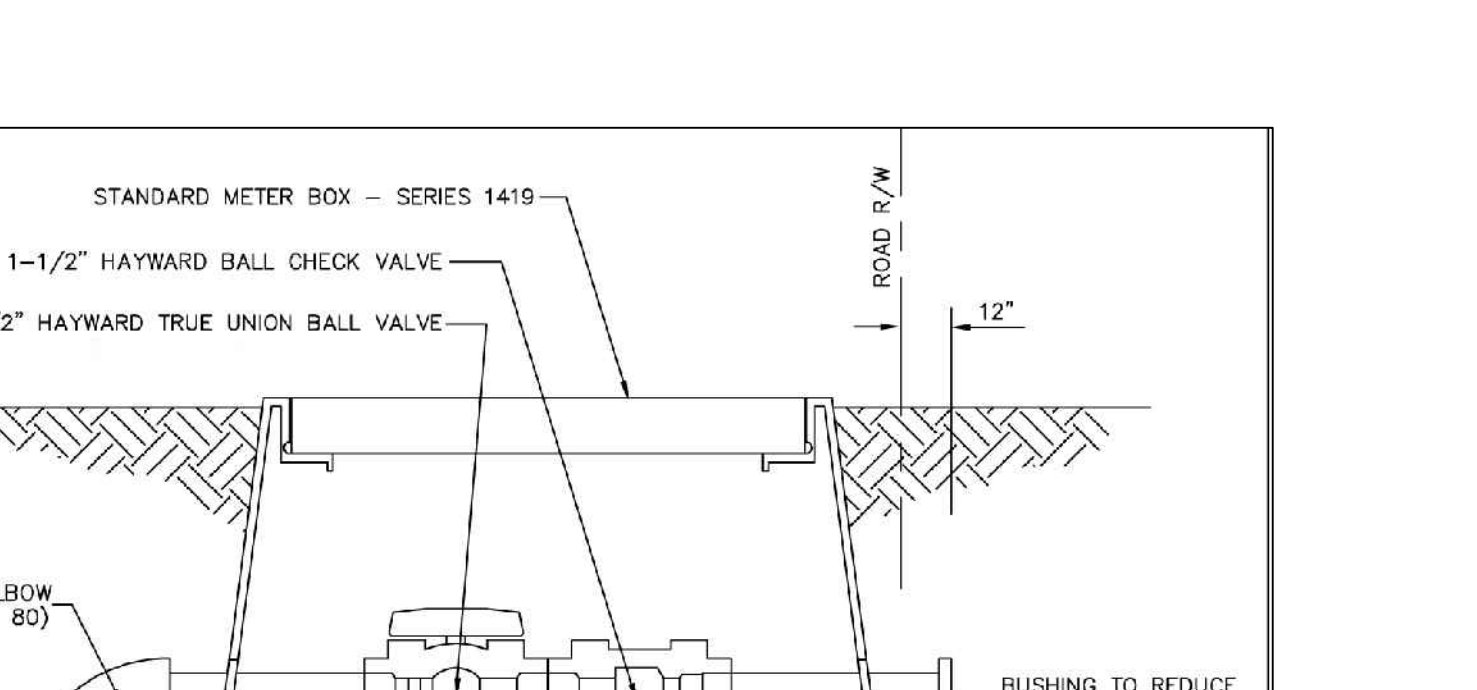
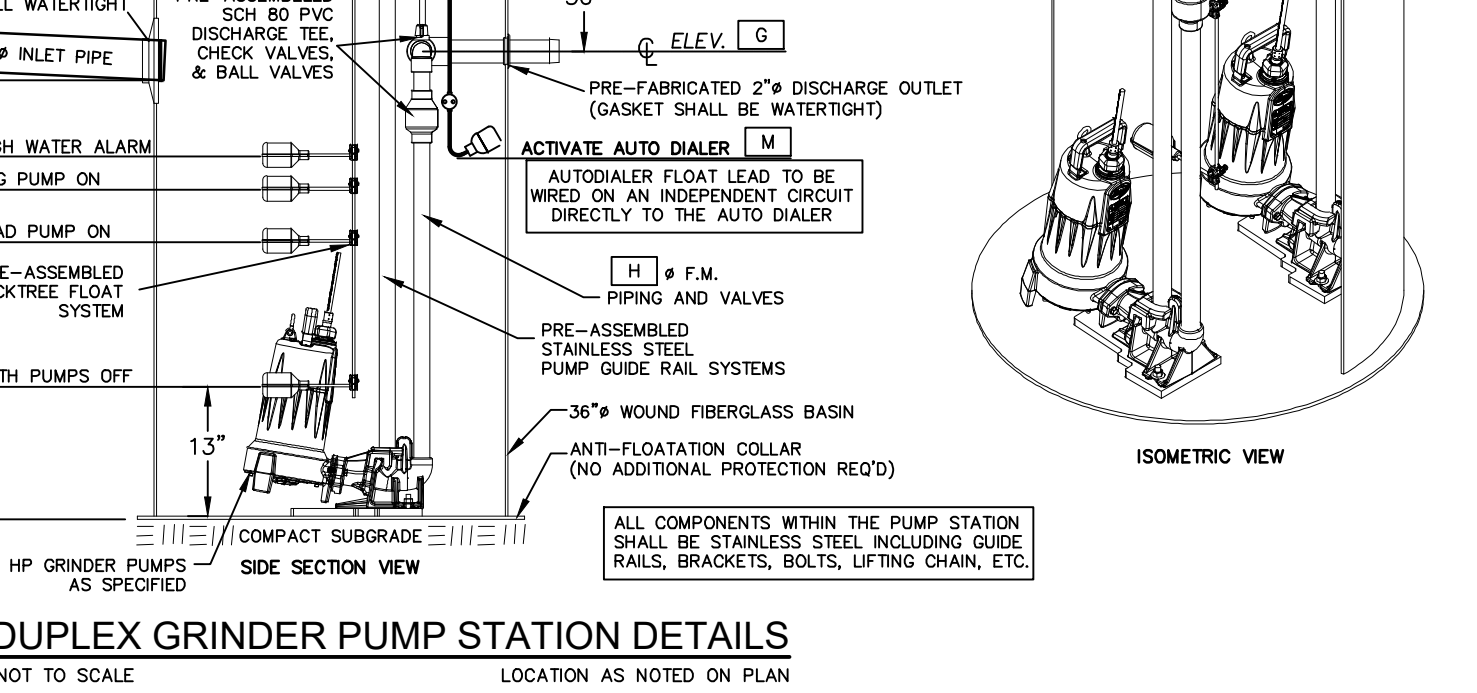
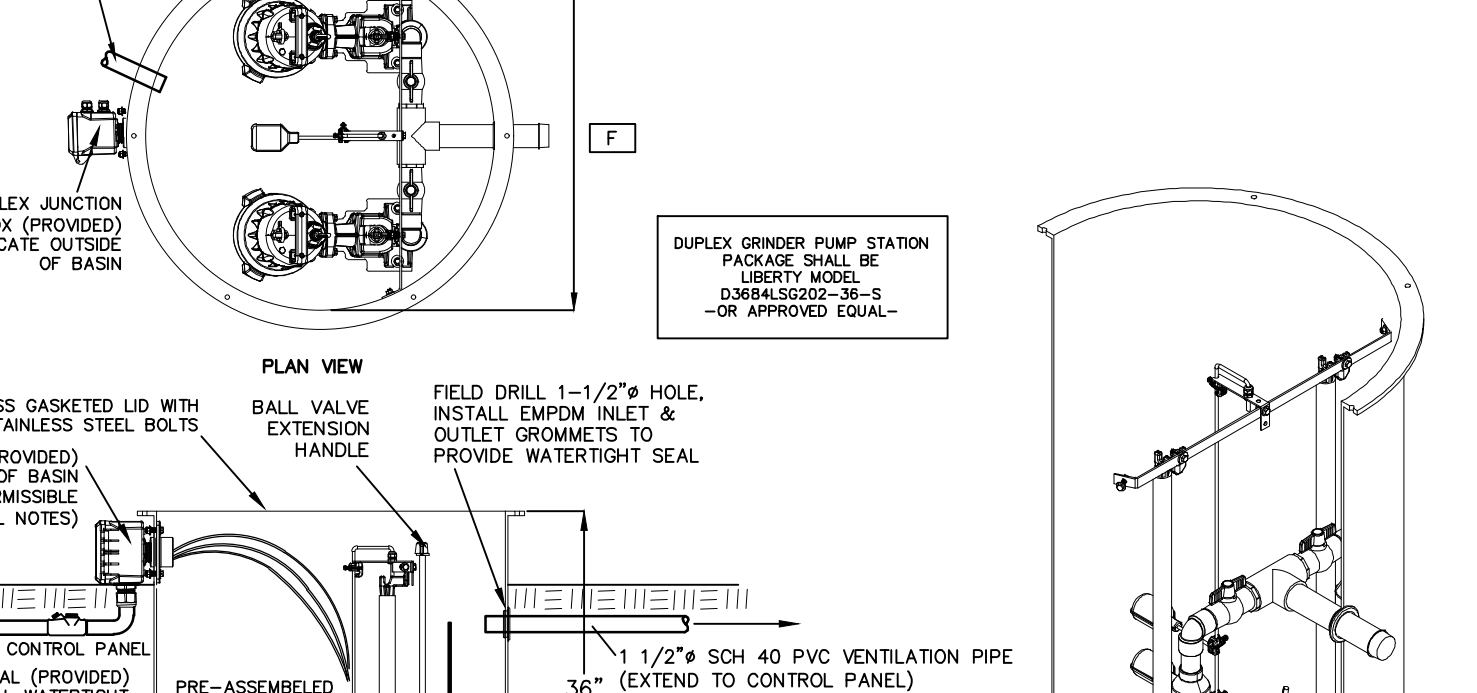
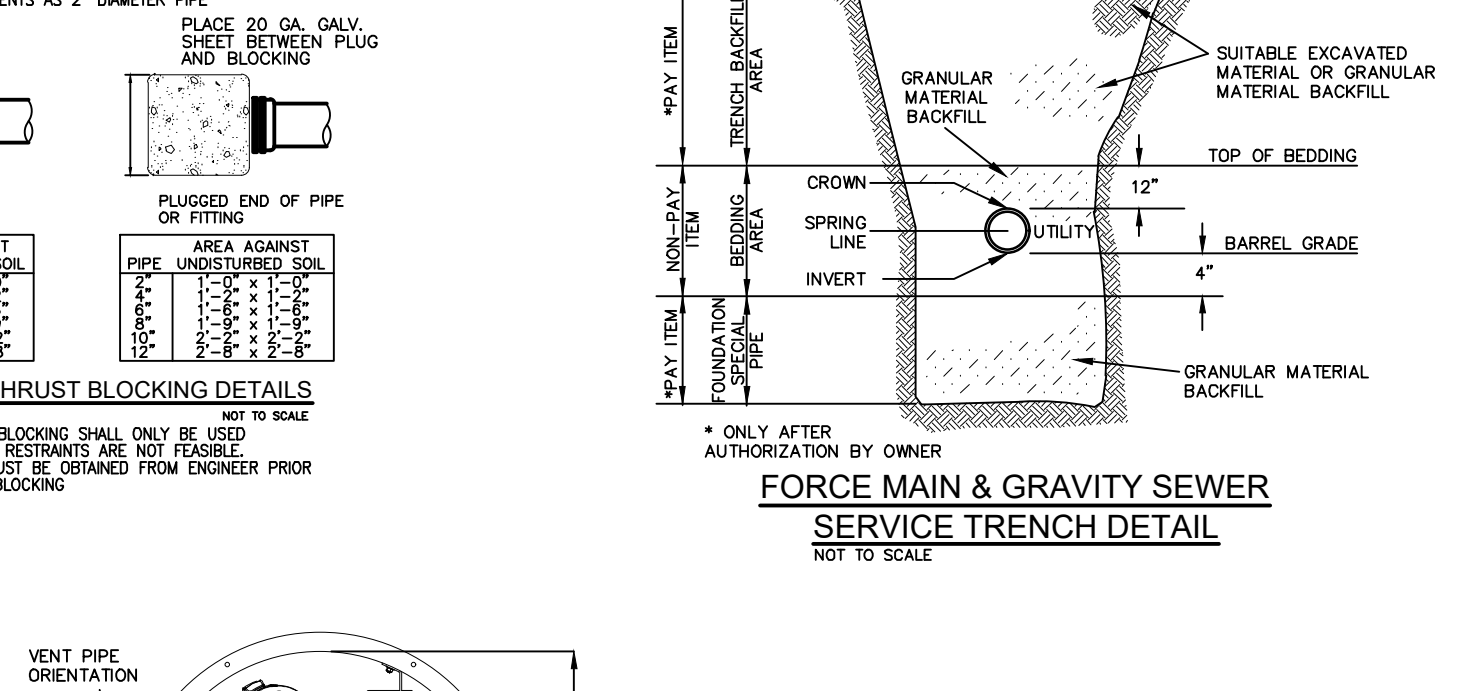
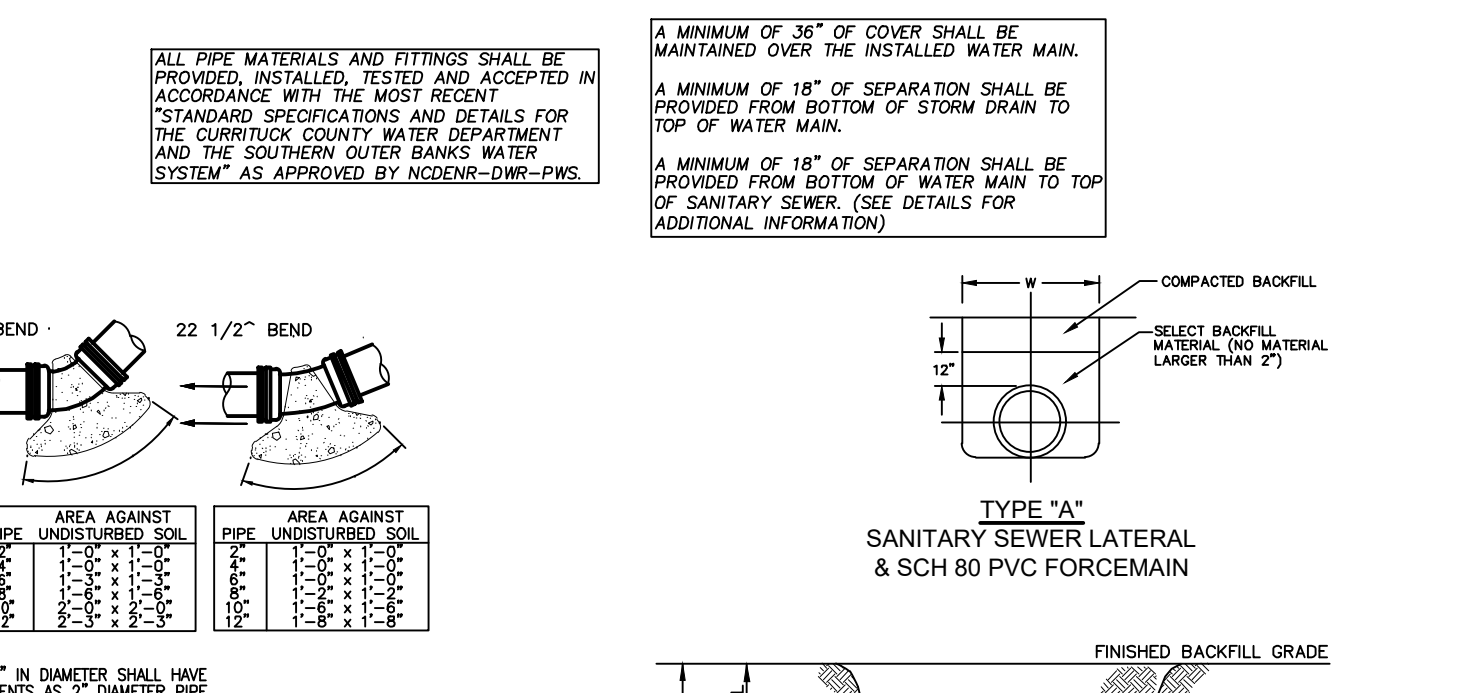


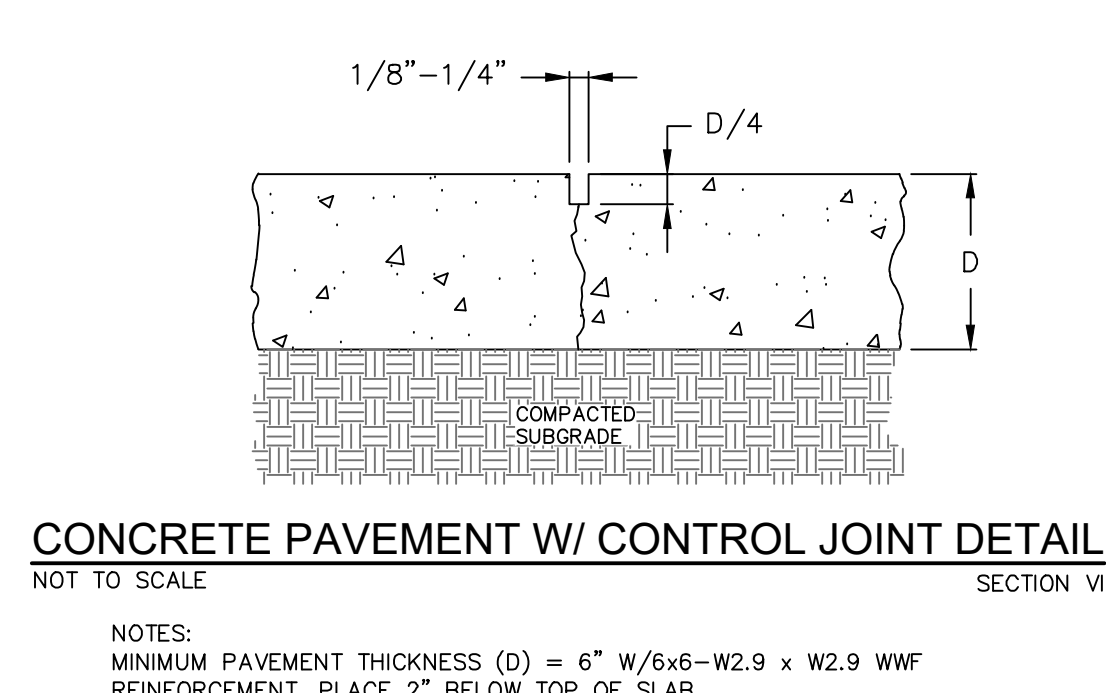
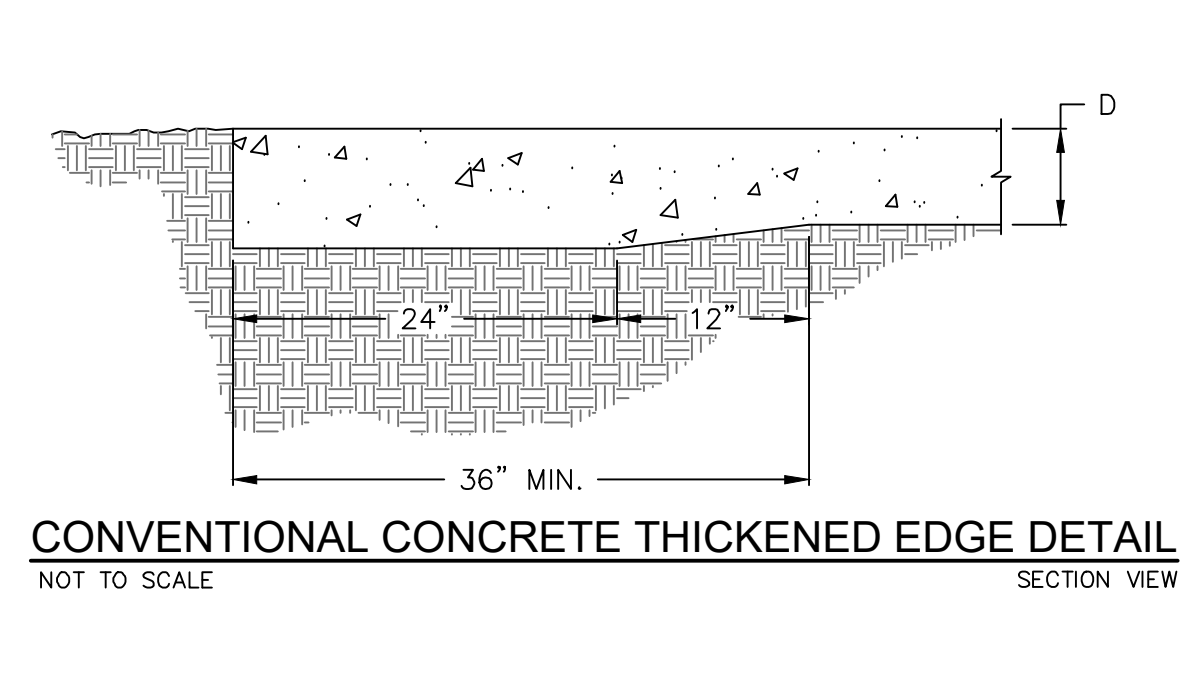
- GENERAL NOTES:**
- PROJECT NAME: COROLLA LIGHT, PHASE 11
 - OWNER/APPLICANT: OUTER BANKS VENTURES INC.
C/O RICHARD WILLIS
P.O. BOX 549
COROLLA, NC
919-233-9999
(757) 286-5859
 - PROPERTY DATA:
PARCEL ID# 1158-000-2541-000
PRIMARY ADDRESS: 1099 OCEAN TRAIL, COROLLA, NC
RECORDED REFERENCES: D.B. 271, PG. 180
P.C. L. 5L 161
PROPERTY ZONING: SINGLE FAMILY RESIDENTIAL-OUTER BANKS
 - F.I.R.M. DATA:
ZONE X
F.I.R.M. MAP# 3720993600, CD 370078, PANEL EFFECTIVE DATE DECEMBER 21, 2018.
USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
 - EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING:
• 2014 FIELD SURVEY DATA OBTAINED BY BOSSELL PROFESSIONAL GROUP
• 2012 AERIAL IMAGERY OBTAINED FROM NCEM/MAF.COM
• ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.
 - PROPOSED USE OF MAIN BUILDING:
(3) DWELLING UNITS (864 S.F. EA.)
 - REQUIRED PARKING:
(3) 3 UNIT MULTI-FAMILY DWELLINGS: 1.8 SPACE/DU = 9 X 1.8 = 16.2 SPACES
RESTAURANT W/ OUTDOOR SEATING: 1,236 S.F. @ 1/150 S.F. = 11.57 SPACES
TOTAL PROVIDED = 27.77 SPACES
 - PROPERTY IS COVERED BY A NON-EXCLUSIVE BLANKET EASEMENT DEDICATED TO CURRITUCK COUNTY.

| USE AREA ADDITIONS | |
|------------------------------------|-------|
| ADDED BUILDING AREA: | 2,387 |
| ADDED PARKING AREA: | 610 |
| ADDED EXTERIOR PORCHES: | 197 |
| ADDED EXTERIOR DECKS: | 500 |
| ADDED IMPERVIOUS AREA (ROOF LINE): | 140 |
| ADDED IMPERVIOUS AREA (WALK): | 671 |
| NET INCREASE IN SITE UTILIZATION: | 2120 |

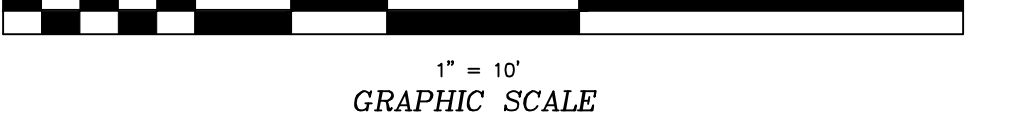


PLAN LEGEND

| | | | | | | | | | | | | | | | | | | | |
|--------------------|--------------|-------------------|-------------------------|------------------------|------------------------|---------------------|---------------------|------------------|------------------|-----------------------------|------------------|---------------------|-------------------------------------|--------------------------------|------------------------|---------------------------|------------------|------------------------|---------------------|
| ROADWAY CENTERLINE | RIGHT-OF-WAY | PROPERTY BOUNDARY | ADJOINING PROPERTY LINE | EXISTING GRADE CONTOUR | PROPOSED GRADE CONTOUR | EXISTING SPOT GRADE | PROPOSED SPOT GRADE | EXISTING CULVERT | PROPOSED CULVERT | PROPOSED DRAINAGE STRUCTURE | STAGE 3 CONCRETE | EXISTING WATER LINE | PROPOSED WATER LINE (SIZE AS NOTED) | EXISTING FIRE HYDRANT ASSEMBLY | PROPOSED WATER SERVICE | EXISTING SEWER FORCE MAIN | EXIST SEWER MAIN | EXISTING SEWER MANHOLE | PROPOSED SEWER LINE |
|--------------------|--------------|-------------------|-------------------------|------------------------|------------------------|---------------------|---------------------|------------------|------------------|-----------------------------|------------------|---------------------|-------------------------------------|--------------------------------|------------------------|---------------------------|------------------|------------------------|---------------------|



- CONVENTIONAL CONCRETE SPECIFICATIONS:**
- USE A/C CERTIFIED FLOWKUR FINISHER.
 - USE A/C 3308-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.
 - USE A/C 3301-04 STANDARD SPECIFICATION FOR PLAN CONCRETE PARKING LOTS.
 - ALL CONCRETE USED IN PARKING LOT, UNLESS OTHERWISE INDICATED, SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 - PREPARE THE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR RIGID PAVEMENTS. SUBGRADE SOIL SLOTTING TESTING MUST BE COMPLETED AND VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.
 - IMPORTED SOIL USE FOR BACK FILL SHOULD BE FREE OF HEAVY CLAY, SILTS, STONES, PLANT ROOT OR OTHER FOREIGN MATERIAL, GREATER THAN 1/2" IN DIAMETER IN ORDER TO ACHIEVE ADEQUATE COMPACTION AROUND ANY FIXED OBJECT IN GROUND. ALTERNATE WILL BE TO USE FLOWKUR FILL.
 - KEEP ALL JOINTS CONTINUOUS WITH A MAXIMUM JOINT SPACING OF 10 FT.
 - CONTROL JOINTS SHALL BE FORMED OR SAWED WITHIN 12 HOURS FROM TIME OF PLACEMENT.
A. SIDEWALK-SPACING SHALL BE SAME AS WIDTH OF PAVEMENT AND LESS THAN 5 FEET LENGTH.
 - PAVEMENT-MAXIMUM SPACING SHALL BE 2.5 TIMES THICKNESS IN UNIT OF FEET AND LESS THAN 15 FEET IN LENGTH (E.G. 1+4 HIGH SPACING AT 10'00").
 - CURE CONCRETE IMMEDIATELY AFTER FINISHING OPERATION IS COMPLETED BY USING ONE OF THE FOLLOWING METHODS: WATER, PROMOTED WATER-BASED CURING COMPOUND OR VISQUEEN AND BURLAP.
 - SITE PREPARATION AND CONSTRUCTION OF ALL FOUNDATIONS, GROUND SLABS, AND PAVEMENTS SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY A GEOTECHNICAL ENGINEER.



BOSSELL PROFESSIONAL GROUP
1001 North Carolina Highway
1001 North Carolina Highway
COROLLA, NC 27825
919-233-9999
FAX (757) 286-5859

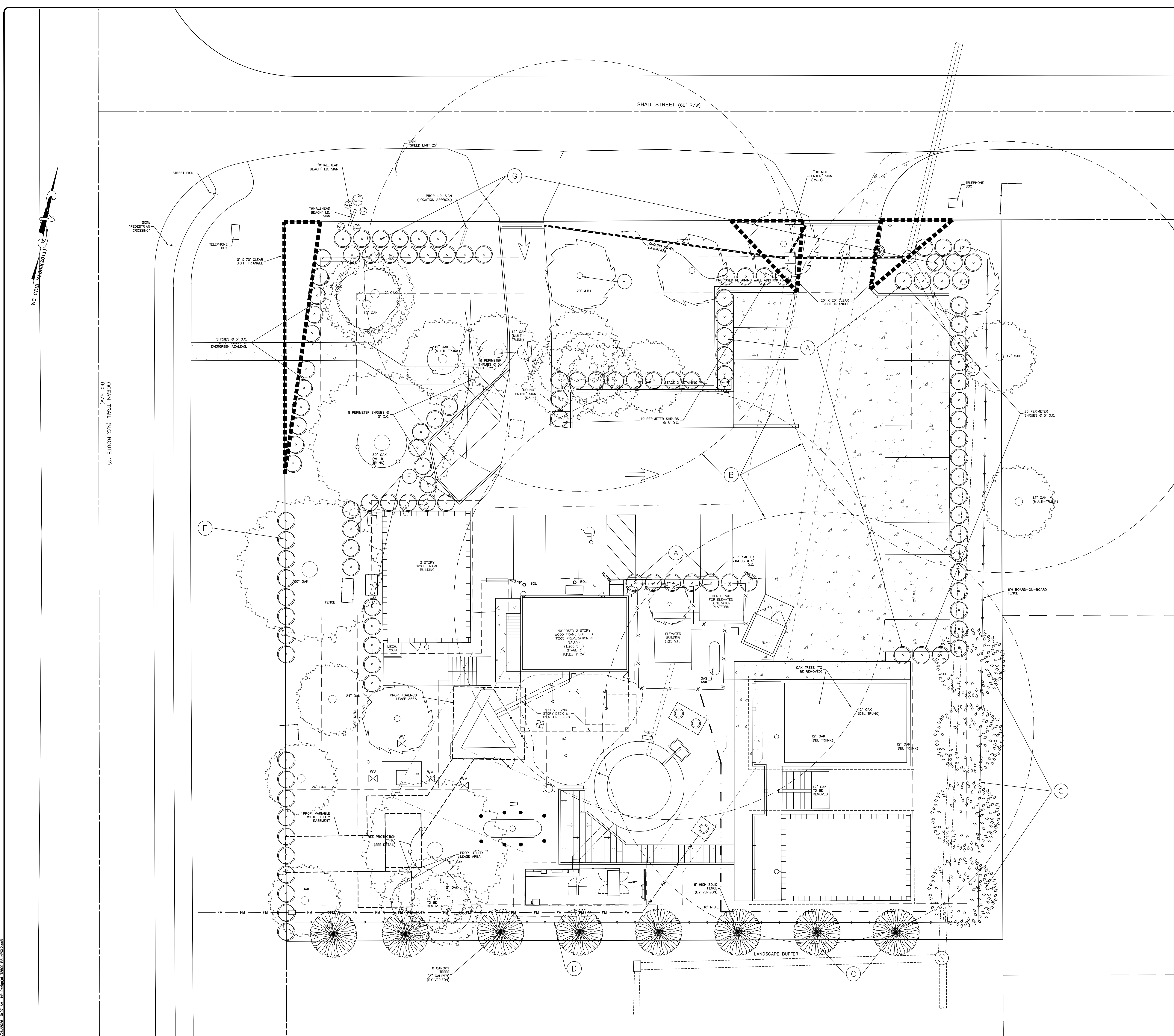
EXISTING AND PROPOSED FEATURES AND UTILITIES PLAN

OUTER BANKS VENTURES
NORTH CAROLINA
CURRITUCK COUNTY
JOPOLAR BRANCH TOWNSHIP

MAJOR SITE PLAN - STAGE 3 - MULTI-FAMILY DWELLINGS

| NO. | DATE | REVISIONS | BY | CHKD. | APP'D. |
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| 1 | 12/07 | ISSUE FOR PERMIT | ... | ... | ... |
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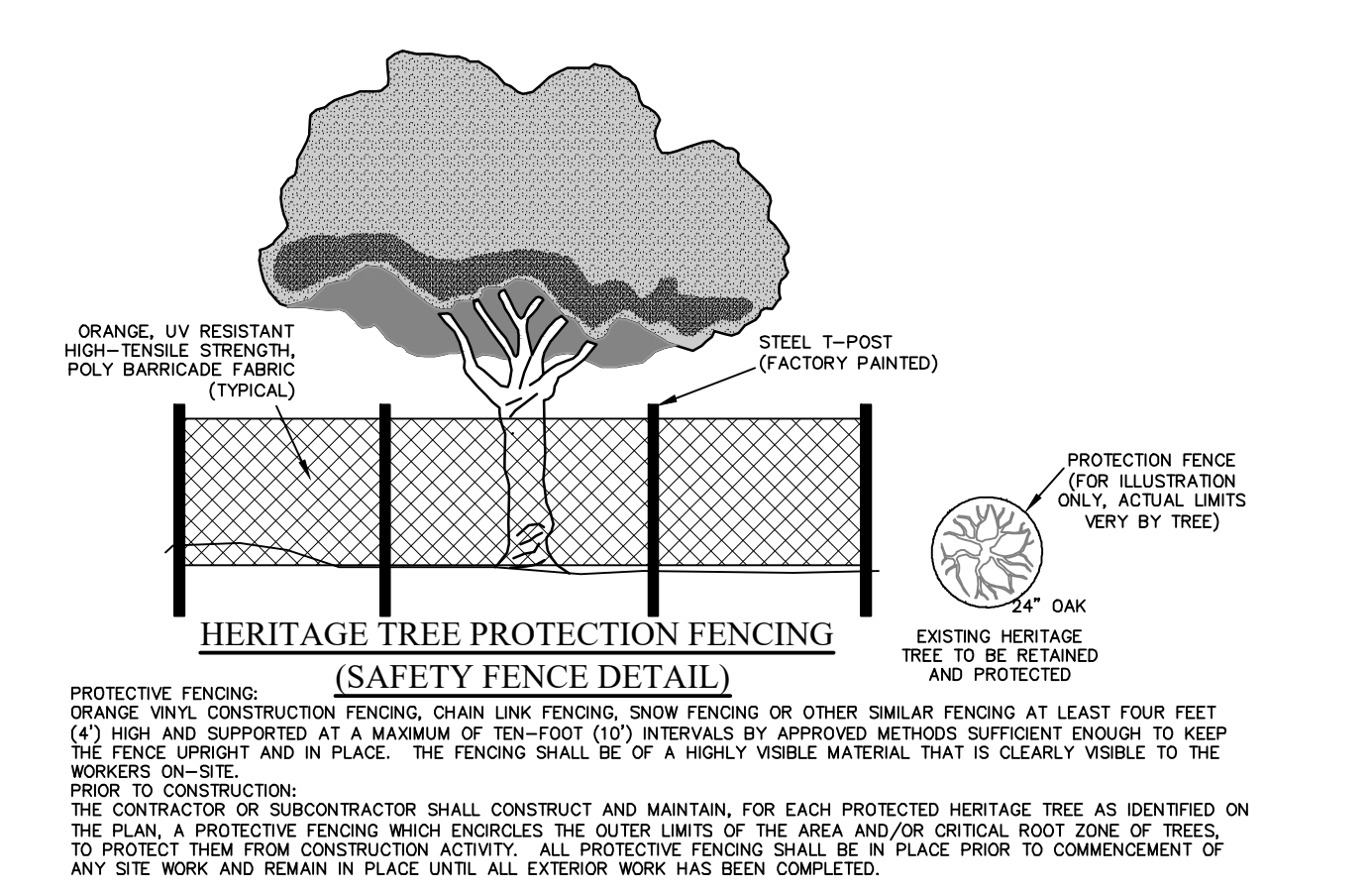
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 DRAWN BY: MSH
 CHECKED BY: MSH
 PROJECT NO: 1158-000-2541-000
 SHEET: 1 OF 4
 CAD FILE: HOSSTG3
 PROJECT NO: 4608



| LANDSCAPING STANDARDS COMPLIANCE CHART | | | |
|--|-------------------------------------|-------------------|--|
| SYMBOL | STANDARD | ORDINANCE SECTION | COMPLIANCE |
| A | PARKING PERIMETER LANDSCAPING STRIP | 5.2.5.C | 276 LF OF VEHICULAR USE AREA = 55 SHRUBS (60 PROVIDED) |
| B | PARKING SHADING REQUIREMENT | 5.2.5.D | 7 EXIST. HERITAGE TREES = 1 PROP. TREE WITHIN 60 FT. OF ALL SPACES |
| C | PERIMETER LANDSCAPE BUFFERS | 5.2.6 | SOUTHERN PROPERTY LINE: TYPE D BUFFER (OPTION 2) REQ'D: ONE 6 FT. HIGH SOLID FENCE + 12 ACFT OF CANOPY TREES PER 100 LF. @ 20 LF. = 24 ACFT. PROVIDED: (8) 3\"/> |
| D | SCREENING | 5.2.7.C | ROT-RESISTANT WOODEN ORPARK FENCE, 6 FT. HIGH, FINISH TO MATCH BUILDING. |
| E | STREETSCAPE BUFFER | 5.2.8 | 200 LF. = 16 ACFT REQ'D. 16\"/> |
| F | SITE LANDSCAPING | 5.2.4 | 2 CALIPER INCH PER ACRE = 2\"/> |
| G | SHAD STREET BUFFER (TYPE B) | | REQUIRED: 16 ACFT OF CANOPY TREES EXISTING: (2) 12\"/> |

GENERAL LANDSCAPING AND BUFFERING NOTES:

- MAJOR ARTERIAL SCREENING:**
 - A VEGETATED SCREEN TO THE 12 SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 5.2.8.D.(2) OF THE CURRITUCK COUNTY ADMINISTRATIVE MANUAL.
 - VEGETATION SHALL INCLUDE A MINIMUM OF 8 AGGREGATE CALIPER INCHES OF CANOPY TREES FOR EVERY 100 LINEAR FEET OF SCREENING. EXISTING VEGETATION RETAINED WILL BE CREDITED. SUPPLEMENTAL TREES SHALL BE PLANTED IF NECESSARY.
- HERITAGE TREES:**
 - A TOTAL OF (25) HERITAGE TREES HAVE BEEN IDENTIFIED WITHIN THE PROJECT AREA AS INDICATED BY THE HERITAGE TREE SYMBOL PROVIDED IN THE LEGEND. ALL HERITAGE TREES ARE INTENDED TO REMAIN AND BE PROTECTED DURING CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE. (SEE "HERITAGE TREE PROTECTION FENCING" DETAIL THIS SHEET).
- TREE SPECIES AND PLANTING:**
 - TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING STANDARDS SPECIFIED IN SECTION 3.5 OF THE CURRITUCK COUNTY ADMINISTRATIVE MANUAL.
 - CANOPY AND UNDERSTOREY TREE SPECIES SHALL BE OF THOSE LISTED UNDER "TABLE 3.4.6: RECOMMENDED PLANTINGS" IN THE SAME MANUAL.
 - TREE SPECIES SHALL BE DIVERSE. A MINIMUM OF (4) DIFFERENT SPECIES OF CANOPY TREES SHALL BE INSTALLED IN ROUGHLY EQUAL PROPORTIONS.
 - AT INSTALLATION, CANOPY TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES MEASURED AT 6 INCHES ABOVE GRADE. EIGHT FOOT HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
 - AT INSTALLATION, UNDERSTOREY TREES SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES MEASURED AT 6 INCHES ABOVE GRADE OR FEET HIGH TREES MAY BE PLANTED AS AN ALTERNATIVE.
 - MATERIALS SHALL BE OF HIGH-QUALITY NURSERY GRADE.
 - THE USE OF NATIVE, DROUGHT TOLERANT TREES IS ENCOURAGED.
 - A REPUTABLE LANDSCAPE CONTRACTOR OR SUPPLIER SHALL PREPARE AN ITEMIZED SCHEDULE OF TREES TO BE INSTALLED IN ACCORDANCE WITH THIS LANDSCAPE PLAN. THIS SCHEDULE SHALL BE REVIEWED AND APPROVED BY THE CURRITUCK COUNTY AND THE ENGINEER TO DETERMINE COMPLIANCE BEFORE ORDERING AND INSTALLATION. ALTERNATE TREES AND SPECIFICATIONS MAY BE PRESENTED FOR REVIEW AND APPROVAL.



EXISTING AND PROPOSED FEATURES AND UTILITIES PLAN

3000 W. STATE STREET, SUITE 200, WASHINGTON, NC 27583
 TEL: 919.733.1111 FAX: 919.733.1110

ROSS
PROFESSIONAL GROUP

1000 W. STATE STREET, SUITE 200, WASHINGTON, NC 27583
 TEL: 919.733.1111 FAX: 919.733.1110

NORTH CAROLINA

CURRITUCK COUNTY

OUTER BANKS VENTURES

POPULAR BRANCH TOWNSHIP

MAJOR SITE PLAN - STAGE 3 - MULTI-FAMILY DWELLINGS

| NO. | DATE | REVISIONS | BY | DATE | REVISIONS | BY |
|-----|------|-----------|----|------|-----------|----|
| 1 | | ISSUANCE | | | | |

| NO. | DATE | REVISIONS | BY | DATE | REVISIONS | BY |
|-----|------|-----------|----|------|-----------|----|
| 1 | | ISSUANCE | | | | |

DATE: 11/14/2023

SCALE: 1" = 10'

DESIGNED: KFW

CHECKED: MSB

PROJECTED: KFW

DATE: 11/14/2023

SCALE: 1" = 10'

DESIGNED: KFW

CHECKED: MSB

PROJECTED: KFW

SHEET 2 OF 4

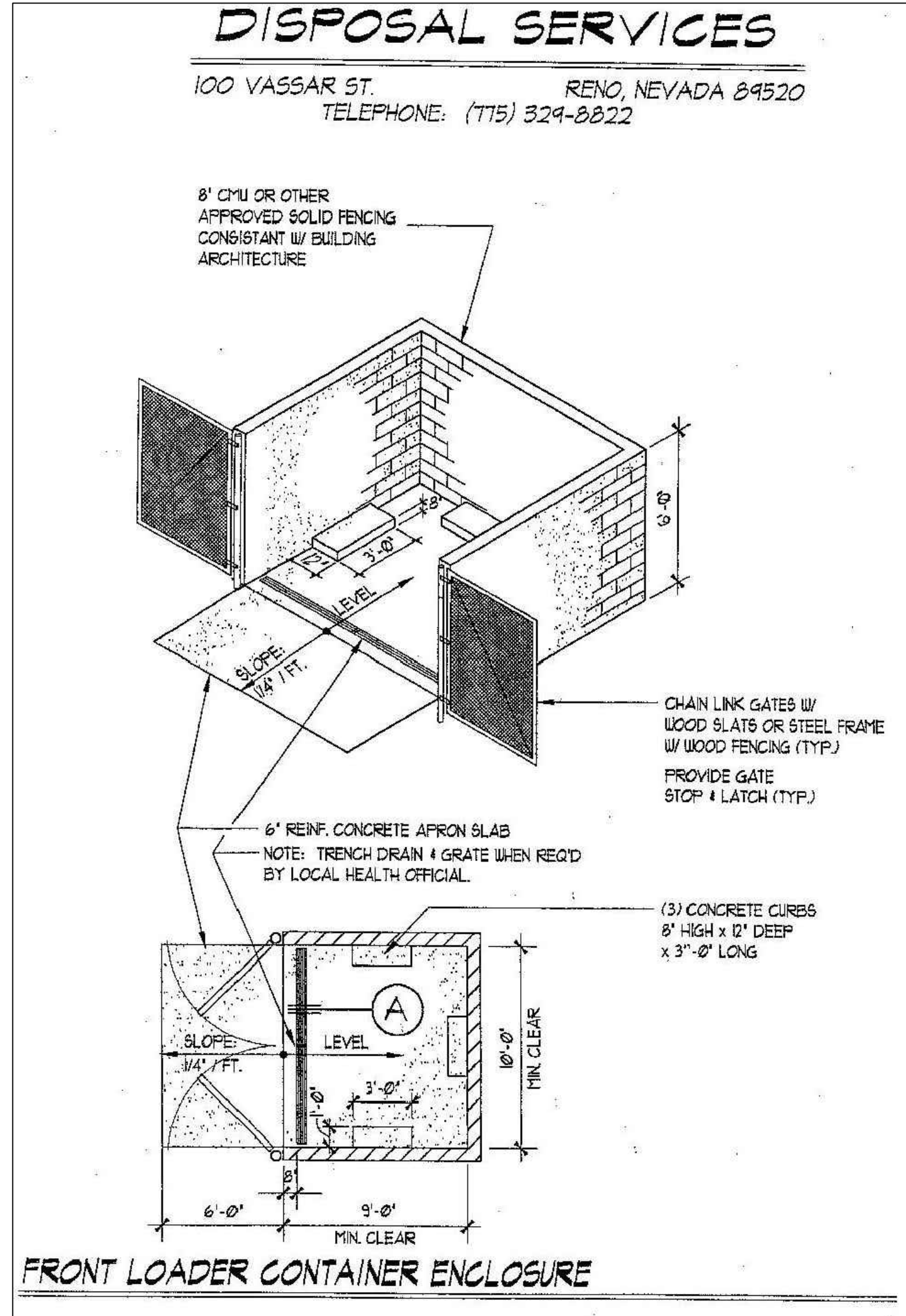
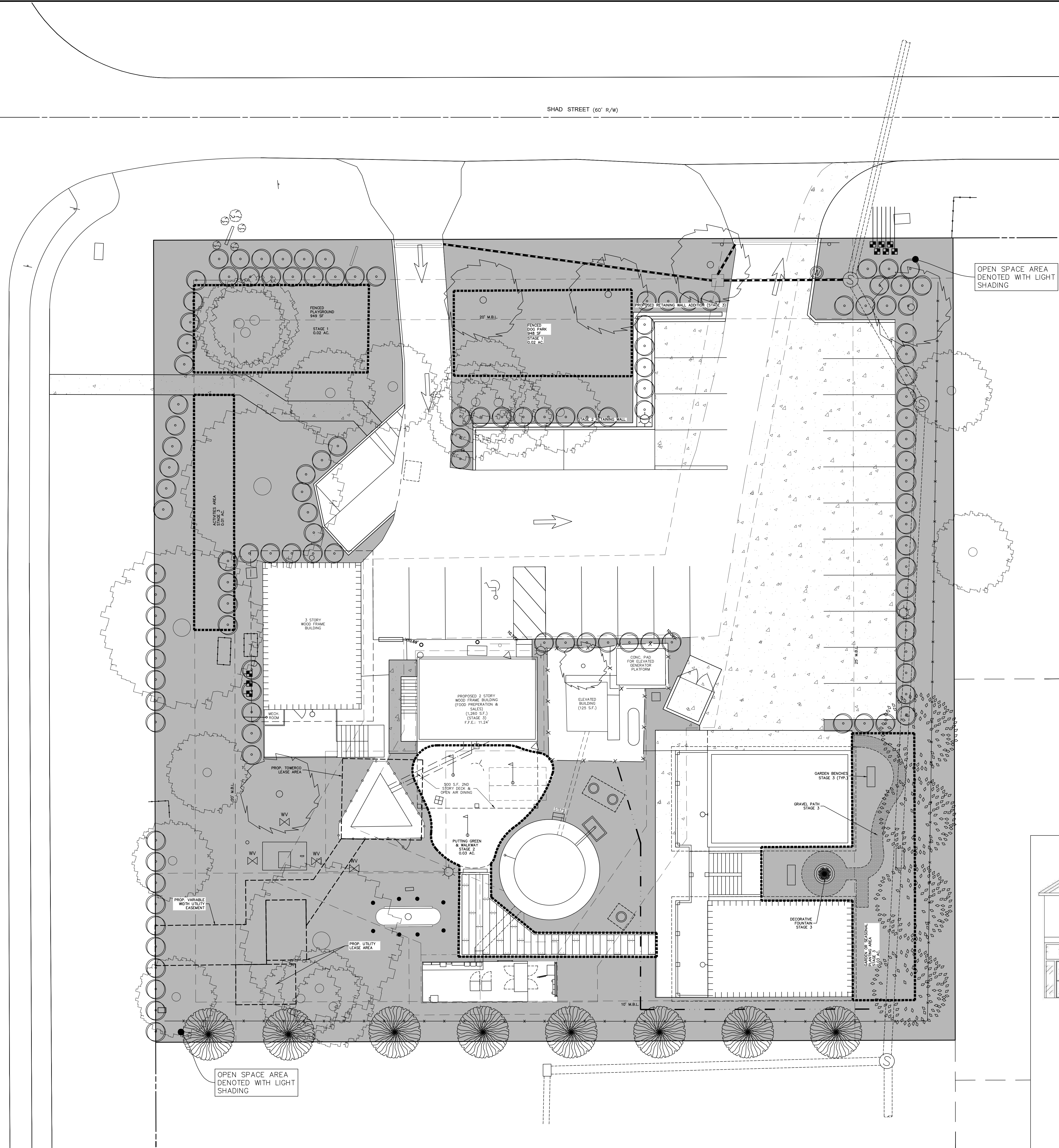
CAD FILE: 4608STG3

PROJECT NO: 4608

NC GRID: 14000000.00(1)

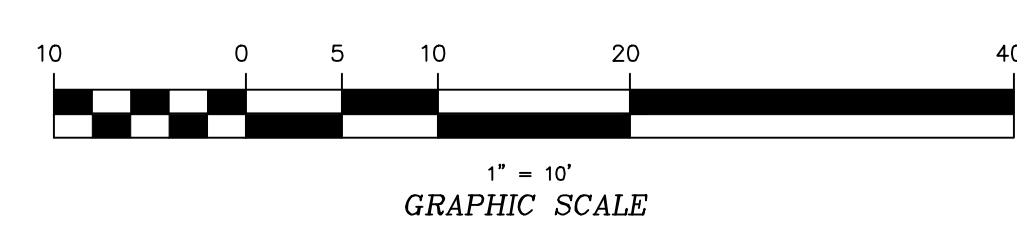
OCEAN TRAIL, N.C. ROUTE 121
60' R/W

SHAD STREET (60' R/W)



RESTAURANT ELEVATIONS:
NO SCALE

OPEN SPACE CALCULATIONS:
TOTAL TRACT AREA = 0.915 AC.
REQUIRED OPEN SPACE = 0.92 AC. X 0.35 = 0.32 AC.
OPEN SPACE PROVIDED = 0.47 AC. (0.51X)
REQUIRED ACTIVE RECREATION OPEN SPACE = 0.32 AC. X 0.35 = 0.11 AC.
ACTIVE RECREATION OPEN SPACE PROVIDED = 0.13 AC.



DISSELL
PROFESSIONAL GROUP
100 VASSAR ST. RENO, NEVADA 89520
TELEPHONE: (775) 824-8822
FAX: (775) 824-8822

EXISTING AND PROPOSED FEATURES AND UTILITIES PLAN
THIS PLAN SHALL BE USED AS A REFERENCE ONLY IN THE FIELD OR IN THE LABORATORY. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

OUTER BANKS VENTURES
NORTH CAROLINA
CARTERSVILLE TOWNSHIP
POPULAR BRANCH TOWNSHIP
MAJOR SITE PLAN - STAGE 3 - MULTI-FAMILY DWELLINGS

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SHEET: 4 OF 4
PROJECT NO: 4608STG3
4608

