

NOTES

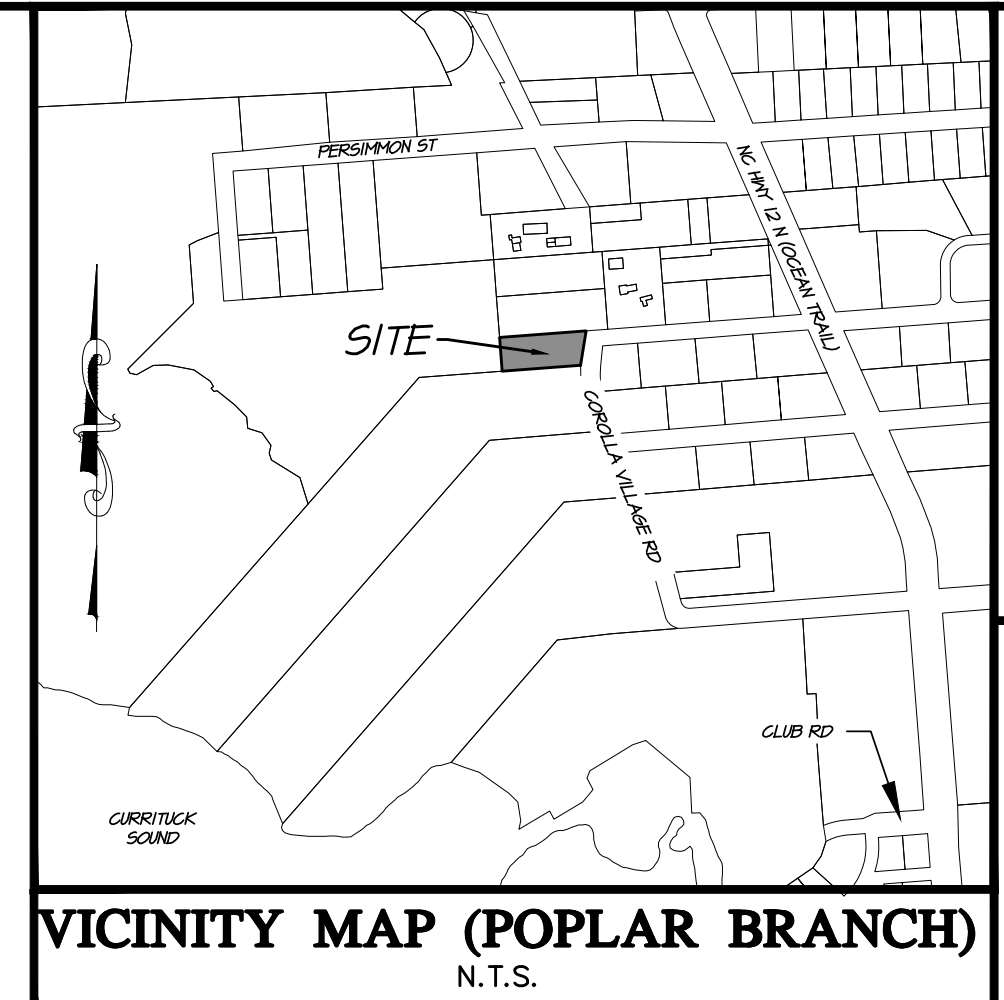
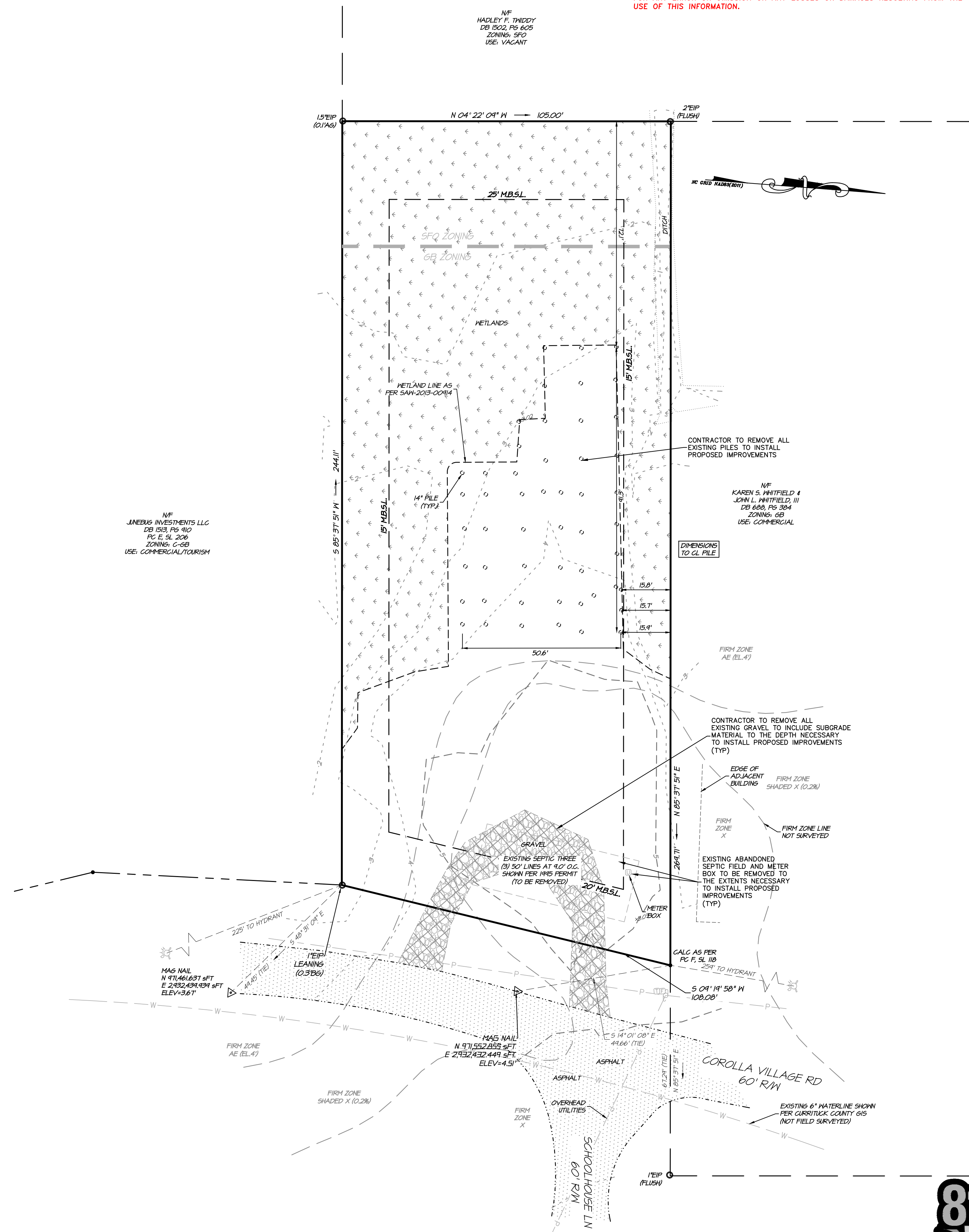
- OWNER: DUCK LAND COMPANY, LLC
1181 DUCK ROAD
KITTY HAWK, 27949
- PROPERTY INFORMATION: PIN: 9937-21-3504 / PID: 011400000520000
- SUBJECT REFERENCES: DB 555, PG 192,194
- ADDRESS: 1120 COROLLA VILLAGE LANE
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. NOVEMBER 2023. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- TOTAL LOT AREA: 26,975.60 SQ.FT. (0.62 AC.)
- ZONING CLASSIFICATION: SFO & GB
- THE SECTION 404 WETLAND LINES SHOWN PER USACE SAW-2013-00914.
- AREAS BY COORDINATE METHOD ALL DISTANCES HORIZONTAL GROUND.

DEMOLITION NOTES:

- CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND SERVICES - TO INCLUDE BUT NOT LIMITED TO ELECTRIC, CABLE, TELEPHONE, GAS, SANITARY SEWER AND WATER - AND SHALL COORDINATE PROPER PROTECTION AND/OR RELOCATE WITH APPROPRIATE OWNER/UTILITY COMPANY.
- CONTRACTOR SHALL WALK THE SITE AND BE FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND BE UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE CURBS AND GUTTERS, BITUMINOUS CONCRETE PAVEMENTS AND ALL MATERIALS OR VEGETATION CLEARED AND STRIPPED TO THE EXTENT NECESSARY FOR THE INSTALLATION OF NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING. COORDINATE WITH APPROPRIATE DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO THE PROPERTY DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM PROJECT AREA.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARDS A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS.
- EXISTING PAVEMENT, CURB AND GUTTER, LIGHTS, FENCES, TREE/VEGETATION AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED, AND UNDISTURBED DURING DEMOLITION. CONTRACTOR SHALL COORDINATE THE REMOVAL OF BITUMINOUS CONCRETE PAVEMENTS AND CURB AND GUTTER WITH THE SITE PLAN.
- SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS TO BE DEMOLISHED SHALL BE PROVIDED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AS WELL AS OSHA REGULATIONS.
- CONTRACTOR'S ACTIVITIES SHALL NOT IMPEDE USAGE OR INGRESS/EGRESS TO ADJACENT PROPERTIES. COORDINATE WITH OWNER MAINTENANCE OF TRAFFIC/PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
- MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES DURING DEMOLITION.
- DEMOLITION SHALL NOT BEGIN UNTIL WRITTEN AUTHORIZATION IS RECEIVED FROM THE OWNER AND CONTRACTOR HAS OBTAINED THE REQUIRED PERMITS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION TO AUTHORIZE DEMOLITION WORK. A DEMOLITION PERMIT IS REQUIRED FROM CURRITUCK COUNTY.
- DEMOLITION PLAN DOES NOT PURPORT TO SHOW ALL OBJECTS OR UTILITIES EXISTING ON THE SITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES AND IMPROVEMENTS WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL COORDINATE ALL UTILITY DISCONNECTION, (I.E. SANITARY SEWER, WATER, GAS, TELEPHONE, ELECTRIC, ETC.) TO BUILDINGS, STRUCTURES AND OTHER CONNECTIONS AS NECESSARY FOR DEMOLITION WITH THEIR RESPECTIVE UTILITY PROVIDER. ALL UTILITIES, ABOVE, ON OR BELOW GROUND SHALL BE REMOVED AS DENOTED ON THE PLAN AND SHALL MEET ALL REQUIREMENTS OF UTILITY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING OF WORK. BEFORE ANY DEMOLITION, THE CONTRACTOR SHALL CALL NORTH CAROLINA ONE-CALL 1-800-632-4949 TO HAVE ALL UNDERGROUND UTILITIES LOCATED ON AND NEAR THE VICINITY OF THE SITE.
- EXISTING WATER METERS, ELECTRICAL TRANSFORMERS, TELECOMMUNICATION TERMINALS, ETC. ARE THE PROPERTY OF THE UTILITY COMPANIES SERVING THE SITE AND CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH UTILITY OWNERS THE REMOVAL, TRANSPORTATION, AND STORAGE OF THE SAME.
- WHERE BUILDING FOUNDATION WALLS, PILES, FOOTINGS, CONCRETE SLABS, STOOPS, PAVEMENTS, SIDEWALKS, CURB, OR CURB AND GUTTER ARE INDICATED TO BE REMOVED CONTRACTOR SHALL INCLUDE THE REMOVAL OF BASE MATERIAL DOWN TO SUB-GRADE.
- DEMOLITION PLAN DOES NOT GUARANTEE THE ACCURACY OR QUANTITIES OF THE DEMOLITION STRUCTURES AND MATERIALS; IT WAS DEVELOPED TO ASSIST THE CONTRACTOR. IT IS EXPRESSLY STATED HEREON THAT THE OWNER OR ENGINEER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN THEREFROM BY THE CONTRACTOR.
- ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE DAILY IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, PRIVATE PROPERTY, AND/OR PUBLIC RIGHTS-OF-WAY. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DESIGNATED DEMOLITION DEBRIS FROM THE PROJECT SITE TO A DISPOSAL SITE APPROVED BY ALL AUTHORITIES HAVING JURISDICTION.

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUILBE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.



NC License# C-028
SINCE 1959

Quilbe & Associates, P.C.
ENGINEERING, SURVEYING & ENVIRONMENTAL SCIENCES SURVEYING**
SURVEYING NOT OFFERED AT BLACK HILL OFFICE
8486 CAROLINA HWY
90 CHURCH STREET
BLACK MOUNTAIN, NC 28711
Phone: (252) 89-8147
Fax: (252) 89-8148
www.quilbe.com

CERTIFICATION
CARRIED OVER FROM PREVIOUS SHEET

- LEGEND**
- EXISTING ASPHALT PAVEMENT
 - EXISTING WETLANDS
 - EXISTING GRAVEL
 - EXISTING IRON PIPE
 - EXISTING METER
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING FIBER OPTIC
 - EXISTING UTILITY POLE
 - EXISTING GUY POLE
 - EXISTING WATER LINE (APPROX. LOCATION)
 - EXISTING POWERLINE
 - CALC. POINT
 - EXISTING PILING
 - PROPOSED DEMOLITION

REVISIONS

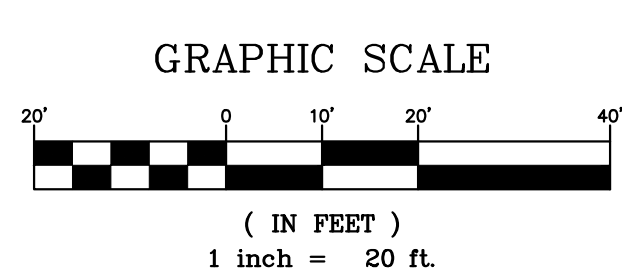
NO.	DATE	ISSUED FOR	INDOT PERMITTING
1	11/12/24		

SHEET INDEX

- EXISTING CONDITIONS & DEMOLITION PLAN
- SITE, LANDSCAPING & UTILITY PLAN
- GRADING & DRAINAGE PLAN
- 4-5 SITE & UTILITY DETAILS



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



EXISTING CONDITIONS & DEMOLITION PLAN

1120 COROLLA VILLAGE RD
DUCK LAND COMPANY, LLC

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P08045
DESIGNED BY MWS/BPJ
DRAWN BY BPJ
CHECKED BY MWS
ISSUE DATE 08/23/24

SHEET NO. **1**
OF 5 SHEETS

GENERAL NOTES

- OWNER: DUCK LAND COMPANY, LLC
1181 DUCK ROAD
KITTY HAWK, 27949
- ENGINEER: QUILBE & ASSOCIATES, P.C.
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- PROPERTY INFORMATION: PIN: 9937-21-3504 / PID: 01140000520000
- SUBJECT REFERENCES: DB 555, PG 192,194
- ADDRESS: 1120 COROLLA VILLAGE LANE
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. NOVEMBER 2023. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- PROPERTY IS LOCATED IN NFIP FLOOD AE (4'), "X", AND "SHADED X" AS SHOWN. SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 9937; SUFFIX J. (MAP NUMBER 3720993700J); PANEL EFFECTIVE DATE: 12/16/05
- TOTAL LOT AREA: 26,975.60 SQ.FT. (0.62 AC.)
SFO ZONING AREA = 4,200.0 SQ.FT.
GB ZONING AREA = 22,775.55 SQ.FT.
- ZONING CLASSIFICATION: SFO & GB
- THE SECTION 404 WETLAND LINES SHOWN PER USACE SAW-2013-00914.
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF A SPECIALTY EATING ESTABLISHMENT, DETACHED SINGLE-FAMILY DWELLING AND REQUIRED PARKING.
- MAXIMUM BUILDING HEIGHT: 35 FT.
- ALL DIMENSIONS ARE TO FACE CURB UNLESS OTHERWISE NOTED.
- ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.
- STORMWATER MANAGEMENT:
RUNOFF FROM ALL PROPOSED IMPROVEMENTS WILL BE COLLECTED AND CONVEYED INTO AN INFILTRATION BASIN.
- THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING BUT NOT LIMITED TO GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, AND WATER SYSTEM. FOR BUILDING DESIGN, ASSOCIATED PLUMBING, AND WASTEWATER PUMP STATION/FORCEMAIN DESIGN SEE APPROPRIATE SEPARATE PLANS.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. LIGHTING PLAN PROVIDED UNDER SEPARATE COVER.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING WETLANDS. ALL WETLAND TO REMAIN AND NO GRUBBING OR DISTURBANCE TO THE EXISTING GROUND SURFACE IS ALLOWED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEQ DIVISION OF ENERGY, MINERAL AND LAND RESOURCES REGULATIONS. FILL IS NOT PROPOSED OR ALLOWED WITHIN 10' OF THE PROPERTY LINE.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-632-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.

SOIL EROSION & SEDIMENTATION CONTROL NOTES:

- AREA TO BE DISTURBED: ±15,177SF (±0.34 AC.)
- PROVIDE A GROUND COVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW.
 - PERIMETER DIKES, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
 - HIGH QUALITY WATER (HOW) ZONES SHALL BE STABILIZED IN 7 DAYS.
 - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
 - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
 - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP.30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
 - A RAIN GAUGE MUST BE KEPT ON SITE.
 - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
 - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
 - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
 - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCEQ LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCEQ LAND QUALITY SECTION APPROVED SITE.

PERMANENT VEGETATION

SEEDING DATES: APRIL 1 - AUGUST 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	130 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

SEEDING DATES: SEPT. 1 - MARCH 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

SEEDING DATES: APRIL 16 - AUG. 15:

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRAIN	120 LBS.
GERMAN MILLET	40 LBS.

TEMPORARY VEGETATION

(UNHULLED)

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRAIN	120 LBS.
GERMAN MILLET	40 LBS.

SEEDING PREPARATION:
LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW, BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDBED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORM FINE TEXTURE SHALL BE THE FINISHED GRADE.

SOIL AMENDMENTS:
OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

MULCHING:
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.

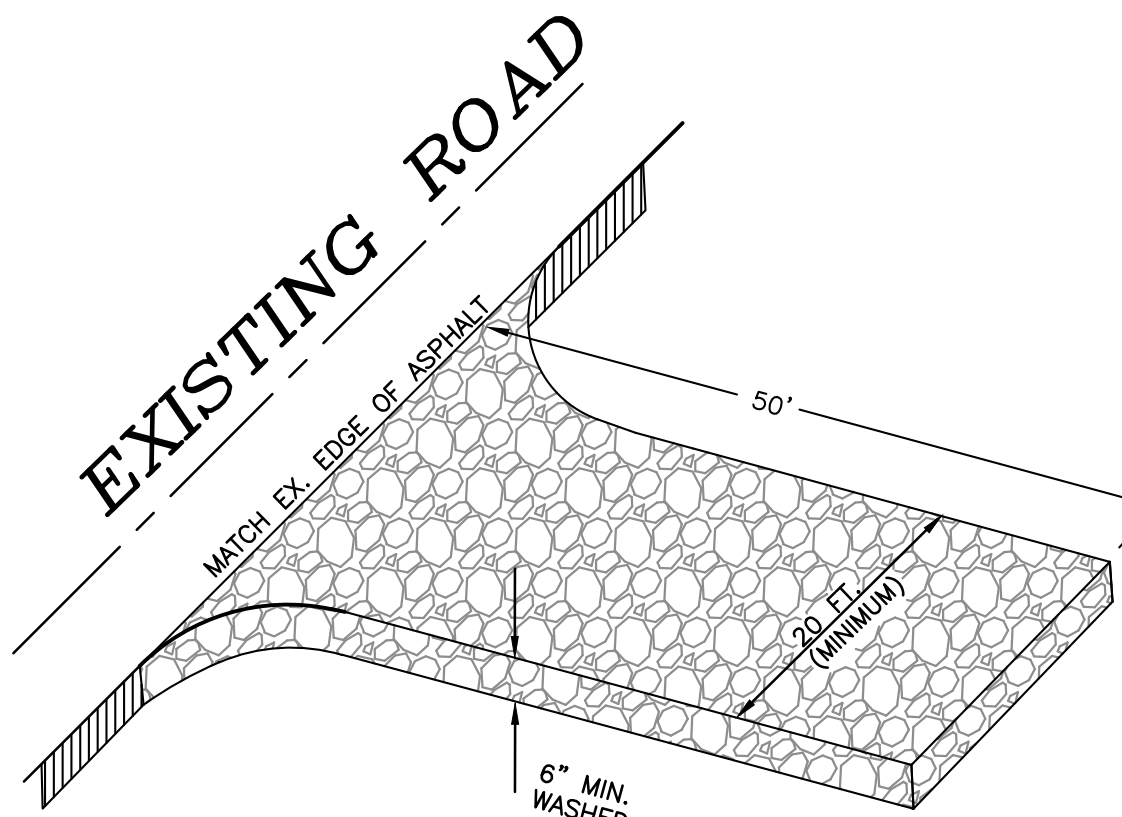
MAINTENANCE:
SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.) WEAK OR DAMAGED SPOTS MUST BE RELIEM, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

SEEDING SPECIFICATIONS

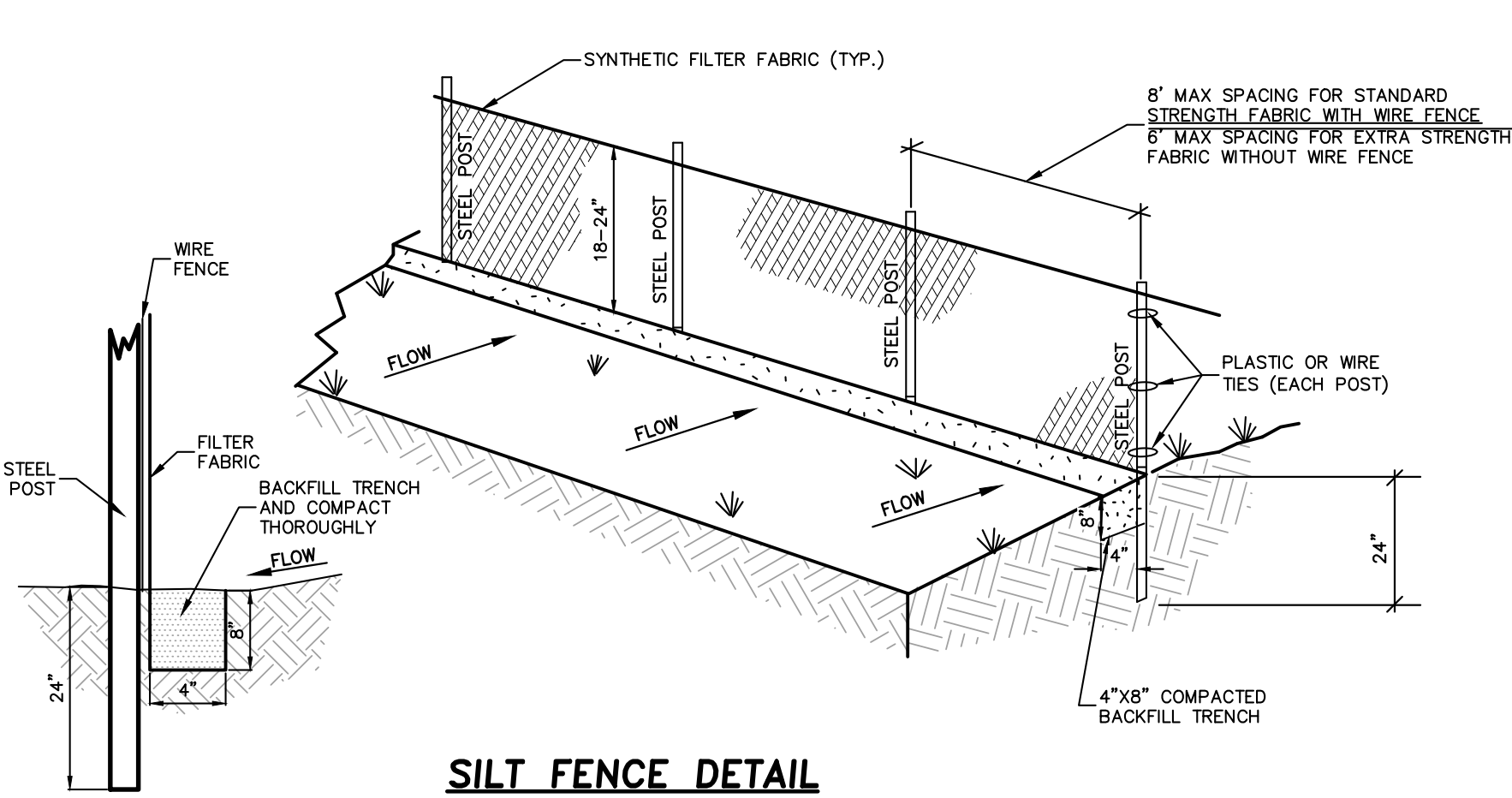
INSPECTION/MAINTENANCE OF INFILTRATION SCM'S

- ANNUAL REMOVAL OF SEDIMENT IN THE PRE-TREATMENT AREA (ON RIP-RAP OR WITHIN STRUCTURE SUMPS)
- ANNUAL REPLACEMENT OF THE TOP SEVERAL INCHES OF FILTER MEDIA WHENEVER DEWATERING TIME IS LONGER THAN 5 DAYS
- REGULAR SWEEPING OR VACUUMING OF PERMEABLE PAVERS
- VEGETATION IN AND AROUND THE INFILTRATION BASIN IS TO BE MAINTAINED TO A HEIGHT OF APPROX. 6 INCHES
- REMOVE WEEDS AND NOXIOUS VEGETATION BY HAND OR BY WIPING HERBICIDE. DO NOT SPRAY.
- INFILTRATION SYSTEMS SHOULD BE INSPECTED QUARTERLY AND WITHIN 24 HOURS OF ANY STORM EVENT 1.5 INCHES OR MORE.
- STABLE GROUND COVER SHOULD BE MAINTAINED IN THE DRAINAGE AREA TO REDUCE THE SEDIMENT LOAD TO THE WET POND.
- CHECK SEDIMENT ACCUMULATION. IF SEDIMENT ACCUMULATION HAS REDUCED THE DEPTH TO 75% OF THE DESIGN DEPTH, REMOVE SEDIMENT AND DISPOSE OF IT OFF-SITE. WATER SHOULD NOT BE STANDING MORE THAN 9 DAYS AFTER A STORM EVENT.
- ONCE A YEAR, A DAM SAFETY EXPERT SHOULD INSPECT THE EMBANKMENT.



GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL

N.T.S.



SILT FENCE DETAIL

N.T.S.

CONSTRUCTION SEQUENCE

PRECONSTRUCTION:

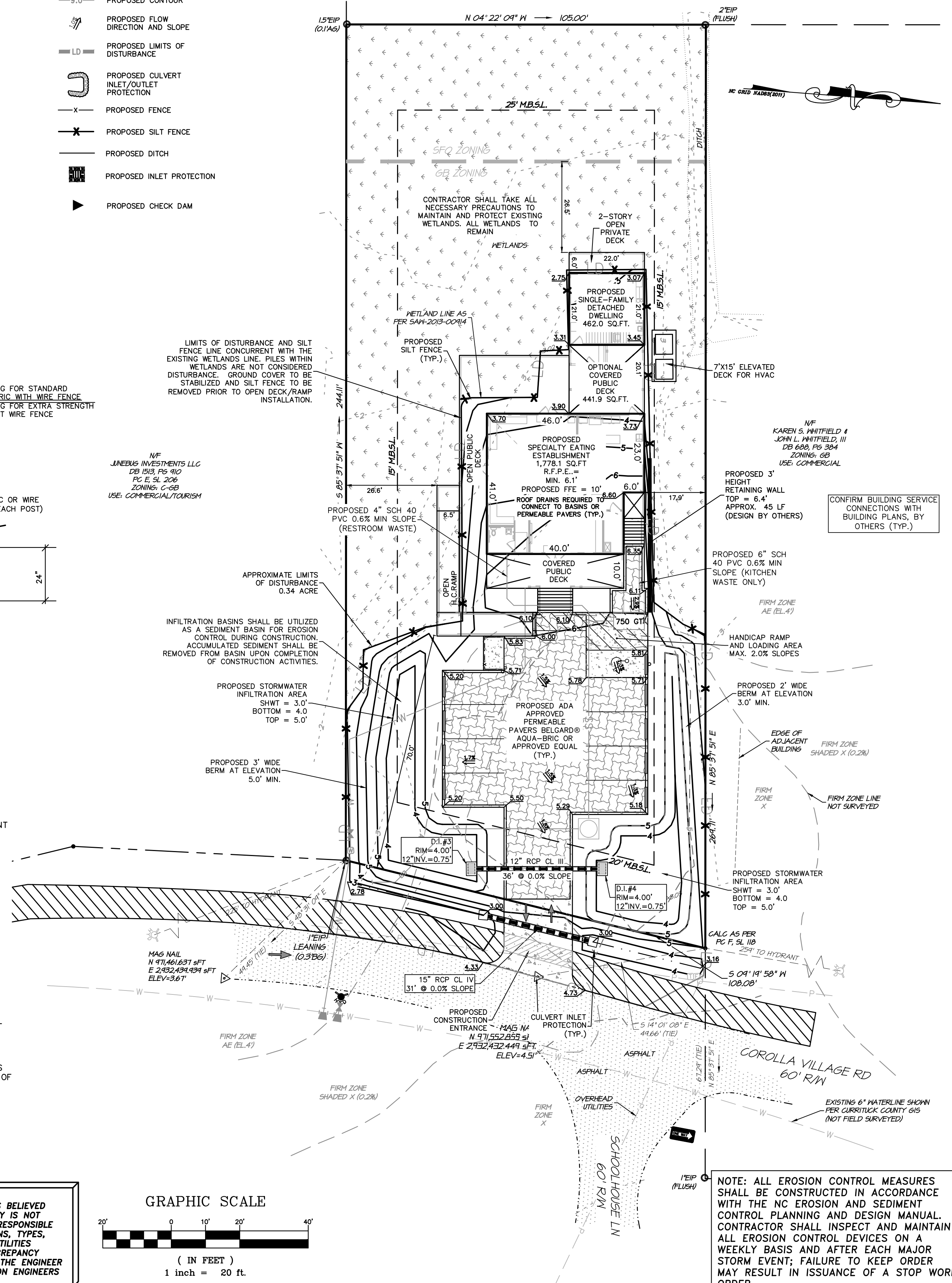
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG AND/OR ROUGH STAKE WORK LIMITS.
- HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.

CONSTRUCTION:

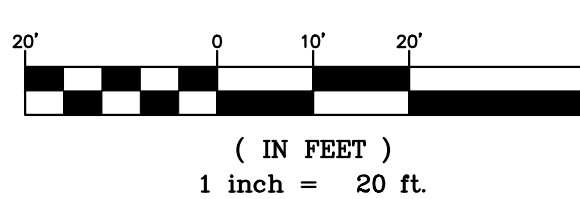
- INSTALL CONSTRUCTION ENTRANCE & SILT FENCING AT LOCATIONS SHOWN ON PLAN.
- CONSTRUCT TEMPORARY SEDIMENT BASIN/INFILTRATION BASIN. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY DEMOLITION.
- COMPLETE CLEARING AND GRUBBING PROCEDURES.
- GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- INSTALL CONTRIBUTING STORM CONVEYANCES INCLUDING RIP-RAP APRONS, MATING AND ASSOCIATED EROSION CONTROLS.
- COMPLETE FINAL GRADING OF THE GROUNDS, TOPSOIL, PERMANENTLY SEED, LANDSCAPE, AND MULCH.
- ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
- ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED; ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES INCLUDING THE BASIN AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
- UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.

LEGEND

- EXISTING ASPHALT PAVEMENT
- PROPOSED PERMEABLE PAVERS
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPOSED EXCELSIOR MATTING
- EXISTING CONTOUR
- EXISTING SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CULVERT INLET/OUTLET PROTECTION
- PROPOSED FENCE
- PROPOSED SILT FENCE
- PROPOSED DITCH
- PROPOSED INLET PROTECTION
- PROPOSED CHECK DAM



GRAPHIC SCALE



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUILBE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

NC License # C-028
SMCE 1959
Quilbe & Associates, P.C.
CONSTRUCTION & ENVIRONMENTAL ENGINEERING
ENVIRONMENTAL SCIENCE SURVEYING**
HARRINGTON NOT OFFERED AT BLACK HILL OFFICE
8486 GARATON HWY
BLACK MOUNTAIN, NC 28711
Phone: (252) 891-8147
Fax: (252) 891-8148
www.quilbe.com

PROFESSIONAL SEAL
CURRITUCK COUNTY
NORTH CAROLINA
CERTIFICATION

REVISIONS

NO.	DATE	ISSUED FOR	BY
1	11/17/24	ISSUED FOR NC DOT PERMITTING	

GRADING & DRAINAGE PLAN

1120 COROLLA VILLAGE RD

DUCK LAND COMPANY, LLC

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. **P08045**

DESIGNED BY **MWS/BPJ**

DRAWN BY **BPJ**

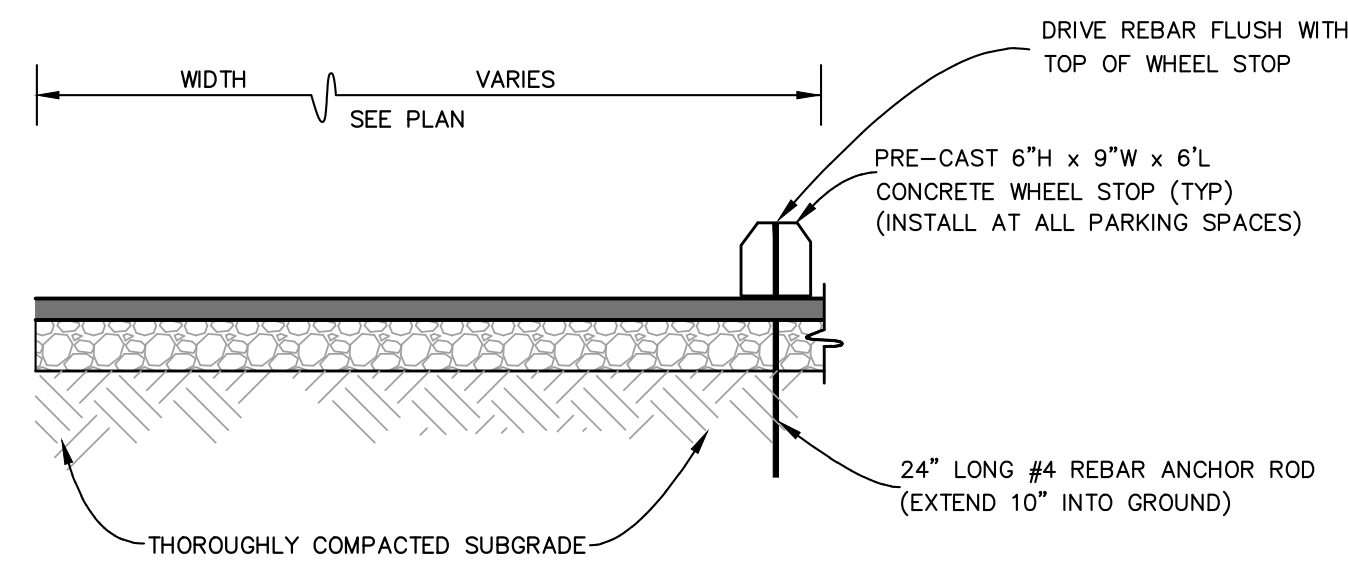
CHECKED BY **MWS**

ISSUE DATE **08/23/24**

SHEET NO. **3**

OF 5 SHEETS

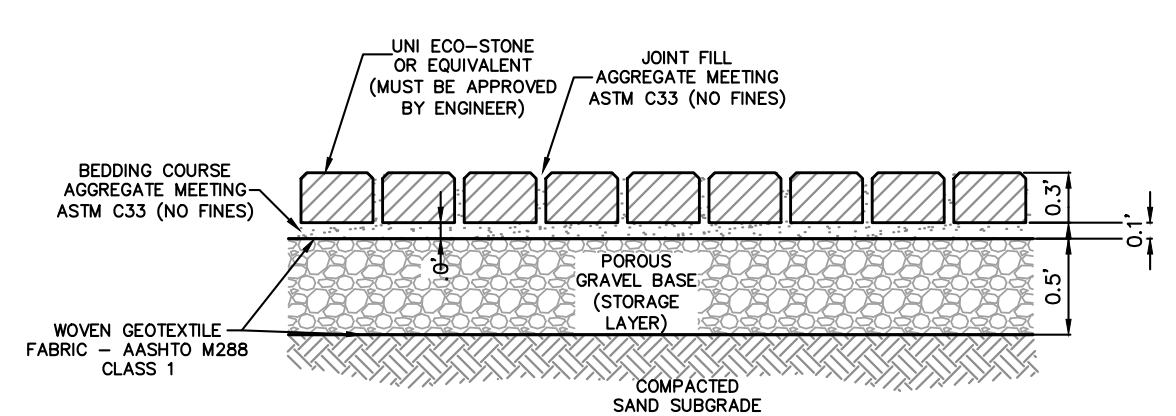




WHEEL STOP DETAIL
N.T.S.

COMPACTION NOTES:
 1. PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
 2. COMPACT BACKFILL AND SUBGRADE TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) ALL BACKFILL MATERIAL SHALL BE SELECT BACKFILL UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
 3. SELECT FILL SHALL CONSIST OF SAND OR GRAVEL CONTAINING LESS THAN 20% BY WEIGHT OF FINES (SP, SM, SW, GP, GW) HAVING A LIQUID LIMIT LESS THAN 20 AND PLASTIC LIMIT LESS THAN 6, AND FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL.

COMPACTION NOTES



TYPICAL PERMEABLE PAVER INSTALLATION DETAIL
N.T.S.

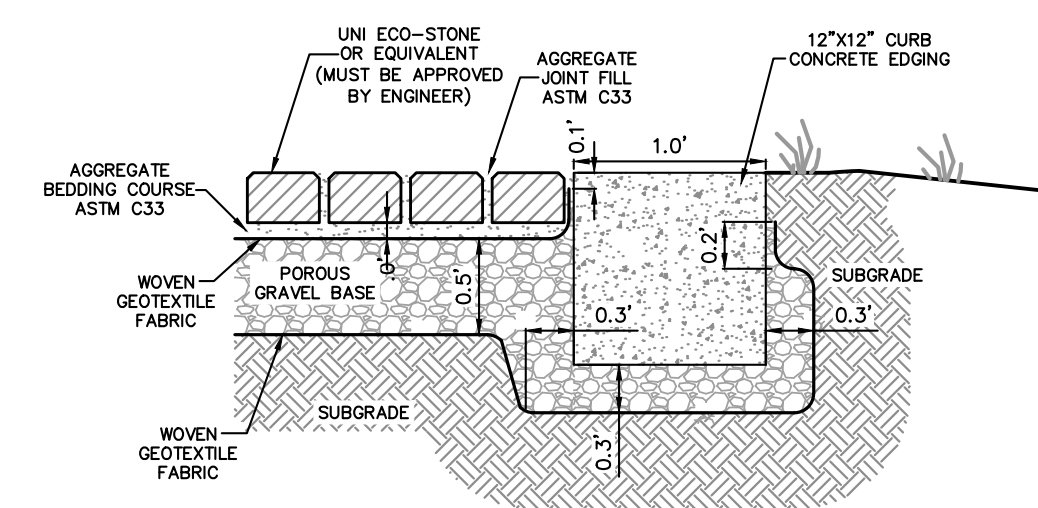
NOMINAL PIPE SIZE	SLEEVE O.D. RANGE (INCHES)	CATALOG NUMBER			APPROX. WEIGHT
		SLEEVE NUMBER	BY	BRANCH SIZE	
4"	4.60 - 4.80	SS1 - 4.60		3" FL.	289
	5.10 - 5.30	SS1 - 5.30	X	4" FL.	309
	5.60 - 5.80	SS1 - 5.60		6" FL.	329
6"	6.00 - 6.20	SS1 - 6.00		3" FL.	389
	6.50 - 6.70	SS1 - 6.50	X	4" FL.	409
	7.00 - 7.20	SS1 - 7.00		6" FL.	429
8"	8.00 - 8.20	SS1 - 8.00		3" FL.	489
	8.50 - 8.70	SS1 - 8.50	X	4" FL.	509
	9.00 - 9.20	SS1 - 9.00		6" FL.	529
10"	10.20 - 11.20	SS1 - 11.20		3" FL.	589
	11.50 - 11.70	SS1 - 11.50	X	4" FL.	609
	11.90 - 12.10	SS1 - 12.10		6" FL.	629

TYPICAL TAPPING SLEEVE DETAIL
ROMAC INDUSTRIES, INC. "SS1" STAINLESS STEEL TAPPING SLEEVE

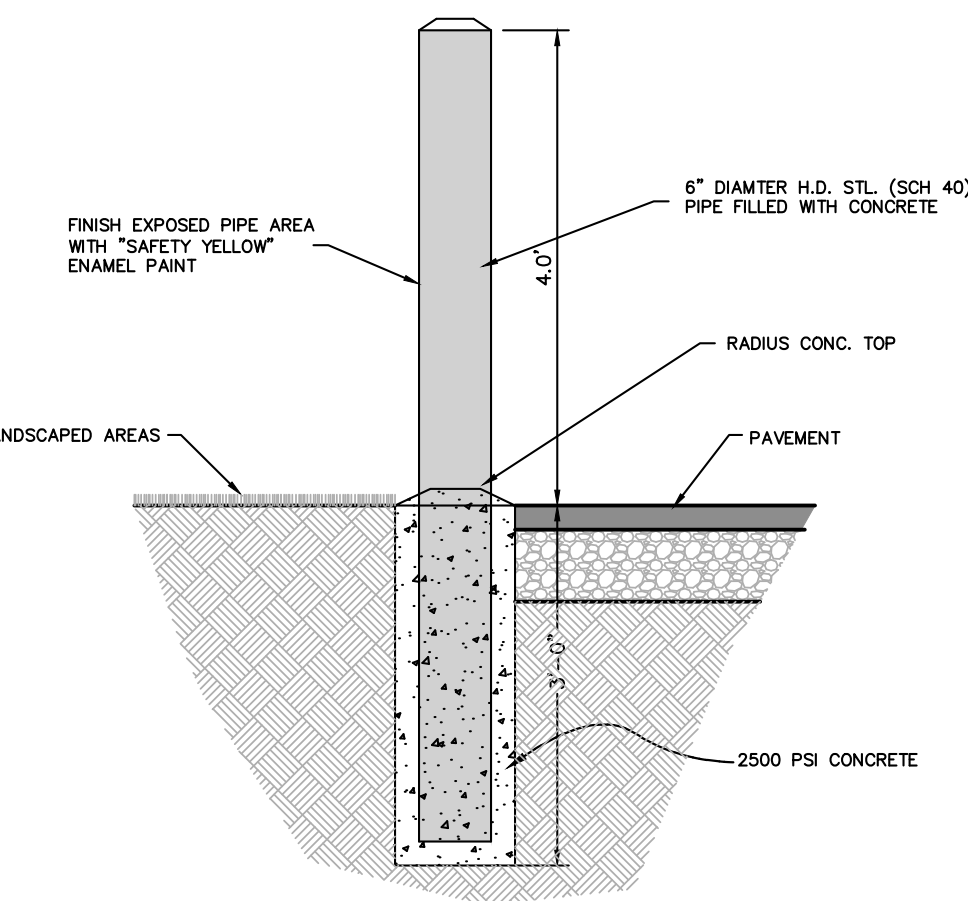
DIMENSION	VALVE SIZE				
	4"	6"	8"	10"	12"
A	13-3/8	16-3/4	20-3/16	24-1/8	27-1/2
B +.000/-031	4.984	6.984	8.984	10.984	12.984
C ±.016	1.88	2.50	2.50	2.50	2.50
D (FLANGED END)	4-1/2	5-1/4	5-3/4	6-1/2	7
E (MJ END)	5-5/8	6	6-7/8	7-3/8	8-5/16
F	2-1/2	2-1/2	2-1/2	2-1/2	2-1/2
NO. OF TURNS TO OPEN	13	19	25	32	35
MAX. CUTTER DIAMETER	3-3/4	5-3/4	7-3/4	9-3/4	11-3/4

- NOTES:**
- DO NOT EXCEED THE RECOMMENDED TAPPING MACHINE CUTTER DIAMETER LISTED IN THE TABLE. FAILURE TO DO SO MAY RESULT IN DAMAGE TO THE SEALING SURFACES OF THE VALVE.
 - VALVE MEETS OR EXCEEDS APPLICABLE REQUIREMENTS OF ANSI/AWWA C509 WITH WALL THICKNESS WHICH EXCEED THE MINIMUM REQUIREMENTS OF ANSI/AWWA C115/A21.53.
 - UL LISTED FM APPROVED. VALVE MUST BE ORDERED IN CONFIGURATIONS WHICH ARE UL LISTED AND FM APPROVED AND HAVE PERMANENT UL/FM MARKINGS.
 - 250 PSI RATED WORKING PRESSURE.
 - FUSION BONDED EPOXY COATING MEETS OR EXCEEDS REQUIREMENTS OF AWWA C550.
 - MECHANICAL JOINT ENDS ARE IN ACCORDANCE WITH ANSI/AWWA C111/A21.11.
 - BOLT PATTERNS OF FLANGED ENDS ARE IN ACCORDANCE WITH ANSI/AWWA C110/A21.10 (ANSI B16.1, CLASS 125).
 - RAISED PILOT DIMENSIONS OF FLANGED ENDS ON TAPPING VALVES ARE IN ACCORDANCE WITH MSS SP-60.

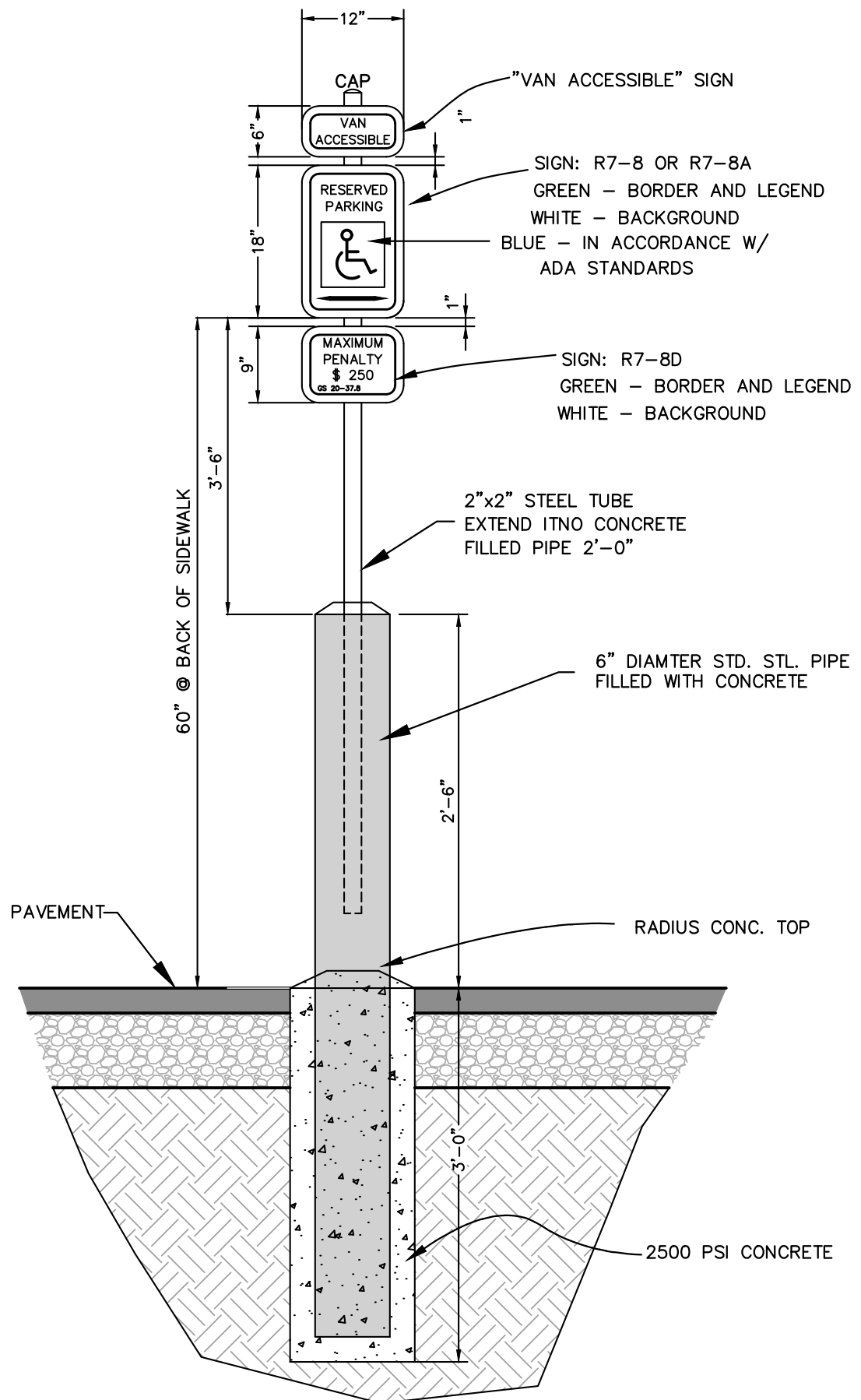
TYPICAL TAPPING VALVE DETAIL
AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE VALVE



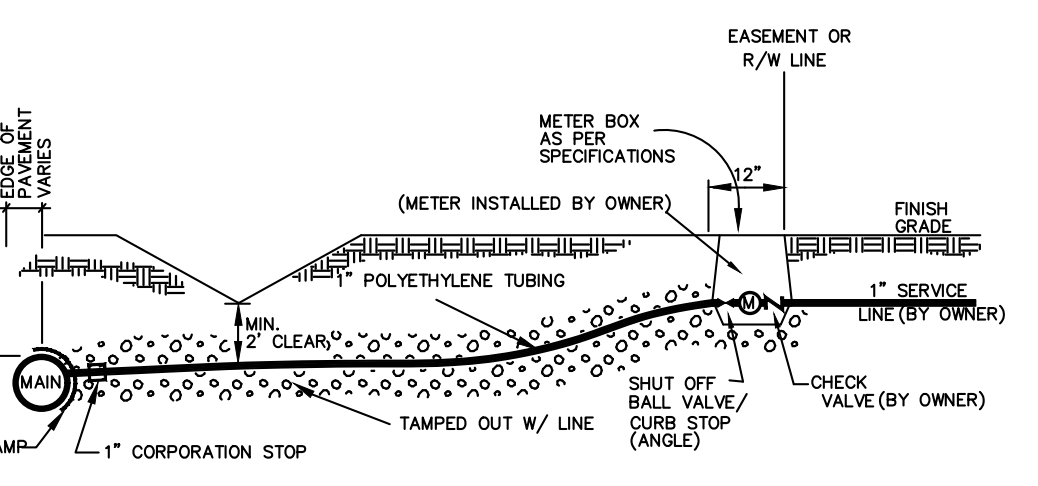
CONCRETE CURBING DETAIL
N.T.S.



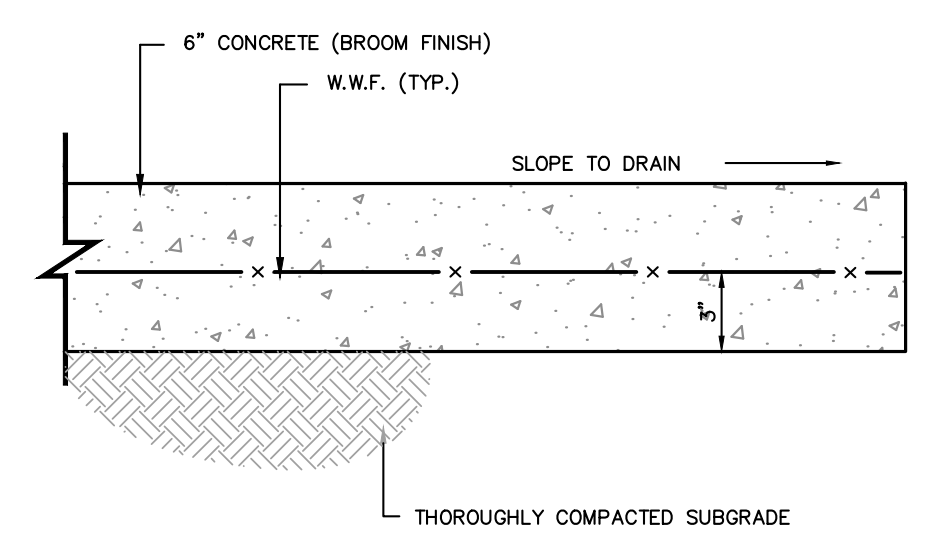
BOLLARD DETAIL
N.T.S.



ADA RESERVED PARKING SIGN DETAIL
N.T.S.

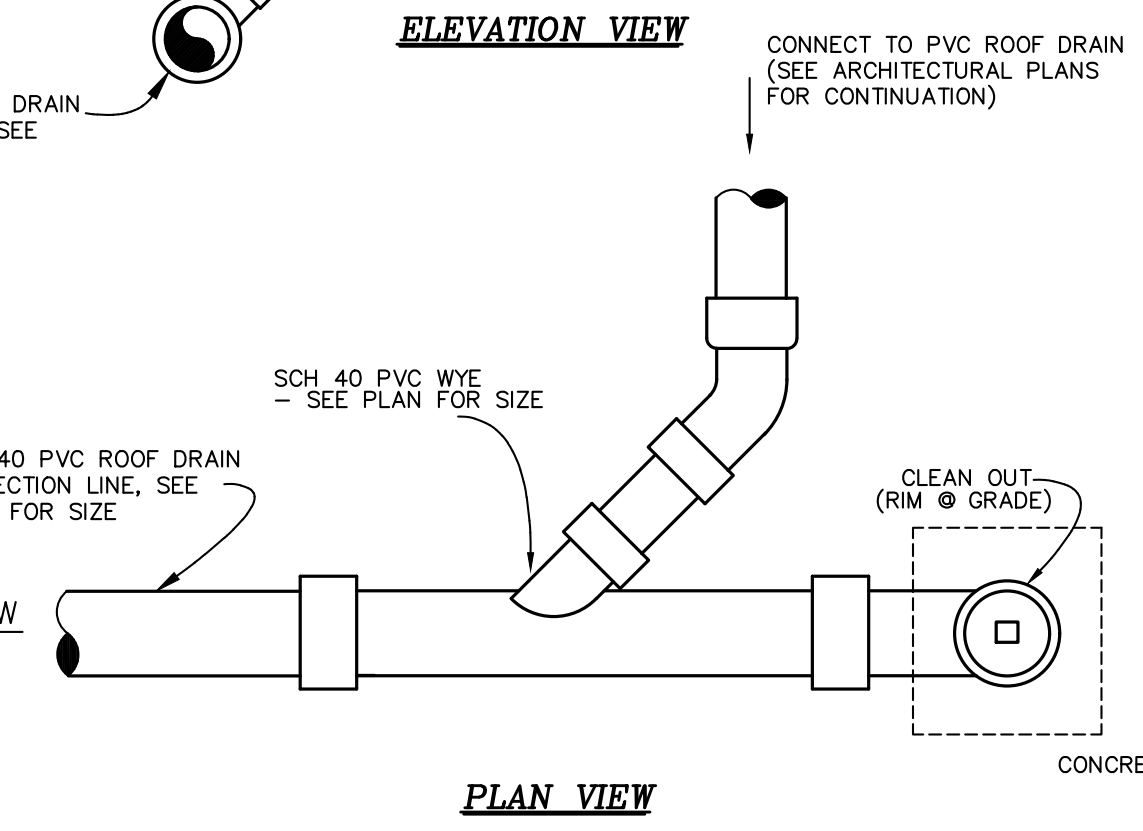
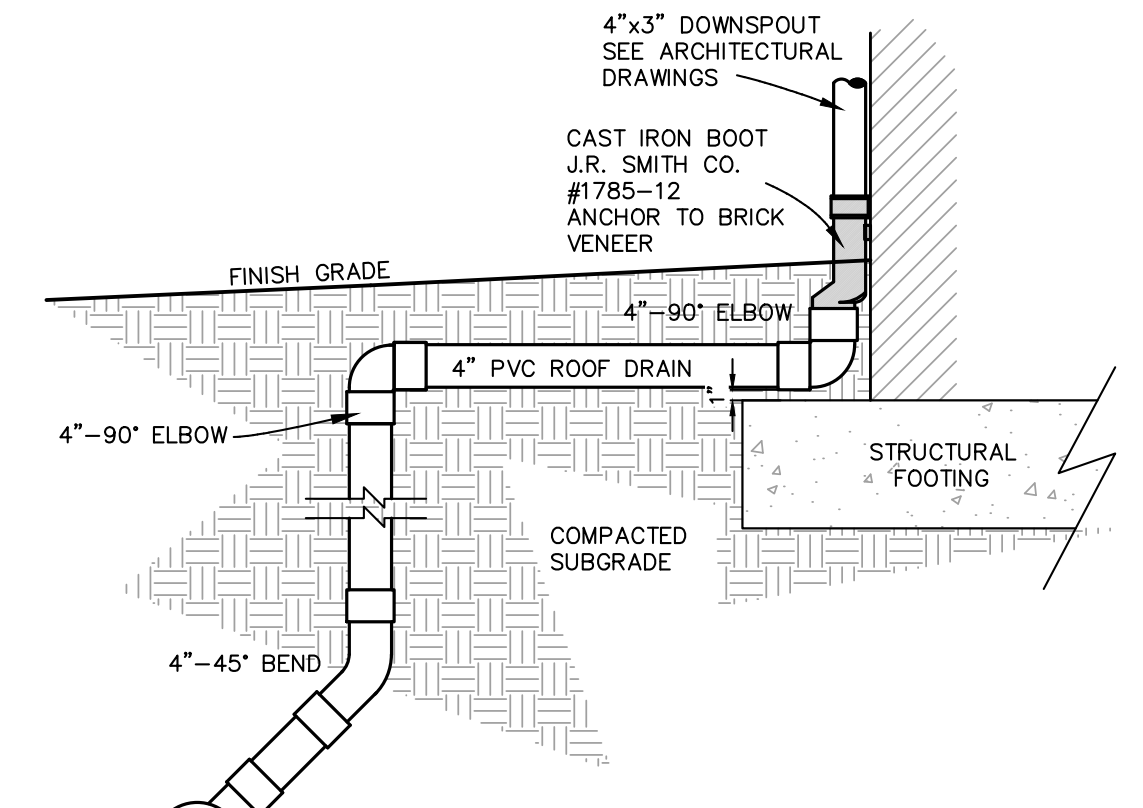


STANDARD 1" SERVICE LINE AND METER BOX INSTALLATION
N.T.S.



CONCRETE PAVEMENT SECTION
N.T.S.

GENERAL CONTRACTOR MAY REPLACE FIBERMESH CONCRETE WITH WIRE SCREEN OR WIRE SCREEN WITH FIBERMESH CONCRETE AS APPROVED BY ENGINEER



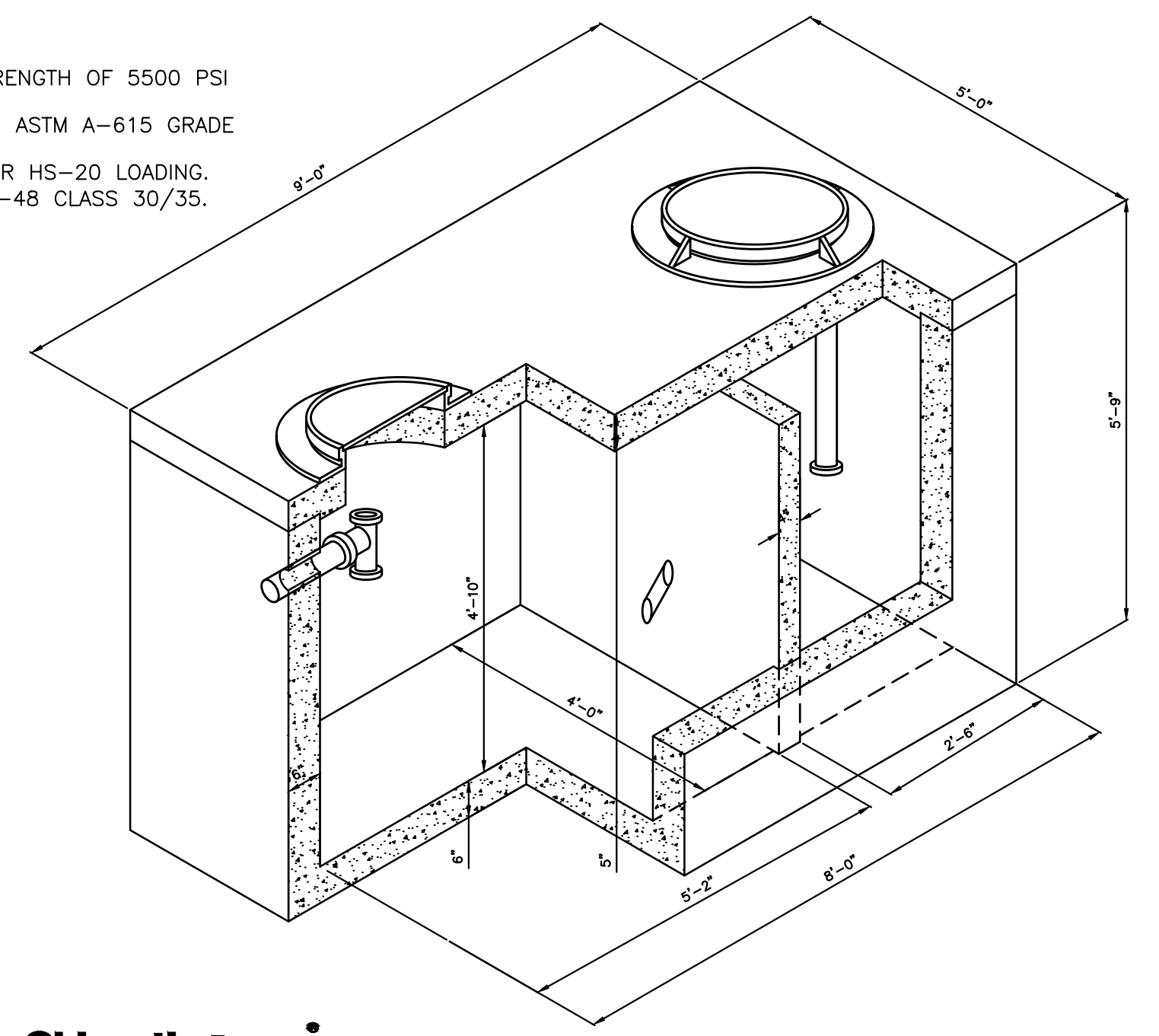
ROOF DRAIN COLLECTION LATERAL
N.T.S.

- SPECIFICATIONS FOR SIDEWALKS, CURBS, ALLEYS, CONCRETE PAVEMENT**
- ALL REINFORCING STEEL SHALL BE GRADE 60 (ASTM A615)
 - ALL WELDED WIRE FABRIC SHALL BE 6 x 6, W1.4 x W1.4 (ASTM A185)
 - A 1-1/2" CLEAR CONCRETE COVER SHALL BE MAINTAINED ON ALL REINFORCEMENT
 - ALL CONCRETE SHALL BE 3000 PSI FIBER MESH UNLESS OTHERWISE NOTED
- SPECIFICATIONS OF ASPHALT**
- ALL ABC STONE SHALL BE COMPACTED TO 100% OF STANDARD PROCTOR (ASTM D698)
 - ASPHALT SHALL BE 2" SF9.5A
- SPECIFICATIONS FOR SUBBASE**
- ALL SUBBASE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR (ASTM D698)

TYPICAL SPECIFICATIONS

- GENERAL NOTES:**
- INTERCEPTOR IS STRUCTURALLY AND HYDRAULICALLY ENGINEERED CONFORMING TO UNIFORM PLUMBING CODE. LIQUID CAPACITY IS 765 GALLONS WITH SOLIDS RETENTION CAPACITY OF APPROX. 2,004 POUNDS. RECOMMENDED FOR FLOW RATE UP TO 21 GALLONS PER MINUTE.

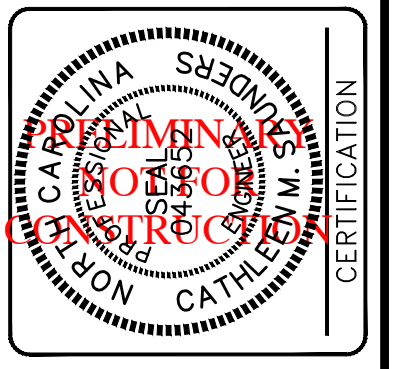
- SPECIFICATIONS:**
- CONCRETE: DESIGN STRENGTH OF 5500 PSI AT 28 DAYS.
 - STEEL REINFORCEMENT: ASTM A-615 GRADE 60.
 - LOADING: DESIGNED FOR HS-20 LOADING.
 - C.I. CASTINGS: ASTM A-48 CLASS 30/35.



750 GALLON 4'x8'ID GREASE TRAP
N.T.S.

Oldcastle Precast
13600 S. Wayside Dr., Houston, TX 77048
Phone: 713-991-2400 Fax: 713-991-0815

NC License# C-0208
 SINCE 1959
Quible & Associates, P.C.
 ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SCIENCES SURVEYING
 ***STARTING NOT OFFERED AT BLACK HILL OFFICE**
 8486 GARATON HWY. 90 CHURCH STREET
 POWELL POINT, NC 27968 BLACK MOUNTAIN, NC 28711
 Phone: (252) 891-8167 Fax: (252) 891-8168
 www.quible.com



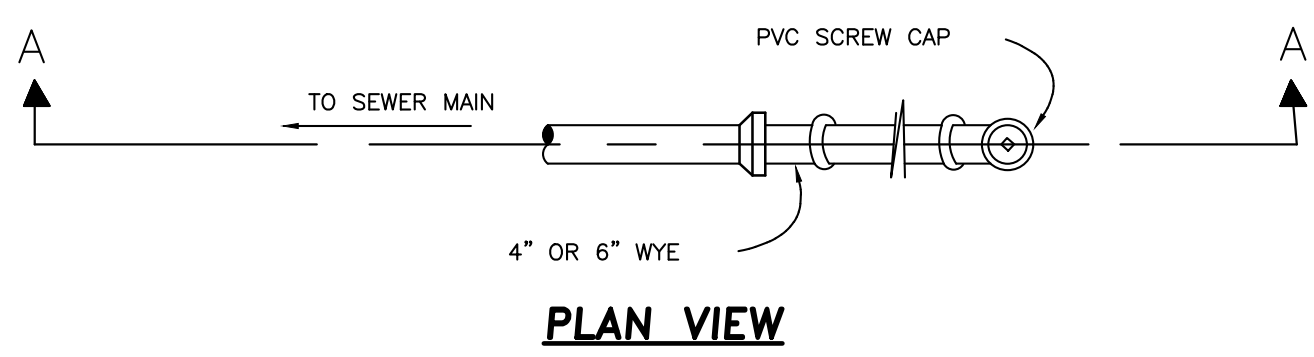
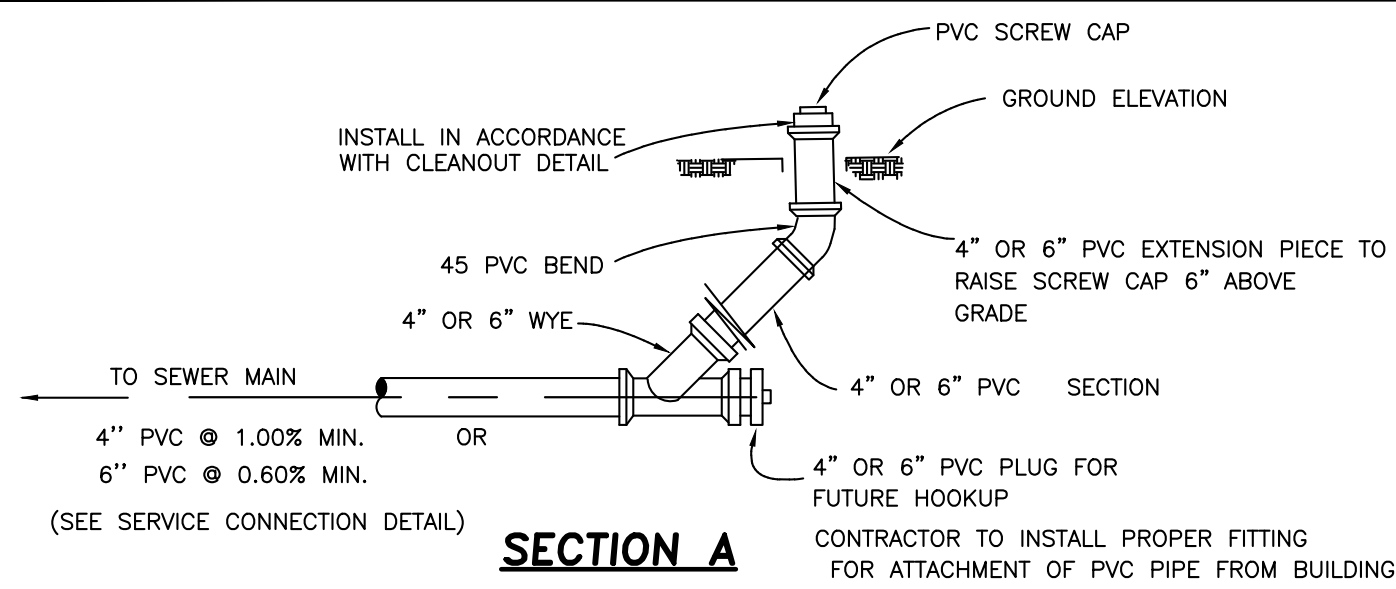
CONTRACT NO. 192
 QUIBLE & ASSOCIATES, P.C.
 THIS DOCUMENT IS THE PROPERTY OF QUIBLE & ASSOCIATES, P.C. ANY REPRODUCTION OR DISSEMINATION IS PROHIBITED.
 IF THIS DOCUMENT IS NOT SIGNED BY A PROFESSIONAL ENGINEER, ARCHITECT, ENVIRONMENTAL SCIENTIST, SURVEYOR, OR LAND CONVEYANCE SPECIALIST, IT SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED FOR ANY CONSTRUCTION OR LAND CONVEYANCE UNLESS OTHERWISE NOTED.

NO.	DATE	REVISIONS
1	11/12/24	ISSUED FOR INDOT PERMITTING

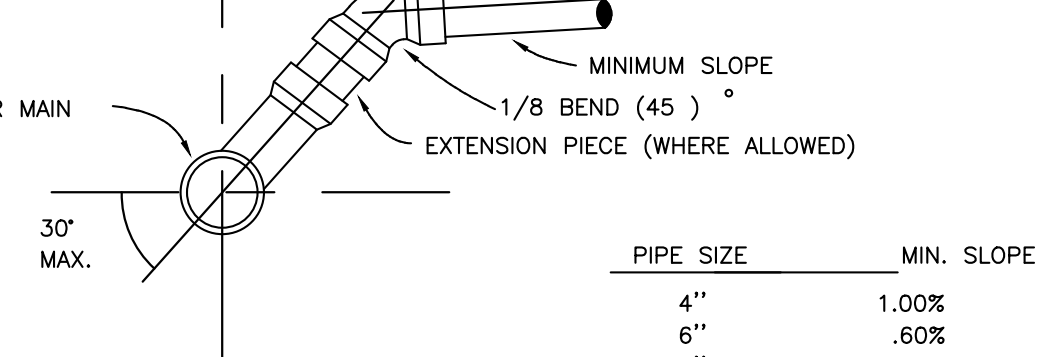
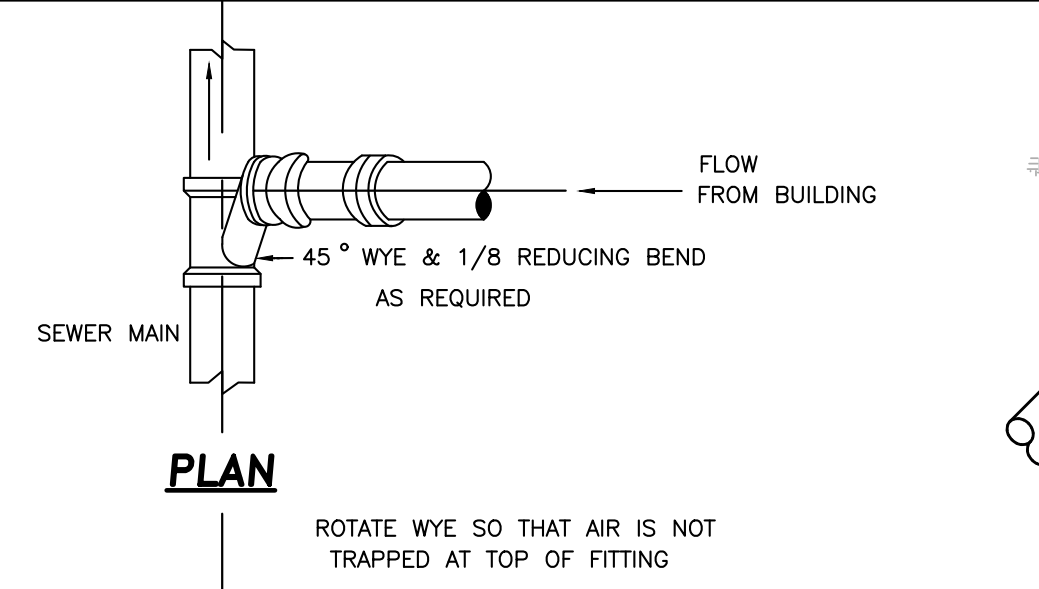
SITE & UTILITY DETAILS
1120 COROLLA VILLAGE RD
DUCK LAND COMPANY, LLC
 POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. **P08045**
 DESIGNED BY **MWS/BPJ**
 DRAWN BY **BPJ**
 CHECKED BY **MWS**
 ISSUE DATE **08/23/24**

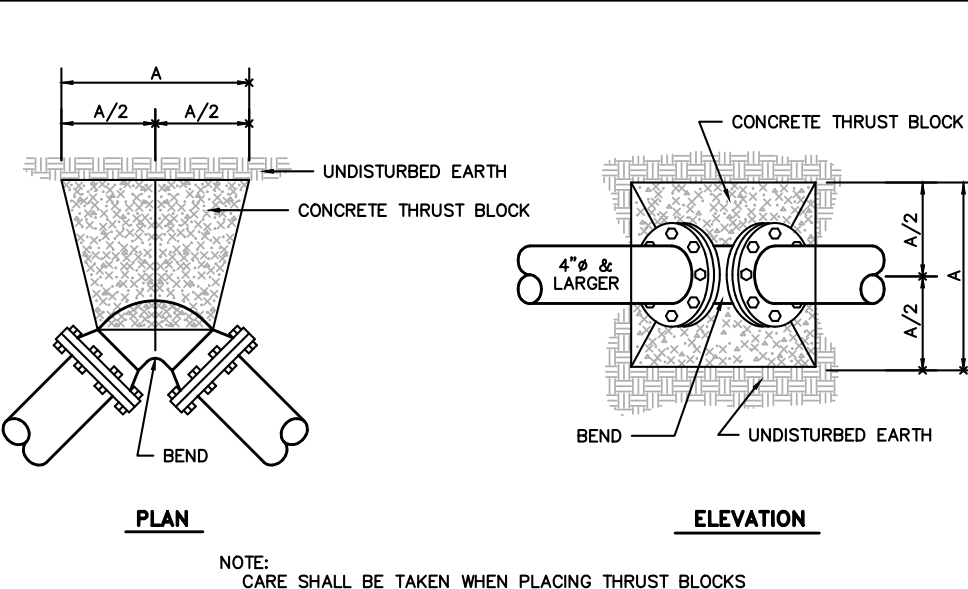
SHEET NO.
4
 OF 5 SHEETS



SINGLE GRAVITY SERVICE LATERAL CONNECTION
N.T.S.



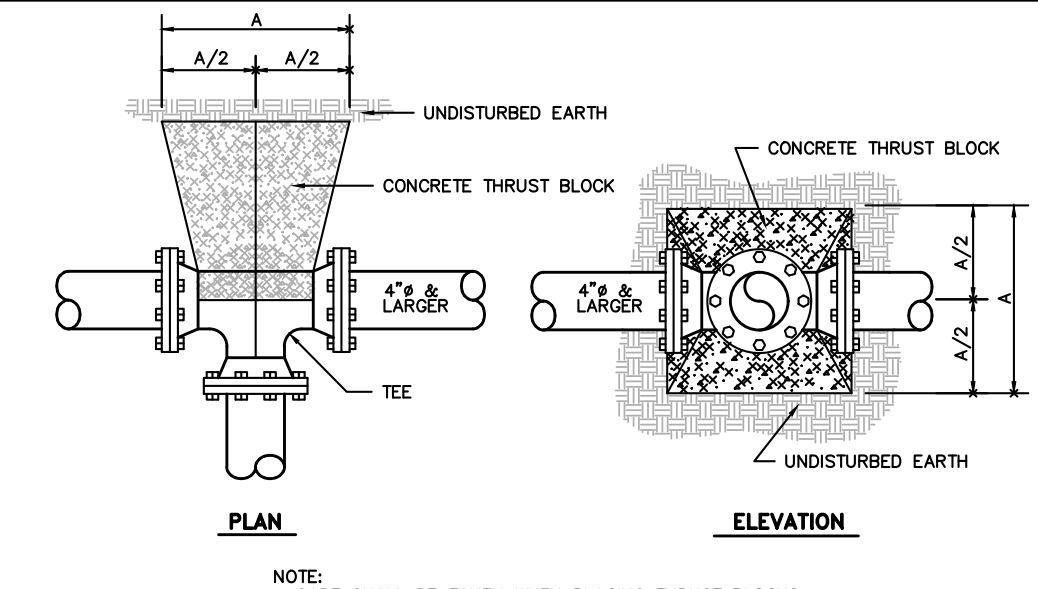
GRAVITY SERVICE CONNECTION
N.T.S.



THRUST BLOCKS - DIMENSION "A"

SIZE	11 1/4" BEND	22 1/2" BEND	45° BEND	90° BEND	TEE	PLUG
4	12	12	12	16	16	14
6	12	12	12	16	16	14
8	12	14	16	22	22	18
10	12	14	16	22	22	18
12	12	16	24	32	32	24
14	12	18	24	32	32	24
16	18	22	32	42	42	36
18	18	26	36	48	48	40
20	20	28	40	52	52	44
24	24	34	48	64	64	54
30	30	42	58	78	78	66
36	36	50	70	94	94	80
42	40	58	80	108	108	92
48	48	66	90	124	124	104

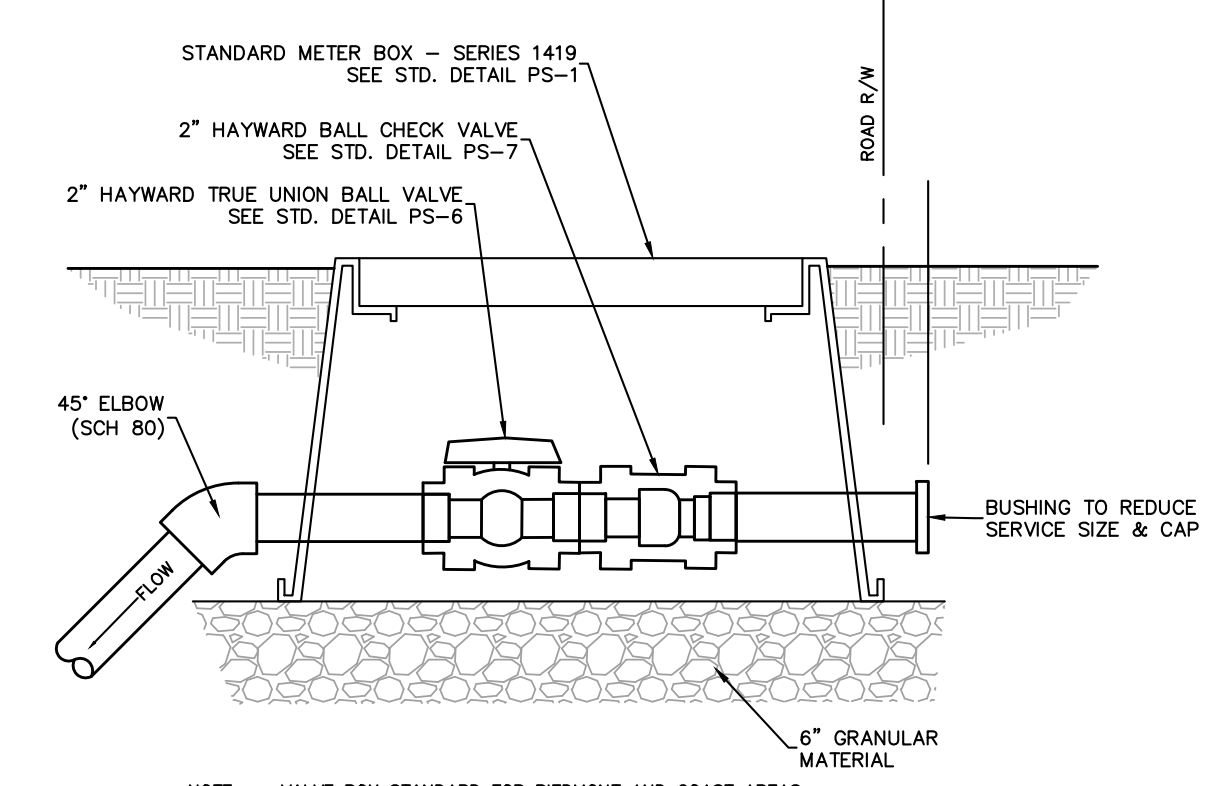
THRUST BLOCKS - DIMENSION "A"
N.T.S.



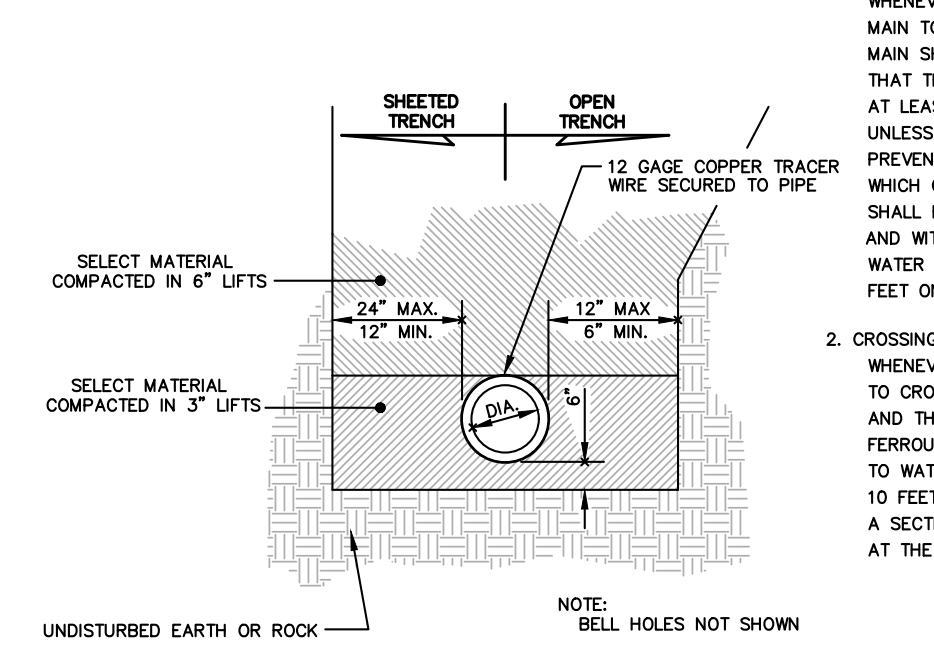
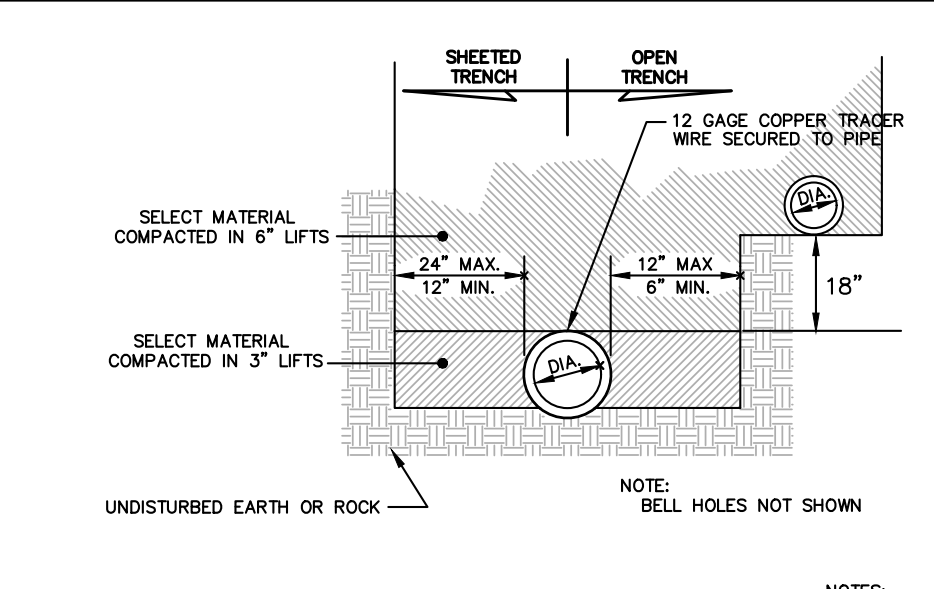
THRUST BLOCKS - DIMENSION "A"

SIZE	11 1/4" BEND	22 1/2" BEND	45° BEND	90° BEND	TEE	PLUG
4	12	12	12	16	16	14
6	12	12	12	16	16	14
8	12	14	16	22	22	18
10	12	14	16	22	22	18
12	12	16	24	32	32	24
14	12	18	24	32	32	24
16	18	22	32	42	42	36
18	18	26	36	48	48	40
20	20	28	40	52	52	44
24	24	34	48	64	64	54
30	30	42	58	78	78	66
36	36	50	70	94	94	80
42	40	58	80	108	108	92
48	48	66	90	124	124	104

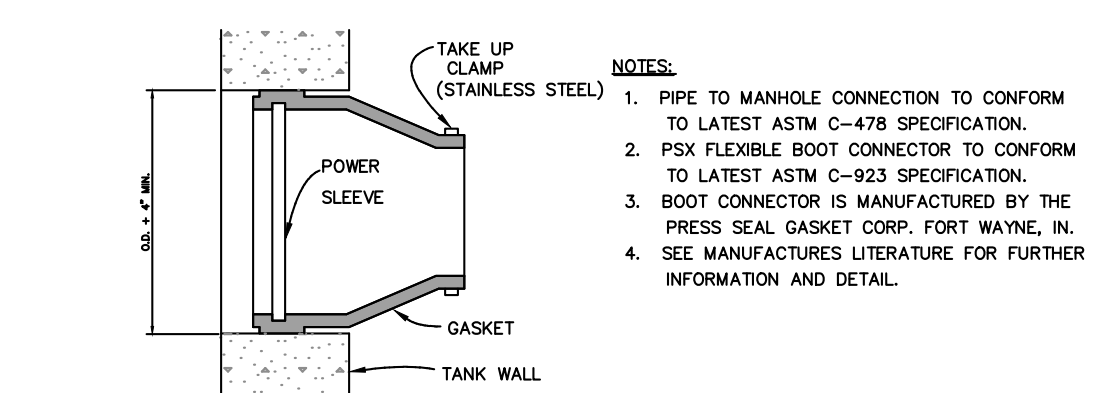
TYPICAL THRUST BLOCK FOR TEES
N.T.S.



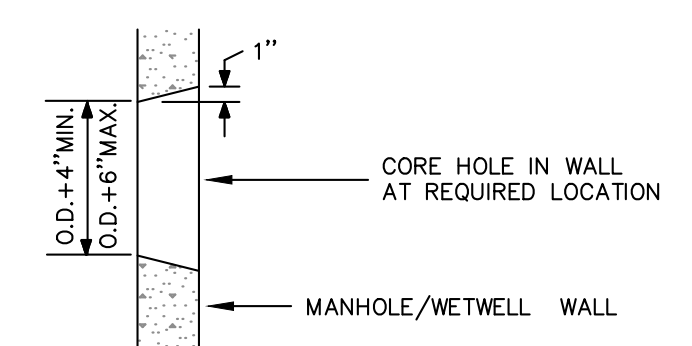
TYPICAL SERVICE CONNECTION DETAIL
N.T.S.



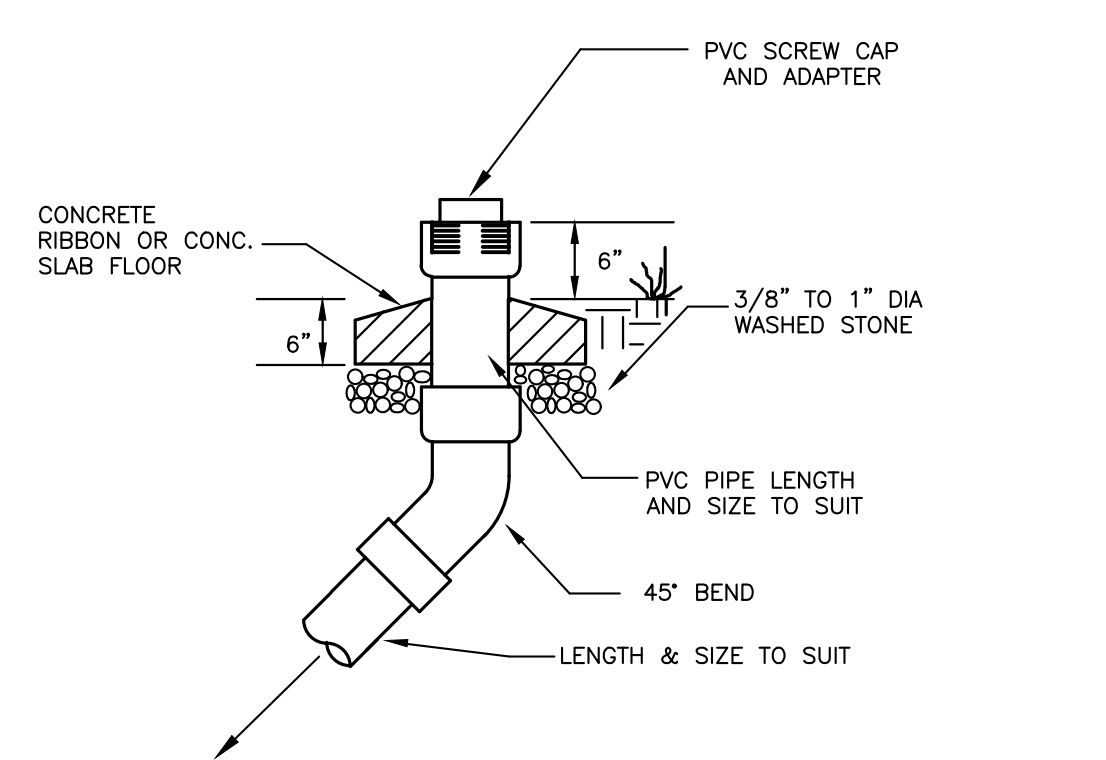
TYPICAL TRENCHING
N.T.S.



BOOTED PIPE OPENINGS
N.T.S.



IN FIELD PIPE OPENINGS
N.T.S.

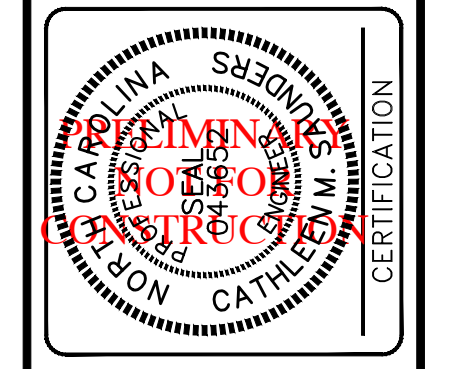


TYPICAL SEWER CLEAN-OUT
N.T.S.

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUIBLE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

NC License # C-0208
SINCE 1959
Quible & Associates, P.C.
ENGINEERING, SURVEYING, ENVIRONMENTAL SCIENCES & SURVEYING**
HARTING NOT OFFERED AT BLACK MOUNTAIN OFFICE
8486 CAROLINA HWY. 90 CHURCH STREET
BLACK MOUNTAIN, NC 27768
POWELLVILLE, NC 27868
Phone: (828) 891-8127 Fax: (828) 892-9138
www.quible.com



THIS DOCUMENT IS THE PROPERTY OF QUIBLE & ASSOCIATES, P.C. ANY ALTERATION OR REPRODUCTION IS PROHIBITED.
IF THIS DOCUMENT IS NOT SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, IT SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED FOR ANY CONSTRUCTION OR LAND CONVEYANCES, UNLESS OTHERWISE NOTED.

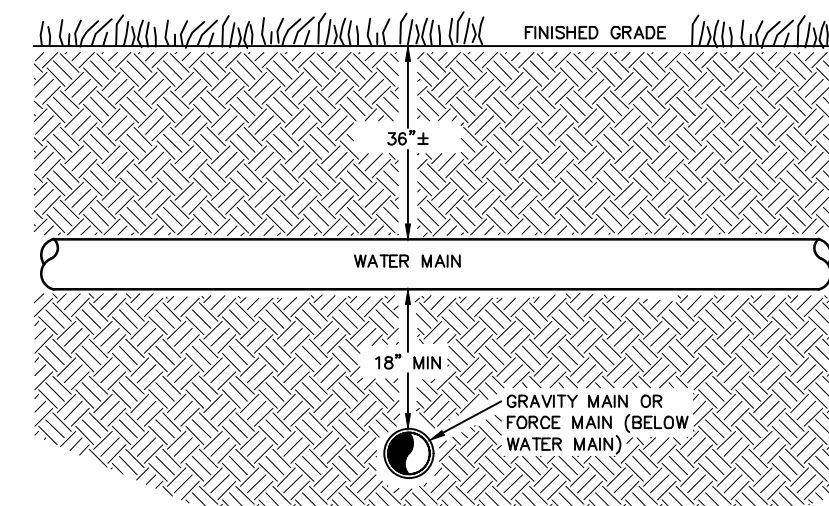
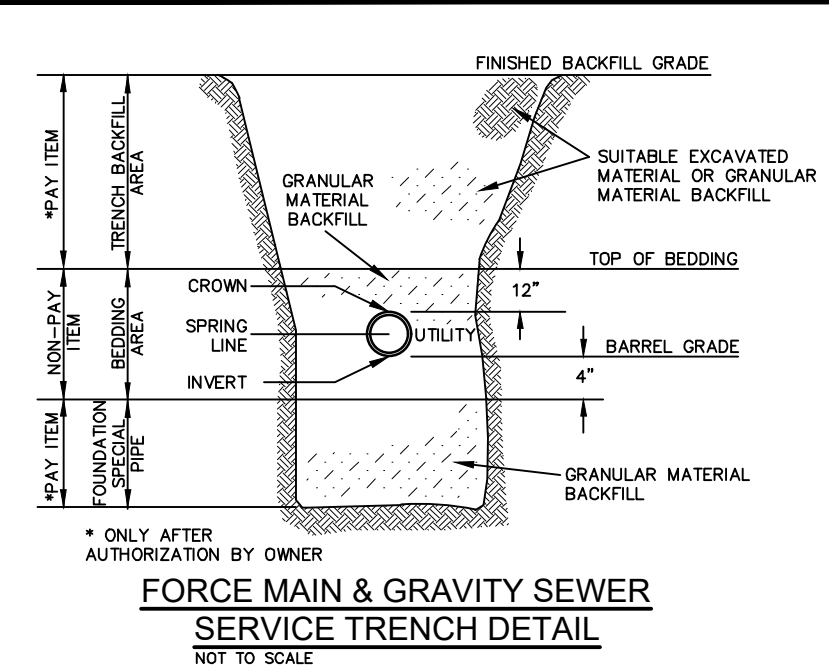
NO. DATE REVISIONS

NO.	DATE	REVISIONS
1	11/12/24	ISSUED FOR INDOT PERMITTING

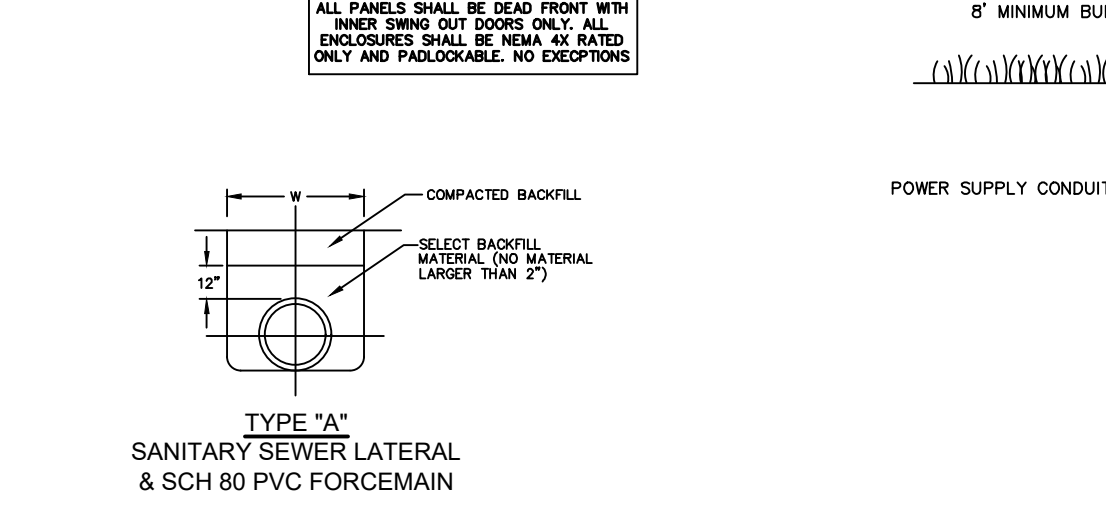
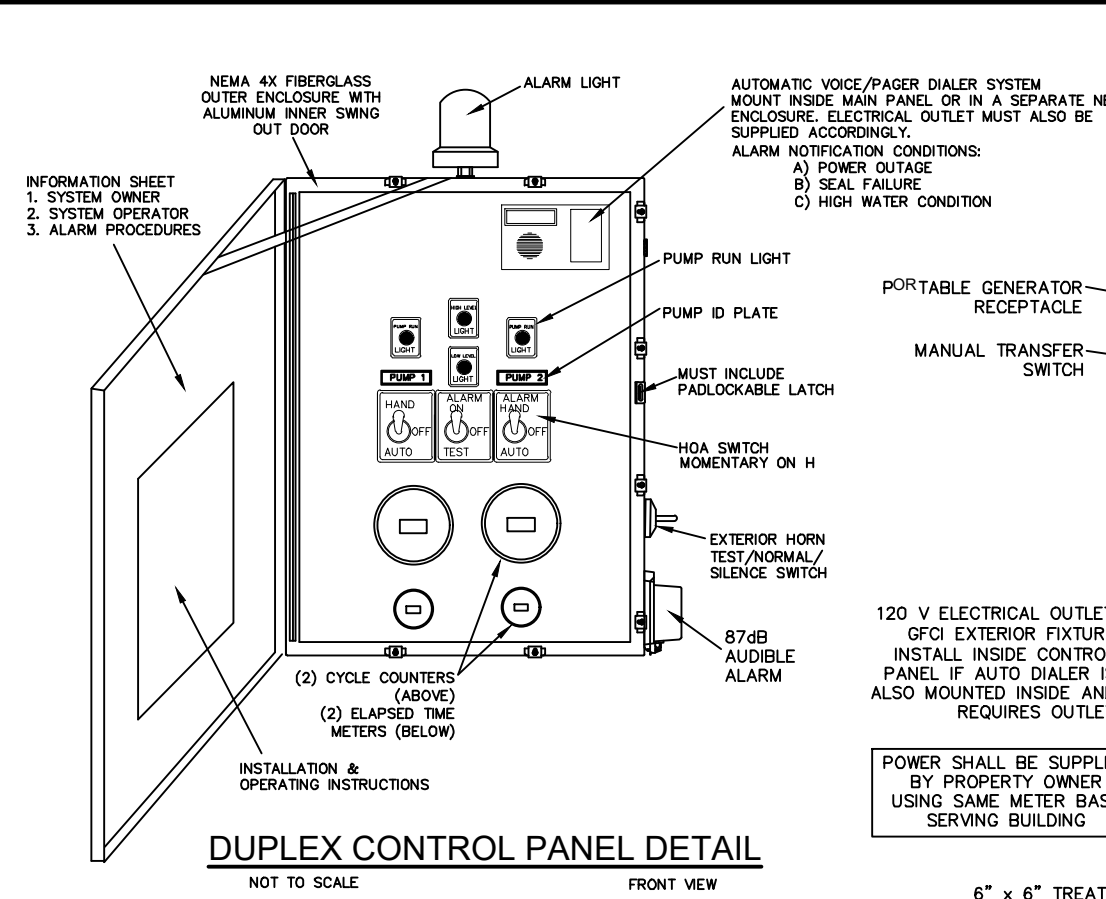
SITE & UTILITY DETAILS
1120 COROLLA VILLAGE RD
DUCK LAND COMPANY, LLC
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. **P08045**
DESIGNED BY **MWS/BPJ**
DRAWN BY **BPJ**
CHECKED BY **MWS**
ISSUE DATE **08/23/24**

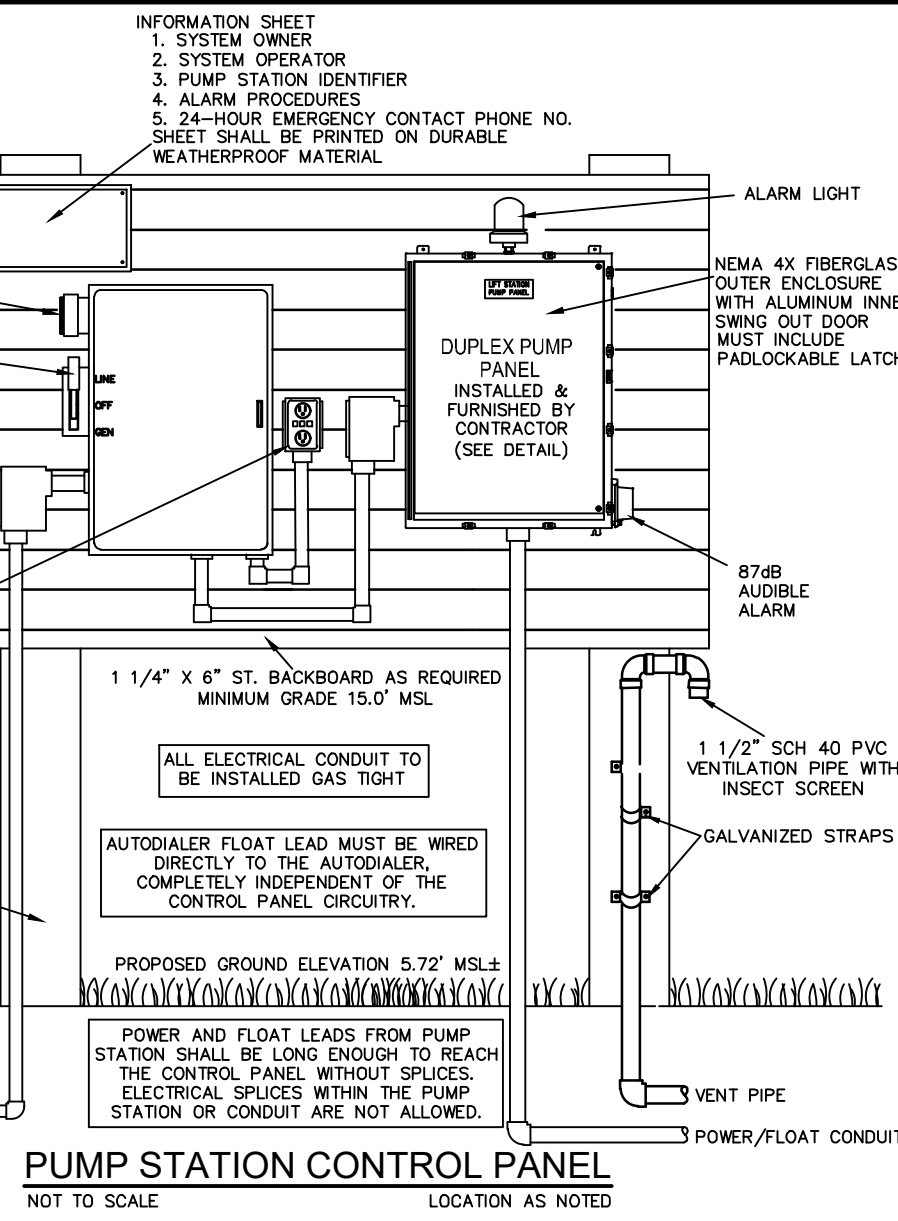
SHEET NO.
5
OF 5 SHEETS



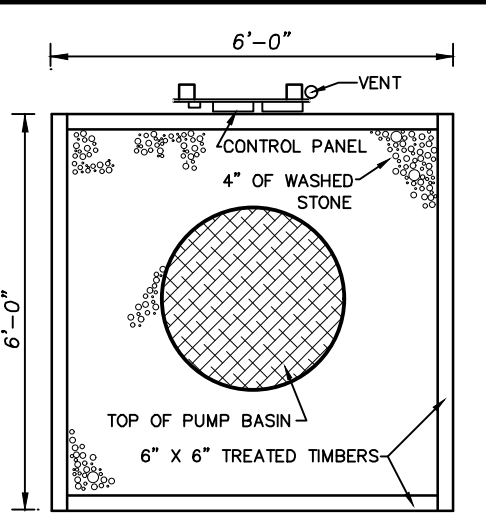
WATER MAIN / GRAVITY & SS COLLECTION MAIN & FORCE MAIN CROSSING DETAIL
NO SCALE



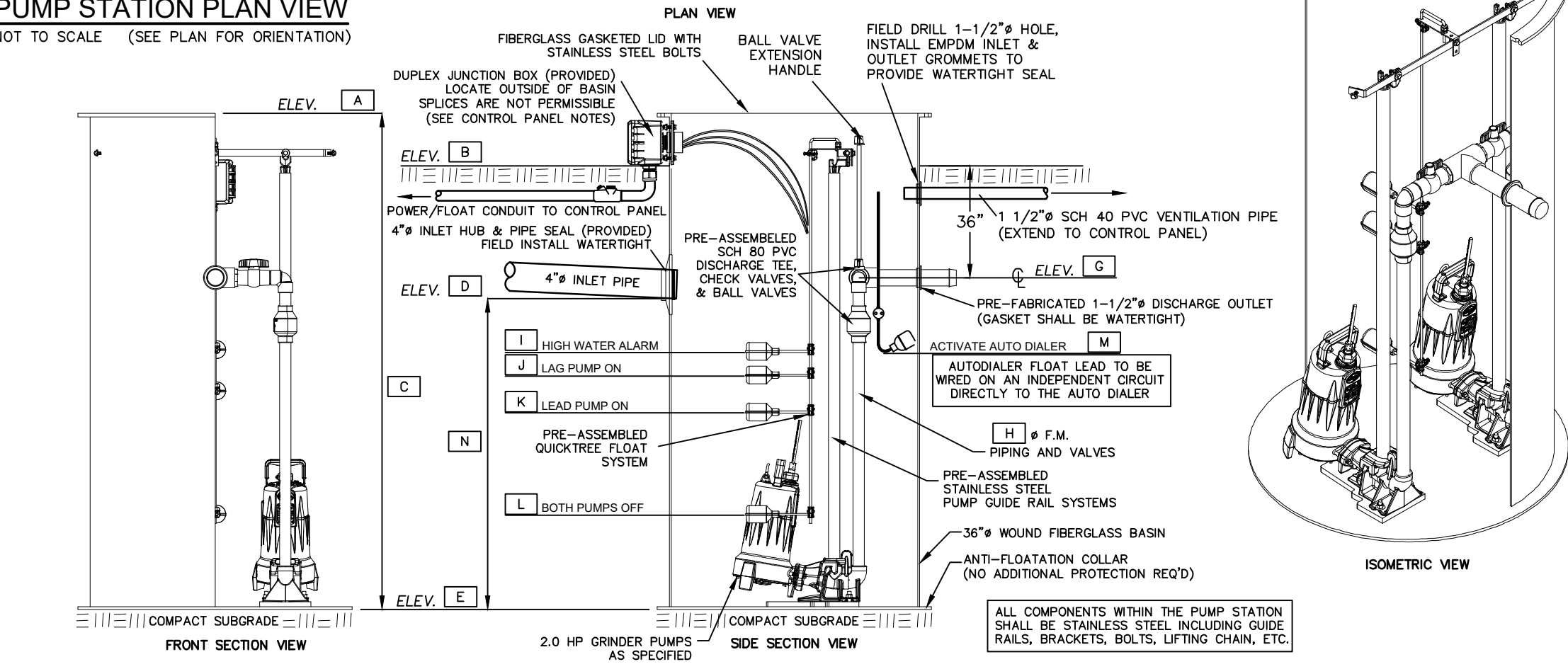
TYPE 'A' SANITARY SEWER LATERAL & SCH 80 PVC FORCEMAIN



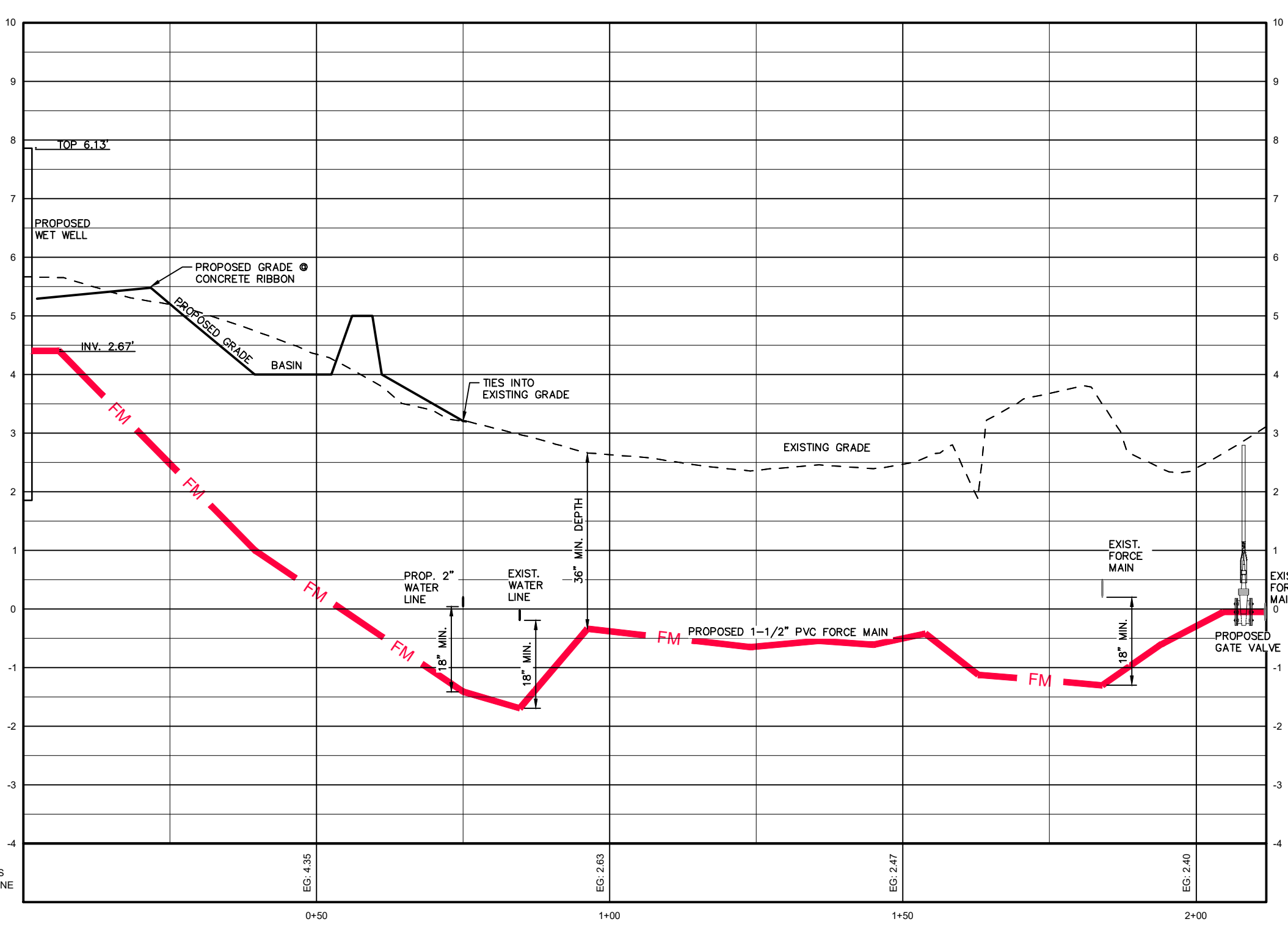
PUMP STATION CONTROL PANEL
NOT TO SCALE LOCATION AS NOTED



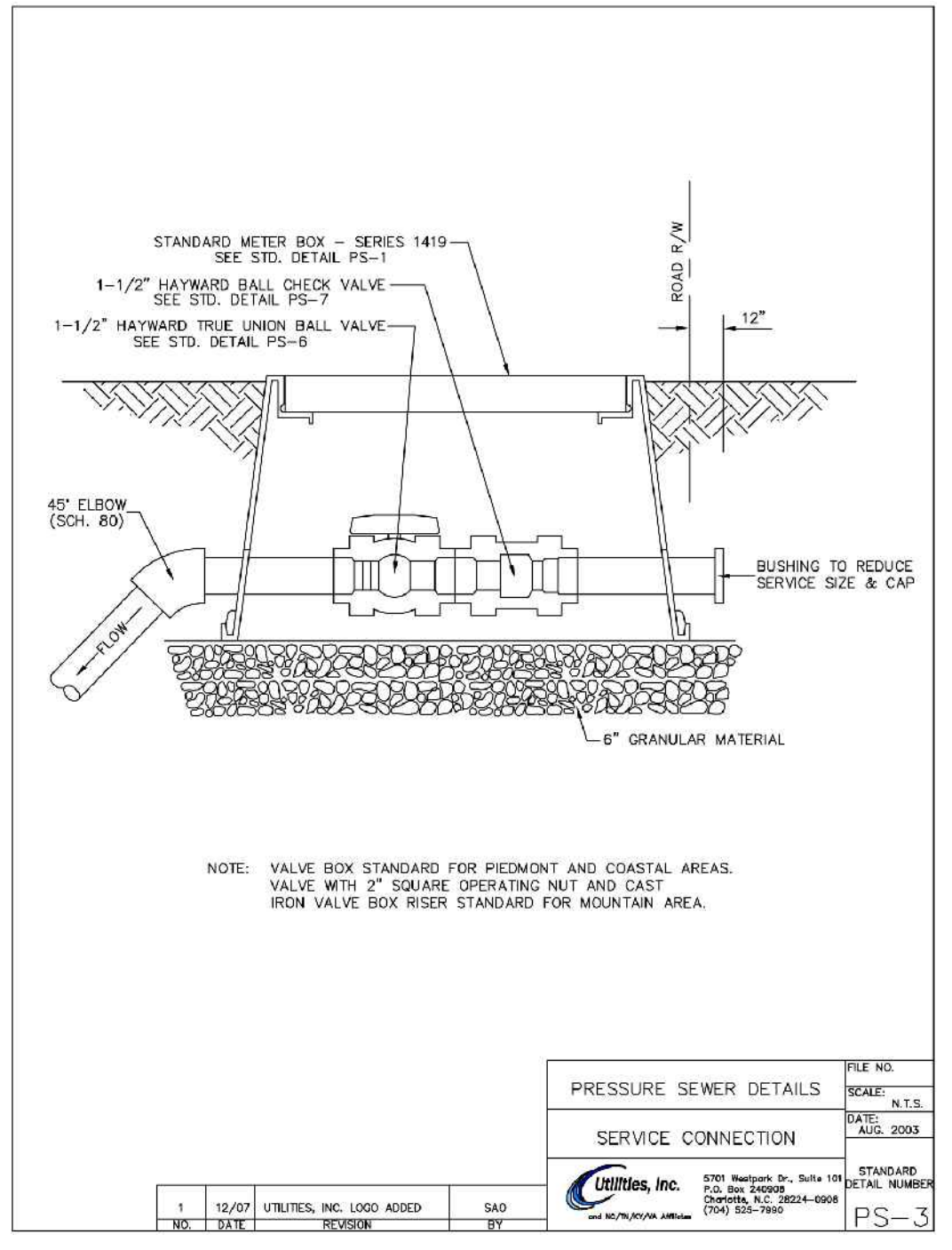
PUMP STATION PLAN VIEW
NOT TO SCALE (SEE PLAN FOR ORIENTATION)



DUPLUX GRINDER PUMP STATION DETAILS
NOT TO SCALE LOCATION AS NOTED ON PLAN



FORCE MAIN INSTALLATION COROLLA VILLAGE ROAD
SCALE: HOR.: 1"=20', VERT.: 1"=2'



NO.	DATE	DESCRIPTION	BY	REVISIONS
1	12/07	1/8\"/>		

- GENERAL NOTES:**
- THIS PUMP STATION HAS BEEN DESIGNED TO COMPLY WITH NCAC 15A 21.0308 AND MEETS OR EXCEEDS ALL REQUIREMENTS OF FAST-TRACK PERMITTING, MINIMUM DESIGN CRITERIA.
 - DAILY DESIGN WASTEWATER FLOW TO THE PUMP STATION = 1080 GPD
 - ALL PORTS OF ENTRY TO PUMP STATION STRUCTURE AND CONTROL PANELS MUST BE SECURELY LOCKED AT ALL TIMES.
 - ALL CONTROL SYSTEM ENCLOSURES SHALL BE NEMA 4X RATED.
 - ALL TANKAGE SHALL BE LEAK TESTED UTILIZING A STATIC WATER TEST AS SPECIFIED:
 - PRIOR TO BACKFILLING AND COVERING TANKAGE, PERFORM 24 HOUR LEAKAGE TEST AS FOLLOWS:
 - NOTIFY ENGINEER PRIOR TO BEGINNING TEST.
 - FILL TANKS WITH CLEAR WATER.
 - OBSERVE LEAKAGE OVER 24 HOUR PERIOD.
 - WITH SOL DETERMINED, WATER LEVEL IN TANK MUST NOT DROP MORE THAN ONE-HALF (1/2") INCH.
 - REPLASTER TANK AND REPEAT TEST UNTIL SUCCESSFUL.
 - ALL COMPONENTS WITHIN THE PUMP STATION SHALL BE STAINLESS STEEL INCLUDING GUIDE RAILS, BRACKETS, BOLTS, LIFTING CHAIN, ETC.
 - ALL PIPE CONNECTIONS TO THE PUMP BASIN SHALL BE MADE WATERTIGHT.
 - CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING EXISTING POWER VOLTAGE AND PHASE PRIOR TO ORDERING PUMPS & CONTROLS
 - POWER AND FLOAT LEADS FROM THE PUMP STATION SHALL BE LONG ENOUGH TO REACH THE CONTROL PANEL WITHOUT SPLICES. ELECTRICAL SPLICES WITHIN THE PUMP STATION OR CONDUIT ARE NOT ALLOWED.
 - AN ADDITIONAL FLOAT IS REQUIRED TO ACTIVATE THE AUTODIALER AT A HIGH WATER ALARM CONDITION. THE AUTODIALER FLOAT LEAD MUST BE WIRED DIRECTLY TO THE AUTODIALER, COMPLETELY INDEPENDENT OF THE CONTROL PANEL CIRCUITRY.

WASTEWATER COLLECTION SYSTEM LIFT STATION SCHEDULE	
DIMENSION	
A: TOP OF TANK	5.85'
B: GROUND ELEVATION	5.35'
C: HEIGHT OF WET WELL	8.0'
D: INVERT IN	1.45'
E: BOTTOM OF WET WELL ELEVATION	-2.15'
F: DIAMETER OF WET WELL	36"
G: FORCE MAIN ELEVATION OUT	1.80'
H: FORCE MAIN DIAMETER	1.5"
I: HIGH WATER ALARM ELEVATION	1.0'
J: LAG PUMP ON ELEVATION	0.75'
K: LEAD PUMP ON ELEVATION	0.28'
L: BOTH PUMPS OFF ELEVATION	-0.15'
M: AUTO DIALER FLOAT ELEVATION	1.00'
N: D-E	3.60'
PUMP AND MOTOR DATA	
DESIGN FLOW (Q)	11 GPM
TOTAL DYNAMIC HEAD (TDH)	17'
RECOMMENDED PUMP OR APPROVED EQUAL	MYERS WGL20F

BISSELL PROFESSIONAL GROUP
Firm License # C-366
10000 Highway 27949
Charlotte, North Carolina 27949
P.O. Box 1008
C252750 - 704-399-1790
FAX (252) 381-1790

SANITARY FORCE MAIN CONSTRUCTION DETAILS & PROFILE

1120 COROLLA VILLAGE ROAD
NORTH CAROLINA
POPULAR BRANCH TOWNSHIP CURRITUCK COUNTY

CONSTRUCTION DRAWINGS

NO.	DATE	DESCRIPTION	BY	REVISIONS

PRELIMINARY DO NOT USE FOR CONSTRUCTION

DATE: 10/15/24 SCALE: 1" = 20'
 DESIGNED: BPG CHECKED: MSB
 DRAWN: KFW APPROVED: BPG
 SHEET: 2 OF 2
 CAD FILE: 48730WV1
 PROJECT NO: 4873

S:\projects\4873_1118_Corolla_Village_Road\Drawings\Construction\Plan_48730WV1.dwg 10/15/2024 9:47 AM up: bmgplm 15509 PS up62.ppc

NOTES

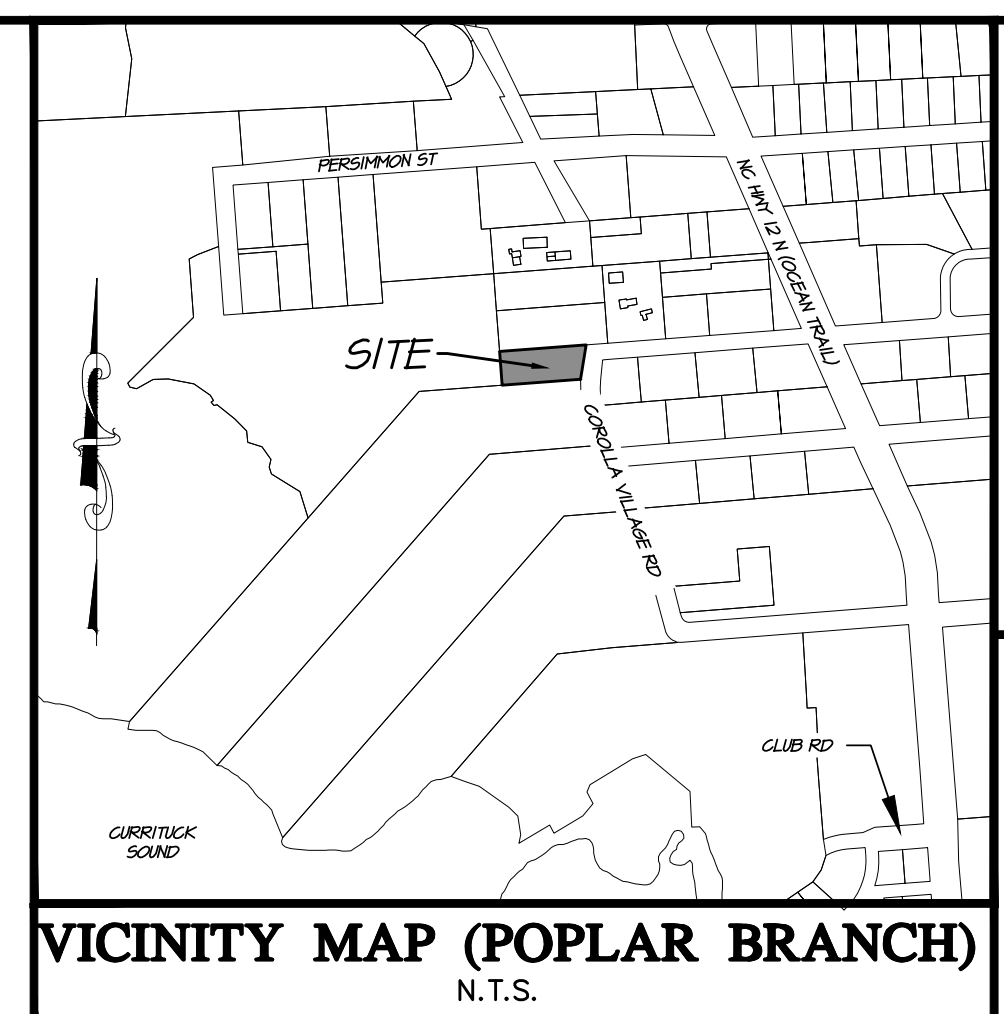
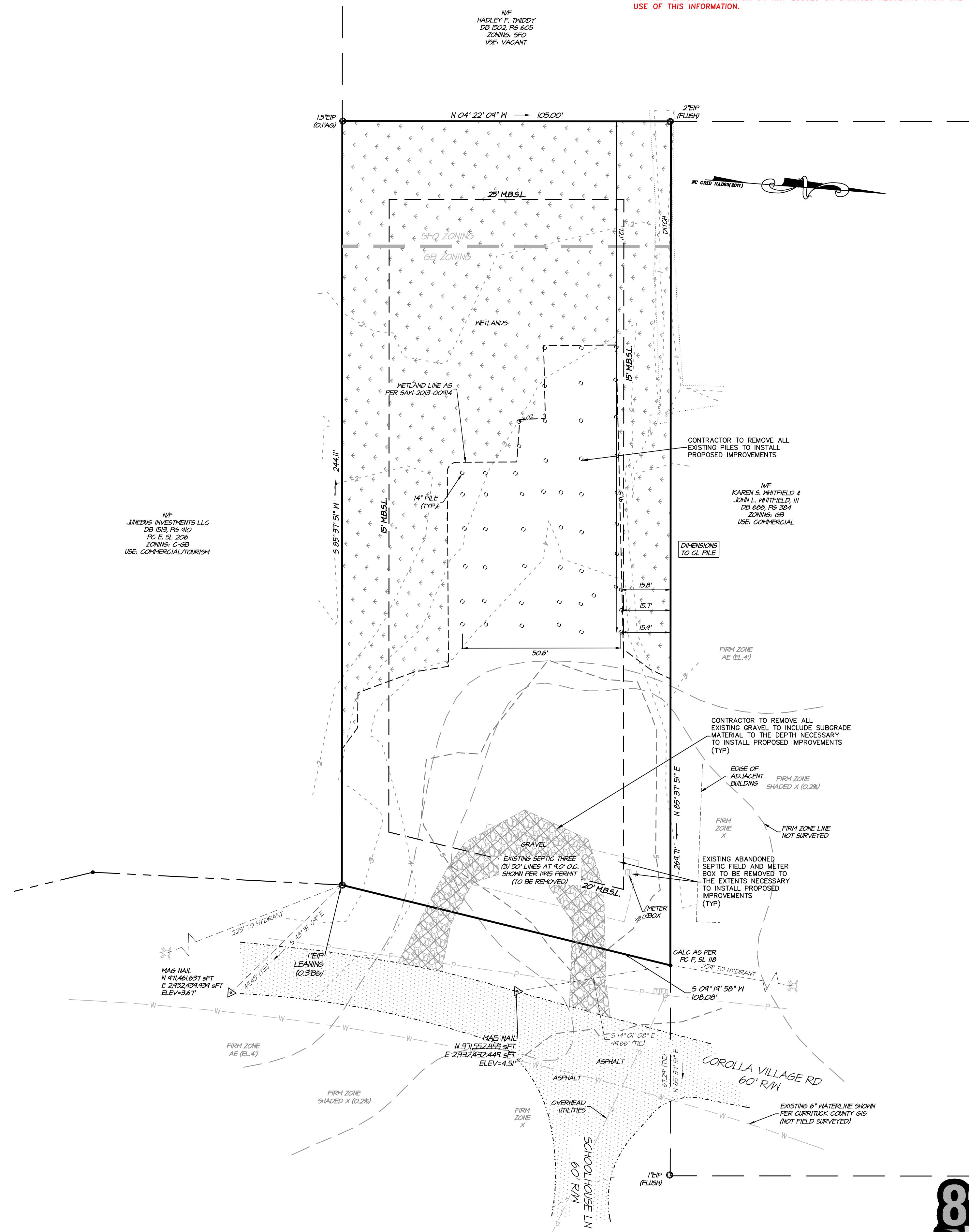
- OWNER: DUCK LAND COMPANY, LLC
1181 DUCK ROAD
KITTY HAWK, 27949
- PROPERTY INFORMATION: PIN: 9937-21-3504 / PID: 011400000520000
- SUBJECT REFERENCES: DB 555, PG 192,194
- ADDRESS: 1120 COROLLA VILLAGE LANE
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. NOVEMBER 2023. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- TOTAL LOT AREA: 26,975.60 SQ.FT. (0.62 AC.)
- ZONING CLASSIFICATION: SFO & GB
- THE SECTION 404 WETLAND LINES SHOWN PER USACE SAW-2013-00914.
- AREAS BY COORDINATE METHOD ALL DISTANCES HORIZONTAL GROUND.

DEMOLITION NOTES:

- CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND SERVICES - TO INCLUDE BUT NOT LIMITED TO ELECTRIC, CABLE, TELEPHONE, GAS, SANITARY SEWER AND WATER - AND SHALL COORDINATE PROPER PROTECTION AND/OR RELOCATE WITH APPROPRIATE OWNER/UTILITY COMPANY.
- CONTRACTOR SHALL WALK THE SITE AND BE FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND BE UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE CURBS AND GUTTERS, BITUMINOUS CONCRETE PAVEMENTS AND ALL MATERIALS OR VEGETATION CLEARED AND STRIPPED TO THE EXTENT NECESSARY FOR THE INSTALLATION OF NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING. COORDINATE WITH APPROPRIATE DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO THE PROPERTY DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM PROJECT AREA.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARDS A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS.
- EXISTING PAVEMENT, CURB AND GUTTER, LIGHTS, FENCES, TREE/VEGETATION AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED, AND UNDISTURBED DURING DEMOLITION. CONTRACTOR SHALL COORDINATE THE REMOVAL OF BITUMINOUS CONCRETE PAVEMENTS AND CURB AND GUTTER WITH THE SITE PLAN.
- SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS TO BE DEMOLISHED SHALL BE PROVIDED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AS WELL AS OSHA REGULATIONS.
- CONTRACTOR'S ACTIVITIES SHALL NOT IMPEDE USAGE OR INGRESS/EGRESS TO ADJACENT PROPERTIES. COORDINATE WITH OWNER MAINTENANCE OF TRAFFIC/PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
- MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES DURING DEMOLITION.
- DEMOLITION SHALL NOT BEGIN UNTIL WRITTEN AUTHORIZATION IS RECEIVED FROM THE OWNER AND CONTRACTOR HAS OBTAINED THE REQUIRED PERMITS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION TO AUTHORIZE DEMOLITION WORK. A DEMOLITION PERMIT IS REQUIRED FROM CURRITUCK COUNTY.
- DEMOLITION PLAN DOES NOT PURPORT TO SHOW ALL OBJECTS OR UTILITIES EXISTING ON THE SITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES AND IMPROVEMENTS WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL COORDINATE ALL UTILITY DISCONNECTION, (I.E. SANITARY SEWER, WATER, GAS, TELEPHONE, ELECTRIC, ETC.) TO BUILDINGS, STRUCTURES AND OTHER CONNECTIONS AS NECESSARY FOR DEMOLITION WITH THEIR RESPECTIVE UTILITY PROVIDER. ALL UTILITIES, ABOVE, ON OR BELOW GROUND SHALL BE REMOVED AS DENOTED ON THE PLAN AND SHALL MEET ALL REQUIREMENTS OF UTILITY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING OF WORK. BEFORE ANY DEMOLITION, THE CONTRACTOR SHALL CALL NORTH CAROLINA ONE-CALL 1-800-632-4949 TO HAVE ALL UNDERGROUND UTILITIES LOCATED ON AND NEAR THE VICINITY OF THE SITE.
- EXISTING WATER METERS, ELECTRICAL TRANSFORMERS, TELECOMMUNICATION TERMINALS, ETC. ARE THE PROPERTY OF THE UTILITY COMPANIES SERVING THE SITE AND CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH UTILITY OWNERS THE REMOVAL, TRANSPORTATION, AND STORAGE OF THE SAME.
- WHERE BUILDING FOUNDATION WALLS, PILES, FOOTINGS, CONCRETE SLABS, STOOPS, PAVEMENTS, SIDEWALKS, CURB, OR CURB AND GUTTER ARE INDICATED TO BE REMOVED CONTRACTOR SHALL INCLUDE THE REMOVAL OF BASE MATERIAL DOWN TO SUB-GRADE.
- DEMOLITION PLAN DOES NOT GUARANTEE THE ACCURACY OR QUANTITIES OF THE DEMOLITION STRUCTURES AND MATERIALS; IT WAS DEVELOPED TO ASSIST THE CONTRACTOR. IT IS EXPRESSLY STATED HEREON THAT THE OWNER OR ENGINEER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN THEREFROM BY THE CONTRACTOR.
- ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE DAILY IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, PRIVATE PROPERTY, AND/OR PUBLIC RIGHTS-OF-WAY. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DESIGNATED DEMOLITION DEBRIS FROM THE PROJECT SITE TO A DISPOSAL SITE APPROVED BY ALL AUTHORITIES HAVING JURISDICTION.

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUILBE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.



NC License# C-028
SINCE 1959

Quilbe & Associates, P.C.
ENGINEERING, SURVEYING & ENVIRONMENTAL SCIENCES SURVEYING**
SURVEYING NOT OFFERED AT BLACK HILL OFFICE
8486 CAROLINA HWY
90 CHURCH STREET
BLACK MOUNTAIN, NC 28711
Phone: (252) 89-8147
Fax: (252) 89-8148
www.quilbe.com

CERTIFICATION
CARRIAGE ROAD
SECTION 1
PLAT NO. 100-100-100
COUNTY OF CURRITUCK
STATE OF NORTH CAROLINA

- LEGEND**
- EXISTING ASPHALT PAVEMENT
 - EXISTING WETLANDS
 - EXISTING GRAVEL
 - EXISTING IRON PIPE
 - EXISTING METER
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING FIBER OPTIC
 - EXISTING UTILITY POLE
 - EXISTING GUY POLE
 - EXISTING WATER LINE (APPROX. LOCATION)
 - EXISTING POWERLINE
 - CALC. POINT
 - EXISTING PILING
 - PROPOSED DEMOLITION

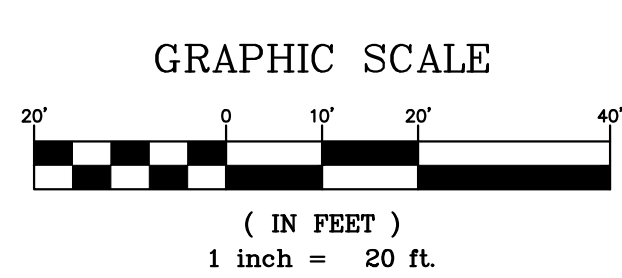
REVISIONS

NO.	DATE	ISSUED FOR	INDOT PERMITTING
1	11/17/24		

SHEET INDEX

- 1 EXISTING CONDITIONS & DEMOLITION PLAN
- 2 SITE, LANDSCAPING & UTILITY PLAN
- 3 GRADING & DRAINAGE PLAN
- 4-5 SITE & UTILITY DETAILS

NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



EXISTING CONDITIONS & DEMOLITION PLAN

1120 COROLLA VILLAGE RD
DUCK LAND COMPANY, LLC

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO. P08045
DESIGNED BY MWS/BPJ
DRAWN BY BPJ
CHECKED BY MWS
ISSUE DATE 08/23/24

SHEET NO. **1**
OF 5 SHEETS

GENERAL NOTES

- OWNER: DUCK LAND COMPANY, LLC
1181 DUCK ROAD
KITTY HAWK, 27949
- ENGINEER: QUILBE & ASSOCIATES, P.C.
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- PROPERTY INFORMATION: PIN: 9937-21-3504 / PID: 01140000520000
- SUBJECT REFERENCES: DB 555, PG 192,194
- ADDRESS: 1120 COROLLA VILLAGE LANE
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. NOVEMBER 2023. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- PROPERTY IS LOCATED IN NFIP FLOOD AE (4'), "X", AND "SHADED X" AS SHOWN. SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 9937; SUFFIX J. (MAP NUMBER 3720993700J); PANEL EFFECTIVE DATE: 12/16/05
- TOTAL LOT AREA: 26,975.60 SQ.FT. (0.62 AC.)
SFO ZONING AREA = 4,200.0 SQ.FT.
GB ZONING AREA = 22,775.55 SQ.FT.
- ZONING CLASSIFICATION: SFO & GB
- THE SECTION 404 WETLAND LINES SHOWN PER USACE SAW-2013-00914.
- PROPOSED LOT COVERAGE:

COMMERCIAL BUILDING	1,778.0 SQ.FT
SINGLE FAMILY DWELLING	463.0 SQ.FT
CONC. PARKING & REFUSE STORAGE	1,003.2 SQ.FT.
HVAC STAND	105.0 SQ.FT.
PERMEABLE PAVERS	3,457.0 SQ. FT.
COVERED PORCHES	898.3 SQ.FT.
TOTAL	5,515.5 SQ.FT. (24.2% OF GB ZONED AREA)
MAXIMUM ALLOWED:	14,803 SQ.FT. (65.0% OF 22,775.55 SF OF GB ZONED AREA)

OPEN SLOTTED WOOD DECKING IS NOT INCLUDED IN COVERAGE CALCULATIONS
OPEN DECK = 1,085.0 SQ.FT.
HANDICAP RAMP = 289.4 SQ.FT.

- PARKING RATE SUMMARY:
PROPOSED SPECIALTY EATING ESTABLISHMENT 1 SPACE/200 SQ.F.T. X 1,778.0 SQ.F.T./200 = 8 SPACES
PROPOSED 1 BEDROOM DWELLING @ 0.5 SPACE PER BEDROOM = 1 SPACE
TOTAL = 9 SPACES
- TOTAL REQUIRED PARKING: 9 SPACES
TOTAL PROVIDED PARKING: 9 SPACES (1 ADA SPACE PROVIDED)

- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF A SPECIALTY EATING ESTABLISHMENT, DETACHED SINGLE-FAMILY DWELLING AND REQUIRED PARKING.
- MAXIMUM BUILDING HEIGHT: 35 FT.

SETBACKS:	REQUIRED	PROVIDED
FRONT	20'	20'
REAR	25'	25'
SIDE	15'	15'

- BUFFERYARDS: PROVIDED
NORTH: N/A
SOUTH: N/A
EAST: N/A
WEST: TYPE B BUFFER 25' WIDE (UTILIZE EXISTING VEGETATION TO MEET 8 ACI CANOPY TREES, 10 ACI UNDERSTORY TREES, AND 15 SHRUBS PER 100 LF)
- ALL DIMENSIONS ARE TO FACE CURB UNLESS OTHERWISE NOTED.
- ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.
- STORMWATER MANAGEMENT:
RUNOFF FROM ALL PROPOSED IMPROVEMENTS WILL BE COLLECTED AND CONVEYED INTO AN INFILTRATION BASIN.

- THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING BUT NOT LIMITED TO GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, AND WATER SYSTEM. FOR BUILDING DESIGN, ASSOCIATED PLUMBING, AND WASTEWATER PUMP STATION/FORCEMAIN DESIGN SEE APPROPRIATE SEPARATE PLANS.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. LIGHTING PLAN PROVIDED UNDER SEPARATE COVER.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCDOT DIVISION OF ENERGY, MINERAL AND LAND RESOURCES REGULATIONS. FILL IS NOT PROPOSED OR ALLOWED WITHIN 10' OF THE PROPERTY LINE.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-632-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT. ALL WORK WITHIN NCDOT R/W SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- ALL PAVEMENT MARKINGS, TEXT AND DIRECTIONAL ARROWS SHALL BE PAINTED WHITE. ALL LETTERING SHALL BE 2FT. IN HEIGHT. LINES SHALL BE 4" WIDE. CROSSWALK AND LOADING AREAS, SET 4" WHITE LINES ON A 45° ANGLE.
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
- WATER IS PROVIDED VIA CURRITUCK COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRITUCK COUNTY STANDARD WATER SPECIFICATIONS AND DETAILS.
- WASTEWATER SYSTEM DESIGN PARAMETERS:
THE WASTEWATER SERVICE, PRIVATE PUMP STATION, AND PUBLIC FORCEMAIN EXTENSION UNDER DESIGN AND PERMITTING BY OTHERS. SYSTEM TO BE DESIGNED FOR 50 GPD/100 SQ.FT. FOR THE 1,778 SQ.FT. SPECIALTY EATING ESTABLISHMENT AND 120 GAL/DAY FOR THE SINGLE FAMILY DETACHED BUILDING, 1,080 G.P.D. TOTAL.

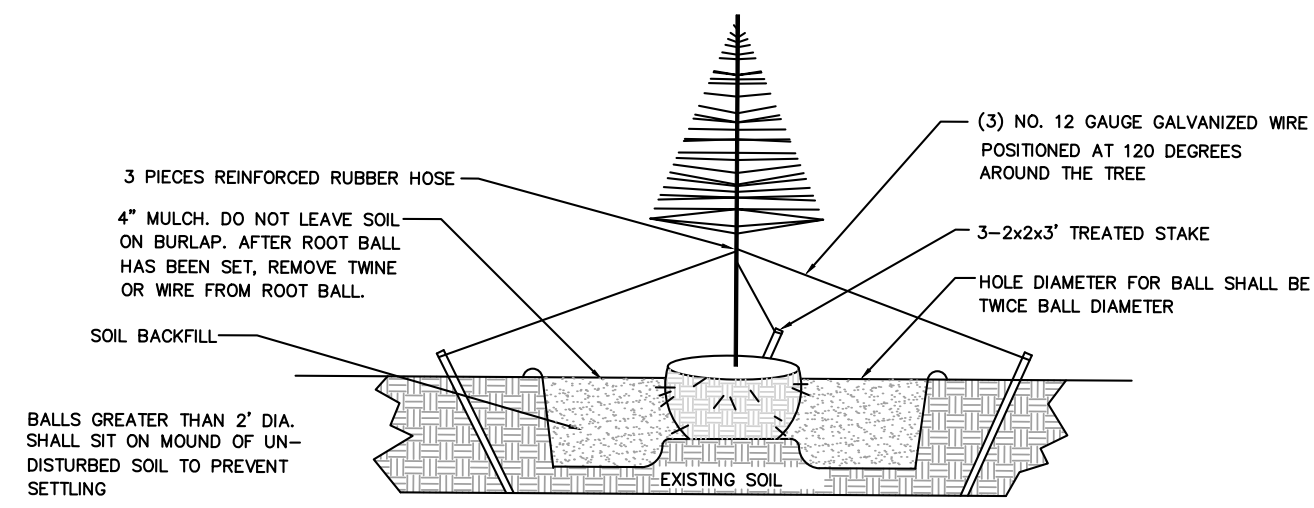
LEGEND

- | | | | |
|--|--|--|--|
| | EXISTING ASPHALT PAVEMENT | | PROPOSED CONCRETE |
| | EXISTING WETLANDS | | PROPOSED PERMEABLE PAVERS |
| | EXISTING IRON PIPE | | PROPOSED SANITARY SEWER |
| | EXISTING WATER METER | | PROPOSED WATERLINE |
| | EXISTING UTILITY POLE | | PROPOSED FIRE HYDRANT |
| | EXISTING GUY POLE | | PROPOSED BENDS & TEES WITH THRUST BLOCKING |
| | EXISTING WATER LINE (APPROX. LOCATION) | | PROPOSED WATER METER |
| | EXISTING POWERLINE | | EXISTING TREES |
| | EXISTING FORCEMAIN | | PROPOSED TREES/SHRUBS |
| | CALC. POINT | | |
| | EX. MAG NAIL | | |

TREE PLANTING SUMMARY

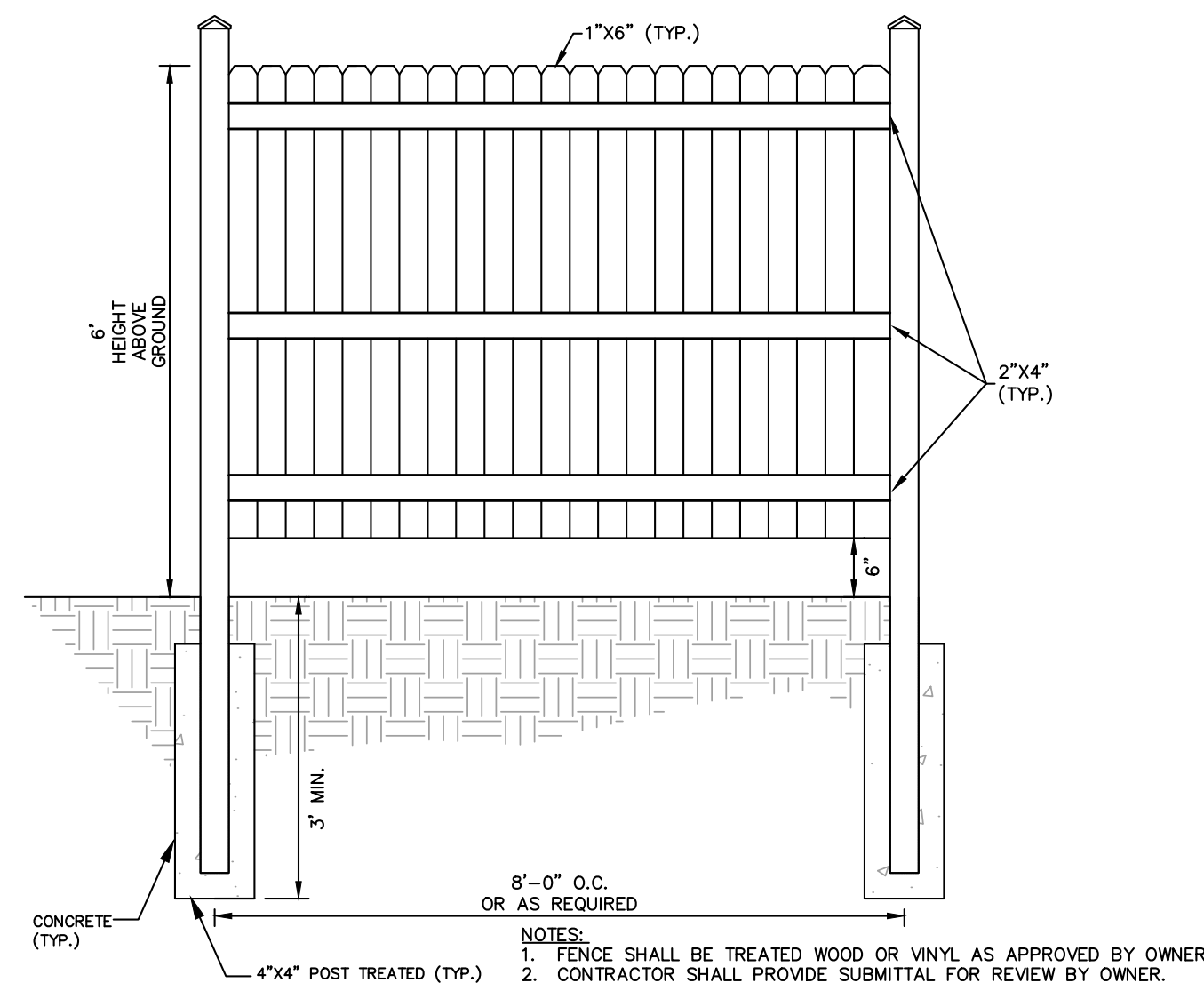
SYMBOL	QUANTITY	COMMON NAME	HEIGHT	SPREAD	MIN. SIZE @ PLANTING
	3	BALD CYPRESS*	50' - 100'	20' - 30'	2" CAL. 8' HT.
	14	GLOSSY ABELIA***	3' - 6'	3' - 6'	3 GALLON
	14	DWARF HORNED HOLLY***	3' - 4'	3' - 4'	3 GALLON

- * CANOPY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.
- ** UNDERSTORY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.
- *** COORDINATE INSTALLATION WITH OWNER. ORNAMENTAL SHRUB/GRASS SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.



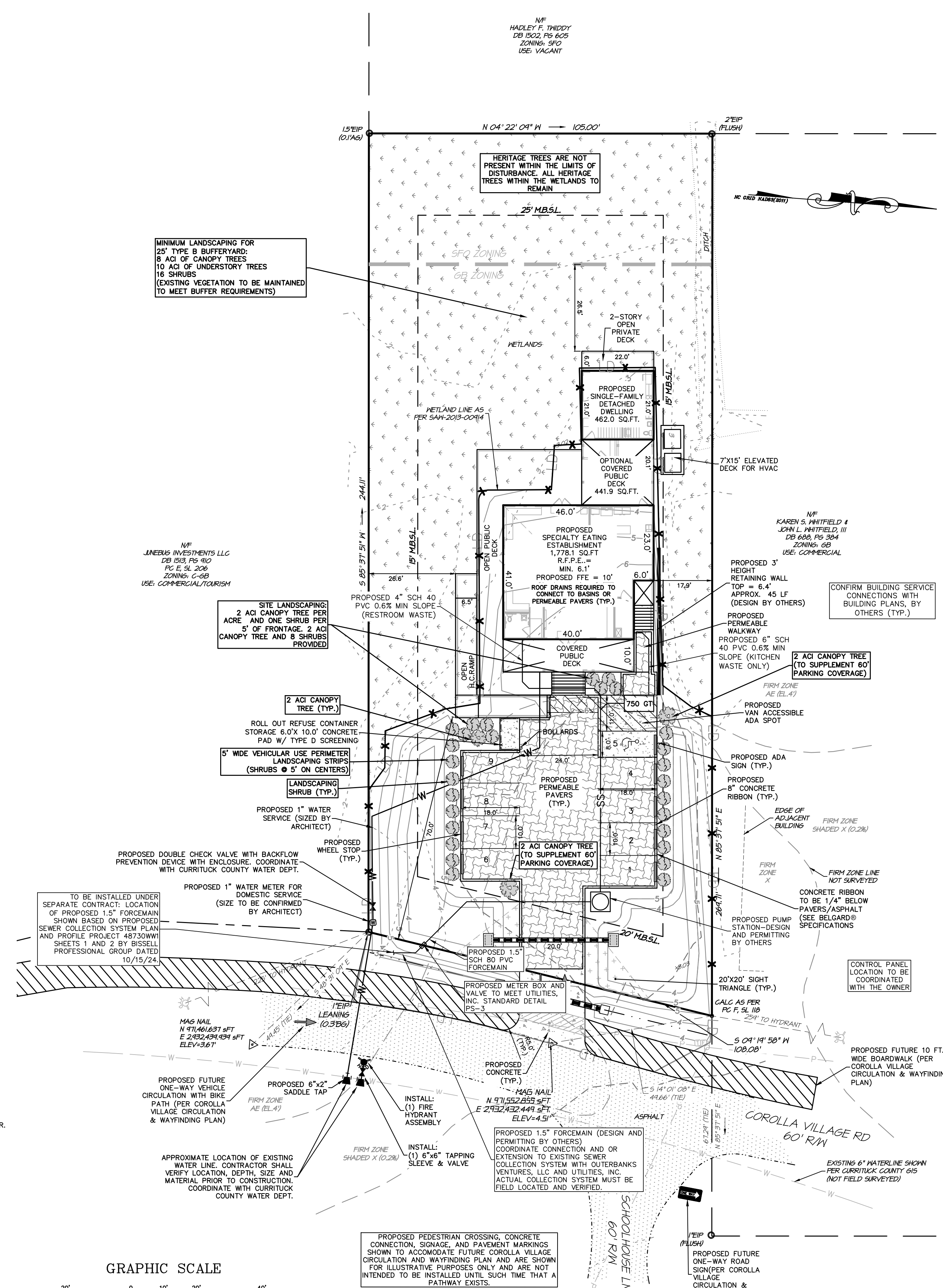
TREE PLANTING DETAIL

N.T.S.

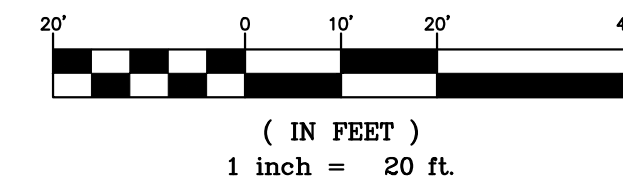


DUMPSTER AREA FENCE DETAIL

N.T.S.



GRAPHIC SCALE



NC License# C-028
 SINCE 1959
Quilbe & Associates, P.C.
 ENVIRONMENTAL SCIENCE & SURVEYING
 8486 CAROLINA HWY
 BLACK MOUNTAIN, NC 28711
 Phone: (828) 652-9147
 Fax: (828) 652-9148
 www.quilbe.com

PROJECT NO. P08045
 DESIGNED BY MWS/BPJ
 DRAWN BY BPJ
 CHECKED BY MWS
 ISSUE DATE 08/23/24
 SHEET NO. 2 OF 5 SHEETS

COPYRIGHT © 2024
 QUILBE & ASSOCIATES, P.C.
 THIS DOCUMENT IS THE PROPERTY
 OF QUILBE & ASSOCIATES, P.C. ANY
 REPRODUCTION OR DISSEMINATION IS
 PROHIBITED.
 IF THIS DOCUMENT IS NOT SIGNED
 AND SEALED BY A PROFESSIONAL
 ENGINEER, IT SHALL BE CONSIDERED PRELIMINARY
 AND SHALL NOT BE USED FOR PERMITTING
 OR LAND CONTRACTS UNLESS
 OTHERWISE NOTED.

REVISIONS
 NO. DATE
 1 11/12/24 ISSUED FOR NCDOT PERMITTING

SITE, LANDSCAPING & UTILITY PLAN

1120 COROLLA VILLAGE RD
 DUCK LAND COMPANY, LLC

CURRITUCK COUNTY
 NORTH CAROLINA

NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUILBE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.



C:\Users\jgibson\OneDrive\Documents\1120 Corolla Village Rd\1120 Corolla Village Rd.dwg 11/12/2024 3:55 PM

GENERAL NOTES

- OWNER: DUCK LAND COMPANY, LLC
1181 DUCK ROAD
KITTY HAWK, 27949
- ENGINEER: QUILBE & ASSOCIATES, P.C.
P.O. DRAWER 870
KITTY HAWK, NC
TEL: (252) 491-8147
- PROPERTY INFORMATION: PIN: 9937-21-3504 / PID: 01140000520000
- SUBJECT REFERENCES: DB 555, PG 192,194
- ADDRESS: 1120 COROLLA VILLAGE LANE
- ALL TOPOGRAPHIC AND EXISTING FEATURES SHOWN ARE BASED ON SURVEY INFORMATION COLLECTED BY QUILBE & ASSOCIATES, P.C. NOVEMBER 2023. BOUNDARY SHOWN BASED ON RECORDED PLATS.
- PROPERTY IS LOCATED IN NFIP FLOOD AE (4'), "X", AND "SHADED X" AS SHOWN. SUBJECT TO CHANGES. BASED ON COMMUNITY CID NO. 370078; PANEL 9937; SUFFIX J. (MAP NUMBER 3720993700J); PANEL EFFECTIVE DATE: 12/16/05
- TOTAL LOT AREA: 26,975.60 SQ.FT. (0.62 AC.)
SFO ZONING AREA = 4,200.0 SQ.FT.
GB ZONING AREA = 22,775.55 SQ.FT.
- ZONING CLASSIFICATION: SFO & GB
- THE SECTION 404 WETLAND LINES SHOWN PER USACE SAW-2013-00914.
- PROJECT SCOPE: PERMITTING AND CONSTRUCTION OF A SPECIALTY EATING ESTABLISHMENT, DETACHED SINGLE-FAMILY DWELLING AND REQUIRED PARKING.
- MAXIMUM BUILDING HEIGHT: 35 FT.
- ALL DIMENSIONS ARE TO FACE CURB UNLESS OTHERWISE NOTED.
- ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.
- STORMWATER MANAGEMENT:
RUNOFF FROM ALL PROPOSED IMPROVEMENTS WILL BE COLLECTED AND CONVEYED INTO AN INFILTRATION BASIN.
- THIS PLAN SET TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING BUT NOT LIMITED TO GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, AND WATER SYSTEM. FOR BUILDING DESIGN, ASSOCIATED PLUMBING, AND WASTEWATER PUMP STATION/FORCEMAIN DESIGN SEE APPROPRIATE SEPARATE PLANS.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH CHAPTER 5.4 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE. LIGHTING PLAN PROVIDED UNDER SEPARATE COVER.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING WETLANDS. ALL WETLAND TO REMAIN AND NO GRUBBING OR DISTURBANCE TO THE EXISTING GROUND SURFACE IS ALLOWED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE CURRITUCK COUNTY CODES AND ORDINANCES, AND NCEQ DIVISION OF ENERGY, MINERAL AND LAND RESOURCES REGULATIONS. FILL IS NOT PROPOSED OR ALLOWED WITHIN 10' OF THE PROPERTY LINE.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-632-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.

SOIL EROSION & SEDIMENTATION CONTROL NOTES:

- AREA TO BE DISTURBED: ±15,177SF (±0.34 AC.)
- PROVIDE A GROUND COVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW.
 - PERIMETER DIKES, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
 - HIGH QUALITY WATER (HOW) ZONES SHALL BE STABILIZED IN 7 DAYS.
 - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
 - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
 - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP.30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
 - A RAIN GAUGE MUST BE KEPT ON SITE.
 - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
 - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
 - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
 - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCEQ LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCEQ LAND QUALITY SECTION APPROVED SITE.

PERMANENT VEGETATION

SEEDING DATES: APRIL 1 - AUGUST 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	130 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

SEEDING DATES: SEPT. 1 - MARCH 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

SEEDING PREPARATION:

LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW, BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDBED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORM FINE TEXTURE SHALL BE THE FINISHED GRADE.

SOIL AMENDMENTS:
OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

MULCHING:
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL.

MAINTENANCE:
SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.) WEAK OR DAMAGED SPOTS MUST BE RELIEM, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

TEMPORARY VEGETATION

(UNHULLED)

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	130 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

SEEDING DATES: APRIL 16 - AUG. 15:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

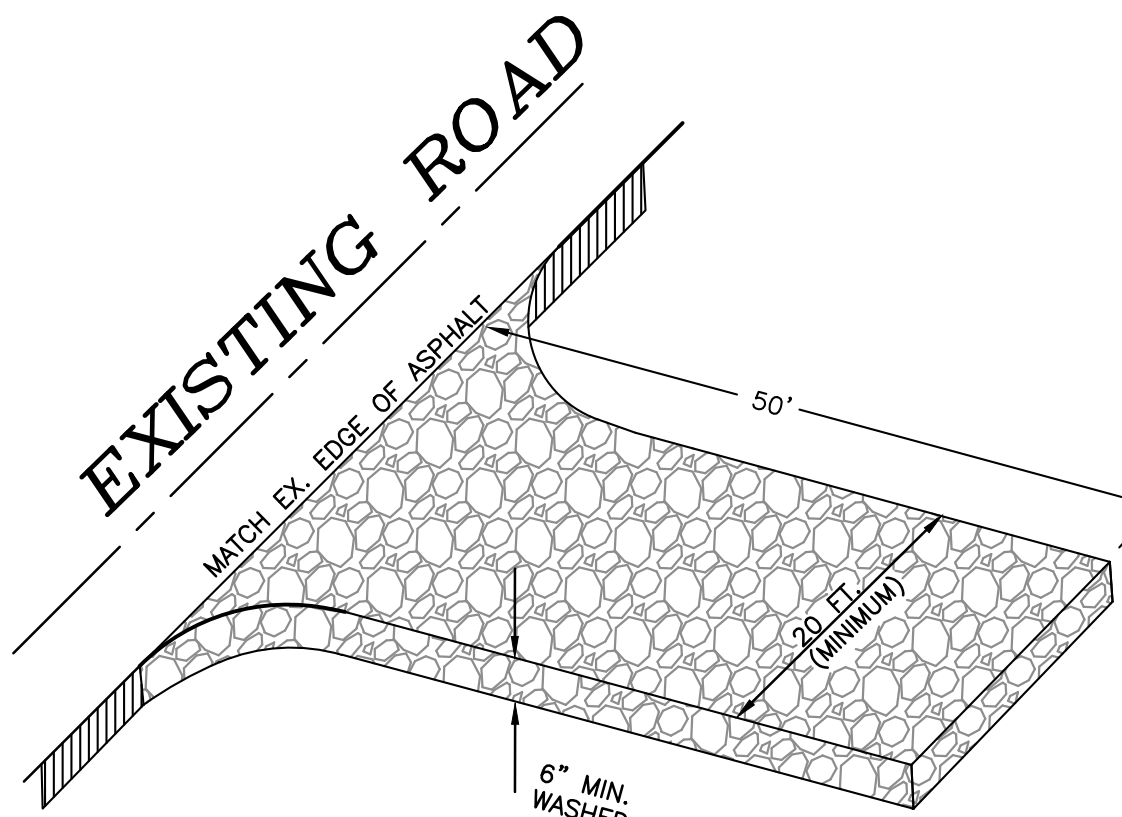
SEEDING DATES: SEPT. 1 - MARCH 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERMUDA 'SAHARA' (HULLED)	215 LBS.

SEEDING SPECIFICATIONS

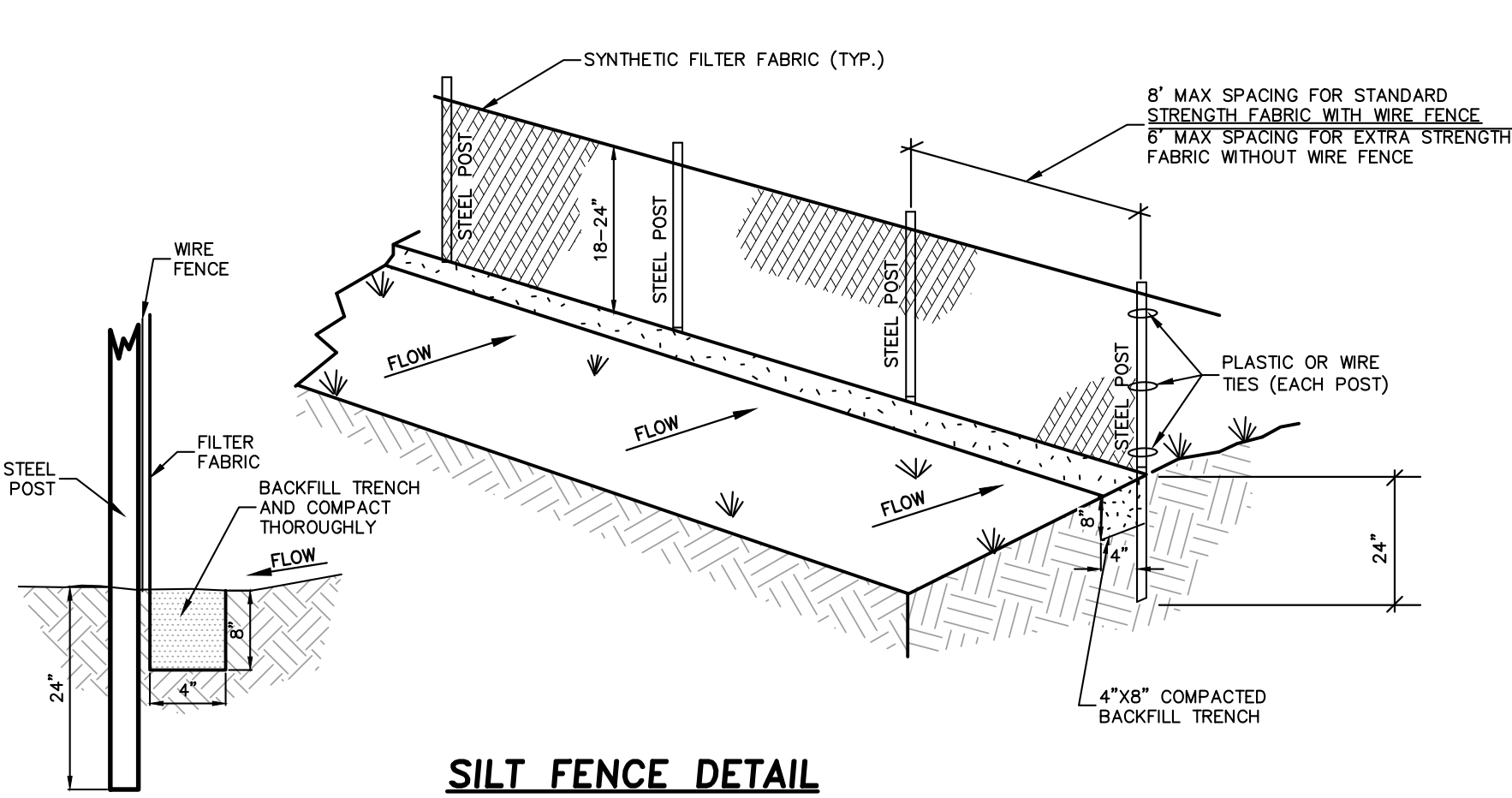
INSPECTION/MAINTENANCE OF INFILTRATION SCM'S

- ANNUAL REMOVAL OF SEDIMENT IN THE PRE-TREATMENT AREA (ON RIP-RAP OR WITHIN STRUCTURE SUMPS)
- ANNUAL REPLACEMENT OF THE TOP SEVERAL INCHES OF FILTER MEDIA WHENEVER DEWATERING TIME IS LONGER THAN 5 DAYS
- REGULAR SWEEPING OR VACUUMING OF PERMEABLE PAVERS
- VEGETATION IN AND AROUND THE INFILTRATION BASIN IS TO BE MAINTAINED TO A HEIGHT OF APPROX. 6 INCHES
- REMOVE WEEDS AND NOXIOUS VEGETATION BY HAND OR BY WIPING HERBICIDE. DO NOT SPRAY.
- INFILTRATION SYSTEMS SHOULD BE INSPECTED QUARTERLY AND WITHIN 24 HOURS OF ANY STORM EVENT 1.5 INCHES OR MORE.
- STABLE GROUND COVER SHOULD BE MAINTAINED IN THE DRAINAGE AREA TO REDUCE THE SEDIMENT LOAD TO THE WET POND.
- CHECK SEDIMENT ACCUMULATION. IF SEDIMENT ACCUMULATION HAS REDUCED THE DEPTH TO 75% OF THE DESIGN DEPTH, REMOVE SEDIMENT AND DISPOSE OF IT OFF-SITE. WATER SHOULD NOT BE STANDING MORE THAN 9 DAYS AFTER A STORM EVENT.
- ONCE A YEAR, A DAM SAFETY EXPERT SHOULD INSPECT THE EMBANKMENT.



GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL

N.T.S.



SILT FENCE DETAIL

N.T.S.

CONSTRUCTION SEQUENCE

PRECONSTRUCTION:

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG AND/OR ROUGH STAKE WORK LIMITS.
- HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.

CONSTRUCTION:

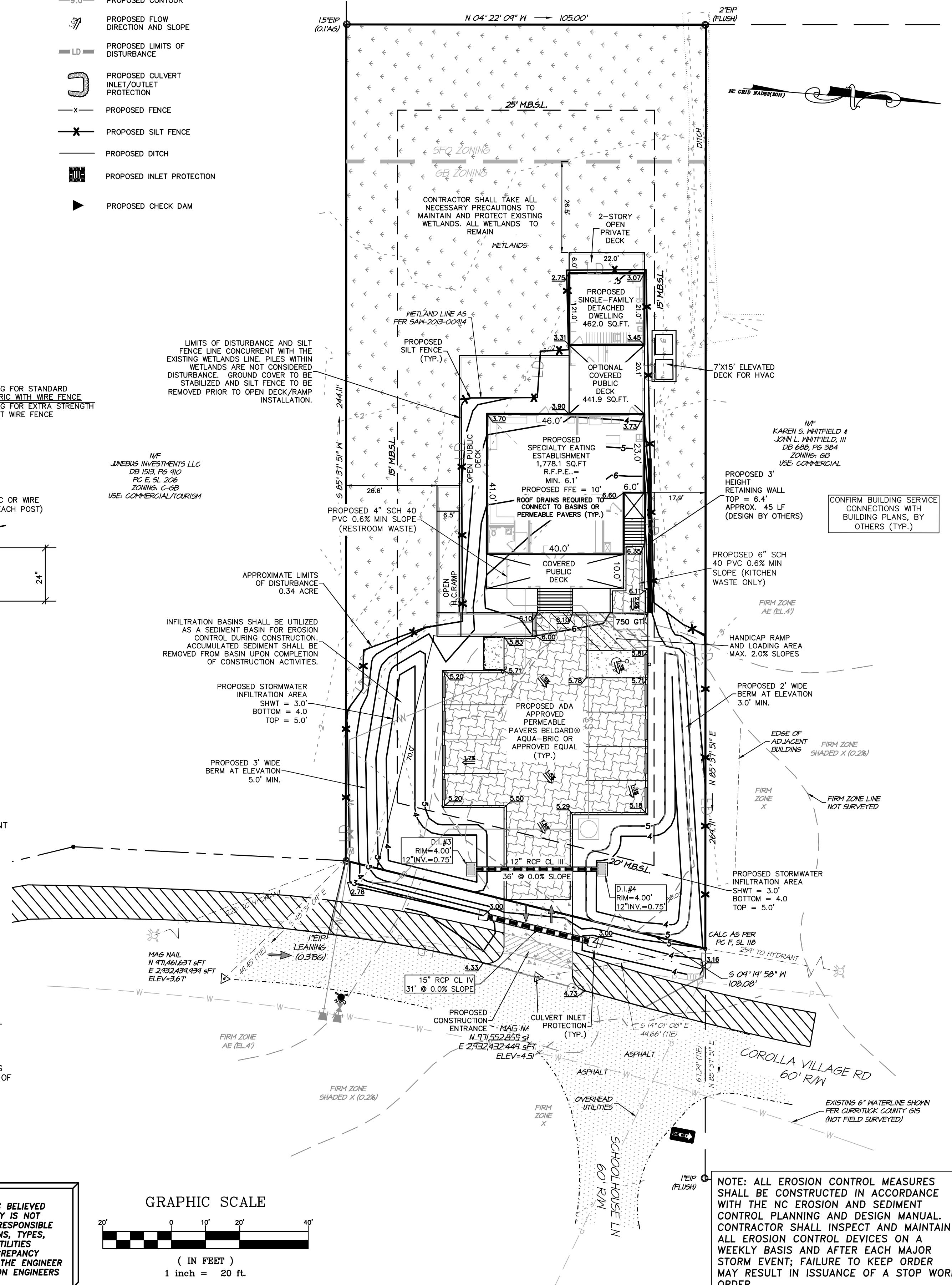
- INSTALL CONSTRUCTION ENTRANCE & SILT FENCING AT LOCATIONS SHOWN ON PLAN.
- CONSTRUCT TEMPORARY SEDIMENT BASIN/INFILTRATION BASIN. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY DEMOLITION.
- COMPLETE CLEARING AND GRUBBING PROCEDURES.
- GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- INSTALL CONTRIBUTING STORM CONVEYANCES INCLUDING RIP-RAP APRONS, MATING AND ASSOCIATED EROSION CONTROLS.
- COMPLETE FINAL GRADING OF THE GROUNDS, TOPSOIL, PERMANENTLY SEED, LANDSCAPE, AND MULCH.
- ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
- ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED; ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES INCLUDING THE BASIN AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
- UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEER'S NOTICE TO PROCEED.

LEGEND

- EXISTING ASPHALT PAVEMENT
- PROPOSED PERMEABLE PAVERS
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPOSED EXCELSIOR MATTING
- EXISTING CONTOUR
- EXISTING SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CULVERT INLET/OUTLET PROTECTION
- PROPOSED FENCE
- PROPOSED SILT FENCE
- PROPOSED DITCH
- PROPOSED INLET PROTECTION
- PROPOSED CHECK DAM



NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

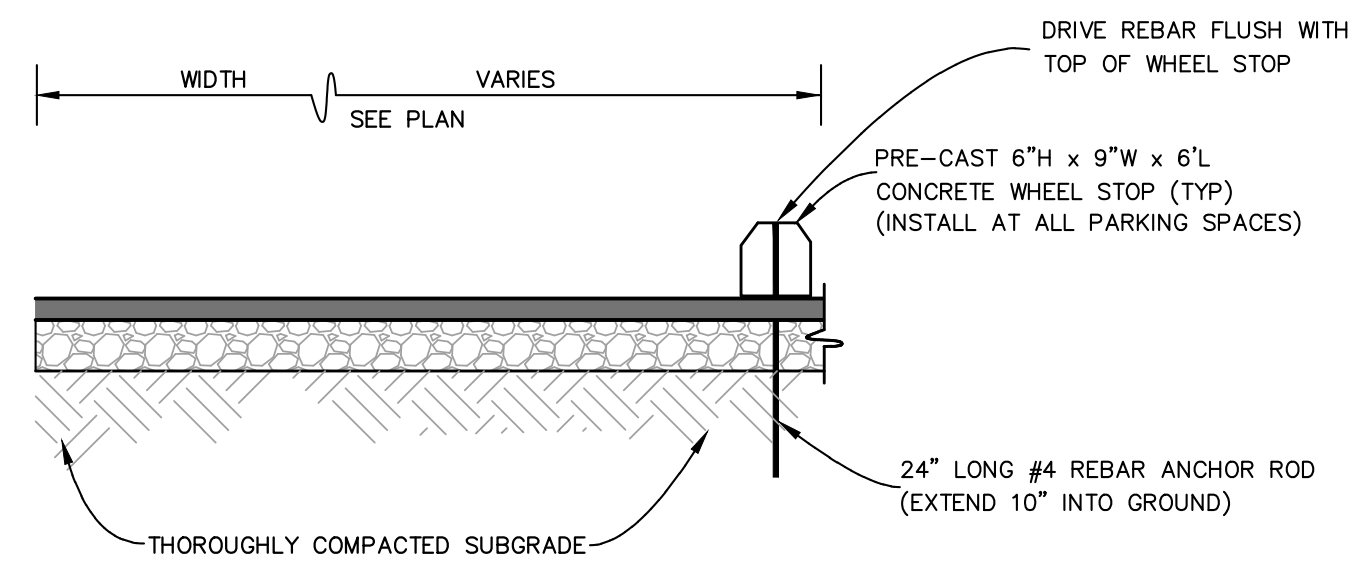
QUILBE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

NC License # C-028
SMCE 1959
Quilbe & Associates, P.C.
CONSTRUCTION & ENVIRONMENTAL SURVEYING
ENVIRONMENTAL SCIENCES SURVEYING**
HARRINGTON NOT OFFERED AT BLACK HILL OFFICE
8486 GARATON HWY
90 CHURCH STREET
BLACK MOUNTAIN, NC 28711
Phone: (252) 89-8487
Fax: (252) 89-8488
www.quilbe.com

NO.	DATE	REVISIONS
1	11/17/24	ISSUED FOR INDOT PERMITTING

GRADING & DRAINAGE PLAN
1120 COROLLA VILLAGE RD
DUCK LAND COMPANY, LLC
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

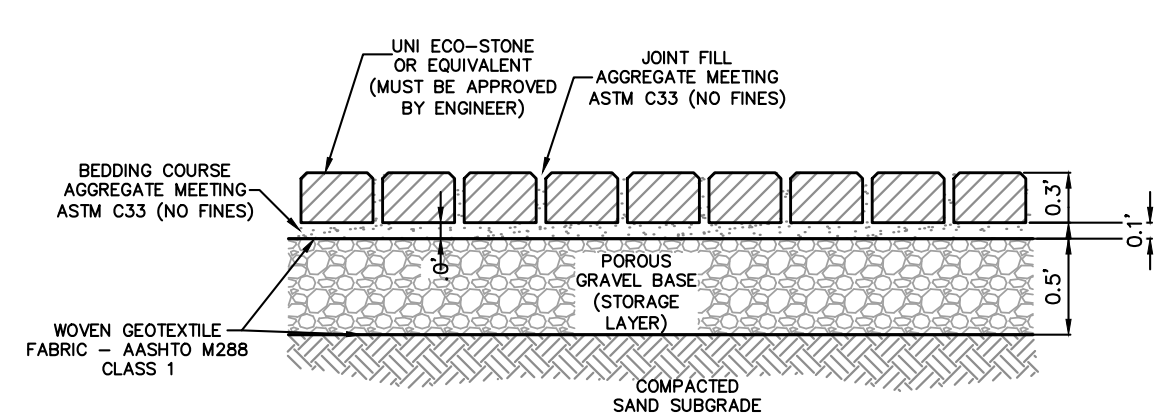
PROJECT NO. **P08045**
DESIGNED BY **MWS/BPJ**
DRAWN BY **BPJ**
CHECKED BY **MWS**
ISSUE DATE **08/23/24**
SHEET NO. **3**
OF 5 SHEETS



WHEEL STOP DETAIL
N.T.S.

COMPACTION NOTES:
 1. PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
 2. COMPACT BACKFILL AND SUBGRADE TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) ALL BACKFILL MATERIAL SHALL BE SELECT BACKFILL UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
 3. SELECT FILL SHALL CONSIST OF SAND OR GRAVEL CONTAINING LESS THAN 20% BY WEIGHT OF FINES (SP, SM, SW, GP, GW) HAVING A LIQUID LIMIT LESS THAN 20 AND PLASTIC LIMIT LESS THAN 6, AND FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL.

COMPACTION NOTES



TYPICAL PERMEABLE PAVER INSTALLATION DETAIL
N.T.S.

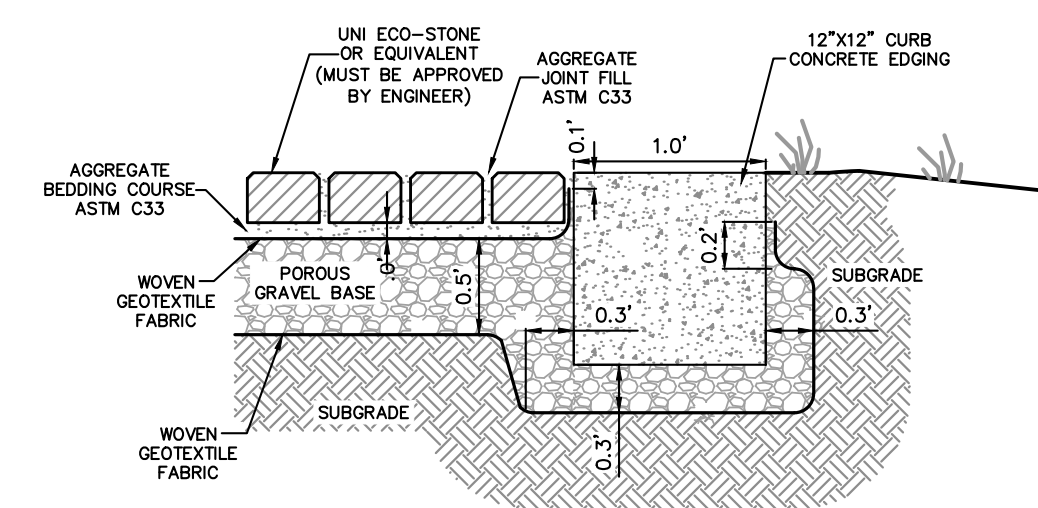
NOMINAL PIPE SIZE	SLEEVE O.D. RANGE (INCHES)	CATALOG NUMBER			APPROX. WEIGHT
		SLEEVE NUMBER	BY	BRANCH SIZE	
4"	4.60 - 4.80	SS7 - 4.60		3" FL.	200
	5.10 - 5.30	SS7 - 5.30	X	4" FL.	300
	5.60 - 5.80	SS7 - 5.60		6" FL.	400
6"	6.00 - 6.20	SS7 - 6.00		3" FL.	250
	6.50 - 6.70	SS7 - 6.50	X	4" FL.	350
	7.00 - 7.20	SS7 - 7.00		6" FL.	450
8"	7.90 - 8.30	SS7 - 8.30	X	3" FL.	420
	8.60 - 8.80	SS7 - 8.60		4" FL.	520
	8.90 - 10.30	SS7 - 10.30		6" FL.	620
10"	10.20 - 11.10	SS7 - 11.10	X	3" FL.	420
	11.40 - 11.80	SS7 - 11.80		4" FL.	520
	11.90 - 12.10	SS7 - 12.10		6" FL.	620

TYPICAL TAPPING SLEEVE DETAIL
ROMAC INDUSTRIES, INC. "SS7" STAINLESS STEEL TAPPING SLEEVE

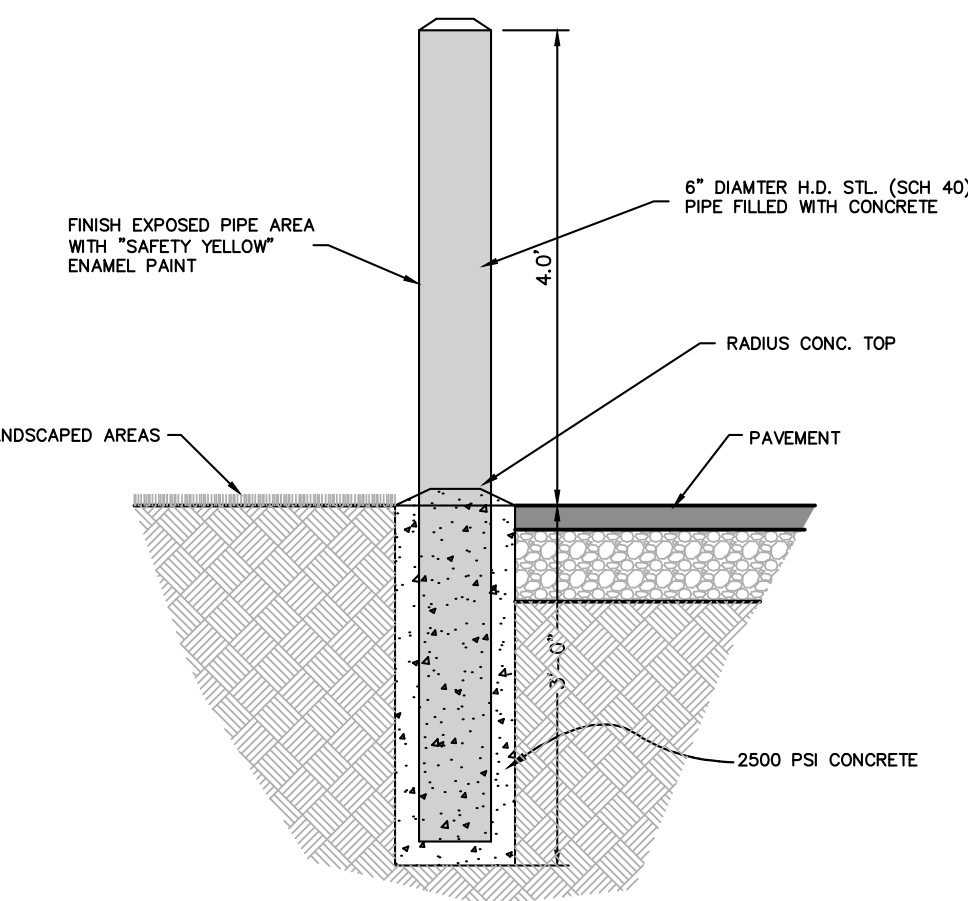
DIMENSION	VALVE SIZE				
	4"	6"	8"	10"	12"
A	13-3/8	16-3/4	20-3/16	24-1/8	27-1/2
B +.000/-0.031	4.984	6.984	8.984	10.984	12.984
C ±0.016	1.88	2.50	2.50	2.50	2.50
D (FLANGED END)	4-1/2	5-1/4	5-3/4	6-1/2	7
E (MJ END)	5-5/8	6	6-7/8	7-3/8	8-5/16
F	2-1/2	2-1/2	2-1/2	2-1/2	2-1/2
NO. OF TURNS TO OPEN	13	19	25	32	35
MAX. CUTTER DIAMETER	3-3/4	5-3/4	7-3/4	9-3/4	11-3/4

- NOTES:**
- DO NOT EXCEED THE RECOMMENDED TAPPING MACHINE CUTTER DIAMETER LISTED IN THE TABLE. FAILURE TO DO SO MAY RESULT IN DAMAGE TO THE SEALING SURFACES OF THE VALVE.
 - VALVE MEETS OR EXCEEDS APPLICABLE REQUIREMENTS OF ANSI/AWWA C509 WITH WALL THICKNESS WHICH EXCEED THE MINIMUM REQUIREMENTS OF ANSI/AWWA C115/A21.53.
 - UL LISTED FM APPROVED. VALVE MUST BE ORDERED IN CONFIGURATIONS WHICH ARE UL LISTED AND FM APPROVED AND HAVE PERMANENT UL/FM MARKINGS.
 - 250 PSI RATED WORKING PRESSURE.
 - FUSION BONDED EPOXY COATING MEETS OR EXCEEDS REQUIREMENTS OF AWWA C550.
 - MECHANICAL JOINT ENDS ARE IN ACCORDANCE WITH ANSI/AWWA C111/A21.11.
 - BOLT PATTERNS OF FLANGED ENDS ARE IN ACCORDANCE WITH ANSI/AWWA C110/A21.10 (ANSI B16.1, CLASS 125).
 - RAISED PILOT DIMENSIONS OF FLANGED ENDS ON TAPPING VALVES ARE IN ACCORDANCE WITH MSS SP-60.

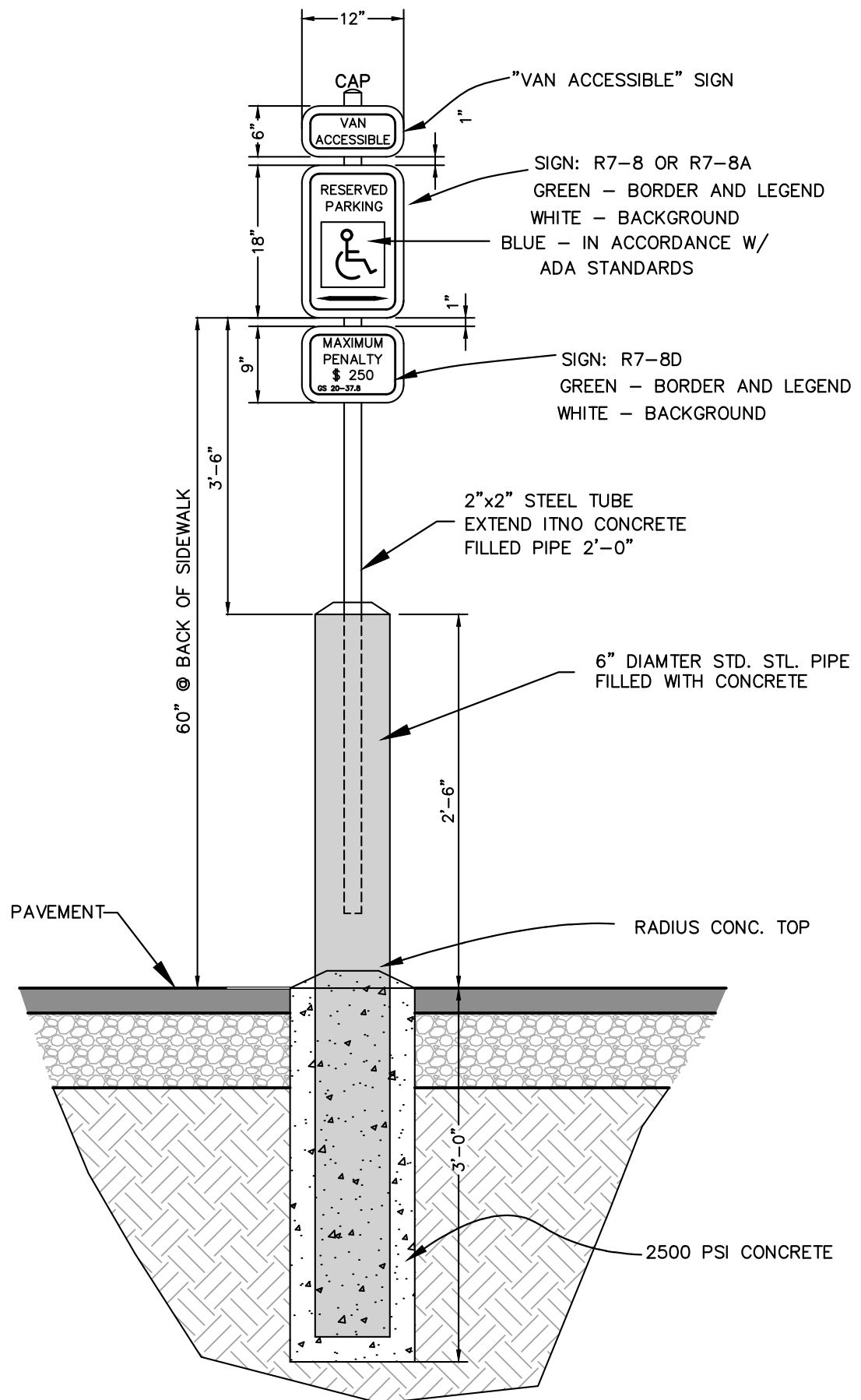
TYPICAL TAPPING VALVE DETAIL
AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE VALVE



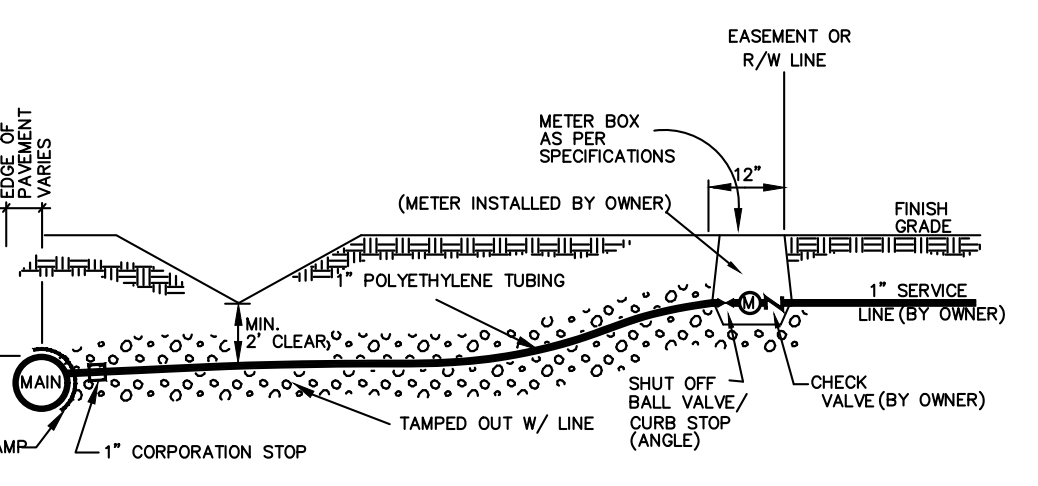
CONCRETE CURBING DETAIL
N.T.S.



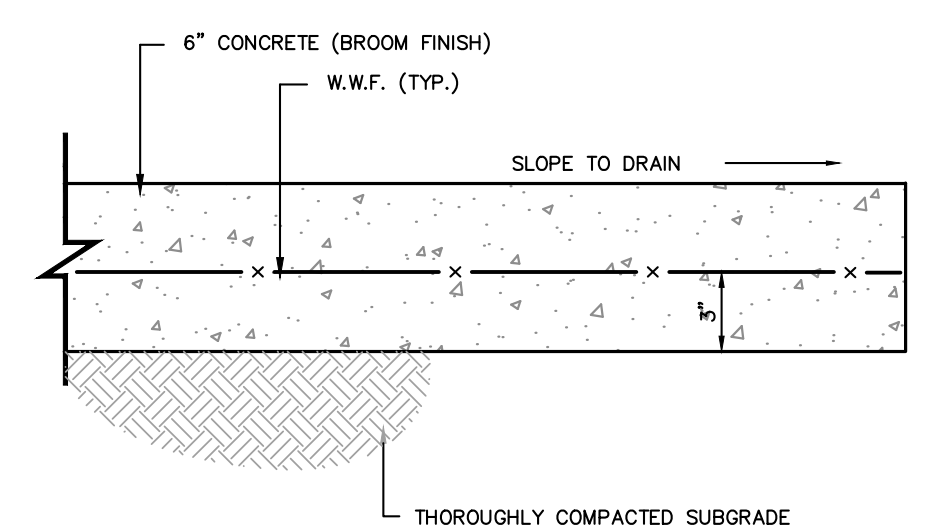
BOLLARD DETAIL
N.T.S.



ADA RESERVED PARKING SIGN DETAIL
N.T.S.

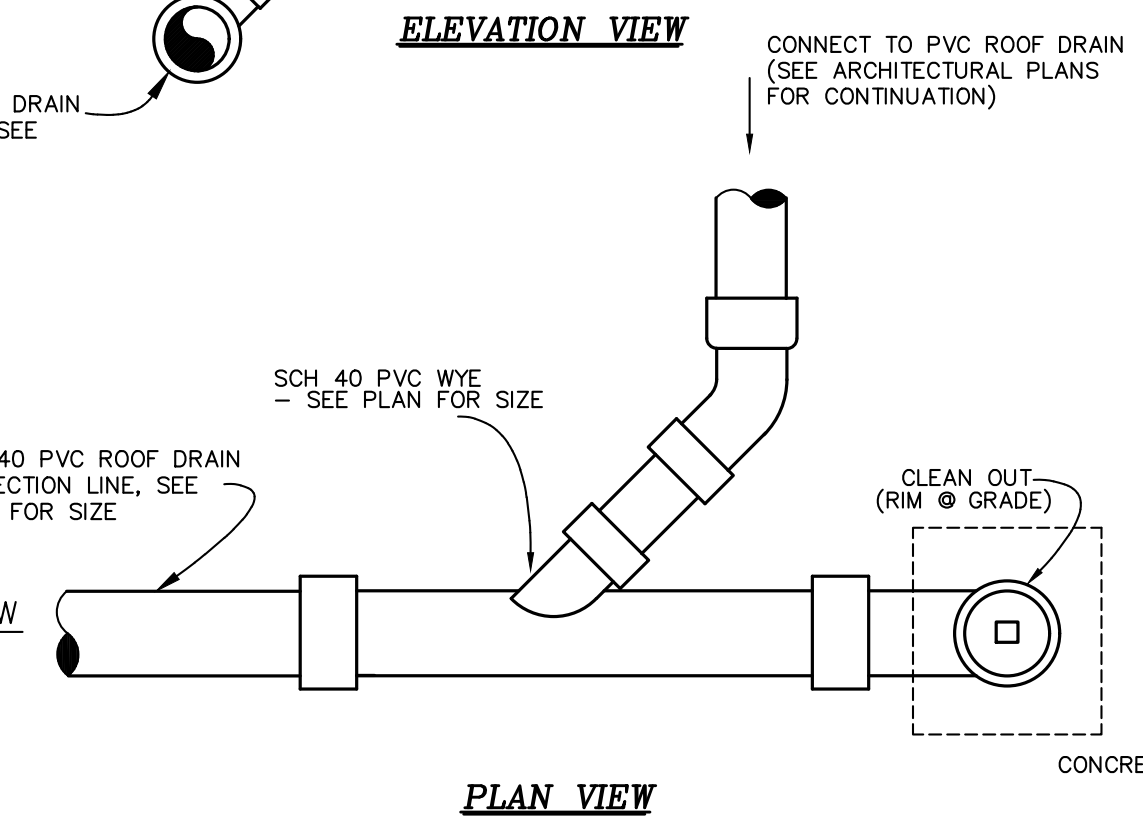
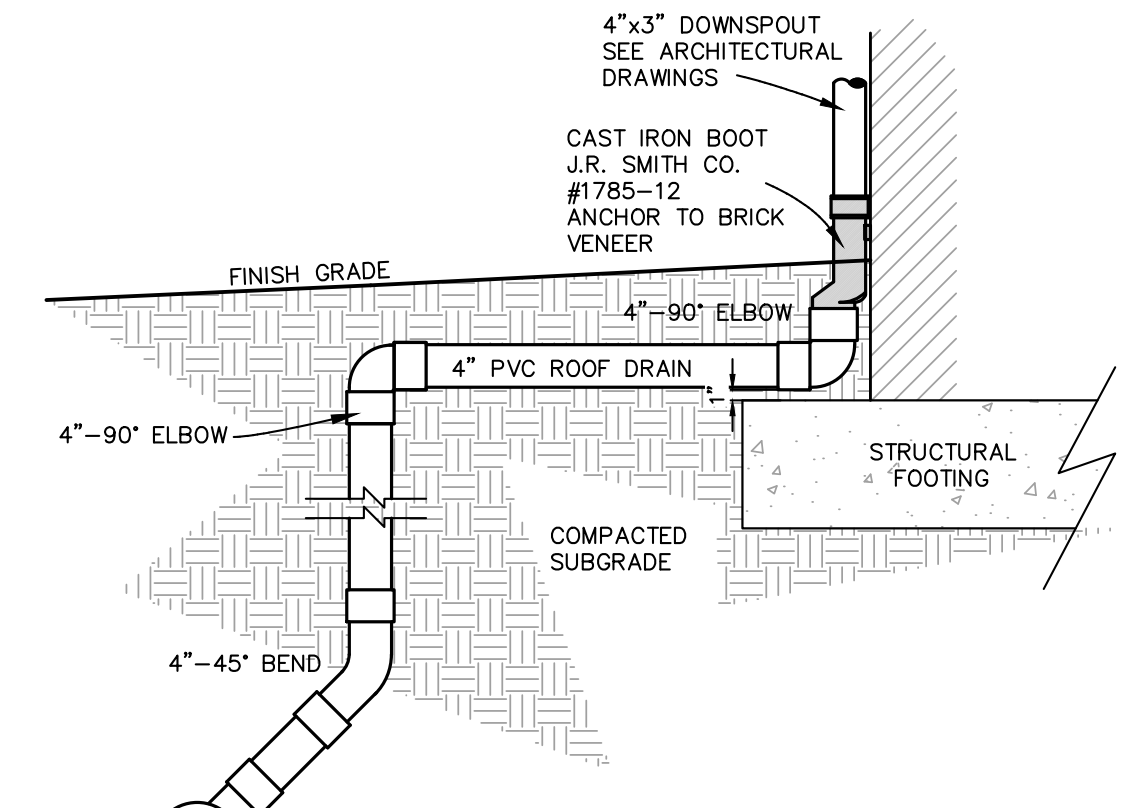


STANDARD 1\"/>



CONCRETE PAVEMENT SECTION
N.T.S.

GENERAL CONTRACTOR MAY REPLACE FIBERMESH CONCRETE WITH WIRE SCREEN OR WIRE SCREEN WITH FIBERMESH CONCRETE AS APPROVED BY ENGINEER



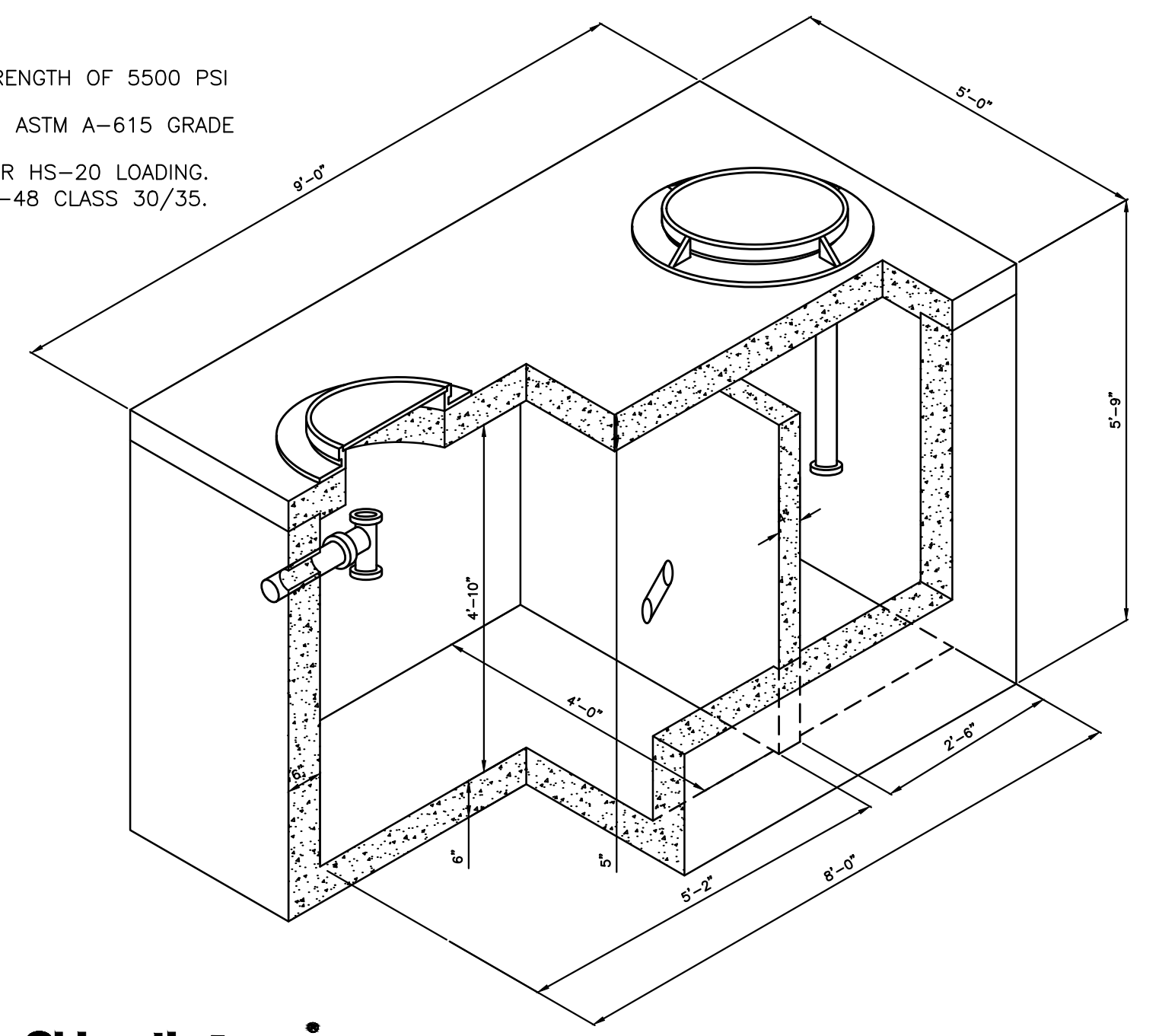
ROOF DRAIN COLLECTION LATERAL
N.T.S.

- SPECIFICATIONS FOR SIDEWALKS, CURBS, ALLEYS, CONCRETE PAVEMENT**
- ALL REINFORCING STEEL SHALL BE GRADE 60 (ASTM A615)
 - ALL WELDED WIRE FABRIC SHALL BE 6 x 6, W1.4 x W1.4 (ASTM A185)
 - A 1-1/2" CLEAR CONCRETE COVER SHALL BE MAINTAINED ON ALL REINFORCEMENT
 - ALL CONCRETE SHALL BE 3000 PSI FIBER MESH UNLESS OTHERWISE NOTED
- SPECIFICATIONS OF ASPHALT**
- ALL ABC STONE SHALL BE COMPACTED TO 100% OF STANDARD PROCTOR (ASTM D698)
 - ASPHALT SHALL BE 2" SF9.5A
- SPECIFICATIONS FOR SUBBASE**
- ALL SUBBASE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR (ASTM D698)

TYPICAL SPECIFICATIONS

- GENERAL NOTES:**
- INTERCEPTOR IS STRUCTURALLY AND HYDRAULICALLY ENGINEERED CONFORMING TO UNIFORM PLUMBING CODE. LIQUID CAPACITY IS 765 GALLONS WITH SOLIDS RETENTION CAPACITY OF APPROX. 2,004 POUNDS. RECOMMENDED FOR FLOW RATE UP TO 21 GALLONS PER MINUTE.

- SPECIFICATIONS:**
- CONCRETE: DESIGN STRENGTH OF 5500 PSI AT 28 DAYS.
 - STEEL REINFORCEMENT: ASTM A-615 GRADE 60.
 - LOADING: DESIGNED FOR HS-20 LOADING.
 - C.I. CASTINGS: ASTM A-48 CLASS 30/35.



750 GALLON 4'x8'ID GREASE TRAP
N.T.S.

NC License# C-0208
SINCE 1959

Quible & Associates, P.C.
ENGINEERING, ARCHITECTURE, SURVEYING
ENVIRONMENTAL SCIENCES, LLC
***STARTING NOT OFFERED AT BLACK HILL OFFICE**
8486 GARATON HWY. 90 CHURCH STREET
POWELL POINT, NC 27968 BLACK MOUNTAIN, NC 28711
Phone: (252) 891-8127 Fax: (252) 891-8128
www.quible.com

COPYRIGHT © 2024
QUIBLE & ASSOCIATES, P.C.
THIS DOCUMENT IS THE PROPERTY OF QUIBLE & ASSOCIATES, P.C. ANY REPRODUCTION OR DISSEMINATION IS PROHIBITED.
IF THIS DOCUMENT IS NOT SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, ARCHITECT, SURVEYOR, ENVIRONMENTAL SCIENTIST, OR LAND CONVEYANCE SPECIALIST, IT SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED FOR ANY CONSTRUCTION OR LAND CONVEYANCE, UNLESS OTHERWISE NOTED.

NO.	DATE	REVISIONS
1	11/12/24	ISSUED FOR INDOT PERMITTING

SITE & UTILITY DETAILS

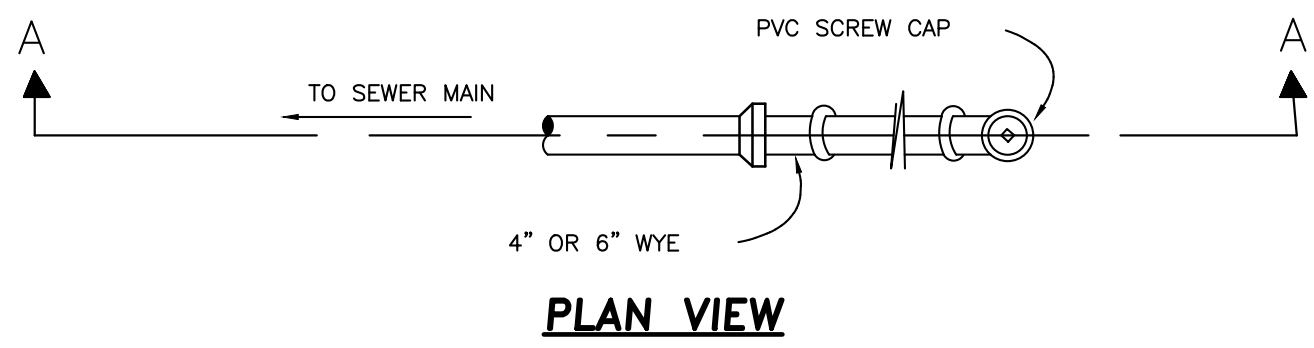
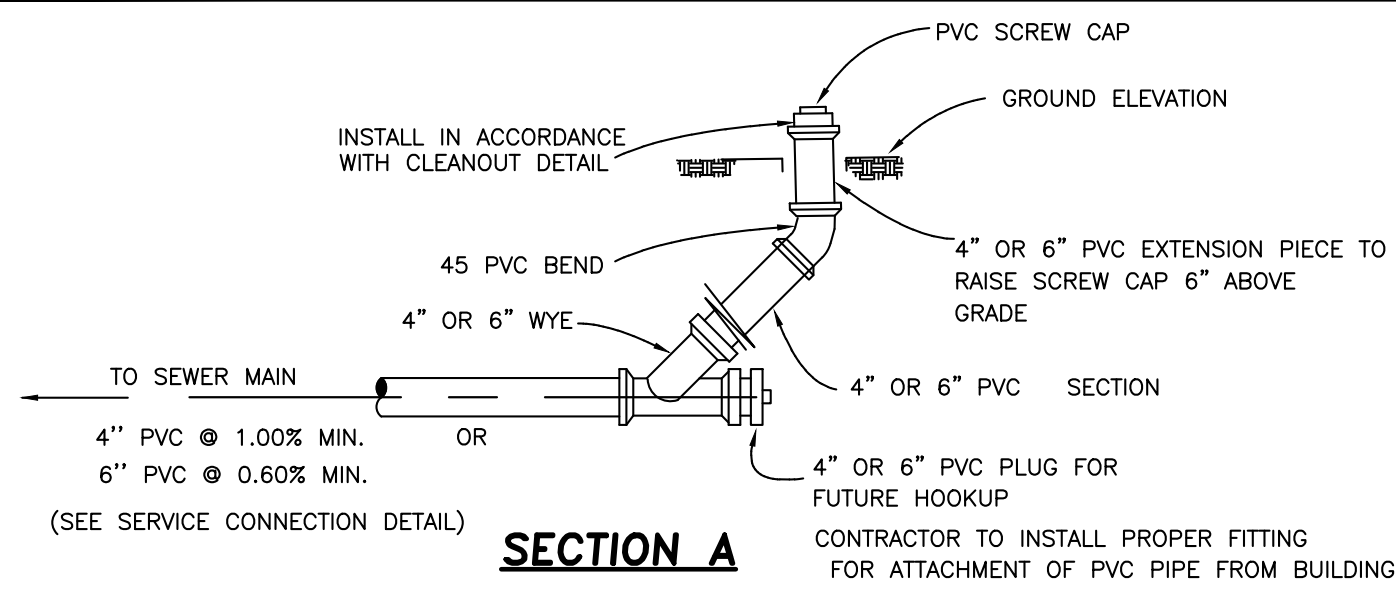
1120 COROLLA VILLAGE RD
DUCK LAND COMPANY, LLC

POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

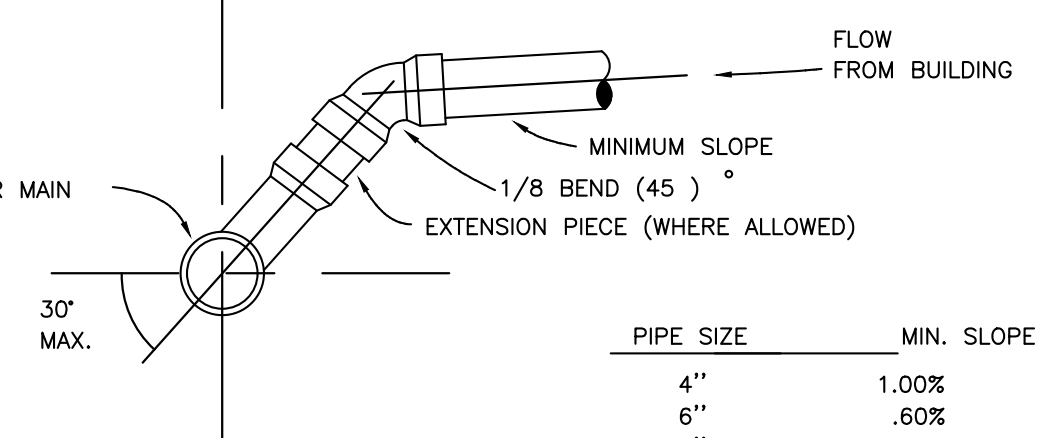
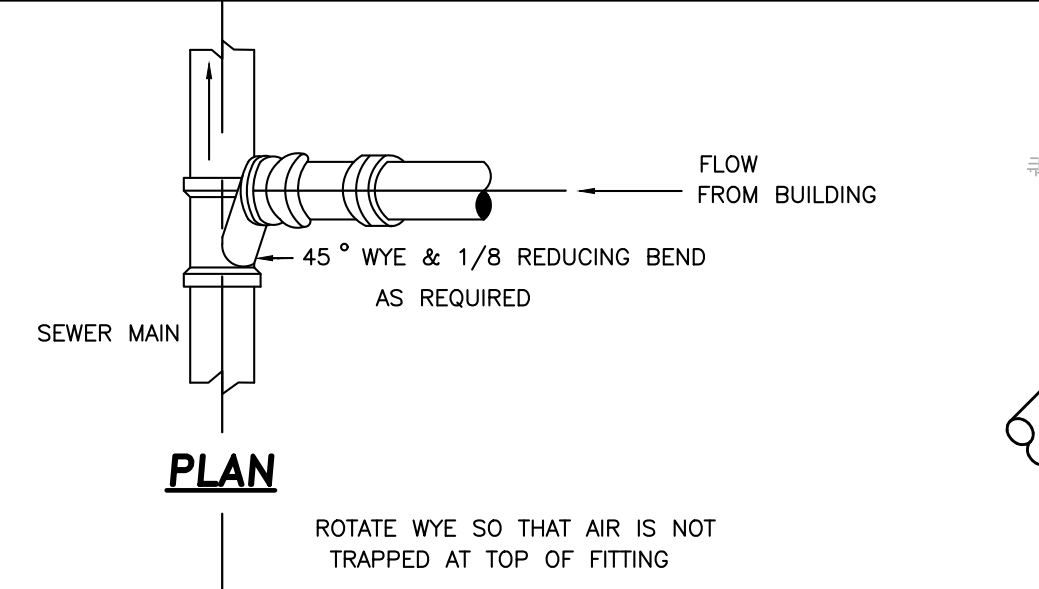
PROJECT NO.	P08045
DESIGNED BY	MWS/BPJ
DRAWN BY	BPJ
CHECKED BY	MWS
ISSUE DATE	08/23/24

SHEET NO.
4
OF 5 SHEETS

Oldcastle Precast
13600 S. Wayside Dr., Houston, TX 77048
Phone: 713-991-2400 Fax: 713-991-0815

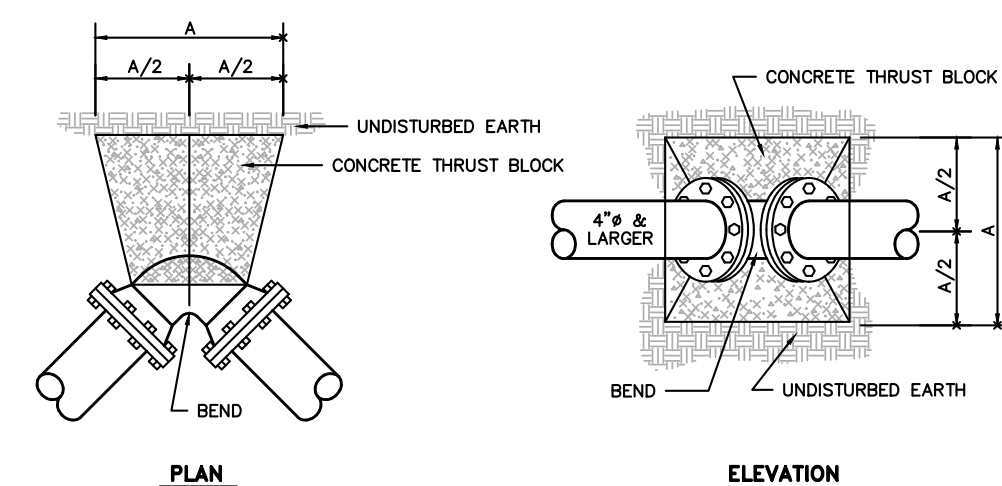


SINGLE GRAVITY SERVICE LATERAL CONNECTION
N.T.S.



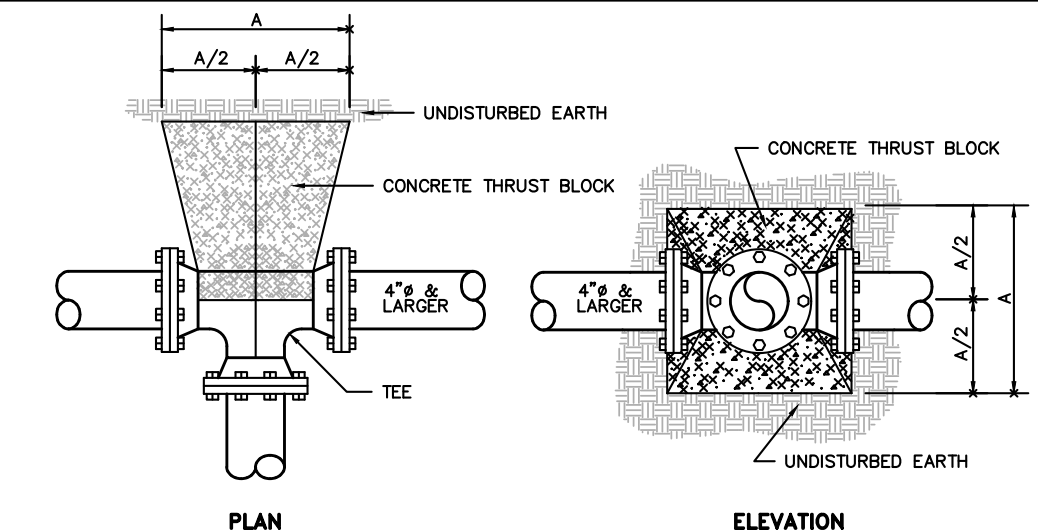
GRAVITY SERVICE CONNECTION
N.T.S.

PIPE SIZE	MIN. SLOPE
4"	1.00%
6"	.50%
8"	.40%
12"	.22%



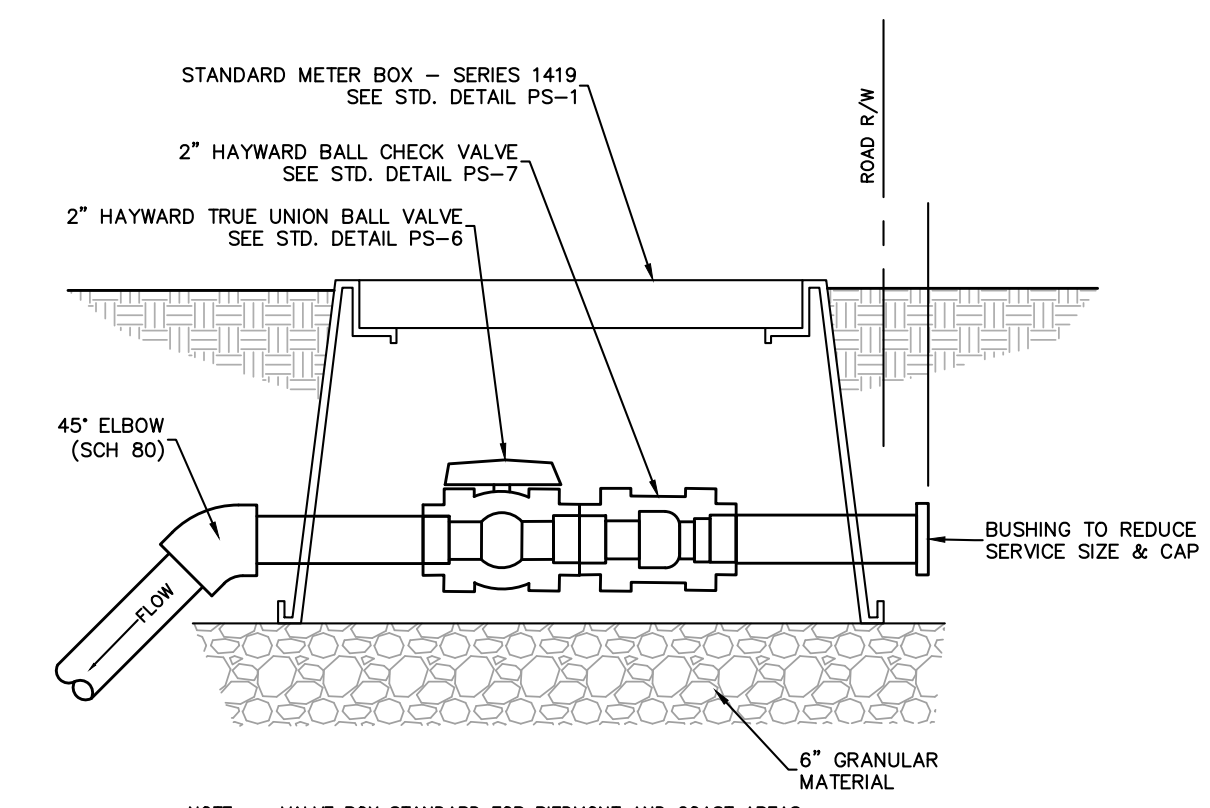
SIZE	11 1/4" BEND	22 1/2" BEND	45" BEND	90" BEND	TEE	PLUG
4	12	12	12	16	16	14
6	12	12	12	16	16	14
8	12	14	16	20	22	18
10	12	14	16	20	22	18
12	12	16	18	24	26	20
14	12	16	18	24	26	20
16	16	20	22	28	30	24
18	16	20	22	28	30	24
20	20	24	26	32	34	28
24	24	28	30	36	38	32
30	30	34	36	40	42	36
36	36	40	42	44	46	40
42	42	46	48	50	52	44
48	48	52	54	56	58	50

THRUST BLOCKS - DIMENSION "A"
N.T.S.

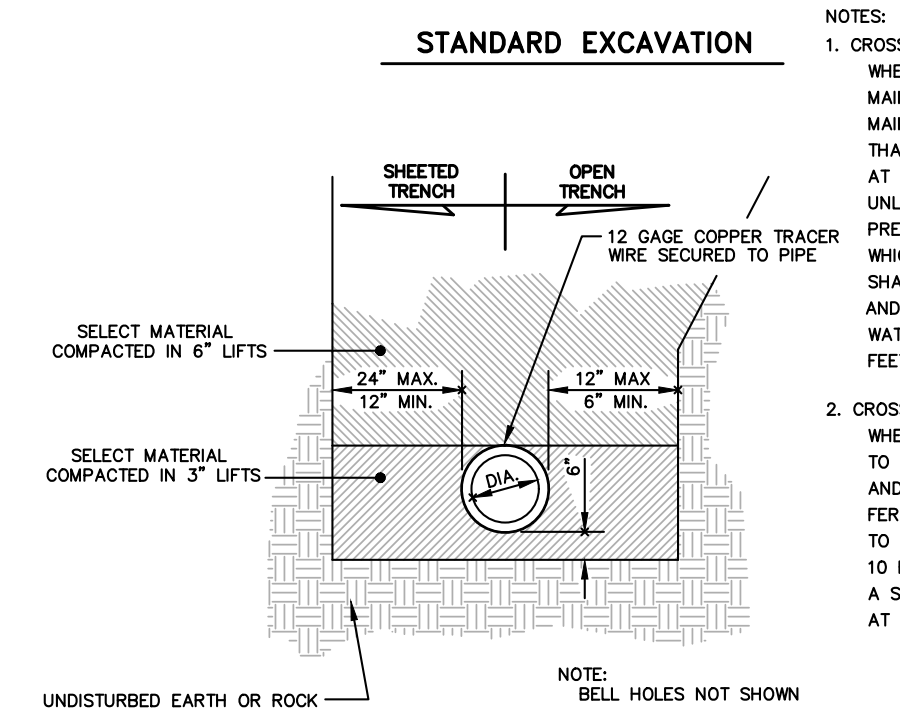
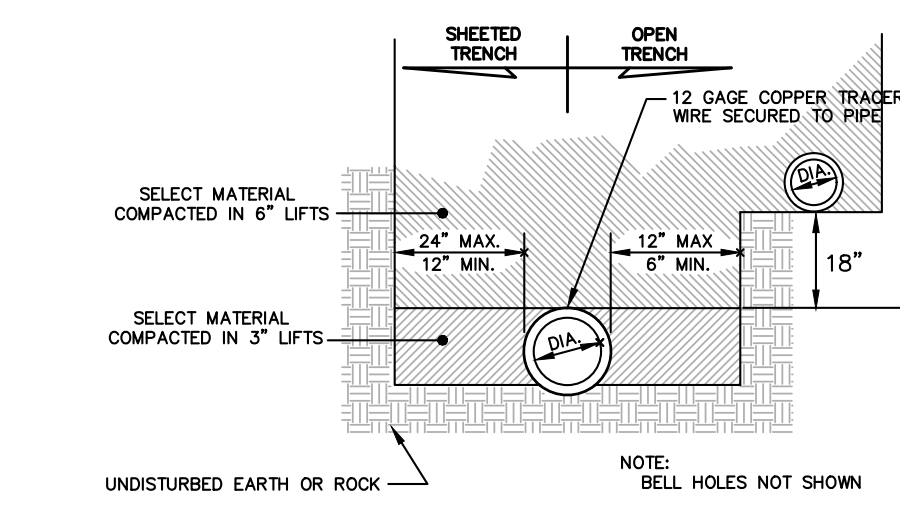


SIZE	11 1/4" BEND	22 1/2" BEND	45" BEND	90" BEND	TEE	PLUG
4	12	12	12	16	16	14
6	12	12	12	16	16	14
8	12	14	16	20	22	18
10	12	14	16	20	22	18
12	12	16	18	24	26	20
14	12	16	18	24	26	20
16	16	20	22	28	30	24
18	16	20	22	28	30	24
20	20	24	26	32	34	28
24	24	28	30	36	38	32
30	30	34	36	40	42	36
36	36	40	42	44	46	40
42	42	46	48	50	52	44
48	48	52	54	56	58	50

THRUST BLOCKS - DIMENSION "A"
TYPICAL THRUST BLOCK FOR TEES
N.T.S.



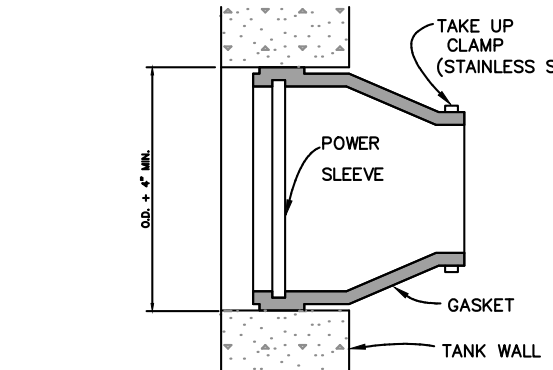
TYPICAL SERVICE CONNECTION DETAIL
N.T.S.



STANDARD EXCAVATION
N.T.S.

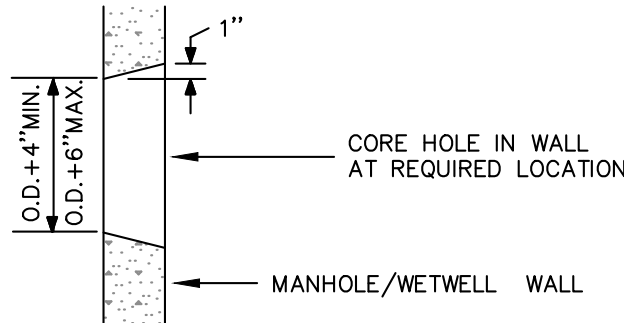
NOTE: MINIMUM 30" COVER IN PIEDMONT AND COASTAL AREAS
MINIMUM 40" COVER IN MOUNTAIN AREA
D.I.P. TO BE USED IF LESS THAN MINIMUM COVER

TYPICAL TRENCHING
N.T.S.



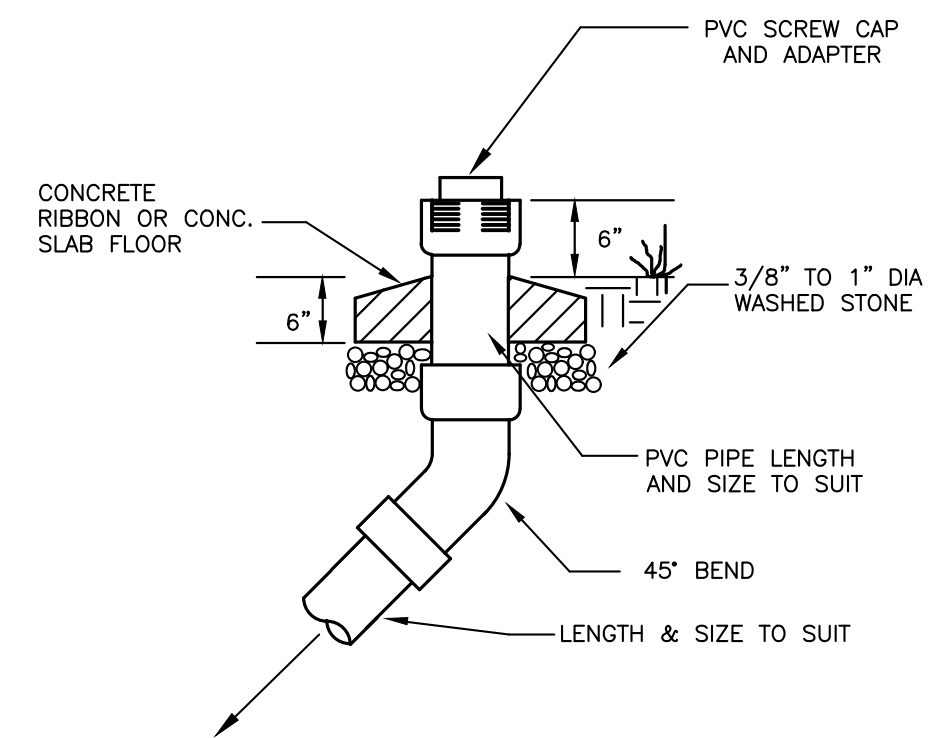
BOOTED PIPE OPENINGS
N.T.S.

- NOTES:
- PIPE TO MANHOLE CONNECTION TO CONFORM TO LATEST ASTM C-478 SPECIFICATION.
 - PSX FLEXIBLE BOOT CONNECTOR TO CONFORM TO LATEST ASTM C-923 SPECIFICATION.
 - BOOT CONNECTOR IS MANUFACTURED BY THE PRESS SEAL GASKET CORP. FORT WAYNE, IN.
 - SEE MANUFACTURER'S LITERATURE FOR FURTHER INFORMATION AND DETAIL.



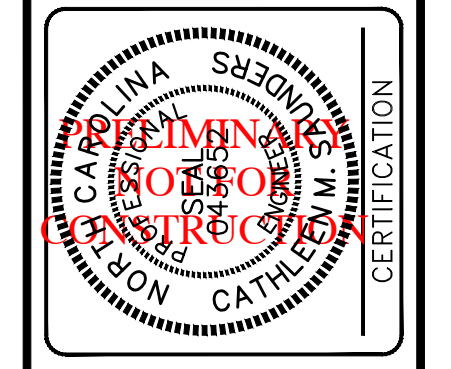
IN FIELD PIPE OPENINGS
N.T.S.

- NOTES:
- THIS APPLIES TO ALL PIPES 6" DIAMETER OR LESS UNLESS OTHERWISE SPECIFIED.
 - CLOSE WITH NON-SHRINK GROUT AFTER PIPE INSTALLATION.



TYPICAL SEWER CLEAN-OUT
N.T.S.

NC License # C-0208
SINCE 1959
Quible & Associates, P.C.
ENGINEERING, SURVEYING, ENVIRONMENTAL SCIENCES & SURVEYING
HARTING NOT OFFERED AT BLACK MOUNTAIN OFFICE
8486 GARATON HWY. 90 CHURCH STREET
BLACK MOUNTAIN, NC 27768
POWELLVILLE, NC 27868
Phone: (828) 891-8127 Fax: (828) 892-9138
www.quible.com



COPYRIGHT © 2024, P.C.
THIS DOCUMENT IS THE PROPERTY OF QUIBLE & ASSOCIATES, P.C. ANY ALTERATION OR REPRODUCTION IS PROHIBITED.
IF THIS DOCUMENT IS NOT SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, IT SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED FOR CONSTRUCTION OR LAND CONVEYANCES, UNLESS OTHERWISE NOTED.

NO.	DATE	REVISIONS	ISSUED FOR	INDOT PERMITTING
1	11/12/24			

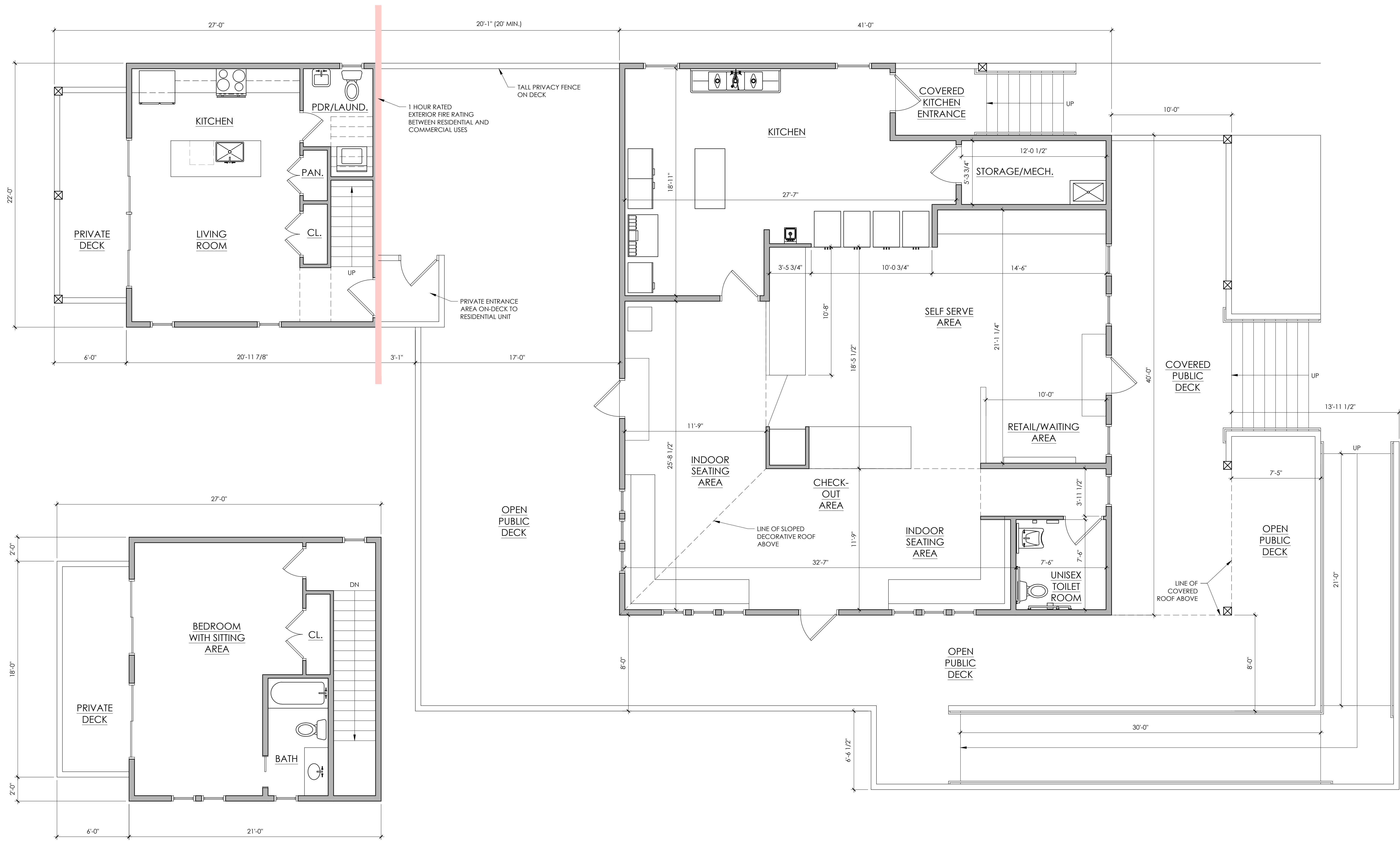
SITE & UTILITY DETAILS
1120 COROLLA VILLAGE RD
DUCK LAND COMPANY, LLC
POPLAR BRANCH TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA

PROJECT NO.	P08045
DESIGNED BY	MWS/BPJ
DRAWN BY	BPJ
CHECKED BY	MWS
ISSUE DATE	08/23/24

SHEET NO.
5
OF 5 SHEETS

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUIBLE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.



2 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEER:
MICHAEL D. O'STEEN, P.E., PLLC
 1720 BAY DRIVE, KILL DEVIL HILLS,
 NORTH CAROLINA
 FIRM # P-2112 PH: (252) 423-2300

PROJECT NAME:
**TWIDDY
 ICE CREAM
 BUILDING**
 1120 COROLLA
 VILLAGE ROAD
 COROLLA, NC

REVISIONS:	DATE:
CLIENT REVISIONS	10 / 11 / 24

DRAWING NAME:
**BUILDING
 PLAN**

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:

DRAWN BY: CN

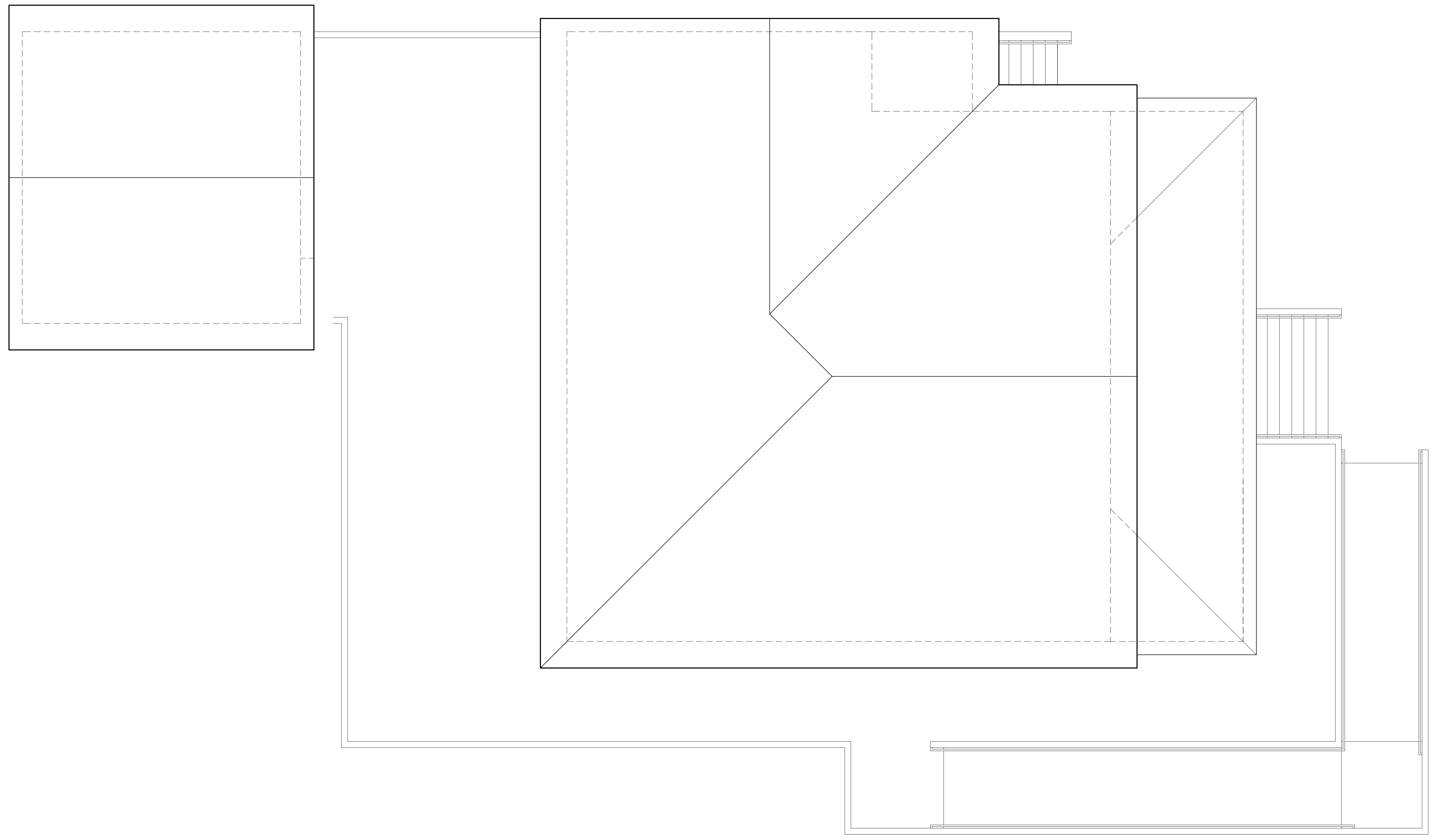
DATE: 10 / 11 / 24

SCALE: -

STAMP:
INCOMPLETE
 FOR INTERIM REVIEW
 ONLY AND NOT
 INTENDED FOR BIDDING,
 PROCUREMENT, PERMIT
 OR CONSTRUCTION
 PURPOSES.

© 2024 BEACON ARCHITECTURE + DESIGN
 P.L.L.C. - ALL RIGHTS RESERVED

SHEET:
A1.2



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS:	DATE:
CLIENT REVISIONS	10 / 11 / 24

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:

DRAWN BY: CN

DATE: 10 / 11 / 24

SCALE: -

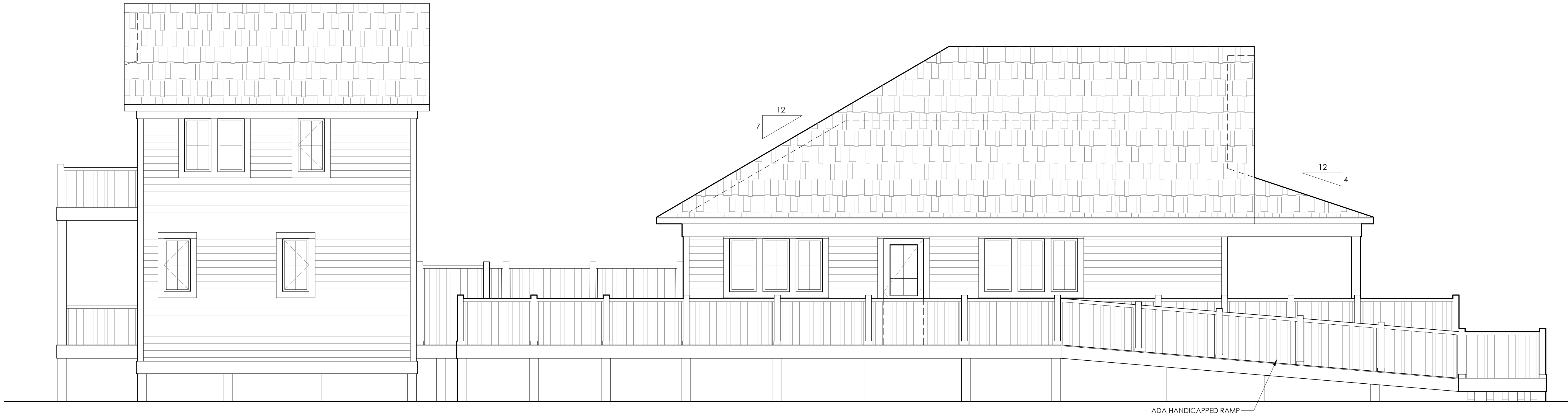
STAMP:
INCOMPLETE
 FOR INTERIM REVIEW
 ONLY AND NOT
 INTENDED FOR BIDDING,
 PROCUREMENT, PERMIT
 OR CONSTRUCTION
 PURPOSES.



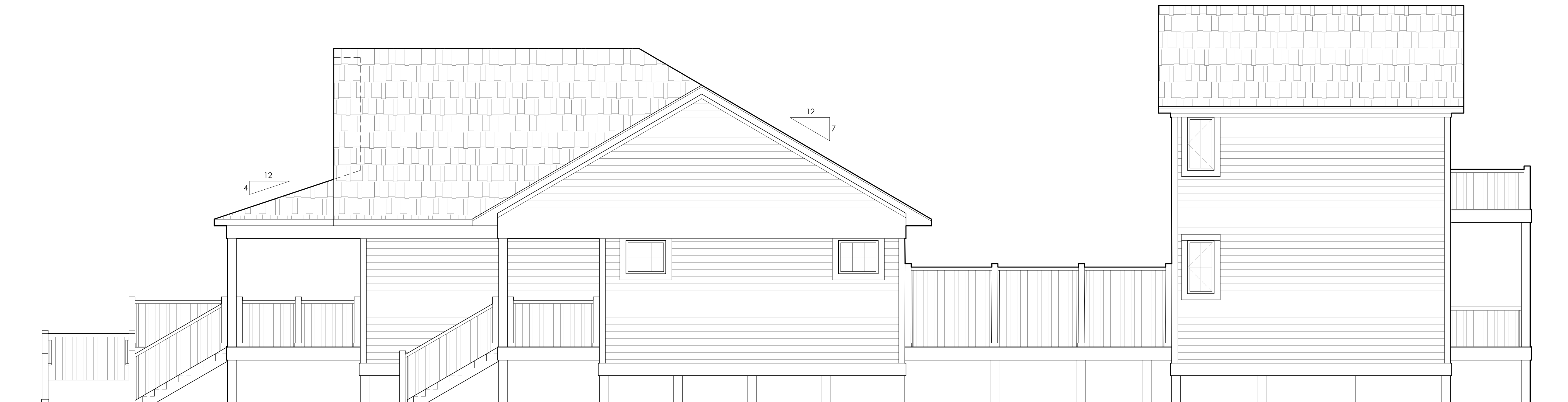
1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

REVISIONS:	DATE:
CLIENT REVISIONS	10 / 11 / 24

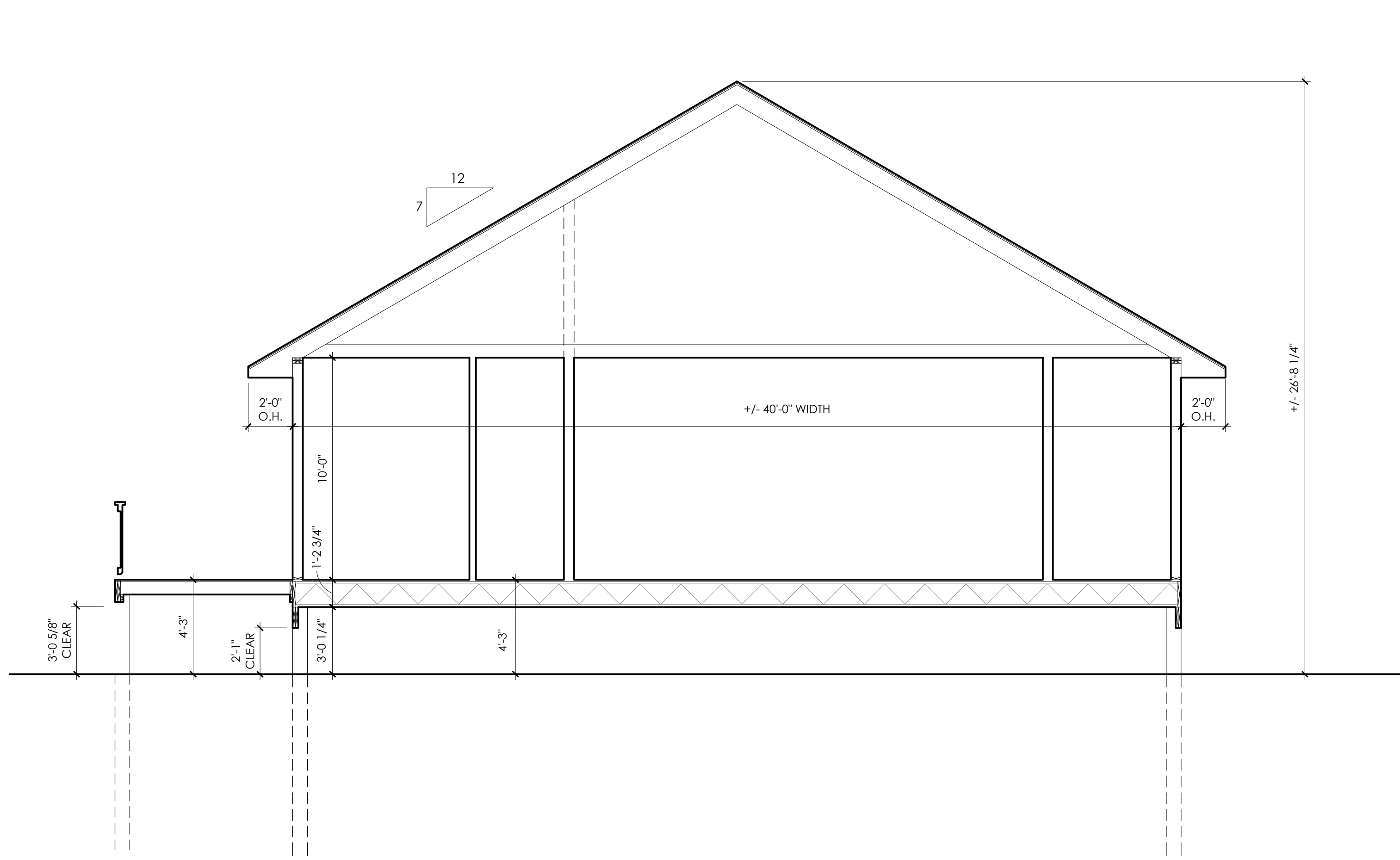
PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:

DRAWN BY: CN

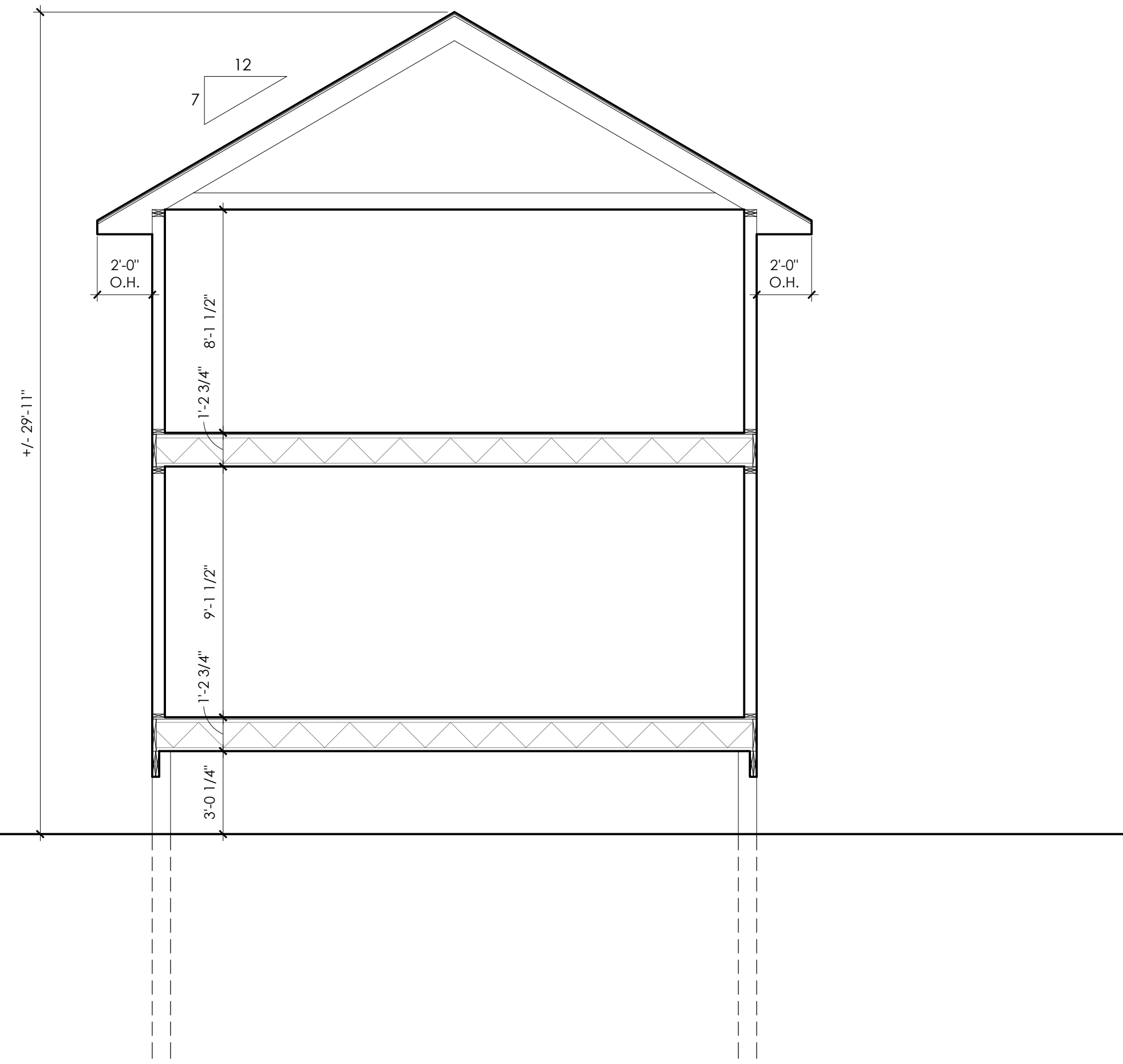
DATE: 10 / 11 / 24

SCALE: -

STAMP:
INCOMPLETE
 FOR INTERIM REVIEW
 ONLY AND NOT
 INTENDED FOR BIDDING,
 PROCUREMENT, PERMIT
 OR CONSTRUCTION
 PURPOSES.



1 ICE CREAM PARLOR- BUILDING SECTION
 SCALE: 1/4" = 1'-0"



2 RESIDENTIAL- BUILDING SECTION
 SCALE: 1/4" = 1'-0"

CRAFTMADE



Union - Z4415-88

Union Medium Outdoor Post

Finish: Oiled Bronze Gilded



MEDIUM POST MOUNT

FIXTURE A

Specs

Bulb Wattage	100
Mounting Location	ETLus Wet
Bulb Type	Incandescent
Bulb Size	A-Type
Bulbs	1
Bulb Base	Medium

Dimensions

Height (in.)	21.13
Width (in.)	12

FXLuminaire®

SITE

MEDIA (/SEARCH/MEDIA/I.W.L.%20DM)

SITE (/SEARCH/SITE/I.W.L.%20DM)

Results [67]

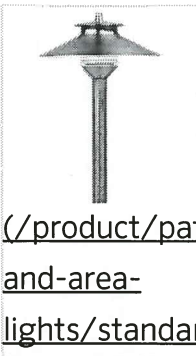
Enter terms

I.W.L. DM

SEARCH

Search results

FIXTURE B

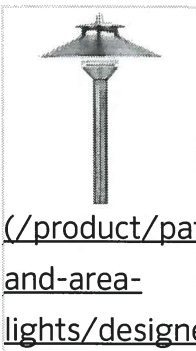


[DM \(/product/path-and-area-lights/standard/dm\)](/product/path-and-area-lights/standard/dm)

</product/path-and-area-lights/standard/dm>

Models Ordering Information - Spec Builder Select your specifications **DM**

NL No Lamp LED20W 20W equivalent ...



[DM \(/product/path-and-area-lights/designer/dm\)](/product/path-and-area-lights/designer/dm)

</product/path-and-area-lights/designer/dm>

board (1), spike (1), and filters **DM** LSS FILTERS Amber, Green, and Blue x

Specs **DM** Spec Chart Number ...

PROJECT: TYPE:

LOCATION: CAT:

Description

The Step extrusion provides stair lighting along with two channels with rubber grip strips for anti-slip safety. The riser lighting feature can hold all Trulux tape light types excluding RGB+WW.

Features

- Extruded aluminum construction
- Use tape light, lens, end caps, and other accessories to create a complete fixture (tape light and accessories sold separately)

Mounting

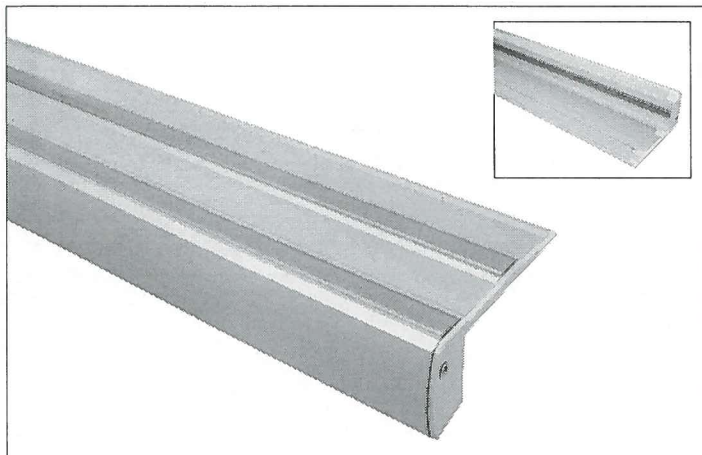
The Step extrusion can be adhered to square edge steps and stairs with construction adhesive and/or screws. If using screws, remove the rubber grip strip and drill through the extrusion; use PE-STEP-TOOL to put the rubber grip strip back in place.

Applications

Step, stair, and other riser locations

Warranty

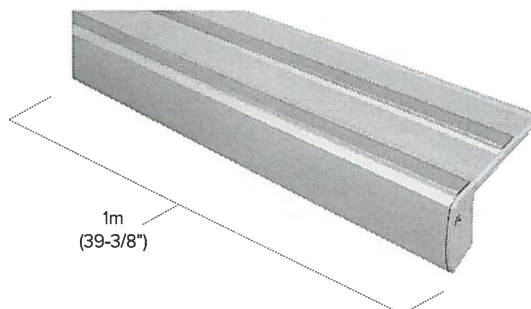
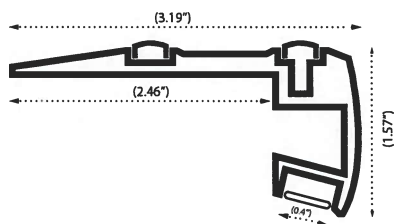
3 years



FIXTURE C

Technical Information

Profile Dimensions



Ordering Information

Step Extrusion MODEL: **PE** TYPE: **STEP** LENGTH: **1M**

PE-STEP-1M includes:
(1) 1M Step Aluminum extrusion

Accessories

Image	Part Number	Description
	PE-UVLENS-1M	1 meter frosted polycarbonate lens for Step extrusion; UV Resistant/Flame Retardant
	PE-STEP-GRIP	Rubber grip strip for use in Step extrusion
	PE-STEP-RIGHT	Polypropylene plastic end cap for right side of Step extrusion
	PE-STEP-LEFT	Polypropylene plastic end cap for left side of Step extrusion
	PE-STEP-TOOL	Tool to assist in removing/adding rubberized grip strip

Lamp Type

- [G4 Lamp \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_lamp_type%3A2306\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_lamp_type%3A2306)
- [Integrated LED \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_lamp_type%3A2311\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_lamp_type%3A2311)
- [MR Lamp \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_lamp_type%3A2316\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_lamp_type%3A2316)

Integrated LED Option

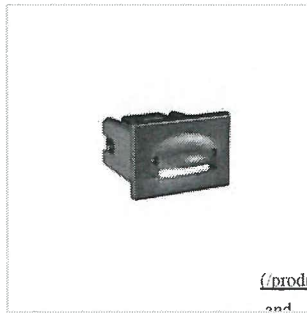
- [1LED \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_integrated_led_option%3A2281\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_integrated_led_option%3A2281)
- [3LED \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_integrated_led_option%3A2286\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_integrated_led_option%3A2286)

Material

- [Aluminum/Zinc \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_material%3A2331\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_material%3A2331)
- [Brass \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_material%3A2336\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_material%3A2336)
- [Composite \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_material%3A2341\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_material%3A2341)
- [Stainless Steel \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_material%3A2351\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_material%3A2351)

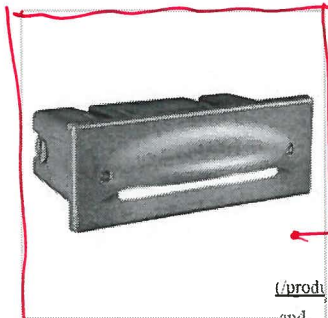
Finish

- [Antique Bronze \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_finish%3A2501\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_finish%3A2501)
- [Antique Tumbled \(/products/search/?f0\]=im_field_product_category%3A1141&f\[1\]=im_field_finish%3A2506\)](/products/search/?f0]=im_field_product_category%3A1141&f[1]=im_field_finish%3A2506)



UN (/product/wall-and-step-lights/designer/un)

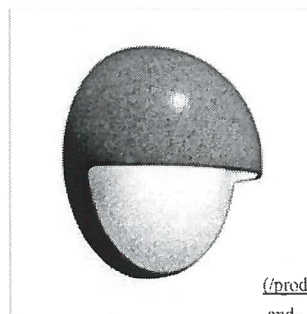
Integrated LED



PD (/product/wall-and-step-lights/designer/pd)

Integrated LED

FEATURE ID



MM (/product/wall-and-step-lights/standard/mm)

G4 Lamp