

CERTIFICATION

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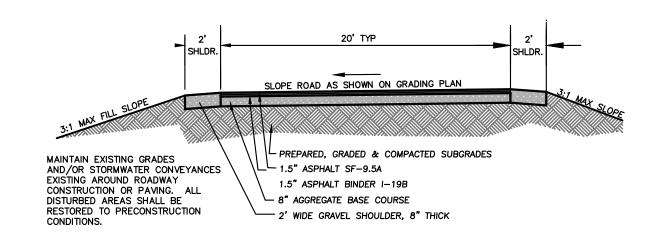
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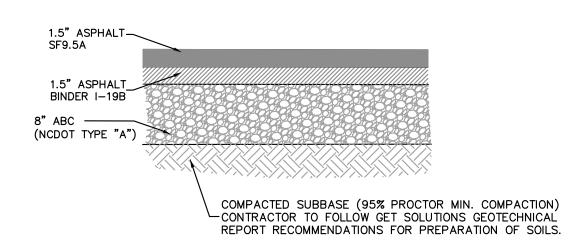
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JOB NUMBER P23003

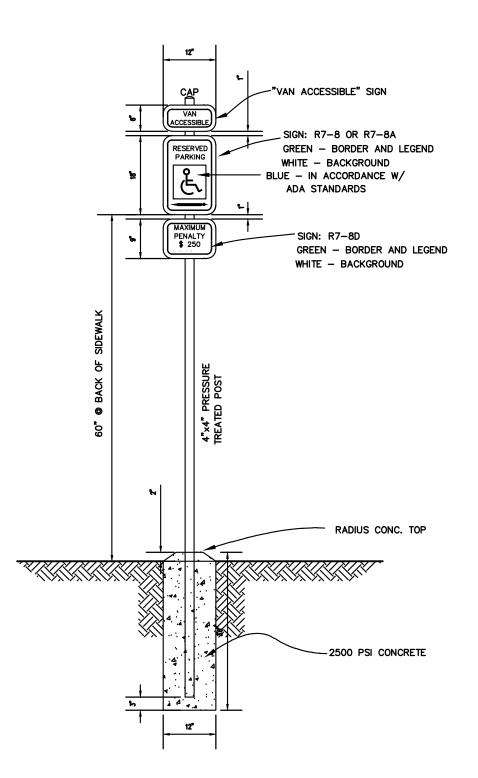
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# ASPHALT ROAD CROSS SECTION



# ASPHALT X-SEC

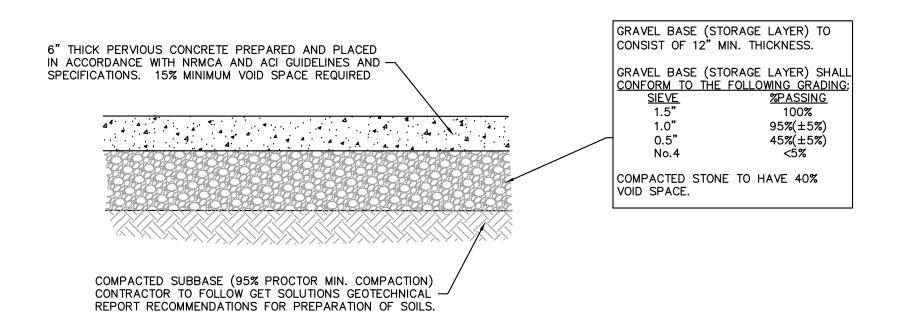


ADA RESERVED PARKING SIGN DETAIL

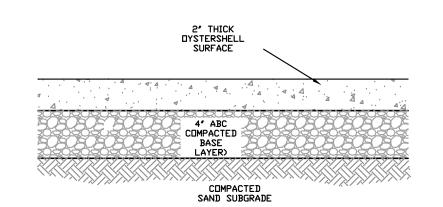
\*MIN. 5 HC PARKING SPACES REQUIRED

NOTE:
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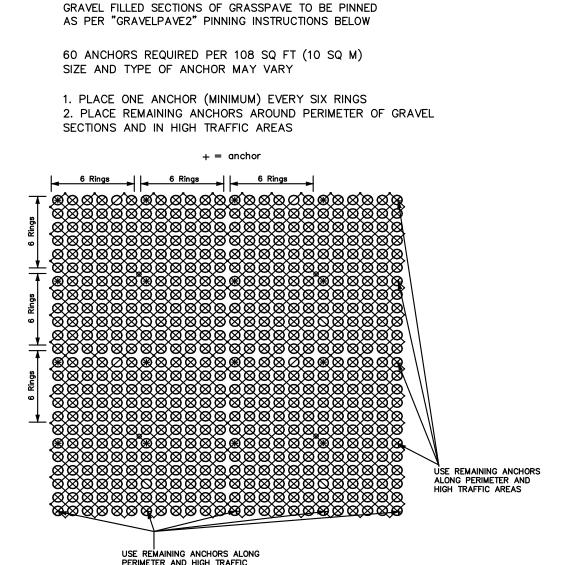




# PERVIOUS CONCRETE X-SEC

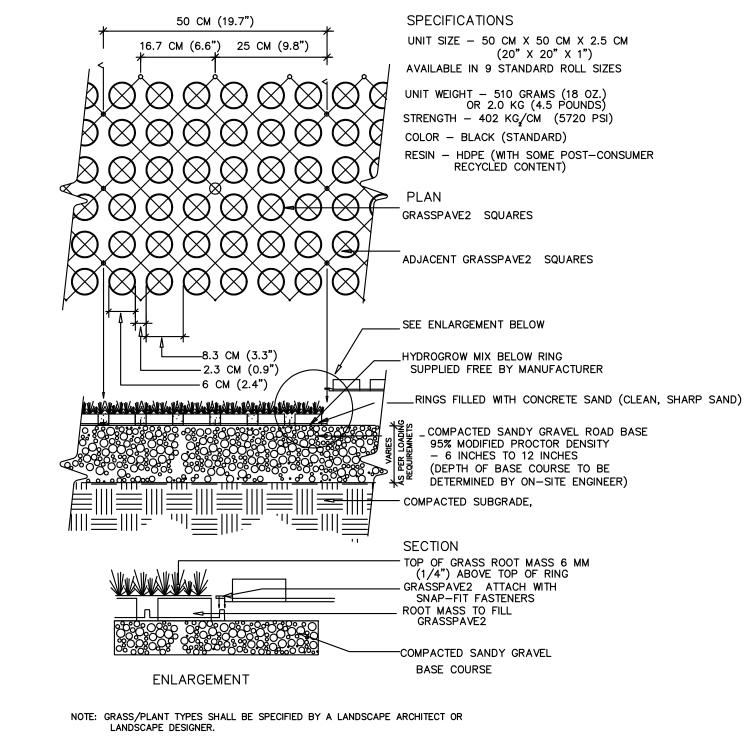


# TYPICAL OYSTERSHELL / GRAVEL TRAIL



ANCHORING INSTRUCTIONS:

\*Additional anchor pins may be purchased Invisible Structures, Inc. - 1600 Jackson St., Suite 310, Golden, Colorado 80401



11/7/2014

3/2/2015

10/16/2023

DATE

RELEASED FOR PERMITS

RESPOND TO CO. COMMENTS

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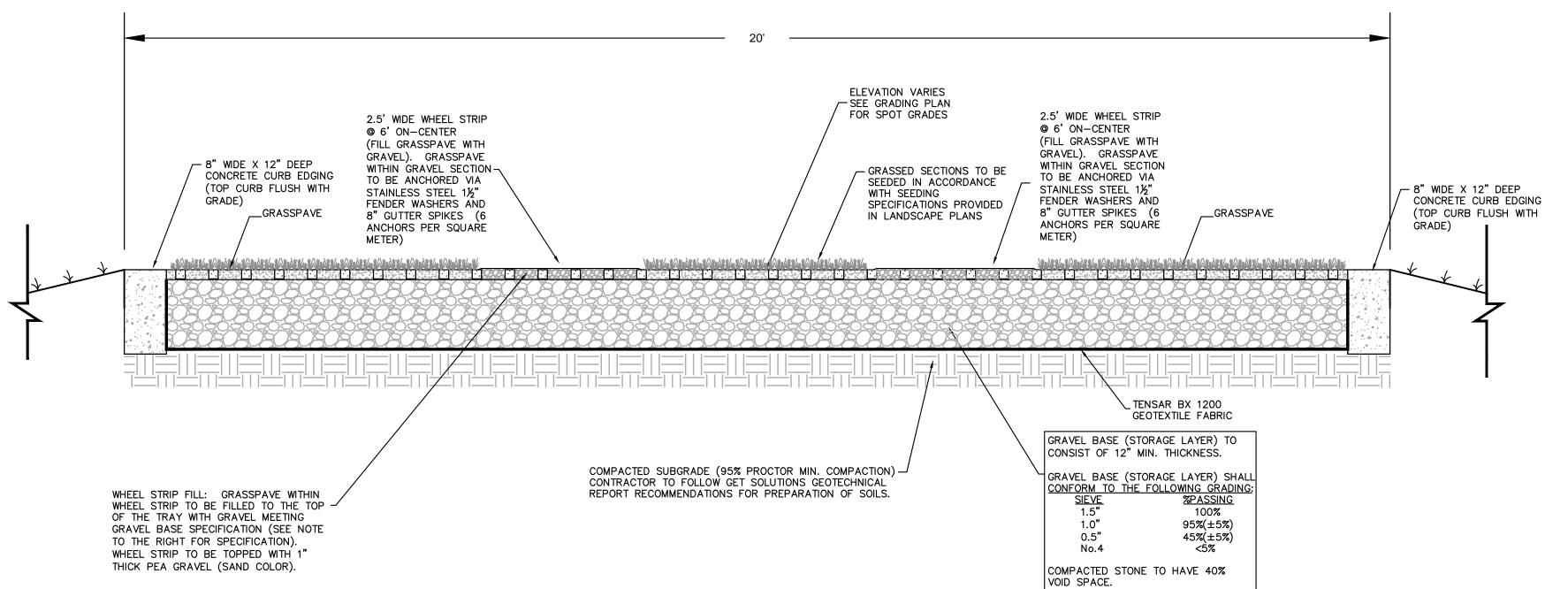
RESUBMISSION FOR NEW PERMITS

TYPICAL GRASSPAVE2 DETAIL CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES 1600 Jackson St., Ste. 340 GOLDEN, COLORADO 80401 800-233-1510 OR 303-233-8383 FAX: 800-233-1522 OR NOT TO SCALE Invisible

303-233-8282 www.invisiblestructures.com rev. 10/05

Structures, Inc

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GRASSPAVE FIRE LANE DETAIL

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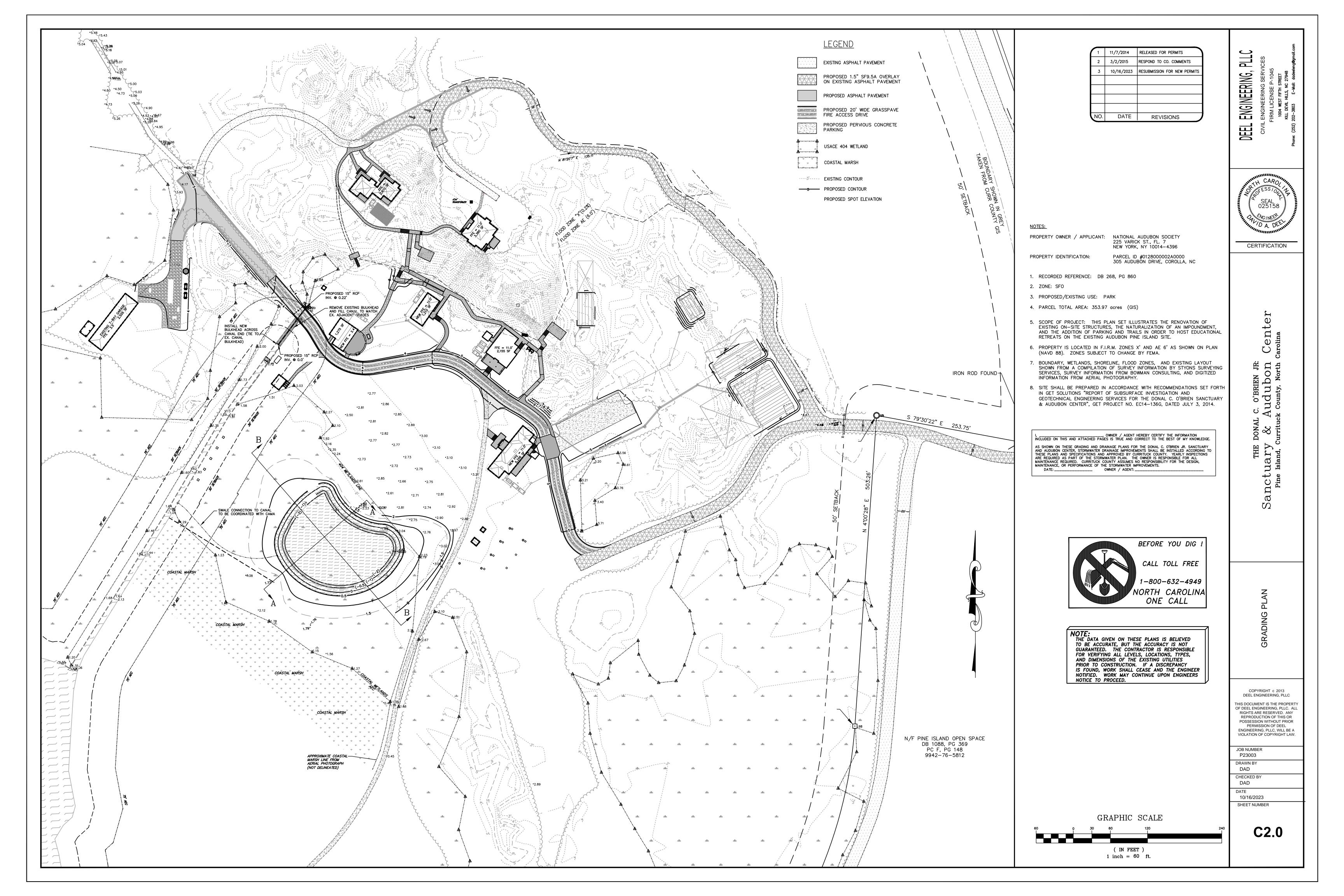
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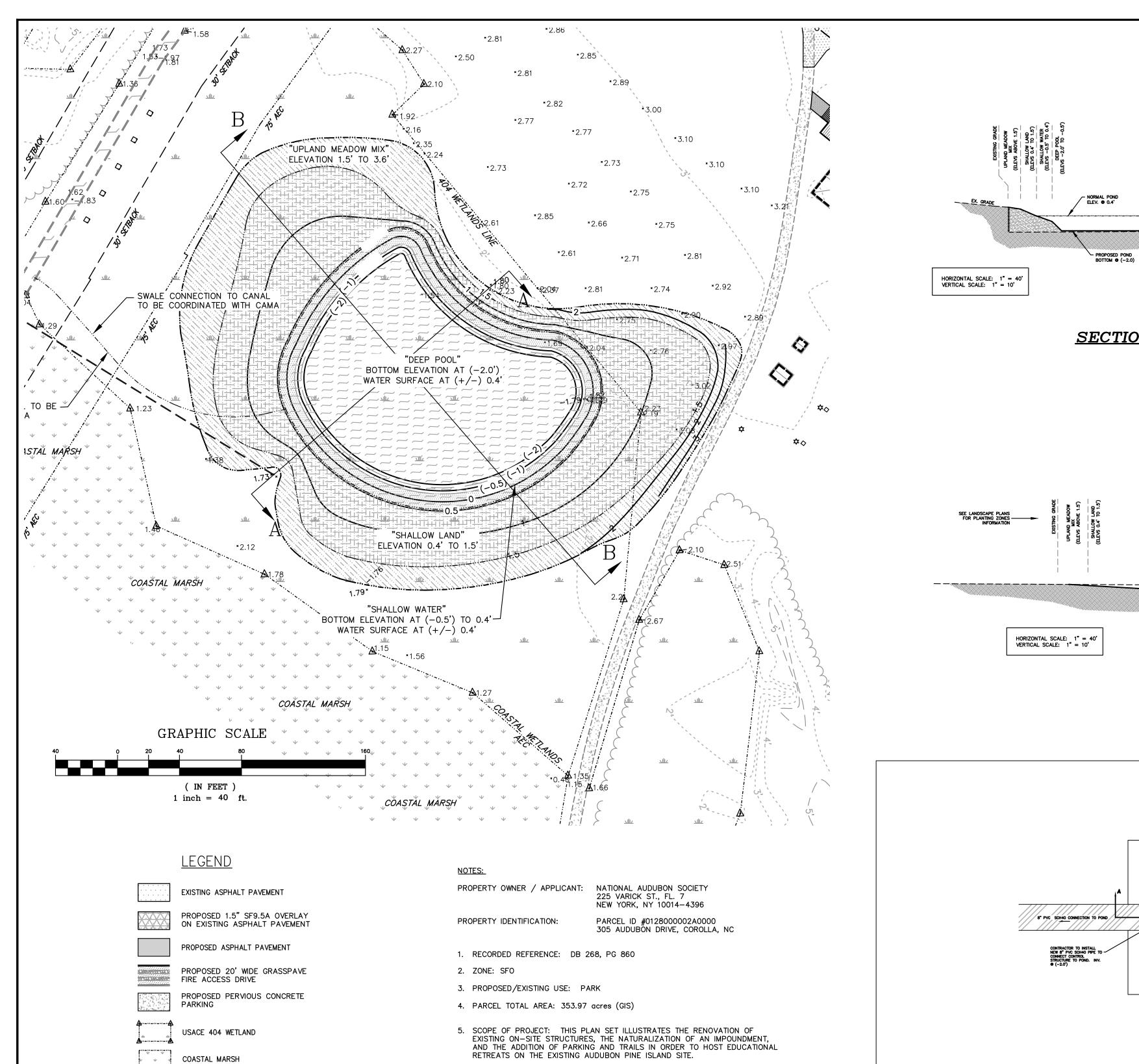
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DAD DATE 10/16/2023

SHEET NUMBER





6. PROPERTY IS LOCATED IN F.I.R.M. ZONES X' AND AE 6' AS SHOWN ON PLAN

7. BOUNDARY, WETLANDS, SHORELINE, FLOOD ZONES, AND EXISTING LAYOUT SHOWN FROM A COMPILATION OF SURVEY INFORMATION BY STYONS SURVEYING

8. SITE SHALL BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS SET

FORTH IN GET SOLUTIONS "REPORT OF SUBSURFACE INVESTIGATION AND

SERVICES, SURVEY INFORMATION FROM BOWMAN CONSULTING, AND DIGITIZED

GEOTECHNICAL ENGINEERING SERVICES FOR THE DONAL C. O'BRIEN SANCTUARY

& AUDUBON CENTER", GET PROJECT NO. EC14-136G, DATED JULY 3, 2014. .

(NAVD 88). ZONES SUBJECT TO CHANGE BY FEMA.

INFORMATION FROM AERIAL PHOTOGRAPHY.

----3'---- EXISTING CONTOUR

— 5 PROPOSED CONTOUR

NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED
TO BE ACCURATE, BUT THE ACCURACY IS NOT

GUARANTEED. THE CONTRACTOR IS RESPONSIBLE

FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS

NOTICE TO PROCEED.

PROPOSED SPOT ELEVATION

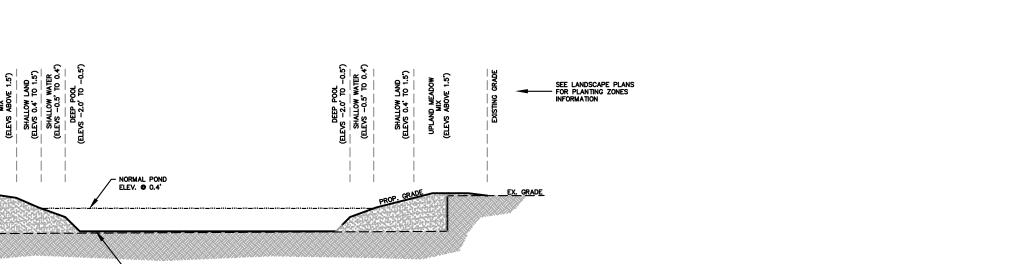
BEFORE YOU DIG

CALL TOLL FREE

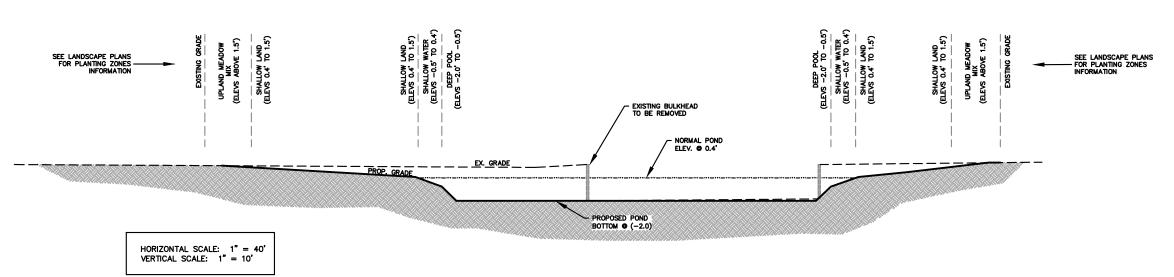
-800-632-4949

NORTH CAROLINA

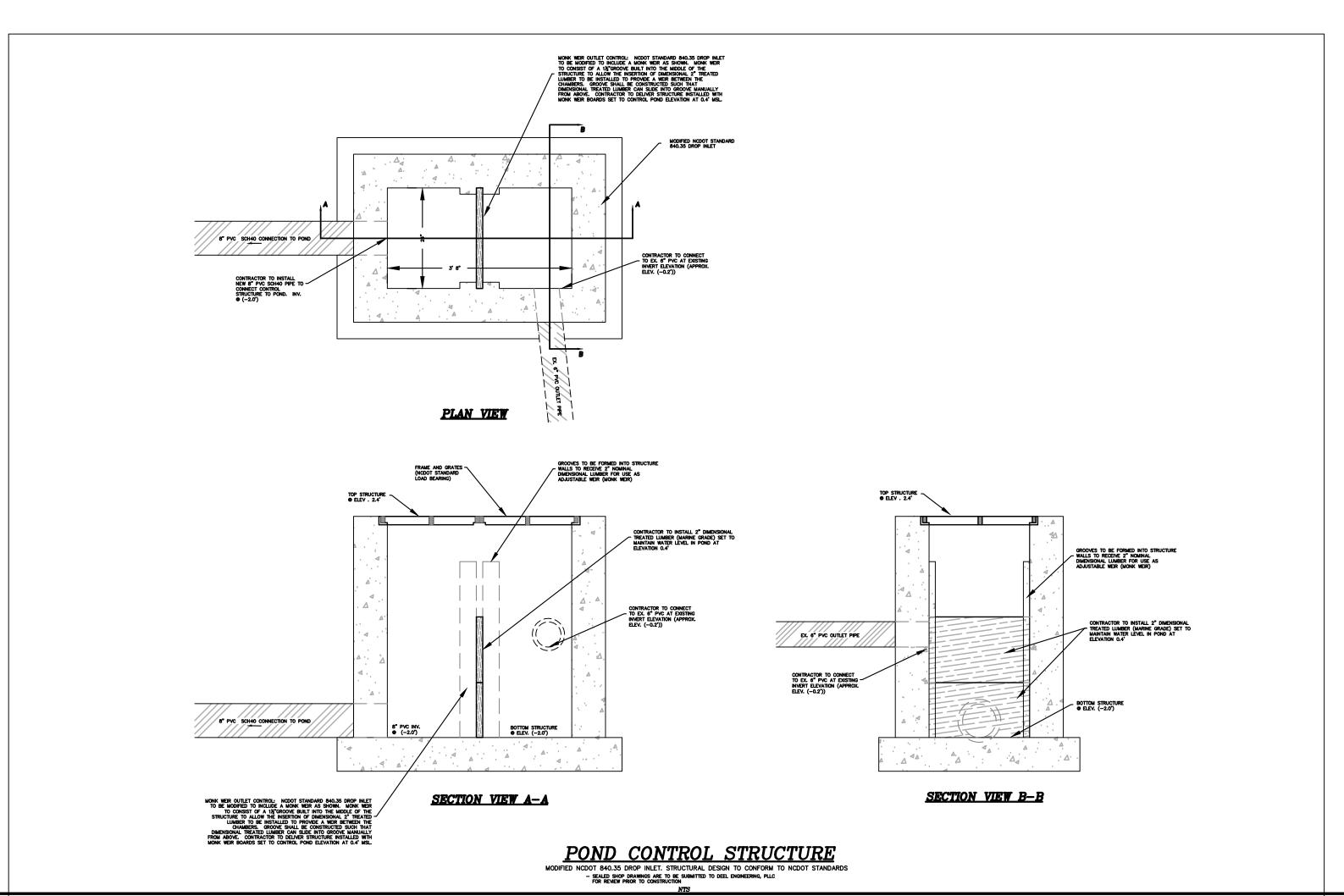
ONE CALL



# SECTION VIEW A-A



# SECTION VIEW B-B





RELEASED FOR PERMITS

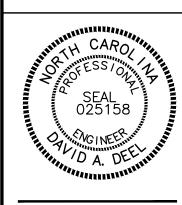
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RESPOND TO CO. COMMENTS

REVISIONS

11/7/2014 3/2/2015

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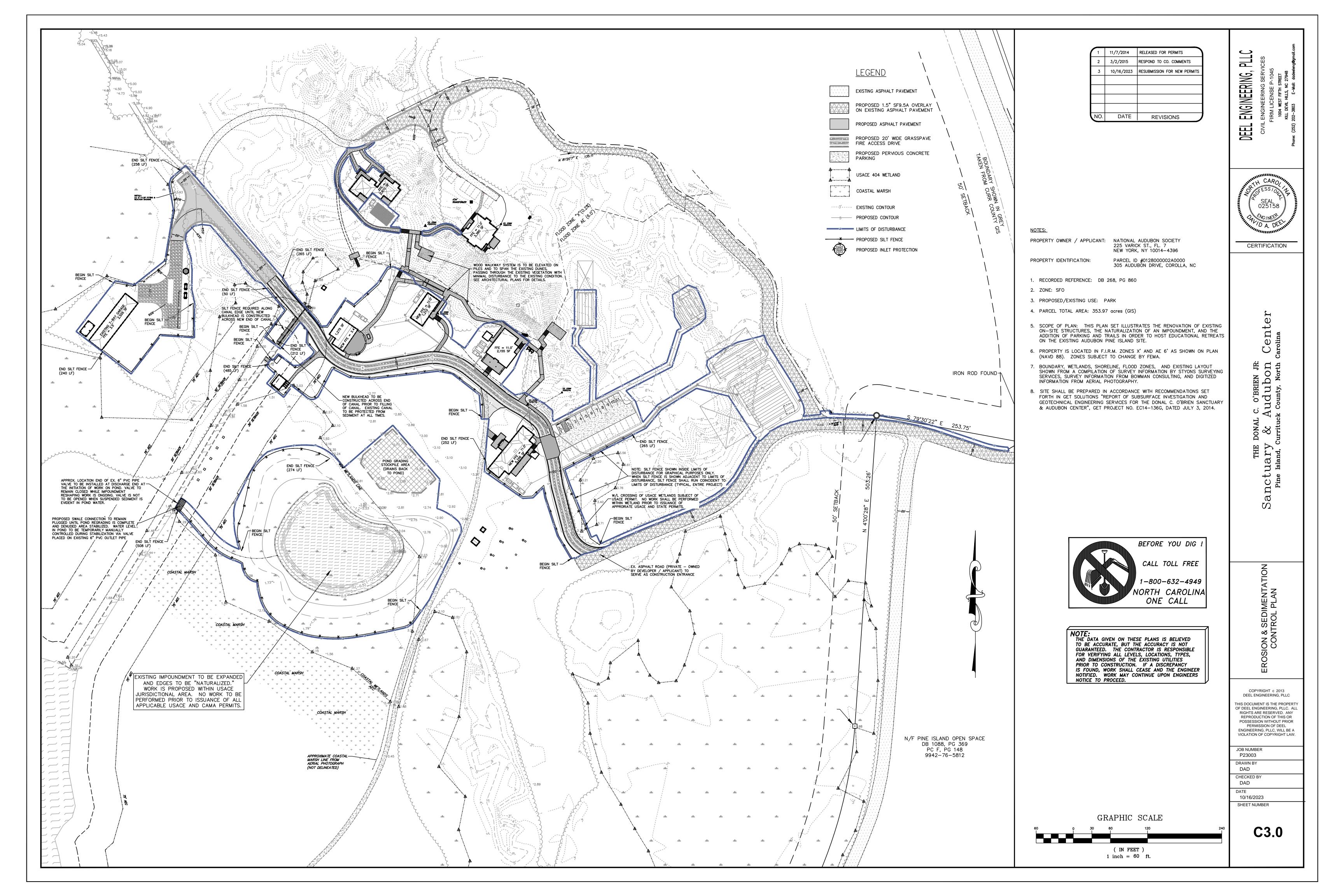
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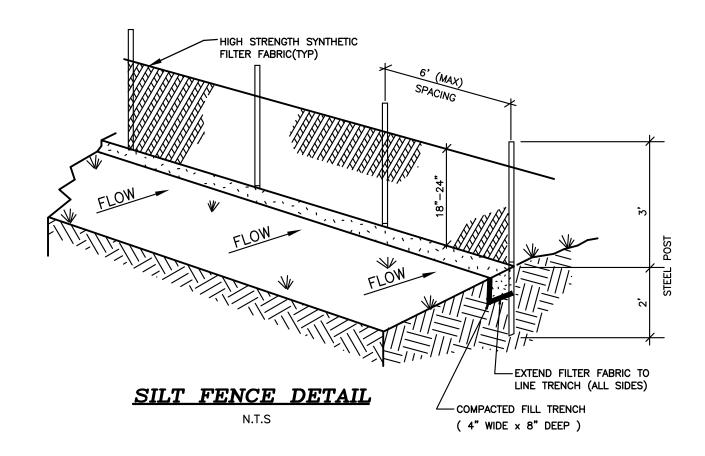
c. o'BRIEN JR:
AUdubon
County, North

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DAD 10/16/2023 SHEET NUMBER





SEEDING DATES: APRIL	1- SEPT 30	SEEDING DATES: OCT. 1 - MARCH 31
SEED MIXTURE	APPLICATION RATES/ACRE	SEED MIXTURE APPLICATION RATES/AC
BAHIA	50 LBS.	RYE GRAIN 175 LBS.
COMMON BERMUDA (UNHULLED)	50 LBS.	FERTILIZER
GERMAN MILLETT	15 LBS.	10-10-10 <b>◎</b> 1000 LB/ACRE
FESCUE	20 LBS.	MULCH
FERTILIZER		APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACK
26-13-13 <b>②</b> 500 LB/ACRE		WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED A MULCH ANCHORING TOOL.
WITH ASPHALT, NETTING, OR	IW. ANCHOR STRAW BY TACKING A MULCH ANCHORING TOOL. A RLY STRAIGHT CAN BE USED AS	
A MOLON ANCHONING TOOL.		

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE.

(UNTIL FINAL COMPLETION IS AWARDED) WEAK OR DAMAGED SPOTS MUST BE RELIMED, FERTILIZED, MULCHED, AND RESEEDED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

SEEDING SPECIFICATIONS

# SOIL EROSION & SEDIMENTATION CONTROL PLAN NOTES:

a.) AREA TO BE DISTURBED:  $\pm 243,275$  sq.ft.  $-\pm 5.58$  ac.

b.) PROVIDE A GROUNDCOVER (TEMPORARY OR PERMANENT) ON ALL SLOPES 3:1 OR STEEPER WITHIN 7 CALENDAR DAYS AND ALL SLOPES FLATTER THAN 3:1 WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PROVIDE A PERMANENT GROUNDCOVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT

1. SOIL EROSION & SEDIMENT CONTROL PLAN NOTES;

c.) IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1— SEP.30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS ON

SHEET ES2). d.) IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SILT FENCING OR OTHER MEASURES SHALL BE INSTALLED AS DIRECTED BY ENGINEER SO AS TO PREVENT DAMAGE TO ADJACENT PROPERTY. SEE SILT FENCE DETAIL ON THIS SHEET.

e.) SOIL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED WEEKLY AND AFTER ANY SIGNIFICANT RAINFALL PRODUCING EVENT AND SHALL BE MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.

f.) CONSTRUCTION SCHEDULE: OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.

FLAG AND/OR ROUGH STAKE WORK LIMITS. HOLD PRÉCONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF

CONSTRUCTION ACTIVITIES. INSTALL SILT FENCING @ LOCATIONS SHOWN ON PLAN

COMPLETE CLEARING AND GRUBBING PROCEDURES. IMPOUNDMENT CONSTRUCTION: CUT & PLUG EXISTING PVC PIPE AT PROPOSED POND CONTROL STRUCTURE LOCATION PRIOR TO COMMENCEMENT OF LAND DISTURBING ACTIVITIES ASSOCIATED WITH IMPOUNDMENT RECONSTRUCTION. PIPE TO REMAIN PLUGGED THROUGHOUT CONSTRUCTION. PLUG TO BE REMOVED AFTER FINAL STABILIZATION OF A IMPOUNDMENT DRAINAGE AREA.

CANAL FILLING ACTIVITIES: STAGING / WORK AREA FOR THE CANAL FILLING ACTIVITIES
WILL BE IMMEDIATELY TO THE NORTH OF THE AREA TO BE FILLED. NO FILL SHALL BE
PLACED IN PORTION OF CANAL BEING FILLED UNTIL NEW BULKHEAD END IS INSTALLED TO PREVENT SILTATION INTO REMAINING CANAL. THE CANAL SHALL BE PROTECTED FROM LAND DISTURBING ACTIVITIES VIA SILT FENCE, NEW BULKHEAD, OR SEDIMENT SCREEN AT ALL TIMES.

8) GRADE SITE ACCORDING TO PLAN

9) ALL EROSION & SEDIMENTATION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENTS. NEEDED REPAIRS WILL BE MADE IMMEDIATELY. 10) ONCE SITE IS FULLY STABILIZED SILT FENCE CAN BE REMOVED.

11/7/2014 RELEASED FOR PERMITS RESPOND TO CO. COMMENTS 3/2/2015 10/16/2023 REVISIONS PER AUDUBON DATE REVISIONS

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225 VARICK ST., FL. 7 NEW YORK, NY 10014-4396 PARCEL ID #0128000002A0000 305 AUDUBON DRIVE, COROLLA, NC

1. RECORDED REFERENCE: DB 268, PG 860

ZONE: SFO

3. PROPOSED/EXISTING USE: PARK

PROPERTY IDENTIFICATION:

4. PARCEL TOTAL AREA: 353.97 acres (GIS)

5. SCOPE OF PLAN: THIS PLAN SET ILLUSTRATES THE RENOVATION OF EXISTING ON-SITE STRUCTURES, THE ADDITION OF A LAB, AND THE ADDITION OF PARKING AND TRAILS IN ORDER TO HOST EDUCATIONAL RETREATS ON THE EXISTING AUDUBON PINE ISLAND SITE.

PROPERTY OWNER / APPLICANT: NATIONAL AUDUBON SOCIETY

6. PROPERTY IS LOCATED IN F.I.R.M. ZONES X' AND AE 6' AS SHOWN ON PLAN (NAVD 88). ZONES SUBJECT TO CHANGE BY FEMA.

7. BOUNDARY, WETLANDS, SHORELINE, FLOOD ZONES, AND EXISTING LAYOUT SHOWN FROM A COMPILATION OF SURVEY INFORMATION BY STYONS SURVEYING SERVICES, SURVEY INFORMATION FROM BOWMAN CONSULTING, AND DIGITIZED INFORMATION FROM AERIAL PHOTOGRAPHY.

8. SITE SHALL BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN GET SOLUTIONS "REPORT OF SUBSURFACE INVESTIGATION AND GEOTECHNICAL ENGINEERING SERVICES FOR THE DONAL C. O'BRIEN SANCTUARY & AUDUBON CENTER", GET PROJECT NO. EC14-136G, DATED JULY 3, 2014.



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TAT S SION & SEDIMENT CONTROL DETAIL

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CHECKED BY DAD

DATE 10/16/2023 SHEET NUMBER

## **PART III** SELF-INSPECTION, RECORDKEEPING AND REPORTING

#### **SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect (during normal business hours)		Inspection records must include:				
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts.  If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.				
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	<ol> <li>Identification of the measures inspected,</li> <li>Date and time of the inspection,</li> <li>Name of the person performing the inspection,</li> <li>Indication of whether the measures were operating properly,</li> <li>Description of maintenance needs for the measure,</li> <li>Description, evidence, and date of corrective actions taken.</li> </ol>				
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours	<ol> <li>Identification of the discharge outfalls inspected,</li> <li>Date and time of the inspection,</li> <li>Name of the person performing the inspection,</li> <li>Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration,</li> <li>Indication of visible sediment leaving the site,</li> <li>Description, evidence, and date of corrective actions taken.</li> </ol>				
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours	<ol> <li>If visible sedimentation is found outside site limits, then a record of the following shall be made:</li> <li>Actions taken to clean up or stabilize the sediment that has left the site limits,</li> <li>Description, evidence, and date of corrective actions taken, and</li> <li>An explanation as to the actions taken to control future releases.</li> </ol>				
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made:  1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.				
(6) Ground stabilization measures	After each phase of grading	<ol> <li>The phase of grading (installation of perimeter E&amp;SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover).</li> <li>Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.</li> </ol>				

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

#### **PART III** SELF-INSPECTION, RECORDKEEPING AND REPORTING

#### **SECTION B: RECORDKEEPING**

#### 1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

#### 2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

#### 3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

## PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

#### **PART III** SELF-INSPECTION, RECORDKEEPING AND REPORTING

#### **SECTION C: REPORTING**

#### 1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.



Know what's below. Call before you dig.

(b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

#### 2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	A report at least ten days before the date of the bypass, if possible.  The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(I)(7)]	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6).</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

# NOTES & DETAILS ON THIS

SHEET PROVIDED BY NCDEQ

EFFECTIVE: 04/01/19

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DEEL ENGINEERING, PLLC

POSSESSION WITHOUT PRIOR NGINEERING, PLLC, WILL BE

P23003 DAD CHECKED BY

10/16/2023

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<u>NOTES:</u> 1. ACTUAL LOCATION DETERMINED IN

WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM 12 INCHES OF FREEBOARD.

ABOVE GRADE WASHOUT STRUCTURE

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#### **GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH** THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

#### **SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timeframes						
Site Area Description		Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations			
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	None			
(b)	High Quality Water (HQW) Zones	7	None			
(c)	Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed			
(d)	Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed			
(e)	Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope			

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

#### GROUND STABILIZATION SPECIFICATION

**Temporary Stabilization** 

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

remporary stabilization	i cilitaticiti Stabilization
<ul> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Rolled erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover</li> </ul>
Plastic sheeting	
	<ul> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Rolled erosion control products with grass seed</li> </ul>

**Permanent Stabilization** 

# POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- 4. Provide ponding area for containment of treated Stormwater before discharging
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

#### **EQUIPMENT AND VEHICLE MAINTENANCE**

- 1. Maintain vehicles and equipment to prevent discharge of fluids.
- 2. Provide drip pans under any stored equipment.
- 3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- 5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

#### LITTER. BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- 2. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or
- provide secondary containment. Repair or replace damaged waste containers. Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

# PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- 2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

# **PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

# **EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

NOTES & DETAILS ON THIS SHEET PROVIDED BY NCDEQ

#### **CONCRETE WASHOUTS**

Do not discharge concrete or cement slurry from the site.

SECTION A-A

BELOW GRADE WASHOUT STRUCTURE

NOTES:
1. ACTUAL LOCATION DETERMINED IN FIELD

2. THE CONCRETE WASHOUT STRUCTURES SHALL

3.CONCRETE WASHOUT STRUCTURE NEEDS TO BI CLEARY MARKED WITH SIGNAGE NOTING DEVICE.

Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.

ONSITE CONCRETE WASHOUT

STRUCTURE WITH LINER

- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- 8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- 10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

# HERBICIDES, PESTICIDES AND RODENTICIDES

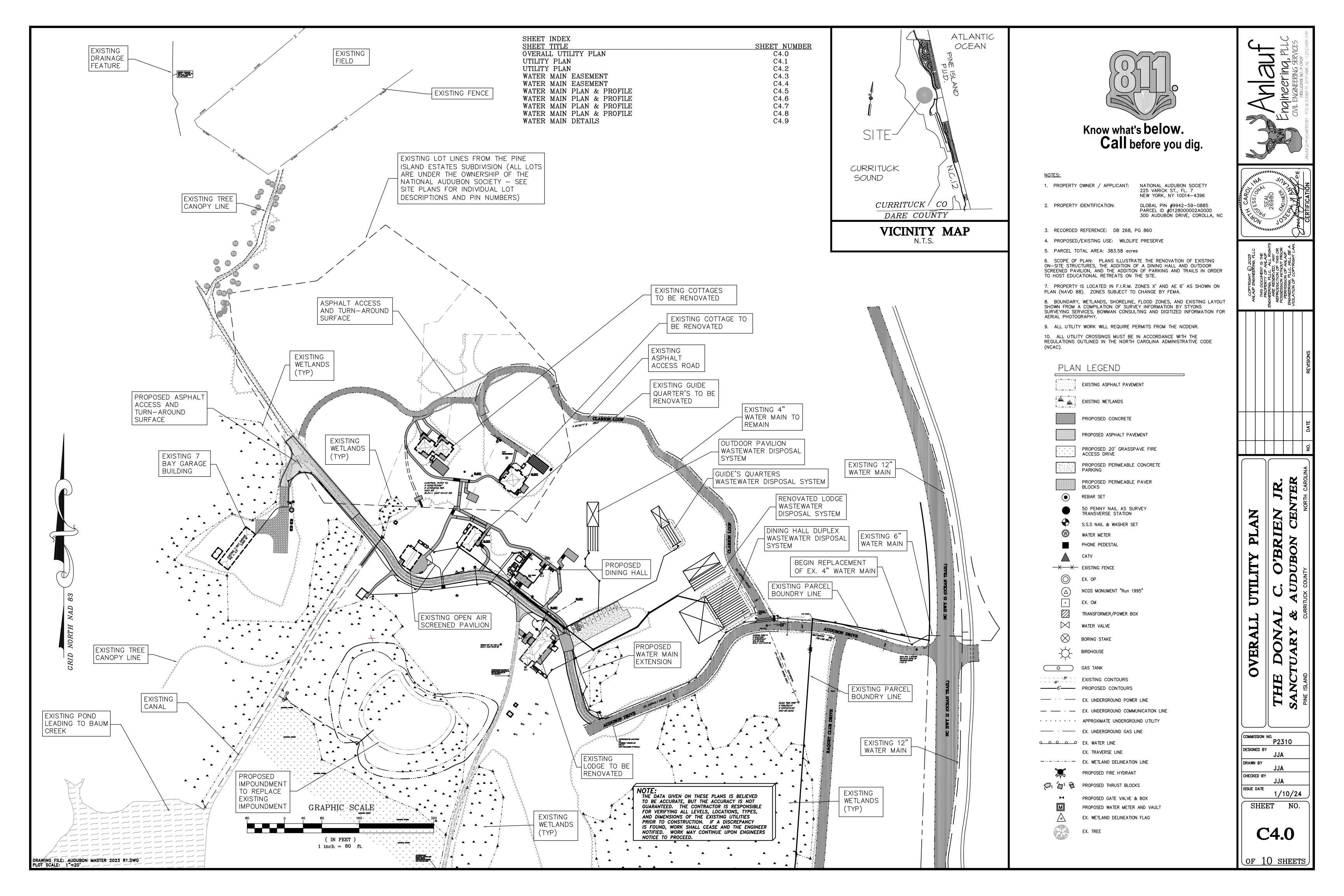
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- 3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

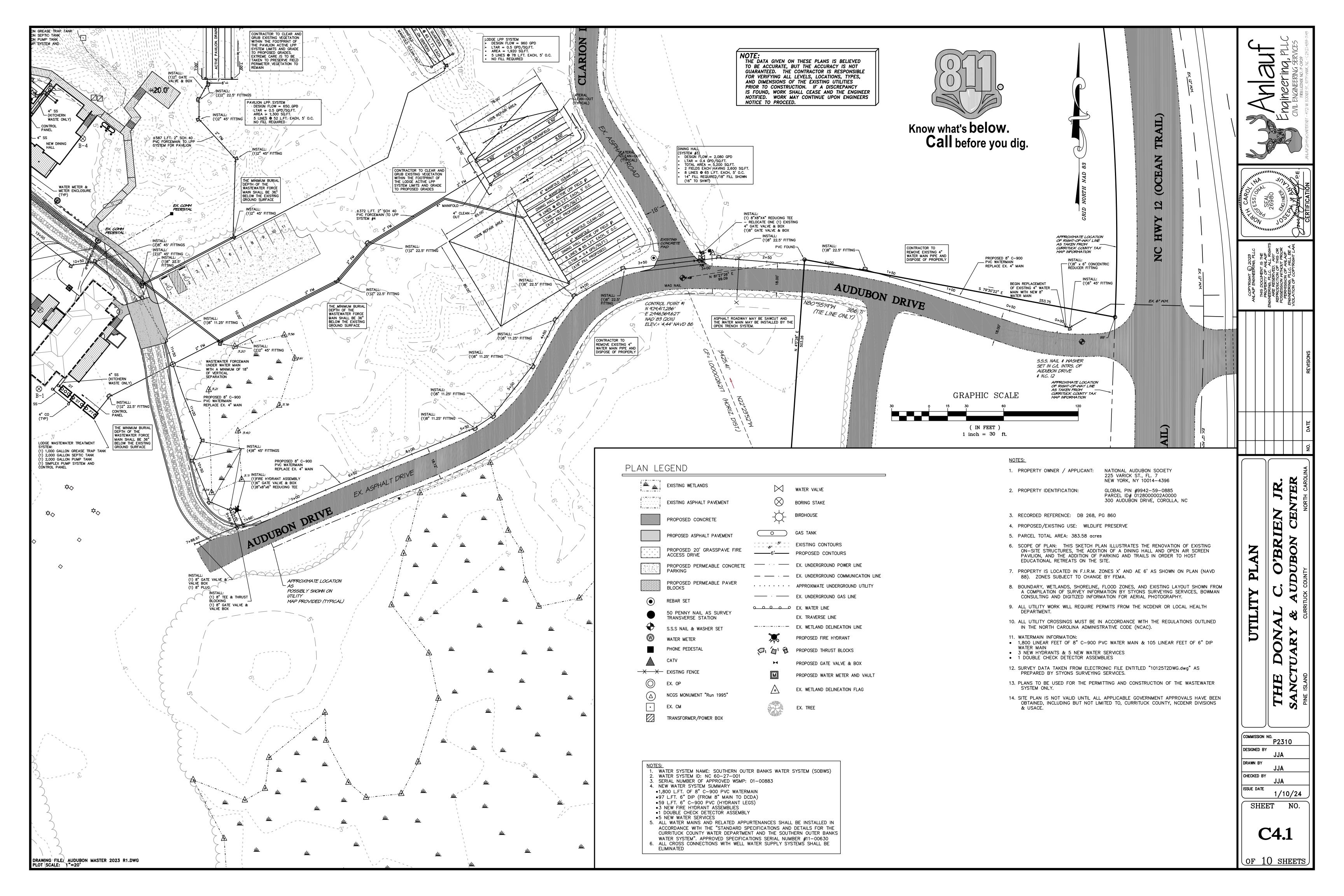
#### HAZARDOUS AND TOXIC WASTE

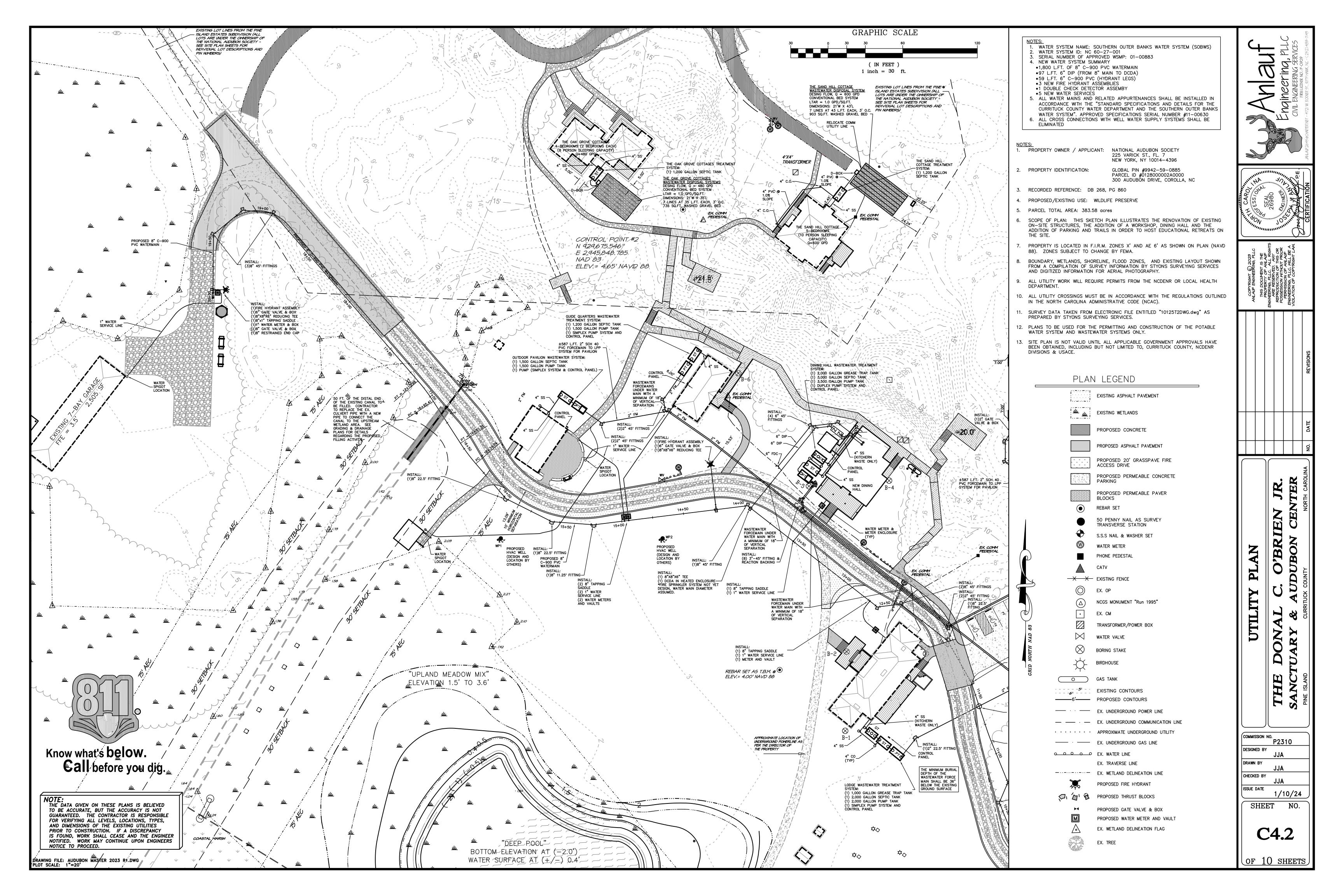
- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

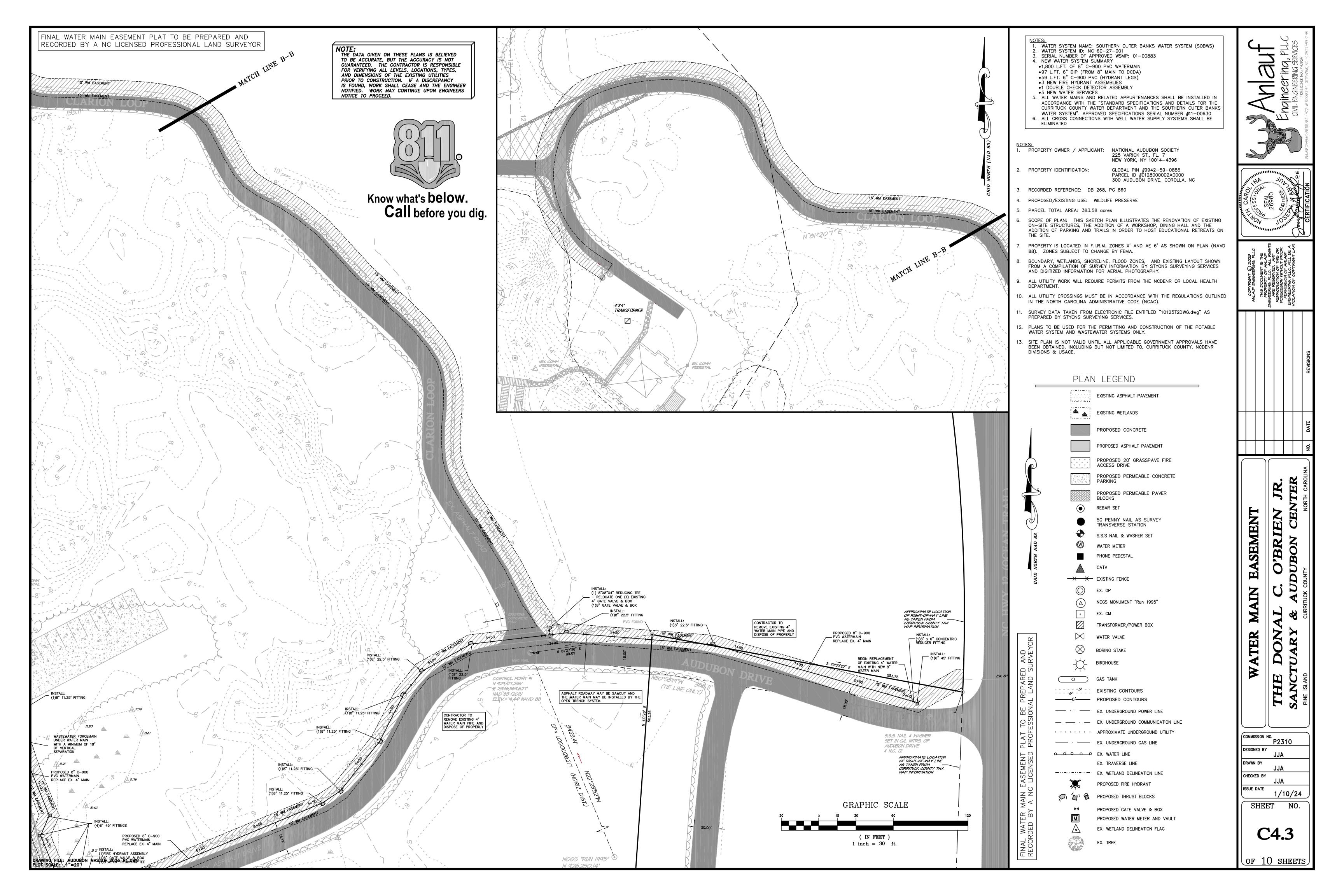
NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

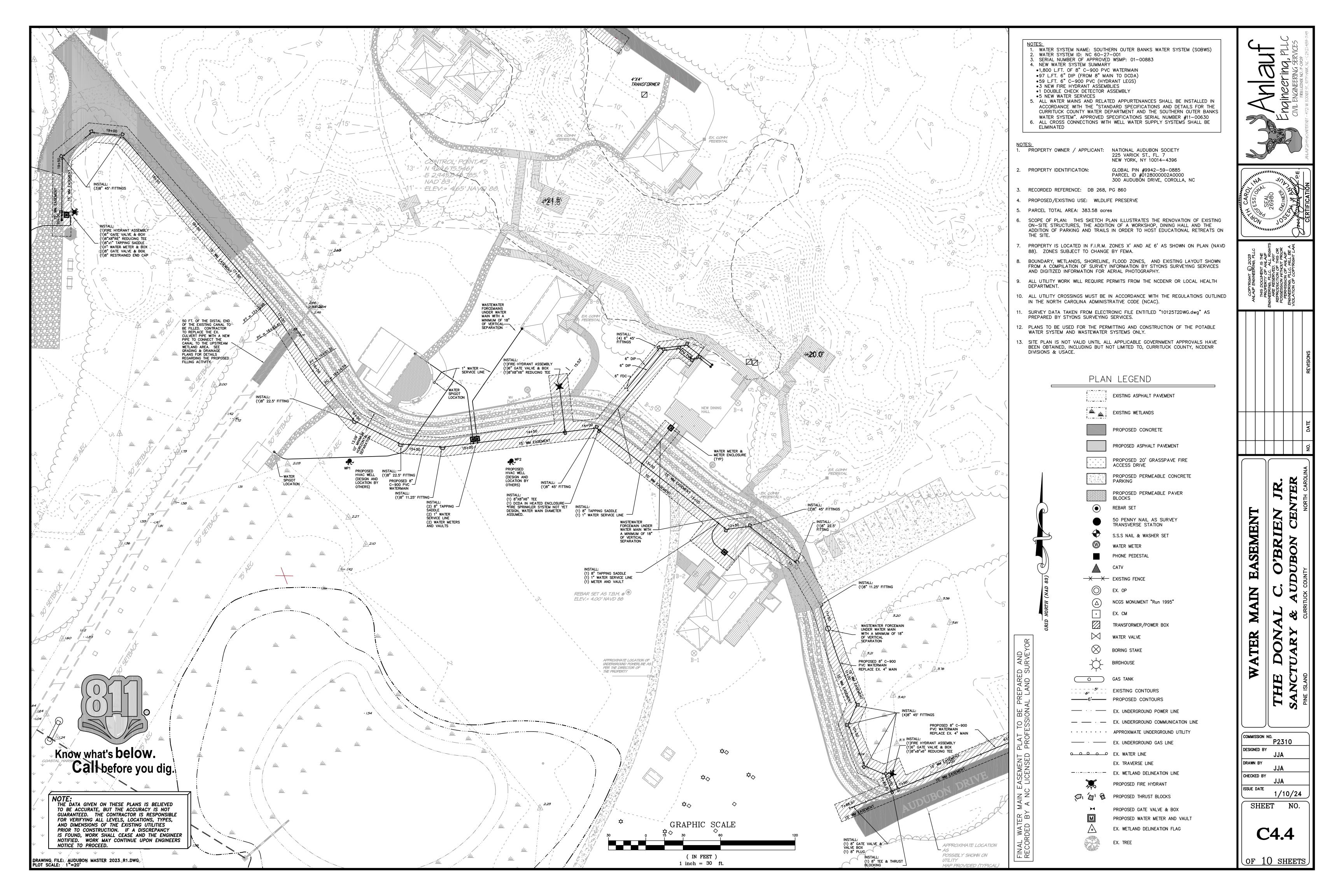
EFFECTIVE: 04/01/19

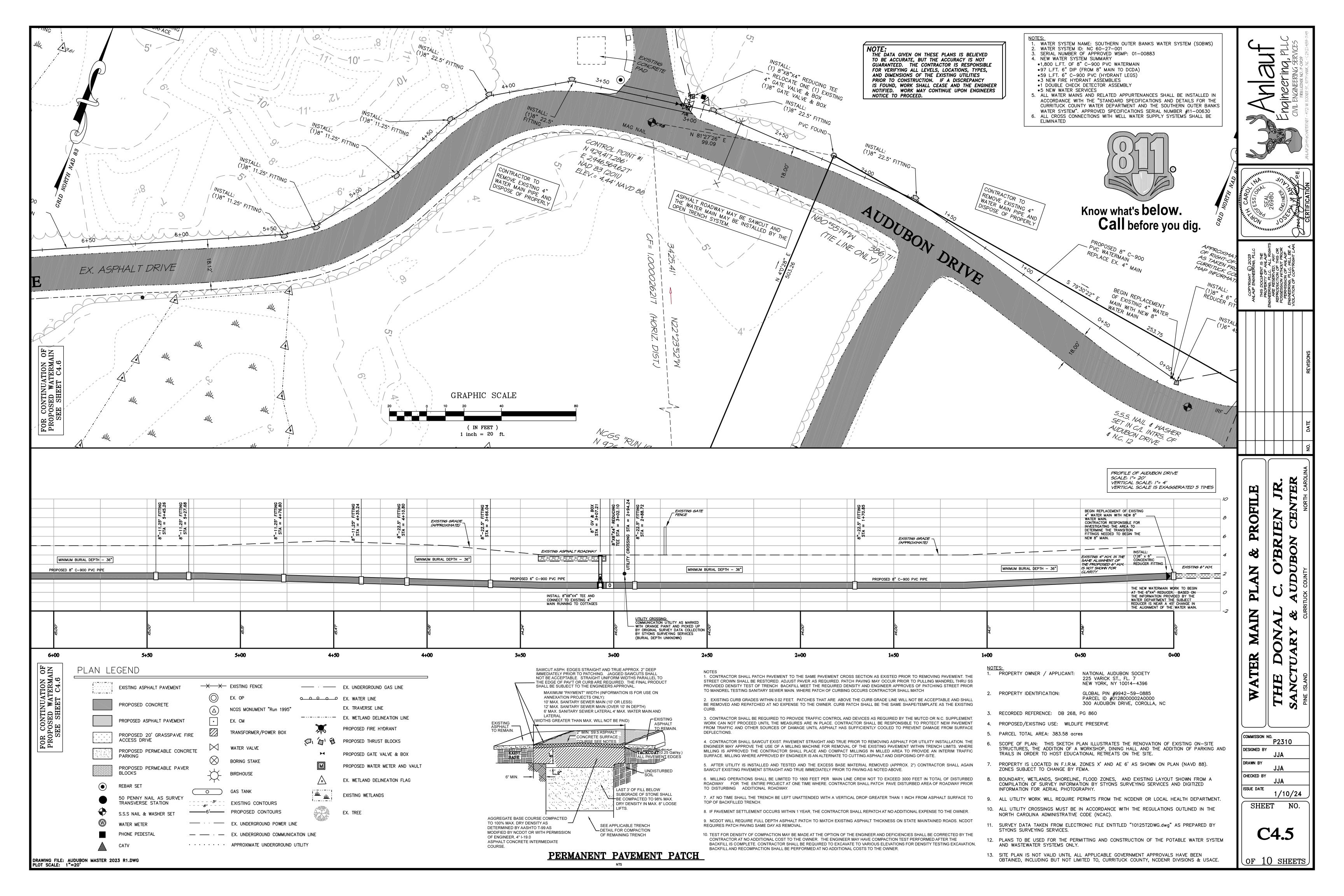


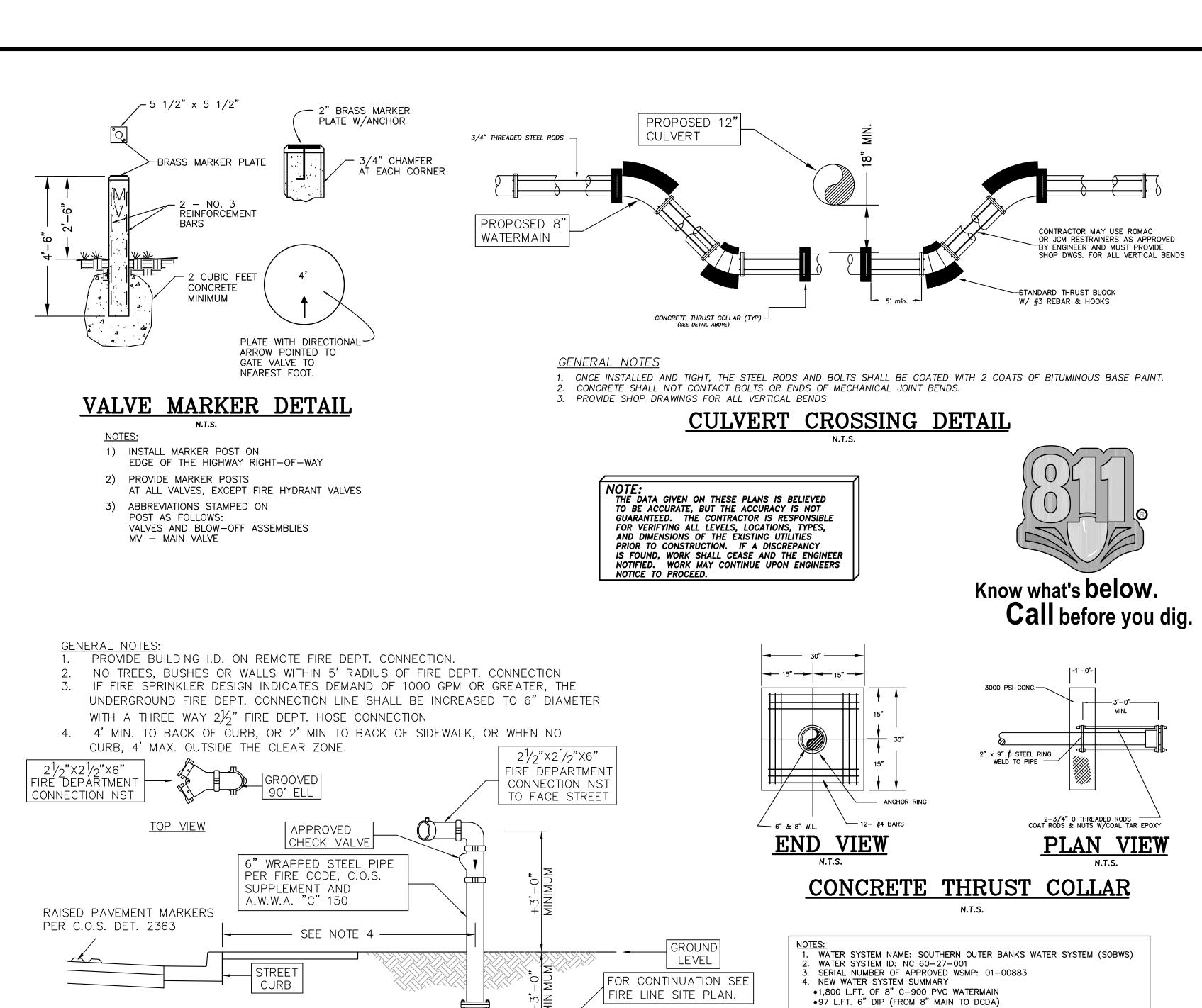












CLASS 350 D.I.P.

SECTION VIEW

- •59 L.FT. 6" C-900 PVC (HYDRANT LEGS)
- 3 NEW FIRE HYDRANT ASSEMBLIES •1 DOUBLE CHECK DETECTOR ASSEMBLY •5 NEW WATER SERVICES ALL WATER MAINS AND RELATED APPURTENANCES SHALL BE INSTALLED IN
- ACCORDANCE WITH THE "STANDARD SPECIFICATIONS AND DETAILS FOR THE CURRITUCK COUNTY WATER DEPARTMENT AND THE SOUTHERN OUTER BANKS WATER SYSTEM". APPROVED SPECIFICATIONS SERIAL NUMBER #11-00630 ALL CROSS CONNECTIONS WITH WELL WATER SUPPLY SYSTEMS SHALL BE ELIMINATED

PLAN LE	GEND				
7557574 (1010101)	EXISTING ASPHALT PAVEMENT	- <del></del>	EXISTING FENCE	·	EX. UNDERGROUND GAS LINE
11.2.1.21.			EX. OP	0 0 0 0	EX. WATER LINE
	PROPOSED CONCRETE	$\stackrel{-}{(\Delta)}$	NCGS MONUMENT "Run 1995"		EX. TRAVERSE LINE
	PROPOSED ASPHALT PAVEMENT	$\overline{}$	EX. CM		EX. WETLAND DELINEATION LINE
ψ ψ ψ · · · · · · · · · · · · · · · · ·	PROPOSED 20' GRASSPAVE FIRE		TRANSFORMER/POWER BOX		PROPOSED FIRE HYDRANT
	ACCESS DRIVE PROPOSED PERMEABLE CONCRET	E 🖂	WATER VALVE	PI DI B	PROPOSED THRUST BLOCKS  PROPOSED GATE VALVE & BOX
	PARKING	$\otimes$	BORING STAKE		
	PROPOSED PERMEABLE PAVER BLOCKS	<del>\</del>	BIRDHOUSE	M	PROPOSED WATER METER AND VAULT
lacktriangle	REBAR SET	77\	GAS TANK	<u> </u>	EX. WETLAND DELINEATION FLAG
	50 PENNY NAIL AS SURVEY TRANSVERSE STATION		EXISTING CONTOURS	<u> </u>	EXISTING WETLANDS
<b>◆</b>	S.S.S NAIL & WASHER SET	<u>6'</u>	PROPOSED CONTOURS	-K-W	EX. TREE
	WATER METER —	_ · · ·	EX. UNDERGROUND POWER LINE	E	EA. IREE
	PHONE PEDESTAL —	·	EX. UNDERGROUND COMMUNICA	ATION LINE	
	CATV		APPROXIMATE UNDERGROUND U	JTILITY	

DRAWING FILE: AUDUBON MASTER 2023 R1.DWG PLOT SCALE: 1"=20'

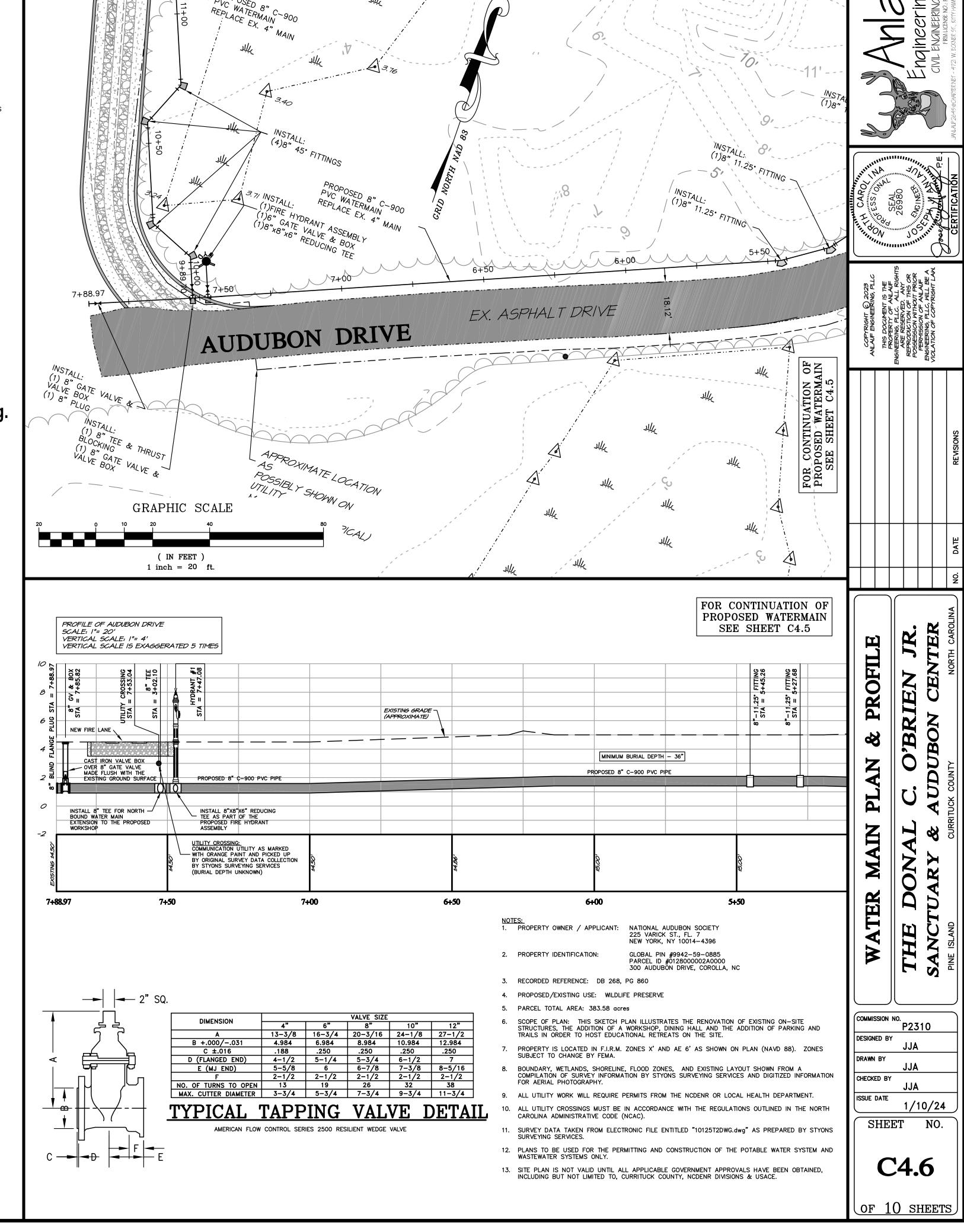
THRUST BLOCKING PER

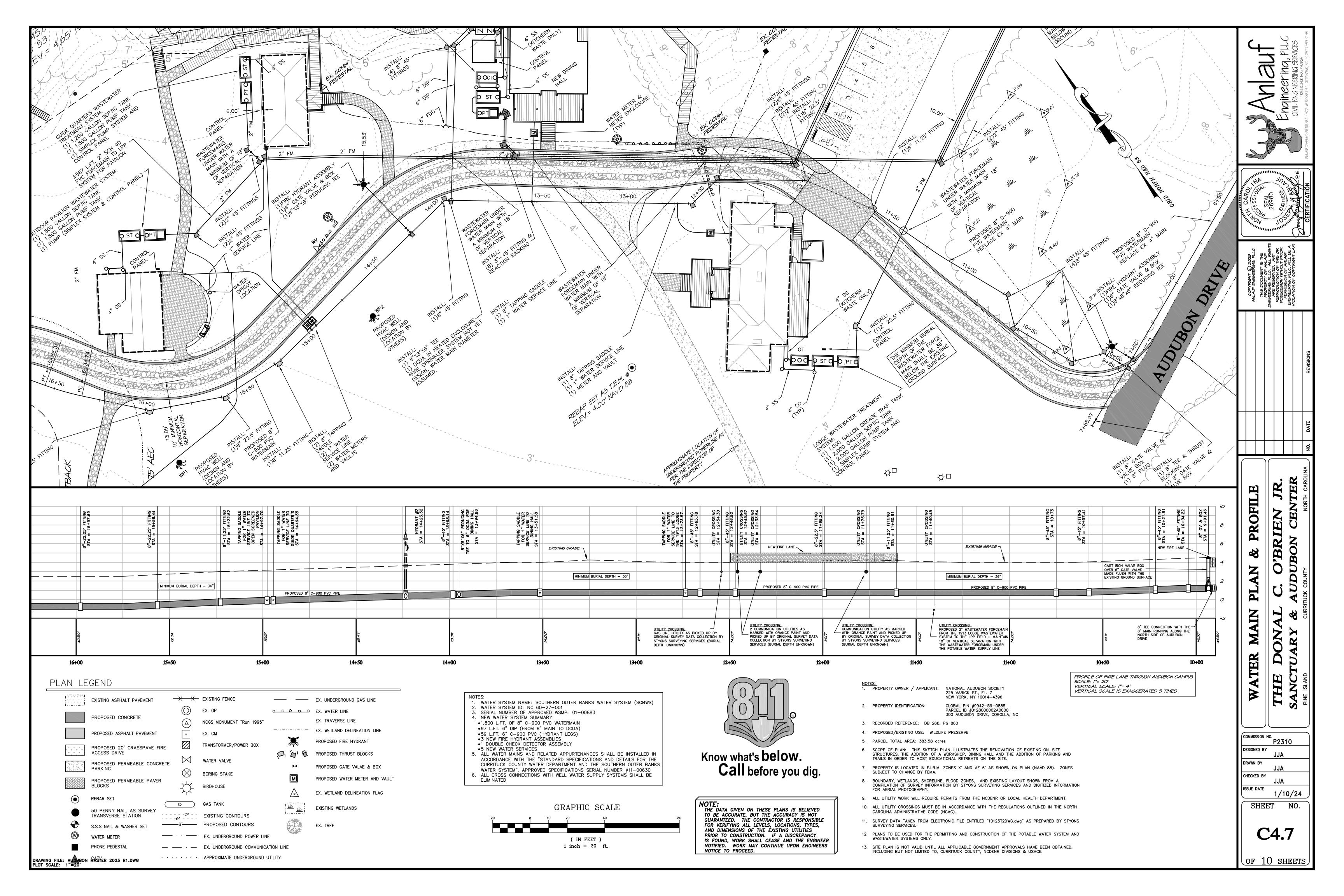
MAG STD. DETAIL 380

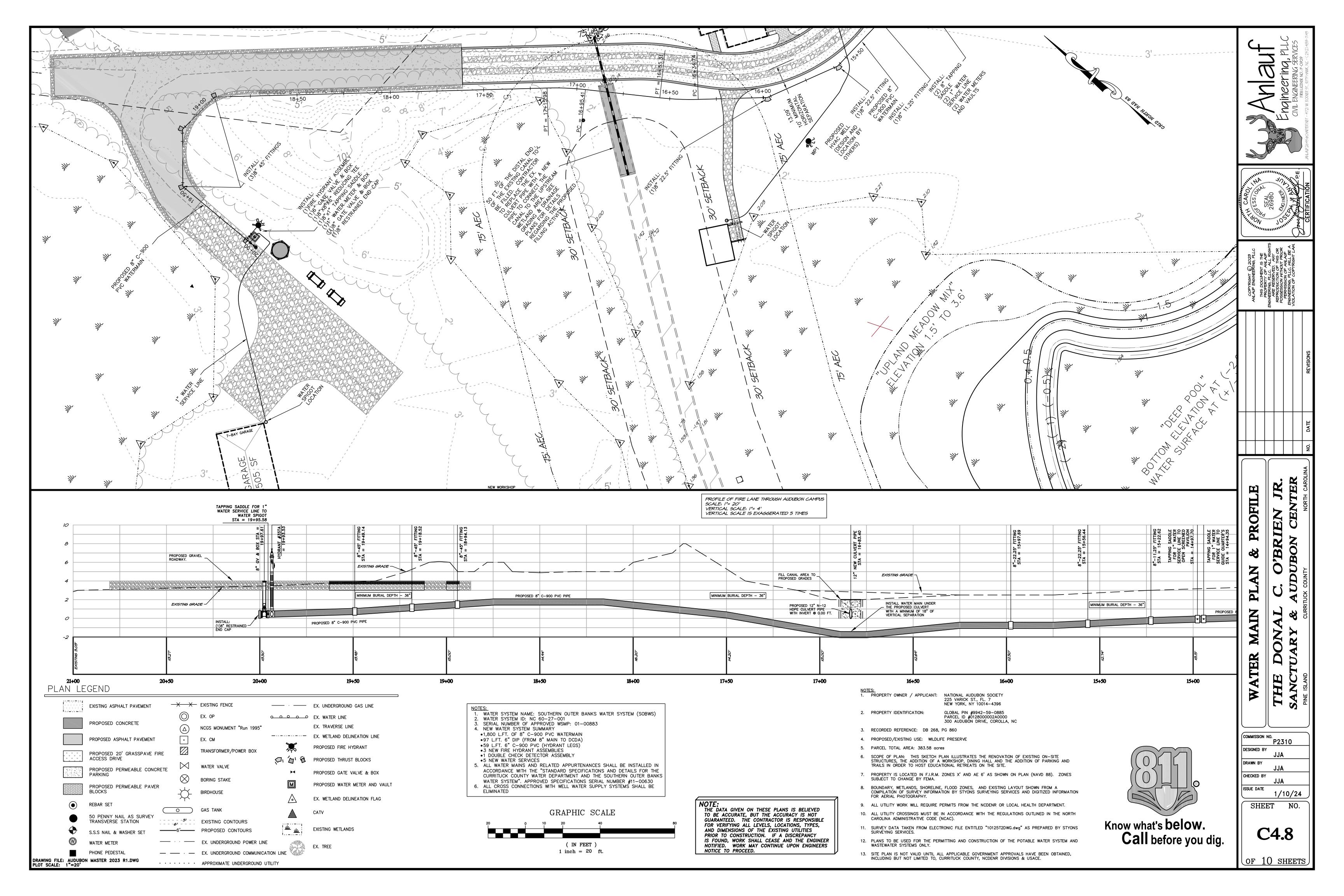
NOMINAL	SLEEVE O.D. RANGE	CA	TALOG NUME	BER	ABBBOY	
PIPE SIZE	(INCHES)	SLEEVE NUMBER	BY	BRANCH SIZE	APPROX. WEIGHT	
4"	4.40 - 4.60 4.70 - 4.90 5.10 - 5.30	SST - 4.60 SST - 4.90 SST - 5.30	x	3" FLG. 4" FLG.	28# 30#	
6"	6.60 - 7.00 6.90 - 7.30 7.10 - 7.50	SST - 7.00 SST - 7.30 SST - 7.50	x	3" FLG. 4" FLG. 6" FLG.	36# 38# 45#	
8"	7.90 - 8.30 8.62 - 9.06 9.04 - 9.45 9.20 - 9.60 9.90 - 10.30	SST - 8.30 SST - 9.06 SST - 9.45 SST - 9.60 SST - 10.30	х	3" FLG. 4" FLG. 6" FLG. 8" FLG.	42# 44# 48# 66#	
10"	10.73 - 11.13 11.06 - 11.45 11.79 - 12.19	SST - 11.13 SST - 11.45 SST - 12.19	х	3" FLG. 4" FLG. 6" FLG. 8" FLG. 10" FLG.	45# 48# 55# 70# 80#	
12"	12.75 x 12 12.45 - 12.85 12.90 - 13.30 13.16 - 13.56 13.40 - 13.80 13.98 - 14.38	SST - 12.85 SST - 13.30 SST - 13.56 SST - 13.80 SST - 14.38	х	3" FLG. 4" FLG. 6" FLG. 8" FLG. 10" FLG. 12" FLG.	50# 52# 60# 81# 96# 143#	
14"	15.20 - 15.60 15.80 - 16.20 16.38 - 16.78	SST - 15.60 SST - 16.20 SST - 16.78	х	3" FLG. 4" FLG. 6" FLG. 8" FLG. 10" FLG. 12" FLG.	62# 64# 74# 81# 95# 154#	
16"	17.15 - 17.55 17.40 - 17.80 17.55 - 17.95 17.85 - 18.25 18.58 - 18.98 19.30 - 19.70	SST - 17.55 SST - 17.80 SST - 17.95 SST - 18.25 SST - 18.98 SST - 19.70	х	3" FLG. 4" FLG. 6" FLG. 8" FLG. 10" FLG. 12" FLG.	78# 80# 85# 100# 115# 172#	
18"	19.80 - 20.20 20.20 - 20.60 21.00 - 21.40	SST - 20.20 SST - 20.60 SST - 21.40	х	3" FLG. 4" FLG. 6" FLG. 8" FLG. 10" FLG. 12" FLG.	92# 94# 98# 115# 139# 191#	
20"	21.40 - 21.80 21.90 - 22.30 22.30 - 22.70	SST - 21.80 SST - 22.30 SST - 22.70	х	3" FLG. 4" FLG. 6" FLG. 8" FLG. 10" FLG. 12" FLG.	81# 85# 89# 99# 120# 205#	
24"	23.30 - 23.70 23.80 - 24.20 25.60 - 26.00 26.10 - 26.50	SST - 23.70 SST - 24.20 SST - 26.00 SST - 26.50	х	3" FLG. 4" FLG. 6" FLG. 8" FLG. 10" FLG. 12" FLG.	85# 87# 90# 100# 145# 230#	

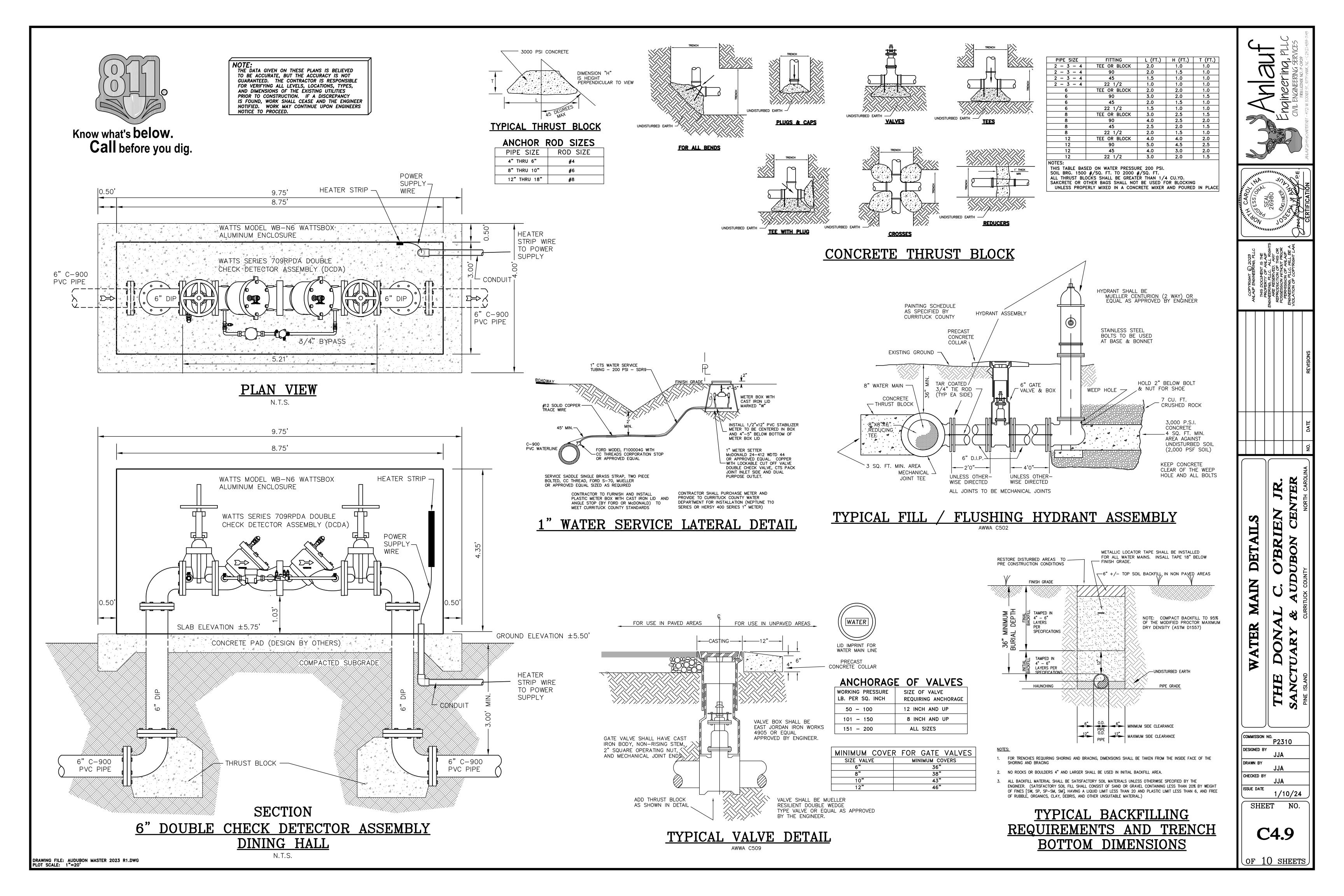
TYPICAL TAPPING SLEEVE DETAIL

ROMAC INDUSTRIES, INC. "SST" STAINLESS STEEL TAPPING SLEEVE









#### **2012 APPENDIX B BUILDING CODE SUMMARY** FOR ALL COMMERCIAL PROJECTS

	Special Provisions:		9.3 1 500	a 4 □509 5 □	<b>7</b> 509 6 <b></b> □	<b>1</b> 509 7
Name of Project: The Donal C. O'Brien Jr. Sanctuary & Audubon Center 1913 Lodge Alteration	Mixed Occupancy:					_
Address: 305 Audubon Drive, Corolla, North Carolina Zip Code 27927  Proposed Use: Single Family Residence	Incidental Use Se This separation is	eparation (50	8.2.5) [ N	I/A ]	loo (000 c	voont
Owner or Authorized Agent Chip Hemingway Ph #: 910.762.2621 E-mail hemingway@bmharch.com	Non-Separated U			-Separateu (	ose (see e	excepti
Owned By: City / County Private State	Separated Use (5					
Code Enforcement Jurisdiction: City: Corolla County: Currituck DOI/DHSR	Separated Use (5	006.4) [ N/A ]				
LEAD DECICAL PROFESCIONAL - OLD Hold - ALA - Down All - Ala - Down All - Ala -	STORY NO DESCRIPTION AND USE	BLDĠ ÁR	EA TAB		(C) EA FOR	(D AREA
LEAD DESIGN PROFESSIONAL: Chip Hemingway AIA, Bowman Murray Hemingway Architects  DESIGNER FIRM NAME LIC # TEL # E-MAIL		PER STO (ACTUA		REA FRO	NTAGE REASE <sup>1</sup>	SPRIN INCRE
Architectural   BMH Architects   Chip Hemingway   7487   910-762-2621   heminway@bmharch.com	1st Floor A-2 Assembl	y 2,500	6,00	00 4,5	500	18,0
CivilAnlauf Engineering PLLCJoe Anlauf26980252-489-7143janlauf2645@charter.netElectricalMcFadyen EngineersDuncan McFadyen8433910-399-1125dmcfadyen@mcfadyenengineers.com						
Fire Alarm Plumbing  CBHF Engineers  Jim Benson  10592  910–791–4000  jbenson@cbhfengineers.com	<sup>1</sup> Frontage area incre	ases from Se	ction 506	.2 are comp	uted thus:	20.1
Mechanical         CBHF Engineers         Jim Benson         10592         910-791-4000         jbenson@cbhfengineers.com	<ul><li>a. Perimeter wh</li><li>b. Total Building</li></ul>	nich fronts a p g Perimeter	oublic way =-	/ or open spa (F(F	ice naving P)	) 20 fe
StructuralWoods EngineeringDon Woods19475910-343-8007donwoods@woodseng.com	c. Ratio (F/P) = d. W = Maximum	m width of pu	(F/P) blic way :	= 30' + (	W)	
Retaining Walls > 5' High none - n/a Other - Deel Engineering Andy Deel 25158 252-202-3803 dadeeleng@gmail.com	e. Percent of fro <sup>2</sup> The sprinkler increa	se per Sectio	n 506.3 i	s as follows:	] X VV/30	=_
	a. Multi-story bub. Single story b					
2012 EDITION OF NC CODE FOR: New Construction Addition Upfit	<sup>3</sup> Unlimited area appli	icable under (	conditions	s of Section 5	507.	
EXISTING: Reconstruction Alteration Repair Renovation	<sup>4</sup> Maximum Building A				-	,
CONSTRUCTED: (date) ORIGINAL USE(S) (Ch. 3):	<sup>5</sup> The maximum area control towers must	comply with	ing garag 412.1.2.	es must com	ipiy with 4	06.3.5
RENOVATED: (date) CURRENT USE(S) (Ch. 3):			A1.1	OWABLE H	EICUT	
PROPOSED USE(S) (Ch. 3): Dining Hall, A-2		ALLOV	VABLE	INCREAS		-
BASIC BUILDING DATA	Type of Construction	(TABL	E 503)	SPRINK		T. #
Construction Type: II-A III-A III-A IV V-A (check all that apply) II-B III-B III-B IV-B	Type of Construction Building Height in Feet	Feet 4	<u>ype VE</u> 10	Feet = H +		
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D	Building Height in Stori	es Stories 2	2	Stories + 1	= 3	Sto
Standpipes: No Yes Class: I III Wet Dry						
Fire District: No Yes Flood Hazard Area: No Yes*		FIFE FIRE		ECTION RE	QUIREME DETAIL#	DESI
Building Height: 30 Feet * Building will be raised above flood plane on a pile foundation.	BUILDING ELEMENT	SEPARATION DISTANCE		PROVIDED	AND SHEET#	F(
GROSS BUILDING AREA:	Changeling	(FEET)	REQ'D	(W/* REDUCTION)		ASSE
Floor Existing (sq ft) New (sq ft) Sub Total (sq ft) Renovated Altered	Structural frame, including columns, girders, & trusses		0-hr	0-hr	$L_{\!\scriptscriptstyle{-}}$	
	Bearing walls Exterior					
	North	30+	0-hr	0-hr		
	<u>East</u> West	30+ 30+	0-hr 0-hr	0-hr 0-hr		
	South Interior	30+	0-hr 0-hr	0-hr 0-hr		
1st Floor 2,500 2,500	Nonbearing walls and partitions		0 111	0 111		
Total 2,500 2,500	Exterior Walls					
Note: Area includes Dining Hall building and adjacent Storage building.	North East	N/A N/A				
	West South	N/A N/A				
ALLOWABLE AREA Occupancy:	Interior Walls		0-hr	0-hr		
Assembly A-1 A-2 A-3 A-4 A-5	Floor Construction Including beams & joists		0-hr	0-hr		
Business	Roof Construction Including beams & joists		0-hr	0-hr		
Educational	Shaft Enclos Exit		N/A	-		
Factory F-1 Moderate F-2 Low	Shaft Enclos Other		N/A	-		
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM	Corridor Separation Occupancy Separation		0-hr N/A	0-hr		
Institutional II-1 II-2 II-3 II-4	Party/Fire Wall Separation		N/A	-		
I-3 Use Condition 1 2 3 4 5  Mercantile	Smoke Barrier Separation		N/A	-		
Residential R-1 R-2 R-3 R-4	Tenant Separation Sleeping Unit Separation		N/A	-		
Storage S-1 Moderate Storage High-piled	Walls Ceiling/Floor		N/A	N/A		
Parking Garage Open Enclosed Repair Garage	Incidential Use Separ.		N/A	N/A		
Utility and Miscellaneous						
Accessory Occupancies:						
Assembly A-1 A-2 A-3 A-4 A-5		LIFE	SAFETY	SYSTEM R	EQUIREN	/ENTS
Business	Emergency Lighting		No <b>I</b>	Yes		
Educational F-1 Moderate F-2 Low	Exit Signs		No	Yes		
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM	Fire Alarms			Yes	_	
Institutional	Smoke Detection Syst	_	_	: —	Partial _	
I-3 Use Condition 1 2 3 4 5	Panic Hardware		NO	Yes		
Mercantile		LIF	E SAFET	Y PLAN RE	QUIREMI	ENTS
Residential R-1 R-2 R-3 R-4	Life Safety Plan Sheet #	#: A G1.0 C				
Storage S-1 Moderate S-2 Low High-piled	Fire and / or sr	noke rated w	all locatio	ns (Chapter	7)	
Parking Garage Open Enclosed Repair Garage	Assumed and	real property	line locat	ions		
Utility and Miscellaneous	Exterior wall op		•			ned pr
Incidental Uses (Table 508.2.5):	Existing structu		-	•	•	
Furnace room where any piece of equipment is over 400,000 Btu per hour input	Occupancy typ			relates to oc	cupant loa	ad calc
Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower	Occupant load					
Refrigerant machine room	Exit access tra  Common path		, ,	143&102	.8)	
Hydrogen cutoff rooms, not classified as Group H	Dead end leng		11) 6 <del>9</del> 0114	. i →.∪ α 1020	,	
Incinerator rooms	Clear exit width	, ,	xit door			
Paint shops, not classified as Group H, located in occupancies other than Group F	Maximum calc	ulated occupa		apacity each	exit door	can a
Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy	egress width (1	,	oh ositti i	or		
Laundry rooms over 100 square feet - 1 Hour  Group I-3 cells equipped with padded surfaces	Actual occupar  A separate sch				ated floor/	Ceilina
Group I-2 waste and linen collection rooms - 1 Hour	for purposes of				atou HUUI/	Johnsy
Waste and linen collection rooms over 100 square feet	Location of doc	ors with panio	hardwar	e (1008.1.10	)	
Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons,	Location of doo	·	•			
or a lithiumion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supplies	Location of doc		_	•	•	•
Rooms containing fire pumps	Location of spe	_	_			ıp I-2 (
Group I-2 storage rooms over 100 square feet - 1 Hour	Location of doc			•	es	
Group I-2 commercial kitchens - Smoke Resistant Construction & Doors	Location of em	ergency esca	ape windo	ows (1029)		

Group I-2 laundries equal to or less than 100 square feet

Smoketight Construction & Doors

Group I-2 rooms or spaces that contain fuel-fired heating equipment

#### ALLOWABLE AREA (cont) Occupancy: 402 403 404 405 406 407 408 409 410 411 412 □413 □414 □415 □416 □417 □418 □419 □420 □421 □422 □423 □424

425 426 427 ecial Provisions: 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

xed Occupancy: No Yes Separation N/A Hr. Exception --

Incidental Use Separation (508.2.5) [ N/A ]

This separation is not exempt as a Non-Separated Use (see exceptions). Non-Separated Use (508.3) [ N/A ]

STORY NO	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 503 <sup>5</sup> AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1</sup>	(D) AREA FOR SPRINKLER INCREASE <sup>2</sup>		(F) MAXIMUM BUILDING AREA⁴
st Floor	A-2 Assembly	2,500	6,000	4,500	18,000	28,500	28,500

<sup>1</sup> Frontage area increases from Section 506.2 are computed thus: Perimeter which fronts a public way or open space having 20 feet minimum width = 200 (F)

Total Building Perimeter = 200 (P) Ratio (F/P) = 1 (F/P) W = Maximum width of public way = 30' + (W)Percent of frontage increase I<sub>f</sub> = 100 [ F/P - 0.25 ] x W/30 = 100 [ 75 (%) <sup>2</sup>The sprinkler increase per Section 506.3 is as follows:

<sup>4</sup>Maximum Building Area = total number of stories in the building x E (506.4)

The maximum area of open parking garages must comply with 406.3.5. The maximum area of air traffic control towers must comply with 412.1.2.

ALLOWABLE HEIGHT
------------------

	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS		VN ON ANS	CODE REFERENCE
Type of Construction	Type VB		Туре	VB	602.5
Building Height in Feet	Feet 40	Feet = H + 20' = 60		26'	TBL 503, 504.2
Building Height in Stories	Stories 2	Stories $+ 1 = 3$	Stories	1	TBL 503, 504.2

	FIF	E PROTE	ECTION REC	QUIREME	NTS		
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RAT REQ'D	PROVIDED (W/* REDUCTION)	DETAIL# AND SHEET#	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural frame, including columns,girders,& trusses		0-hr	0-hr				
Bearing walls							
Exterior							
North	30+	0-hr	0-hr				
East	30+	0-hr	0-hr				
West	30+	0-hr	0-hr				
South	30+	0-hr	0-hr				
Interior		0-hr	0-hr				
Nonbearing walls and partitions							
Exterior Walls	NI/A						
North East	N/A N/A						
West	N/A N/A						
South	N/A						
Interior Walls	IN//A	0-hr	0-hr				
Floor Construction Including beams & joists		0-hr	0-hr				
Roof Construction Including beams & joists		0-hr	0-hr				
Shaft Enclos Exit		N/A	-				
Shaft Enclos Other		N/A	-				
Corridor Separation		0-hr	0-hr				
Occupancy Separation		N/A	-				
Party/Fire Wall Separation		N/A	-				
Smoke Barrier Separation		N/A	-				
Tenant Separation		N/A	-				
Sleeping Unit Separation Walls Ceiling/Floor		N/A	N/A				
Incidential Use Separ.		N/A	N/A				

#### LIFE SAFETY SYSTEM REQUIREMENTS No Yes No Yes No Yes e Alarms No ■ Yes □ Partial \_\_\_\_ oke Detection Systems No Yes nic Hardware

#### LIFE SAFETY PLAN REQUIREMENTS

Exterior wall opening area with respect to distance to assumed property lines (705.8)

Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)

Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)

A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation

Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)

Location of special locking arrangements for Licensed Group I-2 (407.11)

The square footage of each fire area (902)

The square footage of each smoke compartment (407.4) Note any code exceptions or table notes that may have been utilized regarding the items above **ACCESSIBLE DWELLING and SLEEPING UNITS** (SECTION 1107)

[ NONE - NOT APPLICABLE ]

**ACCESSIBLE PARKING** 

NOT APPLICABLE - NO PARKING PROVIDED AT DINING HALL. ALL PARKING IS LOCATED AT ON-SITE RESIDENCES. ACCESS TO DINING HALL BY NATURAL WALKING TRAILS AND NEW ACCESSIBLE WALKWAYS. ACCESSIBLE RESIDENCES ARE LOCATED NEAR THE DINING HALL AND SHARE AN ACCESSIBLE PARKING LOT LOCATED AT THE LODGE. ( SEE SITE PLAN ON SHEET #A1.2 )

#### PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

	USE	WATERCLOSETS		WATERCLOSETS URINAL		URINALS	LAVATORIES		SHOWERS/	DRINKING FOUNTAINS			
		MALE	FEMALE		MALE	FEMALE	TUBS	REGULAR	ACCESSIBLE				
SPACE	EXISTING	0	0	0	0	0	0	0	0				
	NEW	1	1	0	1	1	0	0	0				
	REQUIRED	1	1	0	1	1	N/A	0 •	0 •				
EXCEPTION NCPC 410.1 FOR RESTAURANTS THAT SERVE WATER													

STRUCTURAL DESIGN

SEE STRUCTURAL DRAWING SHEET # S1.1

**SPECIAL APPROVALS** 

Special approval: (Local Jurisdiction, Department of Insurance, SBCCI, ICC, etc., describe below.)

#### **ENERGY SUMMARY**

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Climate Zone: **Method of Compliance:** Prescriptive (Energy Code)

Performance (Energy Code) Prescriptive (ASHRAE 90.1) Performance (ASHRAE 90.1)

THERMAL ENVELOPE

SLATE TILES ON SYNTHETIC UNDERLAYMENT ON 3/4" PLYWOOD DECKING ON 2x8 & 2x10 RAFTERS WITH CLOSED CELL FOAM INSULATION APPLIED Roof/ceiling Assembly (each assembly) TO UNDERSIDE OF DECK Description of assembly U-Value of total assembly .026 MAX.

R-38 MIN. R-Value of insulation Skylights in each assembly NONE U-Value of skylight

total square footage of skylights in each assembly: WOOD CEDAR LAP BOARDS ON #15 BUILDING FELT ON 1/2" PLYWOOD SHEATHING ON 2x6 FRAMING Exterior Walls (each assembly) WITH CLOSED CELL FOAM INSULATION APPLIED TO INTERIOR SIDE OF SHEATHING Description of assembly U-Value of total assembly .052 MAX.

R-Value of insulation Openings (windows or doors with glazing) U-Value of assembly: Solar heat gain coefficient:\_ projection factor: Door R-Values:

Walls below grade (each assembly) NONE -NOT APPLICABLE

Floors over unconditioned space (each assembly) NONE -NOT APPLICABLE

TILE AND HARDWOOD FLOORING OVER Floors over exterior space (each assembly) 3/4" PLYWOOD DECKING ON 2x12 FLOOR JOISTS WITH CLOSED CELL FOAM INSULATION APPLIED Description of assembly TO UNDERSIDE OF DECK U-Value of total assembly .033 MAX. R-30 MIN. R-Value of insulation

**MECHANICAL SUMMARY** 

**ELECTRICAL SUMMARY** 

TOTAL LOAD = 98

∖G1.0C*/* 

PLUMBING FIXTURES = 98 /2 = 49 MEN / 49 WOMEN [NCBC TBL 2902.1]

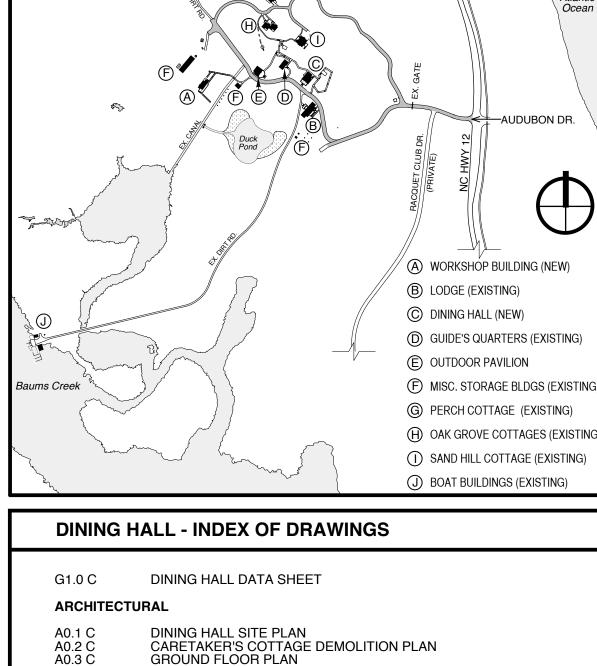
**Life Safety Plan** 

scale: 1" = 10'

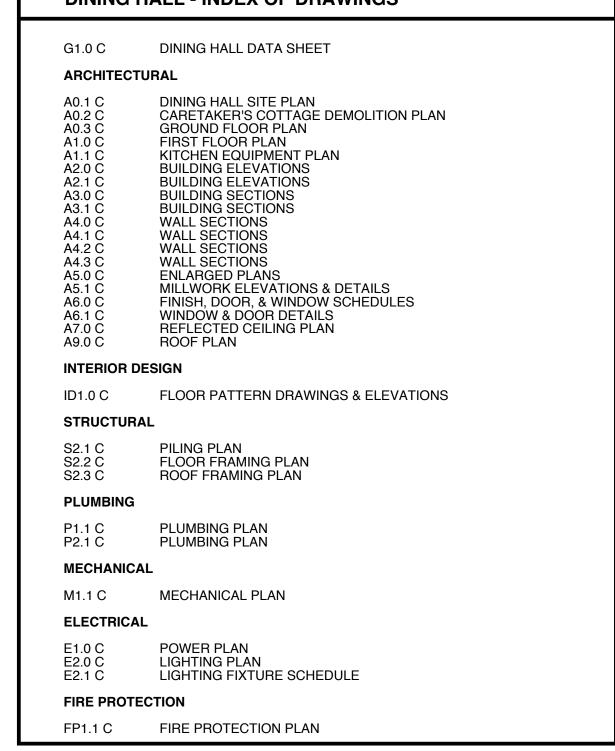
Floor Slab on Grade NONE -NOT APPLICABLE

SEE MECHANICAL DRAWING SHEET # M0.1

SEE ELECTRICAL DRAWING SHEET # E2.1C

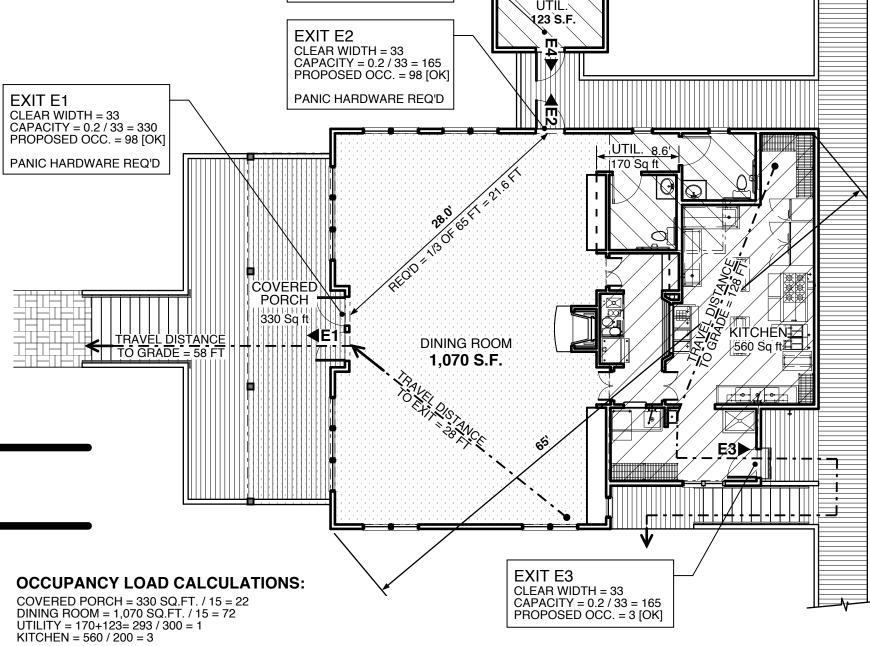


**KEY MAP** 



STORAGE

BUILDING



EXIT E4

CLEAR WIDTH = 33 CAPACITY = 0.2 / 33 = 165 PROPOSED OCC. = 1 [OK]











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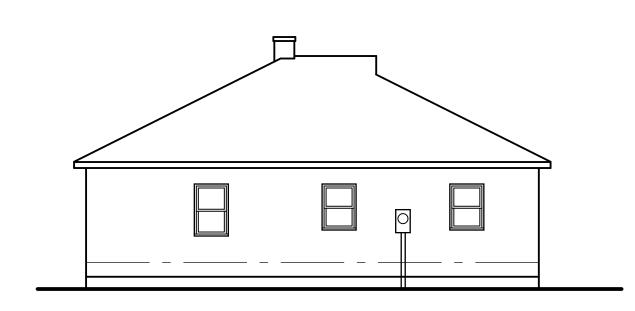
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**CHECKED BY** Hemingway January 15, 2015

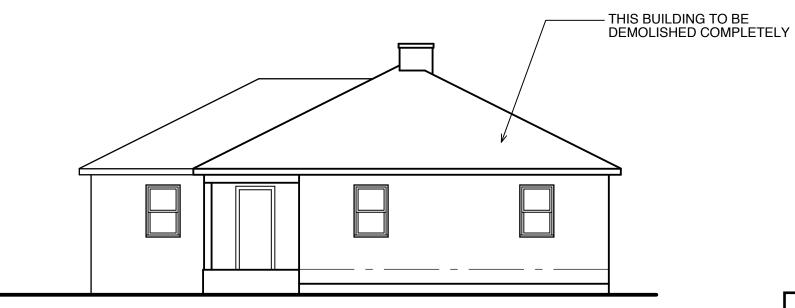
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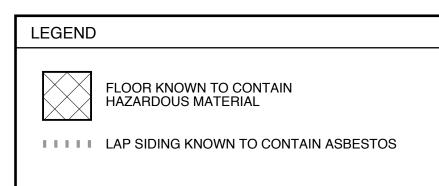
2 Existing North Elevation
A0.1C scale: 1/8" = 1'-0"



3 Existing East Elevation
A0.1C scale: 1/8" = 1'-0"



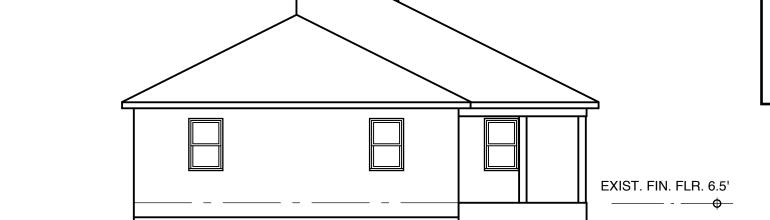
4 Existing South Elevation
A0.1C scale: 1/8" = 1'-0"



BASED ON TESTING ANALYSIS, THE FOLLOWING MATERIALS SHOULD BE CONSIDERED TO BE ASBESTOS CONTAINING MATERIALS:

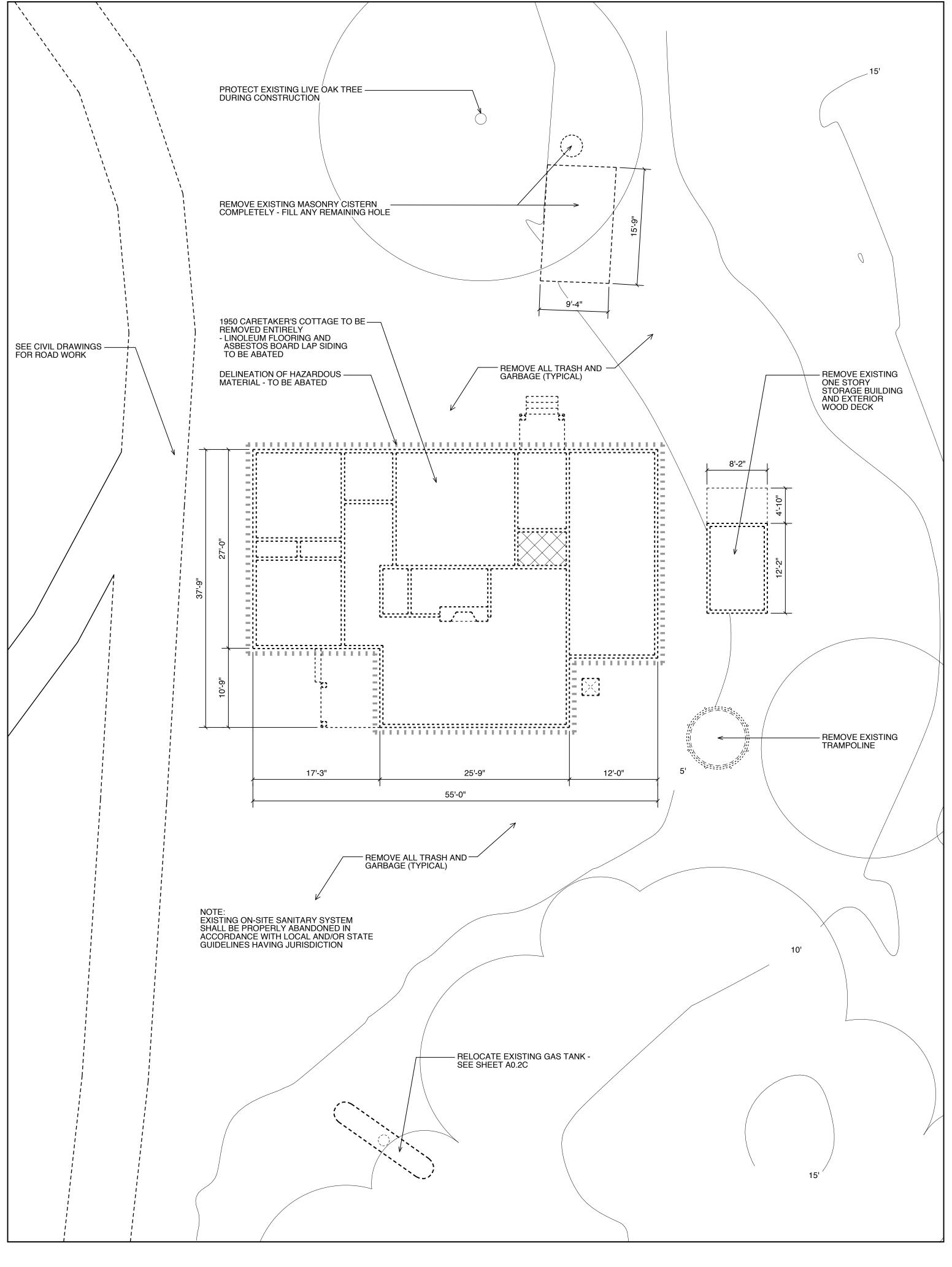
HAZARDOUS MATERIALS ABATEMENT:

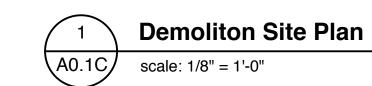
LINOLEUM FLOORING, OFF WHITE SMALL PEBBLE PATTERN, WITHIN THE HALL BATHROOM. (28 sq. ft.)
 EXTERIOR ASBESTOS BOARD LAP SIDING LOCATED UNDER VINYL SIDING. (1,900 sq. ft.)



5 Existing West Elevation

A0.1C scale: 1/8" = 1'-0"











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The Dining Hall emolition Site Plan

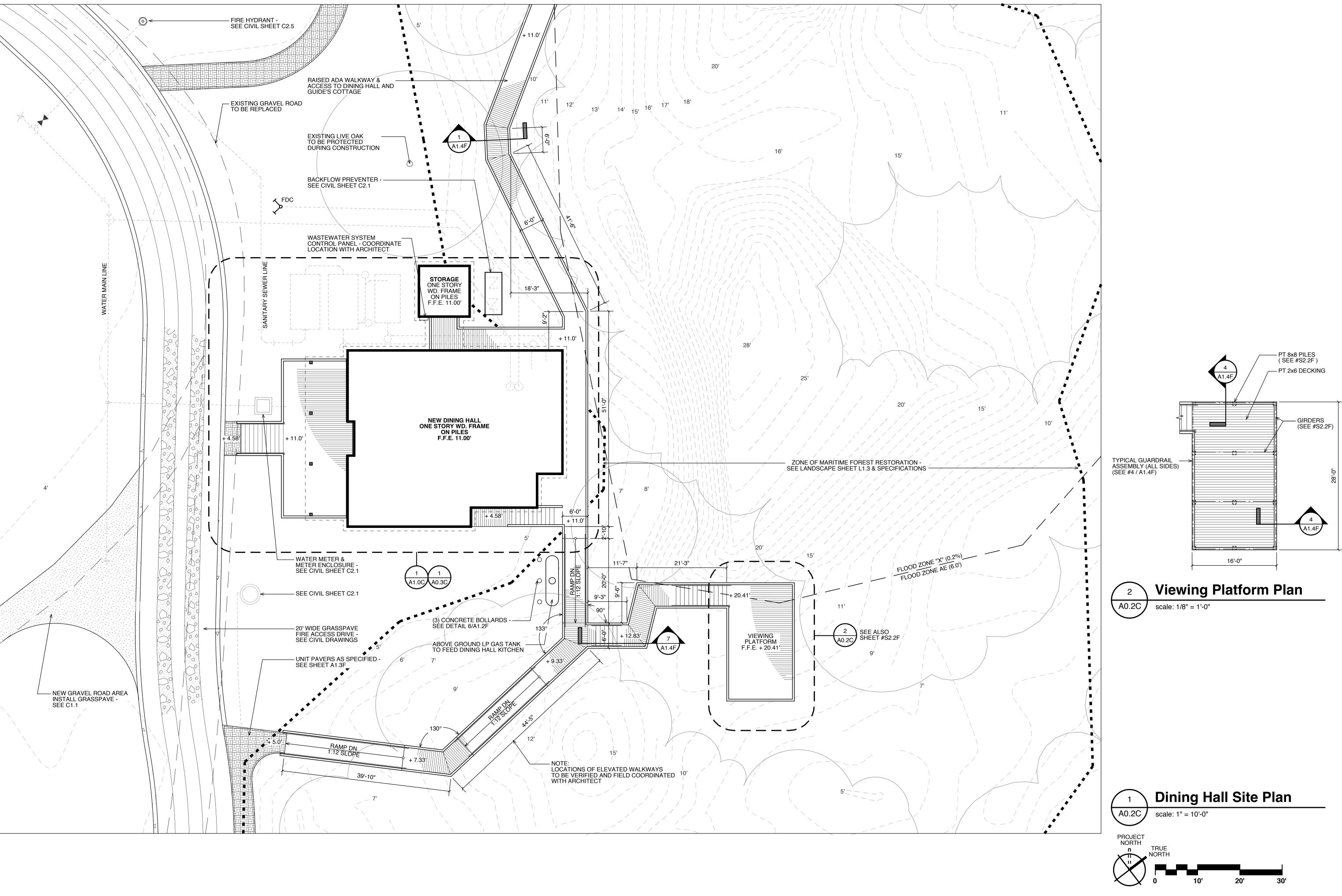
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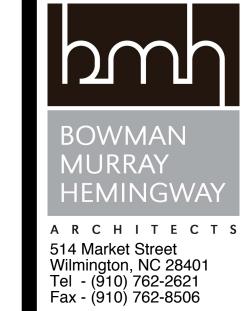
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Center

Sanctuary & Audubon

he Dining Hall Site Plan

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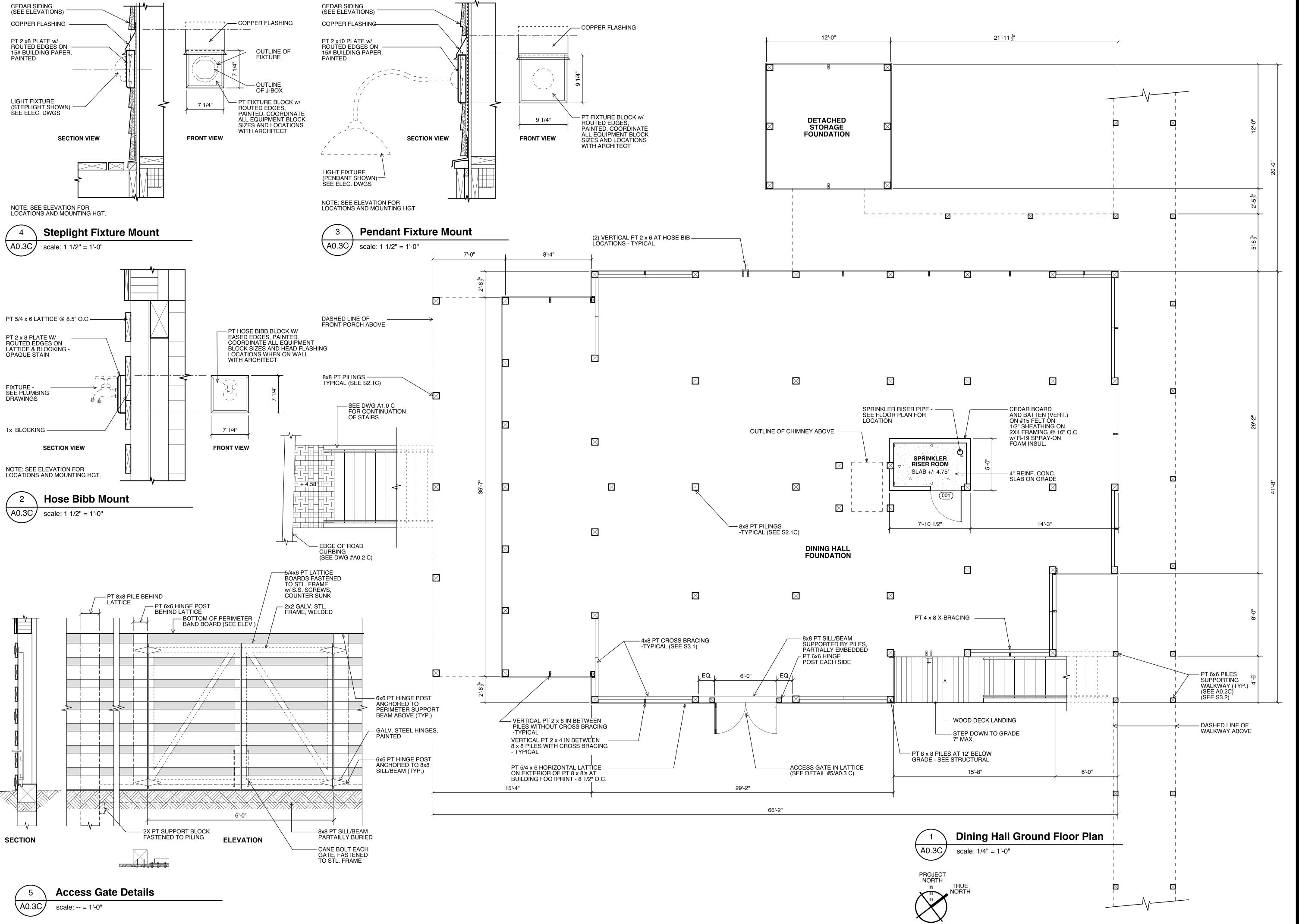
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BOWMAN MURRAY HEMINGWAY

A R C H I T E C T S
514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621

Fax - (910) 762-8506





DONAL C. O'BRIEN JR.

7 & Audubon Cent

ing Hall Ground Floor Plan

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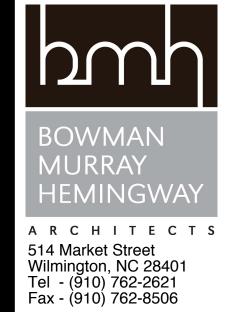
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Jining Hall Floor Pla

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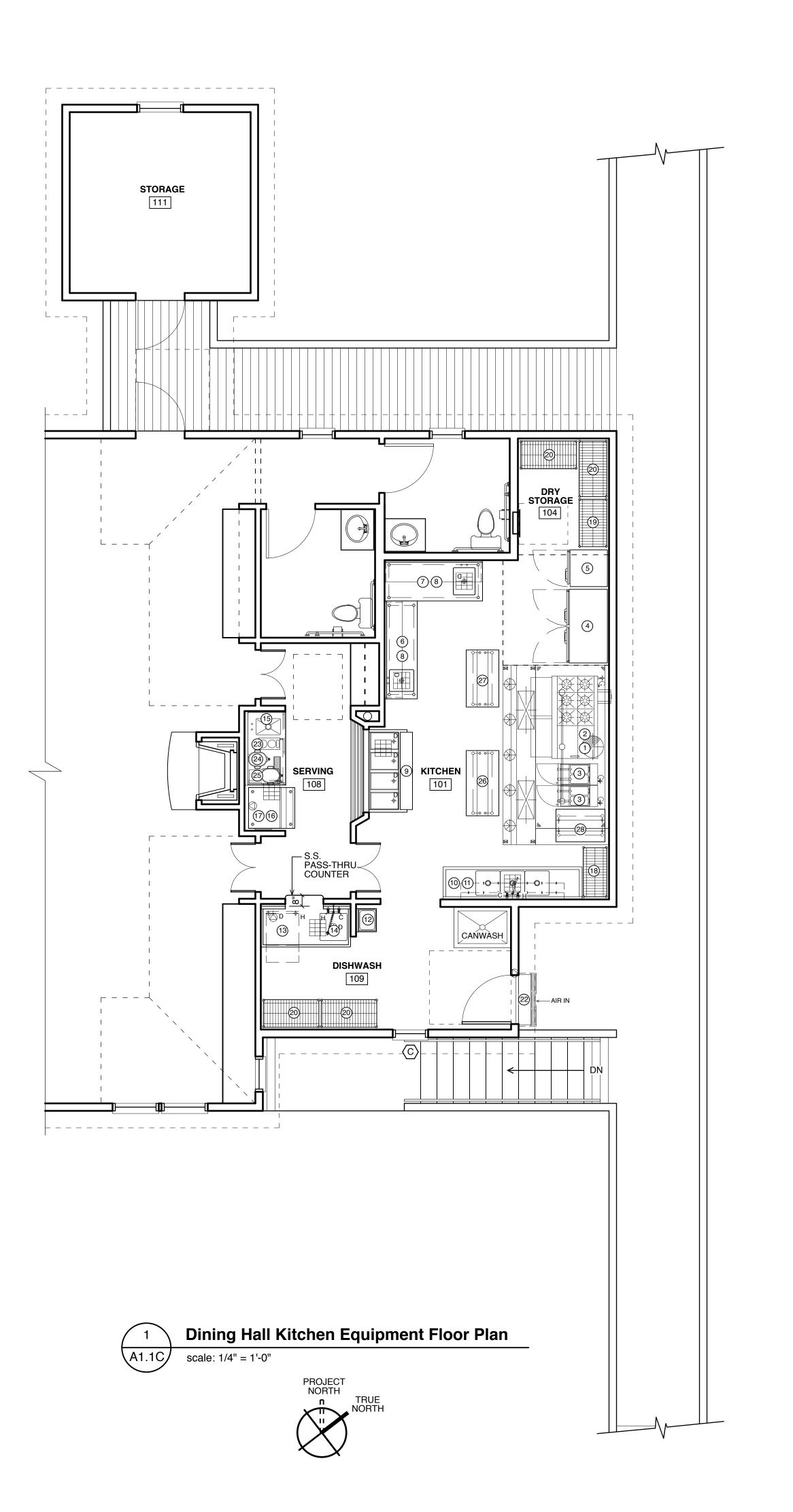
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	Dining Hall Kitchen Equipment	t Sched	lule							
NO.	O. DESCRIPTION	QTY.	SIZE	ELEC.	NAT.	PLUMBING			NOTES	
		<u> </u>			GAS	C.W.	H.W.	WASTE		
1	11'-0" EXHAUST HOOD	1	11'-0" x 6'-6"						SEE MECHANICAL DRAWINGS	1
2	RANGE - 6 burners, 24" flat grille, standard oven	1	60 3/4" x 34"						GAS	2
3	FRYER	2	16" x 30"						GAS	3
4	2 - SECTION REACH IN REFRIGERATOR	1	54" x 30"							4
5	1 - SECTION REACH IN FREEZER	1	27" x 30"						LEFT HINGE	5
6	PREP TABLE w/ SINK ON LEFT	1	24" x 72"							6
7	PREP TABLE w/ SINK ON RIGHT	1	30" x 72"							7
8	WALL MOUNT SHELF	2	72"							8
9	4 - WELL HOT FOOD TABLE	1	60 1/4" x 32"							9
10	3 - COMPARTMENT SINK, FAUCET	1	8'-6 1/4" x 24"							10
11	WALL MOUNT POT RACK	1	84"							11
12	HAND SINK	1								12
13	DISHWASHER - UNDER COUNTER	1	27 1/2" x 24"							13
14	DISHTABLE w/ SINK ON RIGHT	1	30" x 66"						PRE-RINSE SPRAYER CUSTOM, PROVIDE OPENING IN BACKSPLASH FOR PASS-THRU COUNTERTOP ATTACHMENT	14
15	BEVERAGE COUNTER - SINK ON RIGHT	1	54" x 30"							15
16	ICE CUBER	1	24" x 30"						AIR COOLED - REMOTE CONDENSER	16
16.1	ICE BIN FOR ICE MACHINES	1	34" x 30"						ITEM #16 MOUNTED ON TOP OF ITEM #16.1	17
18	WIRE SHELVING	1	18" x 36"						4-TIER SHELVES INCLUDING POSTS	18
19	WIRE SHELVING	1	21" x 36"						4-TIER SHELVES INCLUDING POSTS	19
20	WIRE SHELVING	4	21" x 42"						4-TIER SHELVES INCLUDING POSTS	20
21										21
22	36" AIR DOOR/FLY FAN	1								22
23	COFFEE BREWER w/ POTS	1								23
24	TEA DISPENSER	2								24
25	TEA BREWER	1								25
26	S/S WORK TABLE	1	24" x 48"						TABLE WITH UNDERSHELF, 2 TIER TABLE MOUNT SHELF	26
27	S/S WORK TABLE	2	24" x 42"						TABLE WITH UNDERSHELF, 2 TIER TABLE MOUNT SHELF	27
28	S/S WORK TABLE	1	24" x 36"						TABLE WITH UNDERSHELF, 2 TIER TABLE MOUNT SHELF	28
										+-
	l									









Sonal C. O'Brien Jr.

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Jining Hall Floor Pla

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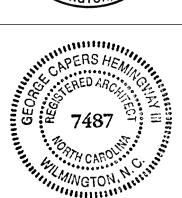
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A R C H I T E C T S
514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621

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OONAL C. O'BRIEN JR:

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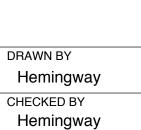
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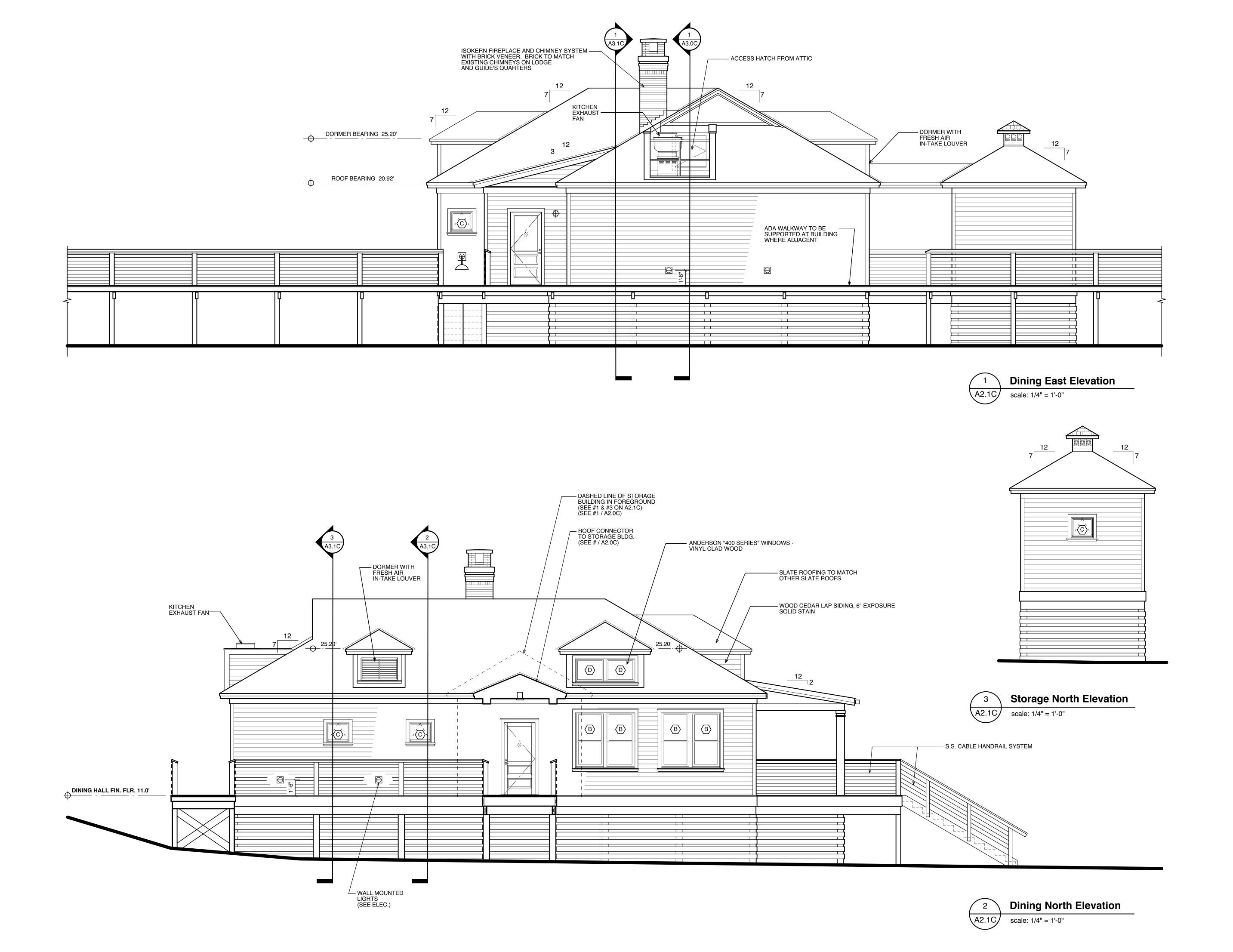
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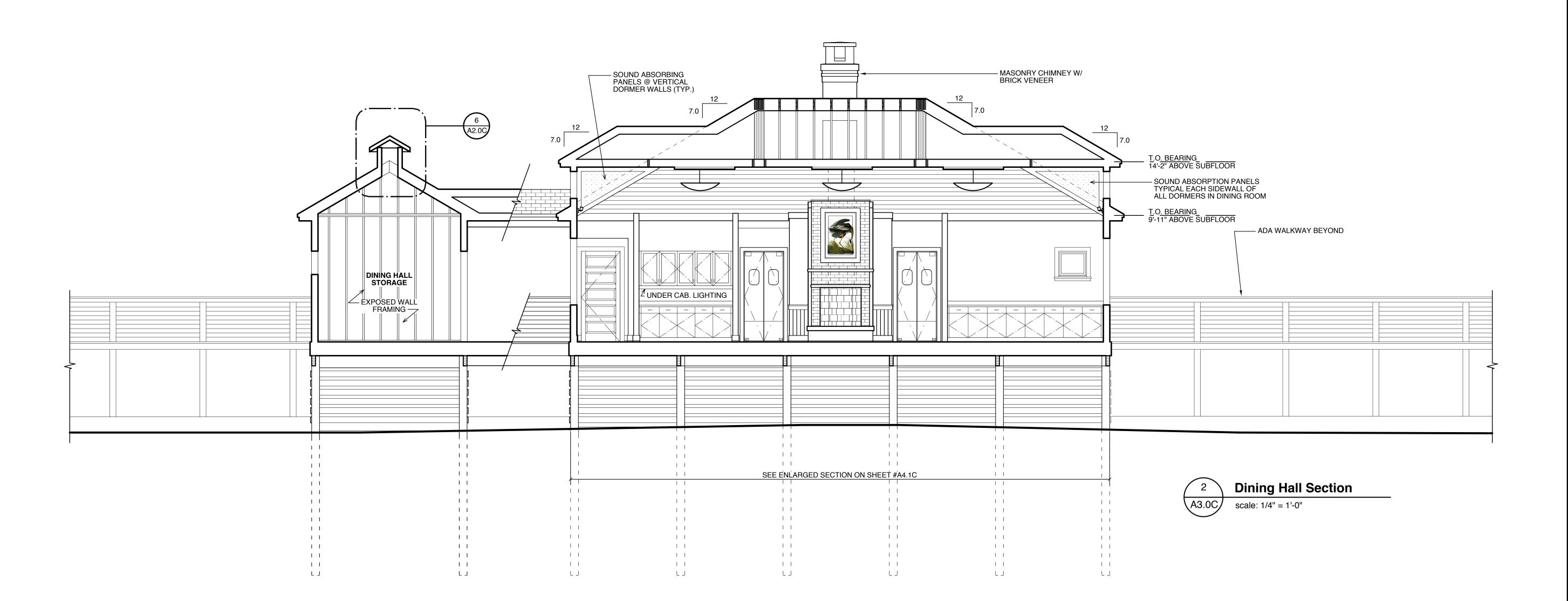


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Dining Hall Building Sections

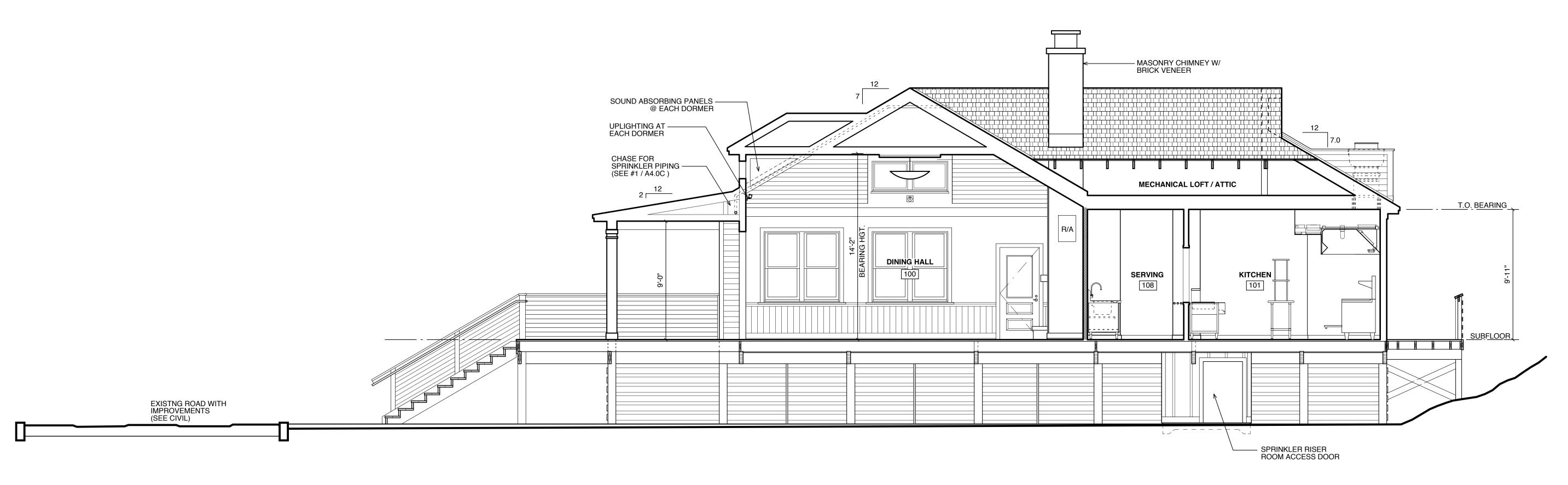
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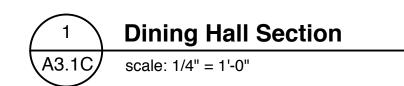
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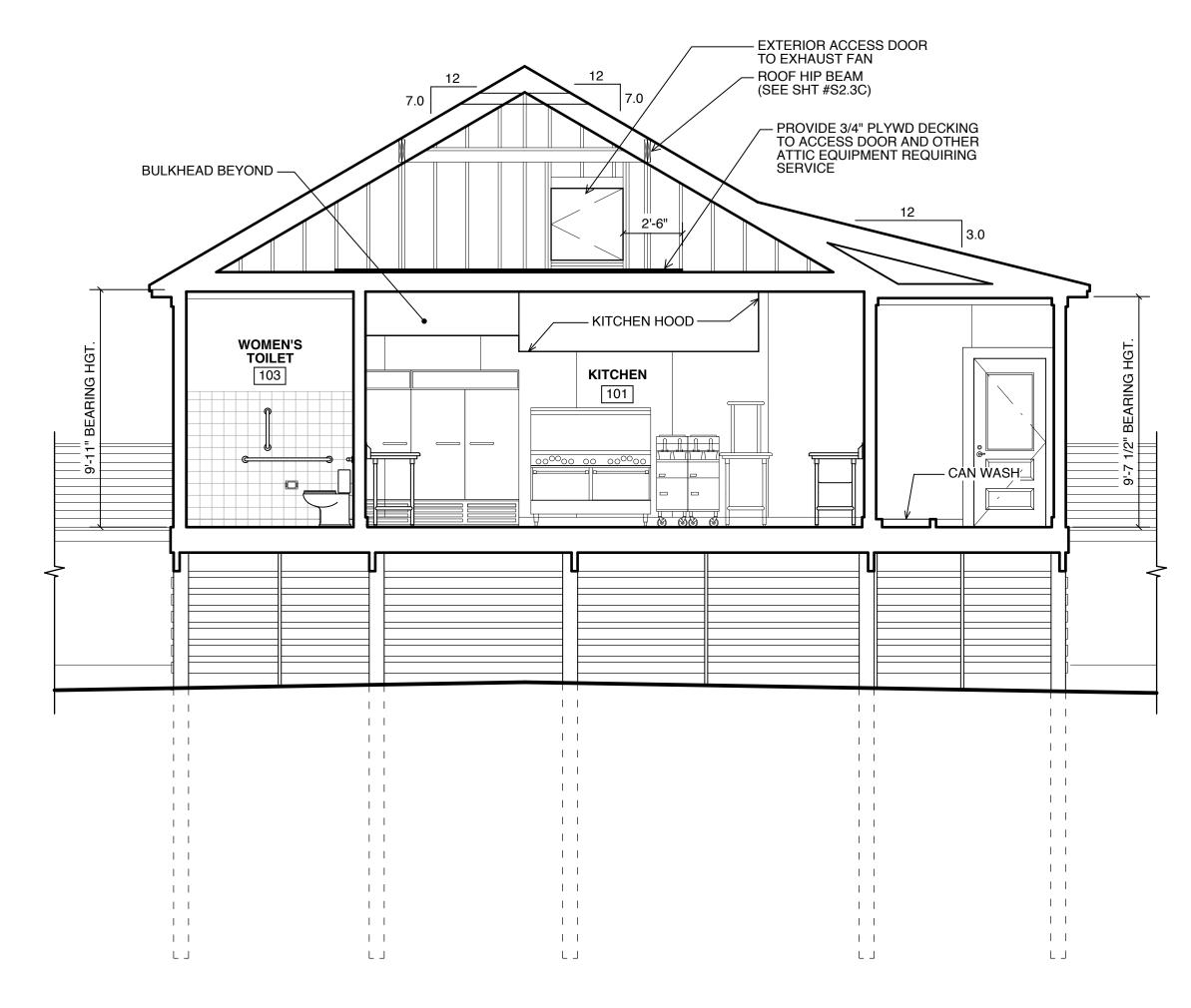
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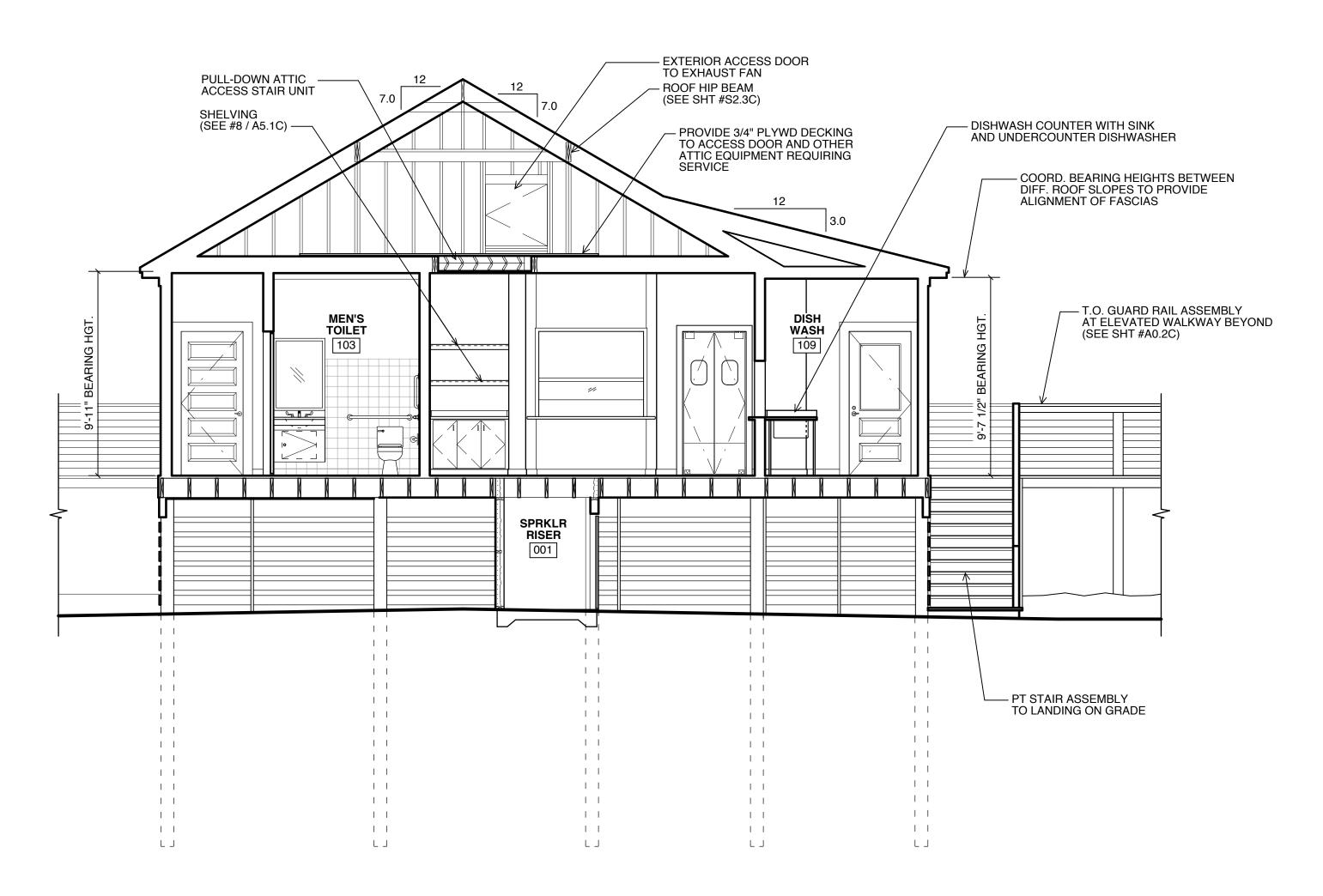
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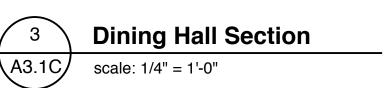
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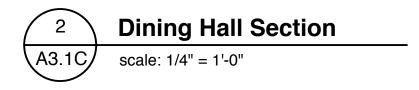


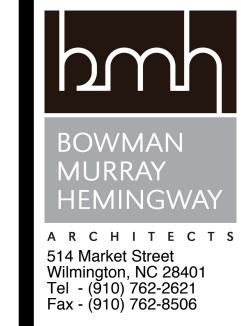




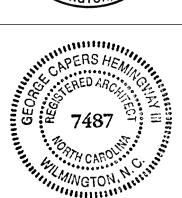












C. O'BRIEN JR: Audubon Cent

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Dining Hall Building Sections

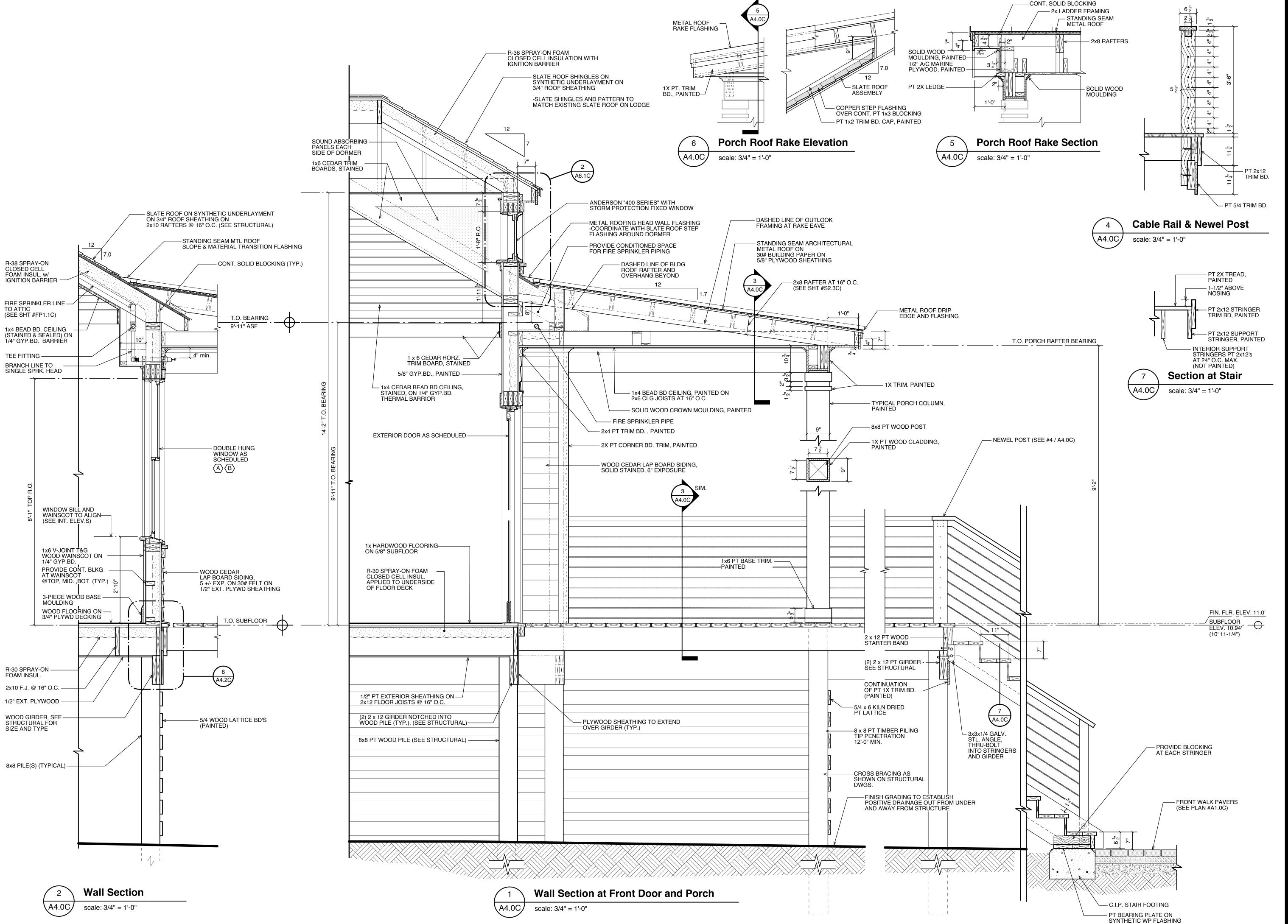
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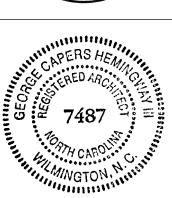
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HE DONAL C. O'BRIEN JR.

y & Audubon Cent

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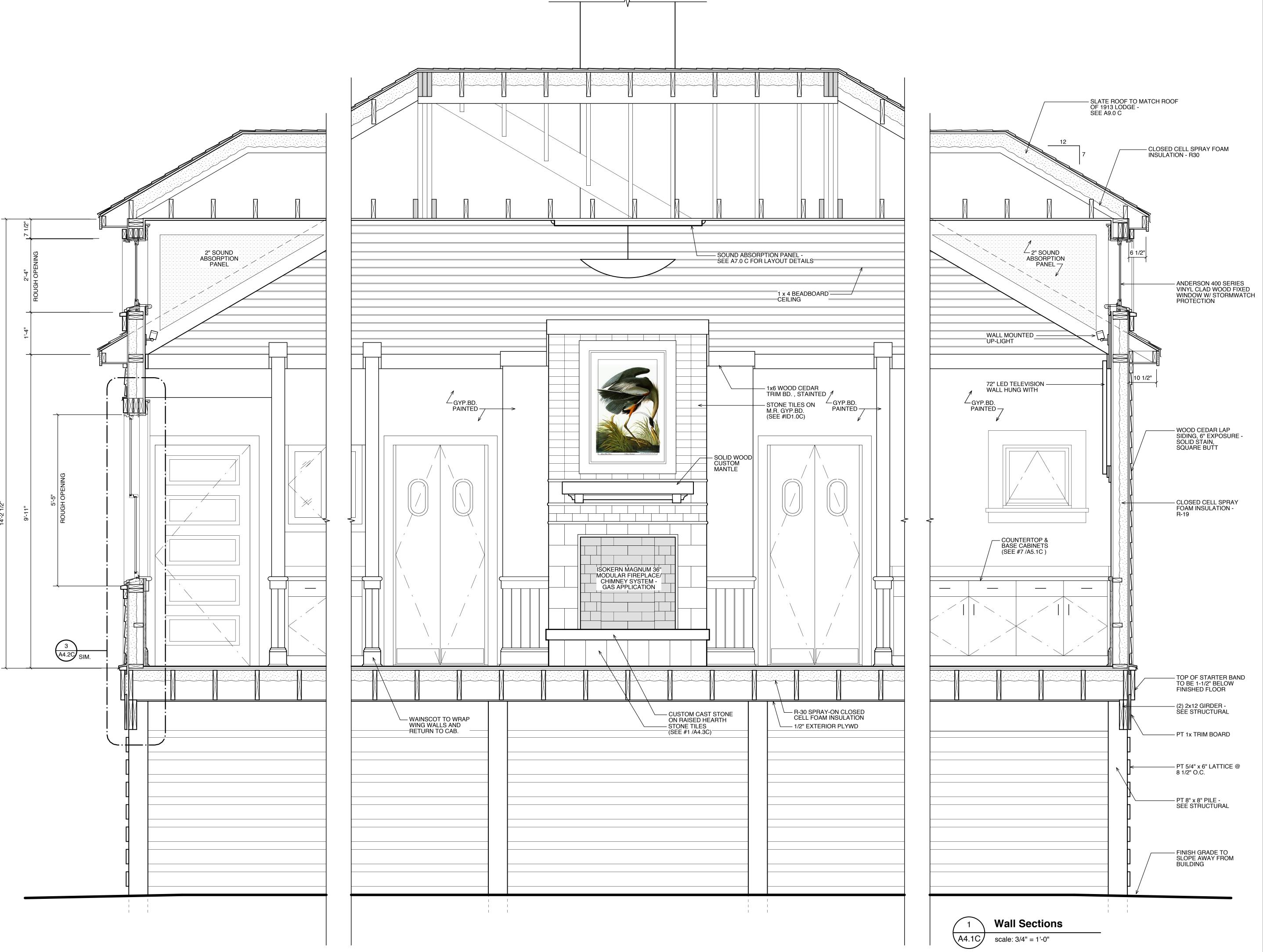
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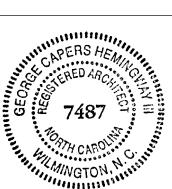
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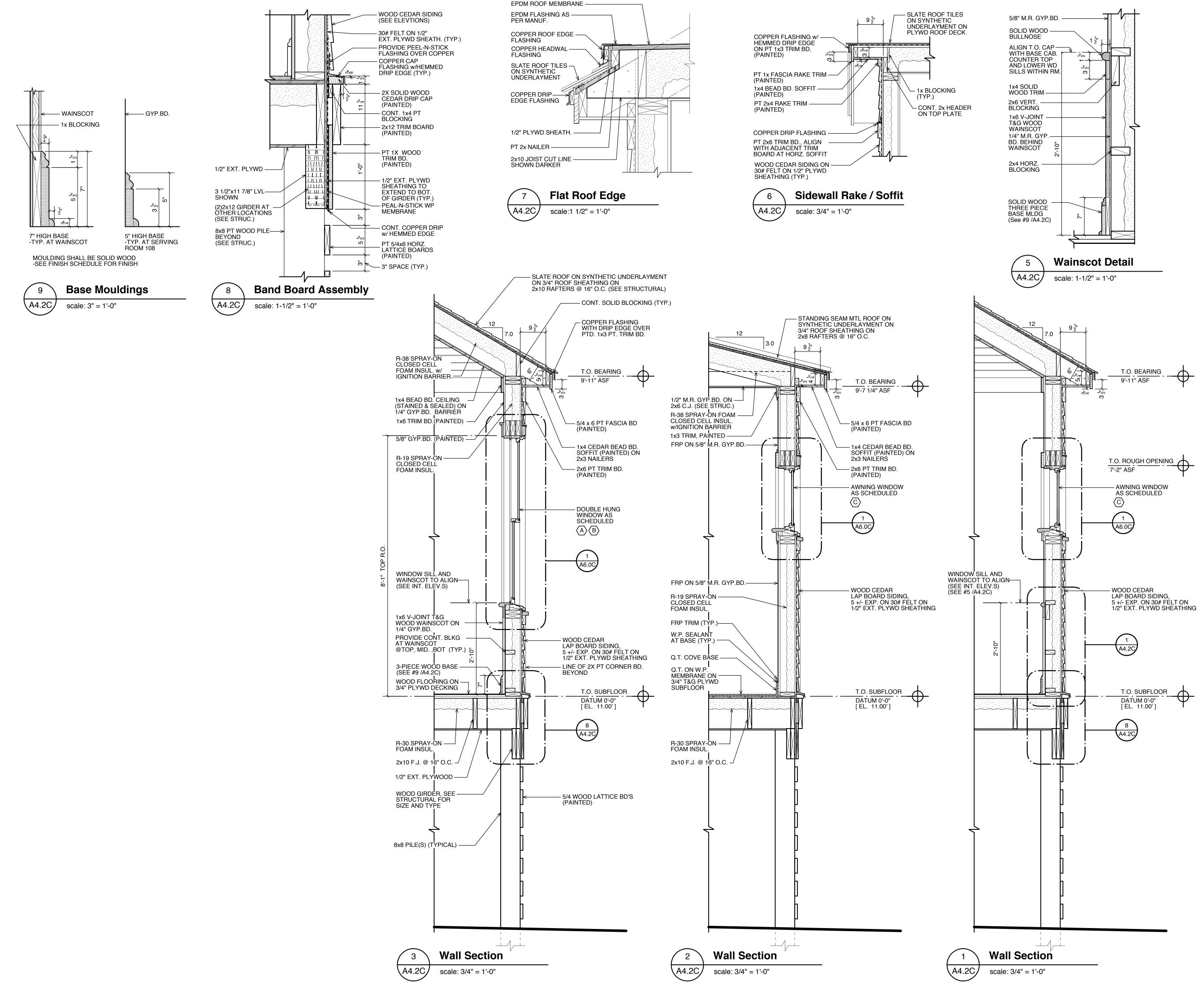
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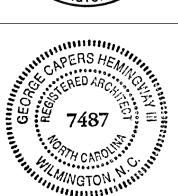


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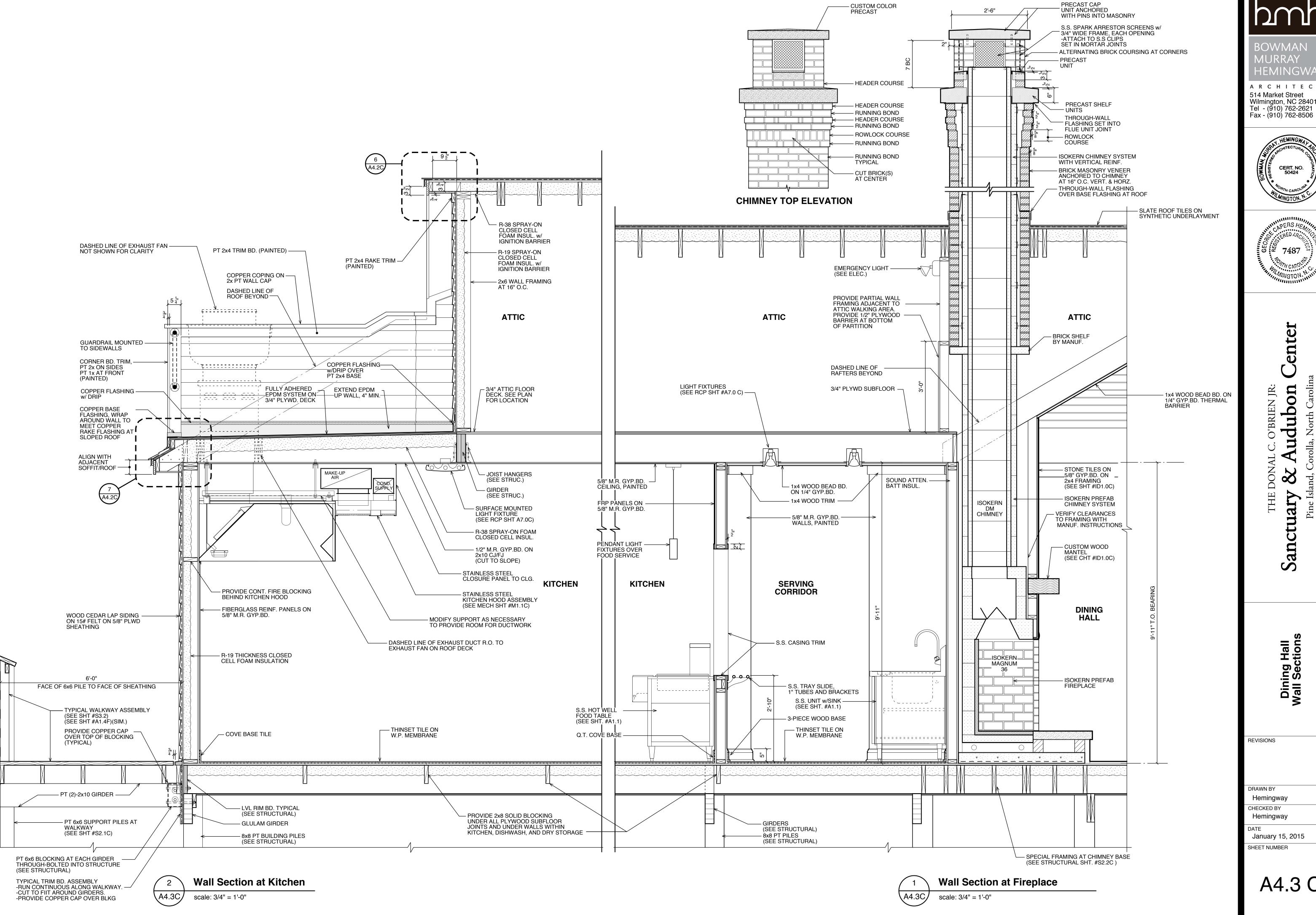
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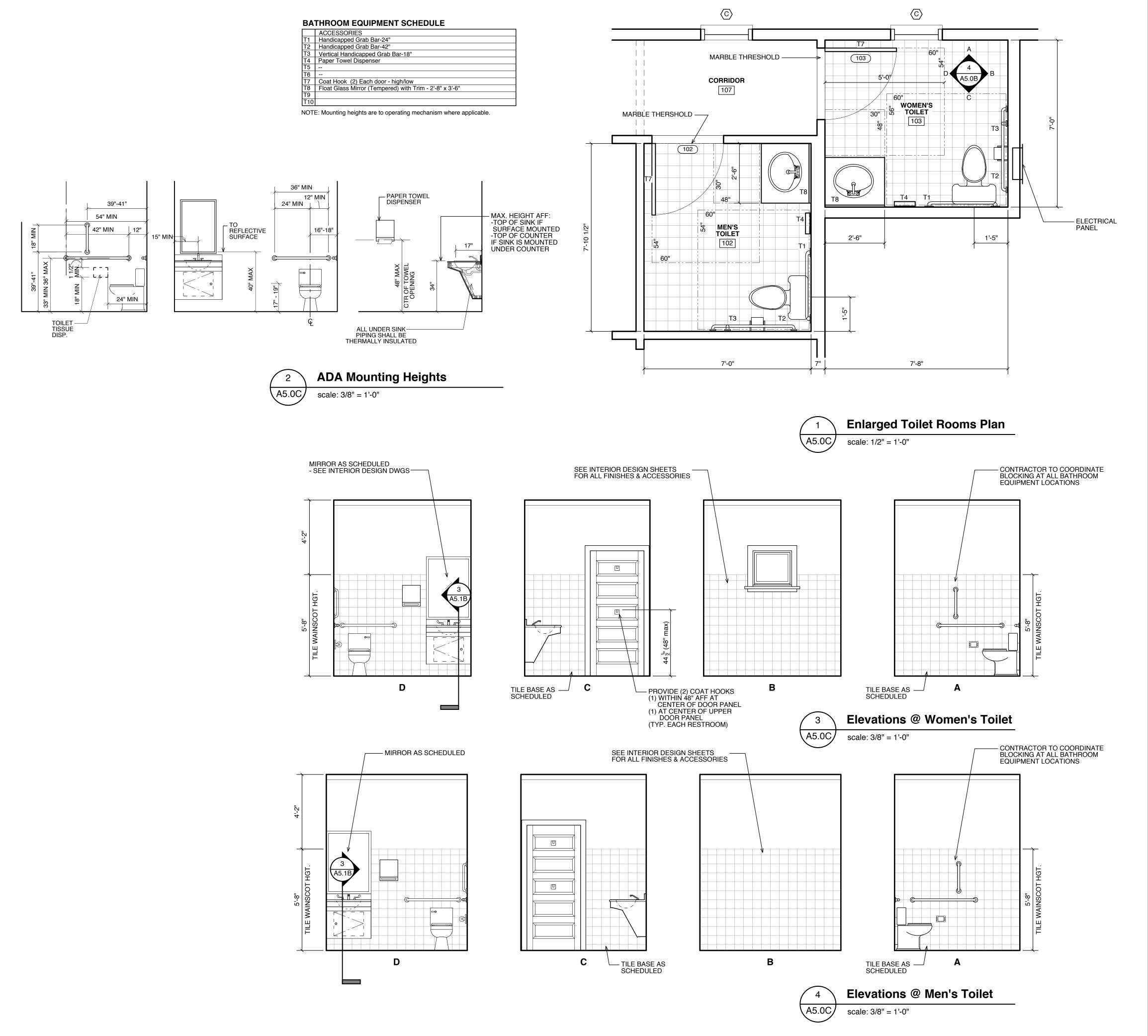
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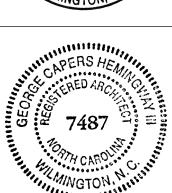
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C. O'BRIEN JR.

Audubon Center

'ged Sanctuary 8

Jining Hall Enlarge Floor Plans

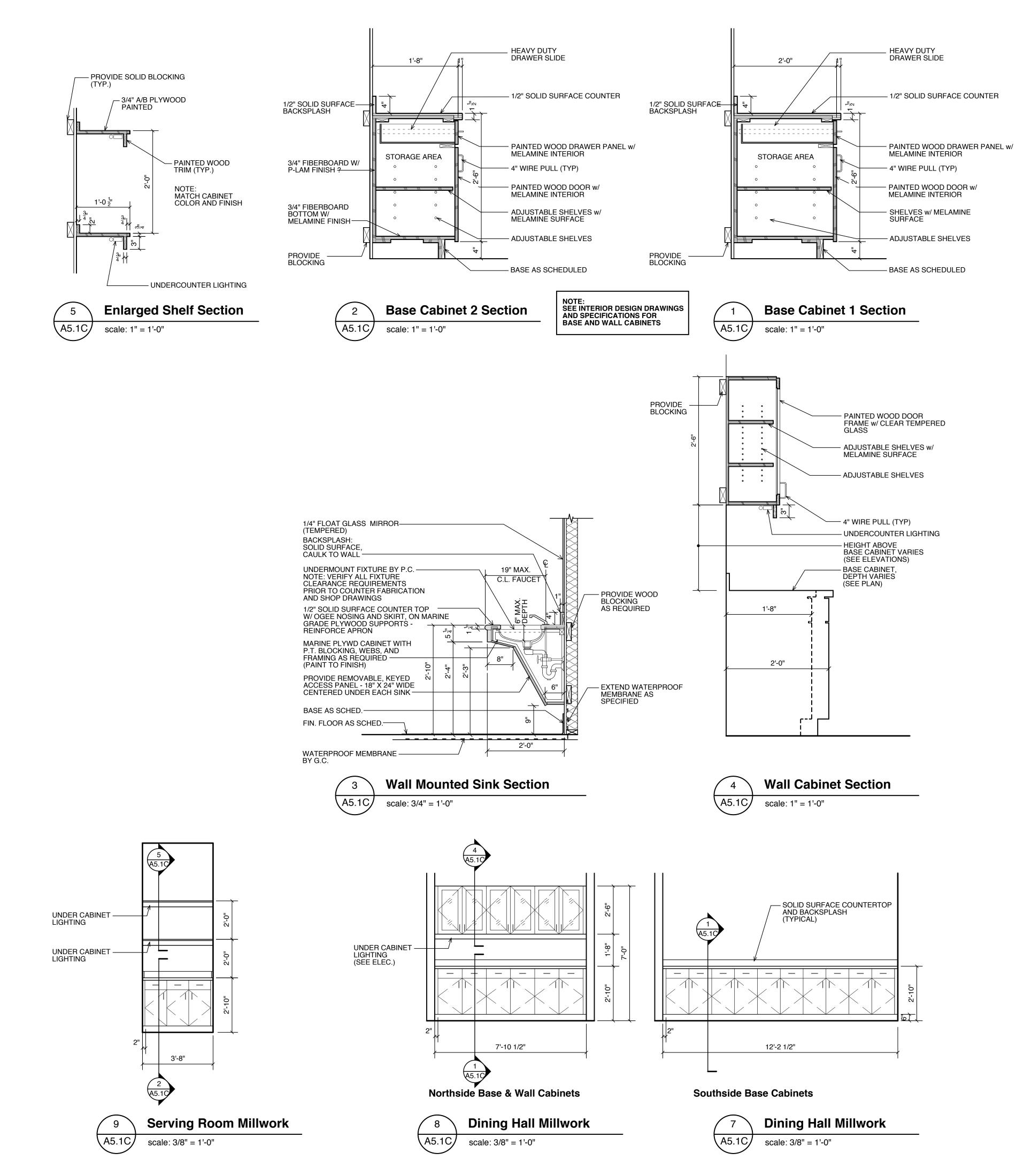
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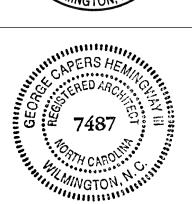
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Dining Hall Millwork

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Т	M.R. GYP.BD.	PAINT	M.R. GYP.BD.	PAINT	N/A	N/A	104
Т	FRP / GYP.BD.	PREFIN. / PAINT	M.R. GYP.BD.	PAINT	N/A	N/A	105
	(EXTERIOR WALL)	(SEE ELEVATIONS)	BEAD BOARD	PAINT	CROWN MOLD	PAINT	106
L	WOOD / GYP. BD.	STAIN / PAINT	BEAD BOARD	STAIN / SEAL	WOOD	STAIN / SEAL	107
L	WOOD / GYP. BD.	STAIN / PAINT	BEAD BOARD	STAIN / SEAL	WOOD	STAIN / SEAL	108
Т	FRP / GYP.BD.	PREFIN. / PAINT	M.R. GYP.BD.	PAINT	N/A	N/A	109
	EXPOSED FRAMING	NONE	EXPOSED FRAMING	NONE	N/A	N/A	110

#### ABBREVIATIONS

107

108

109

CER. = CERAMIC FRP = FIBERGLASS REINF. PANEL GYP.BD. = GYPSUM BOARD M.R. = MOISTURE RESISTANT PREFIN. = PREFINISHED P.T. = PRESSURE TREATED PT, PTD = PAINT S.S. = STAINLESS STEEL

CORRIDOR

DISHWASH

SERVING CORRIDOR

STORAGE BUILDING

HARDWOOD

HARDWOOD

**QUARRY TILE** 

P.T. WOOD

STAIN/SEAL

STAIN/SEAL

SEAL GROUT

NATURAL

WOOD

WOOD

QUARRY TILE

STAIN / SEAL

STAIN / SEAL

SEAL GROUT

N/A

NO.	SIZE: WxHxT	DOOR MAT.	FRAME MAT.	DOOR ELE.	FRAME ELE.	HDW.	DOOR FINISH	FRAME FINISH	FIRE RATING	GLAZING	NOTES	NO.
GROU	ND FLOOR		<u> </u>	<u> </u>		1	<u> </u>	<u> </u>	<u> </u>		<u> </u>	
001	3'-0" X 4'-8" X 1 3/4"	FIBERGLASS	WOOD				PAINT	PAINT			SPRINKLER RISER ROOM DOOR	001
FIRST	FLOOR											
100A	(2) - 3'-0" X 7'-0" X 1 3/4"	SC WOOD	WOOD	А			PAINT	PAINT		FULL GLASS		100A
100B	3'-0" X 7'-0" X 1 3/4"	SC WOOD	WOOD	В			PAINT	PAINT		1/2 GLASS		100B
101	(2) - 1'-6" X 7'-0" X 1 3/4"	S.S./WOOD	GALV. H.M.	D			S.S.	PAINT			SEE KITCHEN DOOR SPECIFICATION NOTE	101
102	3'-0" X 7'-0" X 1 3/4"	SC WOOD	WOOD	С			STAIN	STAIN				102
103	3'-0" X 7'-0" X 1 3/4"	SC WOOD	WOOD	С			STAIN	STAIN				103
108A	(2) - 1'-6" X 7'-0" X 1 3/4"	S.S./WOOD	GALV. H.M.	D			S.S.	PAINT			SEE KITCHEN DOOR SPECIFICATION NOTE	108A
108B	(2) - 1'-6" X 7'-0" X 1 3/4"	S.S./WOOD	GALV. H.M.	D			S.S.	PAINT			SEE KITCHEN DOOR SPECIFICATION NOTE	108B
109	3'-0" X 7'-0" X 1 3/4"	SC WOOD	WOOD	В			PAINT	PAINT		1/2 GLASS	SEE PLAN AND KITCHEN EQUIP. FOR FAN THIS LOCATION	109
111	3'-0" X 7'-0" X 1 3/4"	SC WOOD	WOOD	С			PAINT	PAINT				111
201	3'-0" X 3'-0" X 1 3/4"	FIBERGLASS	WOOD				PAINT	PAINT			ROOF HATCH DOOR	111

#### KITCHEN DOOR SPECIFICATION:

 SUBMITTALS A. SUBMIT MANUFACTURER'S DATA SHEETS. B. SUBMIT SHOP DRAWINGS.

#### FOOD SERVICE DOORS A. 16 GAUGE STAINLESS STEEL, DELTA FORMED EDGES; STAINLESS STEEL UPPER HINGE COVERS; FLUSH JAMB INSTALLATION. 1. WINDOWS: 9" WIDE BY 14" HIGH

A. DOUBLE ACTION PIVOT, ZINC COATED.

2. WINDOW MOLDING: BLACK RUBBER 3. GLAZING: CLEAR ACRYLIC

#### **DOOR NOTES:**

1. ALL DOORS SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS PROVIDED WITH EACH DOOR.

2. EXTERIOR ROUGH OPENINGS SHALL HAVE FLASHING AT HEAD, JAMB, AND SILL. SHALL BE INSTALLED PER FLASHING MANUFACTURER'S INSTRUCTIONS. A. SILL FLASHING SHALL BE PREMOLDED, SELF ADHERING WITH 3/8" HIGH BACKDAM. HEAD AND JAMB FLASHING SHALL BE STRAIGHT AND SELF ADHERING. B. SHIMS AND ANCHORING CLIPS ARE NOT SHOWN IN DETAILS FOR CLARITY BUT SHALL BE PROVIDED AS PER WINDOW MANUFACTURER'S INSTRUCTIONS.

C. ANCHORING CLIPS SHALL BE STAINLESS STEEL AND SHALL BE INSTALLED WITH STAINLESS STEEL FASTENERS, ADJUST ROUGH OPENING AS NECESSARY. 3. ALL GLAZING SHALL BE TEMPERED AND HURRICANE IMPACT RESISTANT.

# **Dining Hall** Window Schedule

SYM.	SIZE: WxH (R.O.)	TYPE	MATERIAL	GLAZING	EXT. FINISH	INT. FINISH	NOTES	SYM.
Α	3' - 2 1/8" x 5' - 4 7/8"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD	OPERABLE, PROVIDE SCREENS	Α
В	2' - 10 1/8" x 5' - 4 7/8"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD	OPERABLE, PROVIDE SCREENS	В
С	2' - 2 1/8" x 2' - 1 7/8"	AWNING	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD	OPERABLE, PROVIDE SCREENS	С
D	2' - 10 1/8" x 2' - 3 7/8"	FIXED	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD	DORMER WINDOWS	D
E	2' - 6 1/8" x 1' - 7 7/8"	FIXED	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD	DORMER WINDOWS	Е

#### **WINDOW NOTES:**

1. ALL WINDOWS SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS PROVIDED WITH EACH WINDOW.

2. ROUGH OPENINGS SHALL HAVE FLASHING AT HEAD, JAMB, AND SILL. FLASHING SHALL BE INSTALLED PER FLASHING MANUFACTURER'S INSTRUCTIONS.

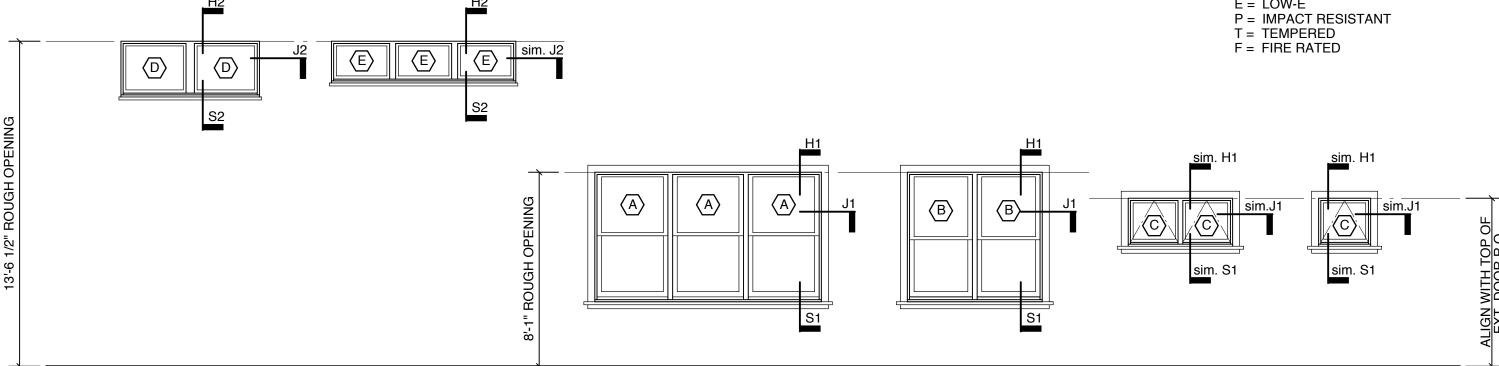
3. SILL FLASHING SHALL BE PREMOLDED, SELF ADHERING WITH 3/8" HIGH BACKDAM. HEAD AND JAMB FLASHING SHALL BE STRAIGHT AND SELF ADHERING. 4. SHIMS AND ANCHORING CLIPS ARE NOT SHOWN IN DETAILS FOR CLARITY BUT SHALL BE PROVIDED AS PER WINDOW MANUFACTURER'S INSTRUCTIONS.

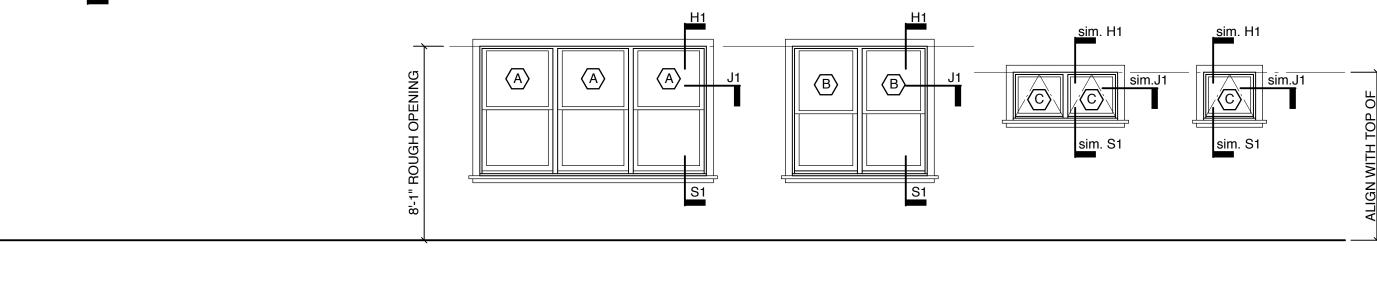
5. ANCHORING CLIPS SHALL BE STAINLESS STEEL AND SHALL BE INSTALLED WITH STAINLESS STEEL FASTENERS, ADJUST ROUGH OPENING AS NECESSARY.

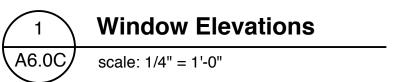
6. ALL GLAZING SHALL BE TEMPERED AND HURRICANE IMPACT RESISTANT. 7. ALL GLAZING WITHIN 24" OF A DOOR SHALL BE TEMPERED.

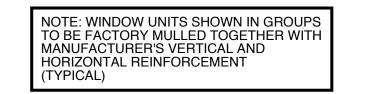
#### LEGEND I = INSULATED

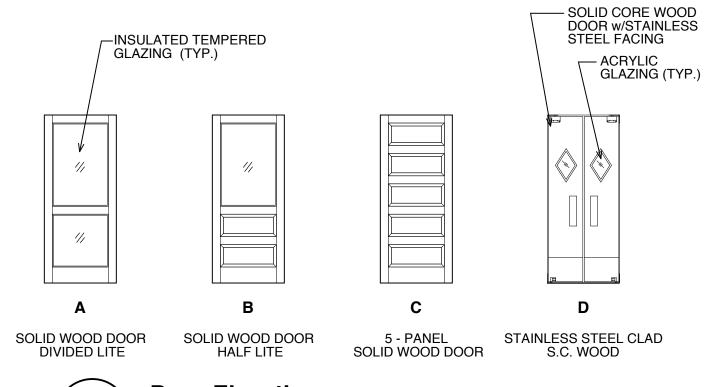
E = LOW-E

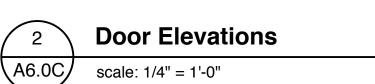














ARCHITECTS

514 Market Street

Wilmington, NC 28401

Fax - (910) 762-8506

Tel - (910) 762-2621



Lubon

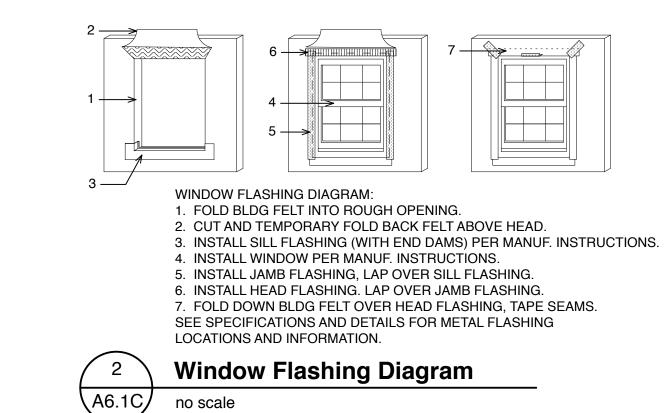
REVISIONS

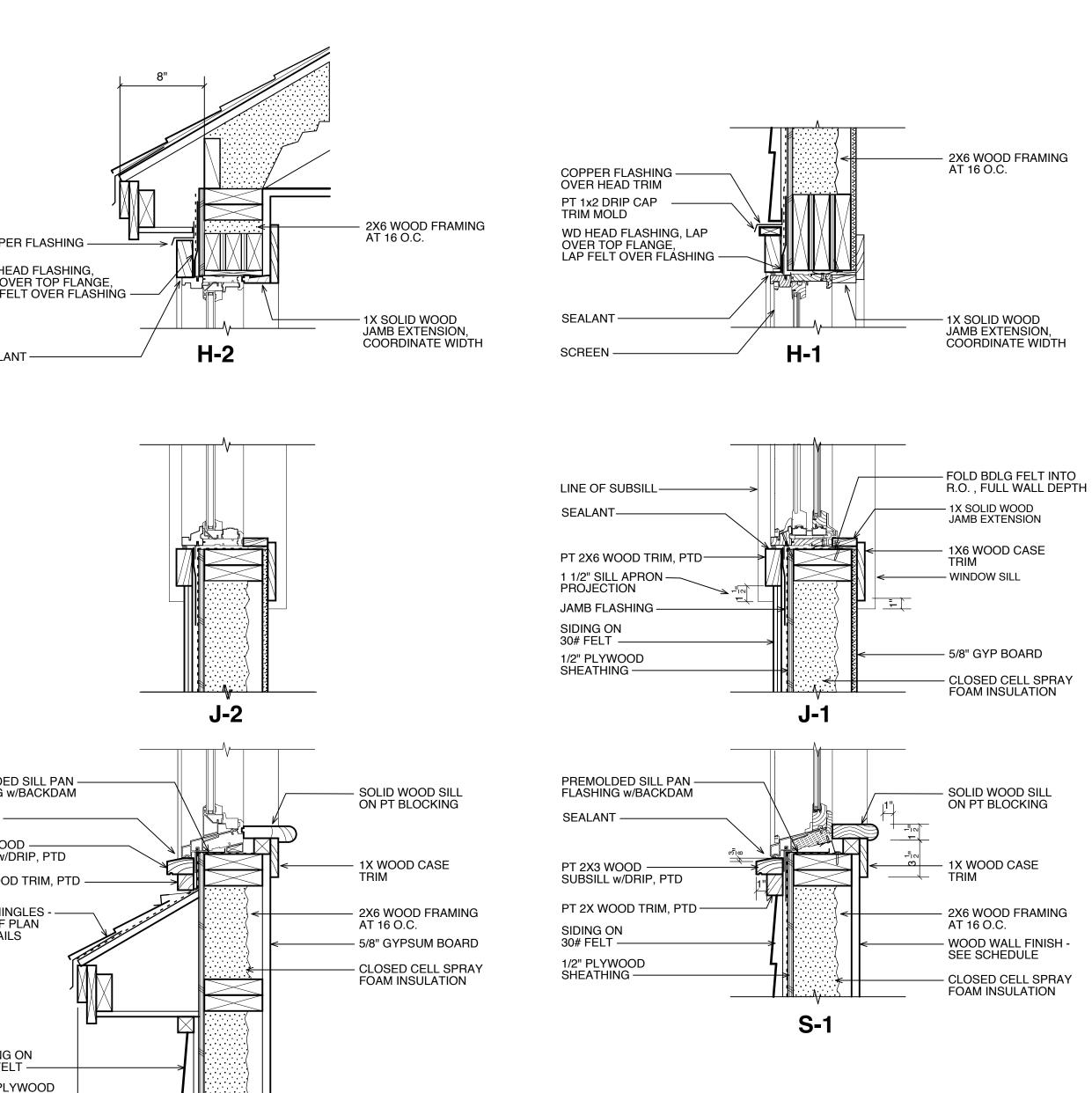
DRAWN BY Hemingway CHECKED BY

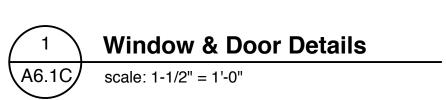
Hemingway

January 15, 2015 SHEET NUMBER

A6.0 C



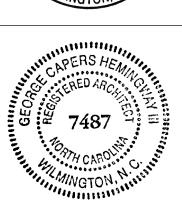












REVISIONS

DRAWN BY Hill CHECKED BY

DATE January 15, 2015 SHEET NUMBER

Hemingway

A6.1 C







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ary & Audubon Cen

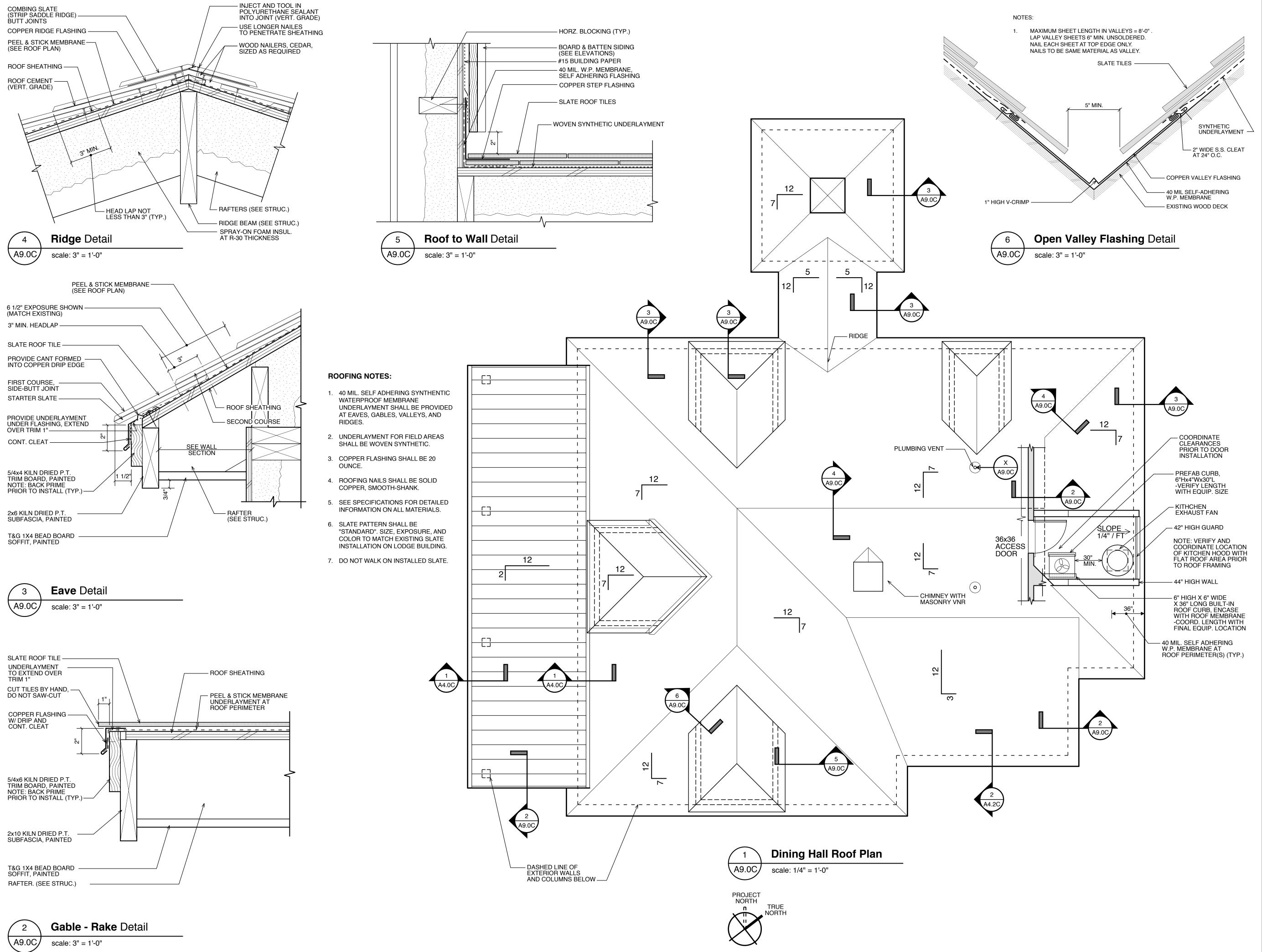
Dining Hall effected Ceiling Plan

REVISIONS

DRAWN BY
Hemingway, Hill
CHECKED BY
Hemingway

DATE
January 15, 2015
SHEET NUMBER

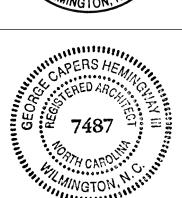
A7.0 C



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A R C H I T E C T S
514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621
Fax - (910) 762-8506





NAL C. O'BRIEN JR:

Audubon Cent

og **∞** 

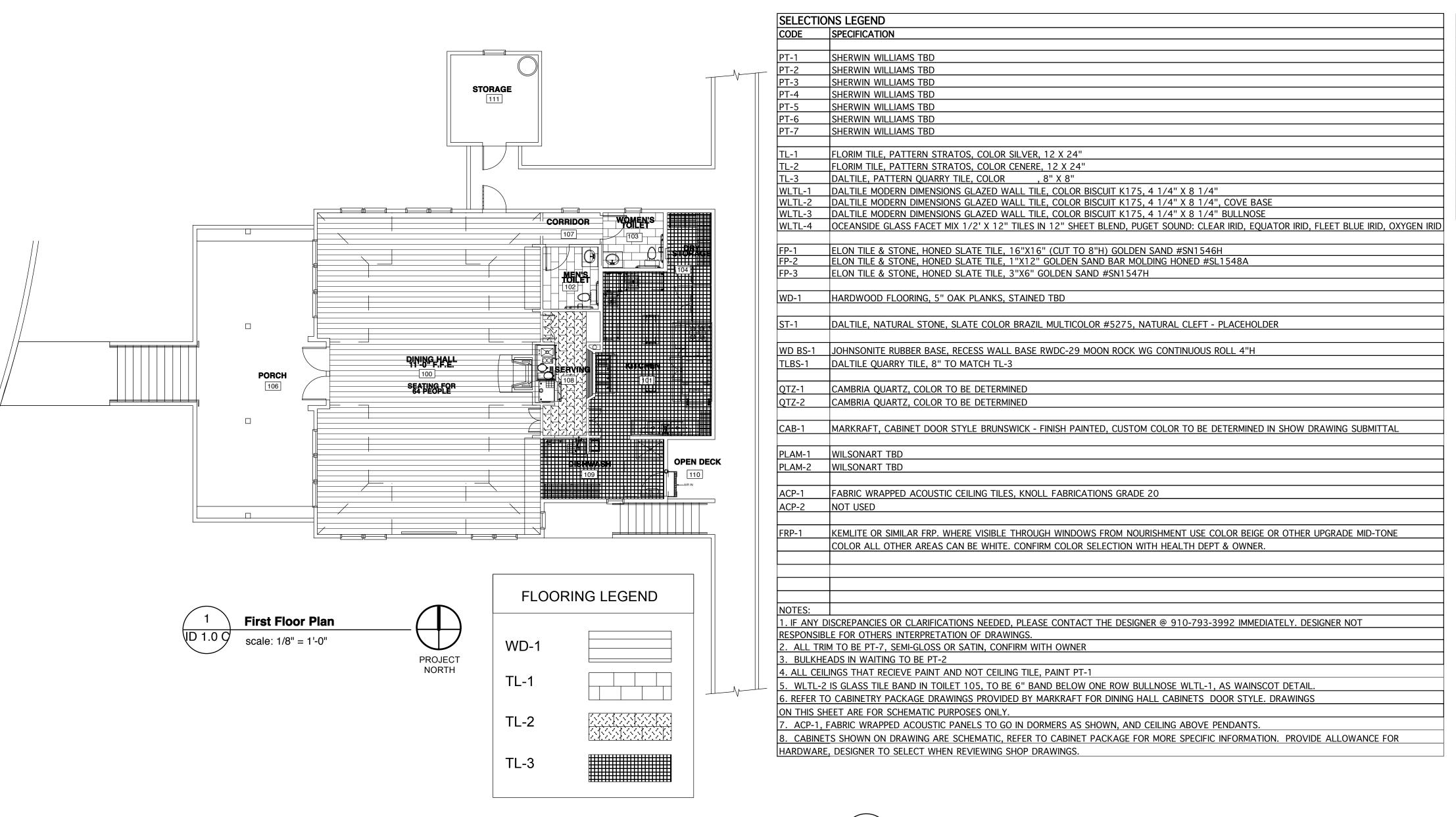
Dining Hall of Plan & Details

REVISIONS

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CHECKED BY
Hemingway

January 15, 2015
SHEET NUMBER

A9.0 C



Finish Legend

NOT TO SCALE

4" BEADBOARD CEILING

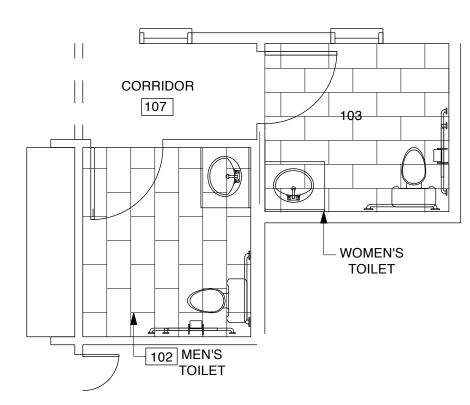
ACOUSTIC PANEL, ACP-1





### Finish Schedule

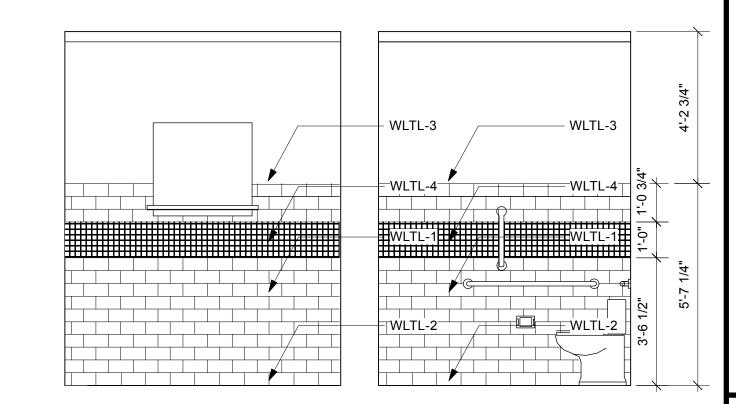
ID 1.0 C NOT TO SCALE





Men's and Women's Enlarged Plan

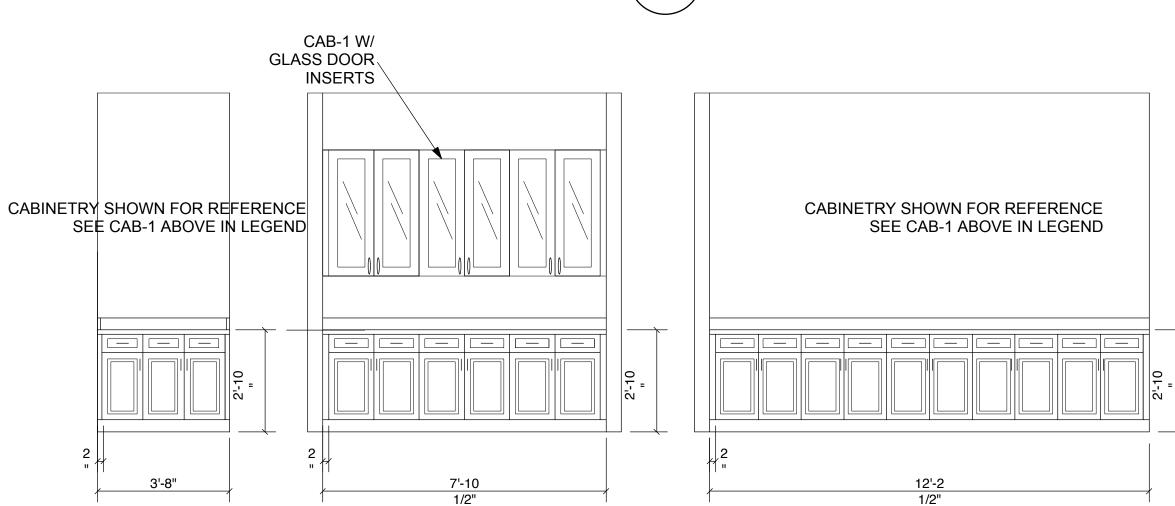
D 1.0 9 scale: 1/4" = 1'-0"

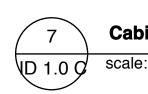




Men's and Women's Elevations

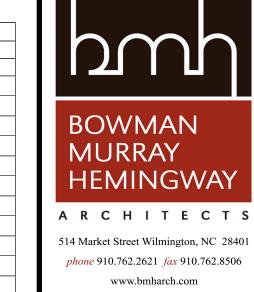
 $\sqrt{D} 1.0$  scale 3/8" = 1'-0" - all walls the same, others not shown.





7 Cabinet Elevations

|D 1 0 0 scale: 3/8" = 1'-0"



BIGSKYDESIGN 4037 Masonboro Loop Road Suite 2K Wilmington, NC 28409 • 910-793-3992 www.bigskydesignonline.com



THE DONAL C. O'BRIEN JR: Sanctuary & Audubon Center Pine Island, Corolla, North Carolina

INTERIOR FINISHES FLOOR PATTERN DRAWING & ELEVATIONS

REVISIONS

Dining Hall Floor

DRAWN BY

JK

CHECKED BY JK

January 15, 2014
SHEET NUMBER

ID 1.0 C

6 Elevation East Wall
D 1.0 C scale: 3/8" = 1'-0"

ACOUSTIC PANEL, ACP-1

RUSTIC SHAPED-WOOD MANTLE

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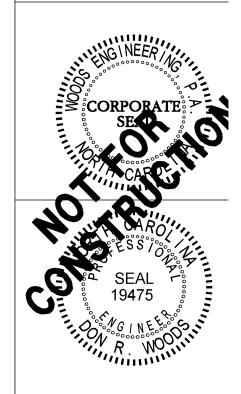
254 North Front Street Phone: 910.343.8007 Fax: 910.343.8088 Suite 201 Wilmington, NC 28401 www.woodseng.com

GENERAL NOTES

SEE SHEET S1.1 FOR FOUNDATION, PILING AND CONCRETE NOTES.

2. SEE SHEET S3.1 FOR BRACING AND FRAMING DETAILS.

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THE DONAL (Sanctuary & A)
Pine Island, Corol

**REVISIONS** 

<u>LEGEND</u>

SEE SHEET S2.1F
FOR CONTINUATION

ARCHITECTURAL FEATURES
ABOVE (TYPICAL)

6x6 PT POST LOCATION (TYPICAL) AND EMBEDMENT DEPTH

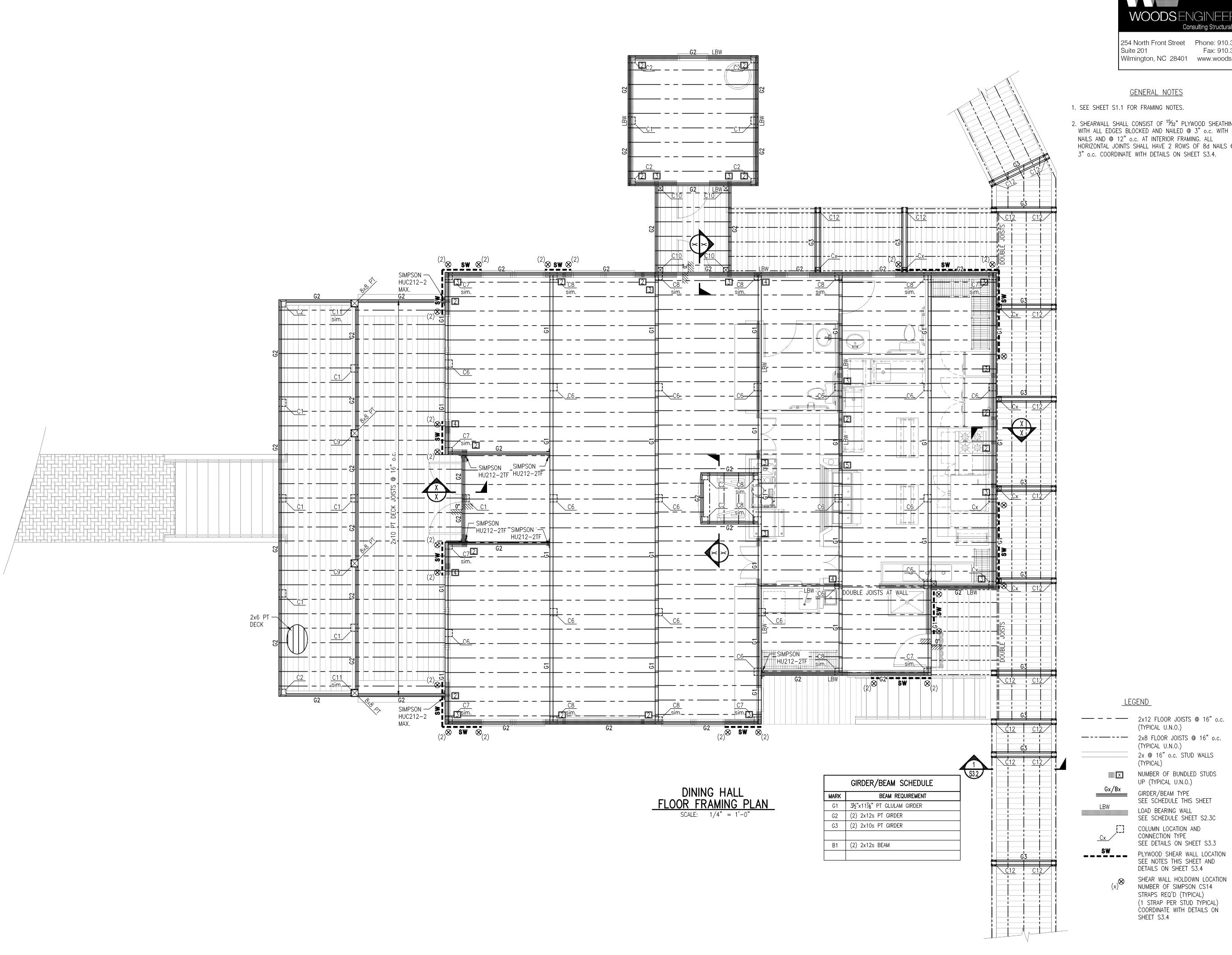
8x8 PT PILING LOCATION (TYPICAL) AND EMBEDMENT DEPTH

DRAWN BY

JAY CHECKED BY DRW

DATE July 18, 2014 SHEET NUMBER

S2.1C



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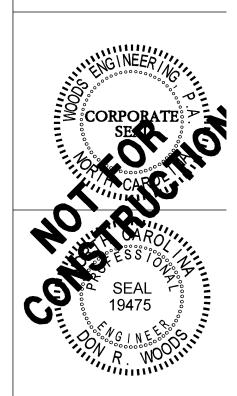
254 North Front Street Phone: 910.343.8007 Suite 201 Fax: 910.343.8088 Wilmington, NC 28401 www.woodseng.com

GENERAL NOTES

1. SEE SHEET S1.1 FOR FRAMING NOTES.

2. SHEARWALL SHALL CONSIST OF 15/32" PLYWOOD SHEATHING WITH ALL EDGES BLOCKED AND NAILED @ 3" o.c. WITH 8d NAILS AND @ 12" o.c. AT INTERIOR FRAMING. ALL HORIZONTAL JOINTS SHALL HAVE 2 ROWS OF 8d NAILS @ 3" o.c. COORDINATE WITH DETAILS ON SHEET S3.4.

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Wilmington, NC 28401

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THE DONAL (Sanctuary & A)
Pine Island, Corol

Dining Hall First Floo Framing Plan

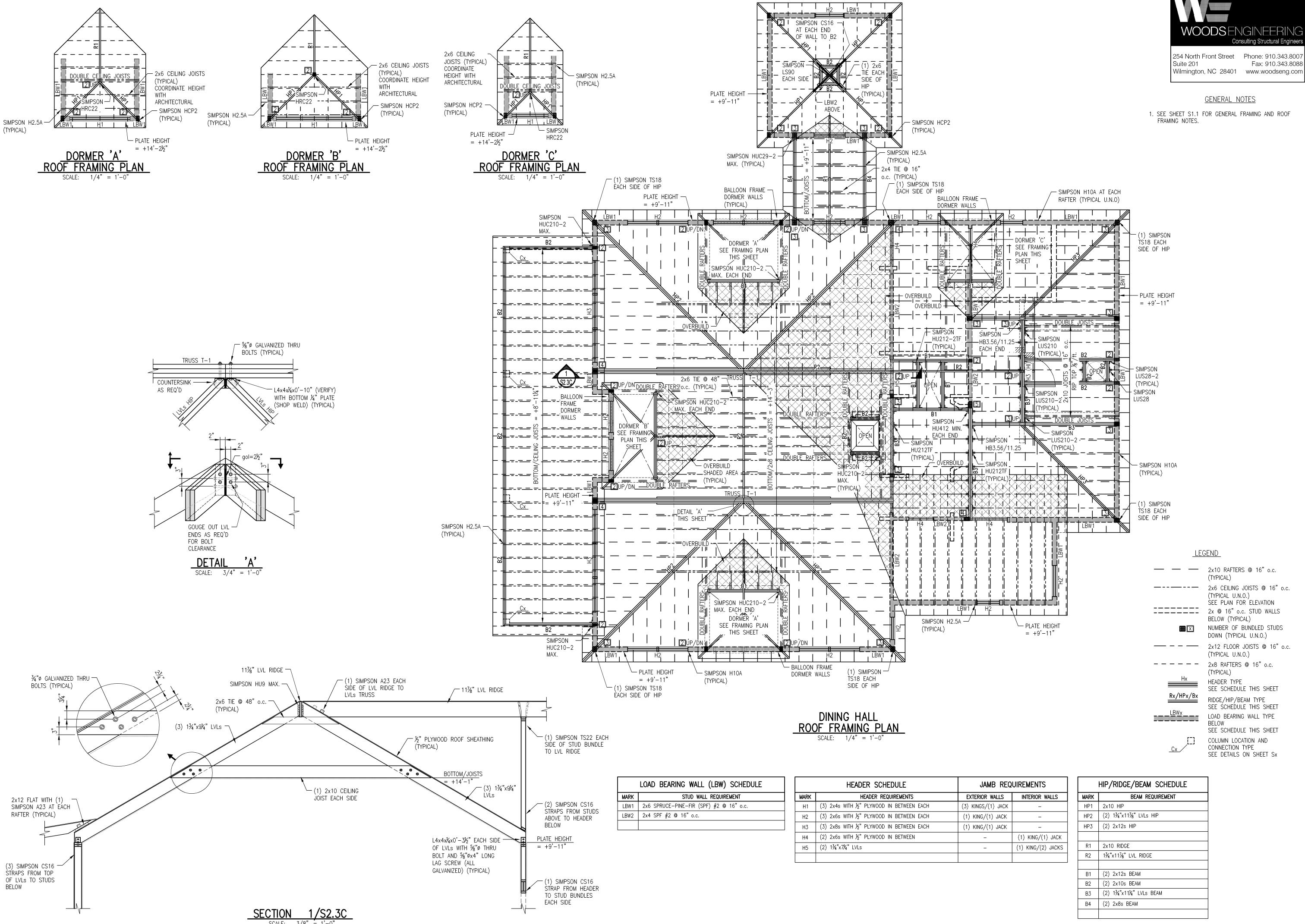
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DATE July 18, 2014 SHEET NUMBER

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Wilmington, NC 28401

Tel - (910) 762-262

Fax - (910) 762-8506

CORPORATE PARAMETER SEAL SEAL 19475

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> Dining Hall Roof Framing Plan

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DRAWN BY

JAY

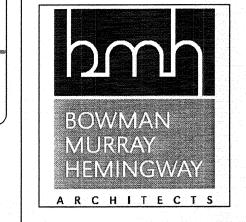
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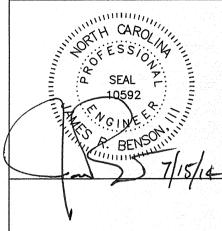
July 18, 2014
SHEET NUMBER

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Audubon **∞**ŏ

Dining Hall Plumbing Plan

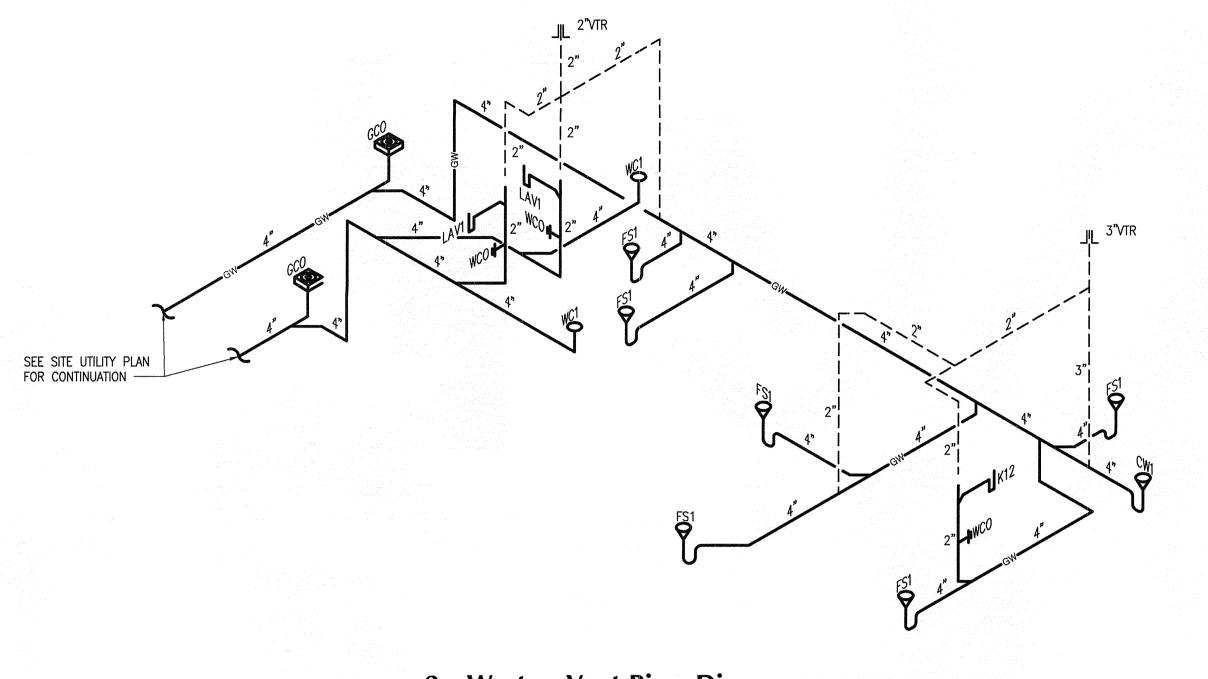
REVISIONS

JOB NUMBER 13038

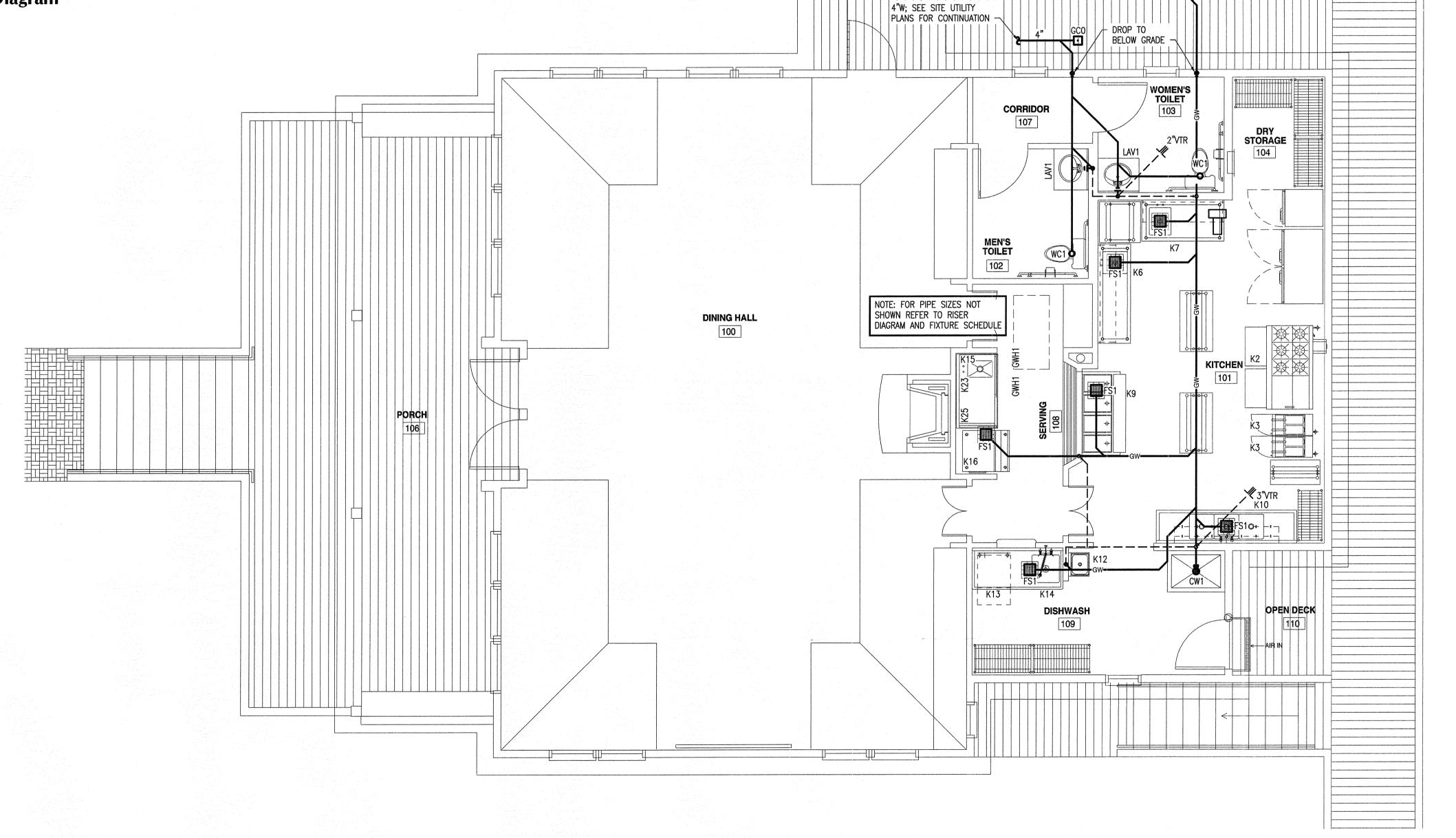
DRAWN BY JRC CHECKED BY JRB

July 15, 2014 SHEET NUMBER

P1.1C



2 - Waste - Vent Riser Diagram No Scale

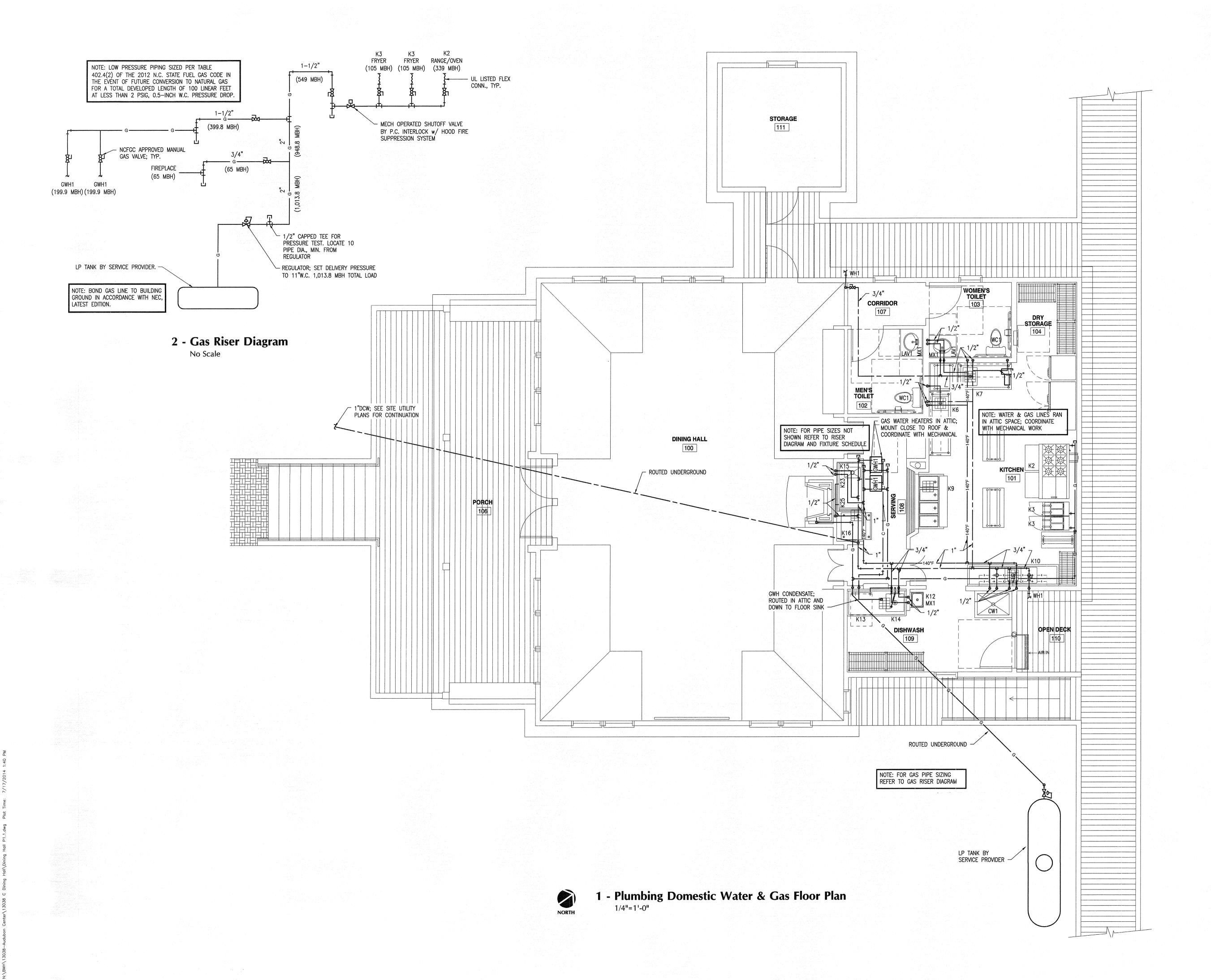


STORAGE 111

4"GW TO GREASE INTERCEPTOR; SEE SITE UTILITY PLANS FOR CONTINUATION



1 - Plumbing Waste - Vent Floor Plan
1/4"=1'-0"

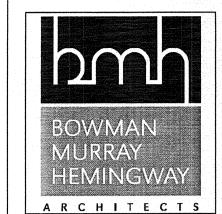




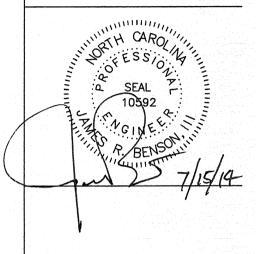
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# HE DONAL C. O'BRIEN JR: Jary & Audubon Cer

Jining Hall Plumbing Plan

REVISIONS

JOB NUMBER 13038

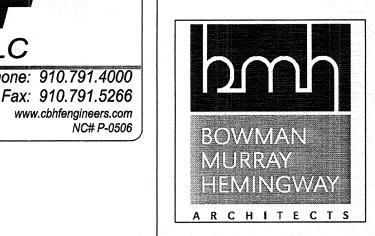
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JRB
DATE

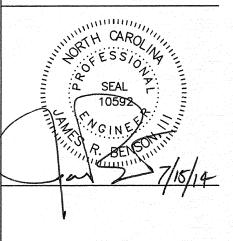
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C. O'BRIEN JR:

Audubon Center

Sanctuary & Audu

Dining Hall Mechanical Plan

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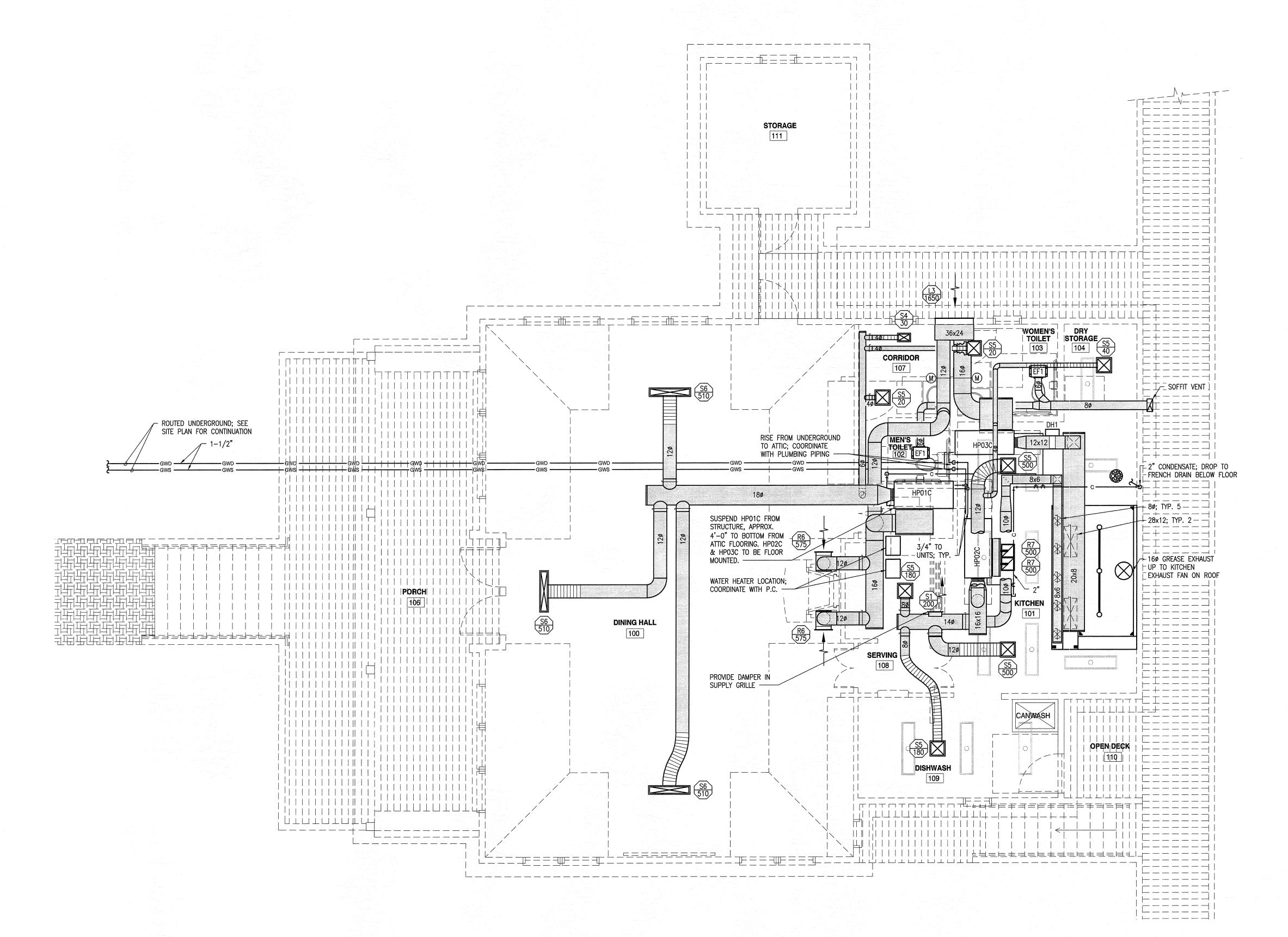
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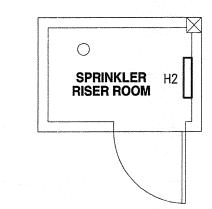
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JRB

DATE July 15, 2014

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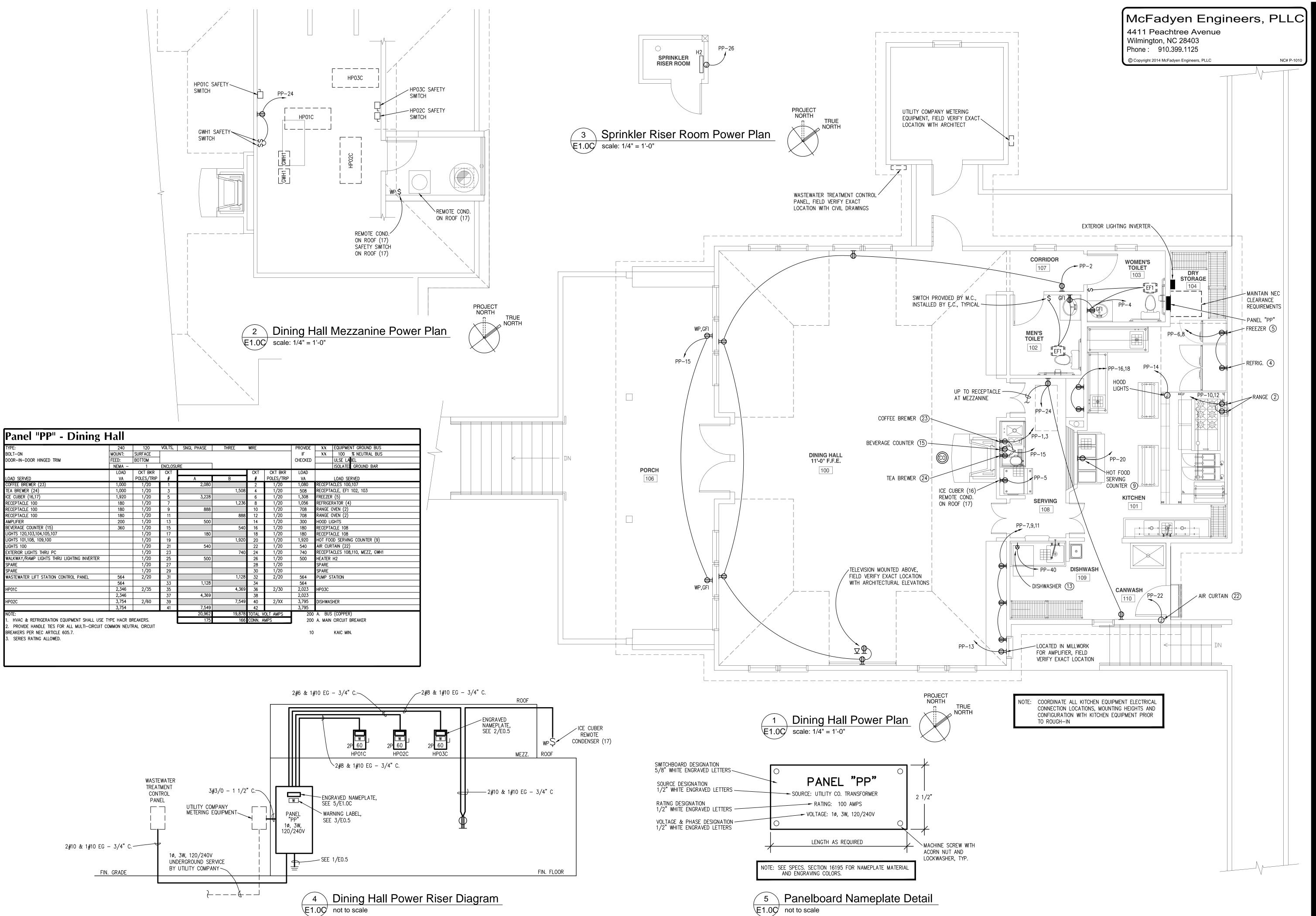


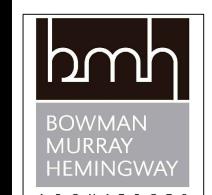




**2 - Riser Room Plan** 1/4"=1'-0"

1 - Mechanical Attic Plan





A R C H I T E C T S

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Wilmington, NC 28401
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D NOT USE

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Dining Hall Power Plan and Details

REVISIONS

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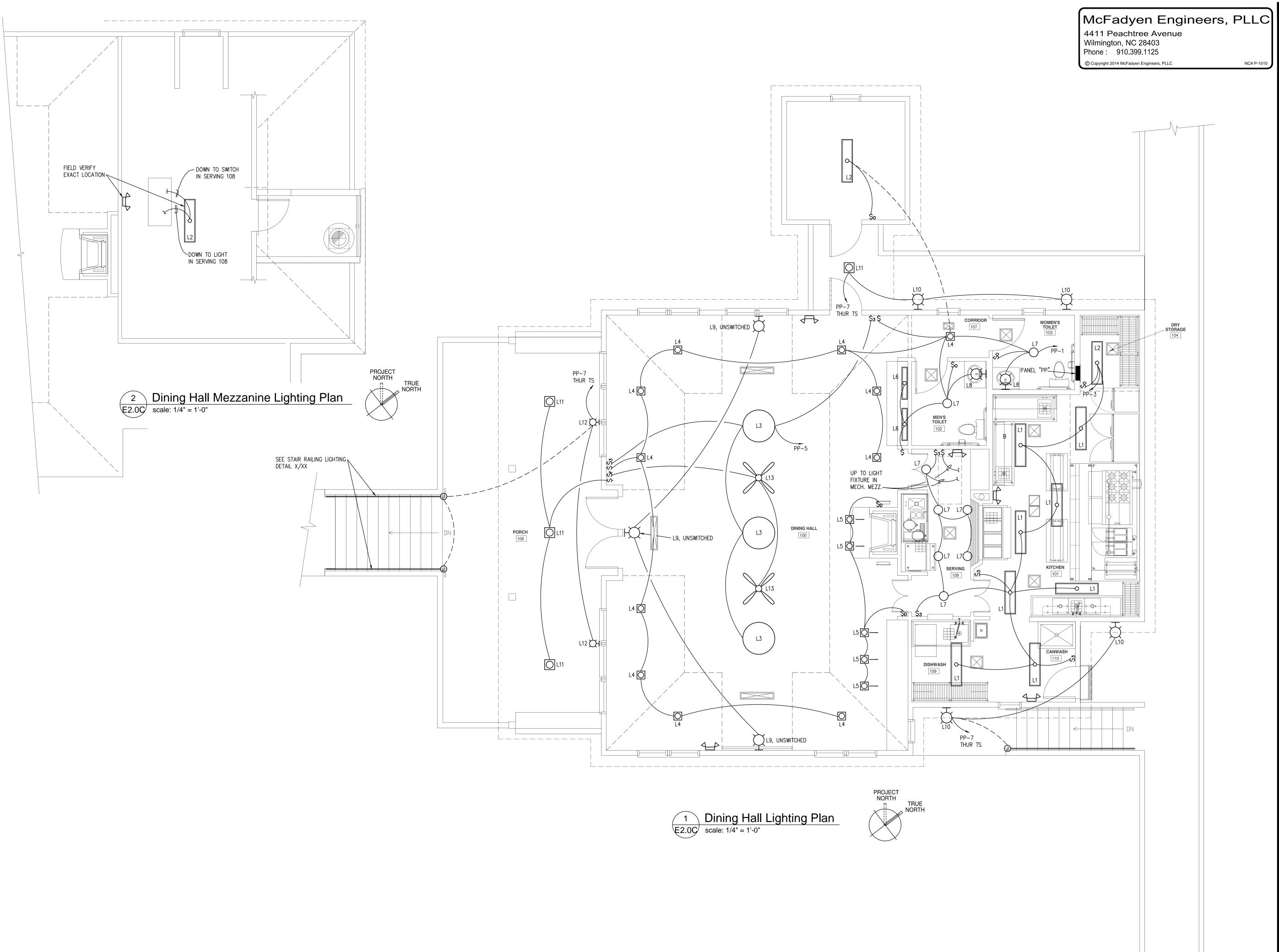
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RDM

DATE
JULY 15, 2014

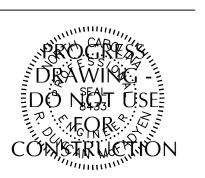
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**JURRAY** HEMINGWA' ARCHITECTS

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O'BRIEN JR: noqnpn Sanctuary

Dining Hall Lighting Plan and Details

CHECKED BY RDM DATE JULY 15, 2014

SHEET NUMBER

E2.0C

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MURRAY ARCHITECTS

NC# P-1010

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### **Electrical System and Equipment Method of Compliance** Prescriptive X Performance \_\_\_\_ Energy Cost Budget \_\_\_\_ Provide a standard riser diagram which indicates designated points for check metering. Provide a standard panel schedule description which identifies different enduse loads. Lighting Schedule: lamp type required in fixture: see fixture schedule number of lamps in fixture: see fixture schedule ballast type used in the fixture: see fixture schedule number of ballasts in fixture: see fixture schedule total wattage per fixture: see fixture schedule Total interior wattage: Allowed = Specified = Exterior Allowance: (Tradeable Surfaces) Allowed = Specified = (Non-tradeable Surfaces:) N/A Watts Allowed = Specified = N/A Watts Equipment schedules with motors (not used for mechanical systems): motor horse power: N/A number of phases: N/A minimum efficiency: N/A motor type: N/A # of poles: N/A

MARK	DESCRIPTION.	SIZE/APERTURE	VOLTS	LAMPS	WATTS	LENS	TRIM/DOOR	TRIM COLOR	MOUNTING HEIGHT	REMARKS	MANUFACTURER
L1	SURFACE MOUNTED FLUORESCENT WRAPAROUND	15"x4'	120	3-F032 T8	90	0.156 ACRYLIC PRISMATIC		WHITE	SURFACE CEILING	ELECTRONIC BALLASTS FOR DUAL LEVEL SWITCHING	LITHONIA "LB" SERIES
L2	SURFACE MOUNTED FLUORESCENT WRAPAROUND	12"x4'	120	2-F032 T8	60	0.156 ACRYLIC PRISMATIC		WHITE	SURFACE CEILING	ELECTRONIC BALLAST	LITHONIA "LB" SERIES
L3	PENDANT MOUNTED FLUORESCENT	TBD	120	TBD	TBD	TBD		TBD	PENDANT CEILING	TBD	SELECTED BY ARCHITECT
L4	WALL MOUNTED FLUORESCENT	TBD	120	TBD	TBD	TBD		TBD	WALL FIELD VERIFY	TBD	SELECTED BY ARCHITECT
L5	RECESSED LED WALLWASHER DOWNLIGHT	4"	120	LED				WHITE	RECESSED CEILING	MATTE DIFFUSE, CLEAR ALZACK REFLECTOR, WHITE TIRM RING, 3500k 1000 LUMEN,	LITHONUA "4ALED" SEREIS
L6	RECESSED LED DOWNLIGHT	4"	120	LED				WHITE	RECESSED CEILING	MATTE DIFFUSE, CLEAR ALZACK REFLECTOR, WHITE TIRM RING, 3500k 1000 LUMEN	LITHONUA "4ALED" SEREIS
L7	SURFACE MOUNTED FLUORESCENT	TBD	120	TBD	TBD	TBD		TBD	SURFACE CEILING	TBD	SELECTED BY ARCHITECT
L8	SURFACE MOUNTED FLUORESCENT	TBD	120	TBD	TBD	TBD		TBD	SURFACE CEILING	TBD	SELECTED BY ARCHITECT
L9	WALL MOUNTED FLUORESCENT		120	2-42 TRT	90	TEMPERED GLASS		NATURAL ALUM. TEXTURED	WALL FIELD VERIFY	ELECTRONIC BALLAST, MEDIUM THROW DISTRIBUTION, DAMP LOCAITON LABEL, LENS UP ORIENTATION	LITHONIA "WST" SERIES
L10	WALL MOUNTED FLUIORESCENT		120	1-32W DTT	40	CLEAR GLASS		GALVANIZED ALUMINUM	WALL FILED VERIFY	ELECTRONIC BALLAST, 24" PROJECTION, SMALL GLASS JAR, WET LOCATION LABEL	TREND LIGHTING "A1-B3" SERIES
L11	RECESSED LED DOWNLIGHT	6"	120	LED				WHITE	RECESSED CEILING	MATTE DIFFUSE, CLEAR ALZACK REFLECTOR, WHITE TIRM RING, 3500k 1800 LUMEN	LITHONUA "6ALED" SEREIS
L12	WALL MOUNTED LED		120	1-5W LED	5			GREY	RECESSED WALL, FIELD VERIFY	MOLDED COMPOSITE FACEPLATE, WET LOCATION LABEL	GARDCO "960" SERIES
L13	PENDANT MOUNTED CEILING FAN	TBD	120	TBD	TBD			TBD	PENDANT CEILING	TBD	SELECTED BY ARCHITECT

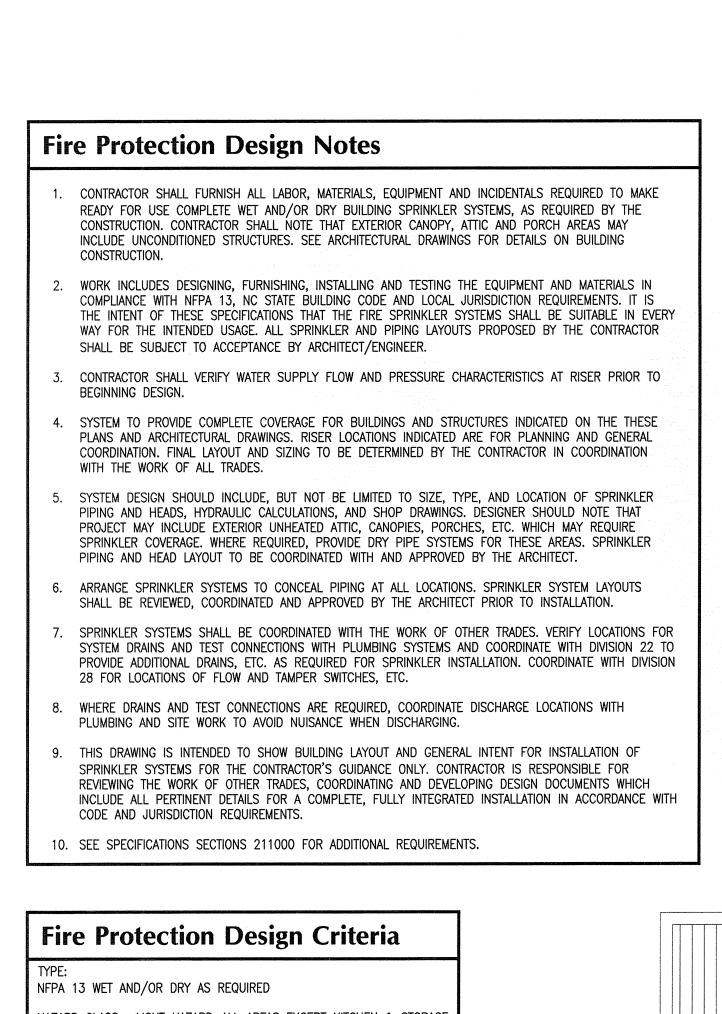
ALL 4' FLUORESCENT LAMPS SHALL BE 3500 K, F032, 2950 MINIMUM LUMENS. OTHER LAMPS SHALL BE AS SCHEDULED.

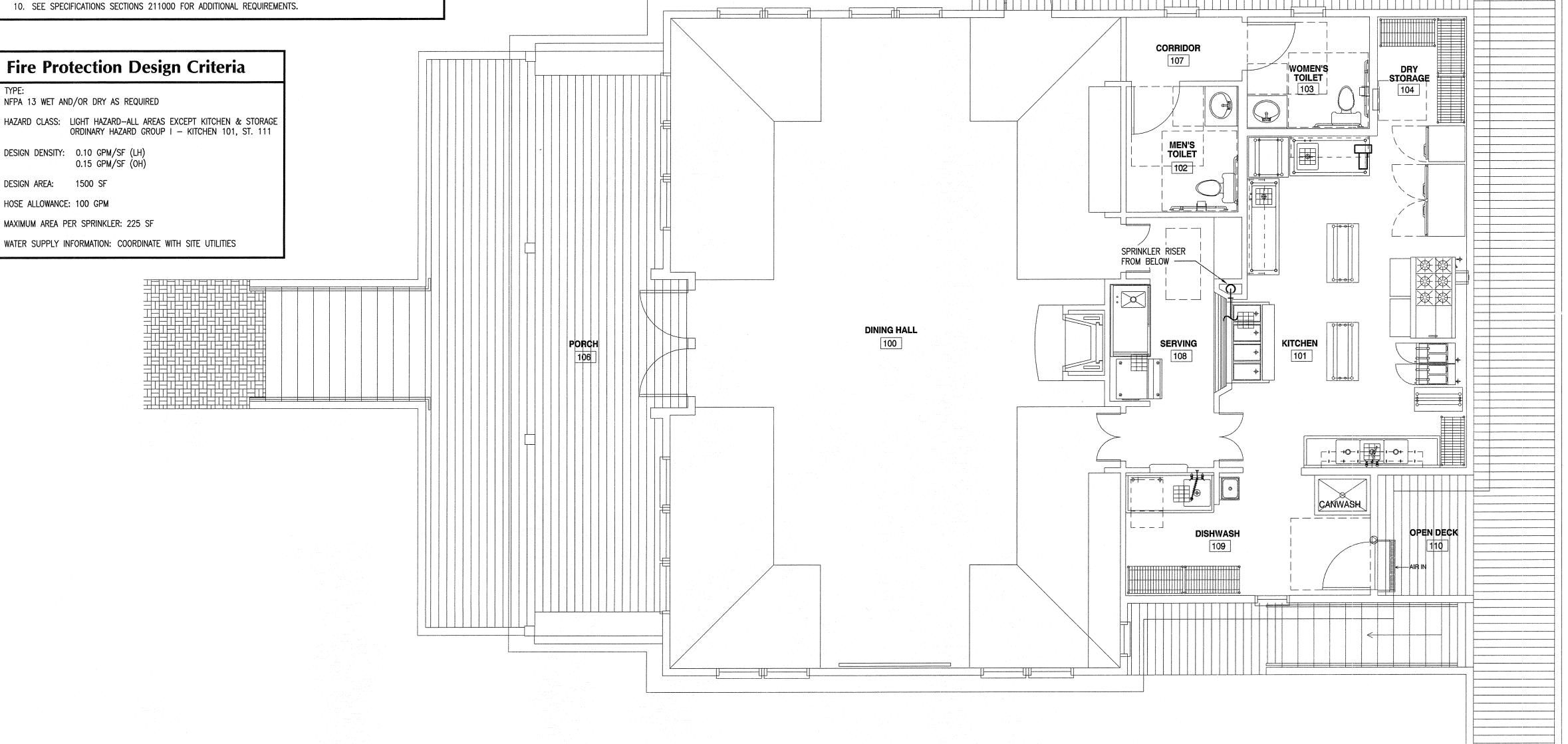
2. ACRYLIC PRISMATIC LENSES SHALL BE 0.156" NOMINAL MINIMUM THICKNESS.
3. FLUORESCENT FIXTURES SHALL BE PROVIDED WITH 0.88 MINIMUM BALLAST FACTOR, 2, 3 OR 4 LAMP, DOMESTIC, ELECTRONIC BALLASTS WITH 5 YEAR WARRANTY.
4. PROVIDE MANUFACTURER INSTALLED NEC 2008 ARTICLE 410.130 (G) COMPLIANT DISCONNECTING MEANS FOR ALL APPLICABLE FIXTURES.

nodubu O'BRIEN JR:

CHECKED BY RDM

JULY 15, 2014 SHEET NUMBER





- Fire Protection Floor Plan

SPRINKLER SUPPLY TO BUILDING -

TO FDC; SEE CIVIL

SPRINKLER RISER -

TO DCDA BY SITE

UTILITY CONTRACTOR;

SEE CIVIL DRAWINGS

3 - Riser Room Detail

No Scale

DRAWINGS -



3808 Park Avenue Wilmington, NC 28403

END OF MAIN

4 - Inspector's Test Detail

TEST VALVE IN READILY

ACCESSIBLE LOCATION WITH

LOCATION. COORD w/ ARCH

DISCHARGE TO APPROVED

STORAGE

111

\_NON-ADJUST.

PRESSURE RELIEF

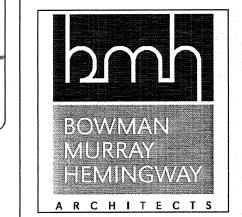
-SMOOTH BORE

CORROSION-RESISTANT OUTLET

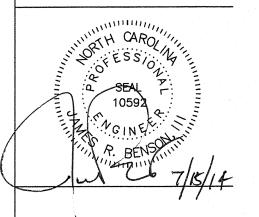
GIVING FLOW EQUIVALENT TO ONE SPRINKLER- 1/2" SIZE

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514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506



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JOB NUMBER 13038

DRAWN BY JRC CHECKED BY

July 15, 2014

SHEET NUMBER FP1.1C

2 - Riser Room Plan

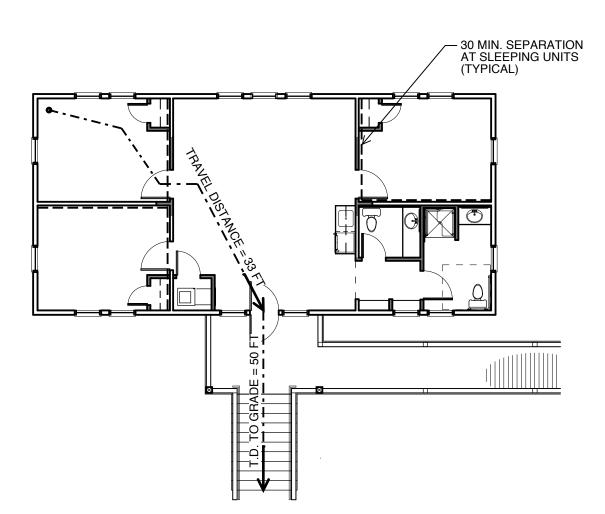
SPRINKLER RISER ROOM

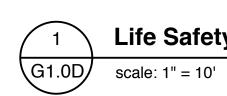
SEE CIVIL DRAWINGS FOR CONTINUATION —

### **BUILDING DATA**

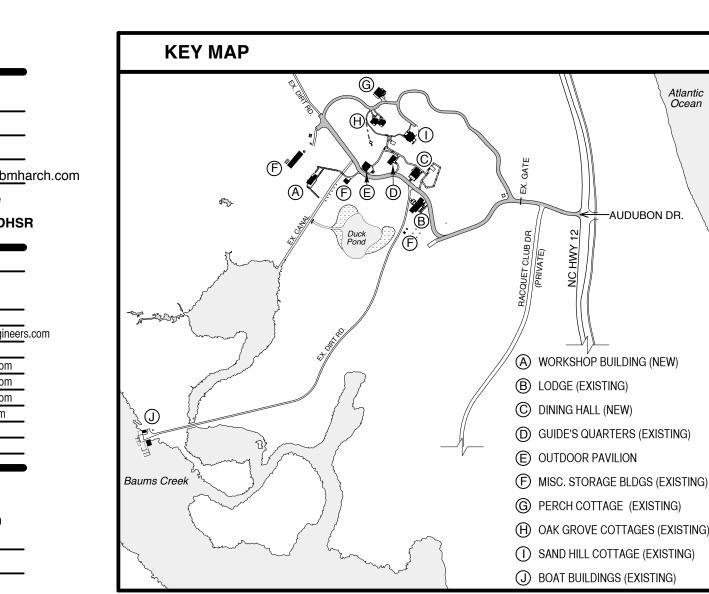
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	The Donal C. O'Brie udubon Drive, Coroll		<u>ludubon C</u>	enter Guide s	Zip Code 27927
	Single Family Resid				
_	rized Agent Chip Ho		one #: 91(	).762.2621	E-mail hemingway@bmha
Owned By:		City / County	F	Private	State
Code Enforceme	ent Jurisdiction:	City: Corolla		County: Curri	ituck DOI/DHSF
	ROFESSIONAL: Chi				
DESIGNER Architectural	FIRM BMH Architects	<b>NAME</b> Chip Hemingway	<b>LIC #</b> 7487	<b>TEL #</b> 910–762–2621	E-MAIL heminway@bmharch.com
Civil	Anlauf Engineering PL		26980	252–489–7143	janlauf2645@charter.net
lectrical	McFadyen Engineers	Duncan McFadyen	8433	910–399–1125	dmcfadyen@mcfadyenengineers
ire Alarm	none – n/a				
Plumbing	CBHF Engineers	Jim Benson	10592	910-791-4000	jbenson@cbhfengineers.com
Mechanical	CBHF Engineers	Jim Benson	10592	910-791-4000	jbenson@cbhfengineers.com
Sprinkler/Standp		Jim Benson	10592	910-791-4000	jbenson@cbhfengineers.com
Structural	Woods Engineering	Don Woods	19475	910–343–8007	donwoods@woodseng.com
tetaining waiis ; Other -	> 5' High none - n/a Deel Engineering	Andy Deel	25158	252-202-3803	dadeeleng@gmail.com
ou ioi	<u> </u>	7 may 5 con			
CODE FOR: EXISTING:	Reconstruction	New Construct  Alteration	=	Addition Repair	Upfit Renovation
		_		(OL 0) D	
CONSTRUCTED:		ORIGINA	L USE(S)	· · ·	
CONSTRUCTED:		_	L USE(S)	· · ·	
CONSTRUCTED:	: (date) <u>1913</u>	ORIGINA CURREN	L USE(S) T USE(S)	· · ·	sidence
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CONSTRUCTED: RENOVATED: BASIC BUILDING Construction Type check all that app	(date) 1913 (date)	ORIGINA CURREN PROPOS  III-A  III-B	L USE(S) T USE(S) ED USE(S)	(Ch. 3): Res	v-A V-B
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CONSTRUCTED: RENOVATED: BASIC BUILDING Construction Typecheck all that appropriate the construction of the	(date)   1913	ORIGINA CURREN PROPOS  III-A III-B III-B Class:	L USE(S) T USE(S) ED USE(S) III-A III-B NFPA 1	(Ch. 3): Res  S) (Ch. 3): Res  IV  NFPA 1  No  * Buil	V-A V-B USA NFPA 13D Wet Dry Yes*
CONSTRUCTED:  BASIC BUILDING Construction Type check all that app Sprinklers:	(date)   1913	ORIGINA CURREN PROPOS  III-A III-B II-B Class: Flood Haza	L USE(S) T USE(S) ED USE(S) III-A III-B NFPA 1	(Ch. 3): Res  (Ch. 3): Res  IV  NFPA 1  No  * Builfloo	V-A V-B USA  Wet Dry Yes*  Iding will be raised above
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\* Existing Vestible (102 sq. ft.) to be converted to Front Porch. This 102 sq. ft. is included in First Floor square footage.

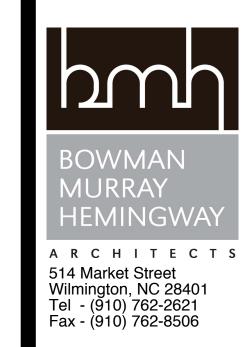




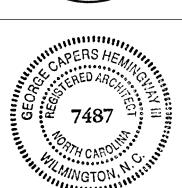
Life Safety Plan



	S QUARTERS - INDEX OF DRAWINGS							
G1.0 D	GUIDE'S QUARTERS DATA SHEET							
ARCHITE	CTURAL							
A0.1 D	GUIDE'S QUARTERS SITE PLAN							
A1.0 D	DEMOLITION & RENOVATION FLOOR PLANS							
A2.0 D	EXISTING ELEVATIONS							
A2.1 D	RENOVATION ELEVATIONS							
A3.0 D	BUILDING SECTIONS							
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A5.0 D	ENLARGED PLANS/MILLWORK ELEVATIONS							
A5.1 D	MILLWORK DETAILS							
A6.0 D	FINISH, DOOR, & WINDOW SCHEDULES							
A7.0 D	REFLECTED CEILING PLAN							
A9.0 D	ROOF PLAN							
INTERIOR DESIGN								
ID1.0 D	INTERIOR FINISHES, FLOOR PATTERNS, & ELEVATIONS							
STRUCTU	RAL							
S2.1 D	PILING PLAN							
S2.2 D	FLOOR FRAMING PLAN							
S2.3 D	ROOF FRAMING PLAN							
PLUMBIN	G							
P1.1 D	PLUMBING PLAN							
MECHANI	CAL							
M1.1 D	MECHANICAL PLAN							
	CAL							
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DRAWN BY Tyhacz, Hill CHECKED BY Hemingway

DATE Jan. 15, 2015 SHEET NUMBER

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**Guide's Cottage Site Plan** 

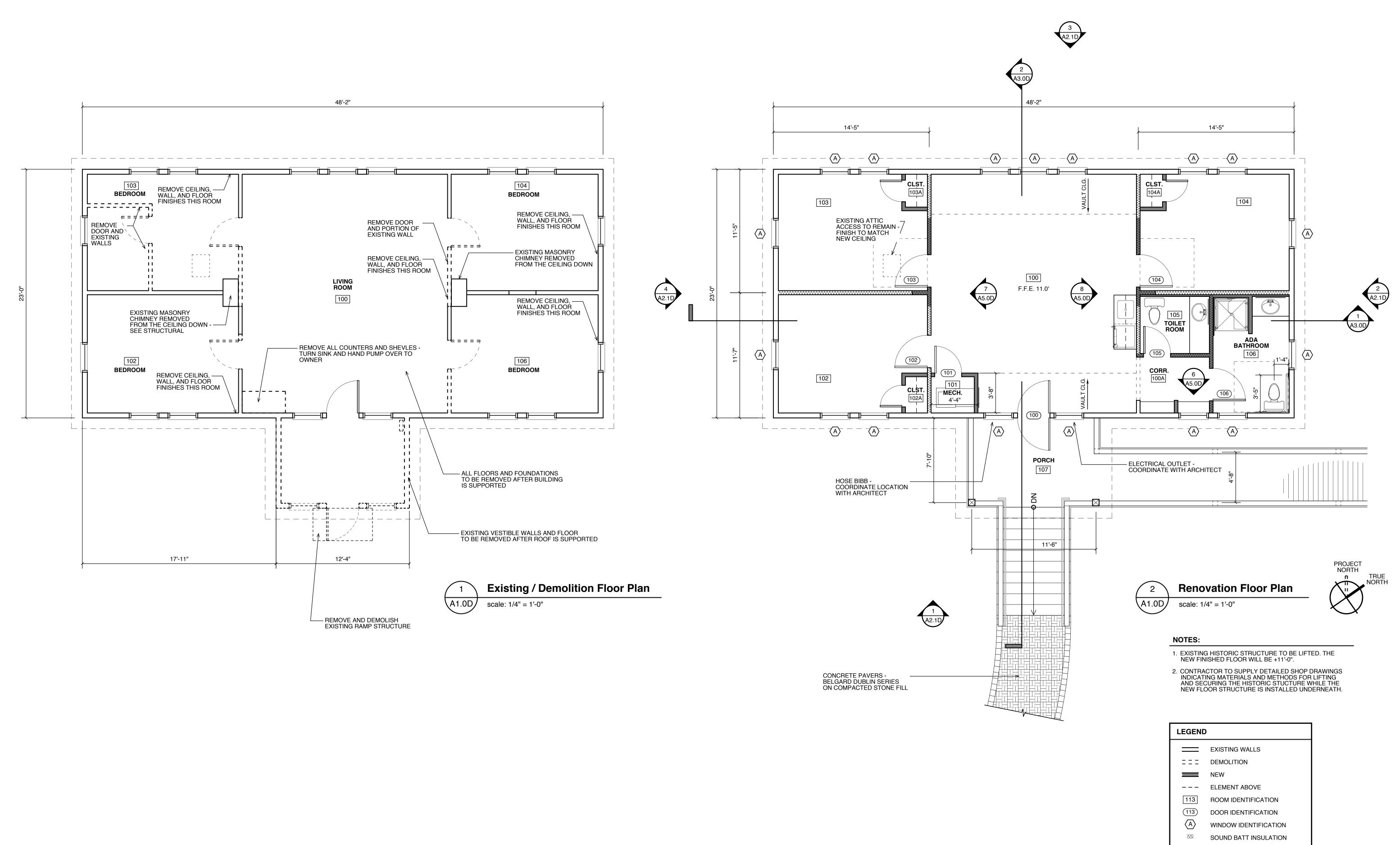
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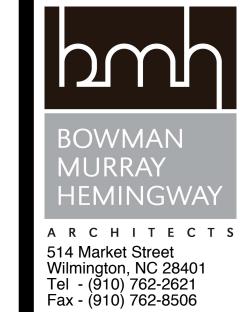
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Hemingway

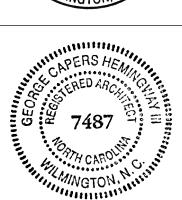
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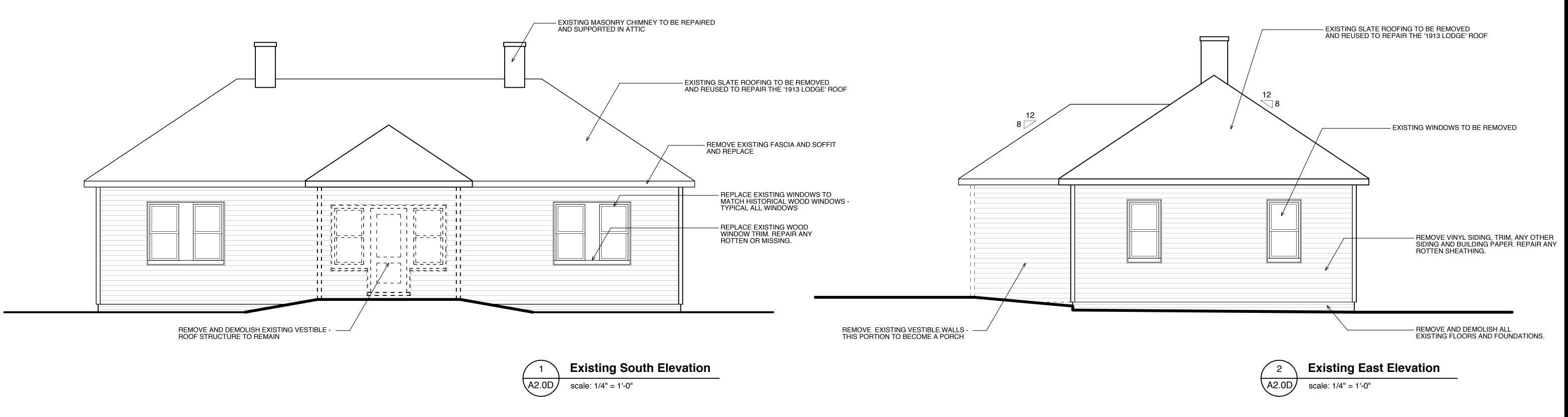
uide's Quarters Demolition & enovation Plans

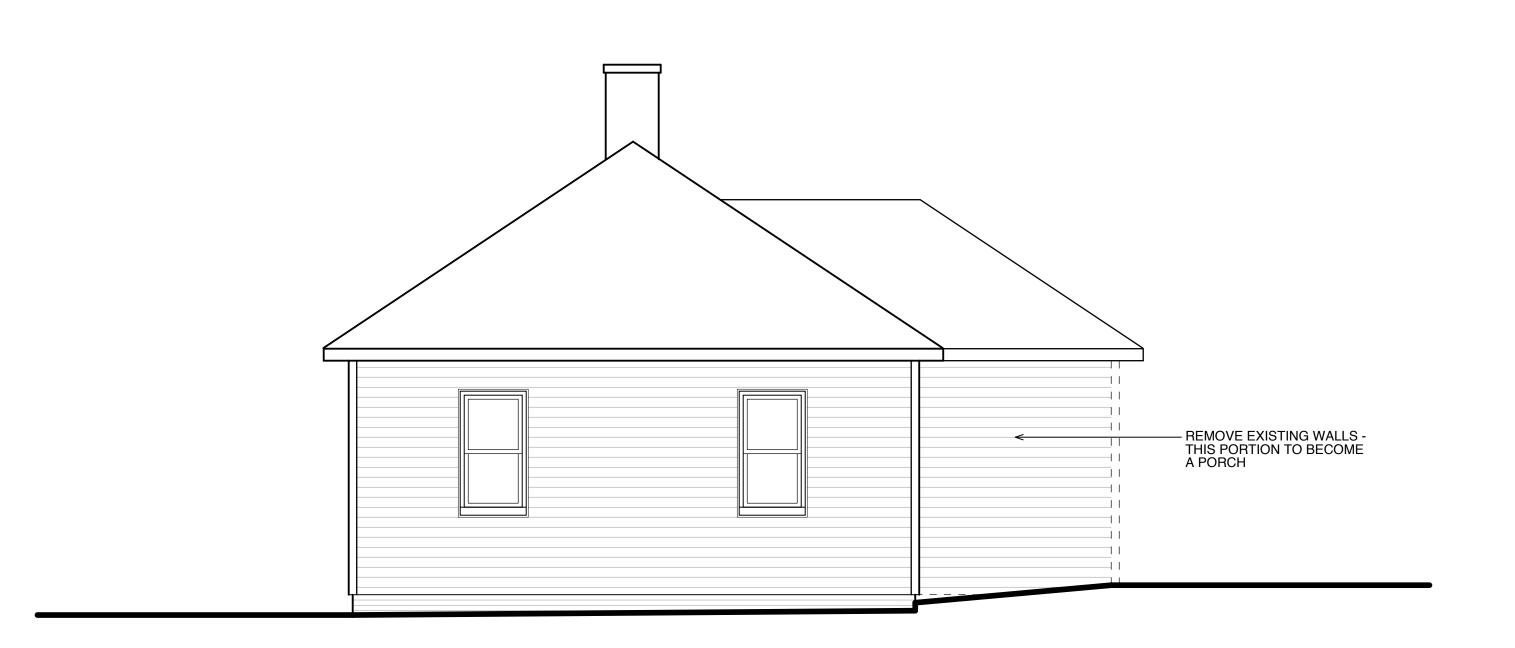
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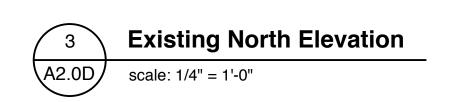
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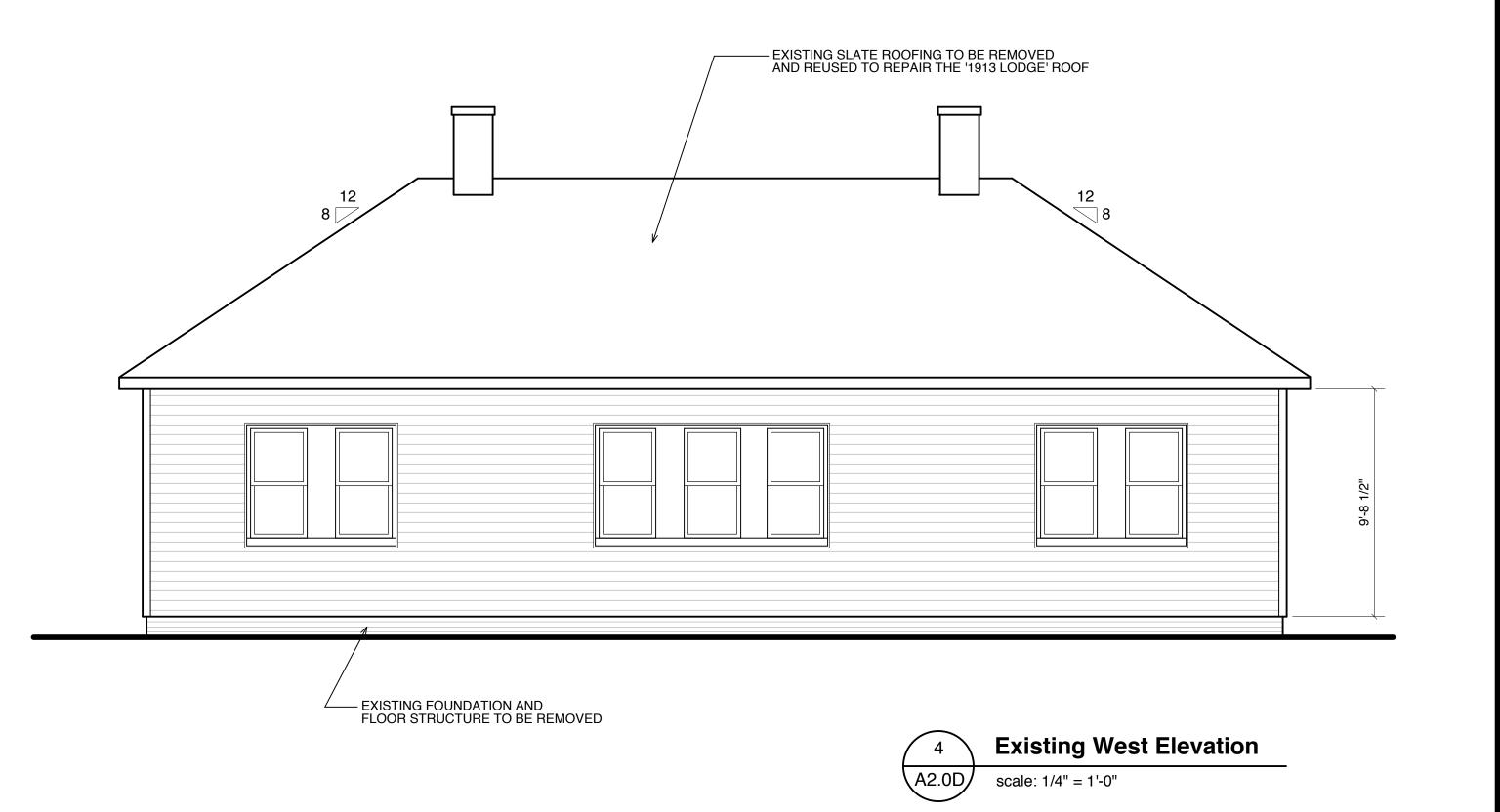
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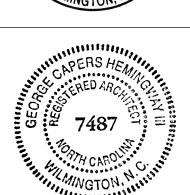




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Center

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Guide's Quarters Existing Elevations

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Hill
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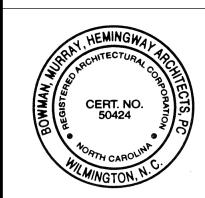
Hemingway

Jan. 15, 2015 SHEET NUMBER

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— HISTORIC STRUCTURE TO BE LIFTED OFF ITS EXISTING FOUNDATION SYSTEM.
EXISTING FOUNDATION SYSTEM TO BE DEMOLISHED AND CLEARED. NEW TIMBER
PILING, GIRDER AND FLOOR STRUCTURE SYSTEM, SEE STRUCTURAL DRAWINGS.

THE BUILDING WILL THEN BE LOWERED TO THE NEW FIN FLR ELEVATION.





E DONAL C. O'BRIEN JR:

7 & Audubon Cent

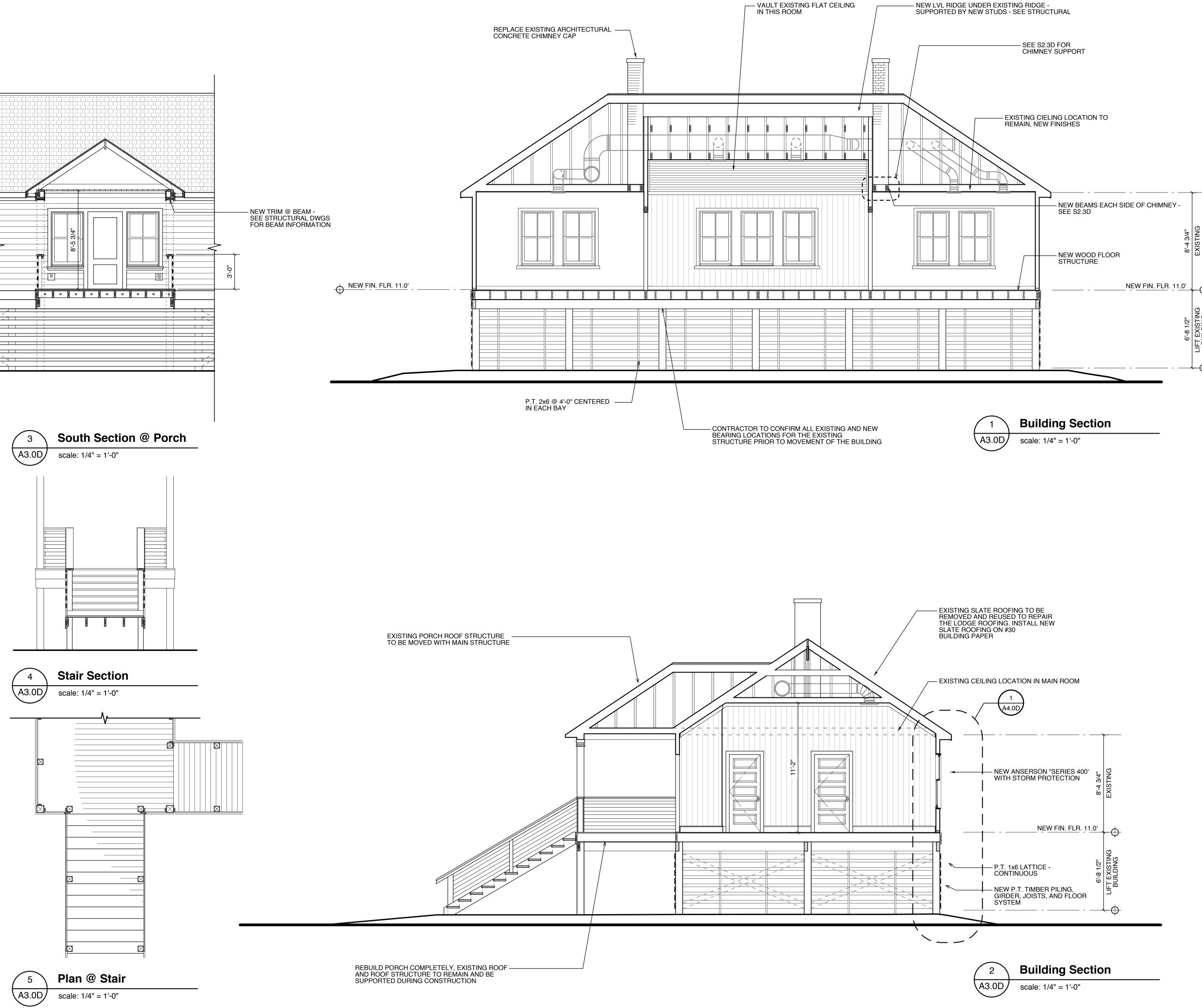
Guide's Quarters novation Elevations

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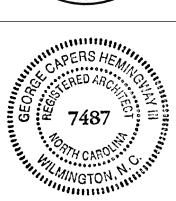
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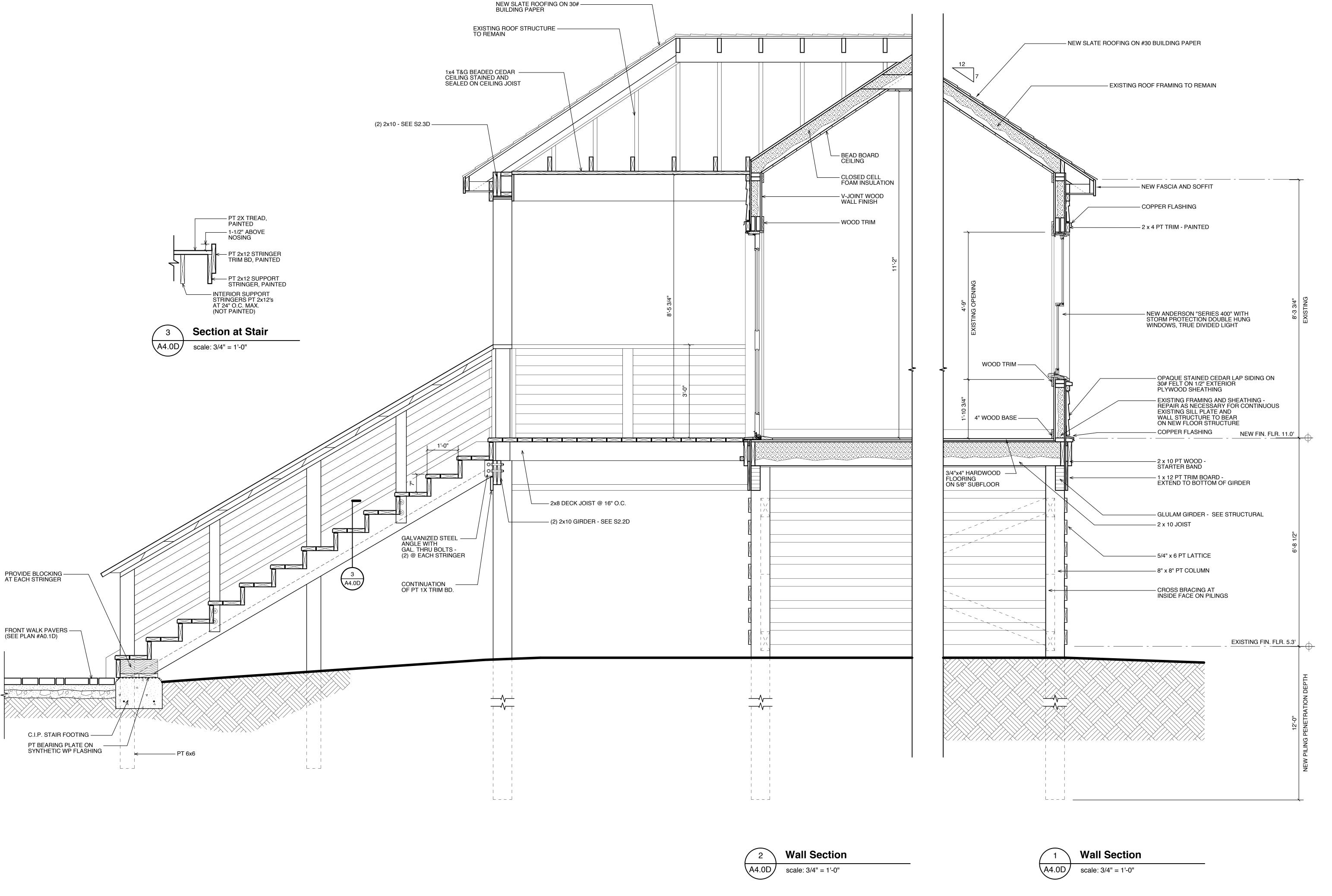
iuide's Quarters novation Sections

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JR:

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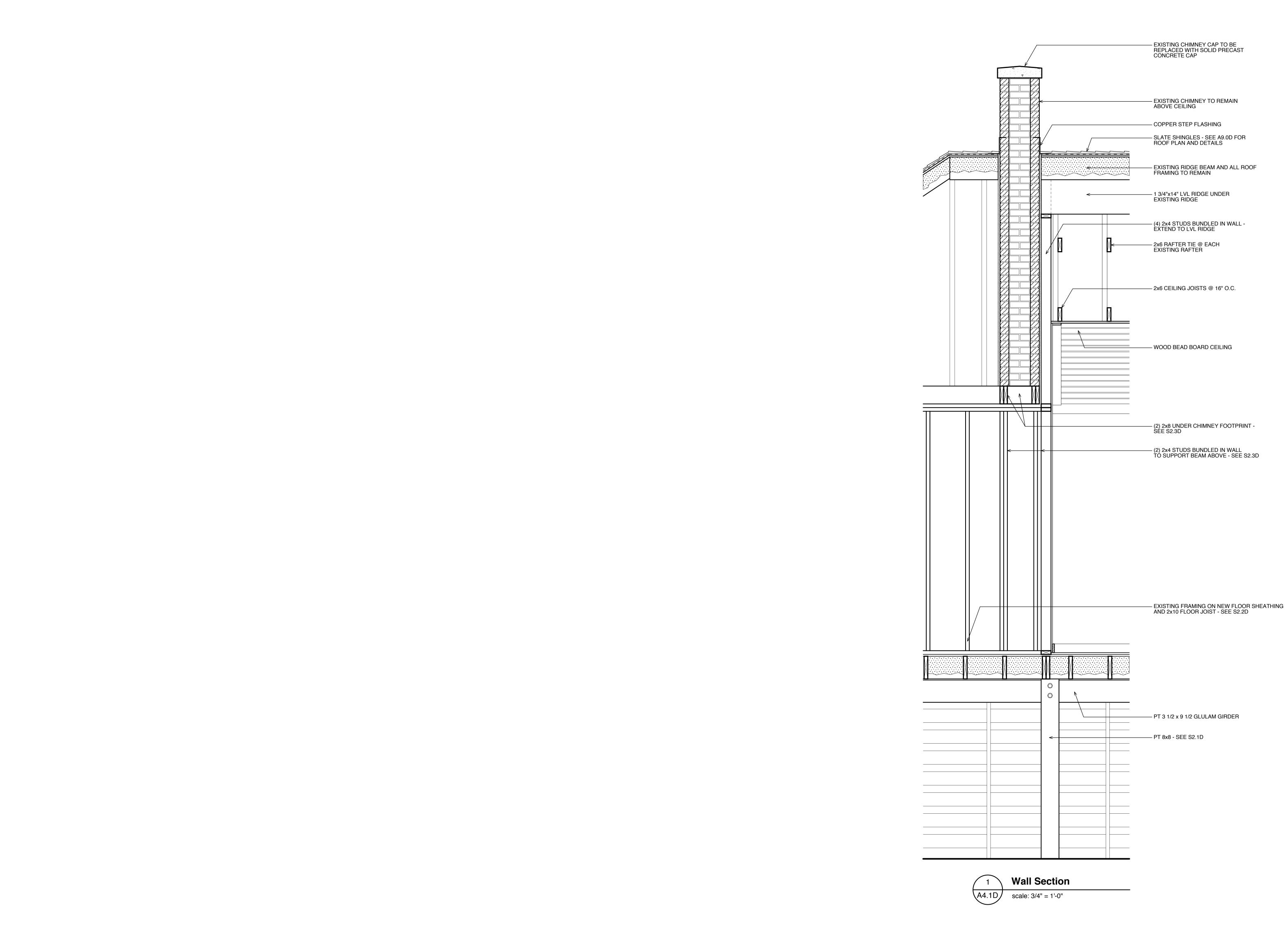
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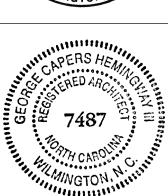
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Jan. 15, 2015
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Pine Island, Corolla, North Carolina

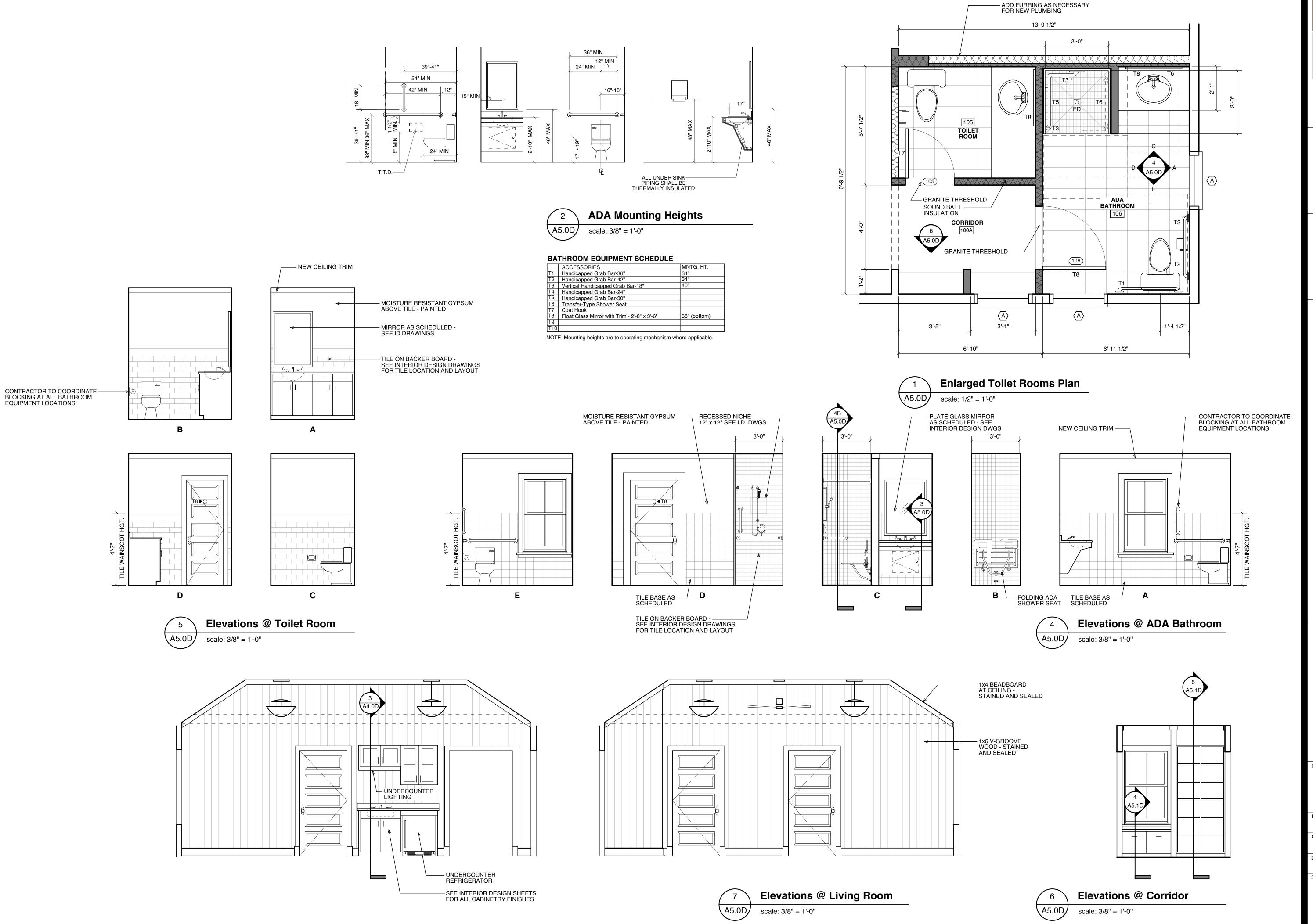
Guide's Quarters Wall Sections

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Hemingway

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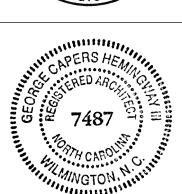


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DICE CARROLL C

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Guide's Cottage nlarged Floor Plans

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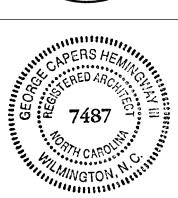
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Fax - (910) 762-8506





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Suide's Cottage

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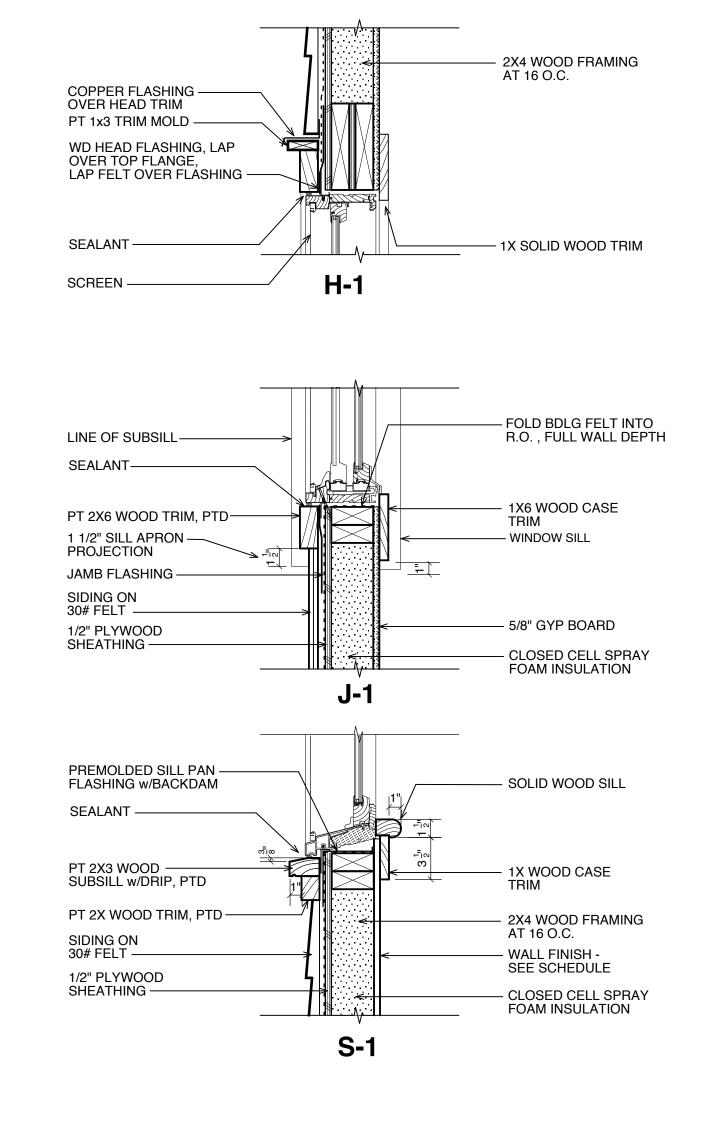
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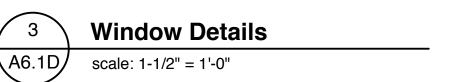
Guio	le's Quarters Room	Finish Sche	edule										
NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING		TRIM		NOTES	NO.
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
100	LIVING ROOM	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	V-JOINT WOOD	STAIN / SEALED	BEAD-BOARD WD	STAIN / SEALED	WOOD	STAIN / SEALED		100
100A	CORRIDOR	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	V-JOINT WOOD	STAIN / SEALED	BEAD-BOARD WD	STAIN / SEALED	WOOD	STAIN / SEALED		100A
101	MECHANICAL CLOSET	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	GYP. BD.	PAINT	GYP. BD.	PAINT	N/A	N/A		101
102	ACCESSIBLE BEDROOM-1	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	GYP. BD.	PAINT	BEAD-BOARD WD	STAIN / SEALED	WOOD	STAIN / SEALED		102
102A	CLOSET	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	GYP. BD.	PAINT	GYP. BD.	PAINT	N/A	PAINT		102A
103	ACCESSIBLE BEDROOM-2	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	GYP. BD.	PAINT	BEAD-BOARD WD	STAIN / SEALED	WOOD	STAIN / SEALED		103
103A	CLOSET	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	GYP. BD.	PAINT	GYP. BD.	PAINT	N/A	PAINT		103A
104	ACCESSIBLE BEDROOM-3	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	GYP. BD.	PAINT	BEAD-BOARD WD	STAIN / SEALED	WOOD	STAIN / SEALED		104
104A	CLOSET	HARDWOOD	STAIN / SEALED	WOOD	STAIN / SEALED	GYP. BD.	PAINT	GYP. BD.	PAINT	N/A	N/A		104A
105	TOILET	CER. TILE	SEALED GROUT	CER. TILE	SEALED GROUT	TILE/M.R. GYP.BD.	SEAL GROUT/PT	M.R. GYP. BD.	PAINT	WOOD	STAIN / SEALED		105
106	ADA BATHROOM	CER. TILE	SEALED GROUT	CER. TILE	SEALED GROUT	TILE/M.R. GYP.BD.	SEAL GROUT/PT	M.R. GYP. BD.	PAINT	WOOD	STAIN / SEALED		106
107	PORCH	P.T. WOOD	NATURAL	(EXTERIOR WALL)	(SEE ELEVATIONS)	(EXTERIOR WALL)	(SEE ELEVATIONS)	BEAD-BOARD WD	STAIN / SEALED	(EXTERIOR WALL)	(SEE ELEVATIONS)		107

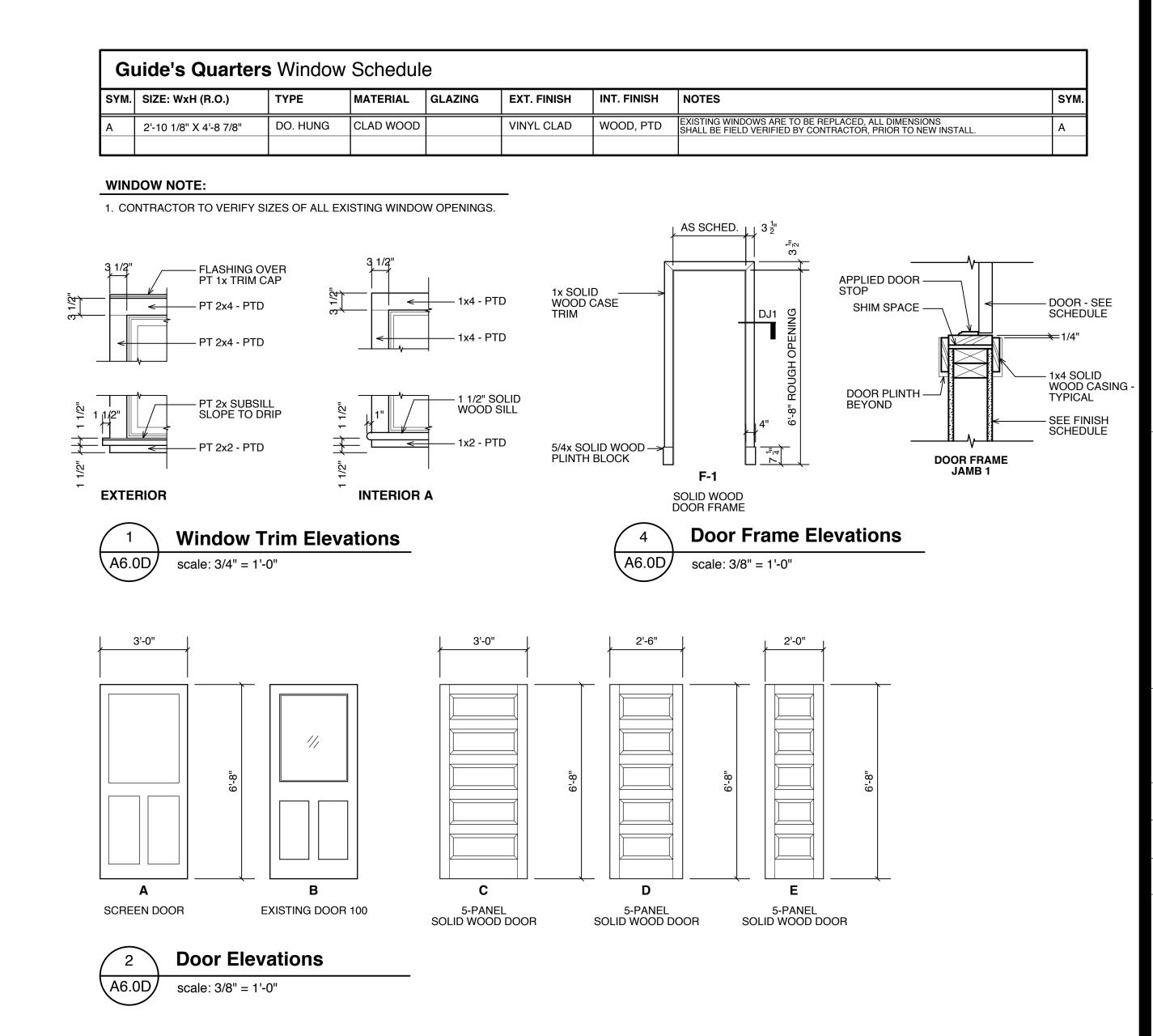
ABBREVIATIONS

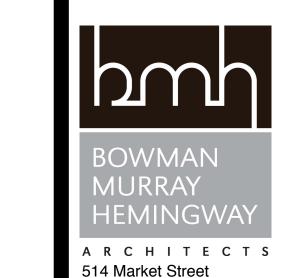
CER. = CERAMIC
FRP = FIBERGLASS REINF. PANEL
GYP.BD. = GYPSUM BOARD
M.R. = MOISTURE RESISTANT
PREFIN. = PREFINISHED
P.T. = PRESSURE TREATED
PT, PTD = PAINT
S.S. = STAINLESS STEEL
WD = WOOD

NO.	SIZE: WxHxT	DOOR MAT.	FRAME MAT.	DOOR ELE.	FRAME ELE.	HDW.	DOOR FINISH	FRAME FINISH	NOTES	NO.
FIRST	FLOOR	1		<u> </u>	<u> </u>		<u> </u>	<u> </u>		<u> </u>
100	EXIST 3'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	В	RESTORE EXIST.		PAINT	PAINT	SCREEN DOOR AT THIS LOCATION - ELEVATION A	100
101	2'-6" X 6'-8" X 1 1/2"	WOOD	WOOD	D	F-1		STAIN	STAIN		101
102	3'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	С	F-1		STAIN	STAIN		102
102A	2'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	Е	F-1		STAIN	STAIN		102A
103	3'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	С	F-1		STAIN	STAIN		103
103A	2'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	Е	F-1		STAIN	STAIN		103A
104	3'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	С	F-1		STAIN	STAIN		104
104A	2'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	Е	F-1		STAIN	STAIN		104A
105	2'-6" X 6'-8" X 1 1/2"	WOOD	WOOD	D	F-1		STAIN	STAIN		105
106	3'-0" X 6'-8" X 1 1/2"	WOOD	WOOD	С	F-1		STAIN	STAIN		106

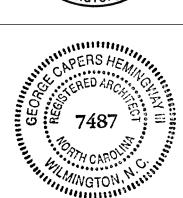












Sanctuary & Audubon Cerolla North Carolina

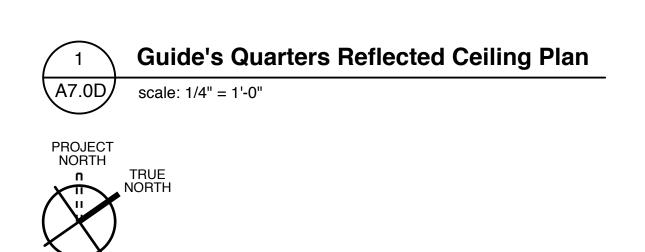
Guide's Quarters Schedules

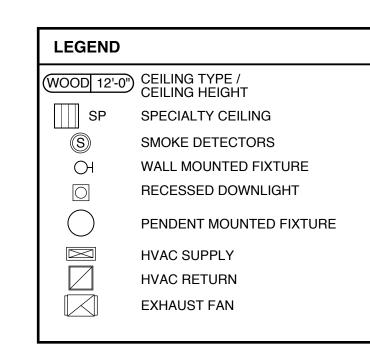
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DRAWN BY
Hill
CHECKED BY
Hemingway

DATE
Jan. 15, 2015
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### RCP NOTES:

 REFER TO SHEET E1.0D FOR POWER AND LIGHTING PLAN, DETAILS, AND FIXTURE INFORMATION. BOWMAN MURRAY HEMINGWAY

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514 Market Street
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Fax - (910) 762-8506





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ary & Audubon Cen

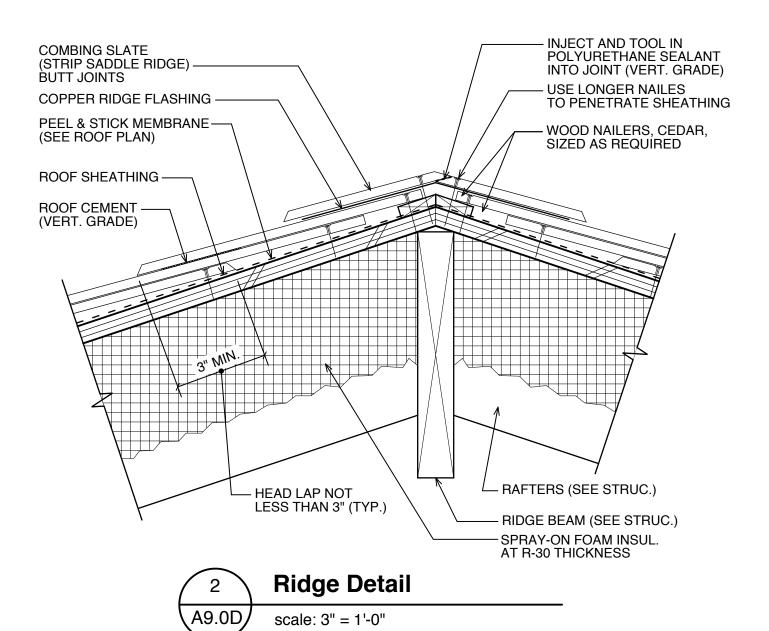
Guide's Quarters flected Ceiling Plan

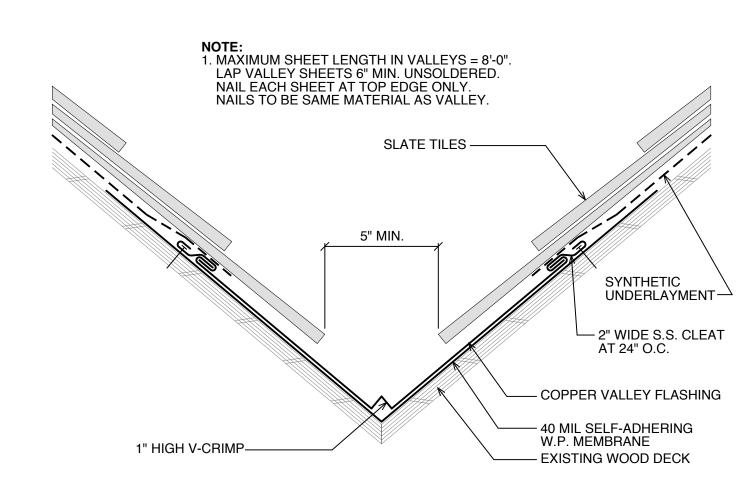
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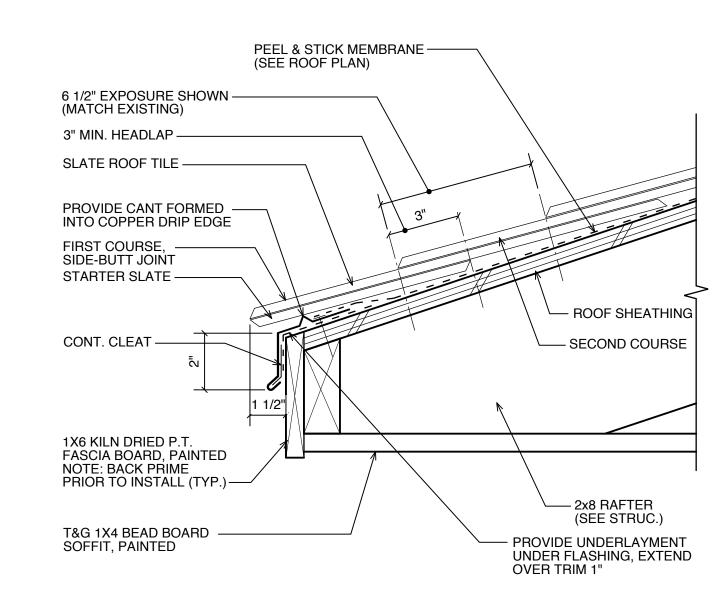
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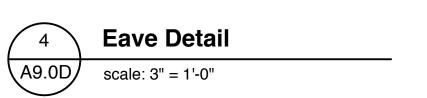
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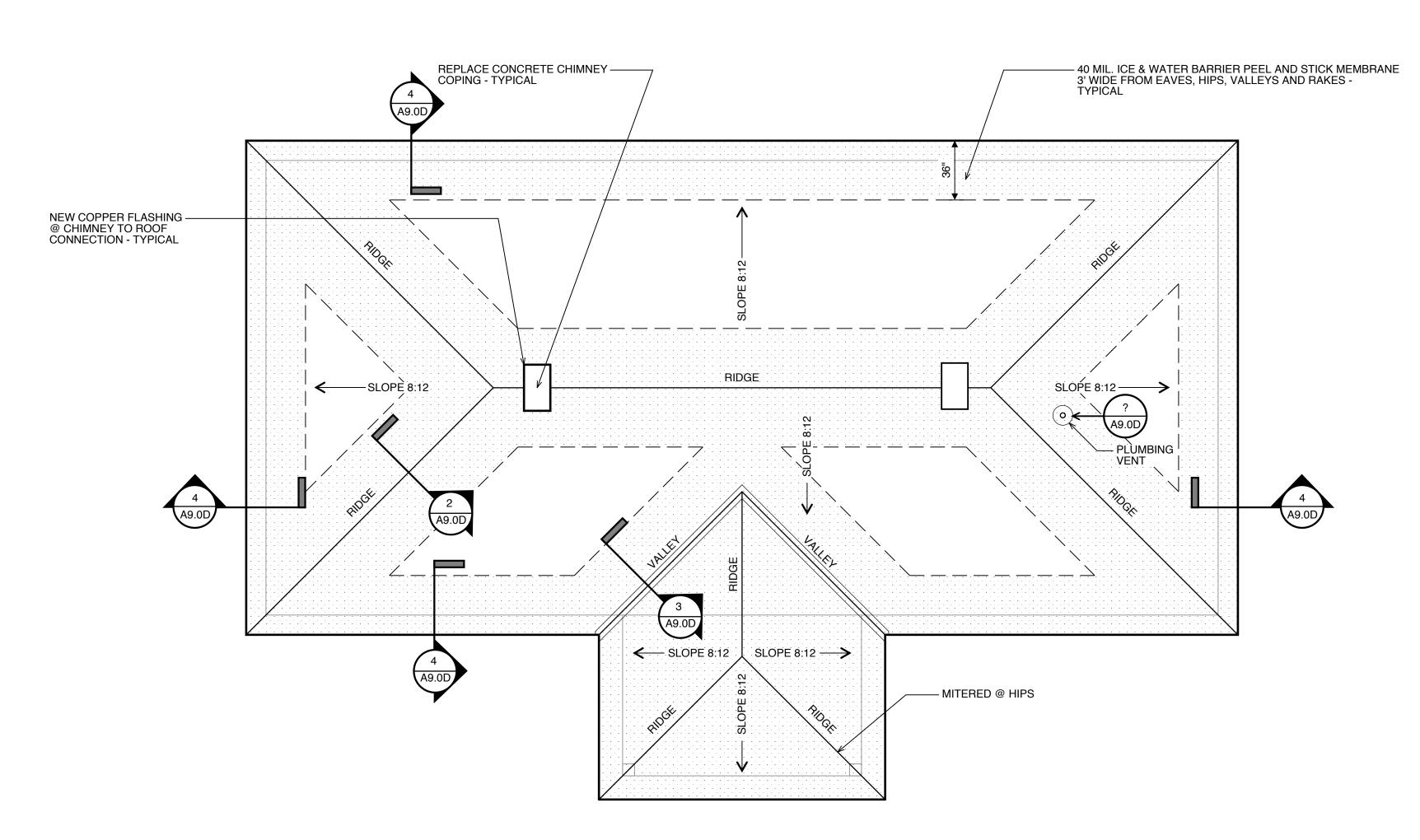


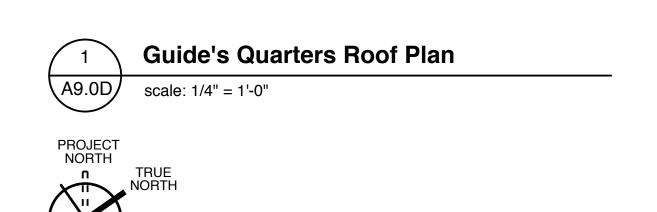


### **Open Valley Flashing Detail**







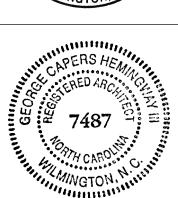


### **ROOFING NOTES:**

- REFER TO PLUMBING PLANS FOR LOCATION OF ROOF VENTS.
- 40 MIL. SELF ADHERING WATERPROOF MEMBRANE UNDERLAYMENT SHALL BE PROVIDED AT EAVES, GABLES, VALLEYS, AND RIDGES.
- 3. UNDERLAYMENT FOR FIELD AREAS SHALL BE WOVEN SYNTHETIC.
- 4. COPPER FLASHING SHALL BE 20 OUNCE.
- 5. ROOFING NAILS SHALL BE SOLID COPPER, SMOOTH-SHANK.
- 6. SEE SPECIFICATIONS FOR DETAILED INFORMATION ON ALL MATERIALS.
- SLATE PATTERN SHALL BE "STANDARD". SIZE, EXPOSURE, AND COLOR TO MATCH EXISTING SLATE INSTALLATION ON LODGE BUILDING.
- 8. HIPS AND VALLEYS TO BE MITERED.
- 9. DO NOT WALK ON INSTALLED SLATE.







REVISIONS

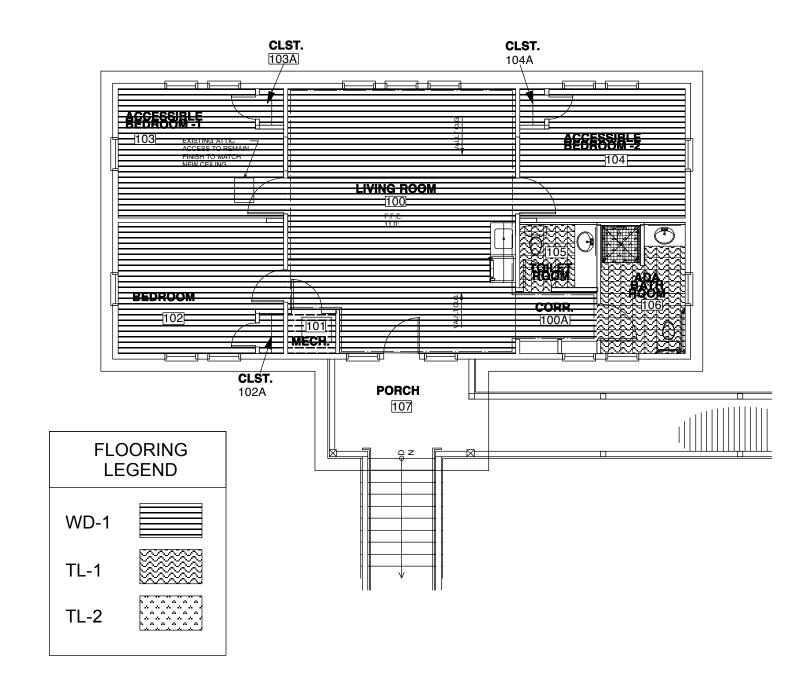
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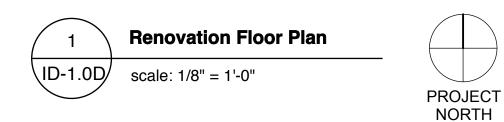
Jan. 15, 2015

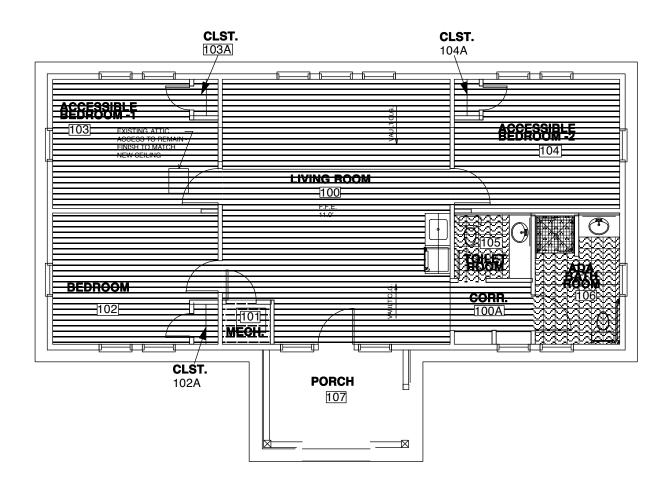
Hemingway

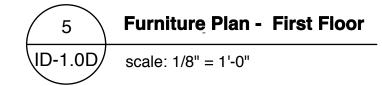
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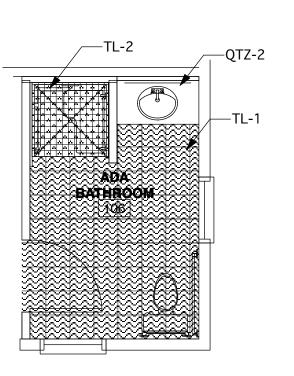
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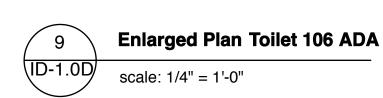


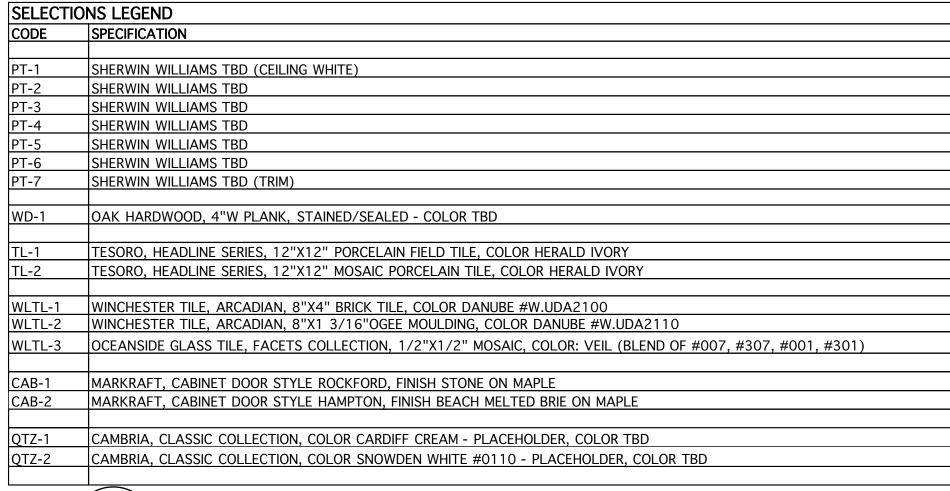








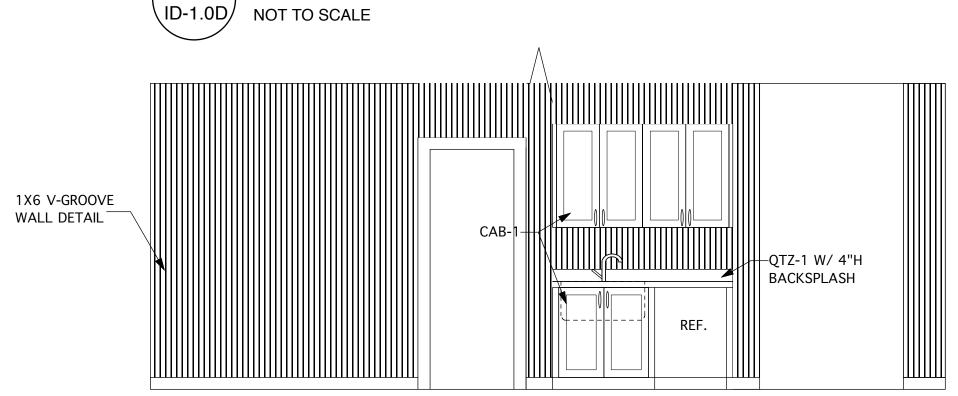




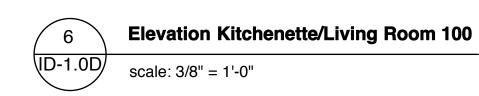
FINISH SC	HEDULE						
ROOM #	DESCRIPTION	FLOOR	BASE	WALLS - ALL THE	SAME UNLESS OT	HERWISE NOTED	
				NORTH	EAST	SOUTH	WEST
100	LIVING ROM	WD-1	WD-1	WAINSCOT, PT-			
100A	CORRIDOR	WD-1	WD-1	WAINSCOT, PT-			
101	MECHANICAL CLOSET	WD-1	WD-1	PT-			
102	BEDROOM	WD-1	WD-1	PT-			
102A	CLOSET	WD-1	WD-1	PT-			
103	ACCESSIBLE BEDROOM-1	WD-1	WD-1	PT-			
103A	CLOSET	WD-1	WD-1	PT-			
104	ACCESSIBLE BEDROOM-2	WD-1	WD-1	PT-			
104A	CLOSET	WD-1	WD-1	PT-			
105	TOILET	TL-1	WLTL-1	WLTL-1,WLTL-2,	WLTL-3, PT-		
106	ADA BATHROOM	TL-1, TL-2	WLTL-1	WLTL-1,WLTL-2,	WLTL-3, PT-		
107	PORCH	WD-	WD-1	PT-			



NOTES:
1. IF ANY DISCREPANCIES OR CLARIFICATIONS NEEDED, PLEASE CONTACT THE DESIGNER @ 910-793-3992 IMMEDIATELY. DESIGNER NOT RESPONSIBLE FOR OTHERS INTERPRETATION OF DRAWINGS
2. ALL TRIM TO BE PT-7, SEMI-GLOSS.
3. ALL CEILINGS THAT RECEIVE PAINT TO BE PT-1
4. ALL ADA GRAB BARS TO BE RESIDENTIAL UPGRADED STYLE, PROVIDE APPROPRIATE ALLOWANCE. DESIGNER TO SELECT AT SHOP DRAWING REVIEW.
5. WLTL-3 INSTALLED AS 4"H BAND IN TOILET 106 & TOILET 105.
6. TL-1, TL-2, TL-3 INSTALLED IN FRENCH PATTERN AS DRAWN IN KITCHEN, KITCHEN PANTRY AND SERVING PANTRY
7. CAB-1 LIVINGROOM. CAB-2 IN TOILET 105 & 106.
8. ALL ADA GRAB BARS TO BE RESIDENTIAL UPGRADED STYLE, PROVIDE APPROPRIATE ALLOWANCE. DESIGNER TO SELECT AT SHOP DRAWING REVIEW.
9. ALL COUNTER TOPS TO BE INSTALLED W/ 4"H BACKSPLASH. QTZ-1 IN LIVING ROOM. QTZ-2 IN TOILET 105 & 106.
10. CONTINUE WALL TILE IN BATHROOMS AS SHOWN, MIRRORS INSTALLED ABOVE.
11. CONTRACTOR TO PROVIDE TRIM PIECES SUCH AS BULLNOSE PIECES AS NEEDED FOR EDGE CONDITIONS INCLUDING SHOWER NICHE.
12. CONTRACTOR TO PROVIDE APPROPRIATE ALLOWANCE FOR ALL CABINET PULLS, DESINGER TO SELECT AT SHOP DRAWING REVIEW.
13. TOILET ACCESSORIES TO HAVE ALLOWANCE BASED ON COLLECTION SHOWN ABOVE. DESIGNER TO SELECT AT SHOP DRAWING REVIEW. PROVIDE BLOCKING FOR ALL.
14. REFER TO CABINETRY PACKAGE DRAWINGS PROVIDED BY MARKRAFT FOR BATHROOM & KITCHEN LAYOUT & DOOR STYLE. DRAWINGS ON THIS SHEET ARE FOR SCHEMATIC PURPOSES ONLY.
15. PAINTED WOOD WAINSCOT BELOW CHAIR RAIL IN LIVING ROOM & CORRIDOR. TO CONTINUE AT KITCHENETTE CABINETRY (SEE ELEVATION 5-1.0D).
16. LIVING ROOM WALLS TO BE 1X6 V-GROOVE WOOD.
17. LIVING ROOM CEILING TO BE 1X4 BEADBOARD WOOD.



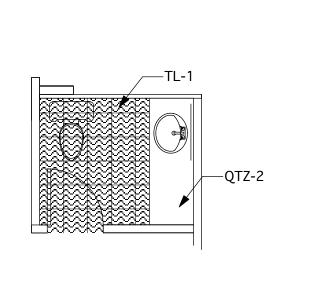


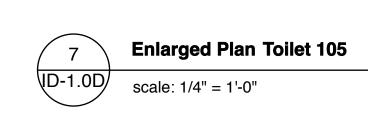


Finish Legend

\ID-1.0D\ NOT TO SCALE

**Finish Notes** 

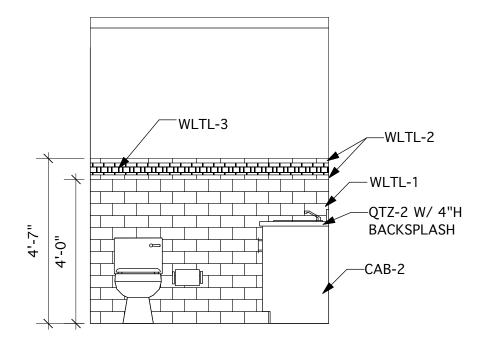


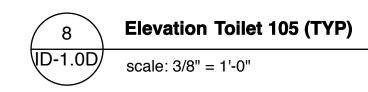


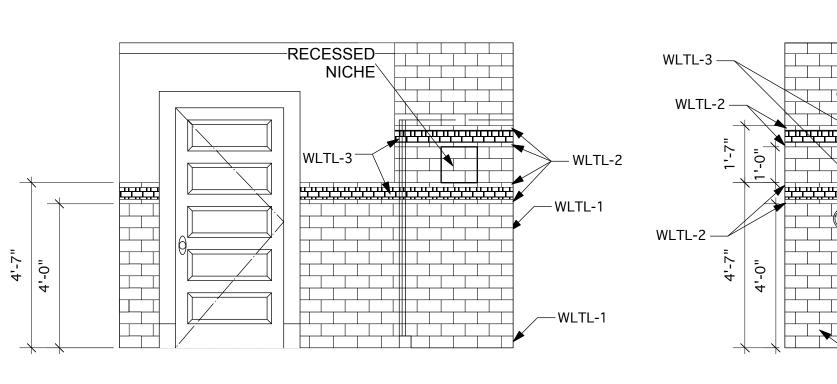
FRAMED MIRROR,

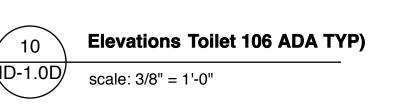
3" MOULDING, PAINTED

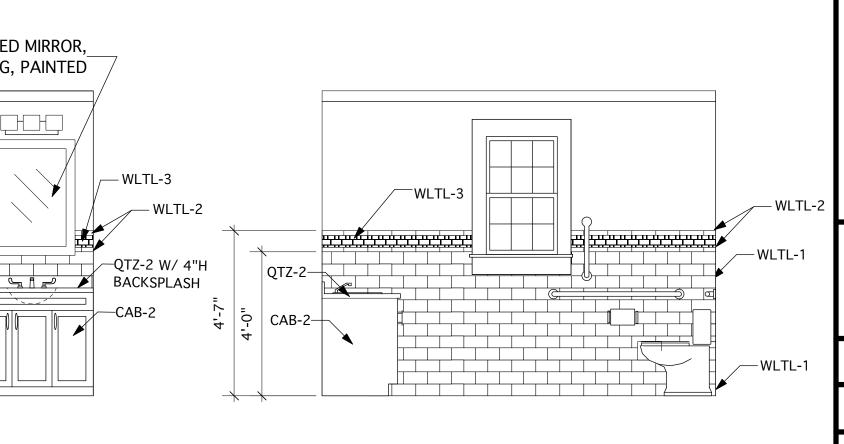
WLTL-1

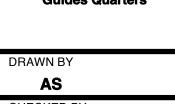












JANUARY 15, 2015 SHEET NUMBER

ID 1.0 D

BOWMAN MURRAY HEMINGWAY ARCHITECTS 514 Market Street Wilmington, NC 28401

phone 910.762.2621 fax 910.762.8506

www.bmharch.com





THE DON. Sanctuary

REVISIONS 1/15/2015

**Guides Quarters** 

CHECKED BY

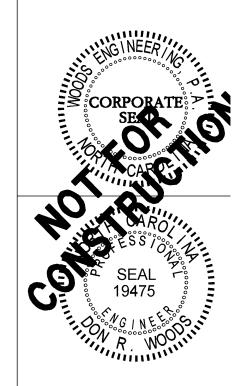
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1. SEE SHEET S1.1 FOR FOUNDATION AND PILING NOTES.





THE DONAL C. O'BRIEN JR: Sanctuary & Audubon Center Pine Island, Corolla, North Caroli

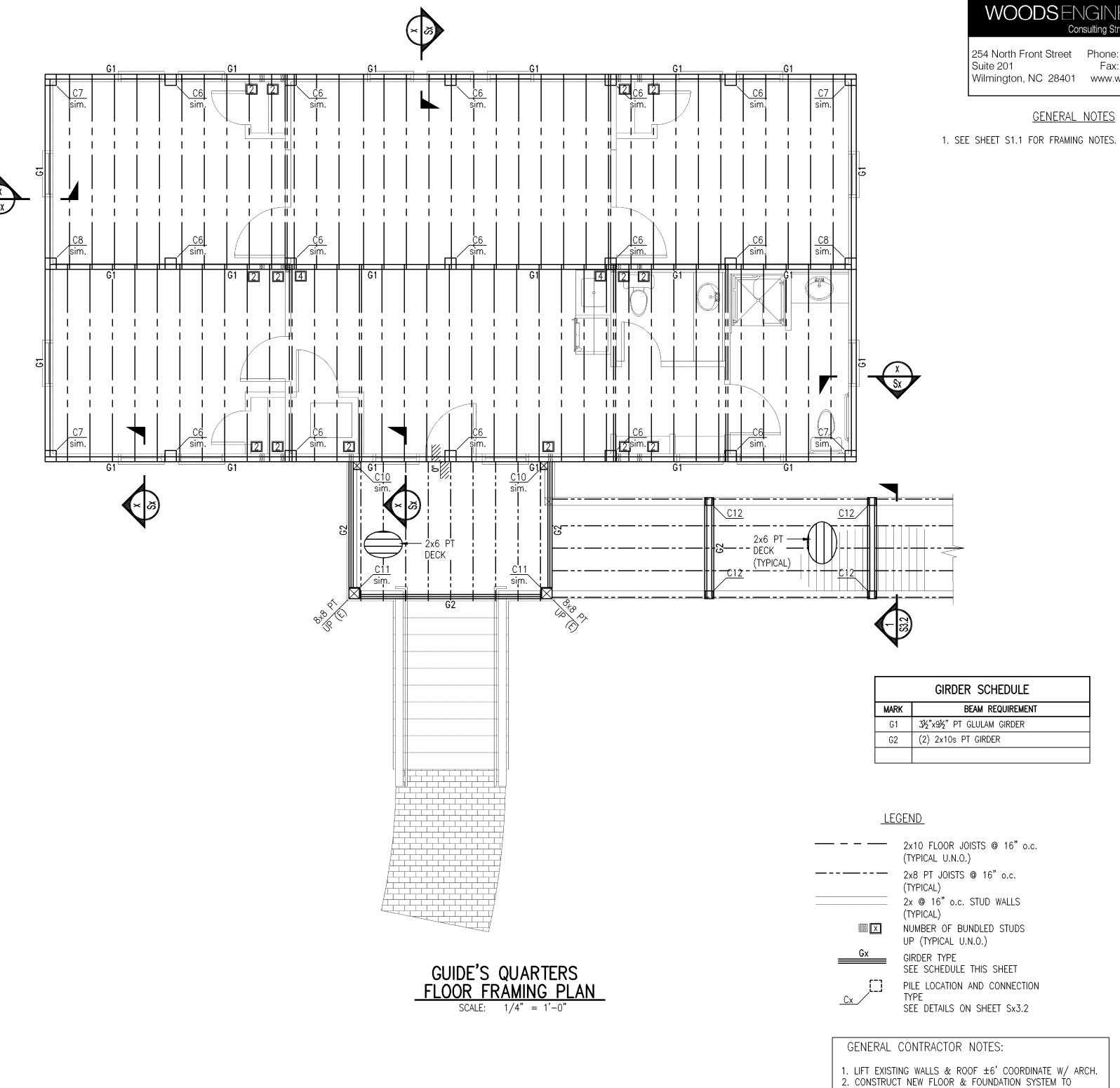
REVISIONS

DRAWN BY JAY CHECKED BY

DRW DATE July 18, 2014

SHEET NUMBER

S2.1D



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BOWMAN

HEMINGWAY

ARCHITECT

MURRAY

O'BRIEN JR: dubon Center THE DONAL (Sanctuary & A)
Pine Island, Corol

Guide's Quarters First Floor Framing Plan

REVISIONS

SUPPORT RAISED STRUCTURE

DRAWN BY JAY

CHECKED BY DRW

DATE July 18, 2014 SHEET NUMBER



Suite 201 Fax: 910.343.8088 Wilmington, NC 28401 www.woodseng.com

1. SEE SHEET S1.1 FOR FRAMING NOTES.

GENERAL NOTES

ARCHITECT 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506

BOWMAN

**HEMINGWAY** 

MURRAY

<u>LEGEND</u>

(TYPICAL)

\_\_\_\_\_ NEW 2x @ 16" o.c. STUD WALLS BELOW (TYPICAL) EXISTING 2x STUD WALLS BELOW (TYPICAL) NUMBER OF BUNDLED STUDS

DOWN (TYPICAL U.N.O.) EXISTING HEADER TYPE NEW HEADER TYPE SEE SCHEDULE THIS SHEET

SEE SCHEDULE THIS SHEET

NEW LOAD BEARING WALL TYPE BELOW
SEE SCHEDULE THIS SHEET

SCALE: 1/4" = 1'-0"

GUIDE'S QUARTERS ROOF FRAMING PLAN

LOAD BEARING WALL (LBW) SCHEDULE

LBW1 2x4 SPRUCE-PINE-FIR (SPF) #2 @ 16" o.c.

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STUD WALL REQUIREMENT

	HEADER SCHEDULE	JAMB REQ	UIREMENTS
MARK	HEADER REQUIREMENTS	EXTERIOR WALLS	INTERIOR WALLS
H1	(2) 2x6s WITH ½" PLYWOOD IN BETWEEN	-	(1) KING/(1) JACI

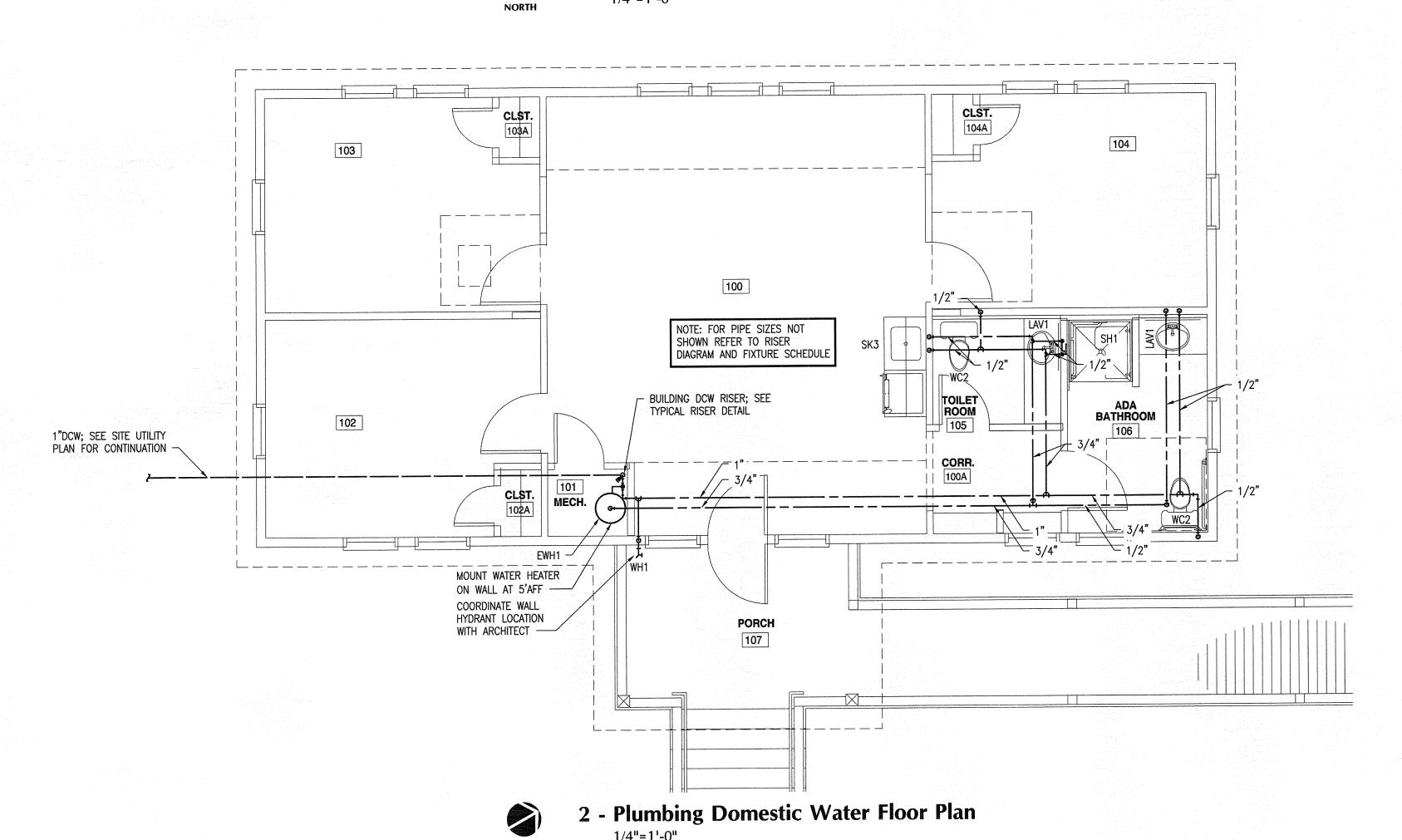
	BEAM SCHEDULE										
MARK BEAM REQUIREMENT											
B1	(2) 2x8s BEAM										

O'BRIEN JR: dubon Center a, North Carolina y & Audubon Co Corolla, North ( THE DONAL (
Sanctuary & Ai

REVISIONS

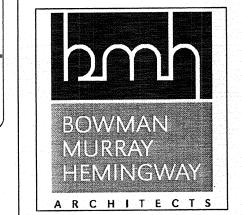
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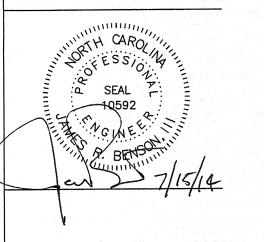




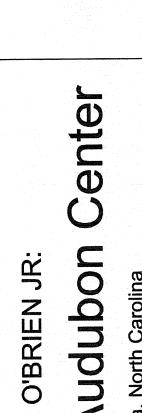
3808 Park Avenue Wilmington, NC 28403 © Copyright 2014 CBHF Engineers, PLLC www.cbhfengineers.com NC# P-0506



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3 - Waste - Vent Riser Diagram No Scale



**∞**ŏ

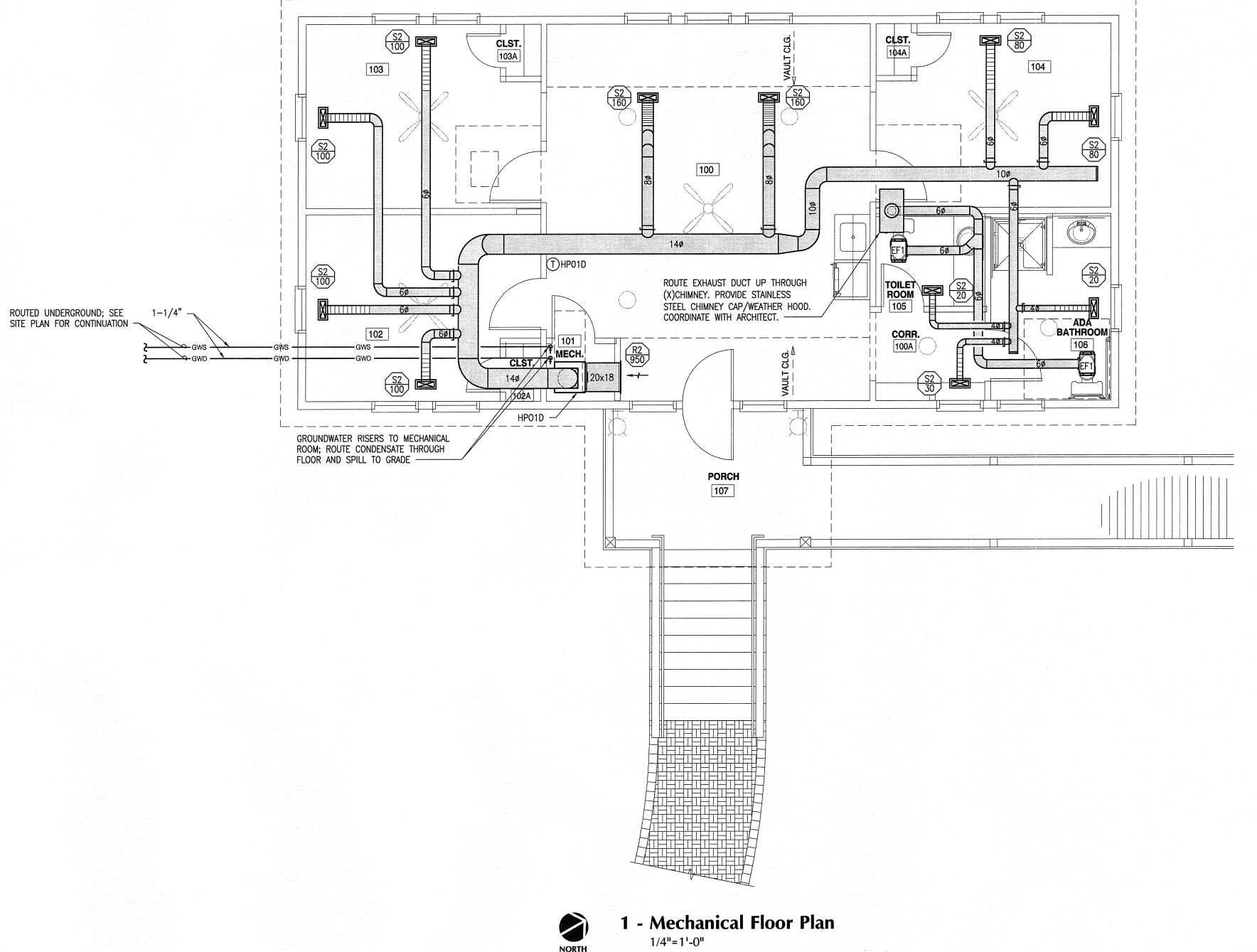
REVISIONS

JOB NUMBER 13038

**DRAWN BY** CHECKED BY JRB

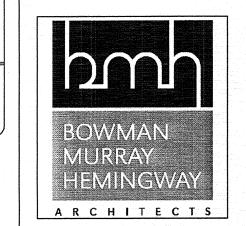
July 15, 2014 SHEET NUMBER

P1.1D

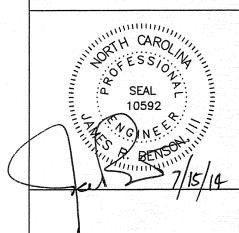




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### O'BRIEN JR: Audubon **∞**ŏ

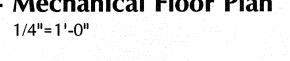
JOB NUMBER 13038

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DATE July 15, 2014 SHEET NUMBER

M1.1D



WASTEWATER

TREATMENT CONTROL

2#10 & 1#10 EG - 3/4" C.

3#3/0 - 1 1/2" C.

E1.0D not to scale

UTILITY COMPANY METERING EQUIPMENT

1ø, 3W, 120/240V UNDERGROUND SERVICE — BY UTILITY COMPANY

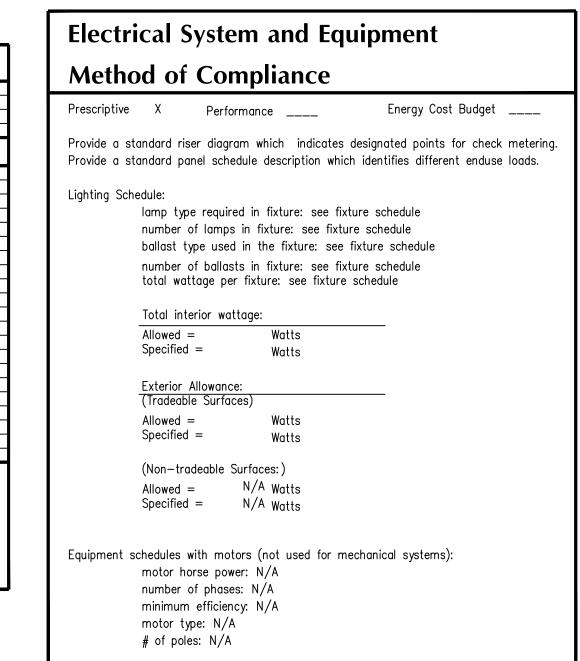
FIN. GRADE

R00F

FIN. FLOOR

PAVILLION PANEL "PP"

1ø, 3W, 120/240V



2#10 & 1#10 EG − 3/4" C.—←

-ENGRAVED NAMEPLATE,

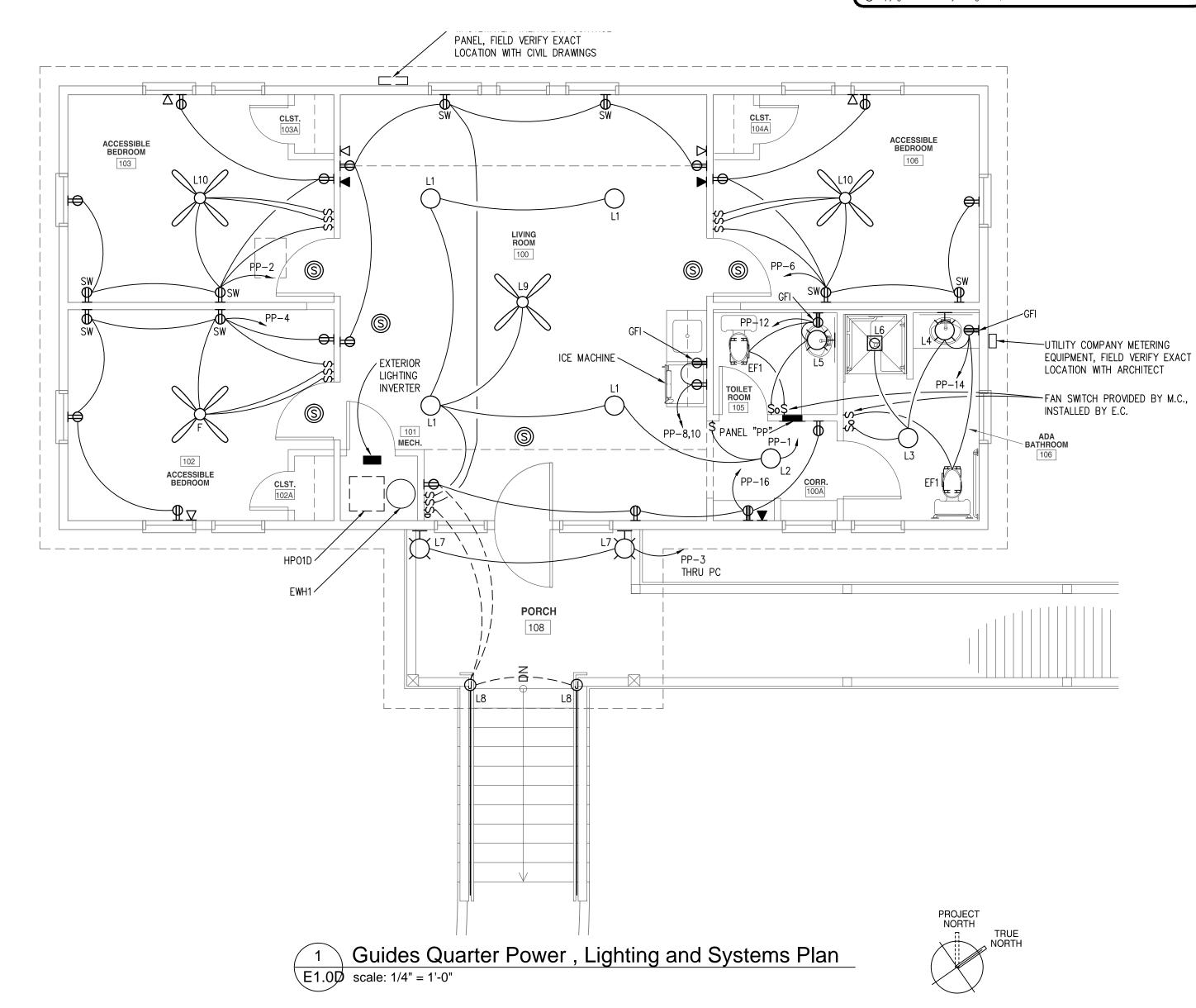
SEE 3/E1.0D

SEE 4/E0.5

— SEE 1/E0.5

Guides Quarters Power Riser Diagram

1ø, 3W, 120/240V WARNING LABEL,



### Fire Alarm Legend

SMOKE ALARM, CEILING MOUNTED IN INSIDE AND OUTSDIE OF EACH BEDROOM AND.
IN THE EGRESS PATH IN LIVING ROOM. SMOKE ALARMS SHALL BE UL417 LISTED, NCSBC
SECTION 907 COMPLIANT, 120 VAC WITH INTERNAL BACKUP BATTERY, WITH
IONIZATION AND PHOTOELCETRIC SENSORS. KIDDE MODEL PI2010 OR APPROVED EQUAL.
ALL BEDROOM AND LIVING ROOM ALARM UNITS IN EACH DWELLING UNIT SHALL BE

SWITCHBOARD DESIGNATION 5/8" WHITE ENGRAVED LETTERS—	0	
SOURCE DESIGNATION 1/2" WHITE ENGRAVED LETTERS  RATING DESIGNATION 1/2" WHITE ENGRAVED LETTERS  VOLTAGE & PHASE DESIGNATION	PANEL "PP"  SOURCE: UTILITY CO. TRANSFORMER  RATING: 200 AMPS  VOLTAGE: 1ø, 3W, 120/240V	2 1/2"
1/2" WHITE ENGRAVED LETTERS	LENGTH AS REQUIRED	MACHINE SCREW WITH ACORN NUT AND LOCKWASHER, TYP.
	NOTE: SEE SPECS. SECTION 16195 FOR NAMEPLATE AND ENGRAVING COLORS.	MATERIAL
	<sup>3</sup> Panelboard Namepl	ate Detail

E1.0D not to scale

WELL PUMP WP1

2#10 & 1#10 EG - 3/4" C.

3#3 − 1" C.—

PUMP WP2

/ARK	DESCRIPTION.	SIZE/APERTURE	VOLTS	LAMPS	WATTS	LENS	TRIM/DOOR	TRIM COLOR	MOUNTING HEIGHT	REMARKS	MANUFACTURER
L1	PENDANT MOUNTED FLUORESCENT	TBD	UNIV	TBD	TBD	TBD		TBD	PENDANT CEILING	ELECTRONIC BALLAST, SLOPED CEILING ADAPTER	SELECTED BY ARCHITECT
_2	SURFACE MOUNTED FLUORESCENT	TBD	UNIV	TBD	TBD	TBD		TBD	SURFACE CEILING	TBD	SELECTED BY ARCHITECT
L3	SURFACE MOUNTED FLUORESCENT	TBD	UNIV	TBD	TBD	TBD		TBD	SURFACE CEILING	TBD	SELECTED BY ARCHITECT
L4	WALL MOUNTED FLUORESCENT	TBD	UNIV	TBD	TBD	TBD		TBD	WALL OVER MIRROR	TBD	SELECTED BY ARCHITECT
.5	WALL MOUNTED FLUORESCENT	TBD	UNIV	TBD	TBD	TBD		TBD	WALL OVER MIRROR	TBD	SELECTED BY ARCHITECT
L6	RECESSED FLUORESCENT DOWNLIGHT	6" ROUND	UNIV	1-26W DTT	30			WHITE	FLUSH CEILING	ELECTRONIC BALLAST, CLEAR ALZACK REFLECTOR, WET LOCATION LABEL	LITHONIA "AFV" SERIES
L7	WALL MOUNTED FLUIORESCENT		120	1-32W DTT	40	CLEAR GLASS		GALVANIZED ALUMINUM	WALL FILED VERIFY	ELECTRONIC BALLAST, 24" PROJECTION, SMALL GLASS JAR, WET LOCATION LABEL	TREND LIGHTING "A1-B3" SERIES
_8	WALL MOUNTED LED		120	1-5W LED	5			GREY	RECESSED WALL, FIELD VERIFY	MOLDED COMPOSITE FACEPLATE, WET LOCATION LABEL	GARDCO "960" SERIES
L9	PENDANT MOUNTED CEILING FAN	TBD	120	TBD	TBD	TBD		TBD	PENDANT CEILING	TBD	SELECTED BY ARCHITECT
10	SURFACE MOUNTED CEILING FAN	TBD	120	TBD	TBD	TBD		TBD	SURFACE CEILING	TBD	SELECTED BY ARCHITECT

1. ALL 4' FLUORESCENT LAMPS SHALL BE 3500 K, F032, 2950 MINIMUM LUMENS. OTHER LAMPS SHALL BE AS SCHEDULED.

ACRYLIC PRISMATIC LENSES SHALL BE 0.156" NOMINAL MINIMUM THICKNESS.

FLUORESCENT FIXTURES SHALL BE PROVIDED WITH 0.88 MINIMUM BALLAST FACTOR, 2, 3 OR 4 LAMP, DOMESTIC, ELECTRONIC BALLASTS WITH 5 YEAR WARRANTY. PROVIDE MANUFACTURER INSTALLED NEC 2008 ARTICLE 410.130 (G) COMPLIANT DISCONNECTING MEANS FOR ALL APPLICABLE FIXTURES.

ROOF

FIN. FLOOR

\_\_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ FIN. CEILING

→ 2#10 & 1#10 EG - 3/4" C.

2P SU HP01D

McFadyen Engineers, PLLC

4411 Peachtree Avenue Wilmington, NC 28403 Phone: 910.399.1125

Phone: 910.399.1125
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NC# P-1010

BOWMAN
MURRAY
HEMINGWAY

ARCHITECTS

514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621



nter

THE DONAL C. O'BRIEN JR:

anctuary & Audubon Ce

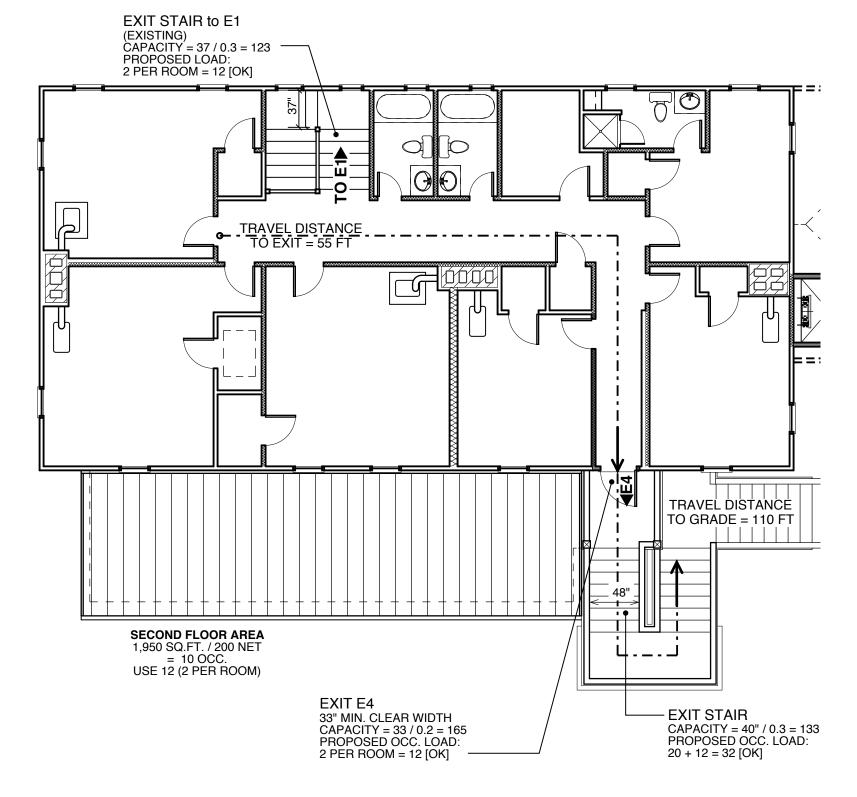
uide's Quarters Power, Lighting and Systems

REVISIONS

DRAWN BY
WPJ
CHECKED BY
RDM

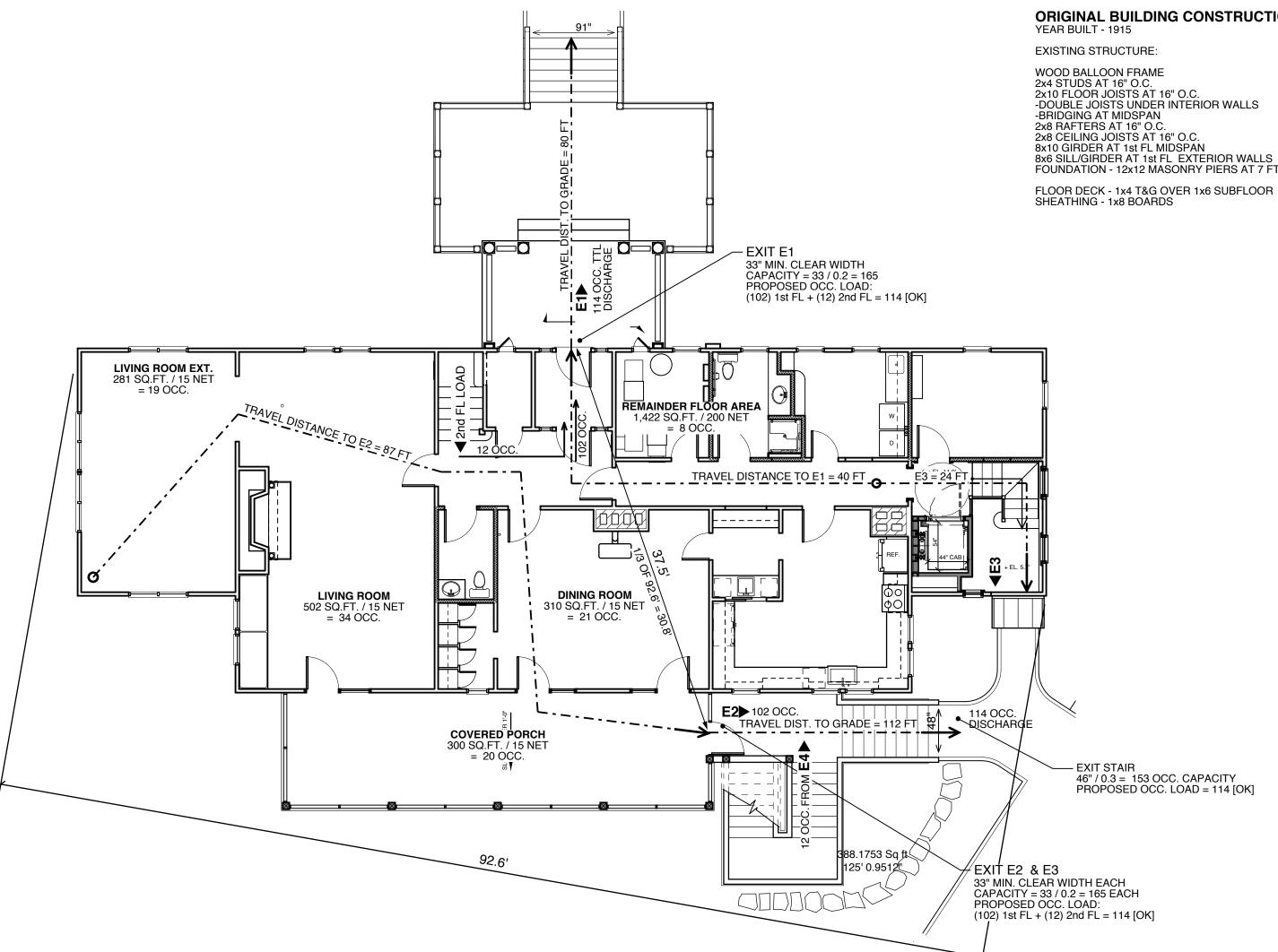
JULY 15, 2014
SHEET NUMBER

E1.0D



### **Second Floor Life Safety Plan**

A G1.0 B scale: 1/8" = 1'-0"



### First Floor Life Safety Plan

A G1.0 B scale: 1/8" = 1'-0"

### **BUILDING DATA**

Name of Project: T	he Donal C. O'Brien J	r. Sanctuary & Au	dubon C	Center 1913 Lo	odge Alterati	ion
_	ubon Drive, Corolla, N	-			Zip Code	
	ngle Family Residence					
			- //- 0.46	700 0004	E	<del></del>
	ed Agent Chip Hemir	<del></del>			E-mail <u>nem</u>	ingway@bmharch.com
Owned By:	∐ Ci	ty / County	F	Private		State
Code Enforcement	Jurisdiction: Ci	ty: Corolla		County: Curri	tuck	☐ DOI/DHSR
LEAD DESIGN PRO	OFESSIONAL: Chip Her	mingway AIA, Bowmai	n Murray H	lemingway Architec	ts	
DESIGNER Architectural Civil Electrical Fire Alarm Plumbing Mechanical Sprinkler/Standpip Structural Retaining Walls > 5 Other -	Woods Engineering	NAME Chip Hemingway Joe Anlauf Duncan McFadyen  Jim Benson Jim Benson Jim Benson Don Woods  Andy Deel	7487 26980 8433 10592 10592 10592 19475 25158	910-762-2621 252-489-7143 910-399-1125 910-791-4000 910-791-4000 910-791-4000 910-343-8007 252-202-3803	jbenson@cbh jbenson@cbh jbenson@cbh	Ocharter.net mcfadyenengineers.com ifengineers.com ifengineers.com ifengineers.com ifengineers.com voodseng.com
CONSTRUCTED: (	econstruction	<del></del>	USE(S)	Addition Repair (Ch. 3): Res (Ch. 3): Res S) (Ch. 3): Res	idence	lpfit lenovation
BASIC BUILDING D		Піі-а Г	TIII-A	□ıv	∏v-a	

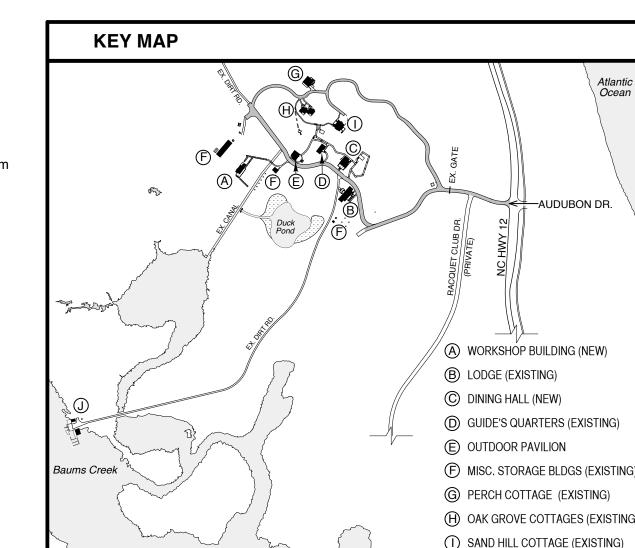
BASIC BUILDING DATA Construction Type:	∏I-A	ПII-A	∏III-A	□ıv	∏v-a
(check all that apply)	 □I-B	 ∏II-В	 ∏Ш-В	_	V-B
Sprinklers: No	Partial	Yes	NFPA 13	NFPA 13R	NFPA 13D
Standpipes: No	Yes	Class:		□III □We	et Dry
Fire District: No	Yes	Flood Ha	azard Area:	□No	Yes*
Building Height: 32	2Feet				g will be raised above ane on a pile foundation

### **GROSS BUILDING AREA:**

Floor	Existing (sq ft)	New (sq ft)	Sub Total (sq ft)	Renovated	Altered
Second Floor	1,950	0	1,950		
First Floor	2,700	440	3,140		
Ground Floor		166			
Total	4,650	606	5,256		

### ORIGINAL BUILDING CONSTRUCTION DATA

8x6 SILL/GIRDER AT 1st FL EXTERIOR WALLS FOUNDATION - 12x12 MASONRY PIERS AT 7 FT +/- O.C.



### (J) BOAT BUILDINGS (EXISTING) 1913 LODGE - INDEX OF DRAWINGS DATA SHEET ARCHITECTURAL

LODGE SITE PLAN FIRST FLOOR ABATEMENT PLAN A0.3 B SECOND FLOOR ABATEMENT PLAN GROUND FLOOR PLAN A1.0 B EXISTING/DEMOLITION FIRST FLOOR PLAN

RENOVATION FIRST FLOOR PLAN A1.1 B A1.2 B EXISTING/DEMOLITION SECOND FLOOR PLAN

RENOVATION SECOND FLOOR PLAN A2.0 B EXISTING ELEVATIONS EXISTING ELEVATIONS A2.1 B

A2.2 B RENOVATION ELEVATIONS A2.3 B RENOVATION ELEVATIONS A3.0 B **BUILDING SECTIONS** A3.1 B **BUILDING SECTION** A4.0 B WALL SECTIONS

WALL SECTIONS WALL SECTION ENLARGED PLANS A5.1 B **ENLARGED PLANS** 

G1.0 B

MILLWORK ELEVATIONS FINISH SCHEDULE DOOR AND WINDOW SCHEDULES

FIRST FLOOR REFLECTED CEILING PLAN SECOND FLOOR REFLECTED CEILING PLAN **ROOF PLAN** 

**INTERIOR DESIGN** 

FLOOR PATTERN DRAWINGS & ELEVATIONS FLOOR PATTERN DRAWINGS & ELEVATIONS

STRUCTURAL

EXISTING AND DEMOLITION

S2.1 B PILING PLAN FIRST FLOOR FRAMING S2.3 B SECOND FLOOR FRAMING

ROOF FRAMING PLAN

**PLUMBING** 

FIRST FLOOR PLUMBING SECOND FLOOR PLUMBING

**MECHANICAL** 

FIRST FLOOR MECHANICAL SECOND FLOOR MECHANICAL

**ELECTRICAL** 

FIRST FLOOR DEMOLITION E1.0 B

E1.1 B SECOND FLOOR DEMOLITION E2.0 B FIRST FLOOR POWER, LIGHTING AND SYSTEMS

E2.1 B SECOND FLOOR POWER, LIGHTING AND SYSTEMS E2.2 B ATTIC POWER & LIGHTING SYSTEMS PLAN

E2.3 B POWER RISER DIAGRAM







on ∞

1913 Lodge Building Data Sh

REVISIONS

DRAWN BY Tyhacz

CHECKED BY Hemingway DATE

Jan. 15, 2015 SHEET NUMBER







AL C. O'BRIEN JR.

Audubon Cente

ie Lodge ite Plan

REVISIONS

DRAWN BY Hill

CHECKED BY
Hemingway

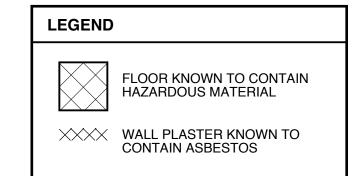
Jan. 15, 2015
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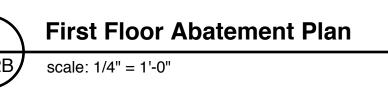
A0.1B

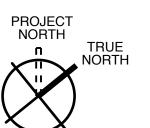


BASED ON TESTING ANALYSIS, THE FOLLOWING MATERIALS SHOULD BE CONSIDERED TO BE ASBESTOS CONTAINING MATERIALS:

- 1. WALL PLASTER THROUGHOUT STRUCTURE. (6,500 sq. ft.)
- 2. WALL PLASTER WITHIN THE 1st FLOOR HOT WATER HEATER ROOM. (300 sq. ft.)
- 3. LINOLEUM FLOORING, WOOD PATTERN, WITHIN GROUND FLOOR RESTROOMS AND 2ND FLOOR HALLWAY RESTROOMS. (80 sq. ft.)













o'Brien jr.

Idubon Cente

Sanctuary & Audubor

13 Lodge First Floor Abatement Plan

REVISIONS

DRAWN BY
Hill
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Hemingway

DATE
Jan. 15, 2015

SHEET NUMBER

A0.2 B

REVISIONS

CHECKED BY Hemingway DATE Jan 15, 2015

SHEET NUMBER

A0.3 B

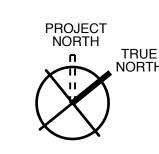
62'-10" ALL ASBESTOS CONTAINING MATERIALS
 TO BE ABATED THROUGHOUT ENTIRE STRUCTURE 



A0.3B

**Second Floor Abatement Plan** 

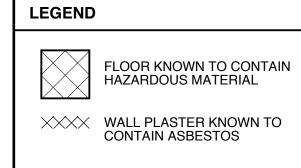
scale: 1/4" = 1'-0"





BASED ON TESTING ANALYSIS, THE FOLLOWING MATERIALS SHOULD BE CONSIDERED TO BE ASBESTOS CONTAINING MATERIALS:

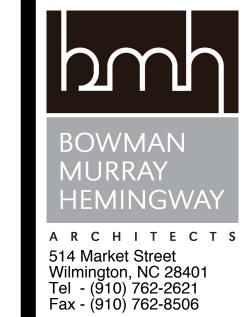
- 1. WALL PLASTER THROUGHOUT STRUCTURE. (6,500 sq. ft.)
- 2. WALL PLASTER WITHIN THE 1st FLOOR HOT WATER HEATER ROOM. (300 sq. ft.)
- 3. LINOLEUM FLOORING, WOOD PATTERN, WITHIN GROUND FLOOR RESTROOM AND 2ND FLOOR HALLWAY RESTROOMS. (80 sq. ft.)



MURRAY **HEMINGWA** ARCHITECTS 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506











§ **∞** 

Lodge Grou Floor Plan

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Jan. 15, 2015

A0.4 B

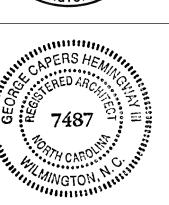
URRAY HEMINGWA ARCHITECTS 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621

Fax - (910) 762-8506

DEMOLITION NOTES: NOTES APPLY TO LODGE IN ENTIRETY EVEN SHOWN ON FLOOR PLAN.

1 REMOVE ALL WINDOWS.





REVISIONS

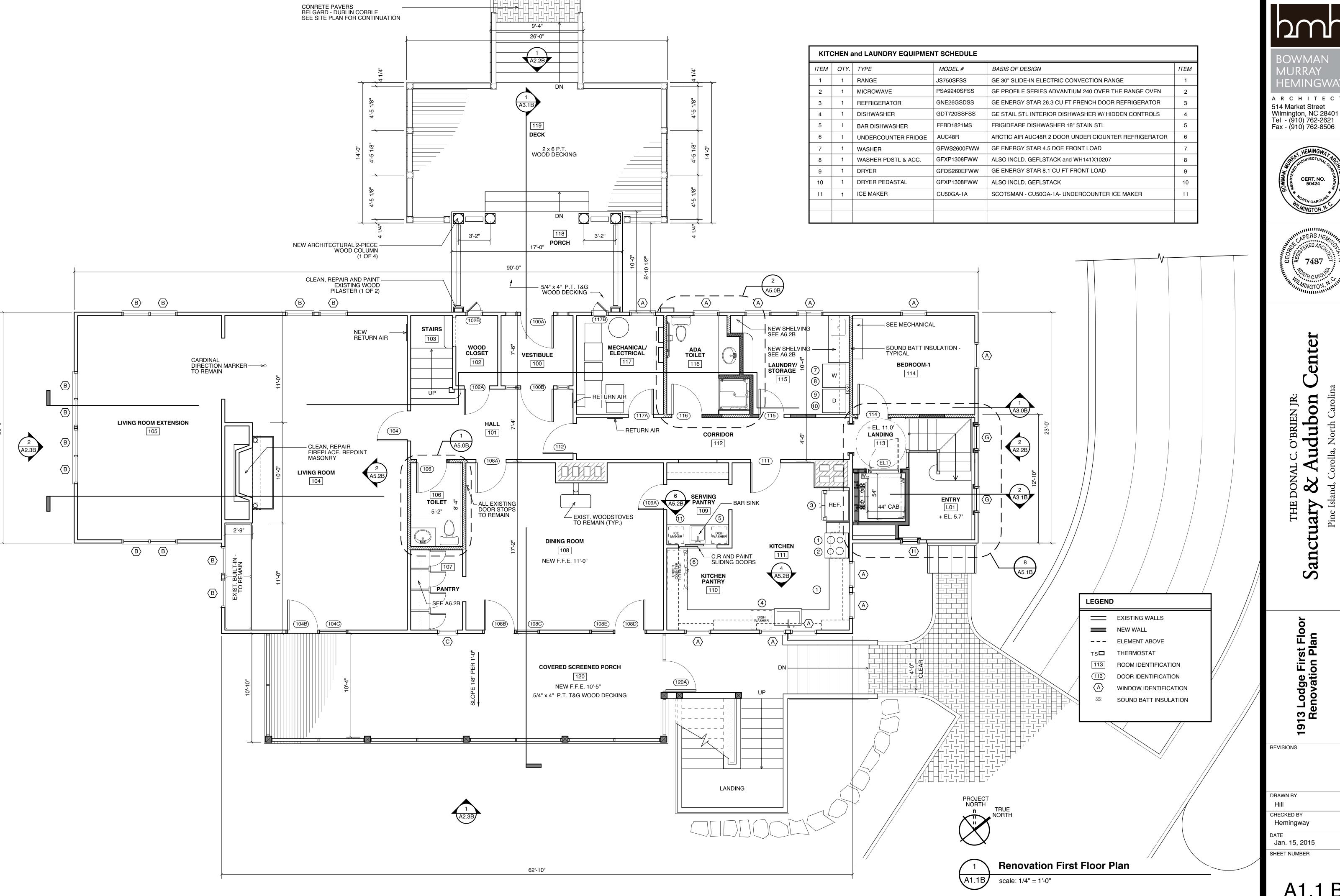
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DATE Jan. 15, 2015

SHEET NUMBER

A1.0 B



MURRAY HEMINGWA ARCHITECTS

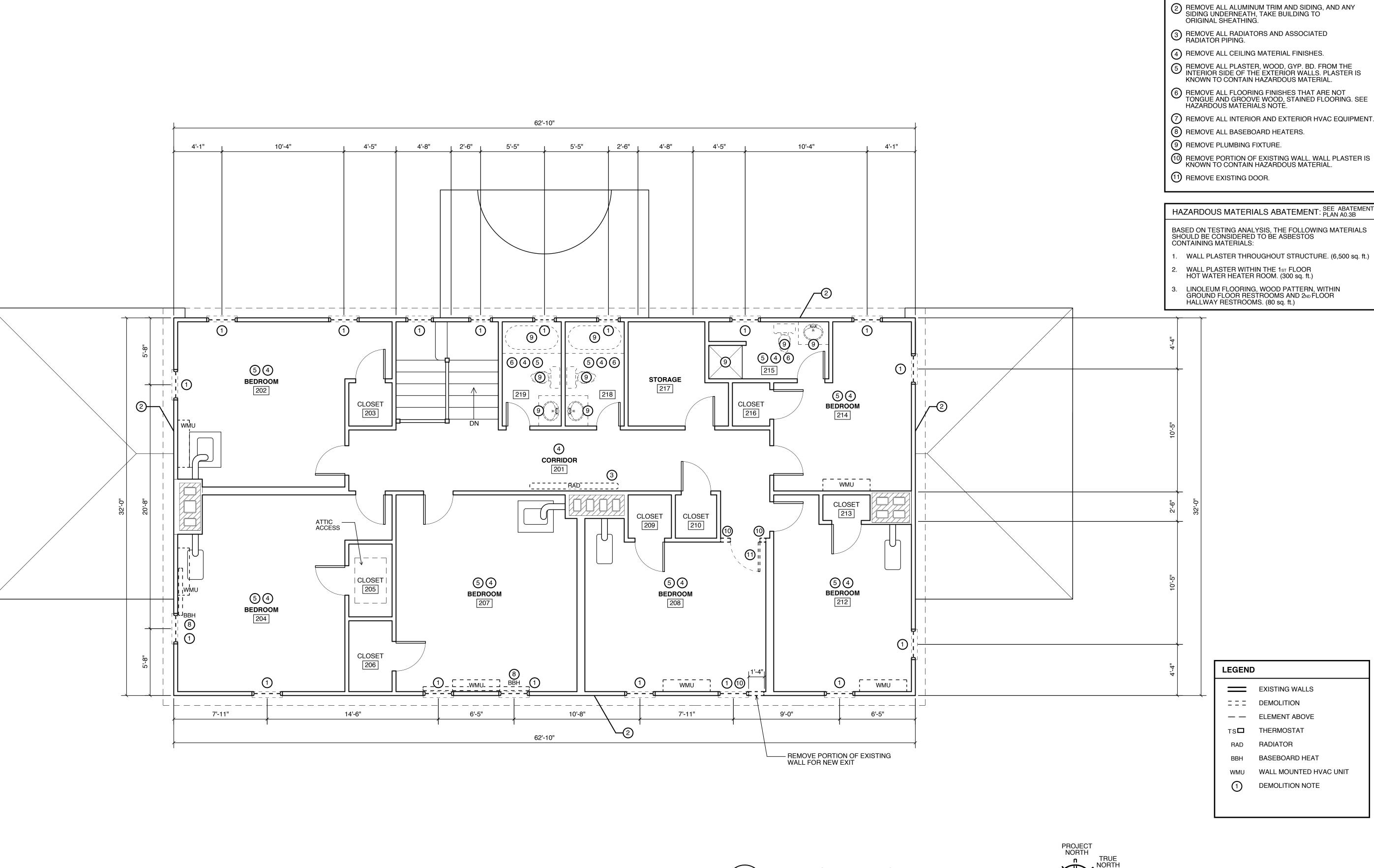




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DATE Jan. 15, 2015 SHEET NUMBER

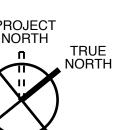
A1.1 B



A1.2B

**Existing/Demolition Second Floor Plan** 

scale: 1/4" = 1'-0"



DEMOLITION NOTES: NOTES APPLY TO LODGE IN ENTIRETY EVEN SHOWN ON FLOOR PLAN.

1) REMOVE ALL WINDOWS.

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Hemingway CHECKED BY

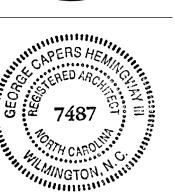
DATE Jan. 15, 2015

SHEET NUMBER

Hemingway

A1.2 B





DONAL C. O'BRIEN JR:

\*\*R Audubon Cente\*\*

1913 Lodge 2nd Floor Renovation Plan

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Hemingway
CHECKED BY

DATE
Jan. 15, 2015
SHEET NUMBER

Hemingway

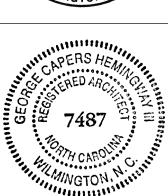
REVISIONS

A1.3 B

scale: 1/4" = 1'-0"







L C. O'BRIEN JR:
Audubon Cente

THE DONAL C. O'BRIEN Sanctuary & Audubo
Pine Island, Corolla, North Car

1913 Lodge xisting Elevations

REVISIONS

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Hill
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Hemingway

DATE
Jan. 15, 2015
SHEET NUMBER

A2.0 B





THE DONAL C. O'BRIEN JR.

Lry & Audubon Cen

1913 Lodge Existing Elevations

REVISIONS

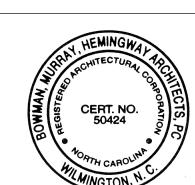
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Hill
CHECKED BY
Hemingway

DATE Jan 15, 2015

SHEET NUMBER

A2.1 B





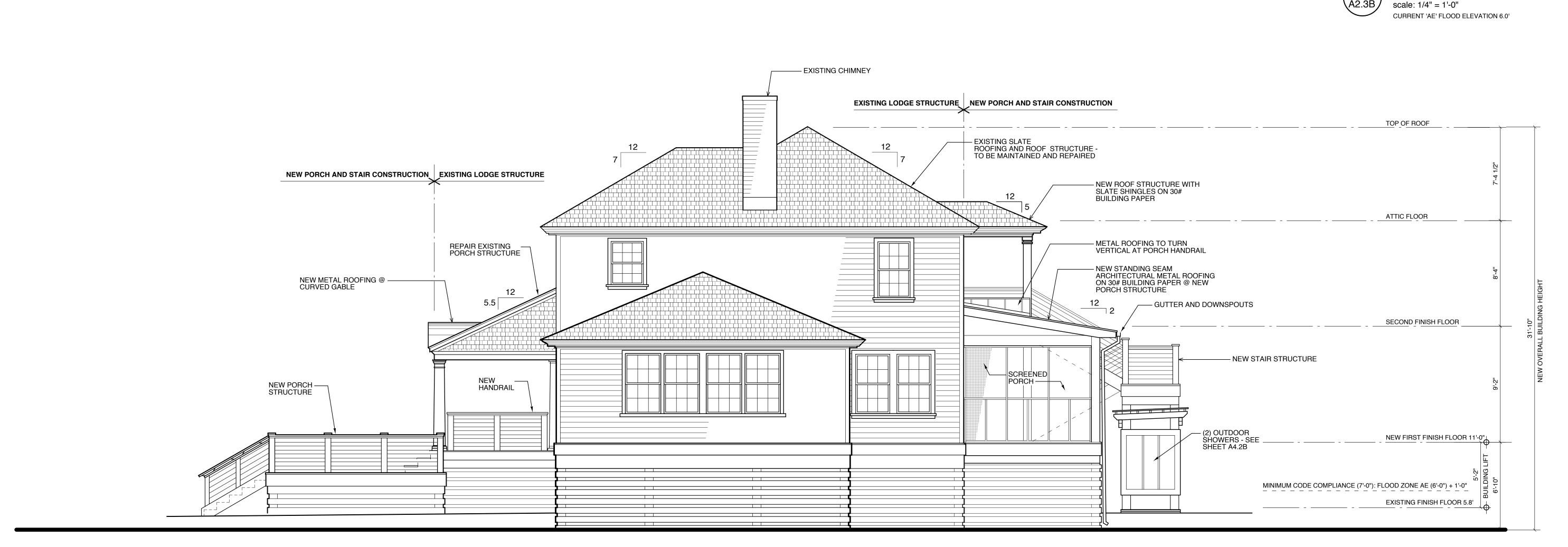
THE DONAL C. O'BRIEN JR.

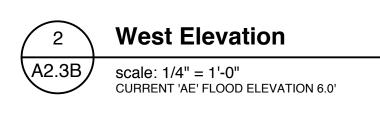
Ury & Audubon Cent

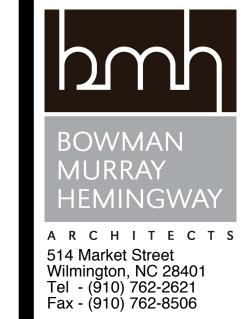
scale: 1/4" = 1'-0" CURRENT 'AE' FLOOD ELEVATION 6.0' Hill CHECKED BY Hemingway

Jan. 15, 2015
SHEET NUMBER

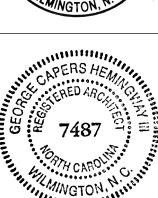
A2.2 B











Center

Sanctuary & Audubon C

1913 Lodge enovation Elevations

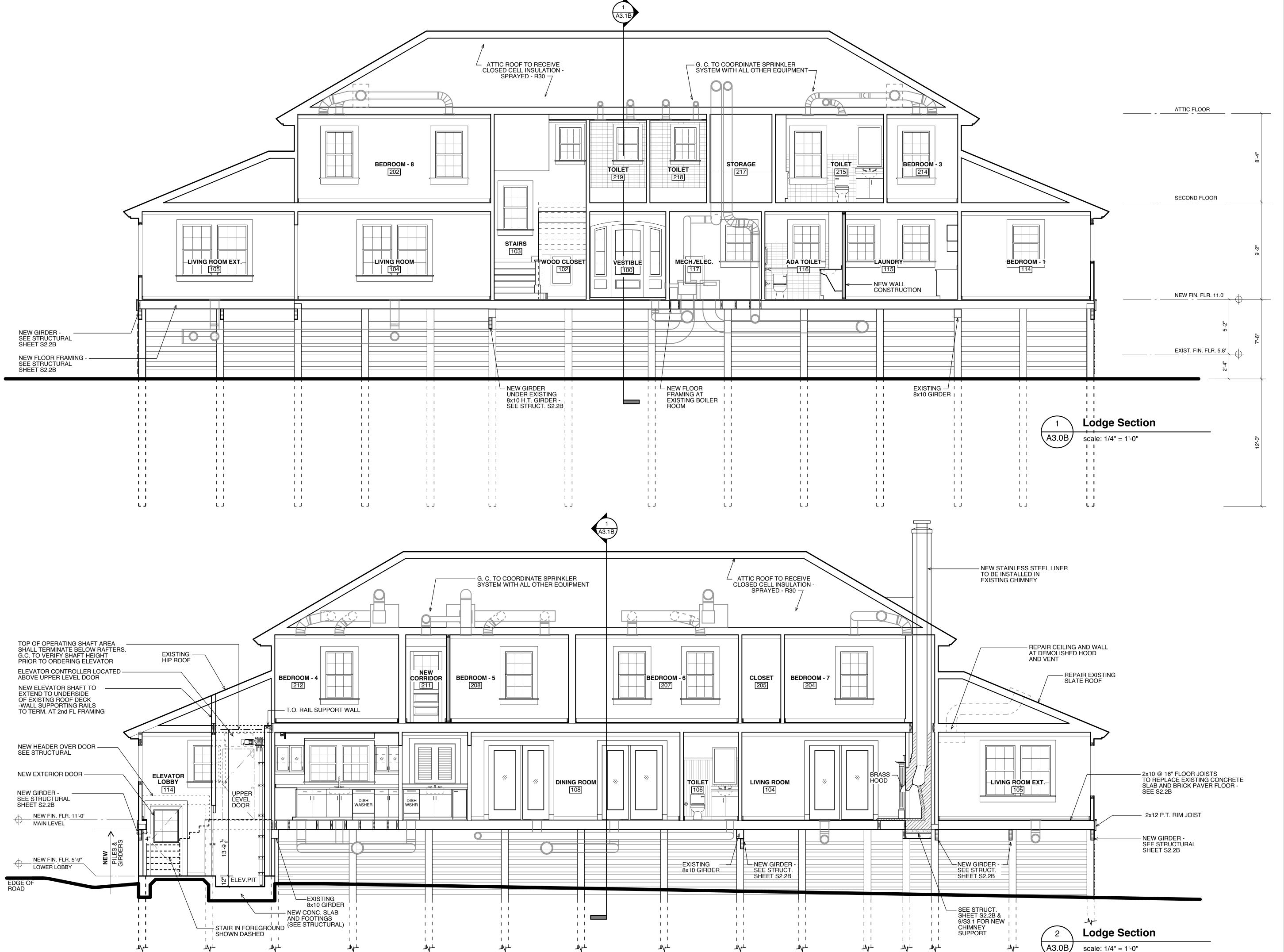
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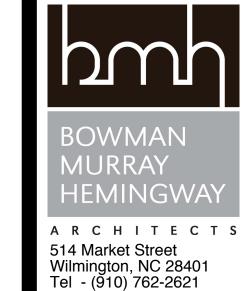
REVISIONS

DRAWN BY
Hill
CHECKED BY
Hemingway

DATE
Jan. 15, 2015
SHEET NUMBER

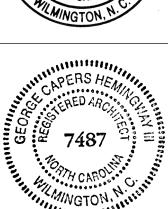
A2.3 B





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Center

Sanctuary & Audubon (

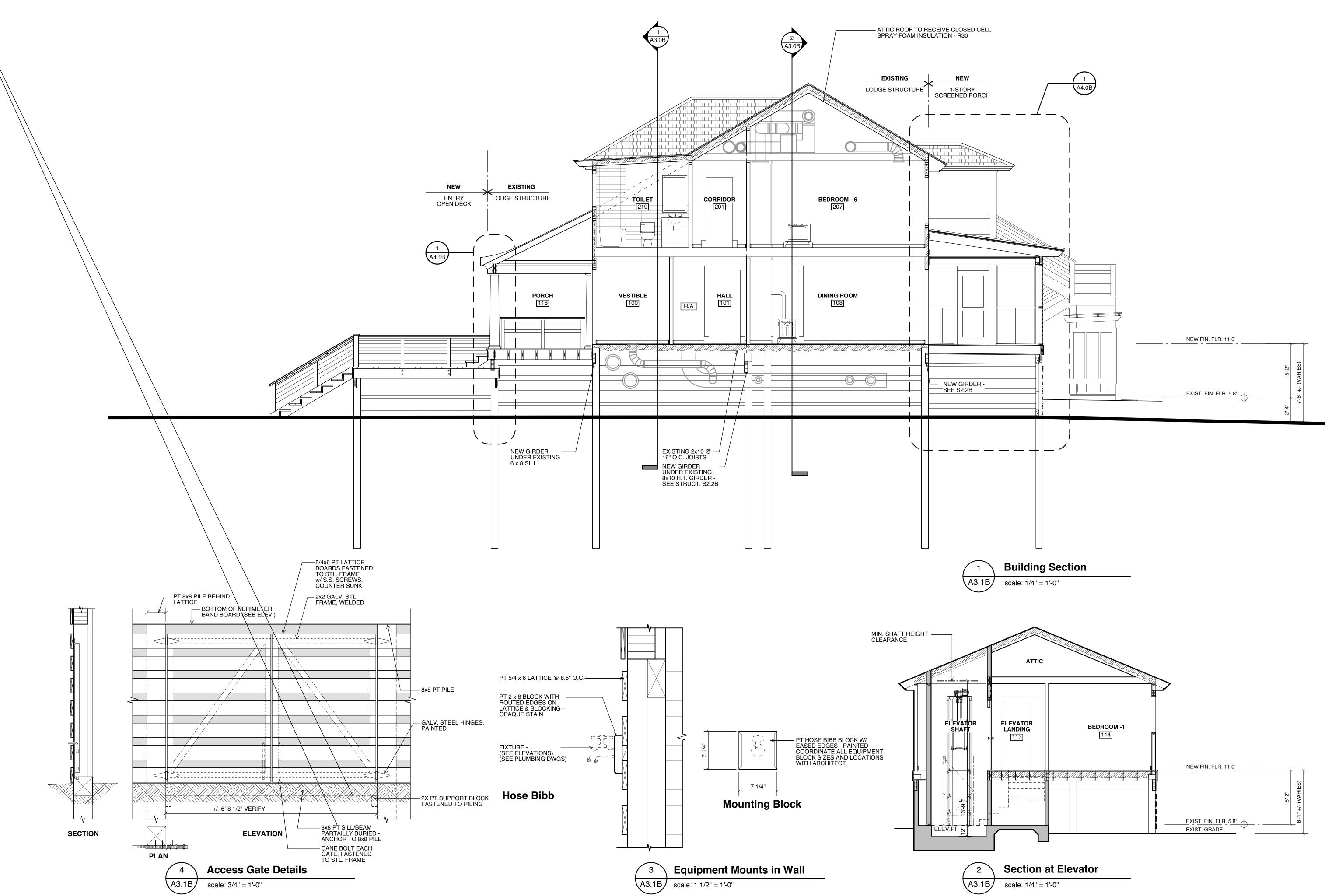
1913 Lodge novation Sections

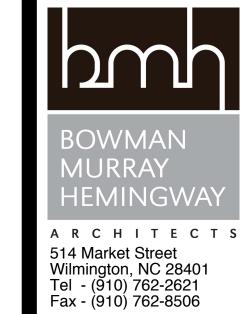
REVISIONS

DRAWN BY
Hill
CHECKED BY
Hemingway

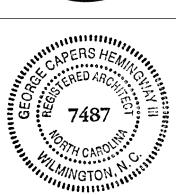
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Jan. 15, 2015
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A3.0 B









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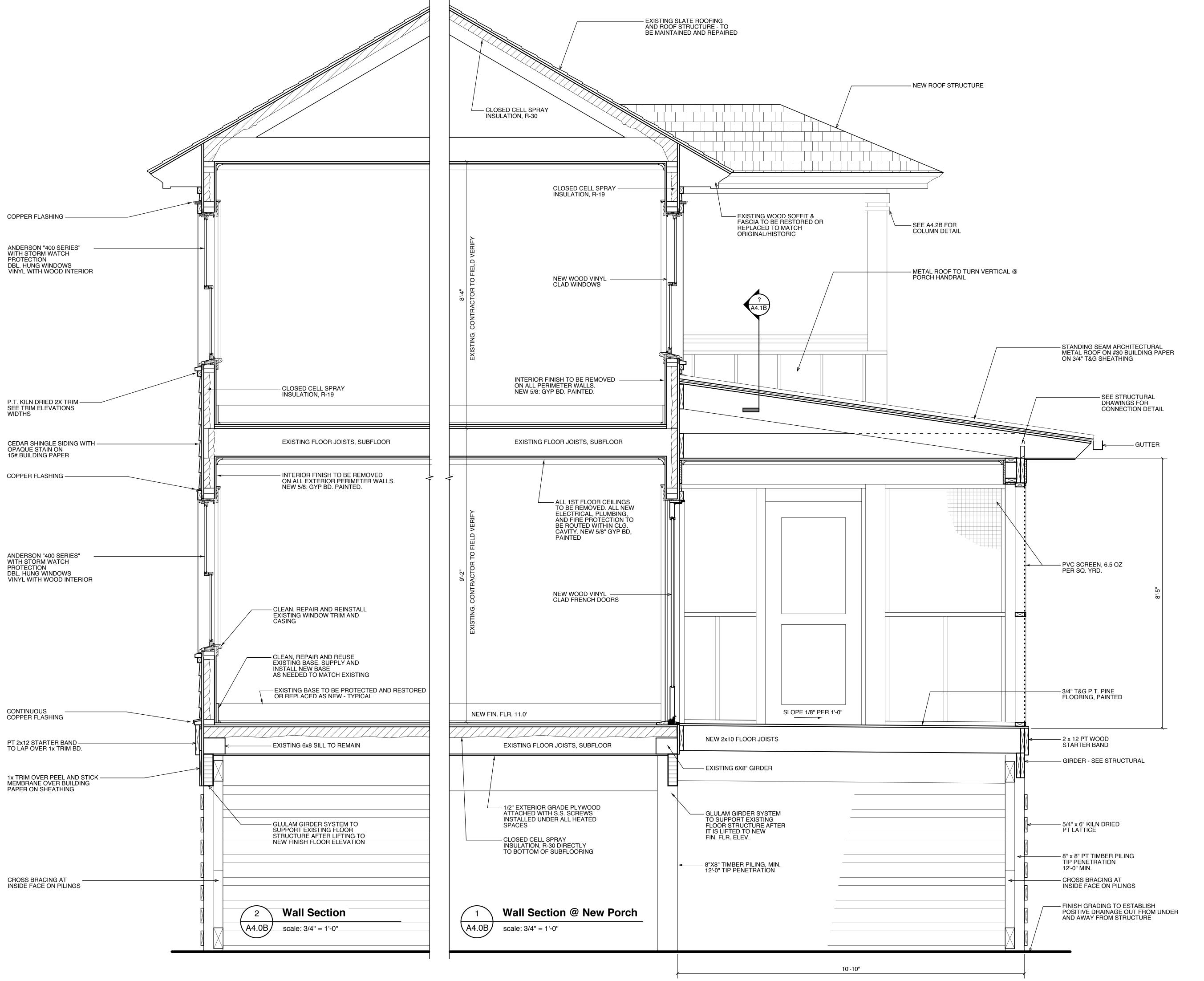
1913 Lodge enovation Section

REVISIONS

DRAWN BY
Hill
CHECKED BY
Hemingway

DATE
Jan. 15, 2015
SHEET NUMBER

A3.1 B









TE DONAL C. O'BRIEN JR.

Ty & Audubon Cent

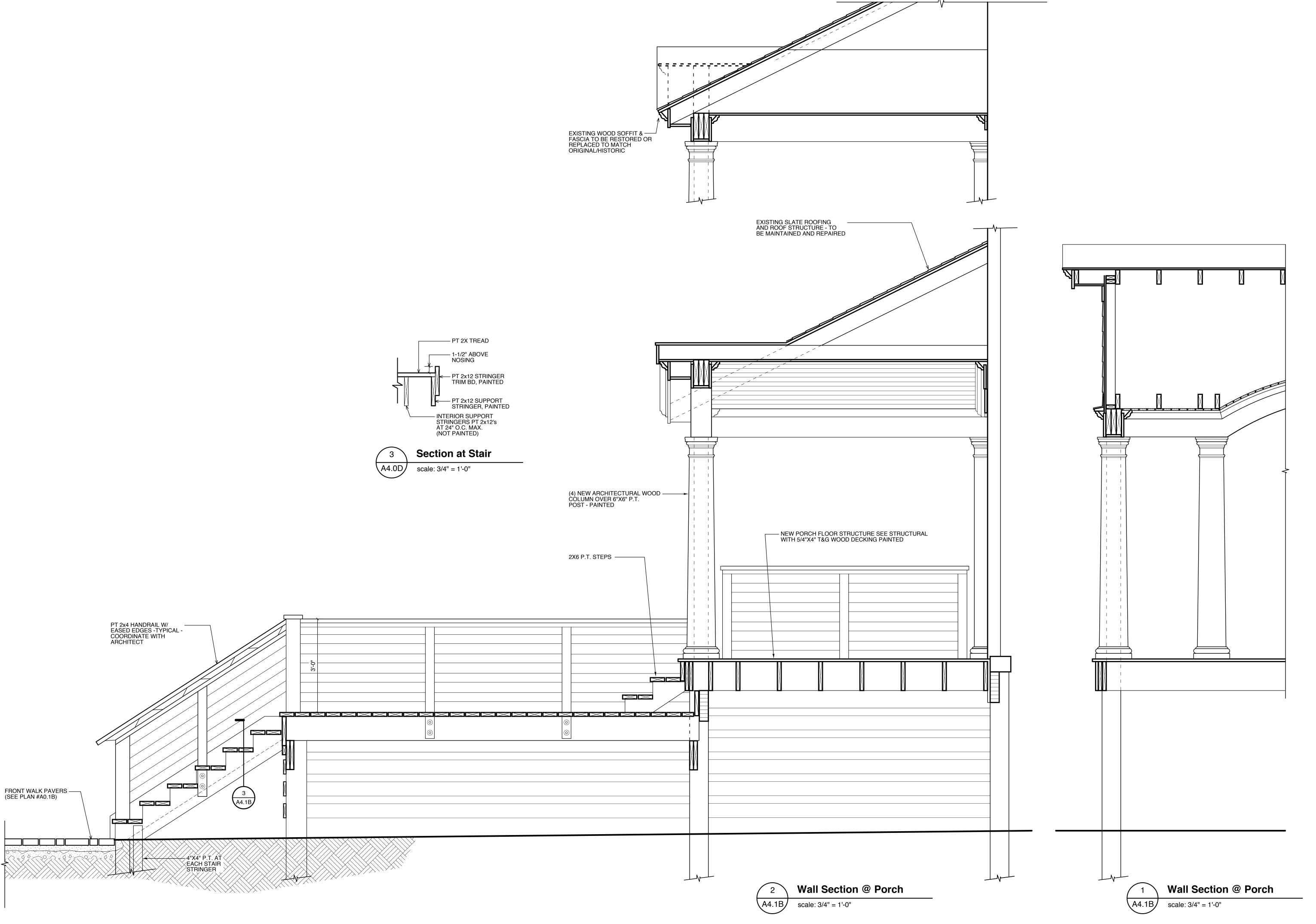
1913 Lodge Vall Section

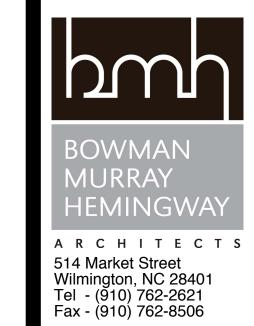
REVISIONS

DRAWN BY
Hemingway, Hill
CHECKED BY
Hemingway

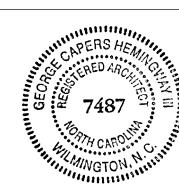
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HE DONAL C. O'BRIEN JR.

Ty & Audubon Cent

1913 Lodge Vall Section

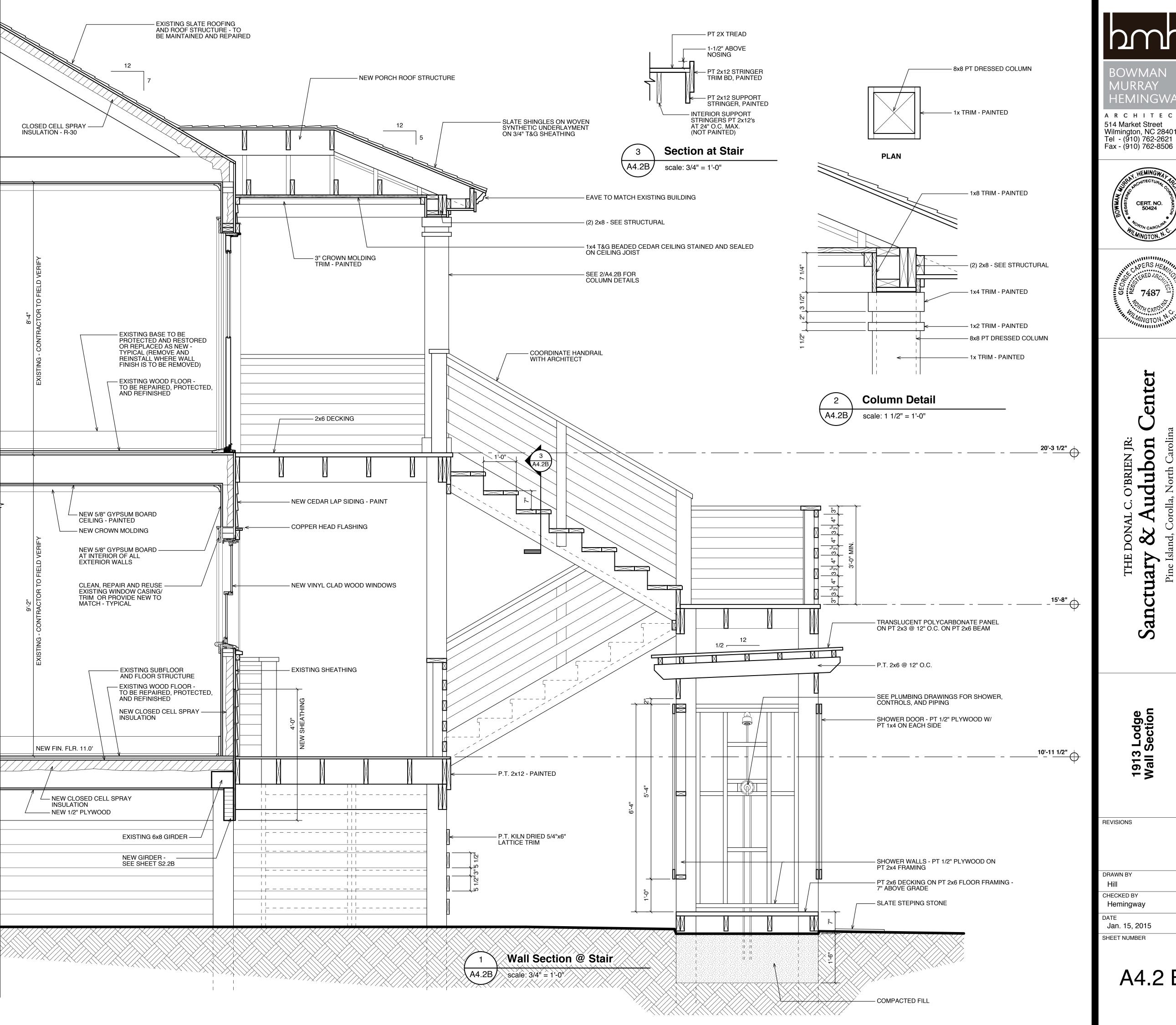
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DRAWN BY
Hemingway
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Hemingway

A4.1 B









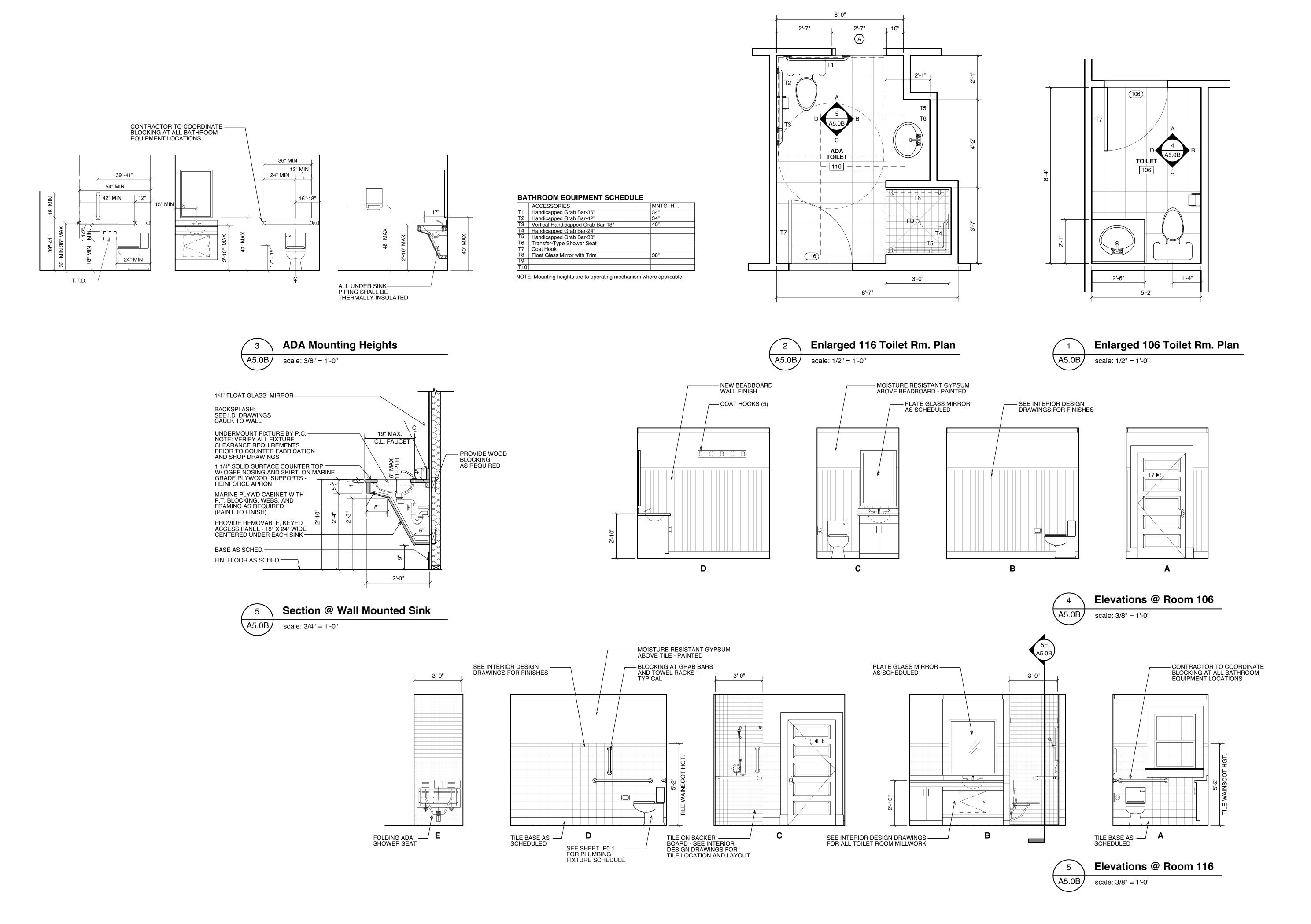
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REVISIONS

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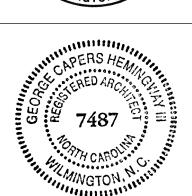
A4.2 B



BOWMAN MURRAY HEMINGWAY

A R C H I T E C T S
514 Market Street
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DONAL C. O'BRIEN JR.

8 Audubon Centel

odge Enlarged Floor Plans

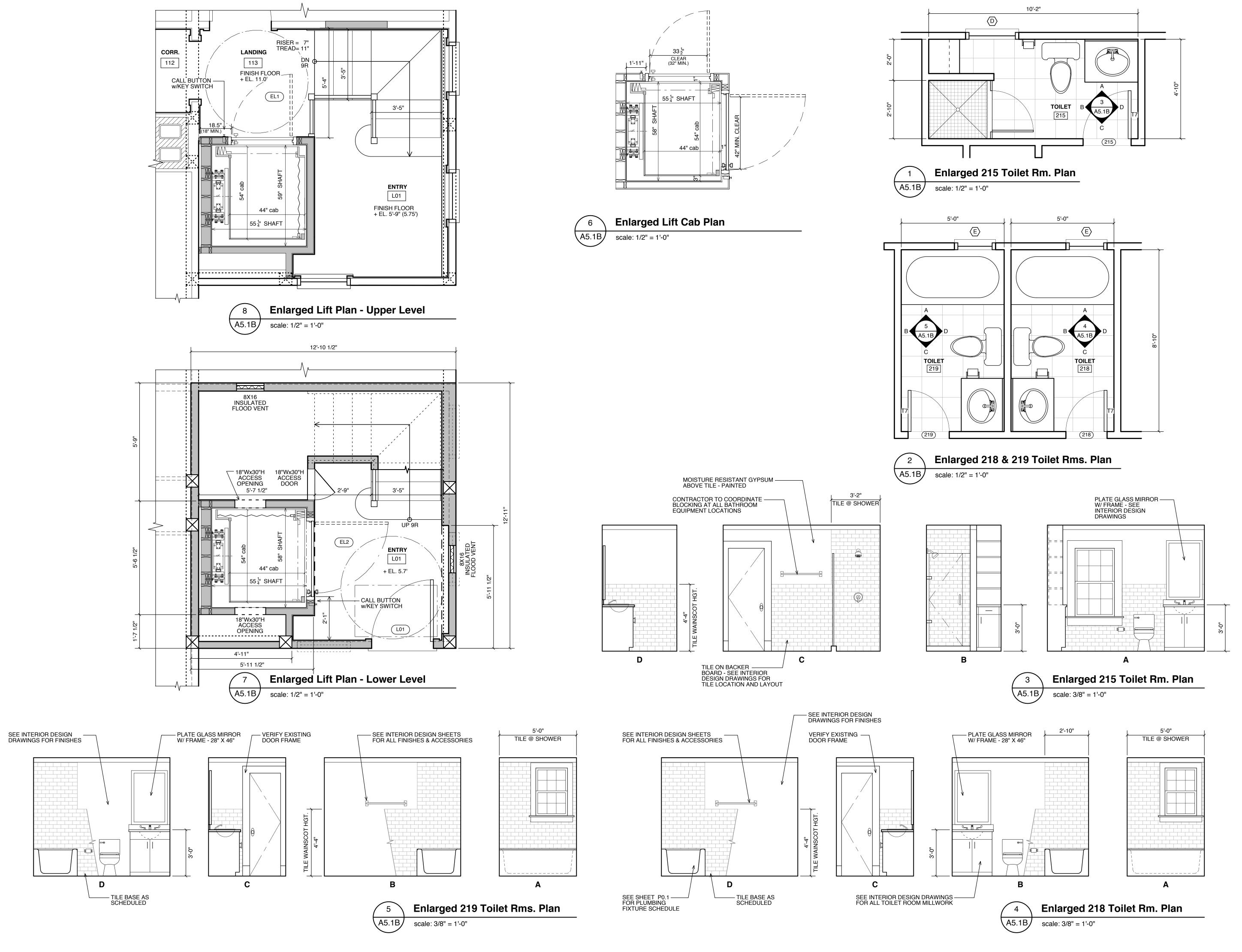
REVISIONS

DRAWN BY
Hill
CHECKED BY

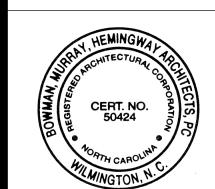
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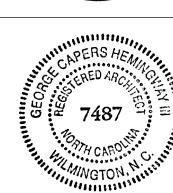
Hemingway

A5.0 B









Center

Sanctuary & Audubon Carolla North Carolina

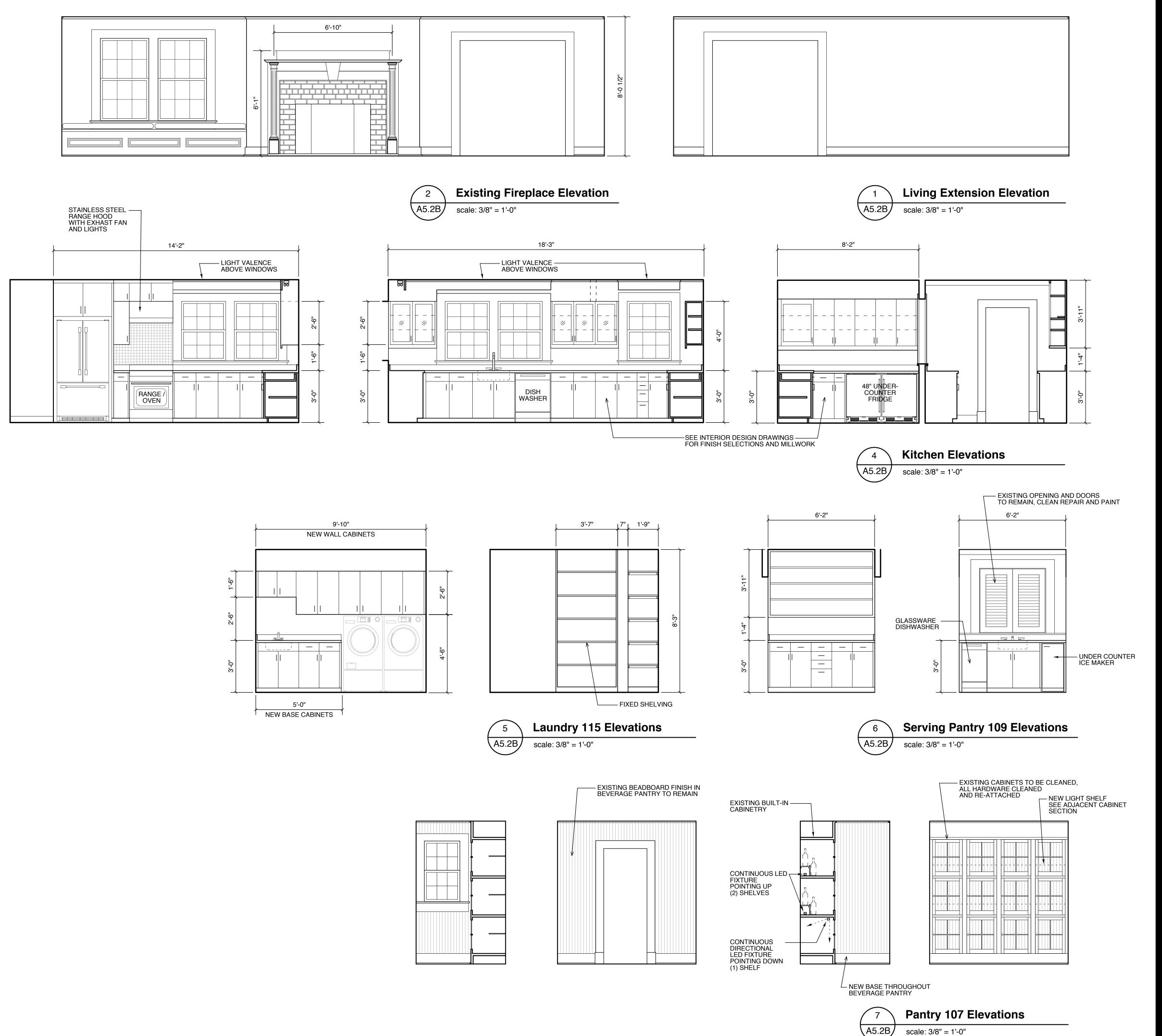
odge Enlarged Floor Plans

REVISIONS

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Hill, Tyhacz
CHECKED BY
Hemingway

DATE
Jan. 15, 2015
SHEET NUMBER

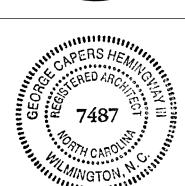
A5.1 B



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514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621
Fax - (910) 762-8506





THE DONAL C. O'BRIEN JR.

Juary & Audubon Cente

Lodge Millwork Elevations

REVISIONS

DRAWN BY
Hemingway, Hill
CHECKED BY
Hemingway

DATE
Jan. 15, 2015
SHEET NUMBER

A5.2 B

### ABBREVIATIONS

AGG. = AGGREGATE CER. = CERAMIC ETR = EXISTING TO REMAIN EXP. = EXPOSED F/G = FIBERGLASS (COATING) FRP = FIBERGLASS REINF. PANEL GYP.BD. = GYPSUM BOARD M.R. = MOISTURE RESISTANT PREFIN. = PREFINISHED P.T. = PRESSURE TREATED PT, PTD = PAINT REINF. = REINFORCED S.S. = STAINLESS STEEL STRUC. = STRUCTURE WD = WOODC,R, & P = CLEAN, REPAIR & PAINT





# THE DONAL C. O'BRIEN JR. Ictuary & Audubon Cente

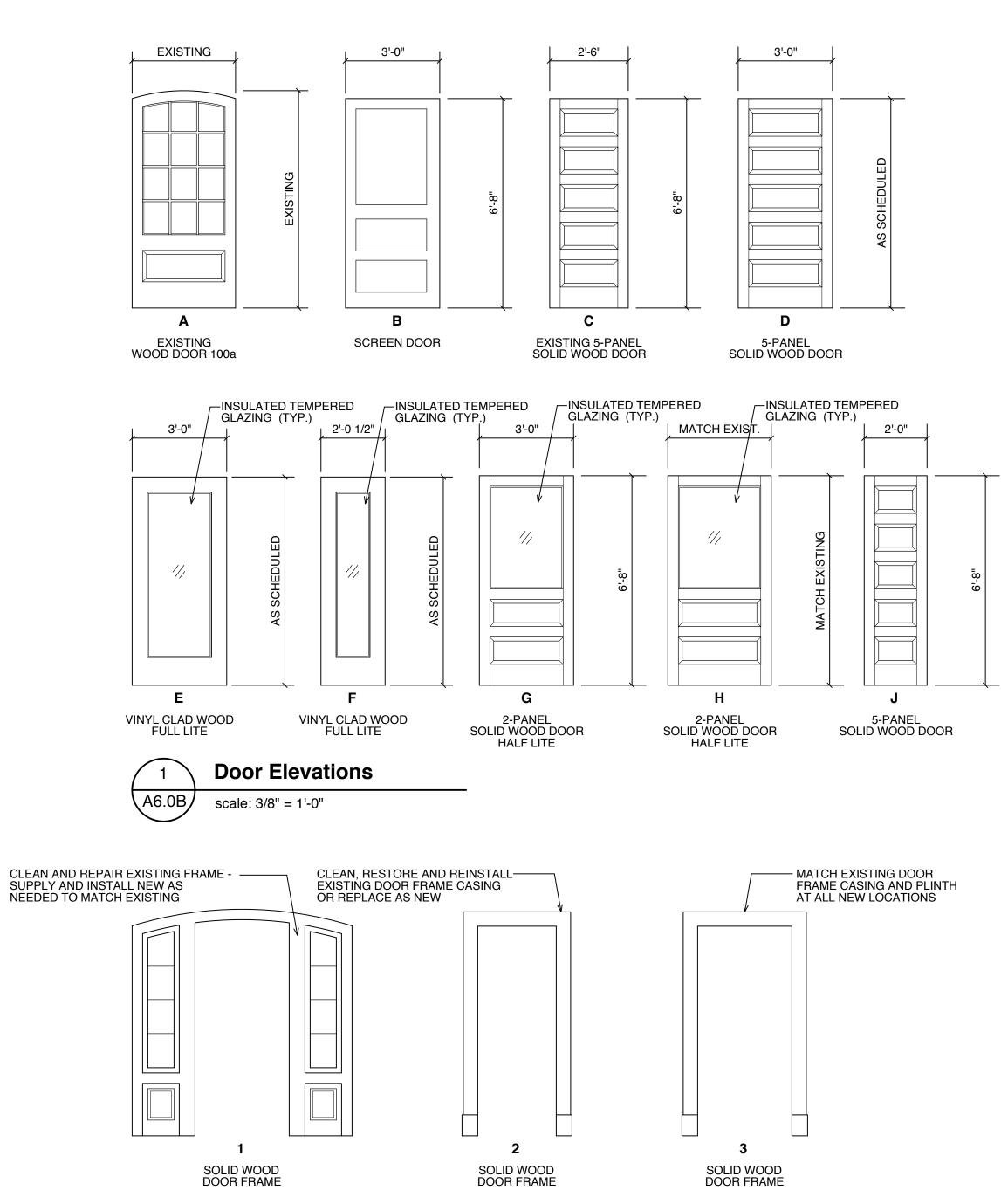
1913 Lodge inish Schedul

REVISIONS

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Hill
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Hemingway

DATE
Jan. 15, 2015
SHEET NUMBER

A6.0 B



Frame Elevations

scale: 3/8" = 1'-0"

	SIZE: WxHxT	DOOR MAT.	FRAME MAT.	DOOR ELE.	FRAME ELE.	HDW.	DOOR FINISH	FRAME FINISH	FIRE RATING	GLAZING	NOTES	1
GROUI	ND FLOOR	<u> </u>	L				<u> </u>	<u> </u>				
L01	3'-0" X 6'-8" X 1 3/4"	WOOD	WOOD	D			PAINT	PAINT		Τ		T
EL2	3'-8" X 6'-8" X 1 3/4"	WOOD	WOOD	SIM. D	SIM. 3		PAINT	PAINT		<del> </del>		+-
		1.552										+
FIRST	LOOR	<u> </u>					1	l		<u> </u>		
100a	EXIST 3'-4" X 7'-0"	WOOD	WOOD	EXIST A	EXIST 1	EXIST.	C,R, & PAINT	C,R, & PAINT		1/2 GLASS	EXISTING DOOR TO BE CLEANED, REPAIRED & PAINTED. NEW WEATHERSTRIPPING. NEW DOOR HARDWARE, HINGES TO REMAIN.	T
		WOOD	WOOD	LAIST A	EXIST.	EXIST.	PAINT	PAINT		1/2 GLASS	APPLY WEATHERSTRIPPING. NEW DOOR TO FIT IN EXIST. FRAME	
100b	3'-4" X 7'-0" X 1 3/4"	WOOD	WOOD	EXIST C	EXIST 2	EXIST.	C,R, & PAINT	C,R, & PAINT				+
102a	EXIST 2'-6" X 6'-8"						<u> </u>	, ,		_	EXISTING DOOR - CLEAN, REPAIR, AND PAINT  EXISTING FIREWOOD DOOR HATCH - TO BE CLEANED, REPAIRED, AND PAINTED - SEE 1/A2.2B.	+
102b	EXIST.	WOOD	WOOD				C,R, & PAINT	C,R, & PAINT	<del></del>		NEW WEATHERSTRIPPING.	-
104	3'-0" X 7'-0" X 1 3/8"	WOOD	WOOD	D	3		PAINT	PAINT	<del></del>			
104b	3'-0" X 6'-11 1/2" X 1 3/4"	VIN. CLAD WD.	WOOD	E			PAINT - INT.	PAINT		FULL GLASS		$\perp$
04c	2'-8" X 6'-11 1/2" X 1 3/4"	VIN. CLAD WD.	WOOD	SIM. F			PAINT - INT.	PAINT		FULL GLASS	SIDELIGHT UNIT FOR DOOR 104b	
06	3'-0" X 7'-0" X 1 3/8"	WOOD	WOOD	D	3		PAINT	PAINT	<del></del>	_		$\perp$
07											FRAMED OPENING. CLEAN, REPAIR, AND PAINT	
08a	3'-0" X 7'-0" X 1 3/8"	WOOD	WOOD	D	3		PAINT	PAINT	<del></del>			
108b	3'-0" X 6'-11 1/2" X 1 3/4"	VIN. CLAD WD.	WOOD	Е			PAINT - INT.	PAINT	<del></del>	FULL GLASS		
108c	2'-0 1/2" X 6'-11 1/2" X 1 3/4"	VIN. CLAD WD.	WOOD	F			PAINT - INT.	PAINT	<del></del>	FULL GLASS		
08d	3'-0" X 6'-11 1/2" X 1 3/4"	VIN. CLAD WD.	WOOD	Е			PAINT - INT.	PAINT		FULL GLASS		
108e	2'-0 1/2" X 6'-11 1/2" X 1 3/4"	VIN. CLAD WD.	WOOD	F			PAINT - INT.	PAINT		FULL GLASS		
09a	EXIST 2'-6" X 6'-8"	WOOD	WOOD	EXIST C	EXIST 2	EXIST.	C,R, & PAINT	C,R, & PAINT			EXISTING DOOR - CLEAN, REPAIR, AND PAINT	
09b												Ť
11	3'-0" X 6'-8" X 1 3/8"	WOOD	WOOD	D	3		PAINT	PAINT		_		$\dagger$
12	3'-0" X 7'-0" X 1 3/8"	WOOD	WOOD	D	3		PAINT	PAINT		<del> </del>		$\dagger$
 L1	3'-0" X 6'-8" X 1 3/4"	WOOD	WOOD	D	3		PAINT	PAINT		<del> </del>		$\dagger$
14	3'-0" X 6'-8" X 1 3/8"	WOOD	WOOD	D	3		PAINT	PAINT		<b>†</b>		+
115	2'-6" X 6'-8" X 1 3/8"	WOOD	WOOD	С	2		PAINT	PAINT		_	USE SALVAGED EXISTING DOOR FROM DEMOLITION SCOPE	+
116	3'-0" X 6'-8" X 1 3/8"	WOOD	WOOD	D	3		PAINT	PAINT				+
17a	EXIST 2'-6" X 6'-8"	WOOD	WOOD	EXIST C	EXIST 2	EXIST.	C,R, & PAINT	C,R, & PAINT			EXISTING DOOR - CLEAN, REPAIR, AND PAINT	+
117b	EXIST.	WOOD	WOOD				C,R, & PAINT	C,R, & PAINT		<del> </del>	EXISTING DOOR HATCH - TO BE CLEANED, REPAIRED, AND PAINTED - SEE 1/A2.2B. NEW WEATHERSTRIPPING.	+
	3'-0" X 7'-0" X 1"		WOOD	В			NATURAL	NATURAL			NEW WEATHERSTRIPPING.  SCREEN DOOR	+
120a	3-0 X7-0 X1	WOOD	VVOOD	Б			NATORAL	NATORAL			SCHEEN BOOK	+
IO.	SIZE: WxHxT	DOOR MAT.	FRAME MAT.	DOOR ELE.	FRAME ELE.	HDW.	DOOR FINISH	FRAME FINISH	FIRE RATING	GLAZING	NOTES	$\dagger$
	<u> </u>	1 2 3 3 1 1 1 1 1	1		1	1		1		1 0.27.2	1.0.120	
ECON	ND FLOOR			1		T		O D A DAINIT		T	EXISTING DOOR - CLEAN, REPAIR, AND PAINT	T
	EVICE OLGIVICIOII	WOOD	WOOD	L EVICE C	L EVICE O	I EVICE					EXISTING DOOR - CLEAN, NEFAIN, AND FAINT	- 1
202	EXIST 2'-6" X 6'-8"	WOOD	WOOD	EXIST C	EXIST 2	EXIST.	C,R, & PAINT	C,R, & PAINT			EVICTING DOOD OF EAST DEDAID AND DAINT	+
202	EXIST 2'-6" X 6'-8"	WOOD	WOOD	EXIST C	EXIST 2	EXIST.	C,R, & PAINT	C,R, & PAINT		_	EXISTING DOOR - CLEAN, REPAIR, AND PAINT	+
202 203 204	EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"	WOOD WOOD	WOOD WOOD	EXIST C EXIST C	EXIST 2 EXIST 2	EXIST.	C,R, & PAINT C,R, & PAINT	C,R, & PAINT C,R, & PAINT			EXISTING DOOR - CLEAN, REPAIR, AND PAINT	1
202 203 204 205	EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"	WOOD WOOD WOOD	WOOD WOOD WOOD	EXIST C EXIST C EXIST C	EXIST 2 EXIST 2 EXIST 2	EXIST. EXIST.	C,R, & PAINT C,R, & PAINT C,R, & PAINT	C,R, & PAINT C,R, & PAINT C,R, & PAINT	<u> </u>		EXISTING DOOR - CLEAN, REPAIR, AND PAINT EXISTING DOOR - CLEAN, REPAIR, AND PAINT	
202 203 204 205 206	EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"	WOOD WOOD WOOD	WOOD WOOD WOOD	EXIST C EXIST C EXIST C	EXIST 2 EXIST 2 EXIST 2 EXIST 2	EXIST. EXIST. EXIST. EXIST.	C,R, & PAINT C,R, & PAINT C,R, & PAINT C,R, & PAINT	C,R, & PAINT C,R, & PAINT C,R, & PAINT C,R, & PAINT			EXISTING DOOR - CLEAN, REPAIR, AND PAINT  EXISTING DOOR - CLEAN, REPAIR, AND PAINT  EXISTING DOOR - CLEAN, REPAIR, AND PAINT	
202 203 204 205 206 207	EXIST 2'-6" X 6'-8"	WOOD WOOD WOOD WOOD	WOOD WOOD WOOD WOOD	EXIST C EXIST C EXIST C EXIST C EXIST C	EXIST 2 EXIST 2 EXIST 2 EXIST 2 EXIST 2	EXIST. EXIST.	C,R, & PAINT	C,R, & PAINT	<u> </u>		EXISTING DOOR - CLEAN, REPAIR, AND PAINT	
202 203 204 205 206 207	EXIST 2'-6" X 6'-8"  2'-6" X 6'-8" X 1 3/8"	WOOD WOOD WOOD WOOD WOOD	WOOD WOOD WOOD WOOD WOOD	EXIST C EXIST C EXIST C EXIST C EXIST C	EXIST 2 EXIST 2 EXIST 2 EXIST 2 EXIST 2 2	EXIST. EXIST. EXIST. EXIST. EXIST.	C,R, & PAINT PAINT	C,R, & PAINT PAINT			EXISTING DOOR - CLEAN, REPAIR, AND PAINT  USE SALVAGED EXISTING DOOR FROM DEMOLITION SCOPE	
202 203 204 205 206 207 208	EXIST 2'-6" X 6'-8"  2'-6" X 6'-8" X 1 3/8"  EXIST 2'-6" X 6'-8"	WOOD WOOD WOOD WOOD	WOOD WOOD WOOD WOOD WOOD WOOD WOOD	EXIST C EXIST C EXIST C EXIST C C EXIST C EXIST C	EXIST 2 EXIST 2 EXIST 2 EXIST 2 EXIST 2 EXIST 2 2 EXIST 2	EXIST. EXIST. EXIST. EXIST.	C,R, & PAINT PAINT C,R, & PAINT	C,R, & PAINT PAINT C,R, & PAINT C,R, & PAINT	— — —		EXISTING DOOR - CLEAN, REPAIR, AND PAINT	
202 203 204 205 206 207 208	EXIST 2'-6" X 6'-8"  2'-6" X 6'-8" X 1 3/8"	WOOD WOOD WOOD WOOD WOOD	WOOD WOOD WOOD WOOD WOOD	EXIST C EXIST C EXIST C EXIST C EXIST C	EXIST 2 EXIST 2 EXIST 2 EXIST 2 EXIST 2 2	EXIST. EXIST. EXIST. EXIST. EXIST.	C,R, & PAINT PAINT	C,R, & PAINT PAINT	— — — —		EXISTING DOOR - CLEAN, REPAIR, AND PAINT  USE SALVAGED EXISTING DOOR FROM DEMOLITION SCOPE	
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202 203 204 205 206 207 208 209 210 211	EXIST 2'-6" X 6'-8"  2'-6" X 6'-8" X 1 3/8"  EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"	WOOD WOOD WOOD WOOD WOOD WOOD WOOD WOOD	WOOD WOOD WOOD WOOD WOOD WOOD WOOD WOOD	EXIST C EXIST C EXIST C EXIST C EXIST C C EXIST C C EXIST C	EXIST 2 EXIST 2 EXIST 2 EXIST 2 EXIST 2 EXIST 2 2 EXIST 2	EXIST. EXIST. EXIST. EXIST. EXIST.	C,R, & PAINT PAINT C,R, & PAINT C,R, & PAINT C,R, & PAINT	C,R, & PAINT PAINT C,R, & PAINT C,R, & PAINT C,R, & PAINT			EXISTING DOOR - CLEAN, REPAIR, AND PAINT  USE SALVAGED EXISTING DOOR FROM DEMOLITION SCOPE  EXISTING DOOR - CLEAN, REPAIR, AND PAINT	
202 203 204 205 206 207 208 209 210	EXIST 2'-6" X 6'-8"  2'-6" X 6'-8" X 1 3/8"  EXIST 2'-6" X 6'-8"  EXIST 2'-6" X 6'-8"  3'-0" X 6'-8" X 1 3/4"	WOOD WOOD WOOD WOOD WOOD WOOD WOOD WOOD	WOOD WOOD WOOD WOOD WOOD WOOD WOOD WOOD	EXIST C EXIST C EXIST C EXIST C EXIST C C EXIST C C EXIST C	EXIST 2	EXIST. EXIST. EXIST. EXIST. EXIST. EXIST.	C,R, & PAINT PAINT C,R, & PAINT C,R, & PAINT C,R, & PAINT PAINT	C,R, & PAINT PAINT C,R, & PAINT C,R, & PAINT C,R, & PAINT PAINT		——————————————————————————————————————	EXISTING DOOR - CLEAN, REPAIR, AND PAINT  USE SALVAGED EXISTING DOOR FROM DEMOLITION SCOPE  EXISTING DOOR - CLEAN, REPAIR, AND PAINT  EXISTING DOOR - CLEAN, REPAIR, AND PAINT	
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## **ABBREVIATIONS**

AGG. = AGGREGATE

ETR = EXISTING TO REMAIN

F/G = FIBERGLASS (COATING)

GYP.BD. = GYPSUM BOARD

P.T. = PRESSURE TREATED

S.S. = STAINLESS STEEL

STRUC. = STRUCTURE

M.R. = MOISTURE RESISTANT PREFIN. = PREFINISHED

FRP = FIBERGLASS REINF. PANEL

C,R, & P = CLEAN, REPAIR & PAINT

CER. = CERAMIC

EXP. = EXPOSED

PT, PTD = PAINTREINF. = REINFORCED

WD = WOOD

1. CONTRACTOR TO VERIFY ALL EXISTING DOOR AND WINDOW SIZES.

2. ALL EXISTING DOORS AND FRAMES TO REMAIN SHALL BE CLEANED, PREPPED AND REFINISHED ACCORDING TO SCHEDULE.

**DOOR NOTES:** 

3. ALL HARDWARE TO REMAIN SHALL BE SECURED AND FULLY OPERATIONAL. 4. ALL DOORS TO BE REMOVED SHALL BE TURNED OVER TO THE OWNER OR USED IN LODGE OR

GUIDE'S COTTAGE SCOPE OF WORK. 5. NEW DOORS TO MATCH HEIGHT OF REMOVED DOORS.

### **DOOR NOTES:**

1. ALL DOORS SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS PROVIDED WITH EACH DOOR.

3. ALL GLAZING SHALL BE TEMPERED AND HURRICANE IMPACT RESISTANT.

2. EXTERIOR ROUGH OPENINGS SHALL HAVE FLASHING AT HEAD, JAMB, AND SILL. SHALL BE INSTALLED PER FLASHING MANUFACTURER'S INSTRUCTIONS. A. SILL FLASHING SHALL BE PREMOLDED, SELF ADHERING WITH 3/8" HIGH BACKDAM. HEAD AND JAMB FLASHING SHALL BE STRAIGHT AND SELF ADHERING. B. SHIMS AND ANCHORING CLIPS ARE NOT SHOWN IN DETAILS FOR CLARITY BUT SHALL BE PROVIDED AS PER WINDOW MANUFACTURER'S INSTRUCTIONS. C. ANCHORING CLIPS SHALL BE STAINLESS STEEL AND SHALL BE INSTALLED WITH STAINLESS STEEL FASTENERS, ADJUST ROUGH OPENING AS NECESSARY.

SYM.	SIZE: WxH (R.O.)	TYPE	MATERIAL	GLAZING	EXT. FINISH	INT. FINISH	NOTES	SYM
A	2'-6 5/8" X 3'-5"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD	EXISTING WINDOWS ARE TO BE REPLACED, ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR, PRIOR TO NEW INSTALL.	А
В	2'-9 5/8" X 4'-9"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD		В
С	2'-0 5/8" X 3'-5"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD		С
D	2'-6 5/8" X 4'-5"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD		D
E	2'-0 5/8" X 3'-1"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD		Е
F	2'-3 5/8" X 4'-1"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD		F
G	2'-6 5/8" X 6'-5"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD		G
Н	1'-10" X 6'-5"	DO. HUNG	CLAD/WOOD	I/E/P/T	VINYL CLAD	WOOD, PTD		Н

# **LEGEND**

T = TEMPERED

F = FIRE RATED

E = LOW-E

I = INSULATED

1. ALL WINDOWS SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS PROVIDED WITH EACH WINDOW.

2. ROUGH OPENINGS SHALL HAVE FLASHING AT HEAD, JAMB, AND SILL. FLASHING SHALL BE INSTALLED PER FLASHING MANUFACTURER'S INSTRUCTIONS. P = IMPACT RESISTANT

3. SILL FLASHING SHALL BE PREMOLDED, SELF ADHERING WITH 3/8" HIGH BACKDAM. HEAD AND JAMB FLASHING SHALL BE STRAIGHT AND SELF ADHERING.

4. SHIMS AND ANCHORING CLIPS ARE NOT SHOWN IN DETAILS FOR CLARITY BUT SHALL BE PROVIDED AS PER WINDOW MANUFACTURER'S INSTRUCTIONS. 5. ANCHORING CLIPS SHALL BE STAINLESS STEEL AND SHALL BE INSTALLED WITH STAINLESS STEEL FASTENERS, ADJUST ROUGH OPENING AS NECESSARY.

6. ALL GLAZING SHALL BE TEMPERED AND HURRICANE IMPACT RESISTANT. 7. ALL GLAZING WITHIN 24" OF A DOOR SHALL BE TEMPERED.

ARCHITECTS 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621

Fax - (910) 762-8506

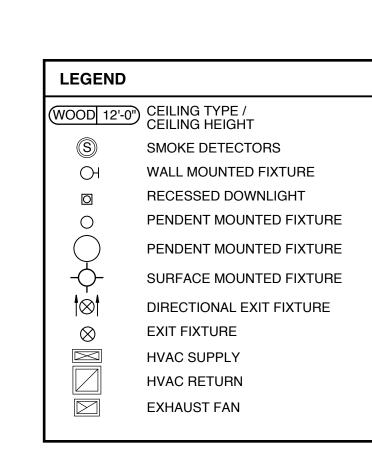
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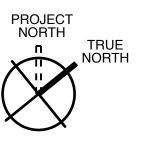
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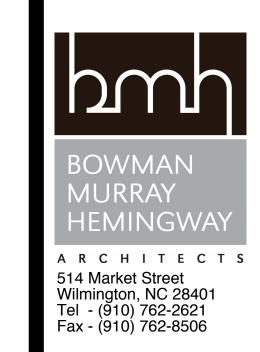


# NOTES:

- 1. ALL CEILINGS TO RECEIVE TYPE 'X' GYPSUM U.N.O.
- 2. ALL EXISTING JUNCTION BOXES TO REMAIN.
- REFER TO SHEET E2.0B FOR POWER AND LIGHTING PLAN, DETAILS, AND FIXTURE INFORMATION.











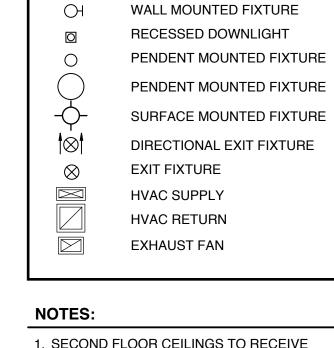
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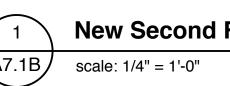
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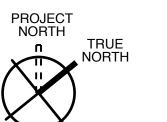


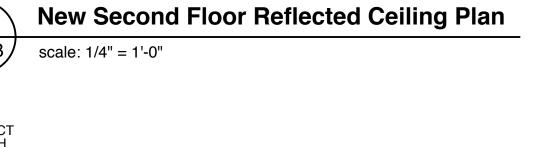
WOOD 12'-0") CEILING TYPE / CEILING HEIGHT

SMOKE DETECTORS

- SECOND FLOOR CEILINGS TO RECEIVE TYPE 'X' GYPSUM U.N.O.
- 2. ALL EXISTING JUNCTION BOXES TO REMAIN.
- REFER TO SHEET E2.1B FOR POWER AND LIGHTING PLAN, DETAILS, AND FIXTURE INFORMATION.













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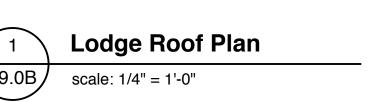
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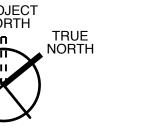
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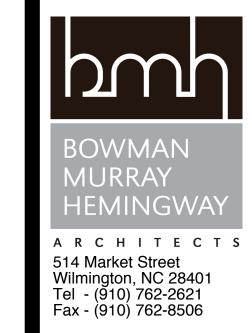
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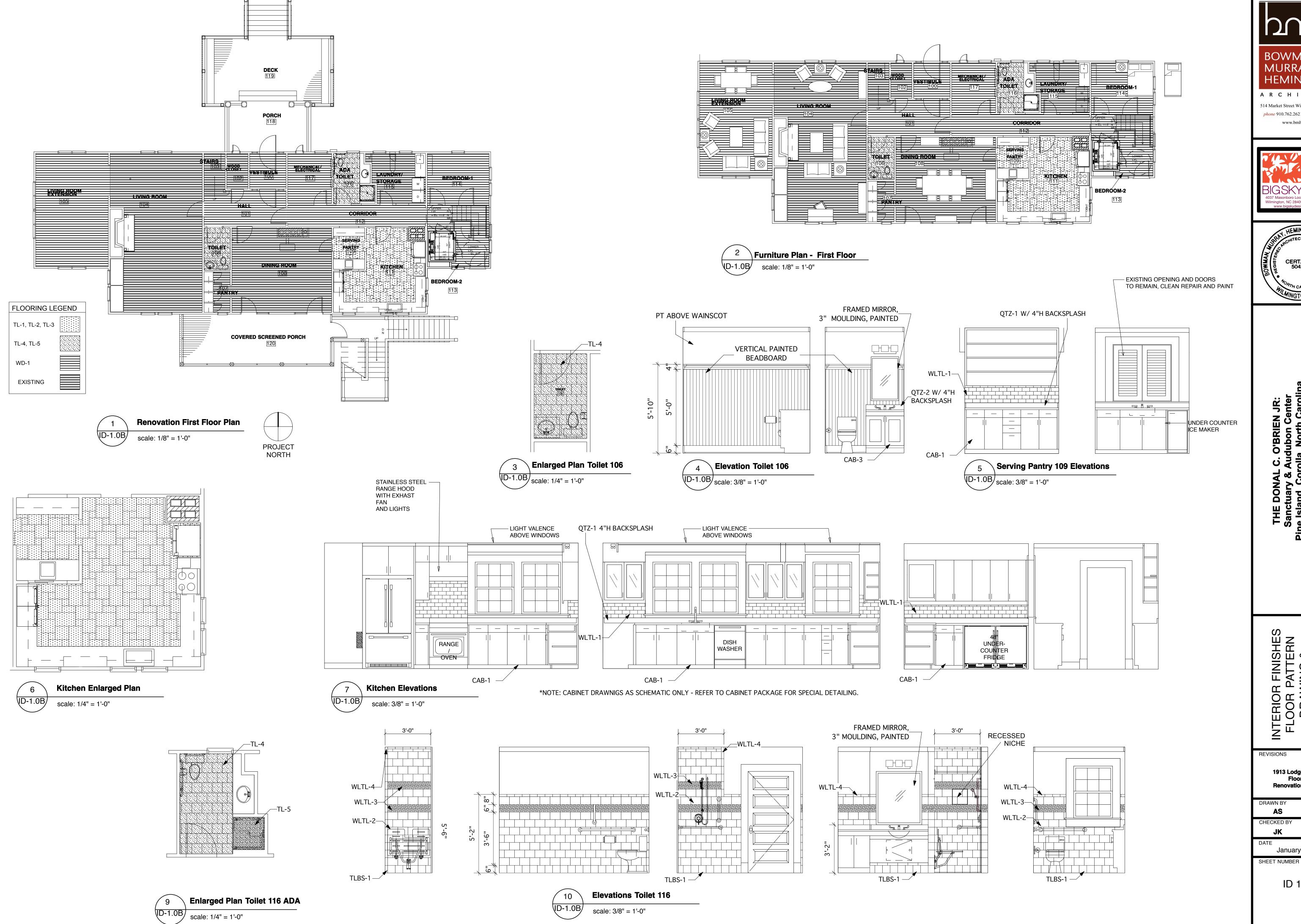
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REVISIONS

1913 Lodge First **Renovation Plan** 

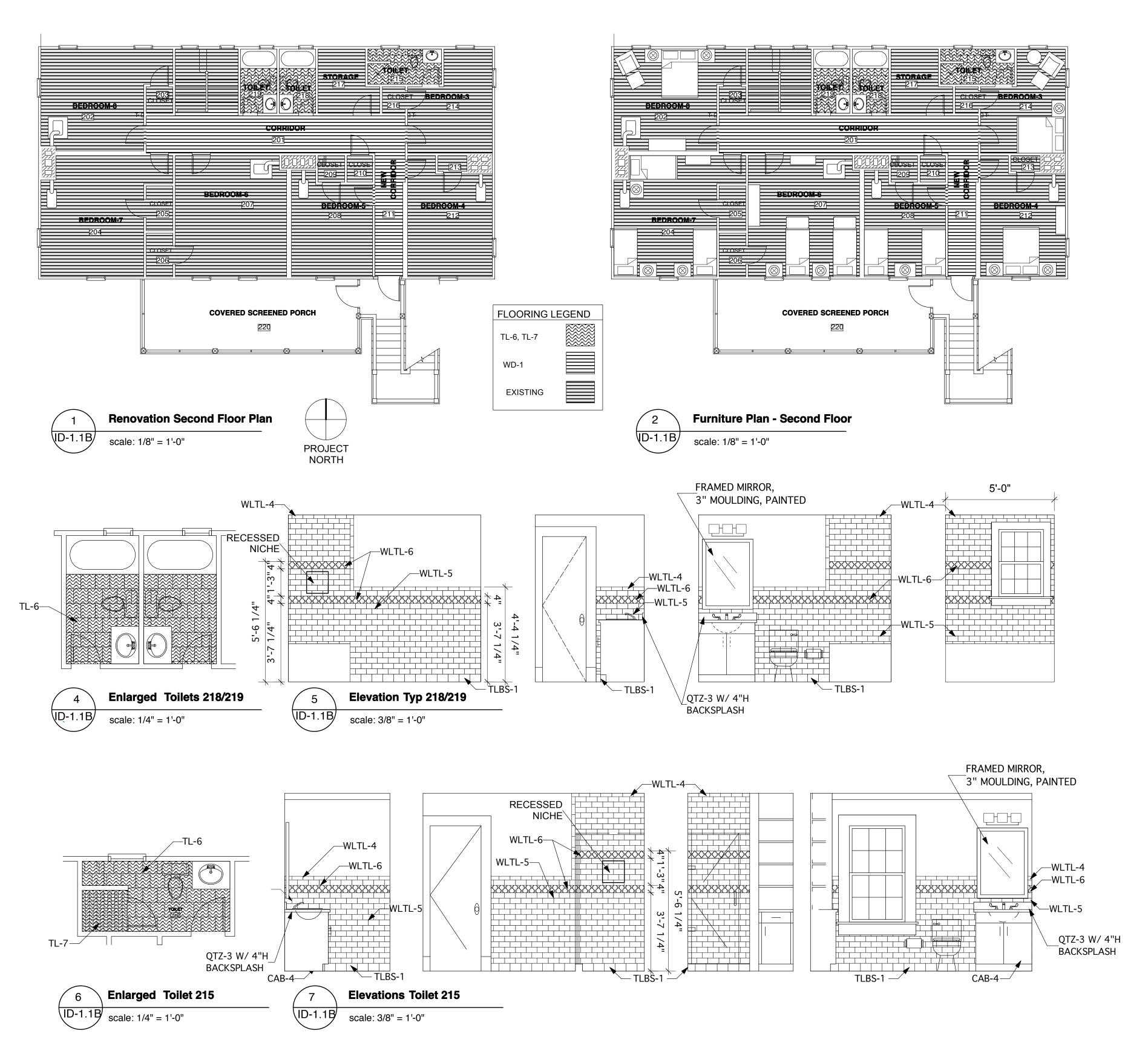
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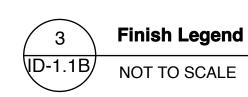
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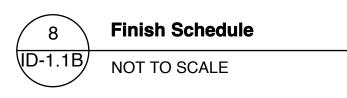




CODE	ONS LEGEND SPECIFICATION								
CODL	SI EGII ICATION								
PT-1	SHERWIN WILLIAMS TBD (CEILING WHITE)								
PT-2	SHERWIN WILLIAMS TBD								
PT-3	SHERWIN WILLIAMS TBD								
PT-4	SHERWIN WILLIAMS TBD								
PT-5	SHERWIN WILLIAMS TBD								
PT-6	SHERWIN WILLIAMS TBD								
PT-7	SHERWIN WILLIAMS TBD (TRIM)								
WD 1	CTAINED & FINISHED TO MATCH EVICTING COLOD & MIDTH								
WD-1	STAINED & FINISHED TO MATCH EXISTING COLOR & WIDTH								
CAB-1	MARKRAFT, CABINET STYLE DAYTONA, COLOR MAPLE ARCTIC WHITE								
CAB-2	MARKRAFT, CABINET STYLE ROCKFORD, COLOR MAPLE ARCTIC WHITE								
CAB-3	MARKRAFT, CABINET STYLE HAMPTON, COLOR MAPLE BEACH WHITE								
CAB-4	MARKRAFT, CABINET STYLE AMHERST, COLOR MAPLE BEACH WHITE								
TL-1	CROSSVILLE TILE, LIMESTONE SERIES, COLOR LIPIKA #AV232, 16"X16" PORCELAIN TILE								
TL-2	CROSSVILLE TILE, LIMESTONE SERIES, COLOR LIPIKA #AV232, 8"X16" PORCELAIN TILE								
TL-3	CROSSVILLE TILE, LIMESTONE SERIES, COLOR LIPIKA #AV232, 8"X8" PORCELAIN TILE								
TL-4	FLORIM USA, GALAXY SERIES, 12"X12" NOMINAL PRESSED TILE, NATURAL FINISH, COLOR BEIGE #1095533								
TL-5	FLORIM USA, GALAXY SERIES, 2'X2' MODULE (12'X12" MOSAIC), NATURAL FINISH, COLOR BEIGE #1095533								
TL-6	TESORO, HEADLINE SERIES, 121"X12" PORCELAIN TILE, COLOR HERALD IVORY								
TL-7	TESORO, HEADLINE SERIES, 3"X3" MODULE (12"X12" MOSAIC) PORCELAIN TILE, COLOR HERALD IVORY								
WLTL-1	DALTILE, KEYSTONES GROUP 2, 3"X3" FIELD TILE, COLOR #D617 ARCTIC WHITE, CLEARGLAZED SURFACE								
WLTL-2	DALTILE, SEMI-GLOSS, 6"X8" FIELD TILE, COLOR #0190 ARCTIC WHITE								
WLTL-3	DALTILE, WINDMILL DK20 MOSAIC PATTERN, COLORS: DESERT GRAY #D014 (PRIMARY) AND ARCTICE WHITE #D617 (ACCE								
WLTL-4	DALTILE, SEMI-GLOSS, 2"X6" BULLNOSE #S-4269, COLOR #0190 ARCTIC WHITE								
WLTL-5	DALTILE, 3"X6" RITTENHOUSE SQUARE FIELD TILE, COLOR ARCTIC WHITE #0190								
WLTL-6	ECLIPSE GLASS+STONE SERIES, COLOR MARINA #GLS ECP5858-MA, 5/8 GLASS/SONE MOSAIC								
TLBS-1	DALTILE, SEMI-GLOSS, 6"X6" COVE BASE #A-3601, COLOR #0190 ARCTIC WHITE								
QTZ-1	DUPONT, ZODIAQ QUARTZ, COLOR TBD								
QTZ-2	CAMBRIA, CAMBRIAN COLLECTION, COLOR DARLINGTON - PLACEHOLDER								
QTZ-3	CAMBRIA, QUARRY COLLECTION, COLOR PRESTON - PLACEHOLDER								



FINISH SO		FI 00D	540=	14/41 : 6		45 1 1 1 1 2 2 2		NOTES
ROOM #	DESCRIPTION	FLOOR	BASE	1			THERWISE NOTED	NOTES:
100	VECTION	WD 1	WD 1	NORTH	EAST	SOUTH	WEST	
	VESTIBULE	WD-1	WD-1					
	HALL	WD-1	WD-1					
	WOOD CLOSET	EXISTING	WD-1					
	STAIRS	EXISTING	WD-1					
	LIVING ROOM	EXISTING	WD-1					
	BAR/LOUNGE	WD-1	WD-1					
	TOILET	TL-4, TL-5	WD-1					
	BEVERAGE PANTRY	EXISTING	WD-1					
	DINING ROOM	EXISTING	WD-1					
109	SERVING PANTRY	TL-1. TL-2, TL-3		WLTL-1				*SEE NOT
111	KITCHEN	TL-1. TL-2, TL-3	WD-1	WLTL-1				*SEE NOT
112	CORRIDOR	WD-1	WD-1					
113	BEDROOM	WD-1	WD-1					
114	BEDROOM	WD-1	WD-1					
115	STORAGE	EXISTING	WD-1					
116	TOILET	TL-4	TLBS-1	WLTL-2,	WLTL-3, W	<u>/L</u> TL-4, PT		
117	ELECTRICAL	WD-1	WD-1					
118	FRONT PORT	T&G WOOD	WD-1					
119	DECK	P.T. WOOD	WD-1					
120	SCREEND PORCH	T&G WOOD	WD-1					
SECOND	FLOOR							
201	CORRIDOR	WD-1	WD-1					
202	BEDROOM	EXISTING	WD-1					
203	CLOSET	EXISTING	WD-1					
204	BEDROOM	EXISTING	WD-1					
205	CLOSET	EXISTING	WD-1					
	CLOSET	EXISTING	WD-1					
	BEDROOM	EXISTING	WD-1					
	BEDROOM	EXISTING	WD-1					
	CLOSET	EXISTING	WD-1					
	CLOSET	EXISTING	WD-1					
	CORRIDOR	WD-1	WD-1					
	BEDROOM	EXISTING	WD-1					
	CLOSET	EXISTING	WD-1					
	BEDROOM	EXISTING	WD-1					
	TOILET	TL-6, TL-7	TLBS-1	WITI-4 V	_ VLTL-5, WL <sup>-</sup>	 ГI -6 РТ		
	CLOSET	EXISTING	WD-1		, vvL			
	STORAGE	EXISTING	WD-1					
	TOILET	TL-6	TLBS-1	WITI 4 V		 TL_6 DT		
					VLTL-5, WL			
219	TOILET SCREENED PORCH	TL-6 T&G WOOD	TLBS-1 WD-1	VVL   L-4, V	VLTL-5, WL	ı∟-6, PI ⊤		+







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> INTERIOR FINISHES FLOOR PATTERN DRAWING & ELEVATIONS

REVISIONS

1913 Lodge Second Floor Renovation Plan

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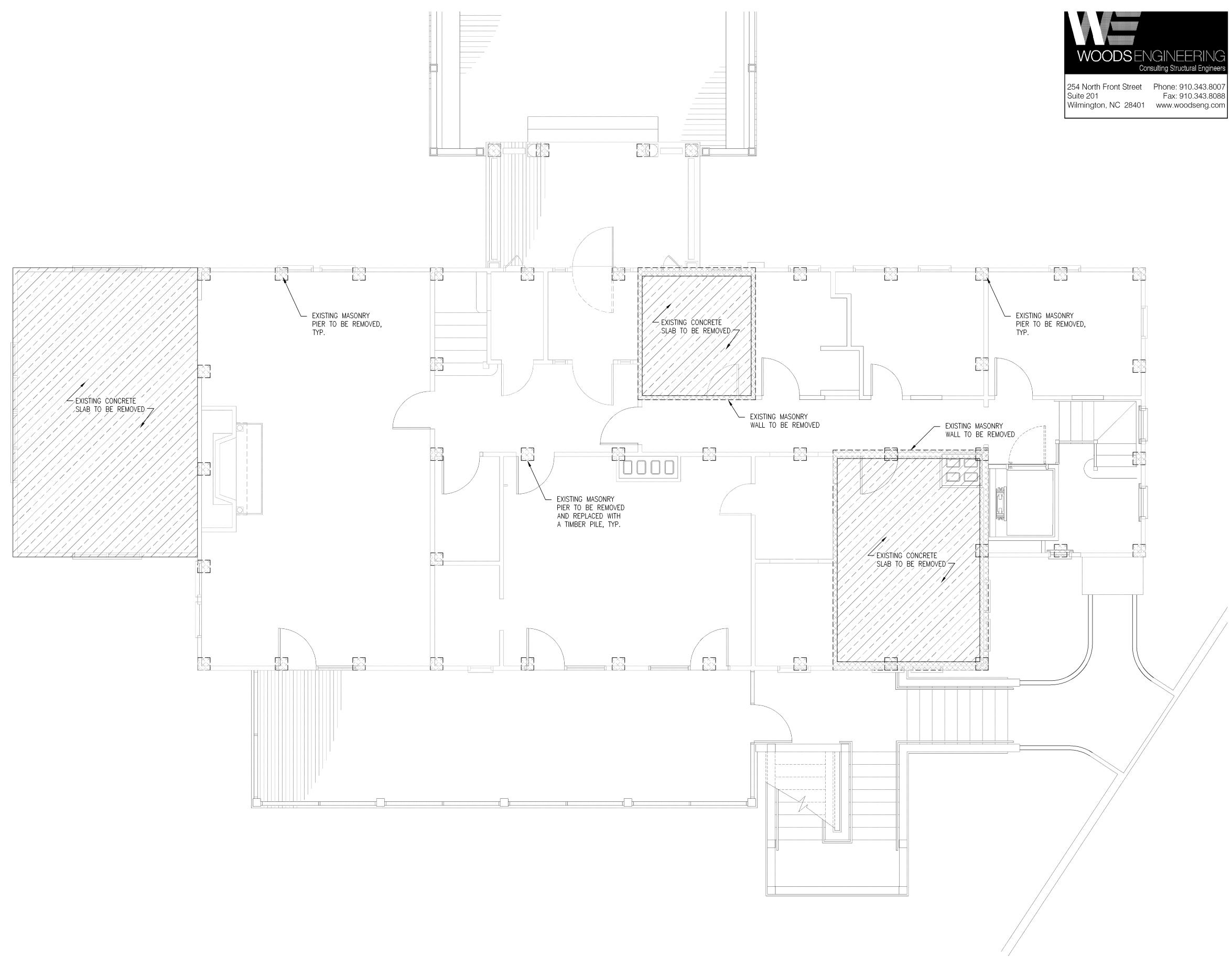
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January 15, 2015
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1913 LODGE
BUILDING DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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EXISTING CONCRETE SLAB TO BE DEMOLISHED AND REMOVED

EXISTING MASONRY PIER TO BE DEMOLISHED AND REMOVED

EXISTING MASONRY WALL TO BE DEMOLISHED AND REMOVED

NOTE: EXISTING STRUCTURE TO BE RAISED OFF OF THE EXISTING GIRDER SYSTEM.

NEW TIMBER PILES AND X-BRACING

TO BE INSTALLED, SEE S2.1B.

BOWMAN MURRAY **HEMINGWAY** ARCHITECT 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506



THE DONAL C. O'BRIEN JR: Sanctuary & Audubon Center Pine Island, Corolla, North Carolin

1913 Lodge Building Existing & Demolition Plan REVISIONS

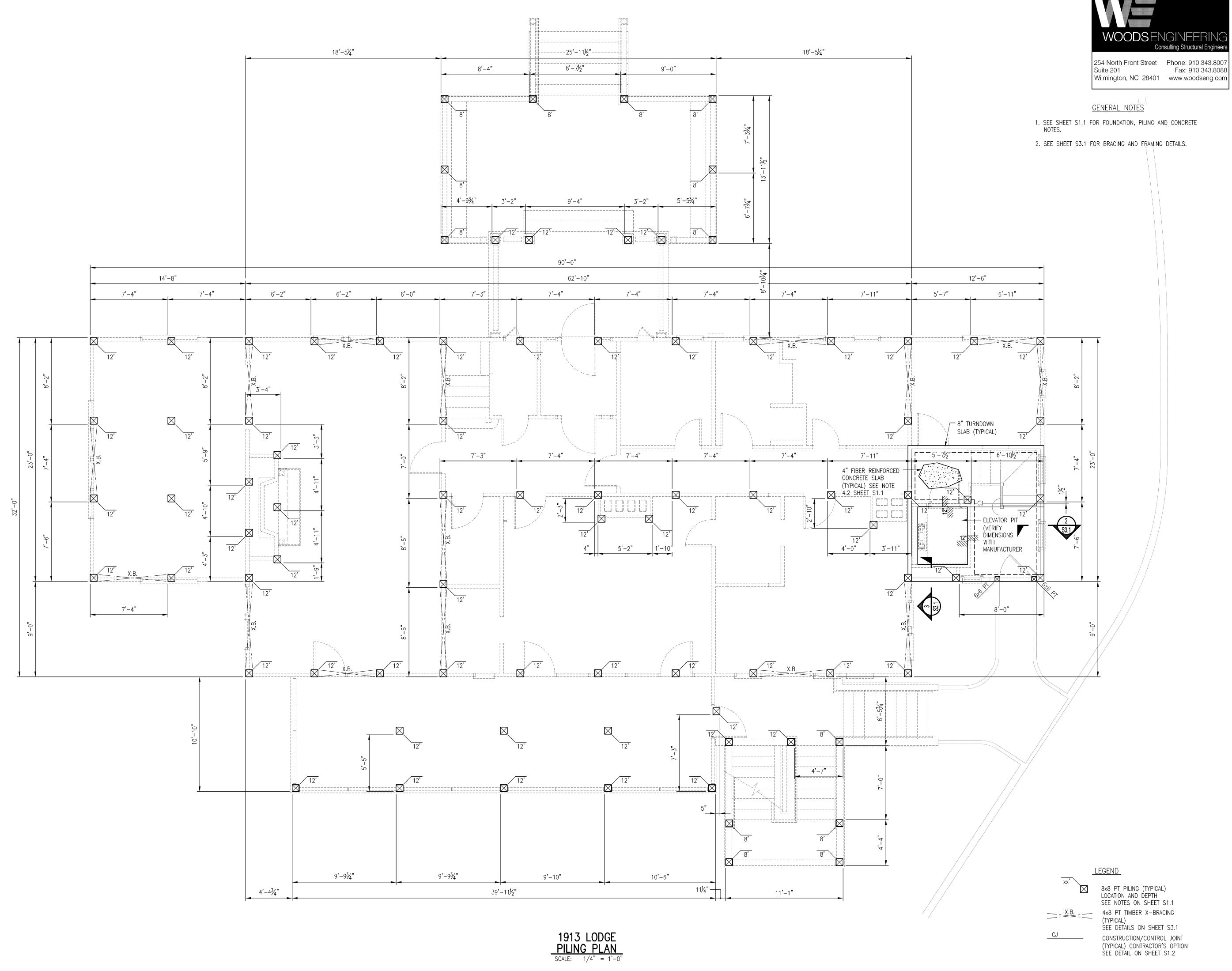
DRAWN BY JAY

CHECKED BY DRW

DATE July 18, 2014

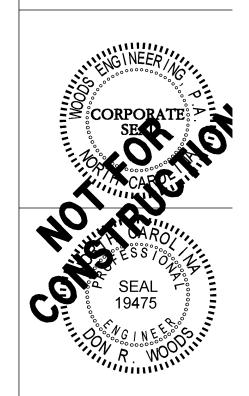
SHEET NUMBER

S2.0B



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THE DONAL C. O'BRIEN JR: Sanctuary & Audubon Center Pine Island, Corolla, North Carolina

1913 Lodge Building

REVISIONS

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July 18, 2014
SHEET NUMBER

S2.1B

GENERAL NOTES

HEMINGWAY ARCHITECT 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506

BOWMAN

MURRAY

O'BRIEN JR: THE DONAL (Sanctuary & A)
Pine Island, Corol

1913 Lodge Building First Floor Framing Plan

REVISIONS

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July 18, 2014

S2.2B

SHEET NUMBER

DATE

2x @ 16" o.c. STUD WALLS NUMBER OF BUNDLED STUDS

UP (TYPICAL U.N.O.) GX GIRDER TYPE SEE SCHEDULE THIS SHEET

PILE LOCATION AND CONNECTION SEE DETAILS ON SHEET S3.3 4" CONCRETE FILL

GENERAL BUILDING NOTES:

GIRDER SCHEDULE

<u>LEGEND</u>

(TYPICAL)

(TYPICAL)

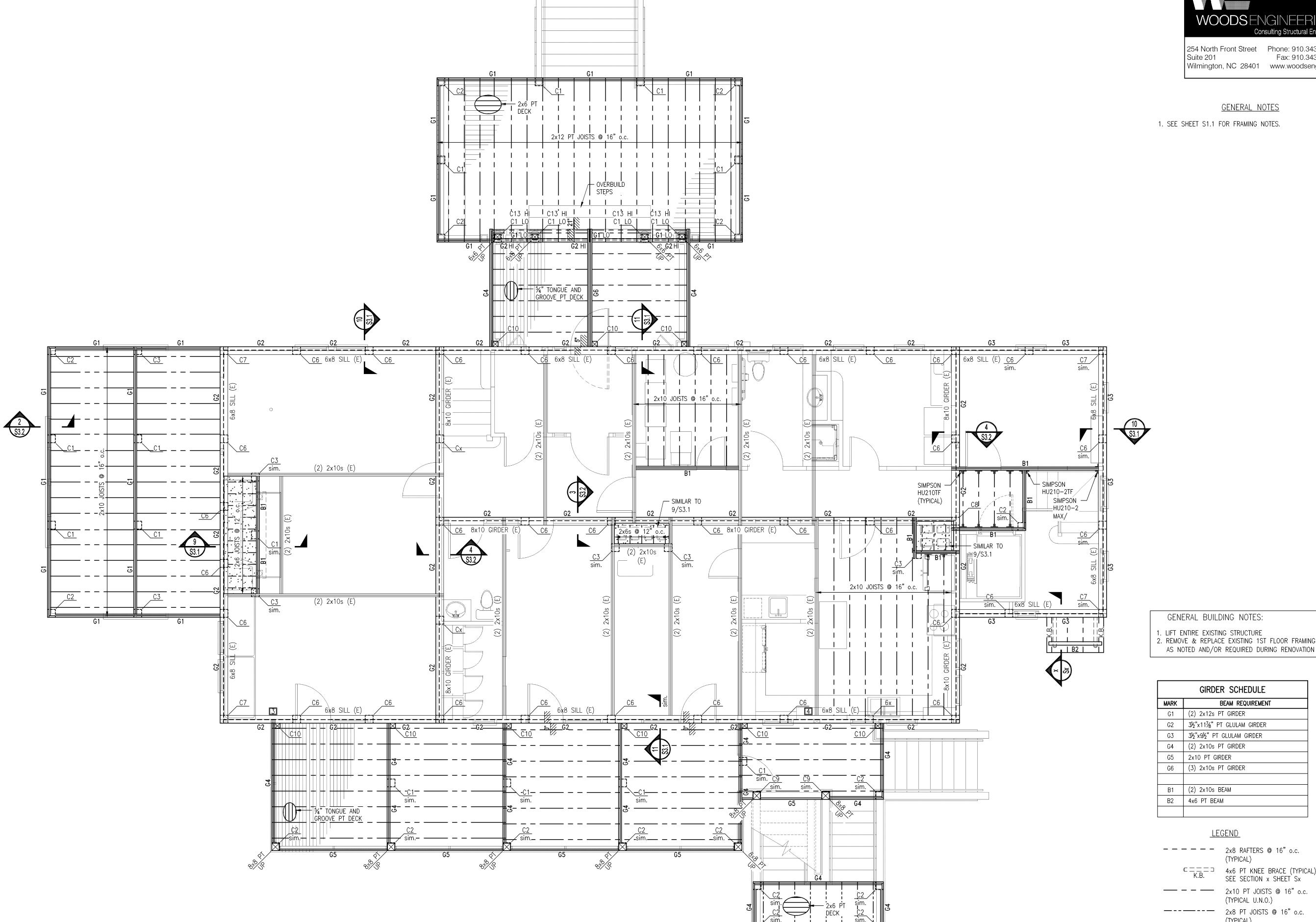
(TYPICAL)

←==== 4x6 PT KNEE BRACE (TYPICAL) SEE SECTION x SHEET Sx

(TYPICAL U.N.O.)

BEAM REQUIREMENT

(TYPICAL AT EXISTING MASONRY FIREPLACE/CHIMNEY LOCATIONS)



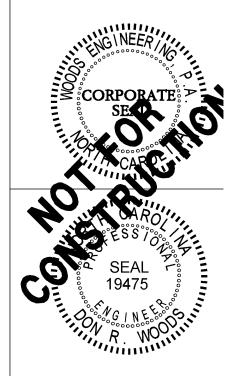
SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

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THE DONAL C. O'BRIEN JR: Sanctuary & Audubon Center Pine Island, Corolla, North Carolina

> 1913 Lodge Building Second Floor Framing

REVISIONS

LBWx LOAD BEARING WALL TYPE

SEE SCHEDULE THIS SHEET

COLUMN LOCATION AND CONNECTION TYPE SEE DETAILS THIS SHEET

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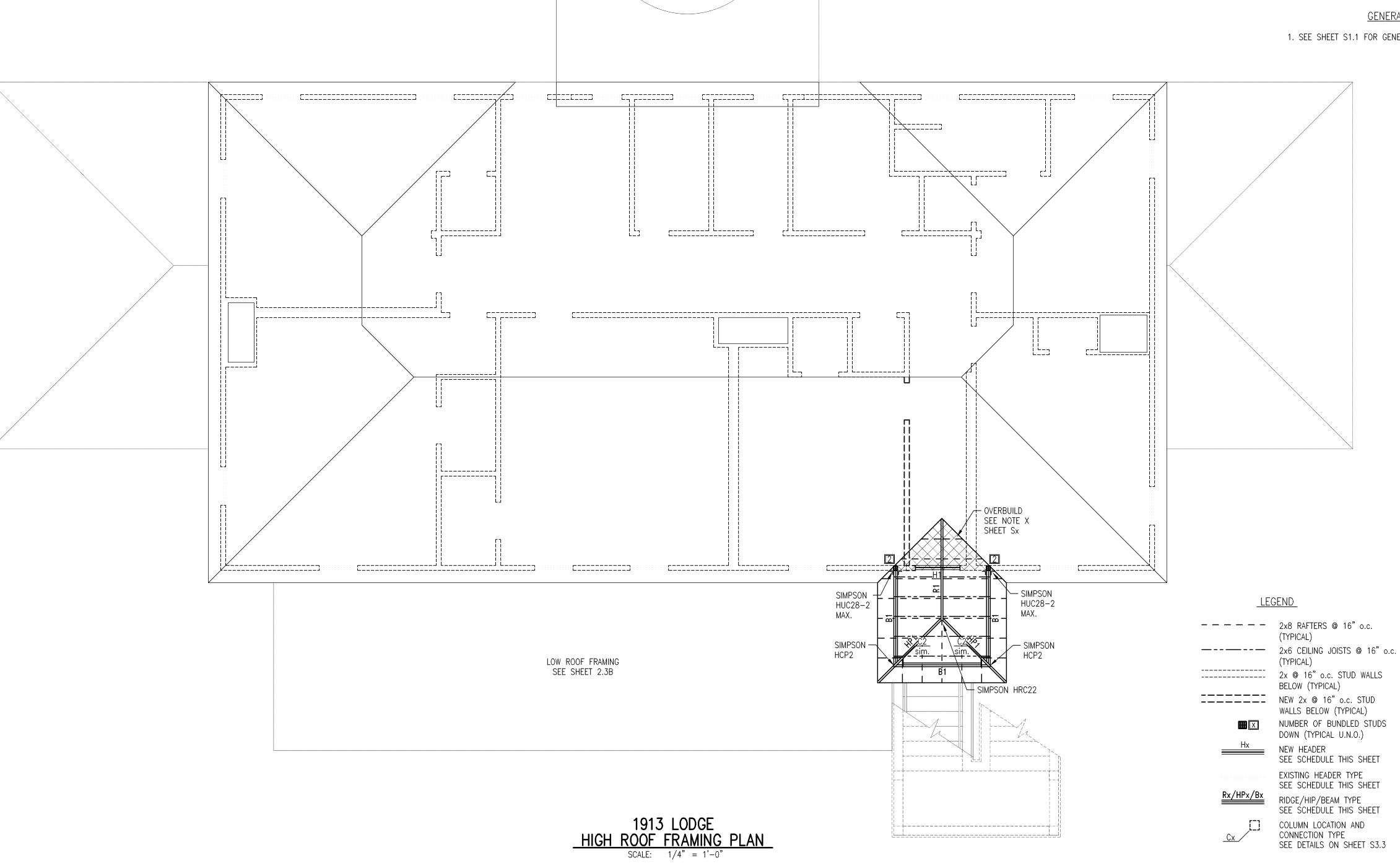
S2.3B



254 North Front Street Phone: 910.343.8007 Suite 201 Fax: 910.343.8088 Wilmington, NC 28401 www.woodseng.com

GENERAL NOTES

1. SEE SHEET S1.1 FOR GENERAL FRAMING NOTES.

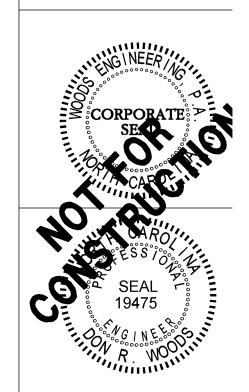


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	HEADER SCHEDULE	JAMB REQUIREMENTS			
MARK	HEADER REQUIREMENTS	EXTERIOR WALLS	INTERIOR WALLS		
H1	(2) 2x6s WITH ½" PLYWOOD IN BETWEEN	(1) KING/(1) JACK	_		

RIDGE/HIP/BEAM SCHEDULE							
MARK	BEAM REQUIREMENT						
R1	2x10 RIDGE						
HP1	2x10 HIP						
B1	(2) 2x8s PT BEAM						





THE DONAL C. O'BRIEN JR: Sanctuary & Audubon Center Pine Island, Corolla, North Carolin

1913 Lodge Building Roof Framing Plan

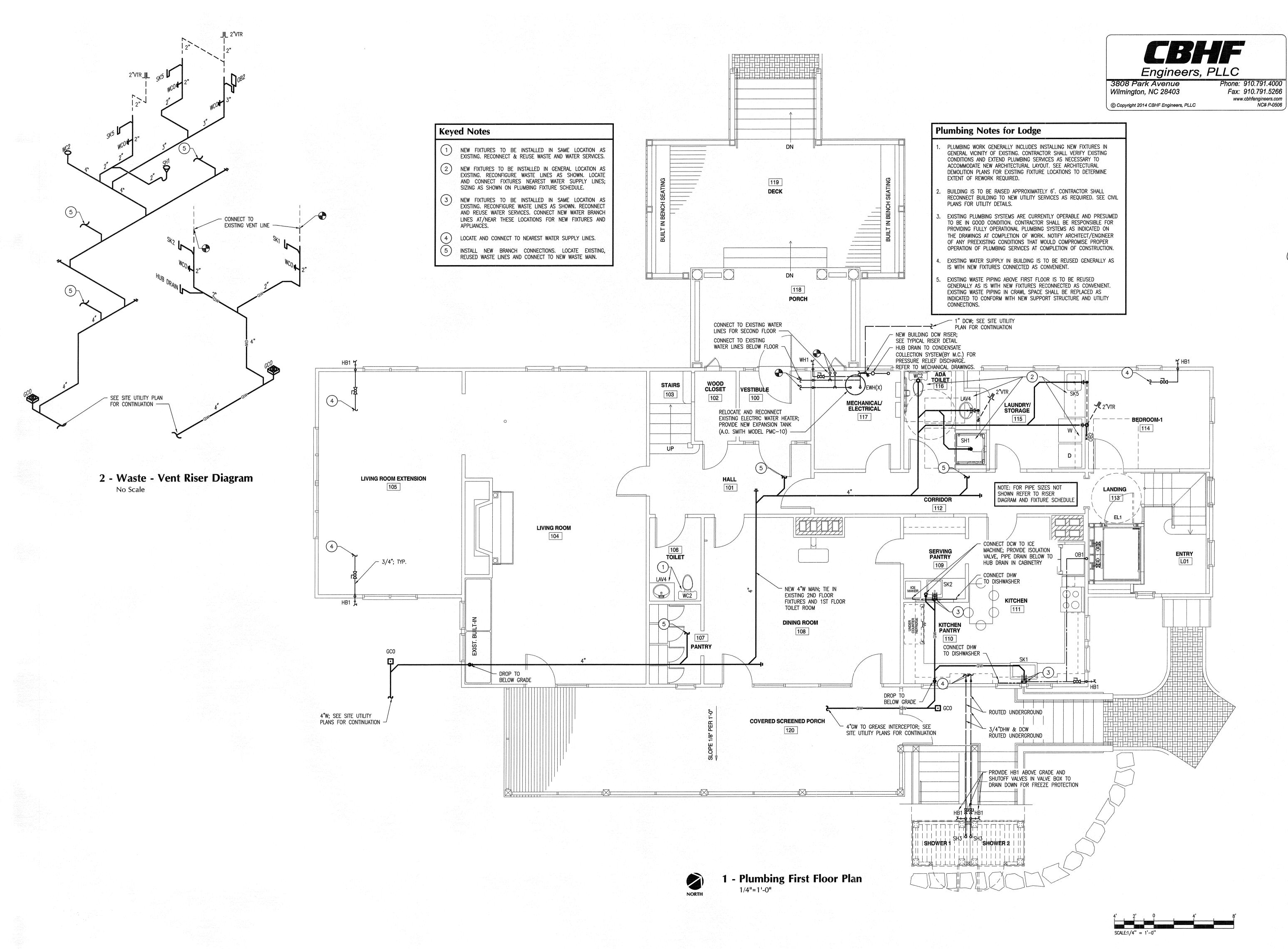
REVISIONS

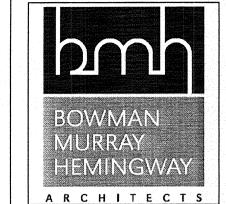
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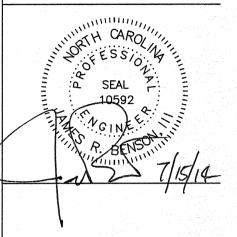
DATE July 18, 2014 SHEET NUMBER

S2.4B





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Iry & Audubon Cen

1913 Lodge Plumbing Renovation Plan

REVISIONS

JOB NUMBER 13038

JRC
CHECKED BY

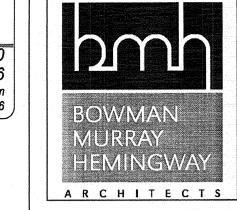
JRB

DATE July 15, 2014

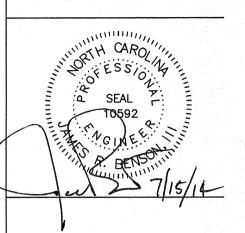
P1.1B



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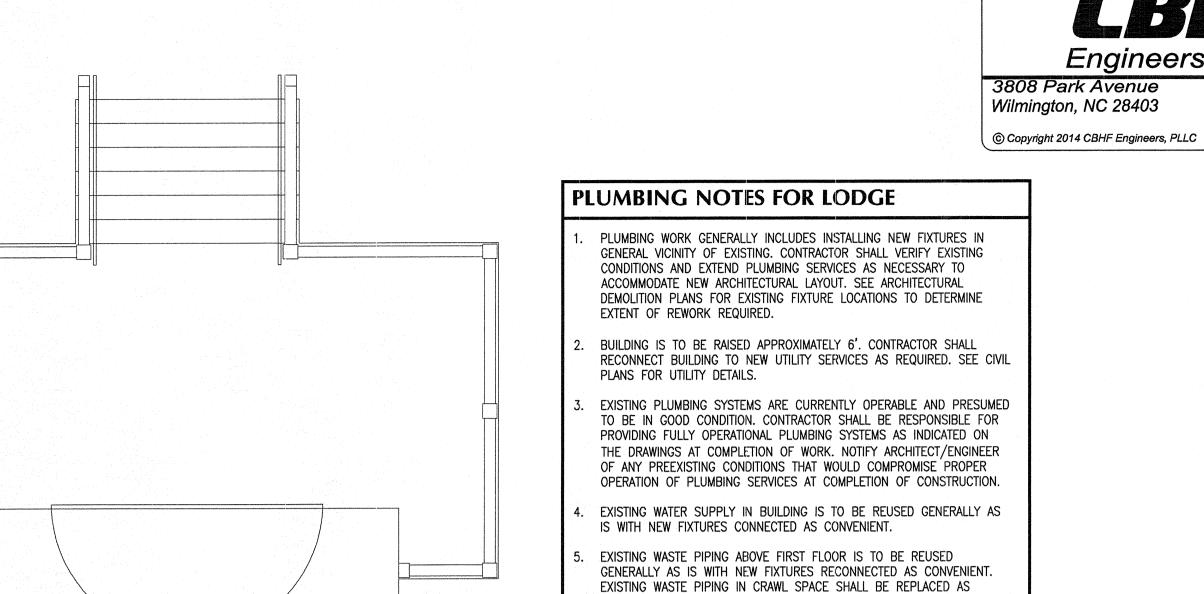
REVISIONS

JOB NUMBER 13038

DRAWN BY JRC CHECKED BY JRB

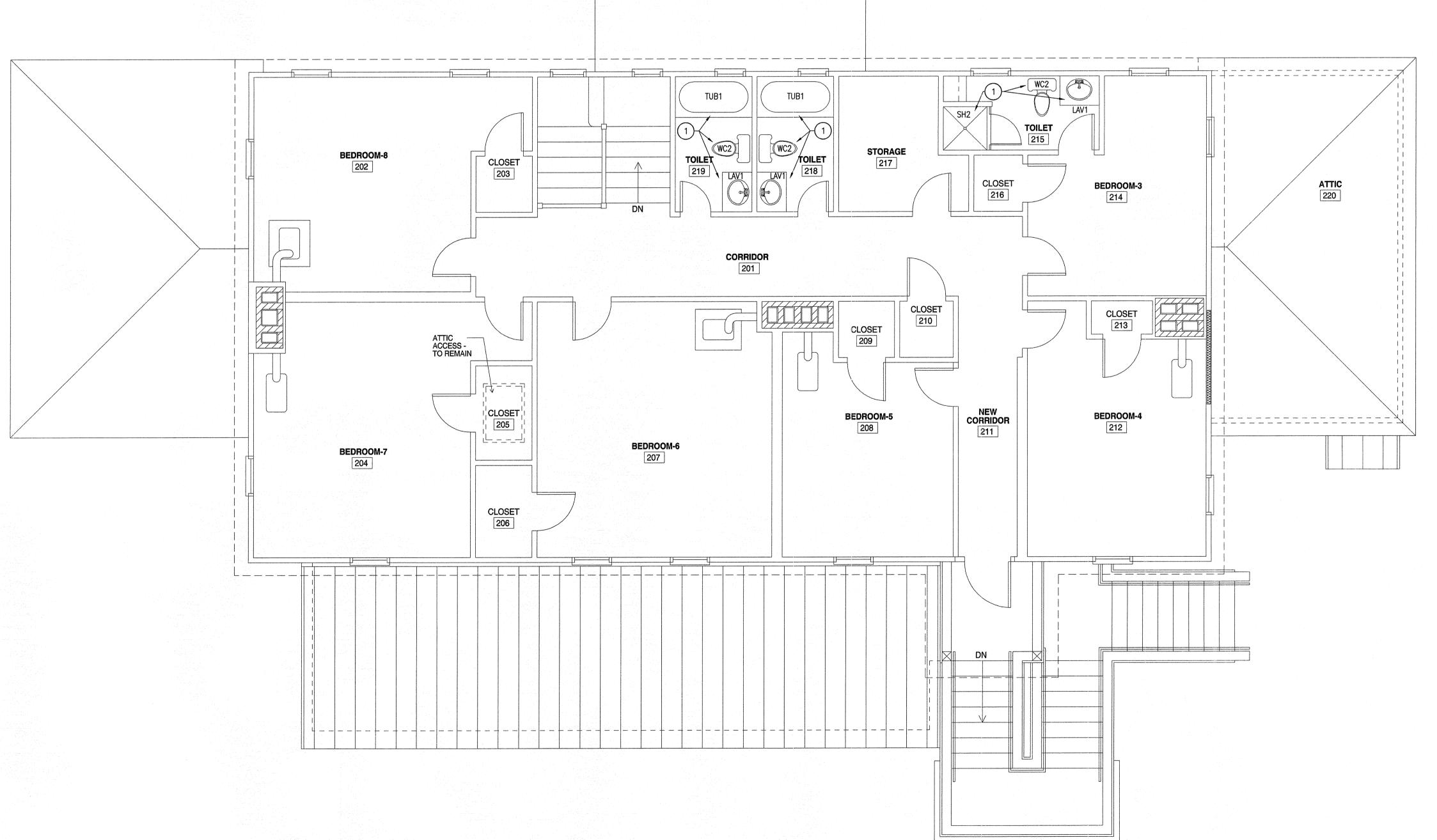
July 15, 2014

SHEET NUMBER P1.2B



INDICATED TO CONFORM WITH NEW SUPPORT STRUCTURE AND UTILITY

CONNECTIONS.



**Keyed Notes** 

APPLIANCES.

NEW FIXTURES TO BE INSTALLED IN SAME LOCATION AS EXISTING. RECONNECT & REUSE WASTE AND WATER SERVICES.

NEW FIXTURES TO BE INSTALLED IN GENERAL LOCATION AS

EXISTING. RECONFIGURE WASTE LINES AS SHOWN. LOCATE AND CONNECT FIXTURES NEAREST WATER SUPPLY LINES;

NEW FIXTURES TO BE INSTALLED IN SAME LOCATION AS EXISTING. RECONFIGURE WASTE LINES AS SHOWN. RECONNECT

AND REUSE WATER SERVICES. CONNECT NEW WATER BRANCH

LINES AT/NEAR THESE LOCATIONS FOR NEW FIXTURES AND

INSTALL NEW BRANCH CONNECTIONS. LOCATE EXISTING,

REUSED WASTE LINES AND CONNECT TO NEW WASTE MAIN.

LOCATE AND CONNECT TO NEAREST WATER SUPPLY LINES.

SIZING AS SHOWN ON PLUMBING FIXTURE SCHEDULE.

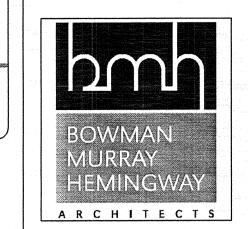
- Plumbing Second Floor Plan



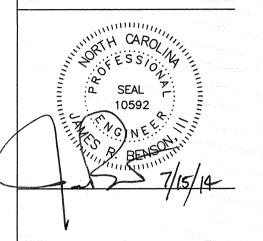
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> 1913 Lodge Mechanical enovation Plan

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1 - Mechanical First Floor Plan



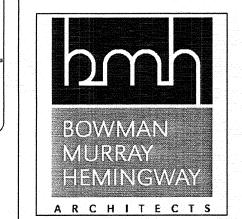
1 - Mechanical Attic Plan



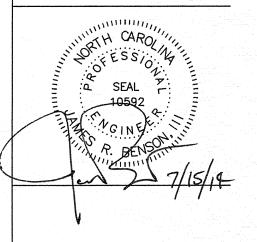
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ary & Audubon Cen

Mechanical Secondarical Mechanical

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July 15, 2014

M1.2B

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/JURRAY ARCHITECTS

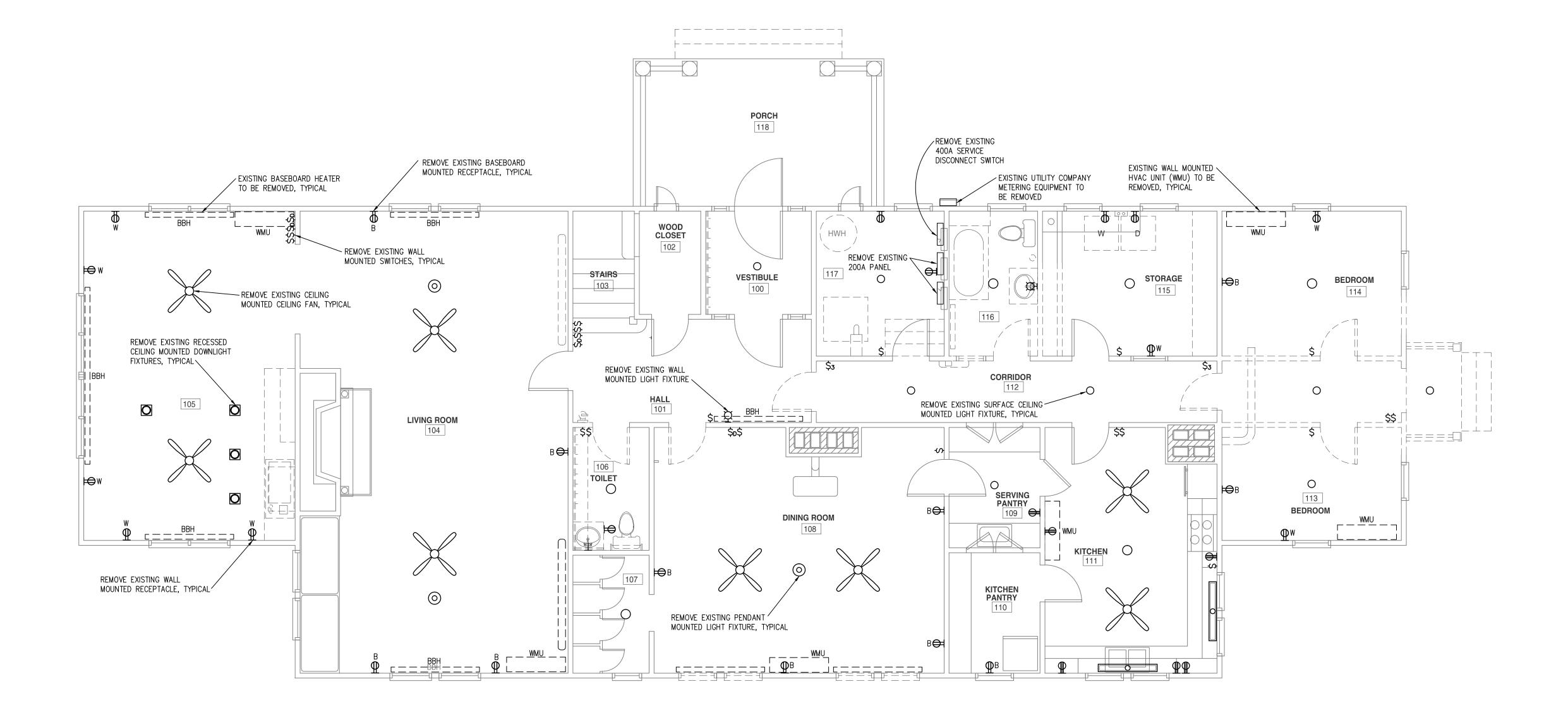
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ARCHITECTS

514 Market Street

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O'BRIEN JR:

Audubon Cente

Sanctuary & Audub

913 Lodge econd Floor molition Plan

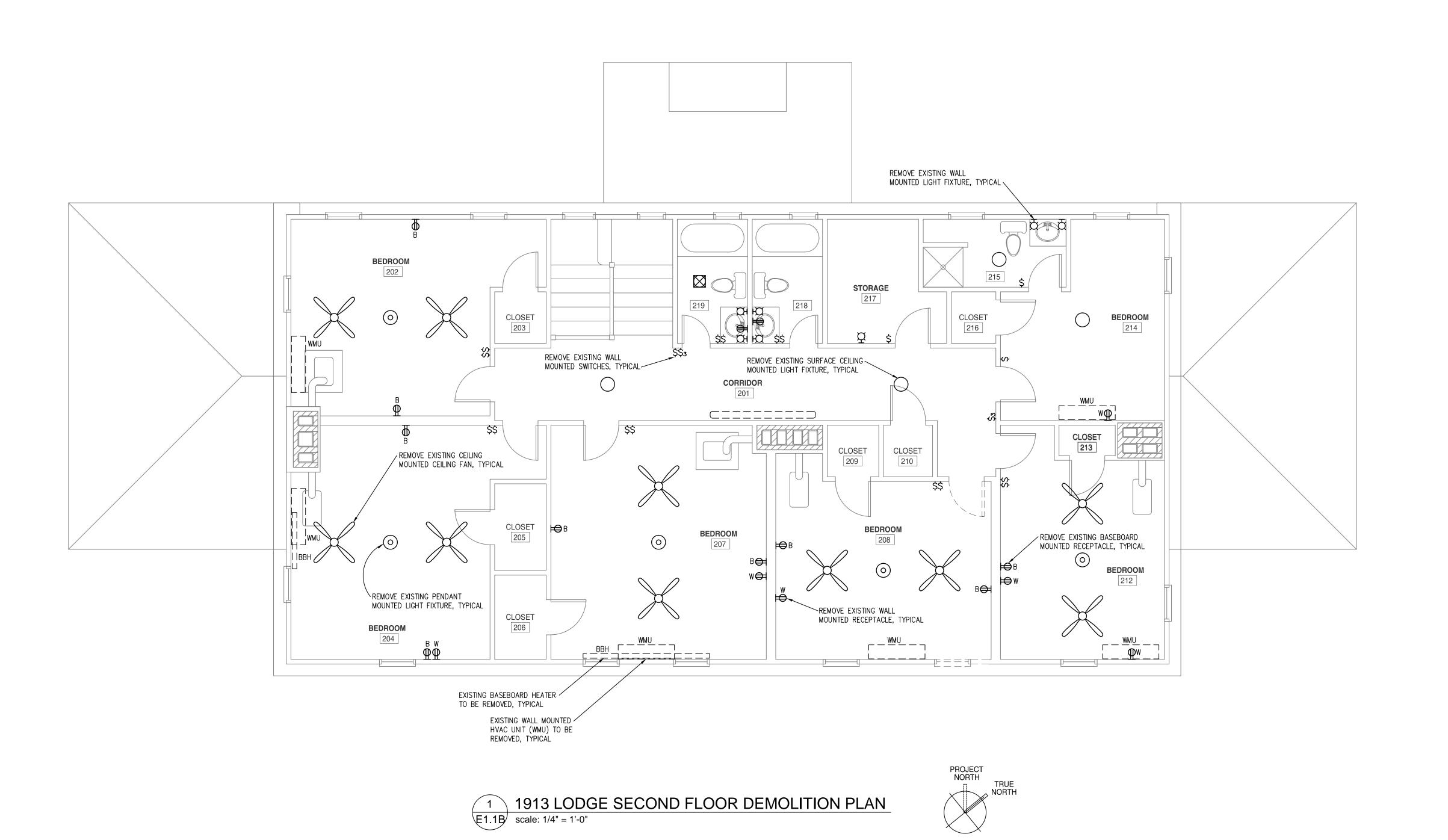
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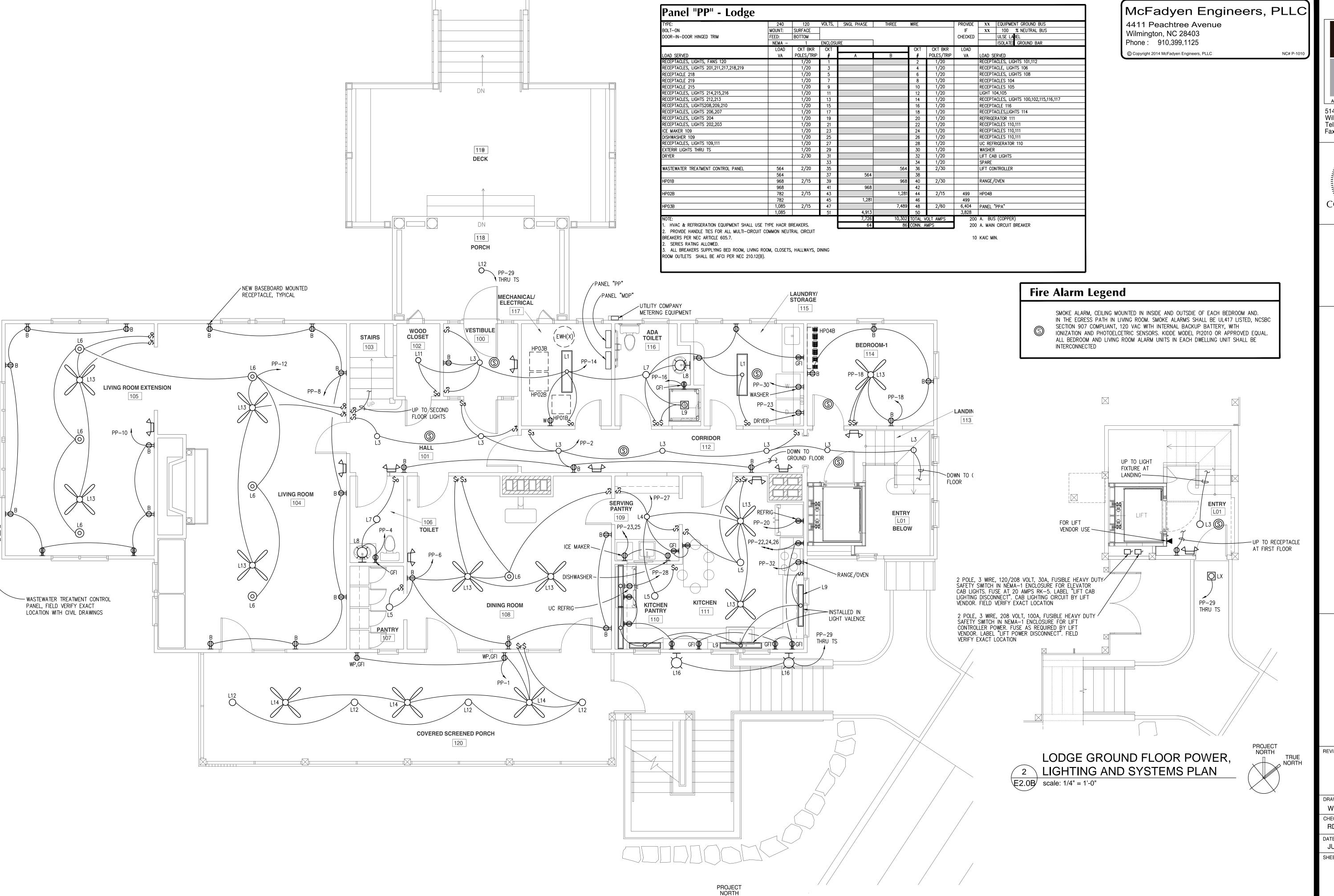
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JULY 15, 2014
SHEET NUMBER

E1.1B





LODGE FIRST FLOOR POWER, LIGHTING AND SYSTEMS PLAN

E2.0B scale: 1/4" = 1'-0"

IURRAY

ARCHITECTS 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506

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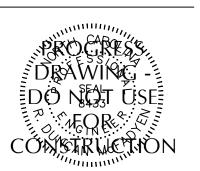
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Sanctuary & Audubon Ce

1913 Lodge Second Floor Power, Lighting and Systems Plan

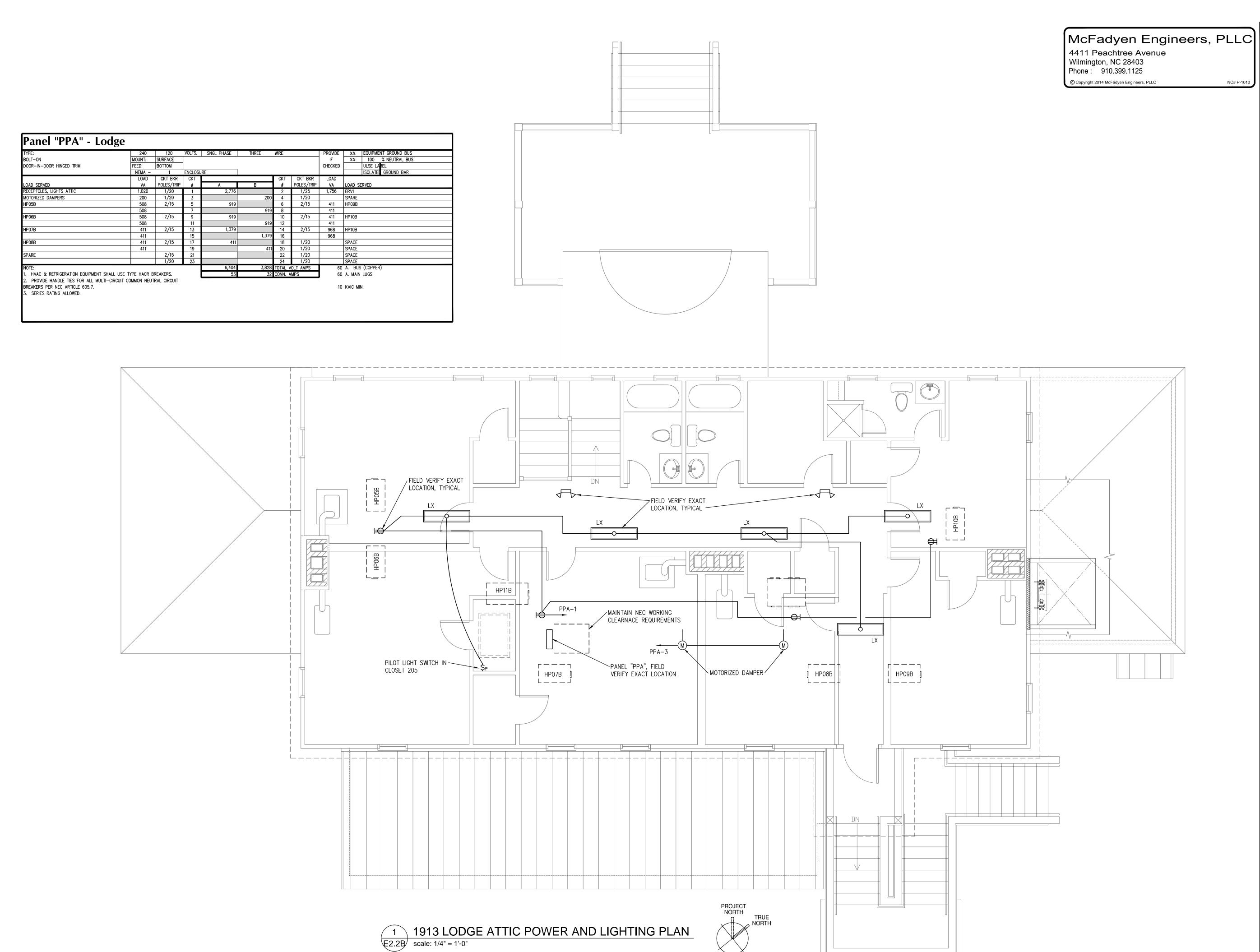
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Wilmington, NC 28401
Tel - (910) 762-2621
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NAL C. O'BRIEN JR:

& Audubon Ce

Attic Power and Lighting Plan

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McFadyen Engineers, PLLC

4411 Peachtree Avenue

O'BRIEN JR:

udubon Center

North Carolina

Ictuary & Audubon C

1913 Lodge
Power Riser Diagram
and Lighting Fixture
Schedule

DRAWN BY	
WPJ	
CHECKED BY	
RDM	
DATE	

JULY 15, 2014
SHEET NUMBER

Lighting Fixture Schedule - 1913 Lodge IZE/APERTURE VOLTS MANUFACTURER MARK DESCRIPTION. TRIM COLOR MOUNTING HEIGHT L1 SURFACE MOUNTED FLUORESCENT WRAPAROUND 3-F032 T8 0.156 ACRYLIC SURFACE ELECTRONIC BALLASTS FOR DUAL LEVEL SWITCHING LITHONIA "LB" SERIES 120 PRISMATIC CEILING L2 SURFACE MOUNTED FLUORESCENT WRAPAROUND 0.156 ACRYLIC WHITE SURFACE ELECTRONIC BALLAST 2-F032 T8 LITHONIA "LB" SERIES 12"x4' PRISMATIC CEILING L3 SURFACE MOUNTED FLUORESCENT PENDANT SELECTED BY ARCHITECT 120 CEILING SURFACE SELECTED BY ARCHITECT L4 SURFACE MOUNTED FLUORESCENT CEILING L5 SURFACE MOUNTED FLUORESCENT SELECTED BY ARCHITECT SURFACE CEILING SURFACE SELECTED BY ARCHITECT L6 SURFACE MOUNTED FLUORESCENT CEILING L7 SURFACE MOUNTED FLUORESCENT TBD TBD TBD SURFACE TBD SELECTED BY ARCHITECT 120 TBD CEILING L8 WALL MOUNTED FLUORESCENT SELECTED BY ARCHITECT 120 WALL FIELD VERIFY L9 FLUORESCENT STRIP ELECTRONIC BLLAST 1-F032 T8 WHITE IN LIGHTING LITHONIA "S" SERIES VALAENCE L10 SURFACE MOUNTED FLUORESCENT TBD 120 TBD TBD TBD SURFACE TBD SELECTED BY ARCHITECT CEILING SURFACE SELECTED BY ARCHITECT L11 SURFACE MOUNTED FLUORESCENT TBD 120 CEILING L12 SURFACE MOUNTED FLUORESCENT SURFACE SELECTED BY ARCHITECT 120 CEILING L13 PENDANT MOUNTED CEILING FAN PENDANT SELECTED BY ARCHITECT CEILING L14 PENDANT MOUNTED CEILING FAN TBD 120 TBD PENDANT SELECTED BY ARCHITECT L15 WEATHERPROOF LED LIGHT MODULE LENGTH AS SURFACE GVA LIGHTING "IP-SF-3" SERIES 120/12V DC 3 LED'S PER MODULE, 3500K, 140 DEGREE BEAM ANGLE, INDICATED UNDER HANDRAIL DIMMING POWER SUPPLY IN NEMA-3R ENCLOSURE, MODULE IP-65 WET LOCATION LABEL, STAINLESS STEEL MOUITNG HARDWARE L16 WALL MOUNTED FLUIORESCENT CLEAR GLASS GALVANIZED 1-32W DTT ELECTRONIC BALLAST, 24" PROJECTION, SMALL GLASS JAR, TREND LIGHTING "A1-B3" SERIES ALUMINUM FILED VERIFY WET LOCATION LABEL

NOTES:

NOTES: 1. ALL 4'FLUORESCENT LAMPS SHALL BE 3500 K, F032, 2950 MINIMUM LUMENS. OTHER LAMPS SHALL BE AS SCHEDULED.

2. ACRYLIC PRISMATIC LENSES SHALL BE 0.156" NOMINAL MINIMUM THICKNESS.

3. FLUORESCENT FIXTURES SHALL BE PROVIDED WITH 0.88 MINIMUM BALLAST FACTOR, 2, 3 OR 4 LAMP, DOMESTIC, ELECTRONIC BALLASTS WITH 5 YEAR WARRANTY.
4. PROVIDE MANUFACTURER INSTALLED NEC 2008 ARTICLE 410.130 (G) COMPLIANT DISCONNECTING MEANS FOR ALL APPLICABLE FIXTURES.

2#10 & 1#10 EG − 3/4" C. < ∠ 2#10 & 1#10 EG − 3/4" C. PANEL 1ø, 3W, 120/240V HP08B トレデ HP07B '〜ノ HP05B HP06B ── 3#6 - 3/4" C. ∠2#10 & 1#10 EG − 3/4" C. SECOND FLOOR WASTEWATER TREATMENT CONTROL PANEL ENGRAVED NAMEPLATE, SEE 5/E1.0C UTILITY COMPANY METERING EQUIPMENT 2#10 & 1#10 EG - 3/4" C. HP04B EWHX 1ø, 3W, 120/240V UNDERGROUND SERVICE BY UTILITY COMPANY-F1RST FLOOR FIN. GRADE

1 1913 LODGE POWER RISER DIAGRAM not to scale

# **2018 APPENDIX B BUILDING CODE SUMMARY** FOR ALL COMMERCIAL PROJECTS

Name of Project: 4-	Bay Garage				
Address: 30	05 Audubon Drive	e, Corolla, North Car	olina	Zip Code _	27927
Proposed Use: Ut	•				
Owner or Authorize	ed Agent <u>Chip I</u> T	Hemingway Ph# City / County	910.762.2621 Privat	E-mail hemingway@	bmharch.com  State
Owned By: Code Enforcement	L Jurisdiction: [	City:	<del></del>	y: Currituck	DOI/DHSR
	_	hip Hemingway AIA, Bown			
DESIGNER Architectural	FIRM BMH Architects	NAME Chip Hemingway	LIC # TEL 7487 910.76		arch.com
Civil Electrical	— McFadyen Engineers	<u> </u>	<u> </u>	9.1125 dmcfadyen@mcfa	adyenengineers.com
Fire Alarm Plumbing	none – n/a CBHF Engineers	Jim Benson	10592 910.79	1,4000 jbenson@cbhfeng	nineers.com
Mechanical	_				ginooroioom
Sprinkler/Standpipe Structural	Woods Engineering	Don Woods	19475 910.34	3.8007 donwoods@wood	Iseng.com
Retaining Walls > 5 Other -	' High <u>none - n/a</u> _	a			
	_		_		
2018 NC BUILDING		ew Construction	Shell/Core	<del></del>	r Completions
	Ad	ddition	Phased Cor	struction - Shell Cor	re
2018 NC EXISTING	BUILDING COD	DE: Prescriptive	Alteration	n Level I 🔲 His	toric Property
		Repair	Alteration	n Level II 🔲 Ch	ange of Use
		Chapter 14	<b>X</b> Alteration	n Level III	
	1050	6175		/O/ 6: 1 mm	
CONSTRUCTED: (	·	CURRENT O	` '	(Ch. 3): Utility	
•		PROPOSED (	•	, ,	ll .
	IGOTT (TABLE		_		
BASIC BUILDING D	ATA				
Construction Type: (check all that apply)		□II-A	□III-A	□IV	□V-A
	∐I-B	□П-В	□III-B	·	<b>X</b> V-B
Sprinklers: No		_ = _	□NFPA 13F	<del></del>	
Standpipes: No Primary Fire District		_li	☐Wet ☐D Hazard Area:	· — —	
Special Inspections		∐No ∐Yes	i nazaiu Alea.	□INO Mites	
Special inspections	s nequired.	7140 Les			
Floor		GROSS BUILDING	AREA TABLE:		
	Existing (sq	ft) New (sq ft)	Sub Total (s	α ft) Alteration Δ	rea (Level 3)
2nd	Existing (sq		Sub Total (s		Area (Level 3)
	1,27	 75	1	 ,275	 1,275
2nd		 75	1		
2nd 1st Total	1,27	 75	1	 ,275	 1,275
2nd 1st Total Occupancy:	1,27	75 ALLOWABLE	AREA	,275 ,275	1,275 1,275
2nd 1st Total Occupancy:	1,27	 75   75	1	 ,275	 1,275
2nd 1st  Total  Occupancy: Assembly	1,27	75 ALLOWABLE	AREA	,275 ,275	1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational	1,27	75 ALLOWABLE	AREA	,275 ,275	1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational	1,27 1,27	ALLOWABLE  A-2  F-2 Low	AREA  A-3		1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional	I,27  1,27  1,27  1,27  A-1  F-1 Moderate  H-1 Detonate  I-1	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2	AREA  A-3		1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Condition	1,27 1,27 1,27 1,27 1,27  A-1  F-1 Moderate  H-1 Detonate  I-1  n	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2	AREA  A-3  H-3 Combust		1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition	1,27  1,27  1,27  1,27  A-1  F-1 Moderate  H-1 Detonate  I-1  n	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2	AREA  A-3  H-3 Combust		1,275 1,275
2nd 1st  Total  Occupancy:  Assembly  Business  Educational  Factory  Hazardous Institutional  I-1 Condition I-2 Condition I-3 Condition	1,27  1,27  1,27  1,27  A-1  F-1 Moderate  H-1 Detonate  I-1  n	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2	AREA  A-3  H-3 Combust		1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Conditio I-2 Conditio I-3 Conditio Mercantile	1,27  1,27  1,27  1,27  A-1  F-1 Moderate  H-1 Detonate  I-1  n	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2	AREA  A-3  H-3 Combust		1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition Mercantile	1,27  1,27	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2	AREA  A-3  H-3 Combust  I-3		1,275 1,275
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Conditio I-2 Conditio I-3 Conditio Mercantile Residential	1,27  1,27		AREA  A-3  H-3 Combust  I-3  R-3		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Conditio I-2 Conditio I-3 Conditio Mercantile Residential	1,27  1,27		AREA  A-3  H-3 Combust  1-3  F-3  S-2 Low		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy:    Assembly	A-1  F-1 Moderate  H-1 Detonate  I-1  I	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2  R-2  R-2  Open	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Conditio I-2 Conditio I-3 Conditio I-3 Conditio Mercantile Residential Storage Utility and Miscell  Accessory Occupa	A-1  F-1 Moderate  H-1 Detonate  I-1  I	ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2  R-2  R-2  Open	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Conditio I-2 Conditio I-3 Conditio Mercantile Residential Storage Utility and Miscell  Accessory Occupa Incidental Uses (Ta	A-1  F-1 Moderate  H-1 Detonate  I-1  I	ALLOWABLE  A-2  F-2 Low H-2 Deflagrate  I-2  R-2  R-2  Open  on(s):  n/a	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy:  Assembly  Business  Educational  Factory  Hazardous Institutional  I-1 Condition I-2 Condition I-3 Condition I-3 Condition Mercantile  Residential  Storage  Utility and Miscell  Accessory Occupa Incidental Uses (Tather Separate)	1,27   1,27		AREA  A-3  H-3 Combust  I-3  S-2 Low Enclosed		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy:  Assembly  Business  Educational  Factory  Hazardous  Institutional  I-1 Condition I-2 Condition I-3 Condition I-3 Condition Mercantile  Residential  Storage  Utility and Miscell  Accessory Occupation Incidental Uses (Tather Special Uses (Chape)	1,27   1,27	ALLOWABLE  A-2  F-2 Low H-2 Deflagrate  I-2  R-2  R-2  Open  on(s):  n/a  pt as a Non-Separate	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition I-3 Condition Mercantile Residential Storage Utility and Miscell  Accessory Occupation Incidental Uses (Tather Special Uses (Chapes) Special Provisions	A-1   F-1 Moderate   H-1 Detonate   I-1   I   I   I   I   I   I   I   I   I	ALLOWABLE  A-2  F-2 Low H-2 Deflagrate  I-2  R-2  Open  on(s): n/a  pt as a Non-Separate e Sections: n/a	AREA  A-3  H-3 Combust  I-3  S-2 Low Enclosed  d Use (see exc		1,275 1,275 1,275 A-5
2nd 1st  Total  Occupancy: Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition I-3 Condition Mercantile Residential Storage Utility and Miscell Accessory Occupa Incidental Uses (Tather Special Uses (Chape Special Provisions Mixed Occupancy:	A-1   I,27   I	ALLOWABLE  A-2  F-2 Low H-2 Deflagrate I-2  R-2  R-2  Open  on(s):  n/a  pt as a Non-Separate e Sections:  st Code Sections:  Yes  Se	AREA  A-3  H-3 Combust  I-3  S-2 Low Enclosed  d Use (see exc		1,275 1,275 1,275 A-5
Total	A-1   I,27   I	ALLOWABLE  ALLOWABLE  A-2  F-2 Low H-2 Deflagrate I-2  R-2  R-2  Open  on(s): n/a  pt as a Non-Separate e Sections: yes  Se  508.3) ion for the building sh mitations for each of	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed  d Use (see exc  n/a  paration  all be determine the applicable		1,275 1,275 1,275 A-5
Occupancy:  Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition I-3 Condition I-3 Condition I-3 Condition I-4 Condition I-5 Condition I-6 Condition I-7 Condition I-8 Condition I-9 Condition I-10 Condition I-11 Condition I-12 Condition I-12 Condition I-13 Condition I-14 Condition I-15 Condition I-16 Condition I-17 Condition I-18 Condition I-19	A-1   I,27   I	ALLOWABLE  ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2  R-2  Open  on(s):  n/a  pt as a Non-Separate  e Sections:  n/a  st Code Sections:  Yes  Se  508.3)  ion for the building sh mitations for each of ling. The most restric	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed  d Use (see exc  n/a  paration  all be determine the applicable tive type of		1,275 1,275 1,275 A-5
Decupancy:  Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition I-4 Condition I-5 Condition I-7 Condition I-8 Condition I-9 Condition I-10 Condition I-11 Condition I-12 Condition I-13 Condition I-13 Condition I-14 Condition I-15 Condition I-16 Condition I-17 Condition I-18 Condition I-19 C	1,27   1,27	ALLOWABLE  A-2  F-2 Low H-2 Deflagrate I-2  R-2  R-2  Open  on(s): n/a  pt as a Non-Separate e Sections: yes  Se  508.3) ion for the building sh mitations for each of ling. The most restric hall apply to the entir 4) - See below for are	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed  d Use (see exc  n/a  paration  all be determine the applicable tive type of e building. a calculations.		1,275 1,275 1,275 A-5
Occupancy:  Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition I-3 Condition I-3 Condition I-3 Condition I-4 Condition I-5 Condition I-7 Condition I-8 Condition I-9 Condition I-10 Condition I-11 Condition I-12 Condition I-13 Condition I-13 Condition I-14 Condition I-15 Condition I-16 Condition I-17 Condition I-18 Condition I-19 Condition I-2 Condition I-19 Condition I-2 Condition I-2 Condition I-3 Condition I-3 Condition I-19 Condition I-19 Condition I-19 Condition I-19 Condition I-2 Condition I-19 Condition I	1,27  1,27	ALLOWABLE  ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2  R-2  R-2  Open  on(s):  n/a  pt as a Non-Separate e Sections:  At Code Sections:  Yes  Se  508.3)  ion for the building shitations for each of ling. The most restrict hall apply to the entire 4) - See below for are occupancy shall be see of each use divide	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed  Ad Use (see exc  n/a  paration  all be determine the applicable tive type of e building. a calculations. such that the su		1,275 1,275 1,275 A-5
Occupancy:  Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition I-3 Condition I-3 Condition I-4 Condition I-5 Condition I-7 Condition I-8 Condition I-9 Condition I-10 Condition I-10 Condition I-11 Condition I-12 Condition I-12 Condition I-13 Condition I-14 Condition I-15 Condition I-16 Condition I-17 Condition I-18 Condition I-19 Condition I-	1,27   1,27	ALLOWABLE  ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2  R-2  R-2  Open  on(s): n/a  n/a  pt as a Non-Separate  e Sections: n/a  st Code Sections:	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed  d Use (see exc  n/a  paration  all be determine the applicable tive type of e building. a calculations. such that the sud by the allowal		1,275 1,275 1,275 A-5
Occupancy:  Assembly Business Educational Factory Hazardous Institutional I-1 Condition I-2 Condition I-3 Condition I-3 Condition I-3 Condition I-4 Condition I-5 Condition I-7 Condition I-8 Condition I-9 Condition I-10 Condition I-10 Condition I-11 Condition I-12 Condition I-12 Condition I-13 Condition I-14 Condition I-15 Condition I-16 Condition I-17 Condition I-18 Condition I-19 Condition I-	1,25  1,25  1,25  1,25  1,25  1,25  1,25  1,25  1,27	ALLOWABLE  ALLOWABLE  A-2  F-2 Low  H-2 Deflagrate  I-2  R-2  R-2  Open  on(s):  n/a  pt as a Non-Separate e Sections:  At Code Sections:  Yes  Se  508.3)  ion for the building shitations for each of ling. The most restrict hall apply to the entire 4) - See below for are occupancy shall be see of each use divide	AREA  A-3  H-3 Combust  I-3  S-2 Low  Enclosed  Ad Use (see exc  n/a  paration  all be determine the applicable tive type of e building. a calculations. such that the sud by the allowal a of Occupancy ea of		1,275 1,275 1,275 A-5

#### ALLOWABLE AREA TABLE

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>4</sup> AREA	(C) AREA FOR FRONTAGE INCREASE 1,5	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>
1st Floor	Utility	1,275	5,500	75% = 4,125	9,625

Frontage area increases from Section 506.2 are computed thus:

a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_151\_\_(F)

b. Total Building Perimeter = \_\_\_\_151\_\_\_(P)

c. Ratio (F/P) = \_\_\_\_\_1\_\_\_(F/P)

d. W = Minimum width of public way = \_\_\_\_30' + \_\_(W)

e. Percent of frontage increase If = 100 [ F/P - 0.25 ] x W/30 = \_\_\_\_\_75\_\_(%)

<sup>2</sup>Unlimited area applicable under conditions of Section 507.

<sup>5</sup>Frontage increase is based on the unsprinklered area value in Table 506.2.

<sup>3</sup>Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2). <sup>4</sup>The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.

#### **ALLOWABLE HEIGHT**

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE <sup>1</sup>
Building Height in Feet (Table 504.3)	40	24	
Building Height in Stories (Table 504.4)	1	1	

<sup>1</sup>Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 503.4.

#### FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	SEPARATION	REQ'D	ATING PROVIDED	DETAIL# AND	DESIGN # FOR	SHEET# FOR	SHEET # FOR
	DISTANCE (FEET)		(w/* REDUCTION)	SHEET#	RATED ASSEMBLY	RATED PENETRATION	RATED JOINTS
Structural frame, including columns, girders, and trusses		0-hr					
Bearing walls							
Exterior							
North	30+	0-hr					
East	30+	0-hr					
West	30+	0-hr					
South	30+	0-hr					
Interior							
Nonbearing walls and partitions Exterior Walls							
North	30+	0-hr					
East	30+	0-hr					
West	30+	0-hr					
South	30+	0-hr					
Interior Walls		0-hr					
Floor Construction Including supporting be	eams and joists	0-hr					
Floor Ceiling Assembly	/	n/a					
Columns Supporting F	loors	n/a					
Roof Construction Including supporting be	eams and joists	0-hr					
Roof Ceiling Assembly	1	0-hr					
Columns Supporting R	loof	0-hr					
Shaft Enclosure - Exit		n/a					
Shaft Enclosure - Othe	er	n/a					
Corridor Separation		n/a					
Occupancy/Fire Barrie	r Separation	n/a					
Party/Fire Wall Separa	ition	n/a					
Smoke Barrier Separat	tion	n/a					
Smoke Partition		n/a					
Tenant/Dwelling Unit S	Separation	n/a					
Incidential Use Separa	ıtion	n/a					

# PERCENTAGE OF WALL OPENING CALCULATIONS [NOT APPLICABLE]

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting	☐ No	X Yes
Exit Signs	☐ No	X Yes
Fire Alarms	<b>⊠</b> No	Yes
Smoke Detection Systems	<b>⊠</b> No	Yes
Carbon Monoxide Detection	<b>⋈</b> No	Yes

# LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: #1 / G1.0E
Fire and / or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances (1006.2.1 & 1006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)

Note any code exceptions or table notes that may have been utilized regarding the items above

Location of doors equipped with hold-open devices

The square footage of each smoke compartment (407.5)

Location of emergency escape windows (1030)

The square footage of each fire area (202)

**ACCESSIBLE DWELLING UNITS** (SECTION 1107) [ NOT APPLICABLE ]

ACCESSIBLE PARKING (SECTION 1106) [ NOT APPLICABLE ]

#### SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below.) Currituck County

### PLUMBING FIXTURE REQUIREMENTS

(TABLE 2902.1) [ NO EXISTING PLUMBING - EXISTING CONDITION TO REMAIN ]

> STRUCTURAL DESIGN [ SEE STRUCTURAL DRAWING #S1.1 ]

# **ENERGY SUMMARY**

The following data shall be considered minimum and any special attribute required to meet the energy code

shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: YES; Existing non-conditioned utility use to remain.

<u>n/a</u> Provide code or statutory reference:

Performance (ASHRAE 90.1)

Climate Zone: Method of Compliance: Prescriptive (Energy Code) Performance (Energy Code) Prescriptive (ASHRAE 90.1)

# **MECHANICAL SUMMARY**

[ NO MECHANICAL WORK - NOT APPLICABLE ]

**ELECTRICAL SUMMARY** 

[ SEE ELECTRICAL DRAWINGS - SHEET #E0.1 ]

**KEY MAP** 

(A) WORKSHOP BUILDING (FUTURE) (B) LODGE (EXISTING) © DINING HALL (FUTURE) (D) GUIDE'S QUARTERS (EXISTING)

-AUDUBON DR.

(E) 4-BAY GARAGE (EXISTING) F MISC. STORAGE BLDGS (EXISTING (G) PERCH COTTAGE (EXISTING)

(I) SAND HILL COTTAGE (EXISTING) (J) BOAT BUILDINGS (EXISTING)

(H) OAK GROVE COTTAGES (EXISTING

## 4 BAY GARAGE - INDEX OF DRAWINGS

ARCHITECTURAL 4 Bay Garage Site Plan Demolition Floor Plan A1.0 E A2.0 E Renovation Floor Plan A3.0 E Renovation Elevations A4.0 E Building Section A4.1 E Building Section A4.2 E

G1.0 E 4 Bay Garage Data Sheet

**Building Section** A4.3 E Building Section A6.0 E Schedules A7.0 E Reflected Ceiling Plan

# STRUCTURAL

Foundation Plan S3.1 Framing Details and Section

# **PLUMBING**

E1.0 E

P1.1 E Plumbing Plan

# **ELECTRICAL**

Life Safety Plan

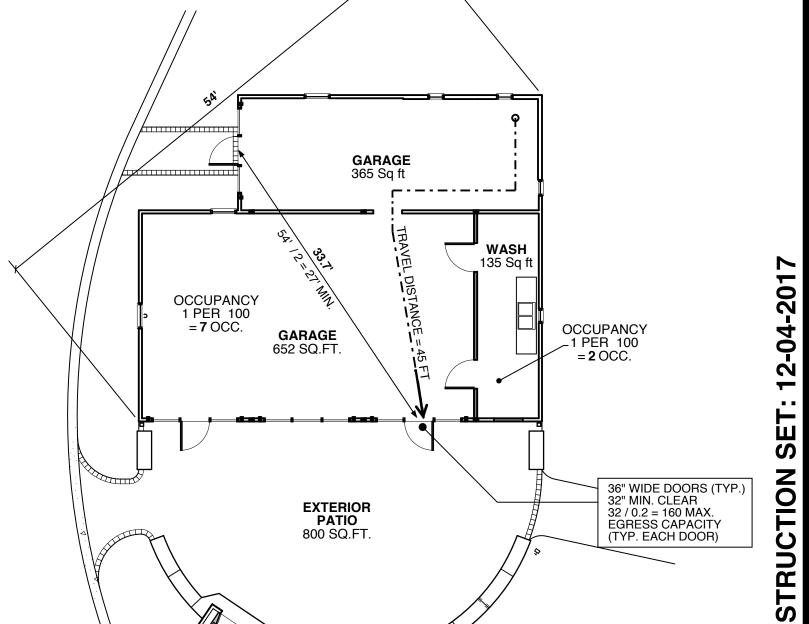
scale: 1" = 10'

Abbreviations, Legend, Summaries and Details Electrical Site Plan

Power and Lighting Plan and Details

E0.2 Electrical General Notes
Lighting Fixture Schedule and Electrical Details E0.4 E0.5

4 Bay Garage ADD ALTERNATE #3: State the amount to be added to the base bid to construct all work required for WASH AREA 101. Work to include, but is not limited to, completing all plumbing work as delineated on sheet P1.1E, all finish work, millwork, and equipment.



URRAY

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**Sanctuary**Pine Islan

**Garag** Sheet Bay Data

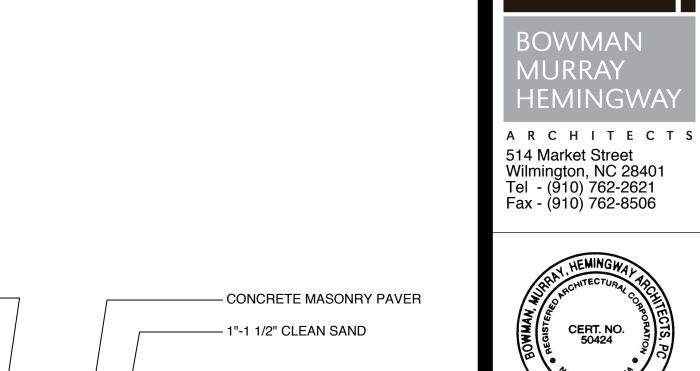
8.17.2018 Permit Set

2.08.2019
Raised Structure

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Hemingway

December 04, 2017 SHEET NUMBER



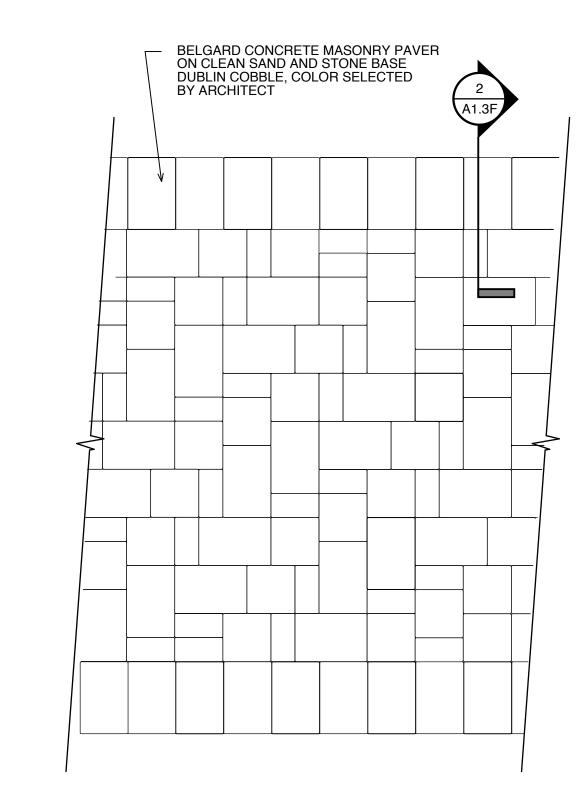
- COMPACTED STONE BASE



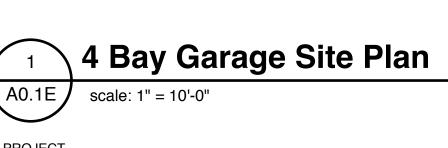
— GEOTEXTILE AS REQUIRED -TURN UP AT SIDES OF BASE **Section at Masonry Paver Walkway** scale: 1 1/2" = 1'-0"

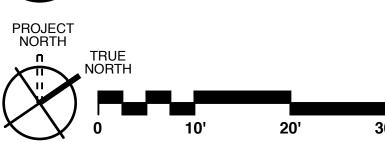
6 - 8"

COMPACTED SOIL -



Typical Masonry Paver Plan scale: 1" = 1'-0"





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A0.1E

REMOVE AND DEMOLISH EXISTING OVERHEAD —— DOOR AND HARDWARE - REPAIR ANY DAMAGE TO STRUCTURE

**Existing East Elevation** \A1.0E*/* scale: 1/8" = 1'-0"

**Existing North Elevation** 

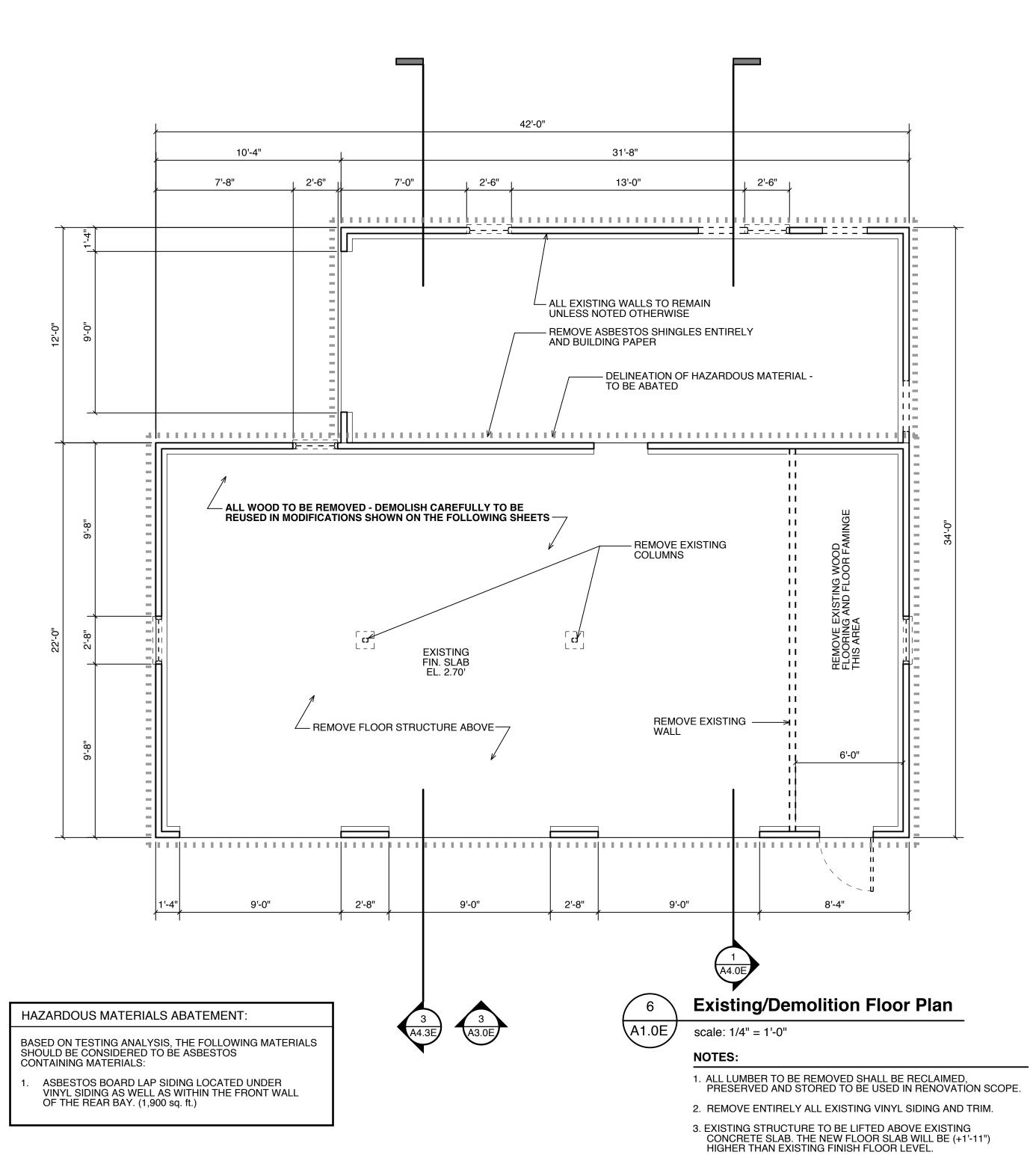
**Existing West Elevation** scale: 1/8" = 1'-0"

**Existing South Elevation** scale: 1/8" = 1'-0"

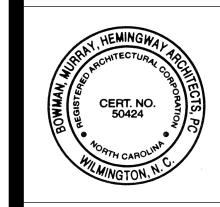
4. CONTRACTOR TO SUPPLY DETAILED SHOP DRAWINGS INDICATING MATERIALS AND METHODS FOR LIFTING AND

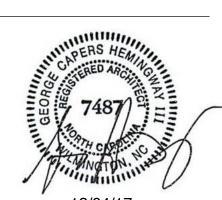
SECURING THE STUCTURE WHILE THE NEW FLOOR SLAB IS INSTALLED UNDERNEATH.

- REMOVE ALL WINDOWS — EXISTING ROOF AND SHINGLES TO REMAIN - REPAIR AS NEEDED REMOVE AND STORE EXISTING 2x6 CEILING JOISTS -ALL EXISTING WOOD THAT IS REMOVED IS TO BE SAVED FOR REUSE 1.1 - REMOVE INTERIOR WALL REMOVE ALL GARAGE DOORS REMOVE EXISTING COLUMN AND BEAM -TYPICAL PREPARE SLAB TO RECEIVE -NEW TOPPING SLAB **Existing / Demolition Section** scale: 1/4" = 1'-0"



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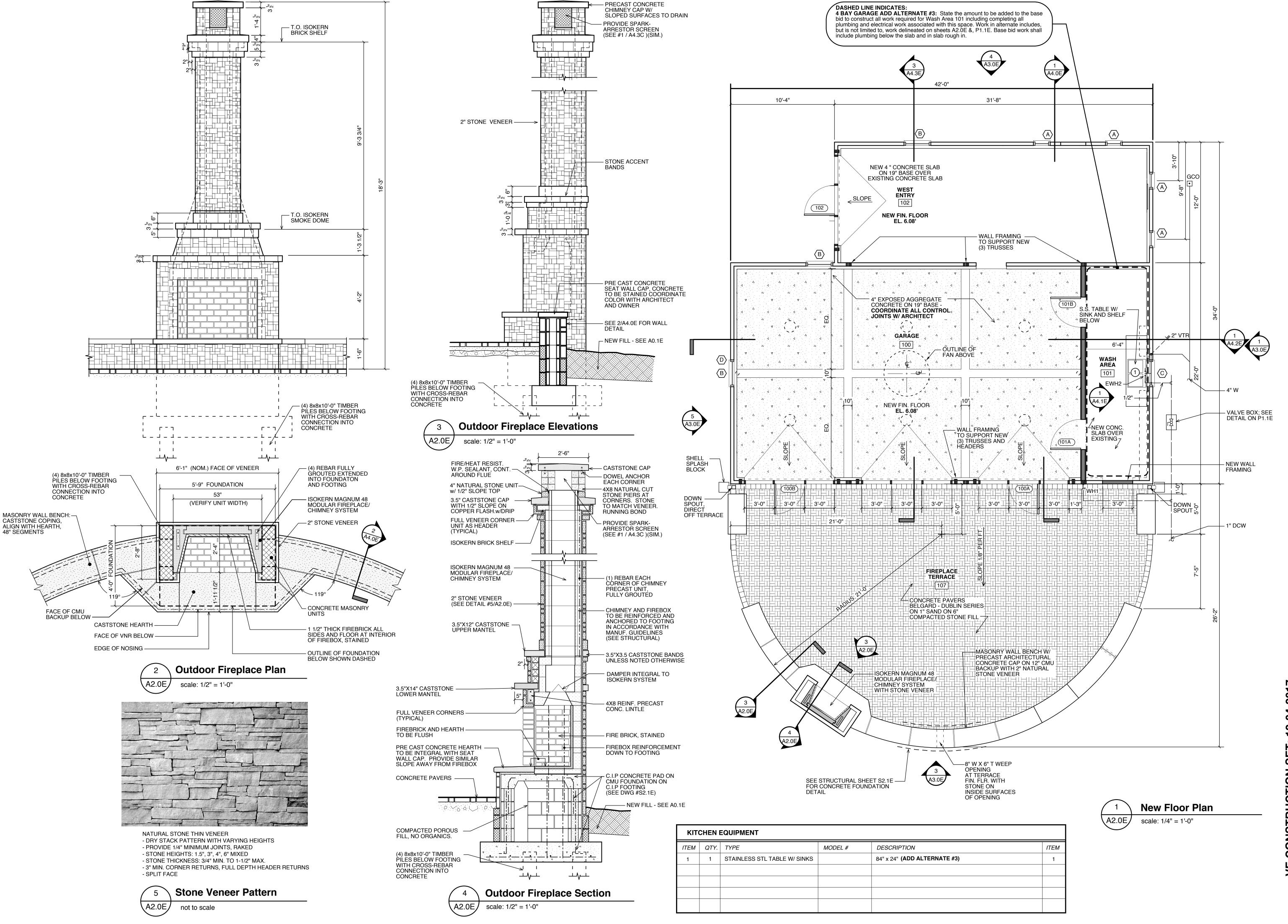
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Hemingway CHECKED BY Hemingway

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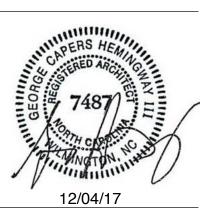


BOWMAN MURRAY HEMINGWAY

A R C H I T E C T S
514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621



Fax - (910) 762-8506



JR:
Olina
Olina

THE DONAL C. O'BRIEN JR.

Sanctuary & Audubon

Pine Island, Corolla, North Carolin

t Bay Garage

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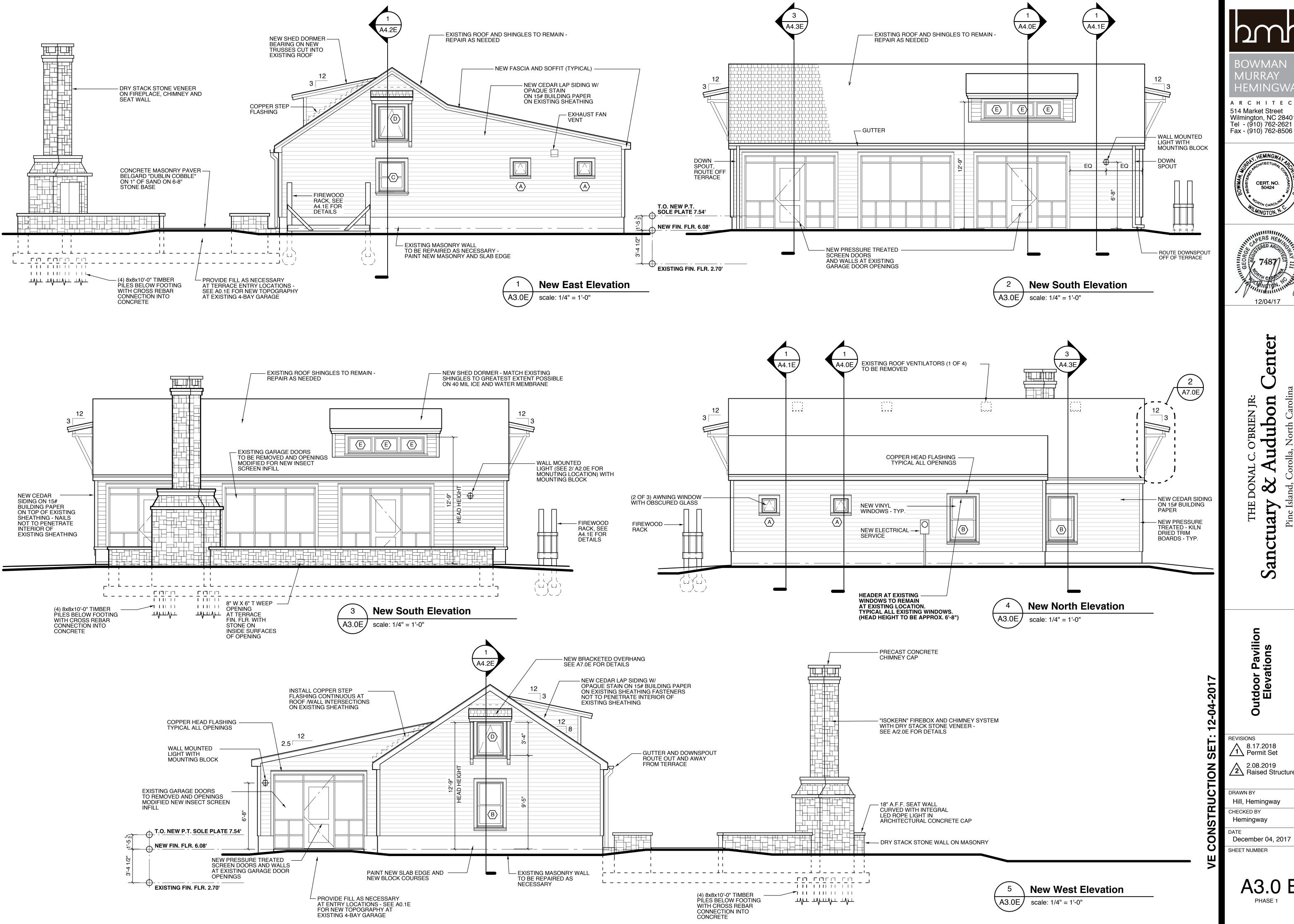
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Hill, Hemingway
CHECKED BY

Hemingway

DATE
December 04, 2017

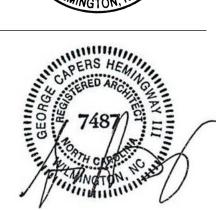
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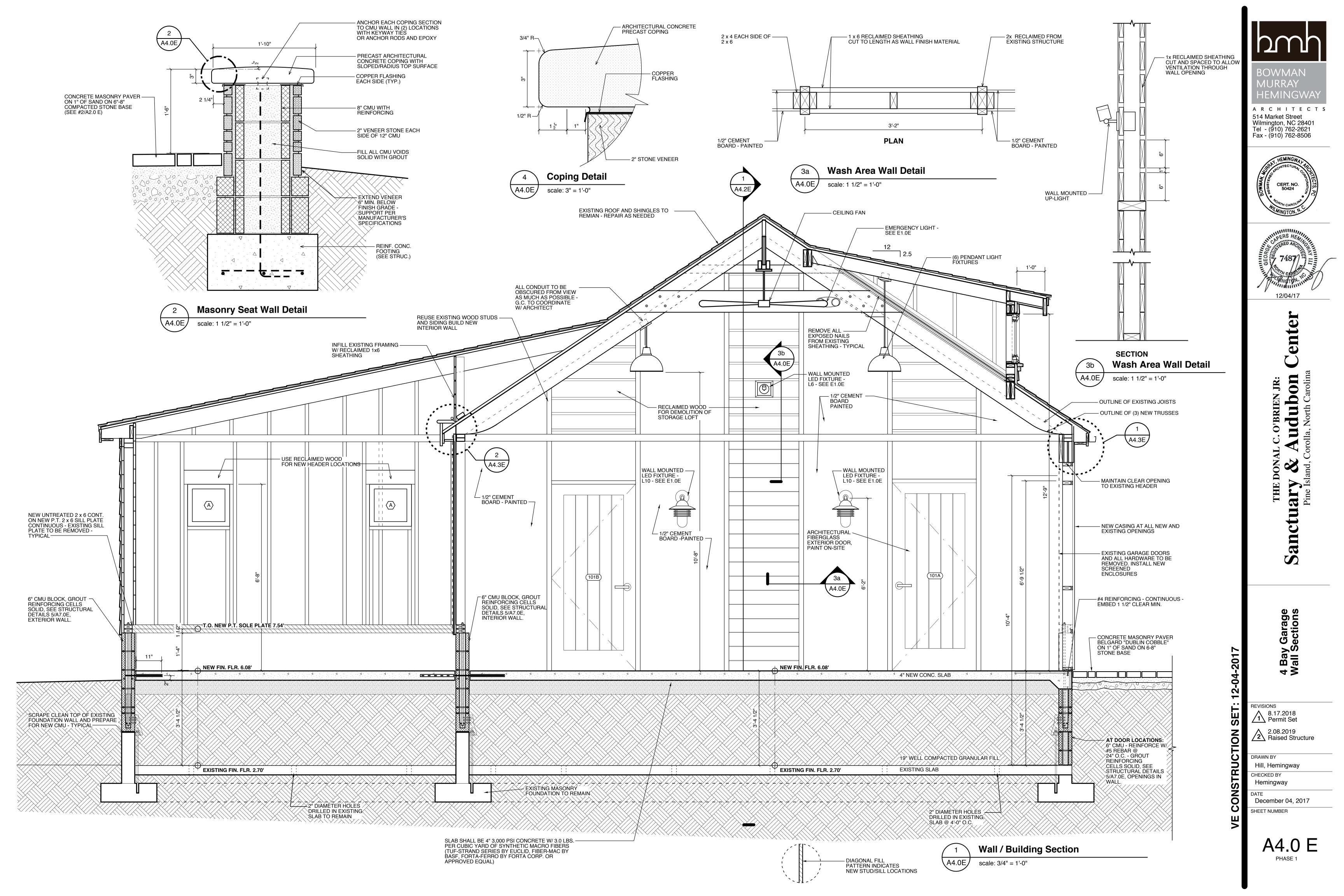
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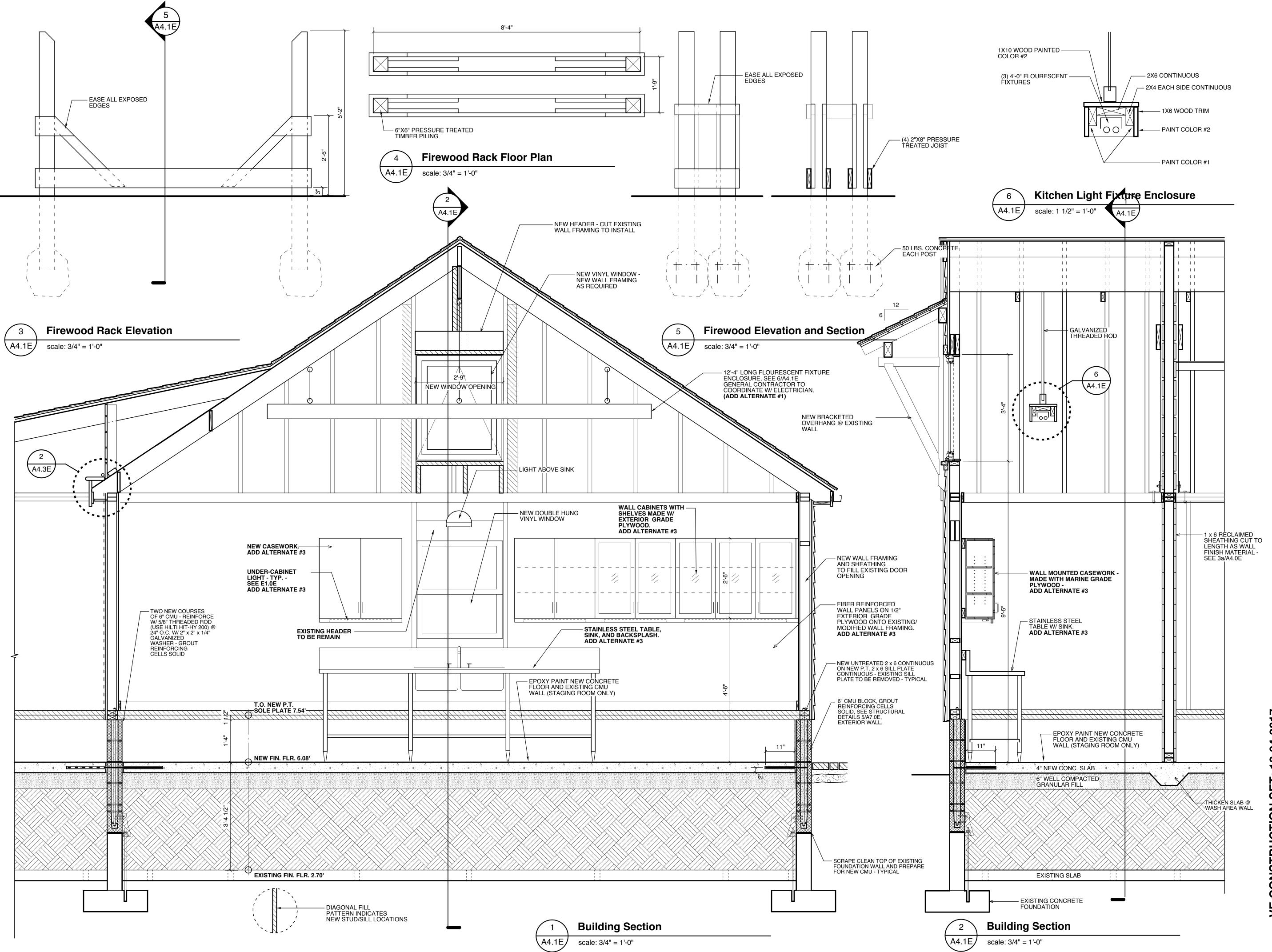
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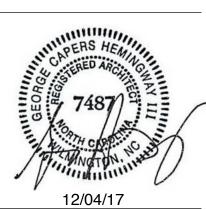
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ella, North Carolina

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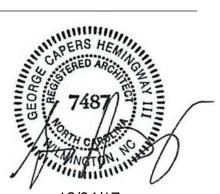
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4 Bay Garage Building Section

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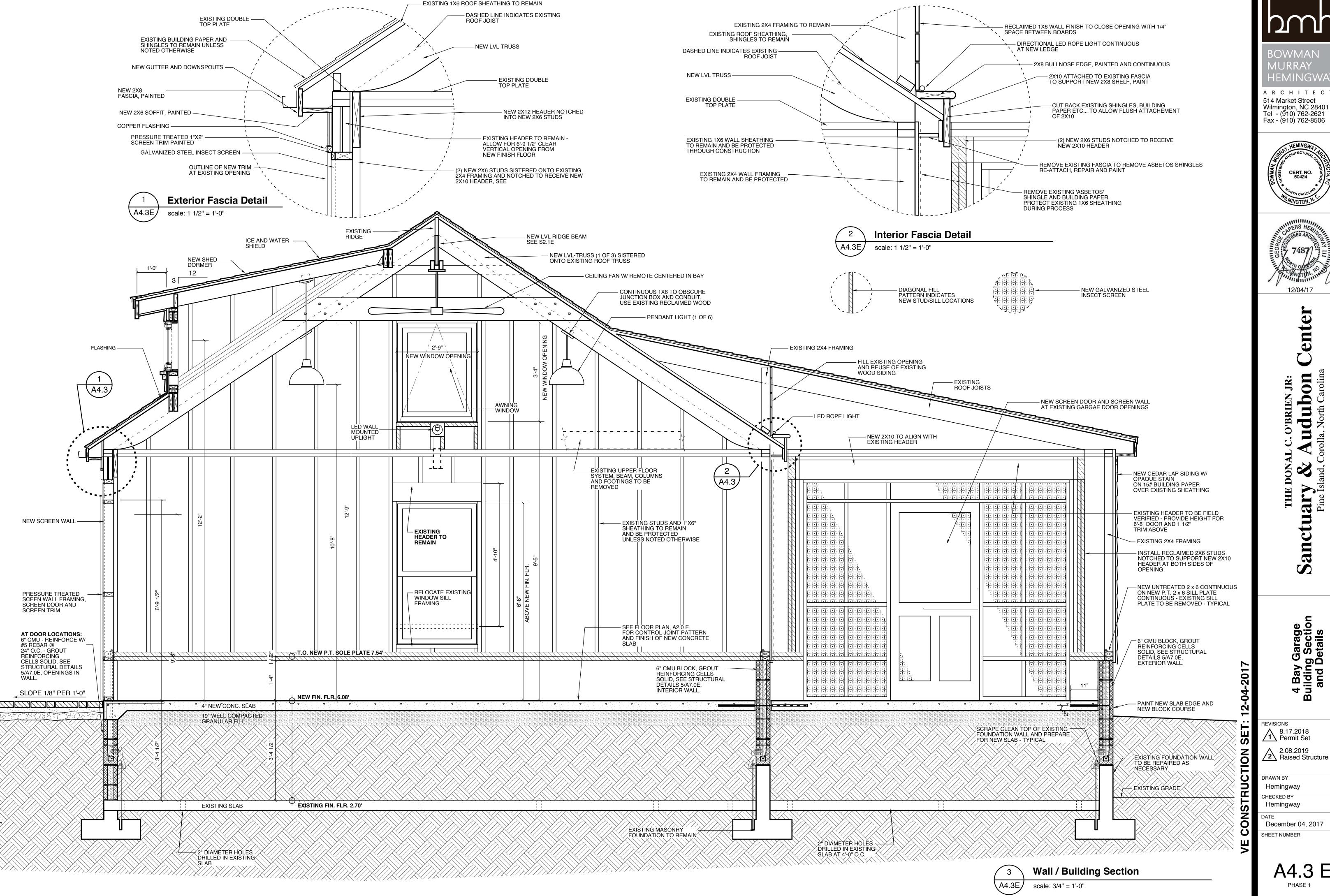
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**A4.2 E** 



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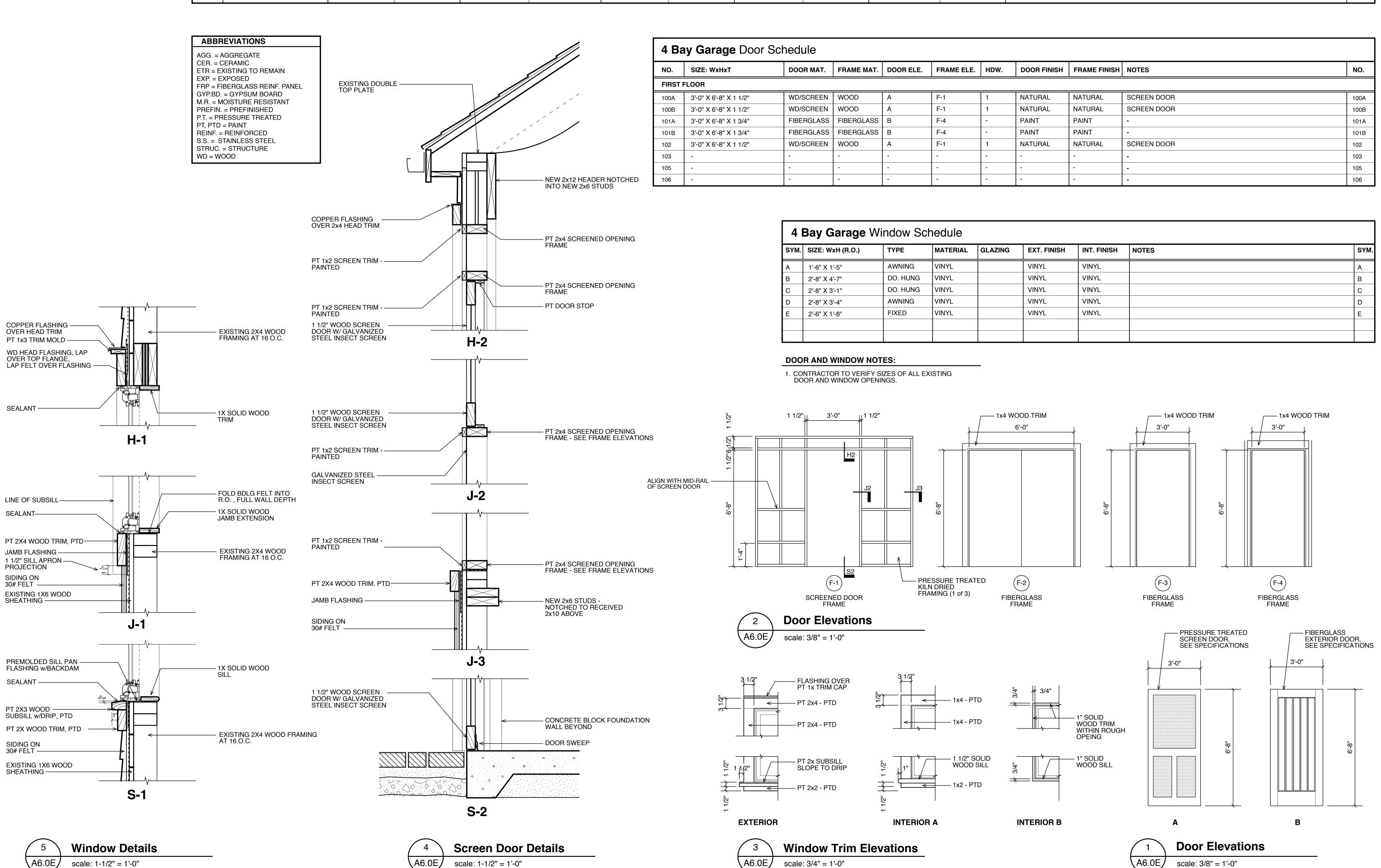
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December 04, 2017 SHEET NUMBER

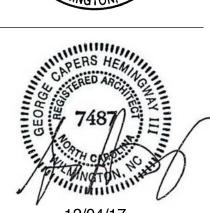


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anctuary

Bay Garage Schedules

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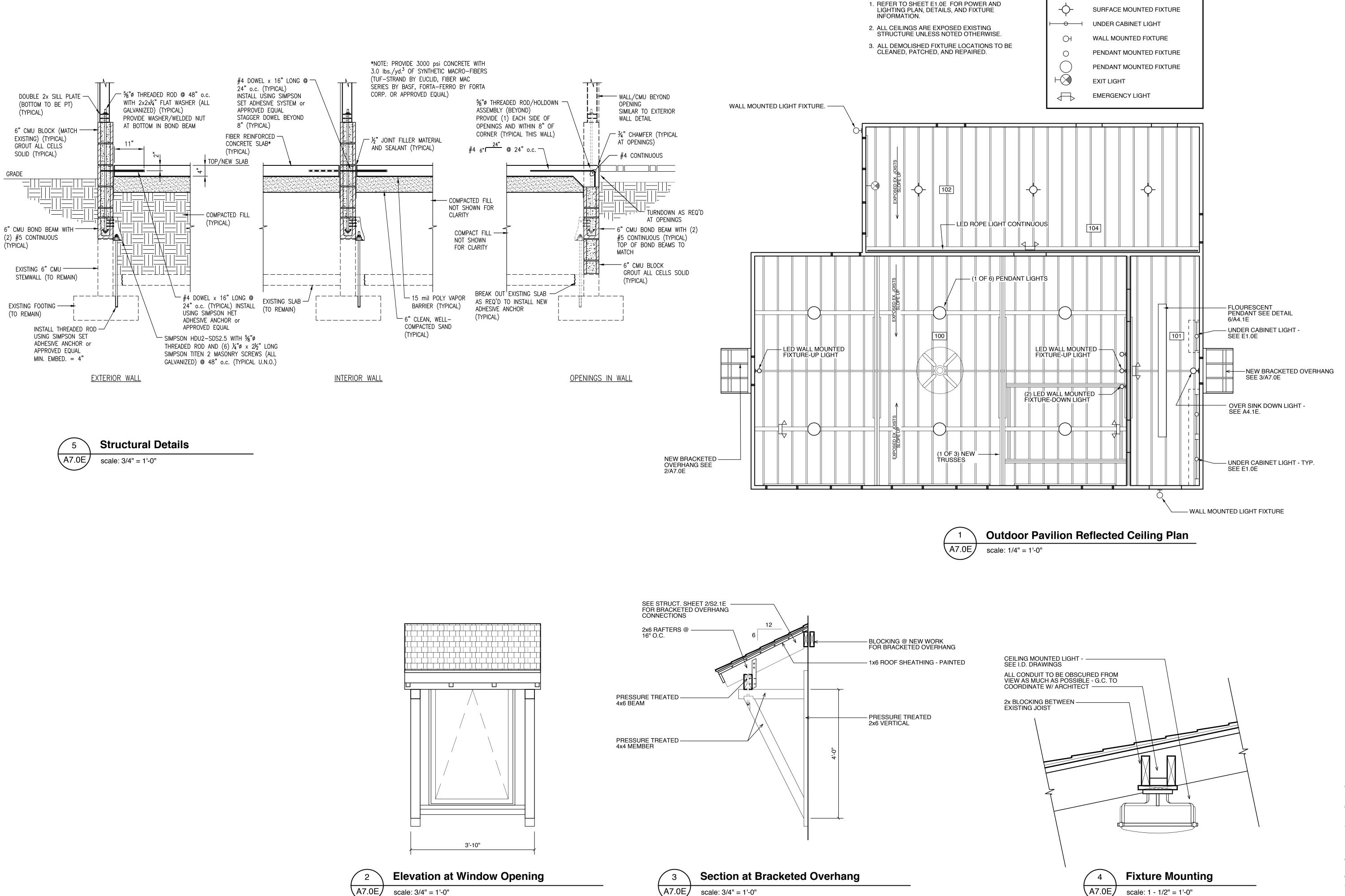
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December 04, 2017 SHEET NUMBER

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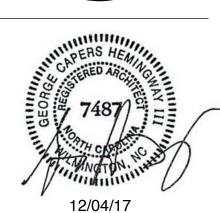


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LEGEND

RCP NOTES:





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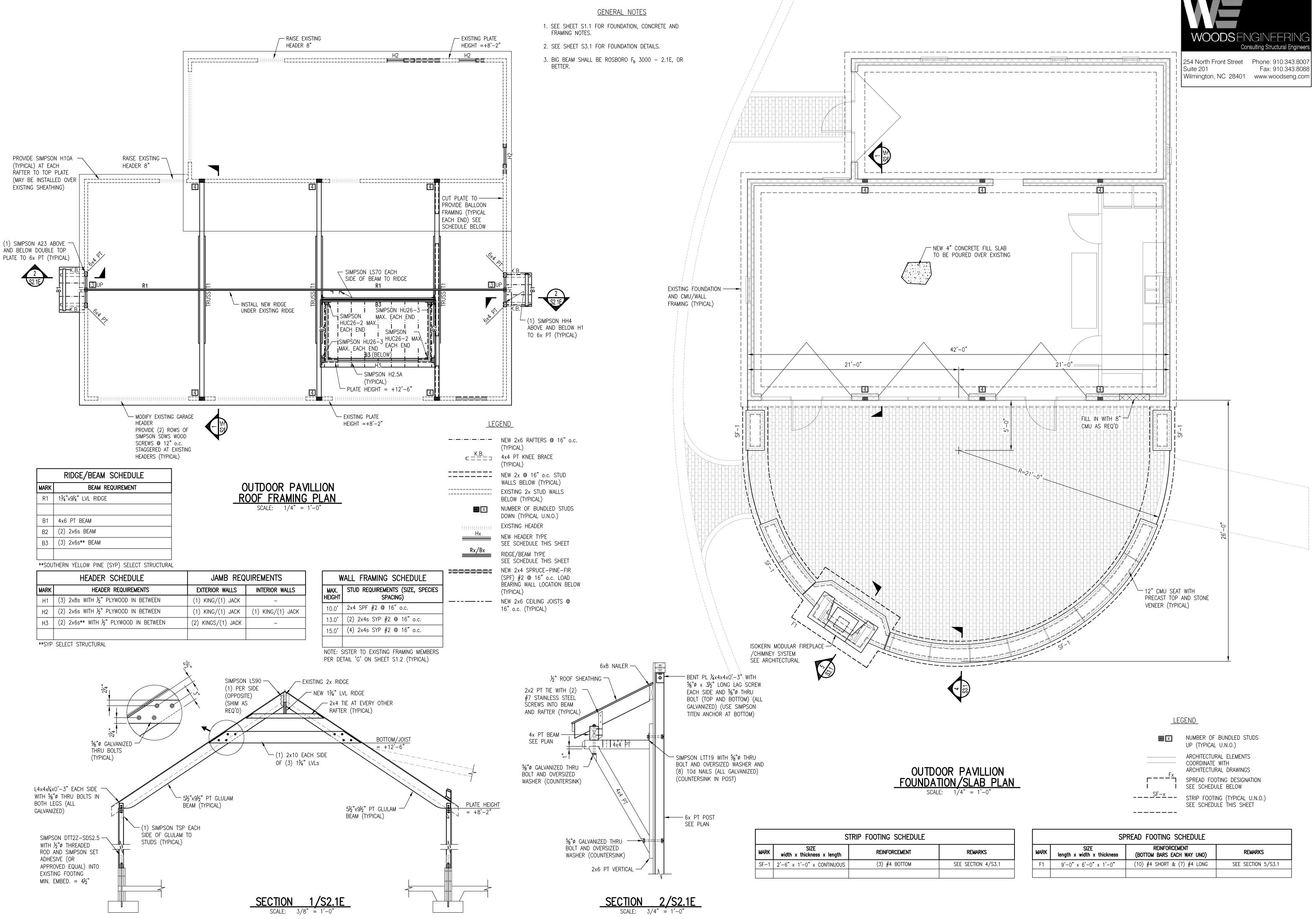
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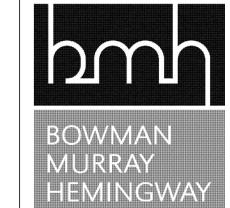
Hill, Hemingway CHECKED BY

Hemingway December 04, 2017

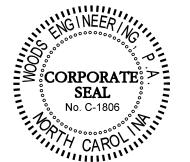
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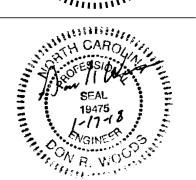
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THE DONAL C. O'BRIEN JR: Sanctuary & Audubon Center Pine Island, Corolla, North Carolina

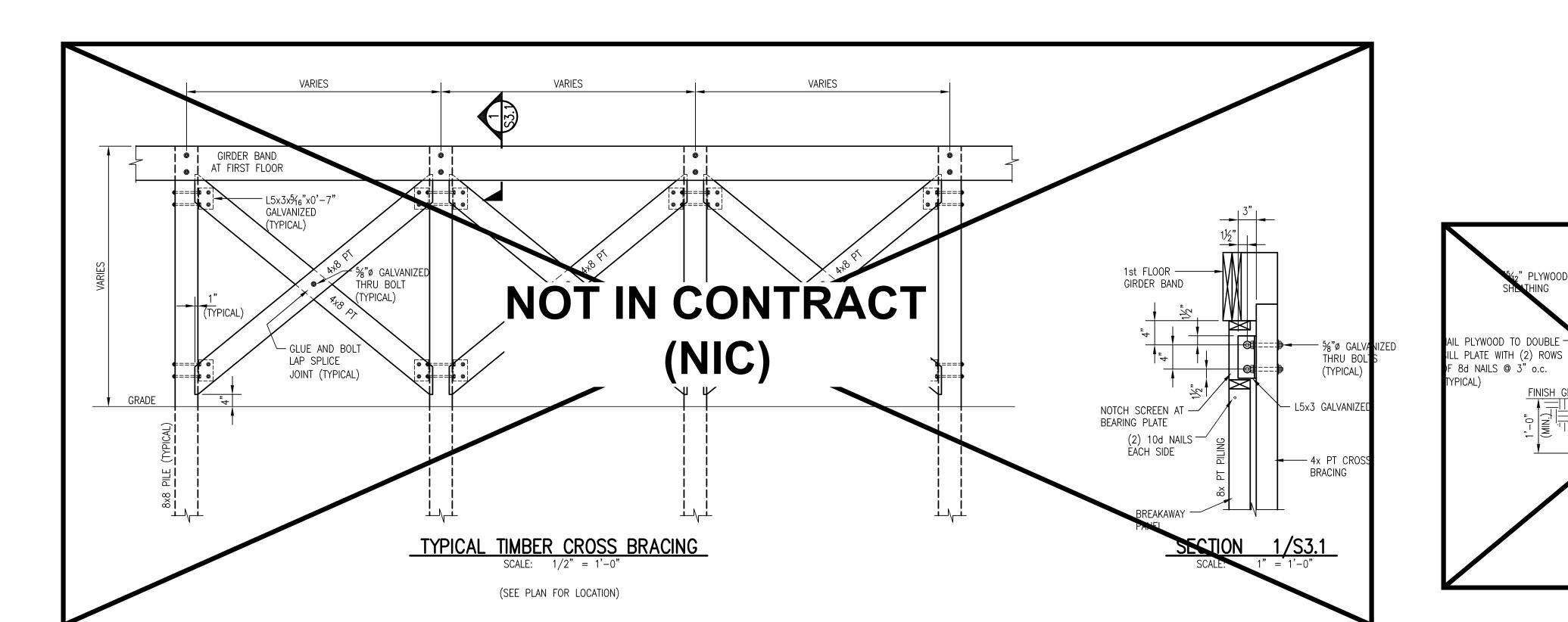
> 4 Bay Garage Foundation /Slab and Roof Framing Plans and Details

REVISIONS

JAY
CHECKED BY
DRW

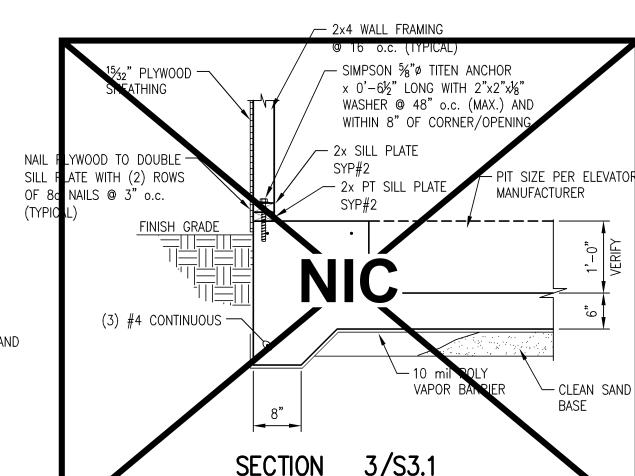
January 17, 2018
SHEET NUMBER

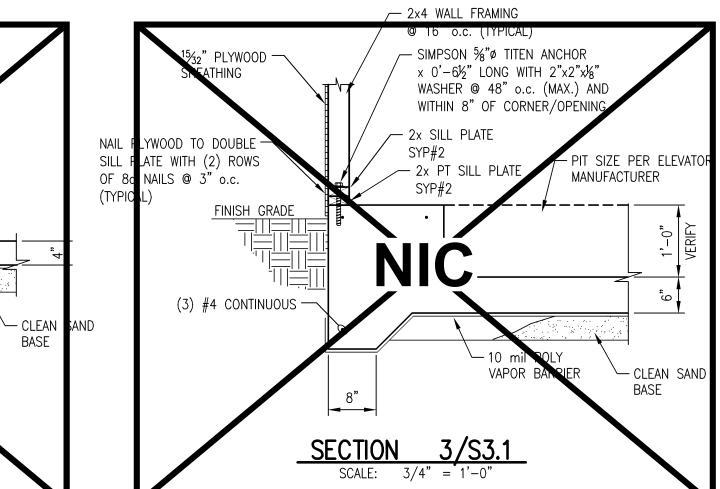
S2.1E

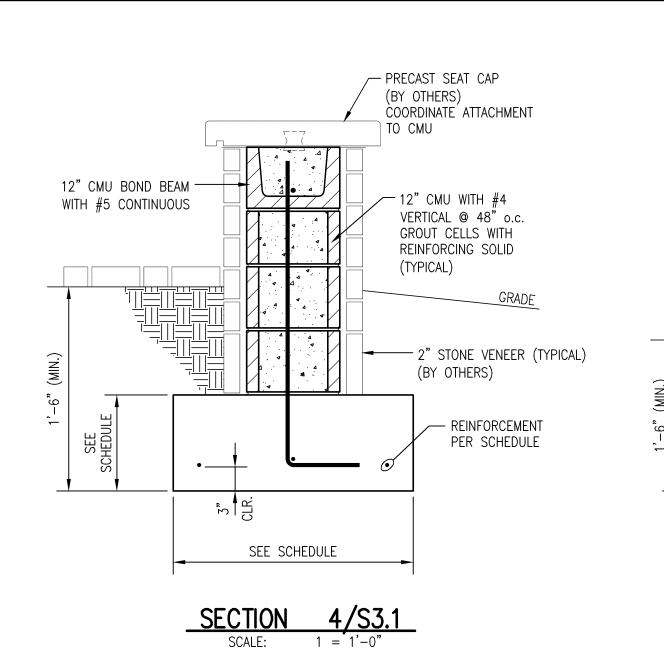


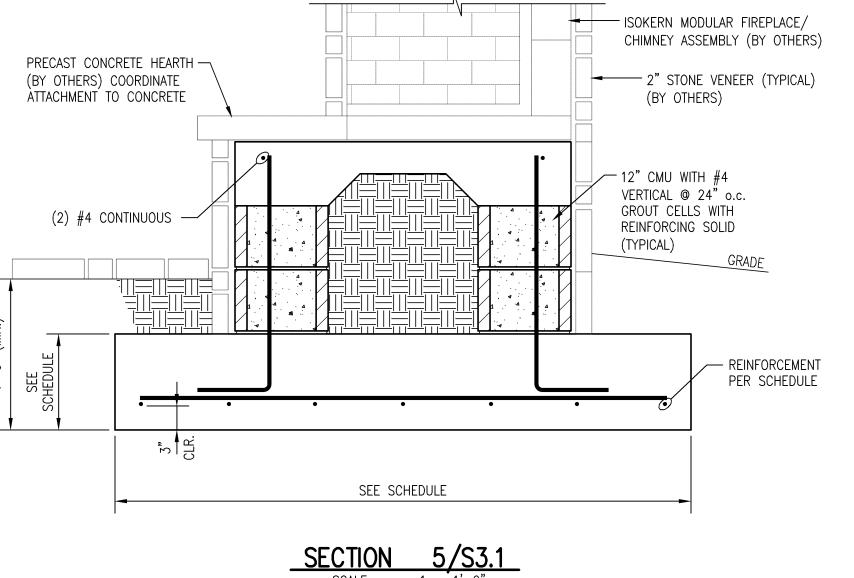


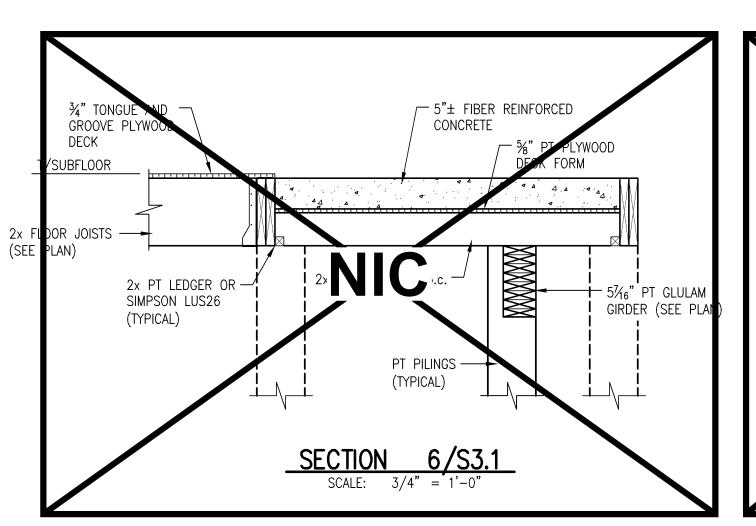
254 North Front Street Phone: 910.343.8007 Suite 201 Fax: 910.343.8088 Wilmington, NC 28401 www.woodseng.com











- 2x4 WALL FRAMING

@ 16" o.c. (TYPICAL)

- SIMPSON 5/8"Ø TITEN ANCHOF

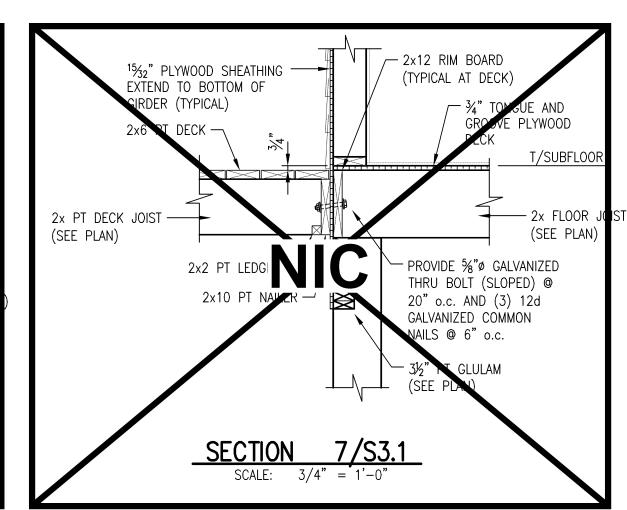
└─ 10 mil POLY VAPOR BARRIER

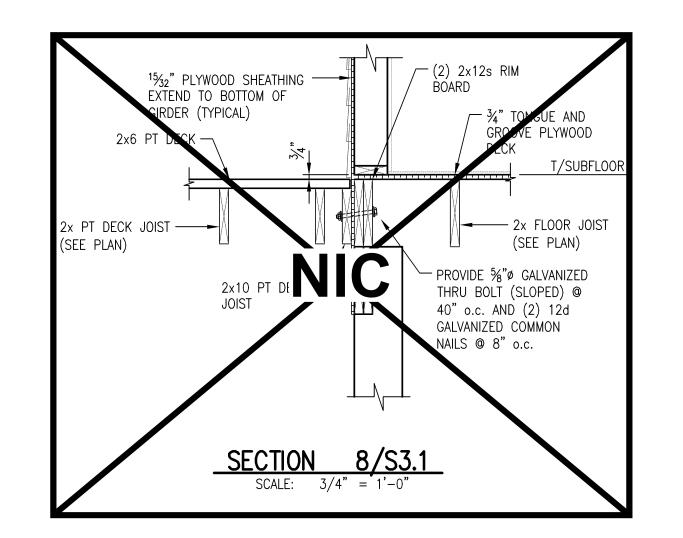
 $\times 0'-6\frac{1}{2}"$  LONG WITH 2":

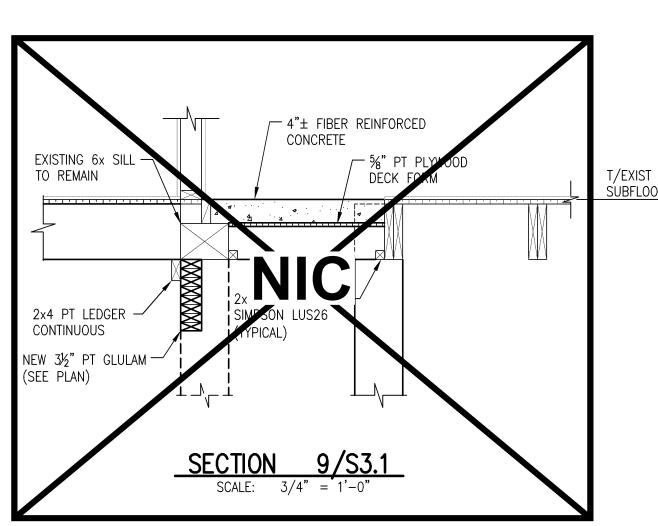
WASHER @ 48" o.c.

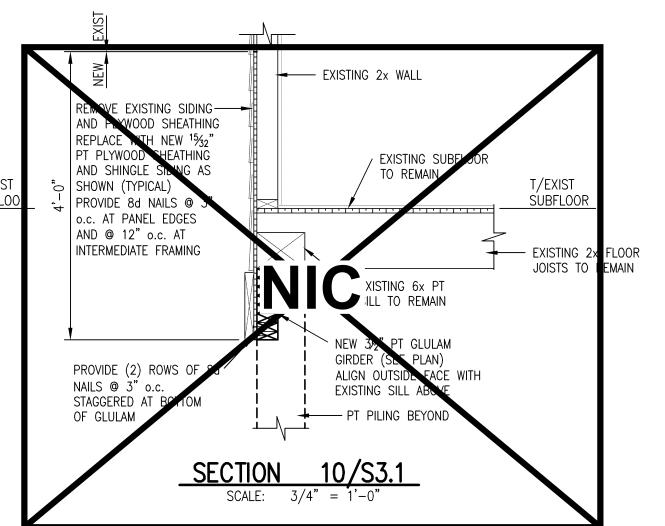
WITHIN 8" OF CORM

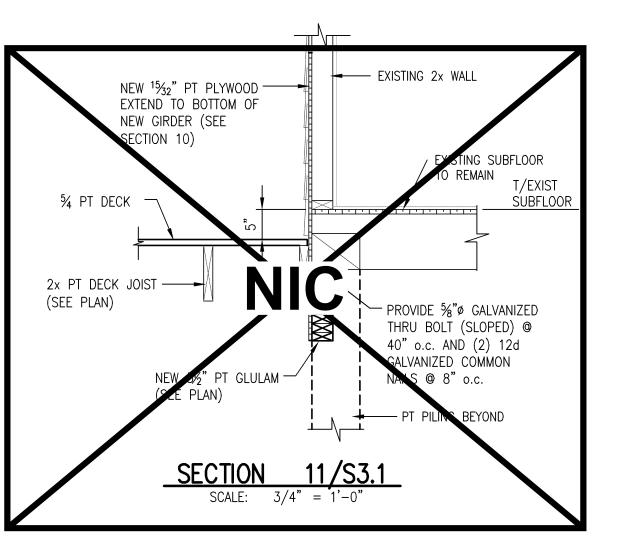
2/S3.1





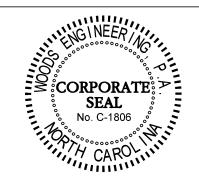


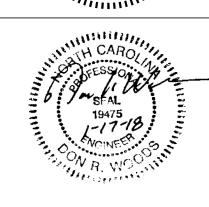




**BOWMAN MURRAY HEMINGWAY** 

ARCHITECTS 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506





Audubon Center olla, North Carolina O'BRIEN JR: dubon Center THE DONAL
Sanctuary & 1

FRAMING DETAILS AND SECTIONS

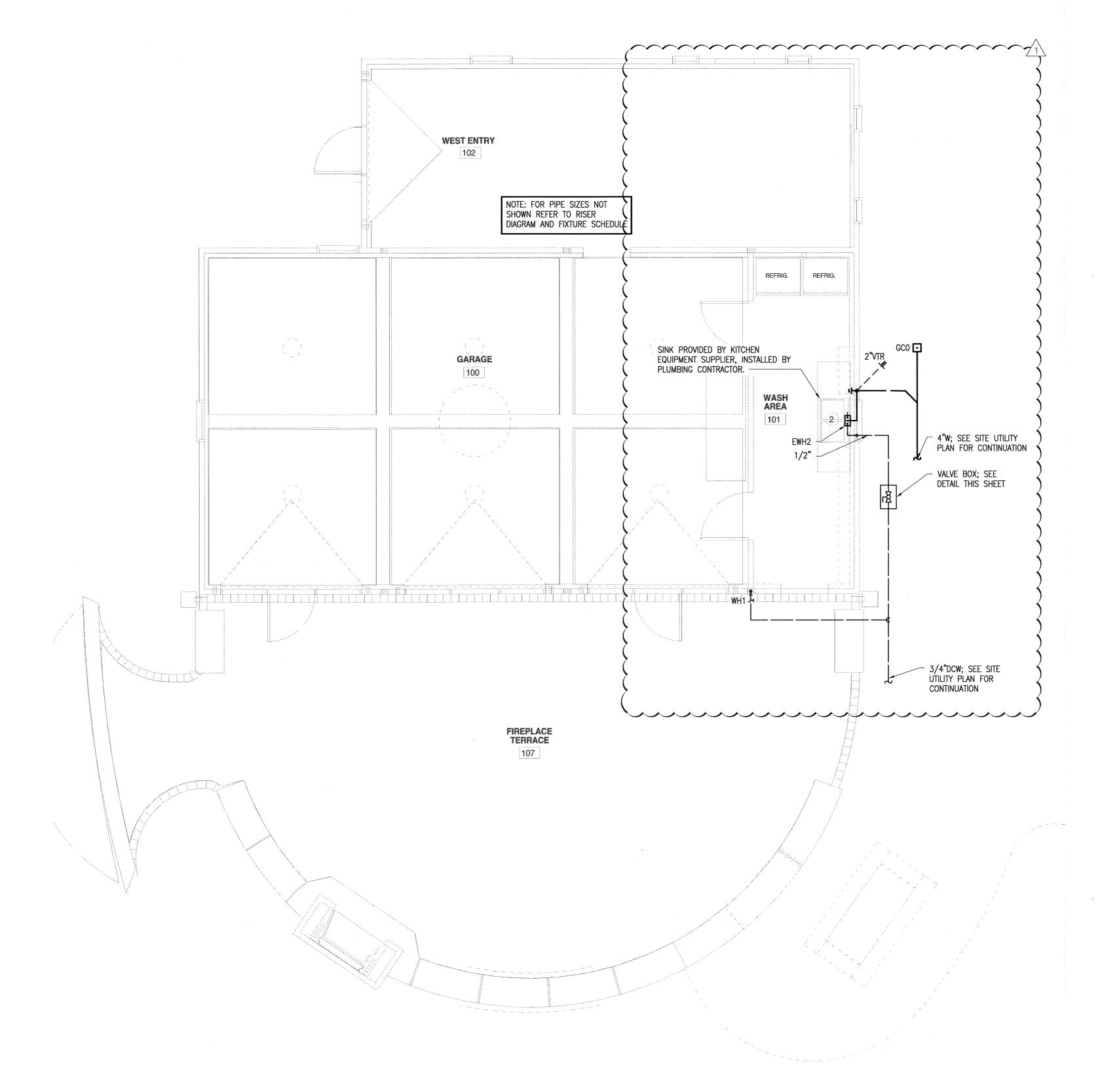
REVISIONS

DRAWN BY JAY CHECKED BY DRW

January 17, 2018

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S3.1





1 - Plumbing Floor Plan



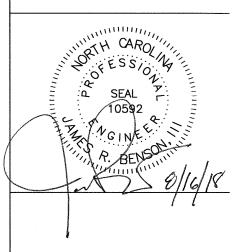
3808 Park Avenue Wilmington, NC 28403

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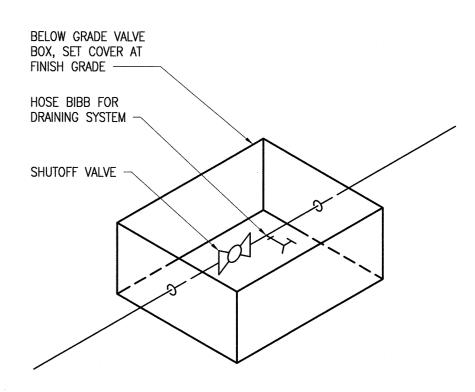
Phone: 910.791.4000 Fax: 910.791.5266 www.cbhfengineers.com NC# P-0506



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2 - Waste - Vent Riser Diagram
No Scale



3 - Valve Box Detail
No Scale



4 Bay Garage Plumbing Plan

REVISIONS

1 DELETED TOILETS

JOB NUMBER 13038

JRC

CHECKED BY

JRB

July 15, 2014
SHEET NUMBER

P1.1E

Legend	
	RACEWAY CONCEALED ABOVE CEILING OR IN WALLS
-	RACEWAY EXPOSED ON WALLS OR CEILING
	RACEWAY CONCEALED BELOW OR IN SLAB/FLOOR
PPA-1,3	HOMERUN TO PANEL, ARROWS INDICATE NO. OF CIRCUITS
~~~~	FLEXIBLE CONDUIT
3/4" C.	CONDUIT: SIZE AND FILL AS NOTED
3 #12 & 1 #12 EG	THREE NO. 12 AWG CONDUCTORS AND ONE NO. 12 AWG EQUIPMENT GROUND
<u></u>	GROUND AS PRESCRIBED BY CODES, OR AS SHOWN
\$	SINGLE POLE SWITCH, 48" AFF, UNO
<b>\$</b> <sub>3</sub>	THREE WAY SWITCH, 48" AFF, UNO
\$ <sub>D</sub>	DIMMER SWITCH, 48" AFF, UNO, RATING AS REQUIRED
\$ <sub>0</sub>	WALL BOX OCCUPANCY SENSOR, 48" AFF UNO, SEE SPECS SECTION 262727
\$03	THREE WAY WALL BOX OCCUPANCY SENSOR, 48" AFF UNO, SEE SPECS SECTION 262727
\$ <sub>F</sub>	FAN SWITCH, 48" AFF UNO, RATING AS REQUIRED
<b>(</b> )	JUNCTION BOX, SIZE AS SPECIFIED OR REQUIRED
P	DUPLEX RECEPTACLE, 18" AFF, UNO
	DUPLEX RECEPTACLE, 42" AFF, UNO
LX O	SURFACE/PENDANT MOUNTED LIGHTING FIXTURE LETTER INDICATES FIXTURE TYPE, SEE LIGHTING FIXTURE SCHEDULE
IХО	CEILING OUTLET AND SURFACE OR PENDANT MOUNTED LIGHTING FIXTURE. LETTER INDICATES FIXTURE TYPE, SEE LIGHTING FIXTURE SCHEDULE
<b>₩</b> LX	WALL OUTLET AND LIGHTING FIXTURE. LETTER INDICATES FIXTURE TYPE. SEE LIGHTING FIXTURE SCHEDULE
$\otimes$	CEILING OUTLET AND SINGLE FACE EXIT SIGN WITH CHEVRONS AS INDICATES, SEE LIGHTING FIXTURE SCHEDULE
	CEILING OUTLET AND DOUBLE FACE EXIT SIGN WITH CHEVRONS AS INDICATED, SEE LIGHTING FIXTURE SCHEDULE
<b>⊗</b>	WALL OUTLET AND SINGLE FACE EXIT SIGN WITHOUT CHEVRONS, SEE LIGHTING FIXTURE SCHEDULE
•	WALL OUTLET AND DOUBLE FACE EXIT SIGN WITHOUT CHEVRONS, SEE LIGHTING FIXTURE SCHEDULE
† <b>⊘</b>	WALL OUTLET AND SINGLE FACE EXIT SIGN WITH CHEVRONS AS INDICATED, SEE LIGHTING FIXTURE SCHEDULE
<b>†⊉</b> †	WALL OUTLET AND DOUBLE FACE EXIT SIGN WITH CHEVRONS AS INDICATED, SEE LIGHTING FIXTURE SCHEDULE
4_	WALL OUTLET AND EMERGENCY LIGHT FIXTURE

LOAD DESCRIPTION	QUANTITY	UNITS	UNIT RATING	UNITS	PHASE	CONNECTED LOAD (VA)	ESTIMATED DEMAND FACTOR	DIVERS. RUNNING LOAD (VA)	GENERAL REMARKS	NOTES
IGHTING:							·			
ENERAL INTERIOR LIGHTING	<del>  </del>	EA	504	VA	1	504	1.25	630	LED LAMPS	
KTERIOR BUILDING LIGHTING	1	EA	34	VA	1	326		408		
UMBING EQUIPMENT							- 			
MH2	1	EA	9,600	VA	1	9,600	0.7	6,720		
NISC LOADS										
ASTE WATER TREATMENT	1	EA	1,128	VA	1	1,128	0.7	790		
ECEPTACLES:				<u> </u>						
ENERAL USE RECEPTACLES	1	EA	7,620	VA	1	7,620	1	7,620		
	EST. CONNEC	D (VA)			19,178					
	EST. DIVERSI						16,167			
<u></u>	TOTAL EST. (	CONNECT	ED LOAD (A)			79.9				
	TOTAL EST. [							67.4		L
STIMATED FEEDER LOAD (AMPERES) AT 120/24	0 V, SINGLE PH	SE =						67.4	100 AMPERE MINIMUM RATING R	ECOMMENDED)

Meth	od of Compliance
Prescriptive	Energy Cost Budget
	standard riser diagram which indicates designated points for check metering standard panel schedule description which identifies different enduse loads.
Lighting Sc	lamp type required in fixture: see fixture schedule number of lamps in fixture: see fixture schedule ballast type used in the fixture: see fixture schedule number of ballasts in fixture: see fixture schedule total wattage per fixture: see fixture schedule
	Total interior wattage:  Allowed = 1,316 Watts Specified = 504 Watts
	Exterior Allowance: (Tradeable Surfaces)  Allowed = 500 Watts Specified = 34 Watts
	(Non-tradeable Surfaces:) Allowed = N/A Watts Specified = N/A Watts
Equipment	schedules with motors (not used for mechanical systems): motor horse power: N/A number of phases: N/A minimum efficiency: N/A

	INIMUM CO LOWING MINIMUM SIZ						
11101101	·	HASE CIRC					
CONDUCTOR SIZE	BRANCH CIRCUIT BREAKER TRIP	CIRCUIT VOLTAGE MAXIMUM ALLOWABLE CIRCUIT LENGTH (FEET)					
(AWG)	(AMPERES)	120	208	240	277		
#12	15	81	141	163	188		
#10	15	135	234 355 106	270 409 122	312 473 141		
#8	15	204					
#12	20	61					
#10	20	101	175	202	233		
#8	20	153	266	307 35			
#10	30	67	117	135	155		
#8	30	102	177	204	236		

- 1. CONDUCTOR LENGTHS ARE BASED ON SINGLE PHASE, 90% POWER FACTOR

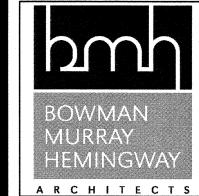
  LOADS USING 75°C COPPER CONDUCTORS IN EMT RACEWAYS TO ACHIEVE NO MORE

  THAN 3 PERCENT VOLTAGE DROP.
- CALCULATIONS ASSUME LOADS OF 80% OF CIRCUIT BREAKER TRIP (12A, 16A & 24A, 32A, 40A & 48A, RESPECTIVELY) ARE CONCENTRATED AT THE END OF THE CIRCUITS
   IF LOAD CHARACTERISTICS DIFFER FROM ABOVE, CALCULATE USING KNOWN
- CHARACTERISTICS AND SUBMIT CALCULATIONS TO THE ARCHITECT/ENGINEER
  DOCUMENTING 3% OR LESS VOLTAGE DROP UNDER THE ACTUAL LOAD CONDITIONS.

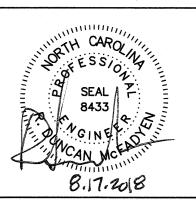
  4. WHEN A DEDICATED SINGLE LOAD LESS THAN NOTED ABOVE IS KNOWN, THE
  CONTRACTOR MAY UTILIZE SMALLER CONDUCTORS UPON SUBMISSION OF
  VOLTAGE DROP CALCULATIONS DOCUMENTING 3% OR LESS VOLTAGE DROP.
  THE MINIMUM LOAD SHALL BE ASSUMED TO BE 60% OF THE CB TRIP RATING
- REGARDLESS OF ACTUAL DEDICATED LOAD.

  USE THE LARGER OF THE CONDUCTORS INDICATED ON THE DRAWINGS OR THIS TABLE





A R C H I T E C 514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506



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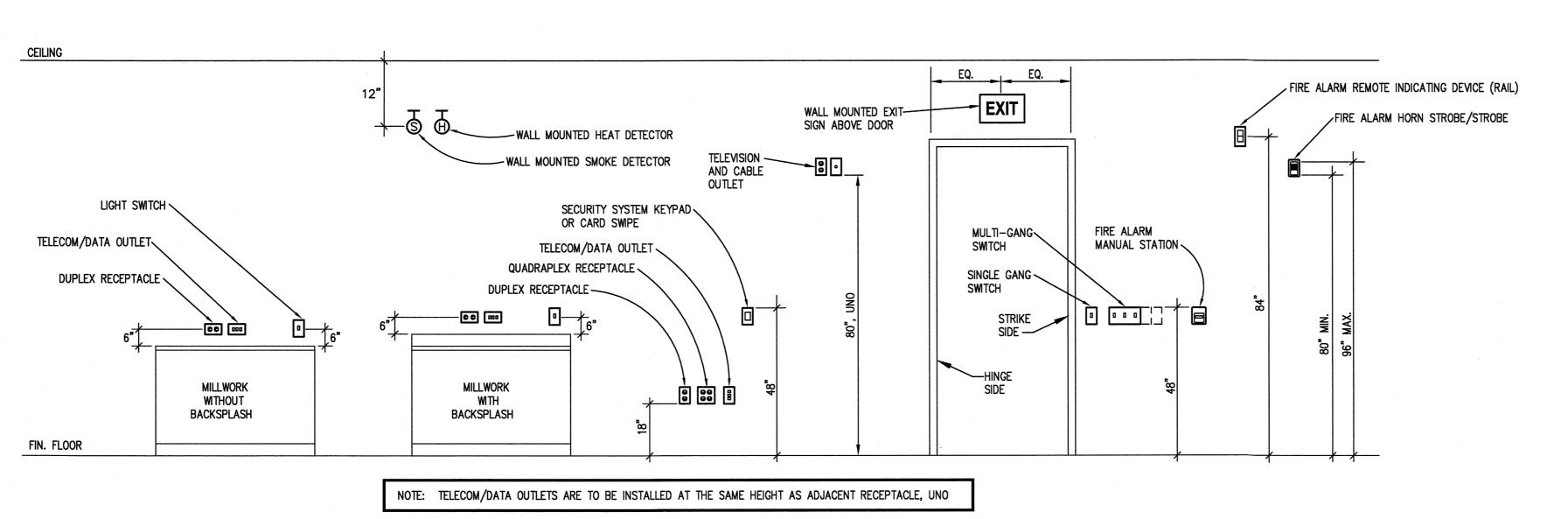
Abbreviations, egend, Summaries and Details

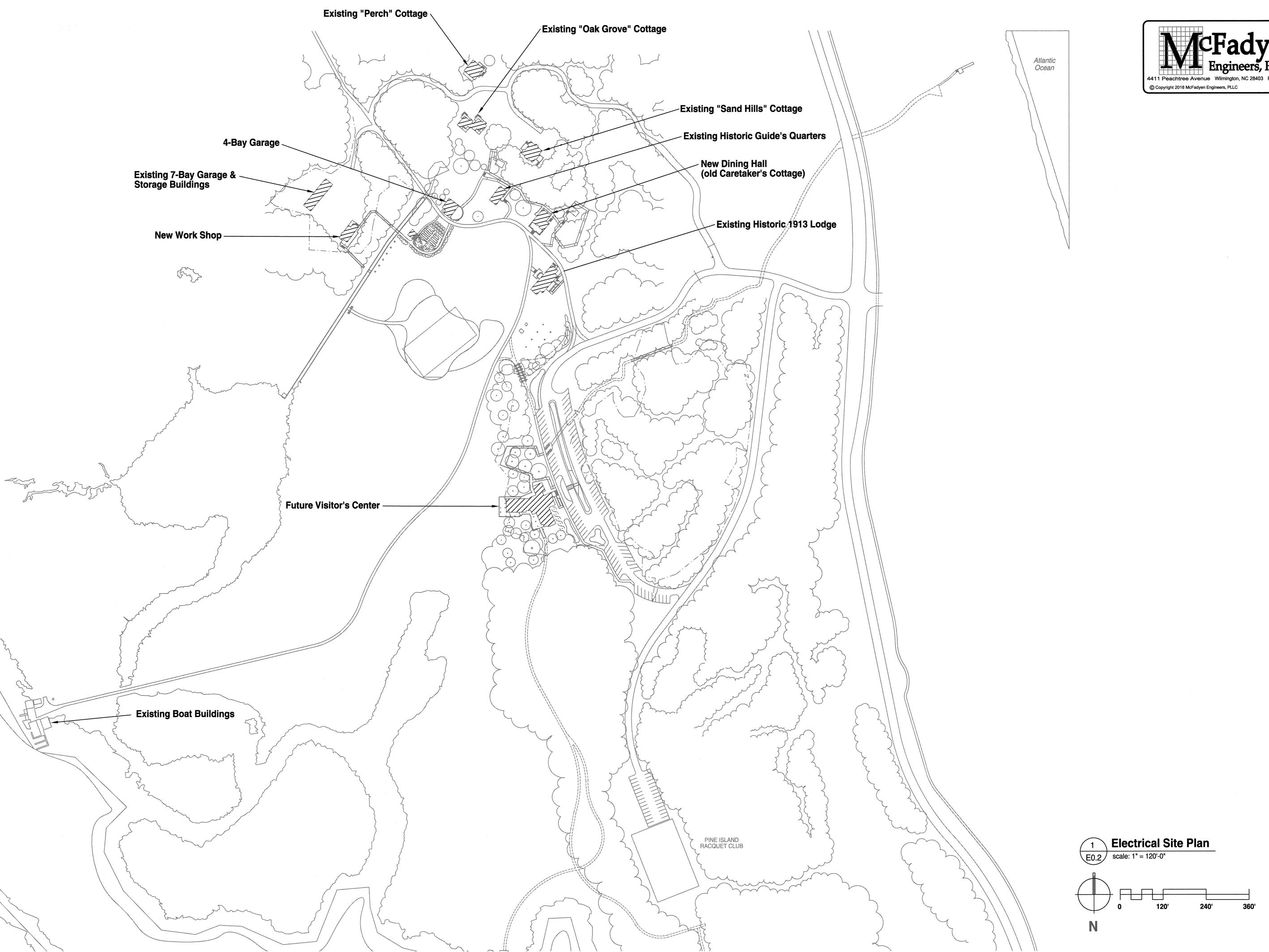
REVISIONS

8.17.2018
Permit Set

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WPJ
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RDM

DECEMBER 04, 2017
SHEET NUMBER

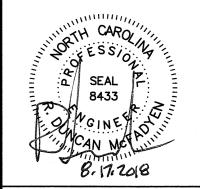








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8.17.2018 Permit Set

CHECKED BY RDM

**DECEMBER 04, 2017** SHEET NUMBER

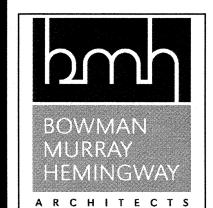
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# **Electrical General Notes**

- THE CONTRACTOR SHALL REVIEW THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR WORK REQUIREMENTS, THE
  AMOUNT OF SPACE AVAILABLE FOR ELECTRICAL EQUIPMENT, AND LAYOUT HIS WORK IN A COMPATIBLE AND
  COMPLEMENTARY MANNER.
- 2. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THOROUGHLY FAMILIARIZING HIMSELF WITH ANY CONTRACTUAL REQUIREMENTS AS MAY BE SET FORTH IN THE OTHER DIVISIONS OF THE PROJECT SPECIFICATIONS.
- 3. UNLESS SPECIFICALLY NOTED OTHERWISE, SYSTEMS PROVIDED OR INSTALLED BY THE ELECTRICAL CONTRACTOR SHALL BE COMPLETE AND FULLY—FUNCTIONING AFTER INSTALLATION. INCIDENTAL COMPONENTS MAY NOT BE SHOWN, AND ALL WORK WHICH MAY BE REASONABLY IMPLIED AS BEING INCIDENTAL TO THIS WORK, BUT REQUIRED FOR THE PROPER OPERATION OF THE EQUIPMENT OR SYSTEM, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER. ADDITIONAL CIRCUITS SHALL BE INSTALLED WHEREVER NEEDED TO CONFORM TO THE SPECIFIC REQUIREMENTS OF EQUIPMENT.
- 4. THE WORK SHALL INCLUDE COMPLETE TESTING OF ALL EQUIPMENT AND WIRING AT THE COMPLETION OF WORK AND ANY MINOR CORRECTIONS, CHANGES OR ADJUSTMENTS NECESSARY FOR THE PROPER FUNCTIONING OF THE SYSTEM AND FOLIPMENT
- 5. ALL EQUIPMENT SHOWN DOTTED OR DASHED IS BY OTHERS OR IS EXISTING, AS NOTED.
- 6. ALL ELECTRICAL EQUIPMENT SHALL, AT ALL TIMES DURING CONSTRUCTION, BE ADEQUATELY PROTECTED AGAINST MECHANICAL INJURY, OR DAMAGE BY WATER AND/OR THE ELEMENTS. ELECTRICAL EQUIPMENT SHALL NOT BE STORED OUT OF DOORS, BUT SHALL BE STORED IN DRY PERMANENT SHELTERS. IF AN APPARATUS HAS BEEN DAMAGED, OR HAS BEEN SUBJECT TO POSSIBLE INJURY BY WATER OR THE ELEMENTS, SUCH DAMAGE SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 7. DO NOT SCALE ELECTRICAL DRAWINGS. REFER TO THE ARCHITECTURAL DRAWINGS FOR DIMENSIONS. FIELD VERIFY ALL DIMENSIONS.
- 8. CIRCUIT LAYOUTS ARE NOT INTENDED TO SHOW THE NUMBER OF FITTINGS, OR OTHER INSTALLATION DETAILS. UNLESS NOTED OTHERWISE, THE EXACT ROUTING OF FEEDER AND BRANCH CIRCUIT RACEWAYS AND CABLES IS THE RESPONSIBILITY OF THE CONTRACTOR. RISER AND GENERAL CIRCUIT ARRANGEMENTS ARE SHOWN SCHEMATICALLY/DIAGRAMMATICALLY ONLY. THE CONTRACTOR SHALL ROUTE CONDUITS AS REQUIRED BY THE CONDITIONS OF THE INSTALLATION.
- 9. UNLESS DIMENSIONED, DEVICE LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. ADJUST EXACT LOCATIONS AS REQUIRED TO SERVE THE INTENDED PURPOSE AND TO AVOID CONFLICTS AND INTERFERENCES WITH OTHER TRADES. EXACT DEVICE LOCATIONS SHALL BE AS INDICATED ON THE ARCHITECTURAL DRAWINGS OR AS DIMENSIONED. IF NOT SHOWN ON THE ARCHITECTURAL DRAWINGS OR DIMENSIONED ON THE ELECTRICAL DRAWINGS, VERIFY EXACT LOCATION WITH THE ARCHITECT/ENGINEER PRIOR TO ROUGH—IN.
- 10. CONDUIT TERMINATING IN PRESSED STEEL BOXES SHALL HAVE DOUBLE LOCKNUTS AND INSULATED BUSHINGS. CONDUITS TERMINATING IN GASKETED ENCLOSURES SHALL BE TERMINATED WITH GROUNDING TYPE CONDUIT HUBS.
- 11. DEVICE BOXES SHOWN BACK-TO-BACK SHALL BE OFFSET A MINIMUM OF TWELVE (12) INCHES TO REDUCE SOUND TRANSMISSION BETWEEN ROOMS.
- 12. THE DRAWINGS INDICATE THE NUMBER OF BRANCH CIRCUIT HOMERUN PHASE CONDUCTORS VIA ARROWHEADS. PROVIDE NEUTRAL AND EQUIPMENT GROUND CONDUCTORS AS REQUIRED. ADDITIONAL CONDUCTORS REQUIRED FOR CONTROL SHALL BE INCLUDED EVEN IF NOT EXPLICITLY SHOWN.
- 13. SEAL ALL CONDUIT OPENINGS THROUGH EXTERIOR BUILDING WALLS WATERTIGHT.
- 14. ALL EXTERIOR WIRING DEVICES DEVICES, BOXES, ETC. SHALL BE WEATHERPROOF. LIGHTING FIXTURES SHALL BE APPROPRIATELY RATED AND LISTED FOR THE ENVIRONMENT.
- 15. ALL RACEWAYS SHALL BE CONCEALED EXCEPT THOSE SHOWN TO BE EXPOSED ON DRAWINGS.
- 16. INSTALL EXPOSED RACEWAYS PARALLEL TO OR AT RIGHT ANGLES TO NEARBY SURFACES OR STRUCTURAL MEMBERS, AND FOLLOW THE SURFACE CONTOURS AS MUCH AS POSSIBLE. NO DIAGONAL RUNS WILL BE ALLOWED. ALL CONDUITS SHALL BE RUN STRAIGHT AND TRUE. RUN PARALLEL OR BANKED RACEWAYS TOGETHER ON COMMON SUPPORTS WHERE PRACTICAL. MAKE BENDS IN PARALLEL OR BANKED RUNS FROM SAME CENTERLINE TO MAKE BENDS PARALLEL.
- 17. PROVIDE AND PLACE ALL SLEEVES FOR CONDUITS PENETRATING WALLS, FLOORS, PARTITIONS, ETC. LOCATE ALL NECESSARY SLOTS FOR ELECTRICAL WORK AND FORM BEFORE CONCRETE IS POURED.
- 18. PATCHING OF WATERPROOFED SURFACES SHALL RENDER THE AREA OF THE PATCHING COMPLETELY WATERPROOF.
- 19. ALL MOTORS AND OTHER VIBRATING EQUIPMENT SHALL BE CONNECTED TO THE CONDUIT SYSTEM BY MEANS OF A SHORT SECTION (18 INCH MINIMUM) OF FLEXIBLE CONDUIT UNLESS OTHERWISE INDICATED. AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED INSIDE THE FLEXIBLE CONDUIT AND TERMINATE AT THE LOAD END WITH AN APPROVED GROUNDING CLAMP OR LUG.
- 20. SURFACE MOUNTED JUNCTION, OUTLET AND PULL BOXES, RACEWAYS, ETC., INSTALLED ON EXTERIOR SURFACES OR INSIDE ON EXTERIOR WALLS SHALL BE SUPPORTED BY SPACERS TO PROVIDE A 1/4" MINIMUM CLEARANCE BETWEEN THE WALL AND EQUIPMENT.
- 21. EXCAVATION AND TRENCHING REQUIRED FOR THE INSTALLATION OF ELECTRICAL POWER AND TELECOMMUNICATIONS RACEWAYS SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF DIVISION 26 OF THE PROJECT SPECIFICATIONS.
- 22. PRIOR TO TRENCHING IN ANY AREA, THE CONTRACTOR SHALL CONTACT ELECTRICAL, COMMUNICATIONS/DATA/FIBER, CABLE TELEVISION, GAS AND WATER UTILITY PROVIDERS AND HAVE ALL UTILITIES IN THE AREA IDENTIFIED. DAMAGE TO ANY UNDERGROUND UTILITIES OR STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.
- 23. ALL UNDERGROUND RACEWAYS SHALL BE IDENTIFIED BY UNDERGROUND LINE MARKING TAPE LOCATED DIRECTLY ABOVE THE RACEWAY AT 6 TO 8 INCHES BELOW FINISHED GRADE. SEE SPECIFICATIONS SECTION 260553.
- 24. PROVIDE ADHESIVE BACKED RECEPTACLE DEVICE PLATE LABELS IDENTIFYING THE CIRCUIT FEEDING THE DEVICE. LABELS SHALL INDICATE PANEL AND CIRCUIT NUMBER.
- 25. FINAL TYPED PANELBOARD DIRECTORIES INSTALLED IN THE PANELBOARD AND LOADCENTER DOOR POCKETS SHALL INCLUDE FINAL ACTUAL ROOM NAMES AND NUMBERS IN ADDITION TO THE GENERAL DESCRIPTION SHOWN ON THE PANEL SCHEDULES ON THE DRAWINGS.
- 26. CONDUCTOR SIZING IS BASED ON 75 DEGREE C. COPPER NEC RATINGS, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY, PRIOR TO INSTALLATION OF CONDUCTORS OR CONDUIT FEEDING ANY EQUIPMENT, THE ELECTRICAL EQUIPMENT IS RATED FOR USE WITH 75 DEGREE C. WRING. IF ANY EQUIPMENT IS RATED FOR USE WITH LESS THAN 75 DEGREE C. CONDUCTORS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY FOR EVALUATION/CORRECTION.
- 27. DO NOT PULL CONDUCTORS UNTIL THE CONDUIT SYSTEM IS COMPLETE IN EVERY DETAIL.
- 28. WHERE SIZE IS NOT SHOWN ON THE DRAWINGS, BRANCH CIRCUITS SHALL CONSIST OF #12 OR #10 AWG MINIMUM PHASE, NEUTRAL AND EQUIPMENT GROUND CONDUCTORS IN 1/2" MINIMUM RACEWAY, OR AS NON-METALLIC CABLE, AS SPECIFIED.
- 29. KEEP CONDUCTOR SPLICES TO A MINIMUM. INSTALL SPLICES AND TAPES THAT POSSESS EQUIVALENT OR BETTER MECHANICAL STRENGTH AND INSULATION RATINGS THAN CONDUCTORS BEING SPLICED. USE SPLICE AND TAP CONNECTORS COMPATIBLE WITH CONDUCTOR MATERIAL. INSTALL CONDUCTORS AT EACH OUTLET WITH AT LEAST 6 INCHES OF SLACK. CONNECT OUTLETS AND COMPONENTS TO WIRING AND TO GROUND AS INDICATED AND INSTRUCTED BY THE MANUFACTURER.
- 30. DO NOT SPLICE BRANCH CIRCUIT HOMERUNS WITHOUT THE PERMISSION OF THE ARCHITECT/ENGINEER. HOMERUNS SHALL BE CONTINUOUS FROM THE LAST OUTLET BOX TO THE SERVING PANELBOARD.
- 31. DO NOT COMBINE BRANCH CIRCUIT HOMERUNS UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS.
- 32. DO NOT CHANGE CIRCUITING SHOWN WITHOUT PERMISSION OF THE ARCHITECT/ENGINEER.
- 33. TROUGH TAPS SHALL BE AT SWITCH AMPACITY, UNLESS NOTED OTHERWISE.

- 34. INSTALL WIRING DEVICES AT HEIGHTS AS SHOWN ON THE DRAWINGS. ALSO COORDINATE MOUNTING HEIGHTS WITH THE ARCHITECTURAL DRAWINGS AND CASEWORK DETAILS. IF CONFLICTING, ARCHITECTURAL DRAWINGS AND DETAILS SHALL
- 35. PROVIDE GROUND FAULT CIRCUIT—INTERRUPTER PROTECTION FOR PERSONNEL IN ACCORDANCE WITH THE NEC INCLUDING ALL ELECTRIC WATER COOLERS, EXTERIOR RECEPTACLES AND RECEPTACLES IN AREAS SUBJECT TO POSSIBLE WET CONDITIONS. ALL RECEPTACLES INSTALLED WITHIN 6 FEET OF A SINK SHALL BE GFI PROTECTED. ALL RECEPTACLES IN NON—RESIDENTIAL KITCHENS SHALL BE GFI PROTECTED.
- 36. IN AREAS IN WHICH DUAL LEVEL SWITCHING IS INDICATED (TYPICALLY BY 2 OR MORE ADJACENT, GANGED SWITCHES), PROVIDE THE APPROPRIATE NUMBER OF CONDUCTORS TO FACILITATE THIS FUNCTION (AS TYPICALLY SHOWN).
- 37. CONNECT BATTERY PACK TYPE EMERGENCY AND EXIT LIGHTING FIXTURES TO THE UNSWITCHED LIGHTING CIRCUIT SERVING THE SPACE LIGHTED BY THE EMERGENCY AND EXIT FIXTURES. THESE CONNECTIONS ARE INTENTIONALLY NOT SHOWN TO MAINTAIN DRAWING FOR CLARITY.
- 38. COORDINATE LIGHTING FIXTURE LOCATIONS WITH THE ARCHITECTURAL REFLECTED CEILING PLAN. IF CONFLICTS ARE NOTED, REQUEST CLARIFICATION FROM THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- 39. ADJACENT SWITCHES SHALL BE GANGED.
- 40. SEPARATE NEUTRALS ARE REQUIRED FOR ALL DIMMED LIGHTING CIRCUITS.
- 41. WHERE THE DRAWINGS INDICATE A LIGHTING FIXTURE IS TO BE PROVIDED WITH SPECIAL FEATURES/SWITCHING (DIMMING, MULTI-LEVEL, ETC), THE CONTRACTOR SHALL PROVIDE THESE FIXTURES WITH THE APPROPRIATE BALLASTING TO ACCOMMODATE THE SPECIAL FEATURE. THE CONTRACTOR SHALL PROVIDE THE FIXTURES AS INDICATED IN THE LIGHTING FIXTURE SCHEDULE WITH MODIFICATIONS AS REQUIRED BY DRAWING NOTES.
- 42. COORDINATE LOCATIONS OF PLUMBING, MECHANICAL, FOOD SERVICE EQUIPMENT AND OF OWNER-PROVIDED EQUIPMENT WITH THE RESPECTIVE CONTRACTORS AND VENDORS AND THE OWNER BEFORE ROUGH—IN. ADJUST LIGHTING FIXTURES, RECEPTACLES AND ELECTRICAL EQUIPMENT TO ACCOMMODATE THIS EQUIPMENT. ADVISE THE ARCHITECT/ENGINEER OF CONFLICTS BEFORE ROUGH—IN. SEE SPECIFICATIONS SECTION 260580 FOR ADDITIONAL DETAIL INVOLVING WORK WITH
- 43. BEFORE COMMENCING WORK OR ORDERING MATERIALS, THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND VERIFY THE NAMEPLATE RATINGS OF ALL EQUIPMENT AND ADJUST THE RATINGS OF THE ELECTRICAL EQUIPMENT (SWITCHES, FUSES, CIRCUIT BREAKERS, FEEDERS, ETC.) AS APPROPRIATE TO SERVE THIS EQUIPMENT.
- 44. ENERGIZE EQUIPMENT ONLY AFTER OBTAINING PERMISSION FROM THE CONTRACTOR PROVIDING THE EQUIPMENT.
- 45. UNLESS SPECIFICALLY NOTED OTHERWISE, THE ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS TO ALL UTILIZATION EQUIPMENT SHOWN ON THE DRAWINGS. VERIFY THE TYPE OF FINAL CONNECTION AND PROVIDE APPROPRIATE WIRING METHOD. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL, PLUMBING AND GENERAL CONTRACTORS, PRIOR TO ORDERING OR INSTALLATION OF ANY EQUIPMENT, TO VERIFY MECHANICAL AND PLUMBING EQUIPMENT REQUIREMENTS ARE PROVIDED IN THE ELECTRICAL DESIGN. THE CONTRACTOR WILL NOT BE COMPENSATED FOR COSTS ASSOCIATED WITH CHANGING THE ELECTRICAL SYSTEMS TO MATCH UTILIZATION EQUIPMENT, EVEN IF THE ELECTRICAL WORK IS INSTALLED PER THE ELECTRICAL DRAWINGS.
- 46. THE MECHANICAL AND PLUMBING CONTRACTORS SHALL FURNISH ALL CONTROLS FOR THEIR EQUIPMENT.
- 47. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL EQUIPMENT TERMINATIONS, PLUGS AND CORDSETS WITH VENDOR EQUIPMENT AND VERIFY ALL DEVICE LOCATIONS FOR SPECIALITY EQUIPMENT WITH CASEWORK PRIOR TO ROUGH-IN.
- 48. COORDINATION WITH THE UTILITY COMPANY IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL ELECTRICAL DISTRIBUTION EQUIPMENT (PANELBOARDS, CIRCUIT BREAKERS, SAFETY SWITCHES, ETC.) SHALL, AS A MINIMUM, BE PROVIDED WITH SHORT CIRCUIT WITHSTAND AND INTERRUPTING RATINGS AS SHOWN IN THE DRAWINGS. COORDINATE ACTUAL FAULT CURRENT AVAILABLE WITH THE SERVING UTILITY COMPANY AND ADJUST RATINGS AS APPROPRIATE. PROVIDE DEVICES WITH CURRENT LIMITING CHARACTERISTICS AS REQUIRED TO SAFELY FUNCTION AND PROTECT THE DISTRIBUTION SYSTEM.
- 49. INSTALLATION INFORMATION PACKED WITH LIGHTING FIXTURES, DEVICES AND EQUIPMENT SHALL BE RETAINED FOR INCLUSION IN THE OPERATIONS AND MAINTENANCE MANUALS.
- 50. SAFETY: COMPLY WITH OSHA AND NEC ARC FLASH PROTECTION REQUIREMENTS.





514 Market Street Wilmington, NC 28401 Tel - (910) 762-2621 Fax - (910) 762-8506



# ONAL C. O'BRIEN JR: V & Audubon C

4 Bay Garage lectrical General Note

REVISIONS

8.17.2018 Permit Set

DRAWN BY
WPJ
CHECKED BY

RDM

DECEMBER 04, 2017
SHEET NUMBER

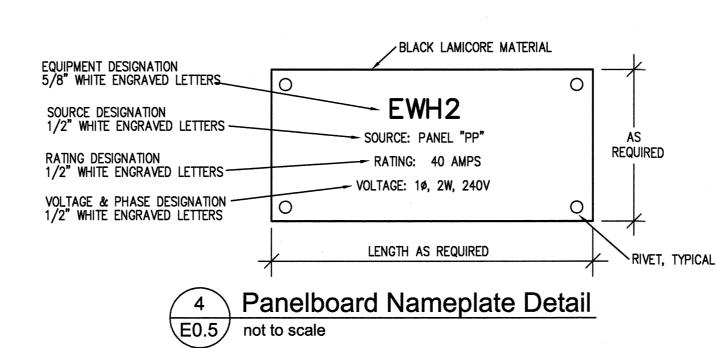
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BLACK LAMICORE MATERIAL

REQUIRED

REQUIRED

REQUIRED

RIVET, TYPICAL

SOURCE: UTILITY COMPANY SERVICE

-- RATING: 100 AMPS

- VOLTAGE: 1ø, 3W, 120/240V

LENGTH AS REQUIRED

Panelboard Nameplate Detail

BLACK LAMICORE MATERIAL

MAXIMUM FAULT CURRENT

XX,XXX A RMS

- DATA FROM UTILITY CO., MM-DD-YYYY

Fault Current Nameplate Detail

NOTICE - ELECTRICAL EQUIPMENT WORKING

SPACE AND EGRESS AREA -

NO OBSTRUCTION OR

STORAGE ALLOWED

LENGTH AS REQUIRED

NEC Working Space Label Detail
not to scale

LENGTH AS REQUIRED

~PANEL

E0.5 not to scale

E0.5 not to scale

UV INKS SCREEN PRINTED ON PRESSURE SENSITIVE POLYESTER, OVERLAMINATED WITH CLEAR POLYESTER <

PANELBOARD DESIGNATION 5/8" WHITE ENGRAVED LETTERS —

SOURCE DESIGNATION 1/2" WHITE ENGRAVED LETTERS -

RATING DESIGNATION 1/2" WHITE ENGRAVED LETTERS—

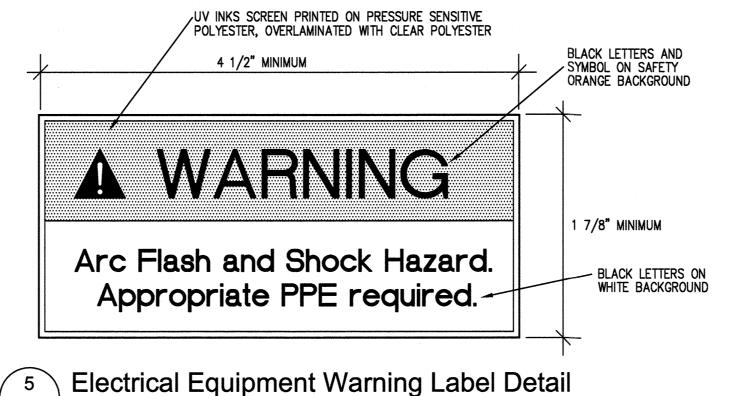
VOLTAGE & PHASE DESIGNATION — 1/2" WHITE ENGRAVED LETTERS

PROVIDE ACTUAL VALUE AND DATE WHEN AVAILABLE FROM THE UTILITY COMPANY

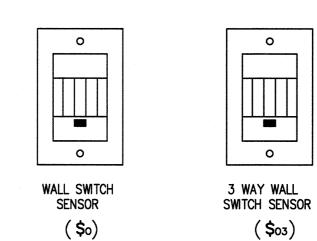
1/2" WHITE ENGRAVED LETTERS—ON BLACK BACKGROUND

WHITE ENGRAVED LETTERS

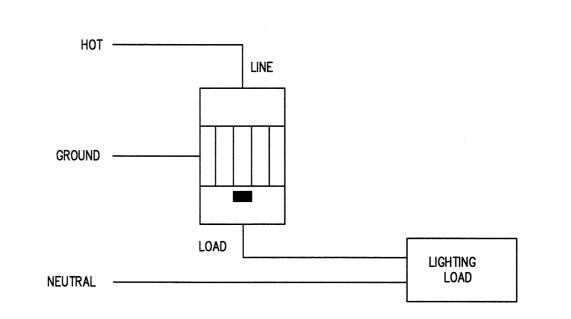
ON BLACK BACKGROUND



OCCUPANCY SENSOR WIRING SCHEMATICS ARE PROVIDED TO INDICATE SWITCHING FUNCTION(S) REQUIRED. COMPONENTS AND CONNECTIONS BETWEEN COMPONENTS ARE REPRESENTATIVE ONLY AND MAY NOT BE APPLICABLE FOR ALL MANUFACTURER'S DEVICES. CONSULT ACTUAL APPROVED DEVICE MANUFACTURER APPLICATION INFORMATION AND INSTALLATION INSTRUCTIONS FOR COMPONENTS AND WIRING REQUIRED BEFORE ROUGHING IN AND INSTALLING SYSTEMS.



Occupancy Sensor Wall Switch Plate Detail 6 Occupar E0.5 not to scale



Occupancy Sensor Wall Sensor Switch Wiring Diagram (\$) E0.5 not to scale

MARK	DESCRIPTION.	SIZE/APERTURE	VOLTS	LAMPS	WATTS	LENS	TRIM/DOOR	TRIM COLOR	MOUNTING HEIGHT	REMARKS	MANUFACTURER
L1	SURFACE MOUNTED LED	4'	120	4146 LUMENS 3500K	38	POLYCARBONATE	STEEL	WHITE	MOUNTED IN CEILING FEATURE, SEE 9/A4.1 E	80 CRI, DAMP LOCATION LISTED	LITHONIA "CDS" SERIES
L2A	SURFACE MOUNTED UNDERCOUNTER LED	2'	120	742 LUMEN 3000K	10.2	WHITE ACRYLIC	STEEL	WHITE	SURFACE UNDER CABINET	90 CRI, DIRECT WIRED, DAMP LOCATION LISTED	LITHONIA "UCEL" SERIES
L2B	SURFACE MOUNTED UNDERCOUNTER LED	4'	120	1603 LUMEN 3000K	19.5	WHITE ACRYLIC	STEEL	WHITE	SURFACE UNDER CABINET	90 CRI, DIRECT WIRED, DAMP LOCATION LISTED	LITHONIA "UCEL" SERIES
L3	PENDANT MOUNTED LED	10" H x 14" W	120	LED	10	CL3 - 3" CLEAR	ALUMINUM	GALVANIZED	PENDANT CEILING. SEE 1/A4.2 E	WHITE REFLECTOR, SLOPED CEIING ADAPTER, MOUNTED ON BOTTOM OF BEAM, REMOTE DRIVER	BASELITE "MG14" SEREIS
L4B	SURFACE MOUNTED LED	11" W x 9" H	120	LED	20	CL4 - 4" CLEAR	ALUMINUM	GALVANIZED	SURFACE CEILING	WET LOCATION LABEL	BASELIGHT "LF" SERIES
L6	WALL MOUNTED LED	8.5" x 17"	120	3237 LUMEN 3000K	25W		ALUMINUM	NATURAL ALUMINUM	WALL, SEE 3B/A4.0 E	VF DISTRIBUTION WET LOCAITON LABEL, LENS UP ORIENTATION	LITHONIA "WST LED" SERIES
L7	WALL MOUNTED LED		120	1600 LUMEN 3000K	17	CLEAR GLASS		GALVANIZED ALUMINUM	WALL FIELD VERIFY	PROVIDE 100W EQUIVALENT A19 BASE LED LAMP, 24" PROJECTION, SMALL GLASS JAR, WET LOCATION LABEL	TREND LIGHTING "A1-B3" SERIE
L8	WEATHERPROOF LED LIGHT MODULE	LENGTH AS INDICATED	120/12V DC	LED 3500K	.5W PER MODULE			WHITE	SURFACE ON LEDGE	3 LED'S PER MODULE, 3 MODULES PER FOOT, 140 DEGREE BEAM ANGLE, DIMMING POWER SUPPLY IN NEMA-1 ENCLOSURE, IP-65 WET LOCATION LABEL, STAINLESS STEEL MOUNTING HARDWARE	GVA LIGHTING "IP-SF-3" SERIE
L10	WALL MOUNTED LED	9.5"W x13.5" H	120	LED	10	CL3 - 3" CLEAR	ALUMINUM	GALVANIZED	WALL FIELD VERIFY	E19 — 10" PROJECTION, WET LOCATION LABEL	BASELIGHT "LH" SERIES
L11	PENDANT MOUNTED CEILING FAN	52"	120		100		·	GALVANIZED STEEL	PENDANT CEILING	GALVAINZED STEEL HOUSING, GALVANIZED BLADES, DAMP LOCATION LABEL	BARNLIGHT ELECTRIC "MACHINE AGE" SERIES
X1 ·	EXIT LIGHT		UNIV	RED LED	5		POLYCARBONATE	WHITE	WALL OVER DOOR	RED LED, 6" LETTERS, SINGLE OR DOUBLE FACE UNITS AND CHEVRONS AS INDICATED, INTERNAL 90 MINUTE BATTERY BACKUP	LITHONIA "LQM" SERIES
E1	EMERGENCY LIGHT		UNIV	2-1.5W LED	3		POLYCARBONATE	WHITE	WALL / 7'-6"	INTERNAL 90 MINUTE BATTERY BACKUP, SELF DIAGNOSTICS	LITHONIA "ELM2 LED" SERIES

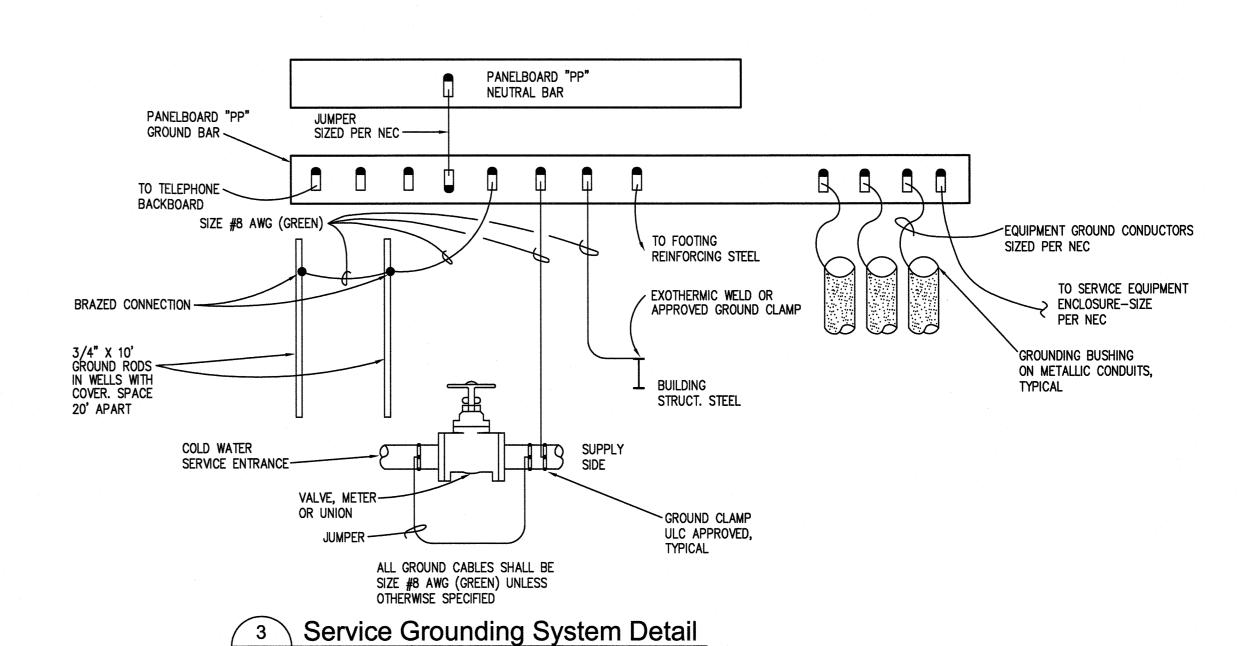
E0.5 not to scale

FIN. FLOOR



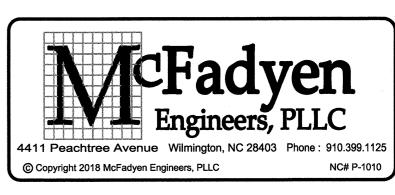
BY UTILITY COMPANY

FIN. GRADE



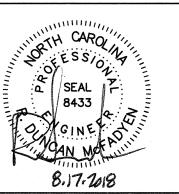
E1.0F not to scale

TYPE:	240	120	VOLTS,	SNGL PHASE	THREE	WIRE	•	PROVIDE	XX EQUIPMENT GROUND BUS
BOLT-ON	MOUNT:	SURFACE						IF	XX 100 % NEUTRAL BUS
DOOR-IN-DOOR HINGED TRIM	FEED:	BOTTOM						CHECKED	XX ULSE LABEL
	NEMA - 1 ENCLOSU			JRE					ISOLATED GROUND BAR
-	LOAD	CKT BKR	CKT			CKT	CKT BKR	LOAD	
LOAD SERVED	VA	POLES/TRIP	#	Α	В	#	POLES/TRIP	VA	LOAD SERVED
LIGHTS 100, 101,102, CEILING FAN	504	1/20	1	1,504		2	1/20	1,000	RECEPTACLE 101
EXTERIOR LIGHTS THRU PHOTOCELL	17	1/20	3		1,017	4	1/20		RECEPTACLE 101
EXTERIOR LIGHTS THRU PHOTOCELL	17	1/20	- 5	1,017		6	1/20		RECEPTACLE 101
SPARE		1/20	7		1,000	8	1/20		RECEPTACLE 101
SPARE		1/20	9	1,000		10	1/20	1,000	REFRIGERATOR 101
SPARE		1/20	11		1,000	12	1/20	1,000	REFRIGERATOR 101
SPARE		1/20	13	180		14	1/20	180	RECEPTACLE 100
SPARE		1/20	15		180	16	1/20	180	RECEPTACLE 100
SPARE		1/20	17	720		18	1/20	720	RECEPTACLES 100
SPARE		1/20	19		180	20	1/20	180	RECEPTACLE 102
SPARE		1/20	21			22	1/20		SPARE
SPARE		1/20	23			24	1/20		SPARE
SPARE		1/20	25	360		26	1/20	360	EXTERIOR RECEPTACLES
EWH2	4,800	2/40	27		5,364	28	2/20	564	PUMP STATION
	4,800		29	5,364		30		564	
NOTE:				10,145	8,741		VOLT AMPS		A. BUS (COPPER)
				85	73	CONN.	AMPS	100	A. MAIN CIRCUIT BREAKER
								10	KAIC MIN.





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**DECEMBER 04, 2017** 

E1.0E

