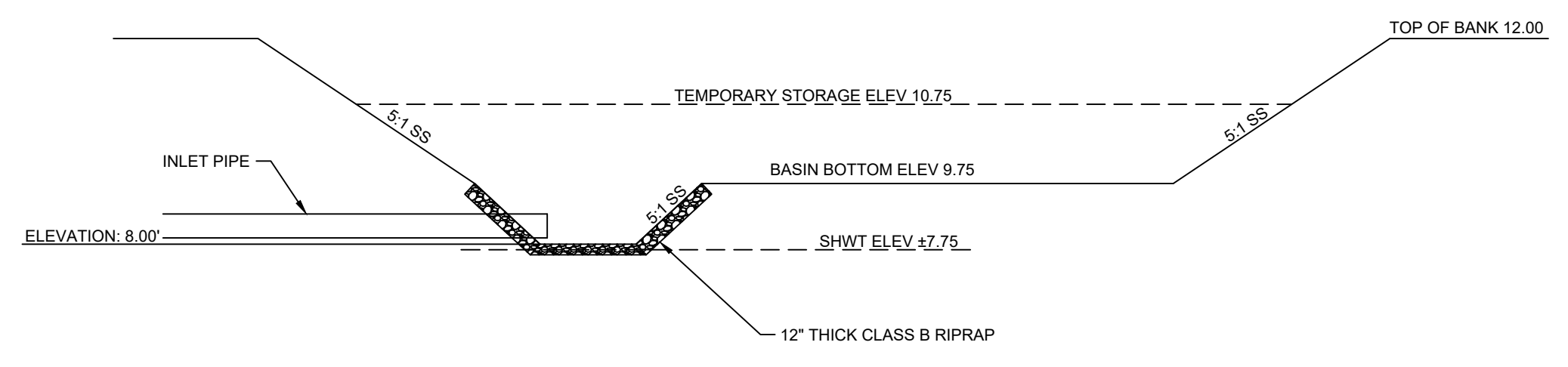
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DOWNSPOUT COLLECTOR
 NO SCALE



TYPICAL DITCH/SWALE
 NO SCALE



INFILTRATION BASIN CROSS SECTION
 NO SCALE

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DATE
 08/23/2023

DRAWN BY
 BCD

DESIGNED BY
 KDH

CHECKED BY
 KDH

SCALE
 N/A

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 NORTH CAROLINA LICENSE NO. C-1652

DOLLAR TREE CARATOKE HWY
 POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE DETAILS

JOB NO.
 59040

SHEET NO.
 C4.2



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SITE DATA:

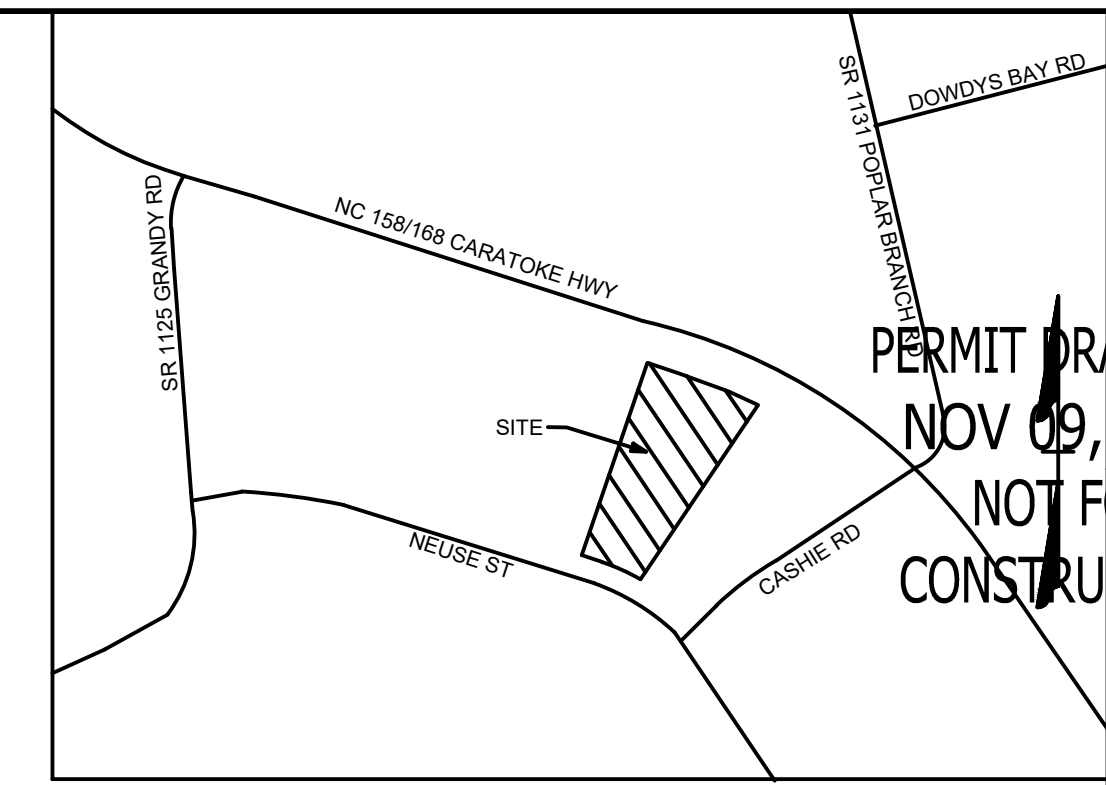
- OWNER & DEVELOPER:**
CEDAR RUN CAPITAL, LLC
2405-F NASH ST, NW
WILSON, NC 27896
BARNES BOYKIN, MEMBER
(252) 239-0632
BARNESBOYKIN@YAHOO.COM
- SITE INFORMATION:**
PIN: 0094000122E0000
9922-01-0614
D.B. 1747, PG. 504
ZONING: GB (GENERAL BUSINESS)
PARCEL AREA: 1.85 AC
SITE AREA: 1.85 AC
SITE ADDRESS: 6440 CARATOKE HWY
CURRITUCK, NC 27939
- BUILDING SETBACKS:**
MAJOR ARTERIAL: 30'
SIDE: 15'
CORNER: 20'
PARKING/DRIVEWAY: 10'
- PARKING REQUIREMENTS:**
10,062 SF @ 1/300 SF = 34 SPACES
SPACES PROVIDED = 36 (INCLUDING 2 ADA SPACES)
- SITE COVERAGE CALCULATIONS:**
PROPOSED:
BUILDING (ROOF): 10,062 SF (12.44%)
PARKING/DRIVE: 26,265 SF (32.46%)
SIDEWALKS (CONCRETE): 2,354 SF (2.91%)
EQUIPMENT PADS: 510 SF (0.63%)
OPEN SPACE: 41,979 SF (51.88%)
TOTAL: 80,913 SF (100.00%)
OFFSITE: 1,616 SF

6. LANDSCAPE REQUIREMENTS:

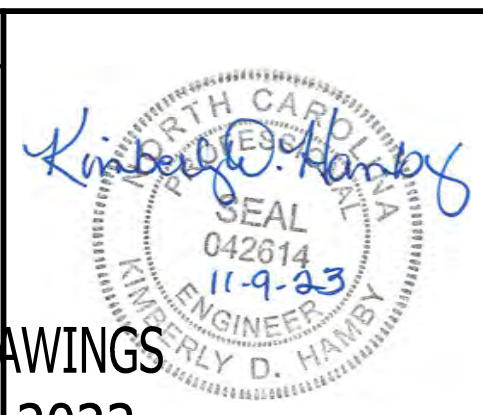
- SITE LANDSCAPING:**
2 ACI OF CANOPY TREE PER ACRE
1 TREE WITHIN 60' OF EACH PARKING SPACE
1 SHRUB PER 5' OF BUILDING FACADE
PROVIDED: 5 TREES @ 2 ACI EACH = 10 ACI
38 SHRUBS
- PARKING PERIMETER:**
SHRUBS AT 5' O. C. ALONG PARKING PERIMETER
PROVIDED: 65 SHRUBS
- STREETScape:**
BASED ON 246 LF HIGHWAY FRONTAGE MINUS DRIVEWAY WIDTH AT
RW: 246 LF - 36 LF = 210 LF
8 ACI CANOPY TREES + 4.5 ACI UNDERSTORY TREES + 10 SHRUBS
PER 100 LF OF STREET FRONTAGE
REQUIRED: 17 ACI CANOPY TREES
10 ACI UNDERSTORY TREES
21 SHRUBS
PROVIDED: 8 CANOPY TREES @ 3 ACI EACH = 17 ACI
7 UNDERSTORY TREES @ 1.5 ACI EACH = 10 ACI
21 SHRUBS
- ALL UTILITY CONNECTIONS SHALL CONFORM TO CURRITUCK COUNTY STANDARDS AND SHALL BE COORDINATED WITH THE CURRITUCK COUNTY PUBLIC WORKS DEPARTMENT.
 - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT; FAILURE TO KEEP EROSION DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF STOP WORK ORDER.
 - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITE/MINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.
 - DISTURBED AREA SHALL NOT EXCEED 2.08 ACRES.
 - ALL STORAGE BINS, TRASH RECEPTACLES AND RECYCLE CONTAINERS SHALL BE SCREENED.
 - TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP IN JUNE 2021.

LANDSCAPE LEGEND

PLANT NAME	SIZE	QTY
NORWAY MAPLE ACER PLATANOIDES	3" CALIPER @ 8' MIN. HEIGHT	6
EASTERN RED CEDAR JUNIPERUS VIRGINIANA	2" CALIPER @ 8' MIN. HEIGHT	5
SHADBUSH SERVICEBERRY PERSEA BORBONIA	1.5" CALIPER @ 8' MIN. HEIGHT	7
DWARF COASTAL AZALEA RHODODENDRON ATLANTICUM	3 GALLON	65
WINTERGREEN BARBERRY BERBERIS JULIANAE	3 GALLON	18
DWARF YAUPON HOLLY ILEX VOMITORIA NANA	3 GALLON	38



VICINITY MAP
NO SCALE



PERMIT DRAWINGS
NOV 09, 2023
NOT FOR CONSTRUCTION

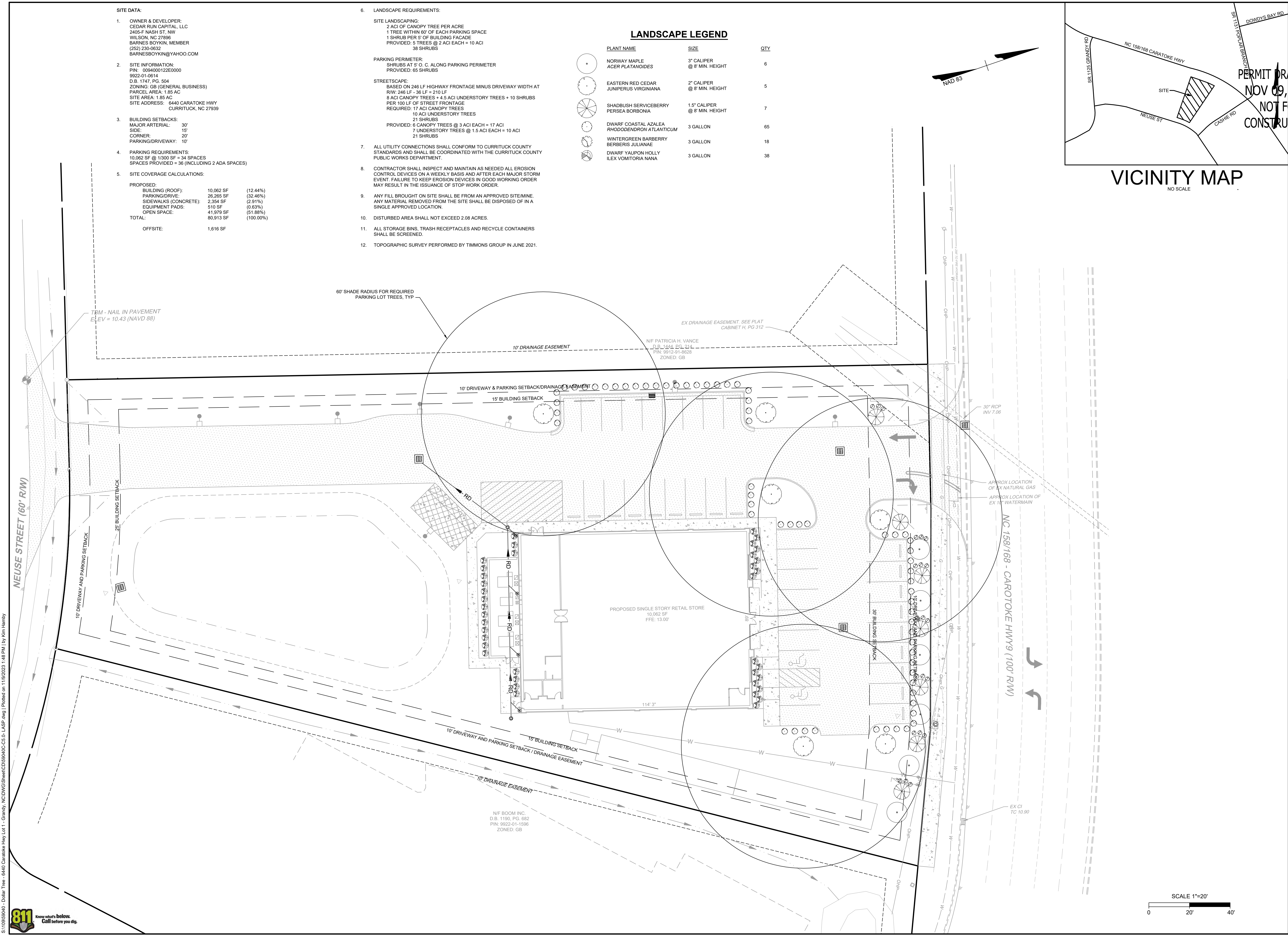
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DATE: 11/09/2023
DRAWN BY: BCD
DESIGNED BY: KDH
CHECKED BY: KDH
SCALE: 1" = 20'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
DOLLAR TREE CARATOKE HWY
POPLAR BRANCH TNSP - CURRITUCK COUNTY - NORTH CAROLINA
LANDSCAPE PLAN

JOB NO.: 59040
SHEET NO.: C5.0



SCALE 1"=20'
0 20' 40'



DOLLAR TREE – GRANDY
POPLAR BRANCH TOWNSHIP, CURRITUCK COUNTY, NORTH CAROLINA

DRAINAGE NARRATIVE

NOVEMBER 9, 2023

PREPARED BY:



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Dollar Tree – Grandy Drainage Narrative

Cedar Run Capital, LLC is proposing to develop a vacant 1.85-acre site they recently purchased in Grandy, North Carolina. The site is located in a commercial subdivision and is bound by NC 168 (Caratoke Highway) to the north, a vacant lot to the west, an existing Sonic drive-in restaurant to the east, and Neuse Street to the south. The site is zoned GB (General Business) and will be served by public water and on-site septic.

Development for this project will include construction of a driveway that will run through the site from NC 168 to Neuse Street, a building with related parking and sidewalks, concrete pads for HVAC equipment and dumpster, subsurface drainage network, stormwater infiltration basin, and a septic field. The basin will serve as means of treatment and detention for the runoff generated by the site. Proposed coverage, on-site, will include 10,062 sf of building, 2,864 sf of concrete (including sidewalks and pads), and 25,985 sf of asphalt parking/drive. Off-site coverage will include 1,116 sf of driveway apron and sidewalk to be constructed within the adjacent street rights-of-way that will drain into the street r/w.

All runoff from on-site impervious coverage will be collected in the underground drainage system and routed to the infiltration basin. The infiltration basin has been designed with a bottom elevation of 9.75' based on a Seasonal High Water Table estimated at approximately elevation 7.75' by Protocol Sampling. The storm drainage will enter the basin in an area that will be lower than the basin bottom to receive the pipe. Side slopes for the basin will be 5:1. The top elevation will be 12' and the storage elevation has been set at 10.75' to provide the required storage. A drainage basin will provide for outflow of water in excess of the minimum storage volume. This outflow will discharge into the roadside ditch along Neuse Street. The volume of the 12 inches of storage is 9,113 cf. The required volume per NCDEQ for treatment is only 4,915 cf. The basin has been oversized to meet the requirements of the Currituck County Stormwater Ordinance which requires commercial sites to control discharge of the post-development 5-yr, 24-hour storm to rates less than a 2-yr, 24-hour storm pre-development and as if wooded. We utilized the rational method to determine peak runoff rate for the 2-year storm on the vacant site as wooded and the results show a 1.351 cfs peak discharge. The modified rational method was applied to the proposed conditions and the peak discharge during the 5-year storm is shown to be only 1.305 cfs when at least 8,695 cf of storage is provided. This volume is accounted for with the design of the infiltration basin. While we have greatly increased the storage above what is required for both treatment and runoff control, the limited depth of 12 inches is estimated to infiltrate in only 24 hours at the minimum rate of 0.5 inches/hour estimated by Protocol Sampling.

The disturbed area for the entire project will not exceed 2.08 acres. Standard erosion control measures such as temporary gravel construction entrances, silt fence, check dams, culvert inlet protection and required seeding are shown on the plans and in details. The plans indicate that the sediment basin area shall be protected during construction and is not to be excavated until the site is substantially stabilized.

Appendix A

Stormwater & Erosion Control Calculations

- Infiltration Basin Summary
- Hydraflow Data & Results - Includes 2 year storm for Pre-development and 5 year storm for Post-development conditions with Modified Rational Method showing Post-development control based on the 2-year Pre-development Peak Discharge)



Pond Summary Sheets

Proposed Infiltration Basin



Project Name: DT Grandy

TG Project No. 59040

Date: 7/25/2023

Calculated By: KDH

Drainage Area Properties

Data Input		Notes and Descriptions
Drainage Area, A _{TOT} (as acreage)	80,913 SF 1.86 AC	Total area draining to basin
Impervious Area (as acreage)	39,191 SF 0.90 AC	Total impervious area received by basin
Percent Impervious	48.44 %	
Runoff Coefficient	0.49	$R_v = 0.05 + 0.9 * I_A$ $I_A =$ Impervious Fraction
K (in/hr)	0.50	Hydraulic Conductivity of Soil
R _D (in)	1.50	Design Storm Depth

Impervious Area Breakdown

Coverage	Impervious Area (sf)
Buildings	10,062
Road	
Parking	26,265
Sidewalks	2,354
Gravel	
Other	510
Total Site Coverage	39,191

Required Surface Area (SA)

Minimum Surface Area (sf)	3276.46	$SA = FS * (DV * 12 / K * T)$
FS (Safety Factor)	2	
Maximum Dewatering Time, T (hours)	72	
DV (Design volume - in ft ³)	4915	$DV = 3630 * R_D * R_v * A$
Design Depth (ft)	1	
Surface Area Required (sf)	4915	Based on Design Volume and Depth

Pond Volume Calculations

Description	Elevation	Area SF	Cumulative Volume CF
Pond Bottom	9.75	8,151	
Pond Top	10.75	10,074	9,113

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	1.351	1	19	1,541	----	----	----	Existing Conditions
2	Mod. Rational	1.505	1	7	6,415	----	----	----	Proposed Conditions

2-Year Summary

Hydrograph Report

Hyd. No. 1

Existing Conditions

Hydrograph type	= Rational	Peak discharge	= 1.351 cfs
Storm frequency	= 2 yrs	Time to peak	= 19 min
Time interval	= 1 min	Hyd. volume	= 1,541 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.2*
Intensity	= 3.633 in/hr	Tc by TR55	= 19.00 min
IDF Curve	= Grandy.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(1.860 x 0.20)] / 1.860



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

Existing Conditions

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.150	0.011	0.011	
Flow length (ft)	= 215.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 4.00	0.00	0.00	
Land slope (%)	= 1.40	0.00	0.00	
Travel Time (min)	= 18.65	+ 0.00	+ 0.00	= 18.65
Shallow Concentrated Flow				
Flow length (ft)	= 0.00	0.00	0.00	
Watercourse slope (%)	= 0.00	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	=0.00	0.00	0.00	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				19.00 min

TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 2

Proposed Conditions

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.015	0.011	0.011	
Flow length (ft)	= 57.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 6.00	0.00	0.00	
Land slope (%)	= 1.17	0.00	0.00	
Travel Time (min)	= 0.90	+ 0.00	+ 0.00	= 0.90
Shallow Concentrated Flow				
Flow length (ft)	= 358.00	0.00	0.00	
Watercourse slope (%)	= 0.26	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	=1.04	0.00	0.00	
Travel Time (min)	= 5.76	+ 0.00	+ 0.00	= 5.76
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	{{0}}0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				7.00 min

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	1.559	1	19	1,777	----	----	----	Existing Conditions
2	Mod. Rational	1.305	1	7	8,695	----	----	----	Proposed Conditions
5-Year Summary									
DT Grandy hydraflow.gpw					Return Period: 5 Year			Thursday, 11 / 9 / 2023	

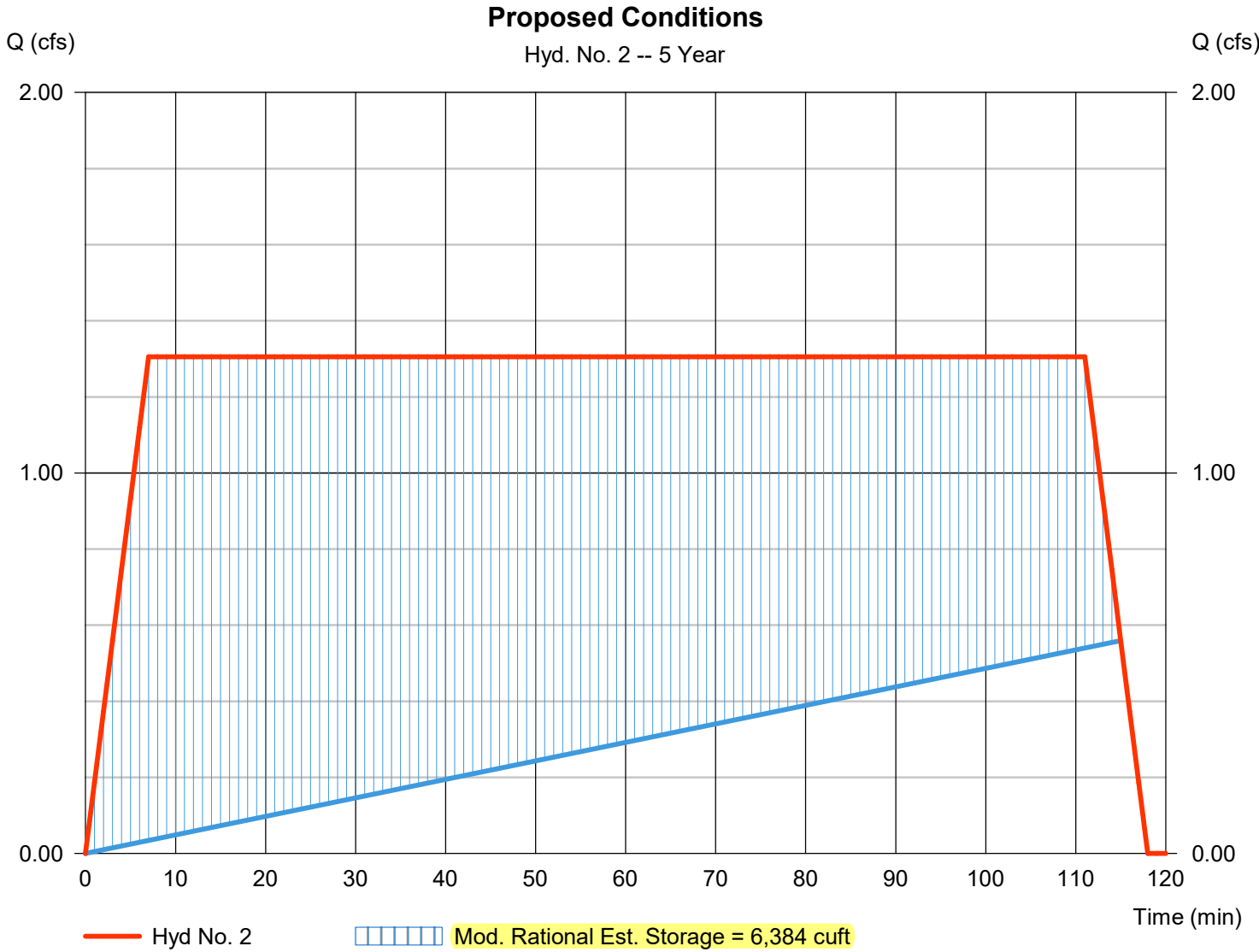
Hydrograph Report

Hyd. No. 2

Proposed Conditions

Hydrograph type	= Mod. Rational	Peak discharge	= 1.305 cfs
Storm frequency	= 5 yrs	Time to peak	= 7 min
Time interval	= 1 min	Hyd. volume	= 8,695 cuft
Drainage area	= 1.860 ac	Runoff coeff.	= 0.52*
Intensity	= 1.350 in/hr	Tc by TR55	= 7.00 min
IDF Curve	= Grandy.IDF	Storm duration	= 15.9 x Tc
Target Q	= 0.650 cfs	Est. Req'd Storage	= 6,384 cuft

* Composite (Area/C) = [(0.900 x 0.95) + (0.640 x 0.05) + (0.320 x 0.25)] / 1.860



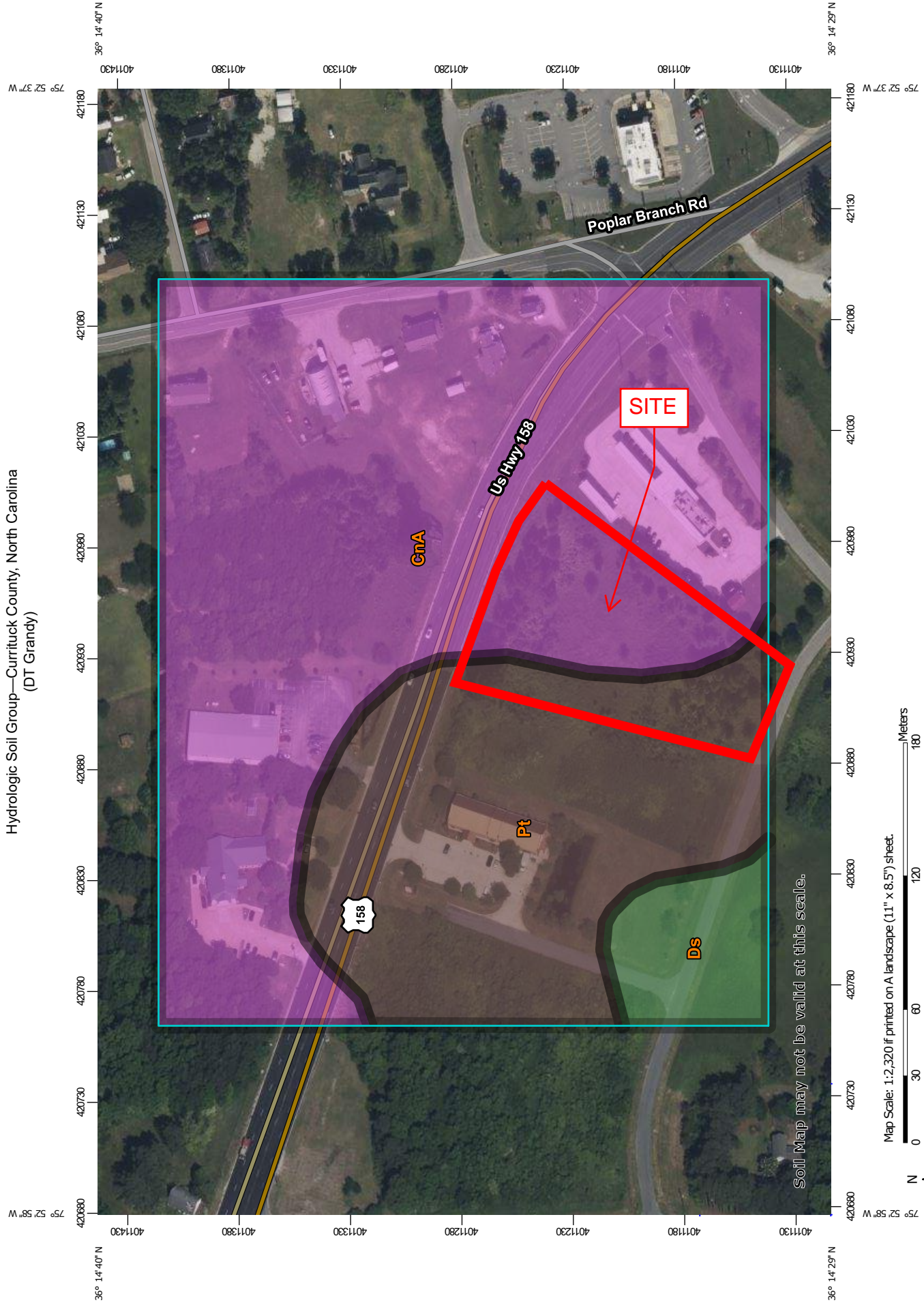
Appendix B

Soil Data

- Web Soil Survey
- Soil Report by Protocol Sampling Service, Inc.



Hydrologic Soil Group—Currituck County, North Carolina
(DT Grandy)



Map Scale: 1:2,320 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84











MAP LEGEND









Area of Interest (AOI)
 Area of Interest (AOI)

Soils


Soil Rating Polygons

-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Lines

-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Points

-  A
-  A/D
-  B
-  B/D

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Currituck County, North Carolina
 Survey Area Data: Version 22, Sep 8, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 18, 2022—May 31, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CnA	Conetoe loamy sand, 0 to 3 percent slopes	A	14.9	65.2%
Ds	Dragston loamy fine sand	A/D	1.2	5.3%
Pt	Portsmouth fine sandy loam	B/D	6.8	29.5%
Totals for Area of Interest			22.9	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

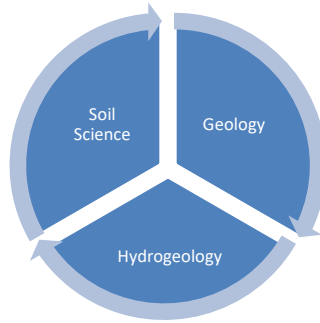
If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



4114 Laurel Ridge Drive
Raleigh, North Carolina 27612

Protocol Sampling Service, Inc.
"Experts in Environmental Compliance"
(919) 210-6547

Protocolsampling@yahoo.com
Environmentalservicesnc.com

June 26, 2023

Ms. Kim Hamby, P.E.
Principal/Senior Project Manager
TIMMONS GROUP |
1805 West City Drive, Unit E
Elizabeth City, North Carolina 27909

Re: **Storm Water Management Soil Investigation
Dollar Tree
NC Highway 168
Grandy, Currituck County, North Carolina 27958
Protocol Project #23-78**

Dear Ms. Hamby:

The following Soil Investigation is submitted to assist in a site assessment for the proposed storm water management improvements along NC Highway 168, Grandy, Currituck County, North Carolina.

SITE HISTORY AND PHYSICAL CHARACTERISTICS

The tract is currently undeveloped farmland and is surrounded by farmland and commercial development along NC Highway 168 in Grandy, North Carolina. Protocol Sampling Service, Inc. of Raleigh, North Carolina was hired to perform an investigation to identify the depth to seasonal high-water table, if any restrictive layers are present, subsurface permeability and the depth to a permeable layer for the installation of a storm water BMP. Surface elevations range from around 11.0 to approximately 12.0 feet msl from west to east across the study area.

SOIL INVESTIGATION

The field survey was conducted on Friday June 23, 2023. One (1) soil boring was advanced to 72 inches below land surface (bls) with a hand auger in the center of the proposed infiltration basin. Soil color was determined with a Munsell Soil Color Chart. The presence of fill or other disturbances, the depth to the seasonal high-water table, soil structure and consistence were noted. The boring was also checked for reduced colors, an anaerobic smell or obvious soil wetness.

FINDINGS - Soil

- The subject property contains soil belonging to the Conetoe series. This series belongs to the Hapludult subgroup that has a Arenic epipedon from surface to 2-inches.

- The soil was found to have an apparent depth to seasonal high-water table of 50-inches bls. The static water level was not found to a depth of 72-inches bls.
- A restrictive horizon was encountered from 19 to 28-inches bls where a loamy sand permeable layer was encountered. The permeable layer extends to at least 72-inches bls.

FINDINGS – SOIL PERMEABILITY

- Soil conductivity is estimated to be at least 0.50 inches/hour in the loamy sand found beneath the Bt horizon at a depth of 28-inches bls.

The findings presented herein are based on the site conditions observed during performance of the field survey on June 23, 2023.

Please call me at (919) 210-6547 if you have any questions or need further assistance.



David E. Meyer, N.C.L.S.S.
Soil Scientist/President



Storm Water Management Investigation
Dollar Tree
Grandy, Currituck County, North Carolina
June 26, 2023

- A 0 – 10 inches; dark brown (7.5YR 3/3) loamy fine sand; granular; friable.
- E 10 – 19 inches; yellowish brown (10YR 5/4) loamy sand; granular; friable.
- Bt 19 – 28 inches; brownish yellow (10YR 6/8) sandy clay loam; subangular blocky; friable.
- BC 28 – 50 inches; brownish yellow (10YR 6/8) and very pale brown (10YR 7/4) loamy sand; subangular blocky; friable.
- C1 50 – 60 inches; brownish yellow (10YR 6/8) fine sand with strong brown (7.5YR 5/6) concentrations and gray (10YR 6/1) depletions; single grained; loose
- C2 60 – 72 inches; light yellowish brown (10YR 6/4) fine sand; single grained; loose

Soil Series: **Conetoe**
Landscape: Coastal Plain
Landform: terrace
Parent Material: Marine sediments
Drainage Class: well drained
Particle Size Class: sandy
Temperature Regime: thermic
Subgroup Classification: Arenic Hapludult
Examination Method: auger boring
Date: June 23, 2023
Weather: Sunny, 78
Investigators: David Meyer
Shwt: 50"
Measured water table depth: >72"

Appendix C

Precipitation Data





NOAA Atlas 14, Volume 2, Version 3
Location name: Grandy, North Carolina, USA*
Latitude: 36.2455°, Longitude: -75.888°
Elevation: 14 ft**
 * source: ESRI Maps
 ** source: USGS



DEPTH

POINT PRECIPITATION FREQUENCY ESTIMATES

G.M. Bonnin, D. Martin, B. Lin, T. Parzybok, M.Yekta, and D. Riley

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aerials](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.444 (0.403-0.490)	0.518 (0.471-0.570)	0.587 (0.534-0.645)	0.673 (0.609-0.739)	0.758 (0.683-0.831)	0.834 (0.750-0.915)	0.904 (0.809-0.992)	0.972 (0.865-1.07)	1.06 (0.930-1.16)	1.14 (0.993-1.25)
10-min	0.709 (0.644-0.782)	0.828 (0.753-0.912)	0.940 (0.855-1.03)	1.08 (0.975-1.18)	1.21 (1.09-1.32)	1.33 (1.19-1.46)	1.44 (1.28-1.58)	1.54 (1.37-1.69)	1.67 (1.47-1.83)	1.79 (1.56-1.97)
15-min	0.886 (0.805-0.978)	1.04 (0.947-1.15)	1.19 (1.08-1.31)	1.36 (1.23-1.50)	1.53 (1.38-1.68)	1.68 (1.51-1.84)	1.82 (1.62-1.99)	1.94 (1.73-2.13)	2.10 (1.85-2.31)	2.24 (1.96-2.47)
30-min	1.22 (1.10-1.34)	1.44 (1.31-1.58)	1.69 (1.54-1.86)	1.97 (1.79-2.17)	2.27 (2.04-2.49)	2.53 (2.28-2.78)	2.78 (2.49-3.05)	3.03 (2.69-3.32)	3.34 (2.95-3.67)	3.63 (3.18-4.00)
60-min	1.52 (1.38-1.67)	1.80 (1.64-1.99)	2.16 (1.97-2.38)	2.57 (2.33-2.82)	3.02 (2.72-3.31)	3.43 (3.09-3.77)	3.83 (3.43-4.20)	4.24 (3.78-4.66)	4.80 (4.23-5.27)	5.30 (4.64-5.84)
2-hr	1.76 (1.59-1.96)	2.11 (1.90-2.33)	2.58 (2.33-2.85)	3.11 (2.80-3.43)	3.74 (3.35-4.12)	4.33 (3.86-4.76)	4.90 (4.36-5.40)	5.52 (4.88-6.08)	6.36 (5.56-7.00)	7.13 (6.19-7.86)
3-hr	1.89 (1.70-2.12)	2.26 (2.04-2.52)	2.78 (2.51-3.09)	3.38 (3.04-3.76)	4.10 (3.67-4.55)	4.80 (4.26-5.30)	5.50 (4.86-6.07)	6.26 (5.49-6.90)	7.31 (6.34-8.06)	8.31 (7.14-9.17)
6-hr	2.26 (2.04-2.52)	2.70 (2.44-3.01)	3.32 (2.99-3.70)	4.03 (3.62-4.49)	4.92 (4.39-5.45)	5.77 (5.13-6.38)	6.64 (5.85-7.32)	7.58 (6.63-8.36)	8.89 (7.69-9.81)	10.2 (8.68-11.2)
12-hr	2.67 (2.40-3.00)	3.19 (2.86-3.57)	3.93 (3.53-4.40)	4.80 (4.30-5.37)	5.90 (5.24-6.57)	6.98 (6.15-7.75)	8.08 (7.06-8.96)	9.31 (8.05-10.3)	11.0 (9.39-12.2)	12.7 (10.7-14.1)
24-hr	3.16 (2.91-3.45)	3.85 (3.54-4.20)	4.97 (4.57-5.42)	5.91 (5.42-6.44)	7.30 (6.65-7.94)	8.50 (7.67-9.23)	9.81 (8.77-10.6)	11.3 (9.96-12.2)	13.4 (11.7-14.6)	15.3 (13.1-16.7)
2-day	3.66 (3.36-4.01)	4.43 (4.07-4.85)	5.69 (5.22-6.22)	6.77 (6.19-7.38)	8.39 (7.61-9.13)	9.80 (8.80-10.6)	11.4 (10.1-12.4)	13.1 (11.5-14.3)	15.7 (13.5-17.2)	18.0 (15.2-19.8)
3-day	3.90 (3.60-4.25)	4.72 (4.36-5.15)	6.03 (5.56-6.57)	7.14 (6.55-7.76)	8.77 (7.99-9.52)	10.2 (9.18-11.0)	11.7 (10.5-12.7)	13.4 (11.8-14.6)	15.9 (13.8-17.4)	18.2 (15.6-20.0)
4-day	4.14 (3.83-4.50)	5.01 (4.64-5.45)	6.38 (5.89-6.92)	7.50 (6.91-8.14)	9.15 (8.36-9.92)	10.5 (9.57-11.4)	12.0 (10.8-13.0)	13.7 (12.1-14.8)	16.1 (14.1-17.6)	18.4 (15.9-20.2)
7-day	4.82 (4.48-5.23)	5.82 (5.40-6.31)	7.30 (6.77-7.91)	8.53 (7.88-9.23)	10.3 (9.46-11.1)	11.8 (10.7-12.7)	13.4 (12.1-14.4)	15.1 (13.5-16.3)	17.5 (15.4-19.1)	19.6 (17.0-21.4)
10-day	5.42 (5.07-5.83)	6.50 (6.07-6.98)	8.05 (7.51-8.65)	9.33 (8.68-10.0)	11.2 (10.3-12.0)	12.7 (11.7-13.6)	14.3 (13.0-15.4)	16.1 (14.5-17.3)	18.5 (16.5-20.1)	20.6 (18.1-22.4)
20-day	7.36 (6.91-7.85)	8.76 (8.24-9.35)	10.6 (10.0-11.4)	12.2 (11.4-13.0)	14.4 (13.4-15.4)	16.2 (15.0-17.3)	18.1 (16.6-19.3)	20.1 (18.3-21.5)	22.9 (20.6-24.7)	25.2 (22.3-27.3)
30-day	9.06 (8.54-9.62)	10.8 (10.1-11.4)	12.9 (12.2-13.8)	14.7 (13.8-15.6)	17.1 (16.0-18.2)	19.0 (17.7-20.2)	21.0 (19.4-22.4)	23.0 (21.1-24.6)	25.8 (23.5-27.7)	28.0 (25.2-30.2)
45-day	11.2 (10.6-11.9)	13.3 (12.5-14.1)	15.9 (15.0-16.9)	18.0 (16.9-19.2)	21.0 (19.7-22.4)	23.5 (21.9-25.0)	26.1 (24.1-27.7)	28.7 (26.4-30.7)	32.4 (29.4-34.8)	35.4 (31.8-38.1)
60-day	13.5 (12.7-14.2)	15.9 (15.0-16.8)	18.8 (17.7-19.9)	21.1 (19.9-22.3)	24.3 (22.8-25.7)	26.8 (25.1-28.3)	29.3 (27.3-31.1)	31.9 (29.5-33.9)	35.4 (32.4-37.8)	38.1 (34.6-40.9)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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PF graphical



NOAA Atlas 14, Volume 2, Version 3
Location name: Grandy, North Carolina, USA*
Latitude: 36.2455°, Longitude: -75.888°
Elevation: 14 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

G.M. Bonnin, D. Martin, B. Lin, T. Parzybok, M.Yekta, and D. Riley

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aerials](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	5.33 (4.84-5.88)	6.22 (5.65-6.84)	7.04 (6.41-7.74)	8.08 (7.31-8.87)	9.10 (8.20-9.97)	10.0 (9.00-11.0)	10.8 (9.71-11.9)	11.7 (10.4-12.8)	12.7 (11.2-13.9)	13.6 (11.9-15.0)
10-min	4.25 (3.86-4.69)	4.97 (4.52-5.47)	5.64 (5.13-6.20)	6.46 (5.85-7.09)	7.25 (6.53-7.95)	7.97 (7.16-8.74)	8.62 (7.71-9.46)	9.25 (8.23-10.1)	10.0 (8.83-11.0)	10.7 (9.38-11.8)
15-min	3.54 (3.22-3.91)	4.16 (3.79-4.58)	4.76 (4.33-5.23)	5.44 (4.93-5.98)	6.12 (5.52-6.72)	6.73 (6.05-7.38)	7.26 (6.50-7.97)	7.78 (6.92-8.53)	8.40 (7.41-9.23)	8.98 (7.86-9.88)
30-min	2.43 (2.21-2.68)	2.88 (2.62-3.17)	3.38 (3.07-3.71)	3.94 (3.57-4.33)	4.54 (4.09-4.97)	5.07 (4.55-5.56)	5.56 (4.98-6.10)	6.05 (5.39-6.64)	6.68 (5.90-7.34)	7.27 (6.36-8.00)
60-min	1.52 (1.38-1.67)	1.80 (1.64-1.99)	2.16 (1.97-2.38)	2.57 (2.33-2.82)	3.02 (2.72-3.31)	3.43 (3.09-3.77)	3.83 (3.43-4.20)	4.24 (3.78-4.66)	4.80 (4.23-5.27)	5.30 (4.64-5.84)
2-hr	0.881 (0.795-0.978)	1.05 (0.952-1.17)	1.29 (1.16-1.43)	1.56 (1.40-1.72)	1.87 (1.68-2.06)	2.16 (1.93-2.38)	2.45 (2.18-2.70)	2.76 (2.44-3.04)	3.18 (2.78-3.50)	3.57 (3.10-3.93)
3-hr	0.630 (0.567-0.704)	0.753 (0.680-0.840)	0.925 (0.835-1.03)	1.12 (1.01-1.25)	1.37 (1.22-1.51)	1.60 (1.42-1.77)	1.83 (1.62-2.02)	2.08 (1.83-2.30)	2.43 (2.11-2.68)	2.77 (2.38-3.05)
6-hr	0.377 (0.340-0.421)	0.450 (0.406-0.502)	0.553 (0.499-0.617)	0.673 (0.605-0.749)	0.820 (0.733-0.910)	0.963 (0.856-1.06)	1.11 (0.977-1.22)	1.27 (1.11-1.40)	1.48 (1.28-1.64)	1.70 (1.45-1.87)
12-hr	0.221 (0.199-0.248)	0.264 (0.237-0.296)	0.326 (0.292-0.365)	0.398 (0.356-0.445)	0.489 (0.434-0.545)	0.579 (0.510-0.643)	0.670 (0.586-0.743)	0.772 (0.668-0.855)	0.914 (0.779-1.01)	1.05 (0.886-1.17)
24-hr	0.131 (0.121-0.143)	0.160 (0.147-0.175)	0.207 (0.190-0.225)	0.246 (0.225-0.268)	0.304 (0.276-0.330)	0.354 (0.319-0.384)	0.408 (0.365-0.443)	0.469 (0.415-0.509)	0.559 (0.486-0.610)	0.635 (0.544-0.696)
2-day	0.076 (0.070-0.083)	0.092 (0.084-0.101)	0.118 (0.108-0.129)	0.141 (0.128-0.153)	0.174 (0.158-0.190)	0.204 (0.183-0.221)	0.236 (0.210-0.257)	0.273 (0.239-0.297)	0.327 (0.281-0.359)	0.375 (0.317-0.412)
3-day	0.054 (0.049-0.059)	0.065 (0.060-0.071)	0.083 (0.077-0.091)	0.099 (0.090-0.107)	0.121 (0.110-0.132)	0.141 (0.127-0.153)	0.162 (0.145-0.176)	0.185 (0.164-0.202)	0.221 (0.192-0.242)	0.252 (0.216-0.278)
4-day	0.043 (0.039-0.046)	0.052 (0.048-0.056)	0.066 (0.061-0.072)	0.078 (0.072-0.084)	0.095 (0.087-0.103)	0.109 (0.099-0.118)	0.125 (0.112-0.135)	0.142 (0.126-0.154)	0.167 (0.147-0.183)	0.191 (0.165-0.210)
7-day	0.028 (0.026-0.031)	0.034 (0.032-0.037)	0.043 (0.040-0.047)	0.050 (0.046-0.054)	0.061 (0.056-0.066)	0.070 (0.063-0.075)	0.079 (0.071-0.085)	0.089 (0.080-0.097)	0.104 (0.091-0.113)	0.116 (0.101-0.127)
10-day	0.022 (0.021-0.024)	0.027 (0.025-0.029)	0.033 (0.031-0.036)	0.038 (0.036-0.041)	0.046 (0.043-0.049)	0.052 (0.048-0.056)	0.059 (0.054-0.064)	0.066 (0.060-0.072)	0.077 (0.068-0.083)	0.085 (0.075-0.093)
20-day	0.015 (0.014-0.016)	0.018 (0.017-0.019)	0.022 (0.020-0.023)	0.025 (0.023-0.027)	0.030 (0.027-0.032)	0.033 (0.031-0.036)	0.037 (0.034-0.040)	0.041 (0.038-0.044)	0.047 (0.042-0.051)	0.052 (0.046-0.056)
30-day	0.012 (0.011-0.013)	0.014 (0.014-0.015)	0.017 (0.016-0.019)	0.020 (0.019-0.021)	0.023 (0.022-0.025)	0.026 (0.024-0.028)	0.029 (0.026-0.031)	0.031 (0.029-0.034)	0.035 (0.032-0.038)	0.038 (0.034-0.041)
45-day	0.010 (0.009-0.011)	0.012 (0.011-0.013)	0.014 (0.013-0.015)	0.016 (0.015-0.017)	0.019 (0.018-0.020)	0.021 (0.020-0.023)	0.024 (0.022-0.025)	0.026 (0.024-0.028)	0.030 (0.027-0.032)	0.032 (0.029-0.035)
60-day	0.009 (0.008-0.009)	0.011 (0.010-0.011)	0.013 (0.012-0.013)	0.014 (0.013-0.015)	0.016 (0.015-0.017)	0.018 (0.017-0.019)	0.020 (0.018-0.021)	0.022 (0.020-0.023)	0.024 (0.022-0.026)	0.026 (0.024-0.028)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

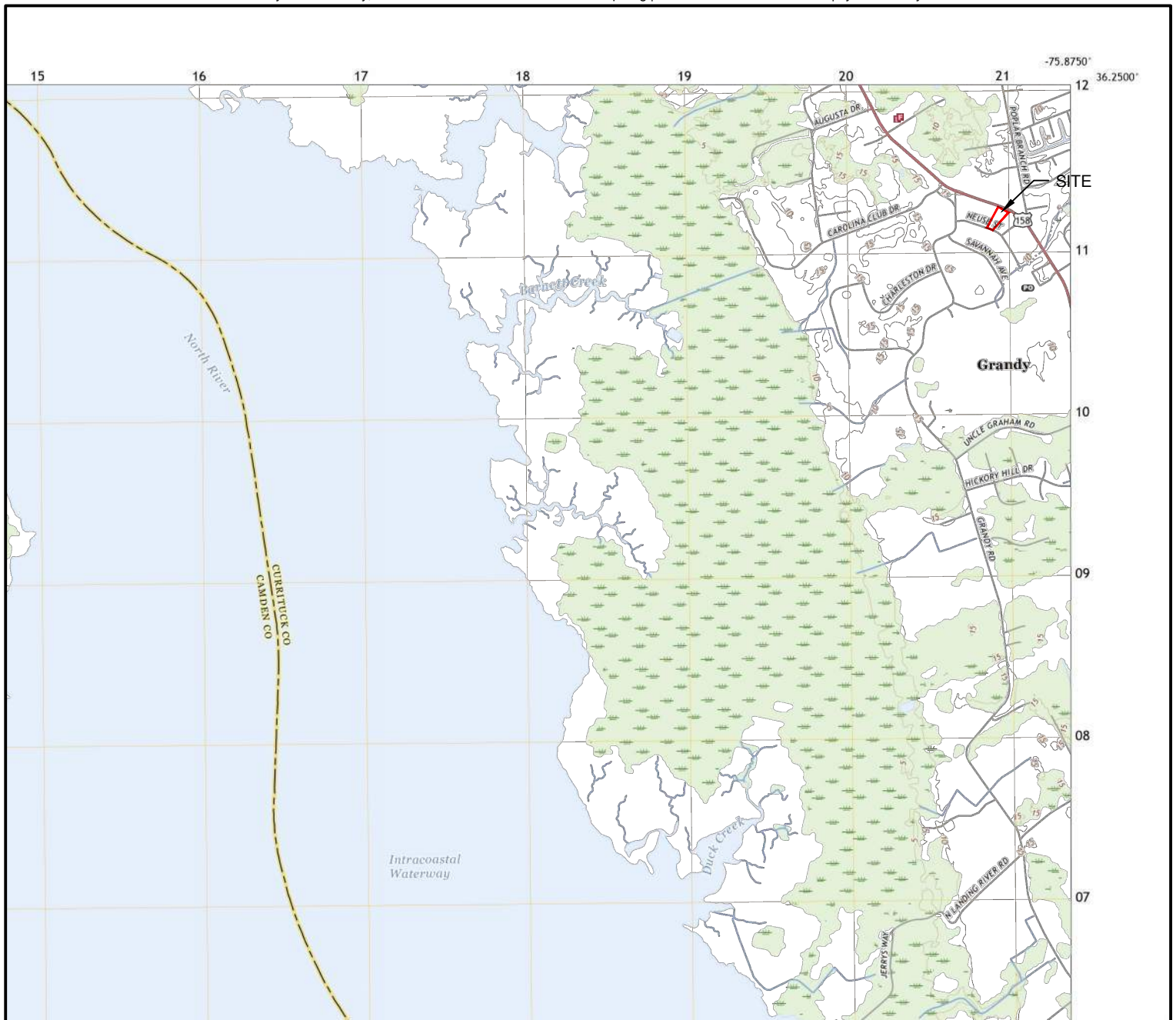
[Back to Top](#)

PF graphical

Appendix D

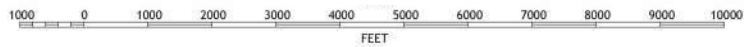
Quad Map





USGS QUAD MAP EXHIBIT

CAMDEN POINT, NC
2022



THIS DRAWING PREPARED AT THE ELIZABETH CITY OFFICE 1805 West City Drive, Unit E Elizabeth City, NC 27909 TEL 252.621.5030 FAX 252.562.6974 www.timmons.com	YOUR VISION ACHIEVED THROUGH OURS.	POPLAR BRANCH TNSP	CURRITUCK COUNTY
		Date: 07/25/2023	Scale: 1" = 3000'
		Sheet 1 of 1	J.N.: 59040
		Drawn by: KH	Checked by: KH

TIMMONS GROUP

Appendix E

FEMA Firmette



Sheet 1



HW

%DVBS, P|U|6XU|H| 66|DWL R000 DS

6) 6587 755(8) 555557

LWRRWV %DVHDP RG OH DWL RQ %
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 LWK%RU|HMK #RH\$ 9 9 \$
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 R|D000 R00H|O RRGZ|WK0H|DH
 G-BWKO|HV|W00R0|HRW RU Z|WK0J|D 0

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74|S|O|G|V|D|H|G|R|W|K|H|B|L|V|D|D|B|B|U|L|B|W|H
 S|R|O|V|V|O|H|W|H|G|W|H|X|H|U|D|G|G|R|V|G|R|W|U|H|H
 D|D|W|U|R|U|L|W|D|W|L|Y|H|S|U|R|S|U|W|O|R|E|W|L|R0

74|L|V|B|S|F|R|D|L|H|Z|W|K|8|V|W|D|E|D|G|V|R|U|W|H|X|H|R
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 74|H|E|D|B|S|W|K|0|R|E|D|L|H|Z|W|K|8|V|E|D|H|E|S
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74|H|O|R|G|K|D|U|G|L|R|U|B|L|R|Q|L|V|G|H|L|Y|G|L|U|H|W|O|U|R|W|H|H
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 U|H|O|H|W|R00|H|R|U|D|R00|W|V|V|H|H|D|W|W|R|W|L|V|G|W|H|D|G|G
 W|L|R|74|H|K|D|G|H|H|F|W|L|Y|H|L|R|U|B|L|R|Q|B|H|O|D|H|R|U
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74|L|V|B|S|B|H|L|V|Y|R|G|L|I|W|H|R0|H|R|U|R|H|R|W|K|H|O|R|Z|O|E|B|S
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 O|H|H|G|V|D|H|E|J|B|F|U|D|W|L|R|Q|D|W|H|F|R|Q|L|W|L|G|W|L|L|H|U|V
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Appendix F

Property/Ownership Data

- Current Deed
- Secretary of State printout for Cedar Run Capital LLC

Unofficial Document

Currituck County Land Transfer Tax: 1290.00 County Excise Tax: 1985 Sessions Law Chapter 670 (HB 215)

Excise Tax:

Recording Time, Book and Page:

Parcel No: 0094-000-122E-0000

Mail after recording to: Hornthal, Riley, Ellis & Maland, LLP (HREM file no. 30459-4.wbm)

This instrument was prepared by: William Brumsey, III/mnm file no. 23B60433

Brief Description for Index:

Lot 1, JD Land Holdings LLC Forbes Corner Phase One

NORTH CAROLINA GENERAL WARRANTY DEED

This DEED, made this 9th day of August 2023 by and between

GRANTOR

GRANTEE

JASON R. ROADCAP, unmarried

CEDAR RUN CAPITAL, LLC, a North Carolina Limited Liability Company

631 Fernwood Farms Rd.
Chesapeake, VA 23320

2405 F. Nash Street, NW
Wilson, NC 27896-1360

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.q. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of all of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the said Grantees in fee simple, all that certain lot or parcel of land situated in Poplar Branch Township, Currituck County, North Carolina, more particularly described as follows:

See attached Exhibit "A"

All or a portion of the property herein conveyed _____ includes or X does not include the primary residence of a Grantor.

This instrument prepared by: William Brumsey, III, a licensed North Carolina attorney. Delinquent taxes, if any, to be paid by the closing attorney to the County tax collector upon disbursement of closing proceeds.

Unofficial Document

Unofficial Document

UNOFFICIAL DOCUMENT

The property hereinabove described was acquired by Grantor by instrument recorded in Book 1364 Page 597.

Estate file 19-E-120.

A map showing the above described property is recorded with Deed Book H Page 312.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to Grantees in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

See Exhibit "B" attached

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

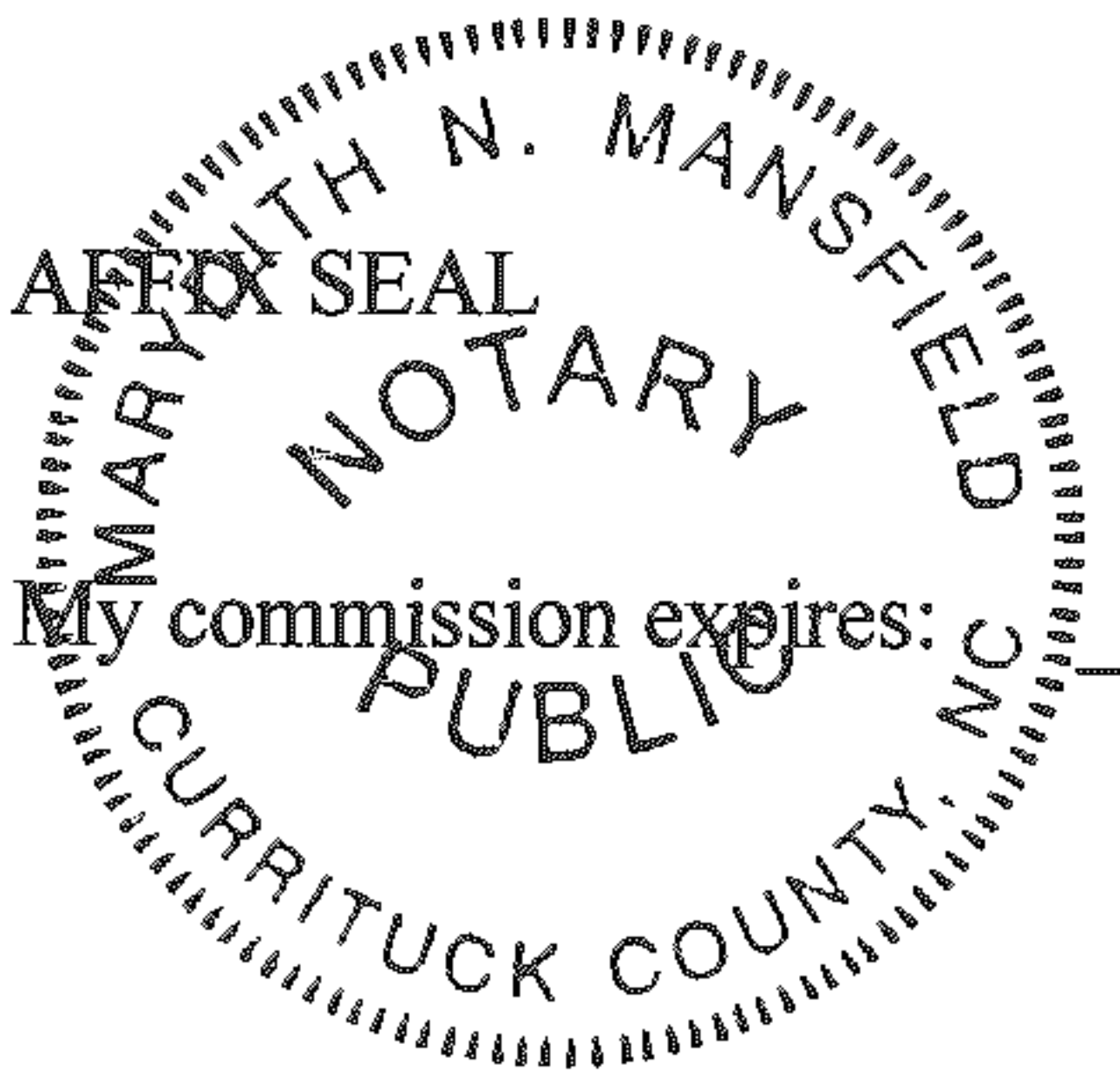
By _____ (Corporate Name) Jason R. Roadcap (SEAL)
President

STATE OF NC COUNTY/CITY OF Currituck

I, Mandith N. Mansfield a Notary Public do hereby certify

that Jason R. Roadcap personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed.

Witness my hand and official stamp or seal this 11th day of August 2023.



Mandith N. Mansfield (SEAL)
Notary Public

UNOFFICIAL DOCUMENT

EXHIBIT A

BEGINNING AT A POINT set in the southern right of way margin of Caratoke Highway (U.S. 158 – 100' R/W), which **POINT OF BEGINNING** marks the northeast corner of Lot "2," as described and delineated on that plat referenced below; thence from said **POINT OF BEGINNING** and running along the southern right of way margin of Caratoke Highway (U.S. 158 – 100' R/W) the following courses and distances: South $61^{\circ} 41' 38''$ East 71.23 feet to an existing iron rod; thence running South $60^{\circ} 17' 16''$ East 109.32 feet to an existing iron rod; and thence running South $55^{\circ} 11' 00''$ East 66.61 feet to a set $\frac{1}{2}$ " rebar; thence cornering and running away from Caratoke Highway South $43^{\circ} 43' 24''$ West 437.42 feet to a set $\frac{1}{2}$ " rebar; thence cornering and running north-northwest along a curve (Curve Data: Radius is 430.00'; Delta is $11^{\circ} 46' 18''$; Tangent is 44.33'; Bearing is North $56^{\circ} 07' 37''$ West; and Chord is 88.19') a distance of 88.35 feet to a set $\frac{1}{2}$ " rebar; thence running North $62^{\circ} 00' 46''$ West 44.28 feet to a point; thence cornering and running South $28^{\circ} 31' 42''$ West 423.61 feet to the **POINT OF BEGINNING**, containing 80,938 square feet, and being all of Lot "1," as described and delineated on that plat entitled in part, "JD Land Holdings, LLC, Forbes Corner – Phase One," dated January 7, 2004, prepared by Edward T. Hyman, Jr., Professional Land Surveyor, which plat is recorded in Plat Cabinet H, Slide 312, of the Currituck County Public Registry, and which plat is incorporated herein by reference.

This being that same property conveyed to Darryl H. Roadcap ("Darryl") by deed dated May 13, 2016, which deed is of record in Deed Book 1364, Page 597, of the Currituck County Public Registry. Darryl died intestate January 5, 2018, a resident of Virginia Beach, Virginia (see Estate File 19-E-120 in the Office of the Clerk of Superior Court of Currituck County). Darryl's son, Jason R. Roadcap was his only at law.

J:\REAL ESTATE\CLIENTS.2023\Cedar Run Capital, LLC - PURCH - 6440 Caratoke Hwy Grandy - 30459-4\Legal.wpd

EXHIBIT B
Permitted Exceptions

1. Taxes for the year 2024, and subsequent years, not yet due and payable;
2. Easements, setbacks and rights of way; including an inscription that reads “nonresidential access shall be limited to FOUR (4) driveways onto Caratoke Highway, driveways shall be at least 230' intervals,” and variable width drainage easements, as shown on recorded plat in Plat Cabinet H, Slide 273, and Plat Cabinet H, Slides 311 and 312, in the Currituck County Public Registry;
3. Easement in favor of Virginia Electric & Power Company doing business in North Carolina as Dominion North Carolina Power recorded in Deed Book 768, Page 86, of the Currituck County Public Registry; and
4. Rights of others including riparian, littoral, rights to traverse and of drainage over, in and to the waters of any branch, river, stream, creek, lake canal, ditch, or other watercourse which joins or traverses the land.

• File an Annual Report/Amend an Annual Report • Upload a PDF Filing • Order a Document Online • Add Entity to My Email Notification List • View Filings • Print a Pre-Populated Annual Report form • Print an Amended a Annual Report form

Limited Liability Company

Legal Name

Cedar Run Capital, LLC

Information

SosId: 1443371

Status: Current-Active ⓘ

Date Formed: 5/1/2015

Citizenship: Domestic

Annual Report Due Date: April 15th

Current Annual Report Status:

Registered Agent: thomas, charles a

Addresses

Mailing

2405 F Nash St NW
Wilson, NC 27896-1360

Principal Office

2405 F Nash St NW
Wilson, NC 27896-1360

Reg Office

2405 F Nash St NW
Wilson, NC 27896-1360

Reg Mailing

2405 F Nash St NW
Wilson, NC 27896-1360

Company Officials

All LLCs are managed by their managers pursuant to N.C.G.S. 57D-3-20.

Member

G Barnes Boykin
2405 F Nash St NW
Wilson NC 27886

Member

charles thomas
2405 - f nash street nw
wilson NC 27896

November 9, 2023

Ms. Donna Voliva, Asst. Planning Director
Currituck County

**Subject: Response to TRC Comments
Dollar Tree - Grandy
Timmons Group Job #59040**

Dear Ms. Voliva:

Please accept the following for resubmittal to review and approval. We have enclosed 3 full sized copies of the revised plans, one 8.5 X 11 reduced copy of the plans, a revised drainage narrative and copies of the signed applications for stormwater, erosion control, driveway permit and encroachment agreements. A disc is also enclosed containing the plans and documents in pdf format.

Based on your letter dated September 13, 2023, I believe all County comments have been addressed with the exception of the needing the owner's signature in the stormwater certificate on the plans. Assuming this plan is otherwise acceptable, we will have the owner sign a copy for your files.

We have also been working with NCDOT to provide a driveway off US Hwy 168 that will meet their requirements for a right turn out.

We did receive comments from McAdams regarding stormwater and my response to their comments is below.

STORMWATER DEVELOPMENT REVIEW COMMENTS

Could you please complete and send the following forms found here:

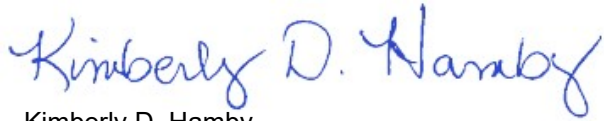
<https://currituckcountync.gov/unified-development-ordinance/>

- Updated and complete Form SW-002 We have included in this submittal a revised copy of Form SW-002. I am unsure of what was lacking but have done my best to insure accuracy.
- Form SW-003 As discussed with Daniel Wiebke, this form is a manual rational method calculation. In our previous Hydraflow calculations, we had used a time of concentration calculated in a different form. We have updated Hydraflow to include the tc calculations so that all of the information required by Form SW-003 is provided in the Hydraflow report.
- Infiltration Basin Design Checklist As discussed with Daniel Wiebke, the Infiltration Basin Design Checklist the county has provided is a copy of the old version of NCDEQ's Infiltration Basin Supplement and it is out of date with respect to NCDEQ standards for treatment. The newer NCDEQ Supplement EZ form is included in the stormwater application package provided with this submittal.

- Infiltration Basin Inspection Checklist should be submitted w/ as-built. [Understood.](#)

Please let me know if you need any additional information or have any questions.

Sincerely,



Kimberly D. Hamby
Sr. Project Manager
Timmons Group

Cc: File

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No.	Date of Application	
County: Currituck		
Development Name: Dollar Tree		

LOCATION OF PROPERTY:

Route/Road:	NC Hwy 168		
Exact Distance	535	<input type="checkbox"/> Miles	<input checked="" type="checkbox"/> Feet
		N <input checked="" type="checkbox"/>	S <input type="checkbox"/>
		E <input type="checkbox"/>	W <input checked="" type="checkbox"/>
From the Intersection of Route No.	NC Hwy 168	and Route No.	SR 1131
		Toward	north
Property Will Be Used For:	<input type="checkbox"/> Residential /Subdivision <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Educational Facilities <input type="checkbox"/> TND <input type="checkbox"/> Emergency Services <input type="checkbox"/> Other		
Property:	<input checked="" type="checkbox"/> is <input type="checkbox"/> is not within Currituck County City Zoning Area.		

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

DEPARTMENT OF TRANSPORTATION

RIGHT OF WAY ENCROACHMENT AGREEMENT
FOR NON-UTILITY ENCROACHMENTS ON
PRIMARY AND SECONDARY HIGHWAYS

-AND-

Cedar Run Capital, LLC, Barnes Boykin, Member

2405 F Nash Street NW

Wilson, NC 27696

THIS AGREEMENT, made and entered into this the _____ day of _____, 20____, by and between the Department of Transportation, party of the first part; and Cedar Run Capital, LLC party of the second part,

WITNESSETH

THAT WHEREAS, the party of the second part desires to encroach on the right of way of the public road designated as Route(s) NC Hwy 168, located approximately 550' north of the intersection of NC 168 and SR 1131, on the west side of the highway

with the construction and/or erection of: concrete sidewalk along lot frontage, extension of an existing pipe stub out from a curb inlet at the north end of the road frontage, replacement of a curb inlet frame and grate with a DI frame and grate in the proposed driveway apron, and replacement of a DI frame and grate with a storm manhole ring and cover

WHEREAS, it is to the material advantage of the party of the second part to effect this encroachment, and the party of the first part in the exercise of authority conferred upon it by statute, is willing to permit the encroachment within the limits of the right of way as indicated, subject to the conditions of this agreement;

NOW, THEREFORE, IT IS AGREED that the party of the first part hereby grants to the party of the second part the right and privilege to make this encroachment as shown on attached plan sheet(s), specifications and special provisions which are made a part hereof upon the following conditions, to wit:

That the said party of the second part binds and obligates himself to install and maintain the encroaching facility in such safe and proper condition that it will not interfere with or endanger travel upon said highway, nor obstruct nor interfere with the proper maintenance thereof, to reimburse the party of the first part for the cost incurred for any repairs or maintenance to its roadways and structures necessary due to the installation and existence of the facilities of the party of the second part, and if at any time the party of the first part shall require the removal of or changes in the location of the said facilities, that the said party of the second part binds himself, his successors and assigns, to promptly remove or alter the said facilities, in order to conform to the said requirement, without any cost to the party of the first part.

That the party of the second part agrees to provide during construction and any subsequent maintenance proper signs, signal lights, flagmen and other warning devices for the protection of traffic in conformance with the latest Manual on Uniform Traffic Control Devices for Streets and Highways and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the Division Engineer of the party of the first part.

That the party of the second part hereby agrees to indemnify and save harmless the party of the first part from all damages and claims for damage that may arise by reason of the installation and maintenance of this encroachment.

It is clearly understood by the party of the second part that the party of the first part will assume no responsibility for any damage that may be caused to such facilities, within the highway rights of way limits, in carrying out its construction and maintenance operations.

That the party of the second part agrees to restore all areas disturbed during installation and maintenance to the satisfaction of the Division Engineer of the party of the first part. The party of the second part agrees to exercise every reasonable precaution during construction and maintenance to prevent eroding of soil; silting or pollution of rivers, streams, lakes, reservoirs, other water impoundments, ground surfaces or other property; or pollution of the air. There shall be compliance with applicable rules and regulations of the North Carolina Division of Environmental Management, North Carolina Sedimentation Control Commission, and with ordinances and regulations of various counties, municipalities and other official agencies relating to pollution prevention and control. When any installation or maintenance operation disturbs the ground surface and existing ground cover, the party of the second part agrees to remove and replace the sod or otherwise reestablish the grass cover to meet the satisfaction of the Division Engineer of the party of the first part.

That the party of the second part agrees to assume the actual cost of any inspection of the work considered to be necessary by the Division Engineer of the party of the first part.

That the party of the second part agrees to have available at the encroaching site, at all times during construction, a copy of this agreement showing evidence of approval by the party of the first part. The party of the first part reserves the right to stop all work unless evidence of approval can be shown.

Provided the work contained in this agreement is being performed on a completed highway open to traffic; the party of the second part agrees to give written notice to the Division Engineer of the party of the first part when all work contained herein has been completed. Unless specifically requested by the party of the first part, written notice of completion of work on highway projects under construction will not be required.

That in the case of noncompliance with the terms of this agreement by the party of the second part, the party of the first part reserves the right to stop all work until the facility has been brought into compliance or removed from the right of way at no cost to the party of the first part.

That it is agreed by both parties that this agreement shall become void if actual construction of the work contemplated herein is not begun within one (1) year from the date of authorization by the party of the first part unless written waiver is secured by the party of the second part from the party of the first part.

R/W (161A) : Party of the Second Part certifies that this agreement is true and accurate copy of the form R/W (161A) incorporating all revisions to date.

IN WITNESS WHEREOF, each of the parties to this agreement has caused the same to be executed the day and year first above written.

DEPARTMENT OF TRANSPORTATION

BY: _____
DIVISION ENGINEER

ATTEST OR WITNESS:

_____ *Thomas* _____

Cedar Run Capital, LLC

EB
Barnes Boykin, Member

Second Party

INSTRUCTIONS

When the applicant is a corporation or a municipality, this agreement must have the corporate seal and be attested by the corporation secretary or by the empowered city official, unless a waiver of corporate seal and attestation by the secretary or by the empowered City official is on file in the Raleigh office of the State Utilities Manager. In the space provided in this agreement for execution, the name of the corporation or municipality shall be typed above the name, and title of all persons signing the agreement should be typed directly below their signature.

When the applicant is not a corporation, then his signature must be witnessed by one person. The address should be included in this agreement and the names of all persons signing the agreement should be typed directly below their signature.

This agreement must be accompanied, in the form of an attachment, by plans or drawings showing the following applicable information:

1. All roadways and ramps.
2. Right of way lines and where applicable, the control of access lines.
3. Location of the proposed encroachment.
4. Length and type of encroachment.
5. Location by highway survey station number. If station number cannot be obtained, location should be shown by distance from some identifiable point, such as a bridge, road, intersection, etc. (To assist in preparation of the encroachment plan, the Department's roadway plans may be seen at the various Highway Division Offices, or at the Raleigh office.)
6. Drainage structures or bridges if affected by encroachment.
7. Typical section indicating the pavement design and width, and the slopes, widths and details for either a curb and gutter or a shoulder and ditch section, whichever is applicable.
8. Horizontal alignment indicating general curve data, where applicable.
9. Vertical alignment indicated by percent grade, P.I. station and vertical curve length, where applicable.
10. Amount of material to be removed and/or placed on NCDOT right of way, if applicable.
11. Cross-sections of all grading operations, indicating slope ratio and reference by station where applicable.
12. All pertinent drainage structures proposed. Include all hydraulic data, pipe sizes, structure details and other related information.
13. Erosion and sediment control.
14. Any special provisions or specifications as to the performance of the work or the method of construction that may be required by the Department must be shown on a separate sheet attached to encroachment agreement provided that such information cannot be shown on plans or drawings.
15. The Department's Division Engineer should be given notice by the applicant prior to actual starting of installation included in this agreement.
16. Method of handling traffic during construction where applicable.
17. Scale of plans, north arrow, etc.



Major Stormwater Plan Form SW-002

Review Process

Contact Information

Currituck County
Planning and Community Development
153 Courthouse Road, Suite 110
Currituck, NC 27929

Phone: 252.232.3055
Fax: 252.232.3026

Website: <http://www.co.currituck.nc.us/planning-community-development.cfm>

Currituck County
Engineering Department
153 Courthouse Road, Suite 302
Currituck, NC 27929

Phone: 252.232.6035

General

Major stormwater plan approval is required for:

- Major subdivisions.
- Major site plans - development or expansion on a nonresidential, multi-family, or mixed use lot by 5,000 square feet or more of impervious coverage or resulting in 10% or more total impervious coverage.

Step 1: Application Submittal

The applicant must submit a complete application packet consisting of the following:

- Completed Currituck County Minor Stormwater Plan Form SW-002 (unless submitting a major subdivision or major site plan).
- Completed Rational Method Form SW-003 or NRCS Method Form SW-004.
- Stormwater management plan drawn to scale. The plan shall include the items listed in the major stormwater plan design standards checklist.
- Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable.
- NCDENR permit applications, if applicable.
- Number of Copies Submitted:
 - 3 Copies of required plans
 - 3 Hard copies of ALL documents
 - 1 PDF digital copy (ex. Compact Disk – e-mail not acceptable) of all plans AND documents.

On receiving an application, staff shall determine whether the application is complete or incomplete. A complete application contains all the information and materials listed above, and is in sufficient detail to evaluate and determine whether it complies with appropriate review standards. An application for major stormwater plan must be submitted and approved prior altering an existing drainage system, performing any land disturbing activity or, before construction documents are approved.

Step 2: Staff Review and Action

Once an application is determined complete staff shall approve, approve subject to conditions or disapprove the application.



Major Stormwater Plan Form SW-002

OFFICIAL USE ONLY:
Permit Number: _____
Date Filed: _____
Date Approved: _____

Contact Information

APPLICANT:	PROPERTY OWNER:
Name: <u>Cedar Run Capital, LLC</u>	Name: <u>SAME AS APPLICANT</u>
Address: <u>2405-F Nash St. NW</u> <u>Wilson, NC 27896</u>	Address: _____ _____
Telephone: <u>252-230-0632</u>	Telephone: _____
E-Mail Address: <u>barnesboykin@yahoo.com</u>	E-Mail Address: _____

Property Information

Physical Street Address: 6440 Carotoke Hwy., Currituck, NC 27939

Parcel Identification Number(s): 0094000122E0000

FEMA Flood Zone Designation: Zone X

Request

Project Description: Dollar Tree - Grandy

Total land disturbance activity: 90,570 sf Calculated volume of BMPs: 9113 cf ~~sf~~

Maximum lot coverage: 38,911 sf Proposed lot coverage: 38,911 sf

TYPE OF REQUEST

- Major subdivision (10-year, 24-hour rate)
- Major site plan (5-year, 24-hour rate)

METHOD USED TO CALCULATE PEAK DISCHARGE

- Rational Method (Modified Rational)
- NRCS Method (TR-55 and TR-20)
- Simple volume calculation for small sites (less than 10 acres)
- Alternative stormwater runoff storage analysis
- Downstream drainage capacity analysis

I hereby authorize county officials to enter my property for purposes of determining compliance. All information submitted and required as part of this process shall become public record.

Property Owner(s)/Applicant

Date

Major Stormwater Plan Design Standards Checklist

The table below depicts the design standards of the major stormwater plan application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Major Stormwater Plan Design Standards Checklist

Date Received: _____

Project Name: Dollar Tree - Grandy

Applicant/Property Owner: Cedar Run Capital, LL

Minor Stormwater Plan Design Standards Checklist		
General		
1	Property owner name and address.	X
2	Site address and parcel identification number.	X
3	North arrow and scale to be 1" = 100' or larger.	X
Site Features		
4	Scaled drawing showing existing and proposed site features: Property lines with dimensions, acreage, streets, easements, structures (dimensions and square footage), fences, bulkheads, septic area (active and repair), utilities, vehicular use areas, driveways, and sidewalks.	X
5	Approximate location of all designated Areas of Environmental Concern (AEC) or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.	N/A
6	Existing and proposed ground elevations shown in one foot intervals. All elevation changes within the past six months shall be shown on the plan.	X
8	Limits of all proposed fill, including the toe of fill slope and purpose of fill.	X
9	Square footage of all existing and proposed impervious areas (structures, sidewalks, walkways, vehicular use areas regardless of surface material), including a description of surface materials.	X
10	Existing and proposed drainage patterns, including direction of flow.	X
11	Location, capacity, design plans (detention, retention, infiltration), and design discharge of existing and proposed stormwater management features.	X
12	Elevation of the seasonal high water level as determined by a licensed soil scientist.	X
13	Plant selection.	N/A
Permits and Other Documentation		
14	NCDENR stormwater permit application (if 10,000sf or more of built upon area).	X
15	NCDENR erosion and sedimentation control permit application (if one acre or more of land disturbance).	X
16	NCDENR coastal area management act permit application, if applicable.	N/A
17	Stormwater management narrative with supporting calculations.	X
18	Rational Method Form SW-003 or NRCS Method Form SW-004	N/A
19	Alternative stormwater runoff storage analysis and/or downstream drainage capacity analysis, if applicable	N/A
20	Design spreadsheets for all BMPs (<i>Appendix F – Currituck County Stormwater Manual</i>).	X
21	Detailed maintenance plan for all proposed BMPs.	X

Certificate	
22	<p>The major stormwater plan shall contain the following certificate:</p> <p>I, _____, owner/agent hereby certify the information included on this and attached pages is true and correct to the best of my knowledge.</p> <p>On the plan entitled _____, stormwater drainage improvements shall be installed according to these plans and specifications and approved by Currituck County. Yearly inspections are required as part of the stormwater plan. The owner is responsible for all maintenance required. Currituck County assumes no responsibility for the design, maintenance, or performance of the stormwater improvements.</p> <p>Date: _____ Owner/Agent: _____</p>
	X

Major Stormwater Plan Submittal Checklist

Staff will use the following checklist to determine the completeness of your application. Please make sure all of the listed items are included. Staff shall not process an application for further review until it is determined to be complete.

Major Stormwater Plan Form SW-002 Submittal Checklist

Date Received: _____

Project Name: _____

Applicant/Property Owner: _____

Major Stormwater Plan Form SW-002 Submittal Checklist		
1	Completed Major Stormwater Plan Form SW-002	X
2	Completed Rational Method Form SW-003 or NRCS Method Form SW-004	N/A
3	Stormwater plan	X
4	NCDENR permit applications, if applicable	X
5	3 copies of plans	X
6	3 hard copies of ALL documents	X
7	1 PDF digital copy of all plans AND documents (ex. Compact Disk – e-mail not acceptable)	X

Comments
