

January 19, 2021 Minutes – Special Meeting of the Board of Commissioners

# 2:00 PM CALL TO ORDER

The Board of Commissioners met at 2:00 PM in the Board Meeting Room of the Historic Courthouse, 153 Courthouse Road, Currituck, North Carolina, for a Special Meeting.

Attendee Name	Title	Status	Arrived
Michael H. Payment	Commissioner	Present	
Paul M. Beaumont	Commissioner	Present	
J. Owen Etheridge	Commissioner	Present	
Mary "Kitty" Etheridge	Commissioner	Present	
Selina S. Jarvis	Commissioner	Present	
Kevin E. McCord	Commissioner	Present	
Bob White	Commissioner	Present	

Chairman Payment called the meeting to order.

# A) Invocation & Pledge of Allegiance

Mark Bissell, a meeting attendee, offered the Invocation and led the Pledge of Allegiance.

# B) Approval of Agenda

Commissioner White moved for approval of the agenda. The motion was seconded by Commissioner Jarvis. The motion carried, 7-0.

Approved agenda:

# 2:00 PM Call to Order

- A) Invocation & Pledge of Allegiance
- B) Approval of Agenda

# C) Public Comment

Please limit comments to matters other than those appearing on this agenda as a Public Hearing. Public comments are limited to 3 minutes.

# **Commissioner's**

<u>Report</u>

County Manager's

<u>Report</u>

# Public Hearings

- A) PB 84-11: Corolla Light PUD, Phase 11- Outer Banks Ventures submitted an amended sketch plan/use permit application to allocate 8 residential units to Phase 11, located at 1099 Ocean Trail, Corolla.
- B) PB 18-23: Fost Development, PRD (Phases 1-5)-Moyock Development, LLC, submitted an amended preliminary plat/use permit application for the purpose of connecting the development to an off-site wastewater treatment facility (major utility), modify the clubhouse area and enlarge the pond, and adjust the phasing lines. Fost Development is a Planned Residential Development and Phases 1-5 include 301 residential units and associated infrastructure.

## New Business

- A) Consideration of Resolution Assigning County Property Located at 117 North Point Boulevard, Moyock, North Carolina for Economic Development Purposes
- B) Consent Agenda
  - 1. Budget Amendments
  - 2. Nextel Communications of the Mid-Atlantic, Inc. ("Sprint") Cell Tower Upgrades, Corolla
  - 3. Memorandum of Understanding-State of NC and Currituck County Department of Social Services
  - 4. Approval Of Minutes-January 4, 2021

## <u>Recess</u>

# Special Meeting-Tourism Development Authority

TDA-Budget Amendments

## <u>Adjourn TDA</u>

## Reconvene Regular Meeting/Work Session

Mobile Classrooms

# <u>Adjourn</u>

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis,
	Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

# C) Public Comment

# Please limit comments to matters other than those appearing on this agenda as a Public Hearing. Public comments are limited to 3 minutes.

Chairman Payment opened the Public Comment period. The two speakers signed up did not speak and instead addressed the Board during the quasi-judicial hearing Item A, Corolla Light Use Permit Amendment. There were no other speakers and the Public Comment period was closed.

# COMMISSIONER'S REPORT

Commissioner J. Owen Etheridge discussed unemployment figures for Currituck County, and said the historically low rates speak highly of Currituck County's economy.

Commissioner McCord provided information on the following day's Covid-19 vaccination clinic and encouraged citizens who want a vaccine to register through the County's call center.

Commissioner Beaumont serves on the Veterans Advisory Board and reported on the recent meeting. He said it was well attended and discussed a presentation by Currituck resident Barbara Snowden, a retired History teacher and member of the Historical Society, on the Veteran's registry available to all of Currituck County's Veterans. Commissioner Beaumont encouraged Veterans to register their service on the County website as a way to help increase available services in the area.

Chairman Payment reported on the processes and procedures followed by Albemarle Regional Health Services (ARHS) to secure vaccines for distribution in the counties they serve. He reminded citizens of the new decal required for residents and property owners to dispose of household waste at the county's convenience sites. Chairman Payment announced the Board's upcoming retreat and encouraged citizens to attend. He asked everyone to keep first responders in their prayers.

Commissioner White thanked Chairman Payment for his service on the ARHS Board and acknowledged the additional time involved with the onset of the Covid-19 pandemic. He discussed how and where the county posts Covid-related and general information for the public. He encouraged citizens to join the County's Facebook and other social media sites and to review the County website for information and updates.

Commissioner Mary Etheridge expressed her appreciation for those working to distribute Covid-19 vaccines and thanked everyone for their efforts.

Commissioner Jarvis reported she served as Currituck County's voting delegate for the North Carolina Association of County Commissioners (NCACC) Legislative Goals conference, where county delegates voted on a series of goals to benefit all 100 North Carolina counties. She said the goals can be found on the NCACC website. She, too, thanked Chairman Payment and others working to distribute Covid-19 vaccinations. Commissioner Jarvis discussed the recent Presidential inauguration and hopes the country can come together and move forward.

# COUNTY MANAGER'S REPORT

Ben Stikeleather, County Manager, reported on the vaccination clinics held in the County over the past week and described the registration and notification processes for citizens. He discussed the role of Albemarle Regional Health Services and reviewed ways in which the County is assisting to facilitate the vaccine roll-out. Mr. Stikeleather is working with ARHS to set up clinics in Corolla and Knotts Island. He announced the upcoming Board Retreat scheduled February 4-6, 2021, in the Historic Courthouse Board Meeting Room.

# PUBLIC HEARINGS

A. PB 84-11: Corolla Light PUD, Phase 11-Outer Banks Ventures submitted an amended sketch plan/use permit application to allocate 8 residential units to Phase 11, located at 1099 Ocean Trail, Corolla.

APPLICATION SUMMARY	
Property Owner:	Applicant:
Richard C. Willis	Richard C. Willis
Outer Banks Ventures, LLC	Outer Banks Ventures, LLC
PO Box 549	PO Box 549
Corolla, NC 27927	Corolla, NC 27927
Case Number: PB 84-11	Application Type: Amended Sketch Plan/Use Permit
Parcel Identification Number:	Existing Use:
115B-000-P2AU-0000	Planned Unit Development (PUD)
2006 Land Use Plan Classification:	Parcel Size (Acres):
Full Service	0.92 (Subject Parcel)
	267.05 (Overall PUD)
Request: Amend Sketch Plan/Use Permit	Zoning: SFO with PUD Overlay
Number of Units:	Project Density:
9 unite (Subject Derect Dhase 11)	8.69 units per acre (Subject Parcel – Phase
8 units (Subject Parcel – Phase 11)	11)
603 units (Overall PUD)	2.51 units per acre (Overall PUD)
Required Open Space:	Provided Open Space:
93.47 acres (35%) (Overall PUD)	128.51 acres (48.12%) (Overall PUD)
.32 acres (35%) (Subject Parcel – Phase 11)	.44 acres (48%) (Subject Parcel – Phase 11)

SURROUNDING PARCELS		
	Land Use	Zoning
North	Shad Street & Corolla Light Single-Family Residential	SFO with PUD Overlay
South	Beacon Villas – 16 duplexes (Multi-Family Subdivision)	SFO with PUD Overlay
East	Single-Family Dwellings (Whalehead Subdivision)	SFO with PUD Overlay
West	NC12 & Corolla Light Single-Family Residential	SFO with PUD Overlay

#### Narrative

The subject property (Phase 11) is part of the Corolla Light Planned Unit Development (PUD) and is subject to the Amended Sketch Plan. The property is designated commercial, and the applicant is requesting amended sketch plan/use permit approval for eight dwelling units on the property.

The applicant is proposing a mixed-use development. Two upper-story dwelling units are proposed in the existing building with commercial use on the ground level. Two 3-story multi-family buildings with three dwelling units in each building are proposed.

The site is located at the corner of Ocean Trail and Shad Street. There are multiple utility uses on-site including a water tower, telecommunications tower, several accessory/equipment buildings, propane tanks and generators. Easements for access to the utilities are held by the county, AT&T, Verizon, and Charter.

In the original Corolla Light PUD sketch plan, Phase 11 was approved for utility purposes including a water treatment plant and the property was designated as utility open space.

- In 2008, the Board approved an amendment to the sketch plan that included the following:
  - Phases 10, 11, 13 and 14 were rezoned from utility open space to General Business.
  - Phase 11 was approved for commercial use only.
  - 100 residential dwelling units were approved for Phases 10, 13 and 14.

In 2017 the county removed the water treatment equipment from the existing building on Phase 11. There are still elements of the water infrastructure on the property, but the building and has reverted to the owner. The building may be used for commercial purposes subject to the review standards of the UDO.

There is an existing issue with building occupancy. According to the applicant, the existing building is being used for residential occupancy. The property is not currently zoned for residential use and there is no density assigned to the property. This request will allow the applicant to conform to the county's ordinance by properly permitting residential use of the existing building.

A preliminary site plan as well as preliminary architectural renderings were provided to illustrate the proposed uses and project layout. The site plan includes areas designated for open space as well as active recreation open space. Included in the proposal are a swimming pool, playground area, dog park area, seasonal garden area, decorative fountain, and cornhole/game area. The open space proposed meets the requirement for the site; however, the location of some proposed amenities appear to have compatibility issues within the site. For example: the walkway for access to the pool from the proposed multi-family buildings will be between the existing Verizon equipment building and the water tower.

#### Community Meeting

A community meeting was held on November 23, 2020. The applicant and his engineer were present along with Planning Staff. Employees of Corolla Light Resort as well as neighboring property owners were in attendance. The attendees asked questions regarding the proposal. A community meeting summary is included in the agenda packet as well as a response to the meeting summary that was received from several attendees of the meeting on January 12, 2021.

INFRASTRUCTURE	
Water	SOUTHERN OUTER BANKS WATER SYSTEM (SOBWS)
Sewer	CAROLINA WATER SERVICE (PRIVATE)

# RECOMMENDATIONS

# TECHNICAL REVIEW COMMITTEE

The Technical Review Committee recommends **denial** of the use permit because the request is not consistent with goals and policies of the Land Use Plan and there are compatibility issues within the site and with surrounding land uses including the requested site-specific density.

# USE PERMIT REVIEW STANDARDS

A use permit shall be approved on a finding that the applicant demonstrates the proposed use will meet the below requirements. It is staff's opinion that the evidence in the record, prepared in absence of testimony presented at a public hearing, supports the preliminary findings related to Land Use Plan conformity and adequate public facilities.

The use will not endanger the public health or safety.

Preliminary Applicant Findings:

Transportation, potable water, wastewater and stormwater management will be addressed in accordance with the following:

- Transportation: The existing entrance configuration on Shad Street will be utilized with no direct connection to NC12 other than a pedestrian connection to the existing walkway. A driveway permit and encroachment agreement have been approved by NCDOT. Appropriate access has been made for emergency services vehicles.
- 2. Potable Water: Water will be supplied by Currituck County via existing water mains located on NC 12 and Shad Street. Fire protection will be provided in accordance with the NC Fire Code and applicable ISO standards.
- 3. Wastewater: Capacity for the development has been allocated by Carolina Water Service in the existing Monteray Shores Wastewater Treatment Facility which is regulated by NCDEQ and the NC Utilities Commission.
- 4. Stormwater Management: Stormwater will be collected and infiltrated via the existing basin on Shad Street, which will be able to accommodate the small additional impervious coverage proposed for the site.

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Preliminary Applicant Findings:

1. Adjacent properties are a combination of single family and multi-family development; community compatibility standards will be adhered to in the architectural design and

materials that are proposed for the new construction. Landscaping and buffering are also being provided in accordance with the UDO standards and will add to existing vegetative screening that is provided by the significant growth of Live Oaks on the site. The proposed density is lower than that of the adjacent Phase 12 development.

Staff commentary:

Differences between this site and the property to the south, Phase 12, are existing utility uses that impact this parcel and proposed commercial use (restaurant). Phase 12 was developed as 16 duplexes.

The use will be in conformity with the Land Use Plan or other officially adopted plans.

Please reference the application Attachment "A" in the agenda packet for the applicant findings.

Preliminary Staff Findings:

The 2006 Land Use Plan classifies this site as Full Service within the Corolla subarea. The Full Service designation allows for a greater diversity of housing types. The policy emphasis for the Corolla subarea is to allow for predominantly medium density residential development (2 to 3 units per acre) with minimal commercial development arranged in clusters. An overall density of no more than 3 units per acre should apply to PUDs, the prevailing development form in the Corolla area.

The request does not appear to be in direct conflict with the 2006 Land Use Plan with respect to the proposed mixed-use development and overall density of a PUD nor is it in direct conflict with the Transitional Provisions of the UDO with respect to dimensional and overall density standards for PUDs. However, there are compatibility issues within the site and with surrounding land uses. The site is smaller than an acre and this request proposes commercial, multi-family and utility uses.

The project was not designed or planned from the outset as future mixed-use development. This is evident by the placement of buildings on the property that do not appear to be a compatible mixture of residential, non-residential, and utility uses. The existing utility uses on site make it difficult to design an aesthetic project that is compatible with high density residential use.

The 1982 zoning ordinance that was in effect when the Corolla Light PUD was established stated that a PUD is expected to promote a more efficient use of the land, a higher level of amenities and more creative design than would otherwise be possible. The current ordinance contains similar language regarding planned developments.

It may be reasonable to include residential dwelling units on the Phase 11 property; however, the density proposed appears to overwhelm the site thus making it difficult to design and place a higher level of amenities on the parcel.

The request is not consistent with the following goals and policies of the Land Use Plan

- 1. Land Use and Development Goal #10
  - To properly distribute development forms in accordance with the suitability of the land, infrastructure available and the compatibility of surrounding land uses.
- 2. Land Use Compatibility CAMA Management Goal

Ensure that development and use of resources or preservation of land minimizes direct and secondary environmental impacts; avoids risks to public health, safety and welfare; and is consistent with the capability of the land based on considerations of interactions of natural and manmade features.

- 3. <u>POLICY CD8</u>: MIXED-USE DEVELOPMENTS, properly planned from the outset, which allow for a compatible mixture of residential and non-residential uses with a pedestrian scale and design, are encouraged. Similarly, businesses may be located adjoining (and therefore convenient to) an existing residential area, when such businesses can be shown to satisfy design considerations similar to a newly planned, pedestrian-scaled, mixed use development.
- <u>POLICY HN1</u>: Currituck County shall encourage development to occur at densities appropriate for the location. LOCATION AND DENSITY FACTORS shall include whether the development

is within an environmentally suitable area, the type and capacity of sewage treatment available to the site, the adequacy of transportation facilities providing access to the site, and the proximity of the site to existing and planned urban services.

 <u>POLICY HN3</u>: Currituck County shall especially encourage two forms of residential development, each with the objective of avoiding traditional suburban sprawl:
 <u>OPEN SPACE DEVELOPMENTS</u> that aluster homeo on loss long property.

1. OPEN SPACE DEVELOPMENTS that cluster homes on less land, preserving permanently

dedicated open space and often employ on-site or community sewage treatment. These types of developments are likely to occur primarily in the Conservation, Rural, and to a certain extent the Limited Service areas identified on the Future Land Use Map.

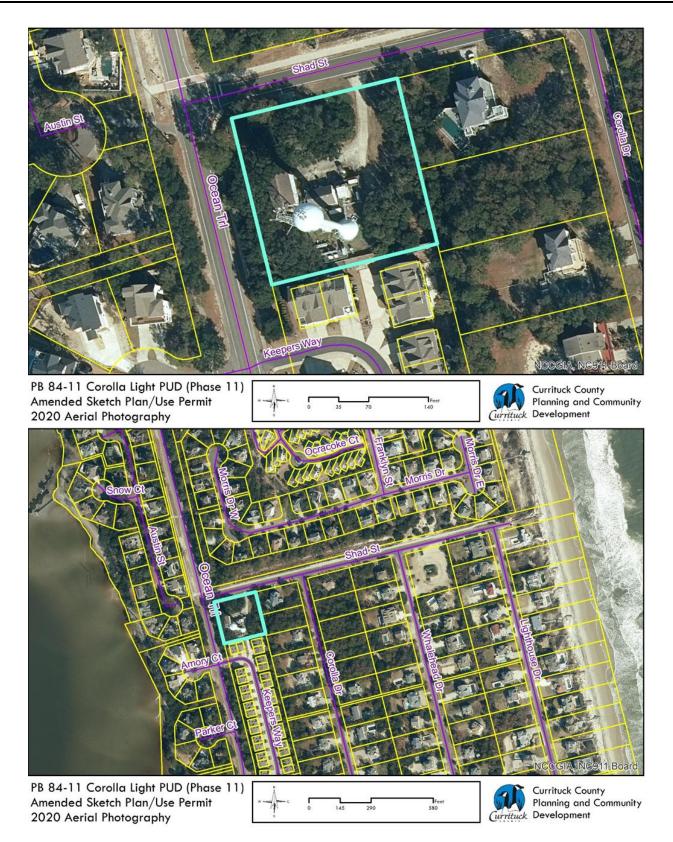
2. COMPACT, MIXED USE DEVELOPMENTS or DEVELOPMENTS NEAR A MIXTURE OF USES that promote a return to balanced, self-supporting community centers generally served by centralized water and sewer. The types of development are contemplated for the Full Service Areas identified on the Future Land Use Map.

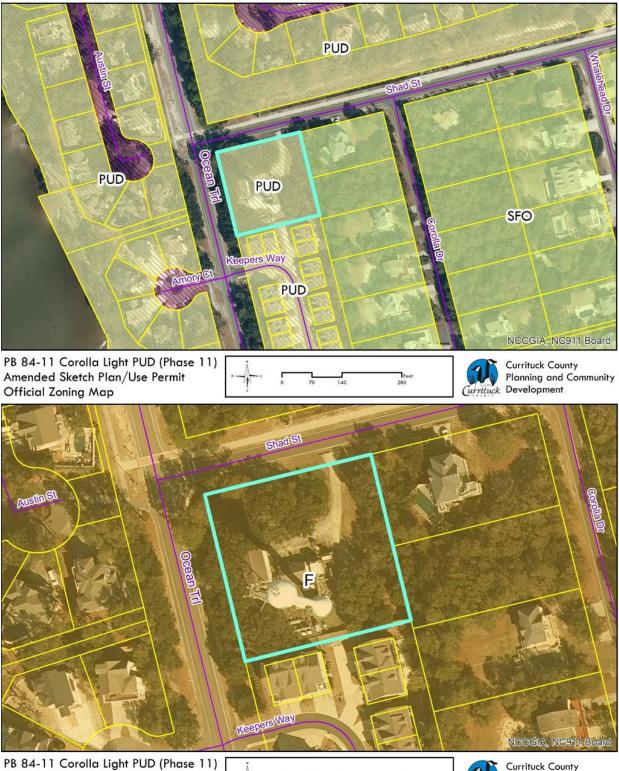
6. <u>POLICY HN9</u>: Proposed residential development that would expose residents to the harmful effects of INCOMPATIBLE LAND USES or to ENVIRONMENTAL HAZARDS shall be prohibited. This would include, for example, residential development in locations adversely impacted by proximity to the airport or to activities involving excessive noise, light, odors, dust, fertilizers and insecticides (e.g. certain farm operations, mining activities, etc.).

The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to: schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

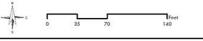
Preliminary Staff Findings:

1. The proposed use will not exceed the county's ability to provide adequate public facilities. Utility services are proposed for the site, wastewater and water capacity are available.





PB 84-11 Corolla Light PUD (Phase 1 Amended Sketch Plan/Use Permit Land Use Plan Classification



Currituck County Planning and Community Currituck Development

Parties were sworn in and County Planner, Jennie Turner, reviewed the application, staff report, and supporting documents included in the agenda packet for Commissioners. The overhead was used during presentation to display maps, site plans and renderings. Use

Permit review standards and staff preliminary findings were presented. Denial of the application was recommended by the Technical Review Committee (TRC).

Ms. Turner responded to questions during and after presentation and clarified several aspects in the site plan, utility easements, and reviewed the location of the walking path in relation to the towers.

Greg Wills, Attorney for the applicant, addressed the Board and introduced experts to testify on behalf of the applicant.

Mark Bissell, Engineer, provided his background and experience and was tendered as an expert. Mr. Wills submitted his resume into evidence as Exhibit 1. Mr. Bissell reviewed the site plan and used the overhead to show photos of the location. An overview of the application, site and phasing plan, recreation areas, architecture and improvement to existing structure were presented. Mr. Bissell presented information and policies relevant to the findings of fact to support approval of the request.

Mr. Bissell responded to questions during the application review. He said public utilities stated access through the easement was adequate when asked about the existing utilities on the property. Commissioner Beaumont considered the increased density proposed on site and asked if rules existed pertaining to a fall radius for the cell tower. Laurie LoCicero, Planning and Community Development Director, later reported that no specific information was found in the Unified Development Ordinance in effect at that time to address a fall zone.

President of Outer Banks Ventures, Richard Willis, provided his education, experience and role as Project Manager during development of the Corolla Light community. He responded to questions posed by Commissioner White. Mr. Willis said he has lived on the property since 2012. He said he believed he had right to residential use at the location and described the removal of the water utility from the site, with the exception of the existing water tower now used by Southern Outer Banks Water System. He said there is no operational activity on the site for the water tower or cell tower. Mr. Willis was agreeable to fencing areas of concern for public safety. Mr. Willis and Mr. Wills emphasized access over the utility easements would continue, and since no mention of the fall radius for the cell tower were made during the application process, they would like an opportunity to address concerns if it becomes an issue.

Chairman Payment briefly recessed at 3:42 PM. The meeting reconvened at 3:50 PM.

Steven Craddock, North Carolina Certified Appraiser, provided his education and background to be tendered as an expert witness in real estate appraisals. Mr. Wills submitted Mr. Craddock's resume for the record as Exhibit 2. Mr. Craddock presented historic and current market trends for Corolla, home pricing and sales data, and reviewed information based on his inspection of the subject property and adjoining and abutting properties. He said the property is not at its highest and best use currently, and the proposed use will improve the property, better meet commercial demand in the area, and benefit the county's tax base. Mr. Craddock recommends approval of the request, determined through assessment, that the use will not injure the value of adjoining or abutting land and will be in harmony with the area. He provided comment relative to the fall zone of the cell tower and noted the subdivision south of the location would be within the fall zone of the tower. Mr. Craddock responded to questions about the data used for analysis, methods, and experience assessing multi-family next to single-family.

Chairman Payment opened the Public Hearing.

Pat Roberts, Assistant General Manager of Corolla Light Resort and homeowner to the south of the subject property, opposes approval of the request. He cited concerns similar to those expressed by the Technical Review Committee and highlighted public safety concerns with the increased density and the mix of uses on the parcel. He discussed drainage and expressed concerns with maintenance of the property. In response to questions, Mr. Roberts said it is his understanding that the proposed residences to be constructed would not meet the criteria that would allow the use of the Corolla Light amenities. He said no identifying signage is located at the site.

Bruce Yeutter, of Corolla, and owner of the fifth house built in the Corolla Light development, presented a history of the community and noted his support for other proposals years ago. He opposes approval of the request because the proposal is in conflict with Corolla Light's architectural standards and does not conform to the neighborhood. He expressed disappointment with the approach to development in Corolla Light the last several years, believing it is all for profit. When asked about the Village Shops, commercial in Corolla Light, he said they were included in the original design and were not a surprise along the way. He discussed challenges with the community meeting and disagreed with how some of the comments were expressed in the summary.

Ms. LoCicero was asked to discuss the process followed for additional density that was applied to Corolla Light Planned Unit Development. She explained Beacon Quarters were condo units and went through an administrative process because condos do not require approval by the Board of Commissioners. She discussed Land Use Plan policies referenced during the applicant's presentation and said the policies are general in nature and open to interpretation.

No others wished to speak and Chairman Payment closed the Public Hearing.

Commissioner White made a motion to table the item to the February 1, 2021, Board of Commissioners meeting to allow time to consider the request and work through conditions. Commissioner Jarvis seconded the motion. The motion carried, 7-0.

RESULT:	TABLED [UNANIMOUS]	Next: 2/1/2021 6:00 PM
MOVER:	Bob White, Commissioner	
SECONDER:	Selina S. Jarvis, Commissioner	
AYES:	Michael H. Payment, Commissioner, Paul M. Beau	mont, Commissioner, J.
	Owen Etheridge, Commissioner, Mary "Kitty" Ether	idge, Commissioner, Selina
	S. Jarvis, Commissioner, Kevin E. McCord, Commi	ssioner, Bob White,
	Commissioner	

## B. PB 18-23: Fost Development, PRD (Phases 1-5)-

Property Owner:	Applicant:	
Moyock Development LLC	Moyock Development LLC	
417-D Caratoke Hwy	417-D Caratoke Hwy	
Moyock NC 27958	Moyock NC 27958	
Case Number DD 10.00	Application Type: Amended Preliminary	
Case Number: PB 18-23	Plat/Use Permit	

Parcel Identification Number: 0015-000-0086-0000	Existing Use: Planned Development under construction
Land Use Plan Classification: Full Service	Parcel Size (Acres): 137.18 (Phases 1-5) 228.28 (Total)
Moyock Small Area Plan Classification: Limited Service	Zoning: PD-R
Number of Units: 301	Overall Project Density (units/acre): 2.19
Required Open Space (Acres): 41.15	Provided Open Space (Acres): 44.95

SURROUNDING PARCELS		
	LAND USE	ZONING
North	SINGLE-FAMILY DWELLINGS, RETAIL	AG, GB, SFM
South	SINGLE-FAMILY DWELLINGS, CULTIVATED FARMLAND	AG, SFM
EAST	SINGLE-FAMILY DWELLINGS, CULTIVATED FARMLAND	GB, SFM
WEST	SINGLE-FAMILY DWELLINGS, CULTIVATED FARMLAND	AG

On January 21, 2020, the Board of Commissioners approved the Preliminary Plat/Use Permit for Phases 1-5 of Fost Planned Development (see attached). The developer is requesting an amended approval to:

- Remove on-site WWTP and allow connection to the newly approved private Currituck Water and Sewer Inc private facility at Eagle Creek
- Remove the RV parking from Phase 1 and provide a temporary RV parking area for Phase 1
- Shift location of clubhouse slightly north and enlarge pond beside it
- Modify phasing lines
- Modify boundary lines to match actual field survey
- Resultant modifications to open space boundaries

The Board of Commissioners approved the below phasing plan as part of the project approval. The proposed amended phasing plan changes are noted.

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	<del>55</del> -51	October 2021
4	<del>73</del> 77	April 2022
5	37	October 2022

Providing adequate public facilities for this development remains a concern since the elementary schools and high schools are near or over 100% <u>committed capacity</u>. (See

Adequate Public Facilities – Schools Table below). However, it should be noted that the students generated from Fost, Phases 1-5, are vested since the Board of Commissioners approved the Preliminary Plat/Use Permit previously.

ADEQUATE PUBLIC FACILITIES – SCHOOLS <sup>1</sup>				
	2019- 2020	2021-		Proposed Capacity Changes
School	2020- 2021 Actual Capacit y <sup>2</sup>	2022 Actual Capacity <sup>3</sup>	Committed Capacity <sup>3</sup>	Number of Students
Moyock Elementary	109%	115%		
Shawboro Elementary	94%	97%	126%	
Central Elementary	80%	89%		
Griggs Elementary	56%	59%	101%	
Jarvisburg Elementary	82%	88%	101%	
Knotts Island Elementary	35%	36%	36%	
Moyock Middle	95%	79%	0.20/	
Currituck Middle	61%	19%	93%	
Currituck High	84%			
JP Knapp Early College	93%	86%	106%	

<sup>1</sup>Does not include minor subdivisions, exempt subdivisions, and subdivisions approved prior to the adoption of the adequate public facilities ordinance (October 1994)

<sup>2</sup>Capacity percentages are based on 2019-2020 and 2020-2021 school year classroom standards and August 2020 ADM <sup>3</sup>Capacity percentages are based on the 2021-2022 school year classroom standards and August 2020 ADM

The developer held a community meeting on September 23, 2020 at the Eagle Creek Pavilion. Three residents attending the meeting. All were from Ranchland and asked questions about how the sewer would work, entrance locations, drainage ditch improvements to help Ranchland, and berm location.

INFRASTRUCTURE		
Water	Public	
Sewer	Private Centralized System (on-site at Eagle Creek)	
Transportation	<ul> <li>Pedestrian: A series of sidewalks and pedestrian trails; The developer must install an 8' multi-use path along the Caratoke Highway property line as required by the Connect Currituck Plan.</li> <li>Connectivity Score: Minimum = 1.6 Proposed = 1.67         <ul> <li>One Connection to Caratoke Highway</li> <li>One Connection to Moyock Farms</li> <li>Four connections to Flora Farm</li> </ul> </li> </ul>	
Stormwater/Drainage	See attached map for required stormwater/drainage improvements (PB 18-23 Fost PD-R Rezoning Stormwater Conditions dated 7/2019 prepared by engineering staff)	
Design Standards	Multi-family design standards apply to the townhomes.	
Lighting	Street lights are proposed and must be full cut-off fixtures	

Landscaping	Farmland buffers, WWTP/utility buffers, street trees, major arterial screening, and site landscaping are required			
Compatibility	The BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods at its May 6, 2019 meeting.			
<b>Recreation and Park Area</b>	The applicant will be paying approximately \$27,021 as a fee-in-			
Dedication	lieu of recreation and park area dedication for these phases.			
Riparian Buffers	There are no wetlands in these phases.			

# RECOMMENDATIONS

#### **TECHNICAL REVIEW COMMITTEE**

TRC RECOMMENDS APPROVAL OF THIS REQUEST PROVIDED:

- 1. The application complies with all applicable review standards, so long as the following items are adequately addressed:
  - July 2019 required stormwater improvements remain unchanged (attached).
  - The amended phasing schedule must be adhered to.
- 2. The applicant has demonstrated that the proposed use will meet the use permit review standards of the UDO.
- 3. The conditions of approval necessary to ensure compliance with the review standards of the UDO and to prevent or minimize adverse effects of the development application on surrounding lands include all items in Number 1 above.

# USE PERMIT REVIEW STANDARDS

A USE PERMIT SHALL BE APPROVED ON A FINDING THAT THE APPLICANT DEMONSTRATES THE PROPOSED USE WILL MEET THE BELOW REQUIREMENTS. ON JANUARY 21, 2020 THE BOARD OF COMMISSIONERS ADOPTED THE FOLLOWING FINDINGS OF FACT THAT REMAIN RELEVANT WITH THE AMENDED PLAN REQUEST.

The use will not endanger the public health or safety.

PRELIMINARY APPLICANT FINDINGS:

Transportation, portable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

 <u>Transportation</u>: The main subdivision entrance will be connected directly to NC 168 (Croatan Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and will be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast (Auction Site) and to the west.

Roadways will be laid out generally as shown on the Master Plan and will be in accordance with the approved right-of-way and pavement width characteristics, using the NCDOT complete streets planning manual as a guide.

Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.

- 2. <u>Potable Water</u>: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards and the applicable ISO standards. The water system will be modeled to demonstrate adequate flow and pressure for fighting fires while meeting the maximum day domestic demand.
- 3. <u>Wastewater:</u> Centralized wastewater treatment and disposal facility will be provided in accordance with North Carolina Standards and approved by NCDEQ and/or NCDHHS. A wastewater collection system will be constructed by the developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.
- 4. <u>Stormwater Management</u>: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laying back the slopes and stabilizing the portion of Rowland Creek that runs from Eagle Creek Subdivision to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along Ranchland and the Auction property, and to excavate a new ditch that would be available to Ranchland along the common property line from the Auction site (PIN 00230000070000) to south of the power easement. Subject to obtaining right of entry to other properties, the Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance.

On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets.

In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2- year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions.

Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

PRELIMINARY APPLICANT FINDINGS:

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Caratoke Highway is commercial, land to the east is

farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

- 1. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
- 2. To the north (Caratoke Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will

be set back at least 200 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.

- 3. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.
- 4. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
- 5. Limited commercial development proposed to be located interior to the development and will front along the landscaped entrance boulevard.
- 6. Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to increase the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275 lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

The use will be in conformity with the Land Use Plan or other officially adopted plans.

PRELIMINARY STAFF FINDINGS:

- 1. At its May 6, 2019 meeting, the BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods because:
  - a. The proposed conditions for the property will improve drainage problems on the property and with nearby Ranchland Subdivisions if improvements can be made to drainage system on off-site properties, and;
  - b. THE PDR IS COMPATIBLE WITH EXISTING MOYOCK TOWNSHIP SUBDIVISIONS.

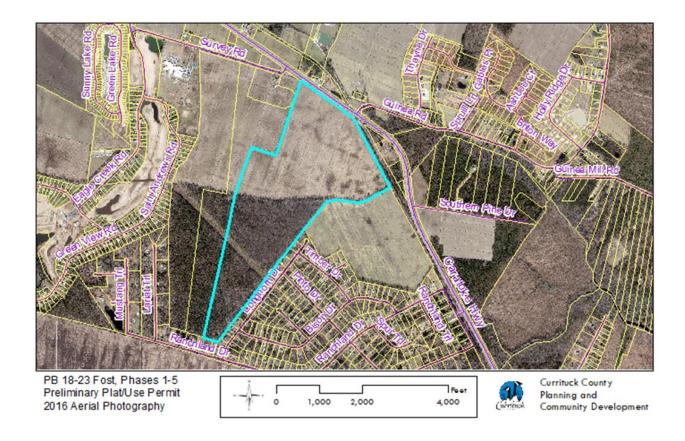
The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to: schools, fire and rescue, law enforcement, and other county facilities.

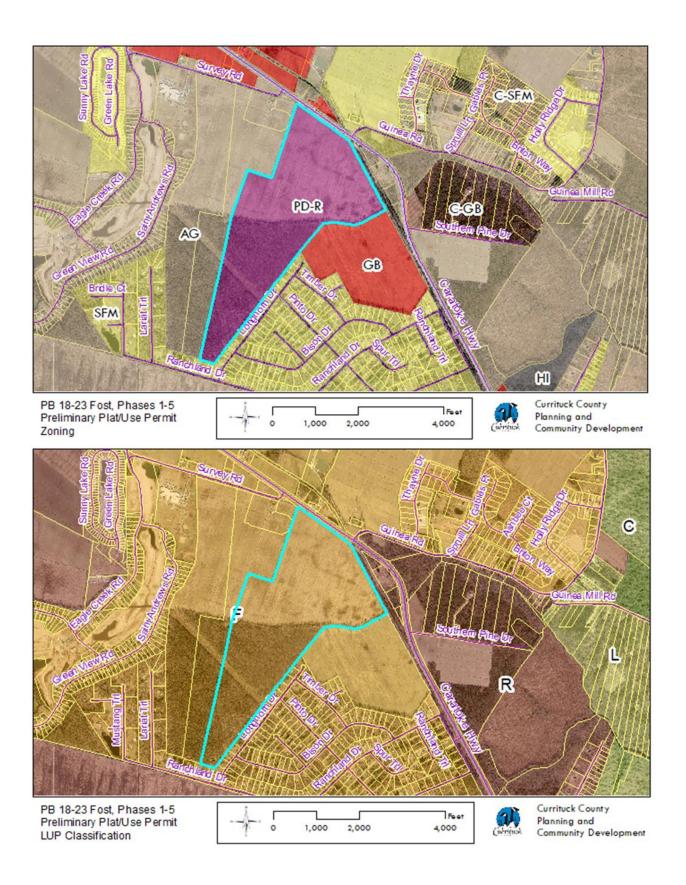
Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

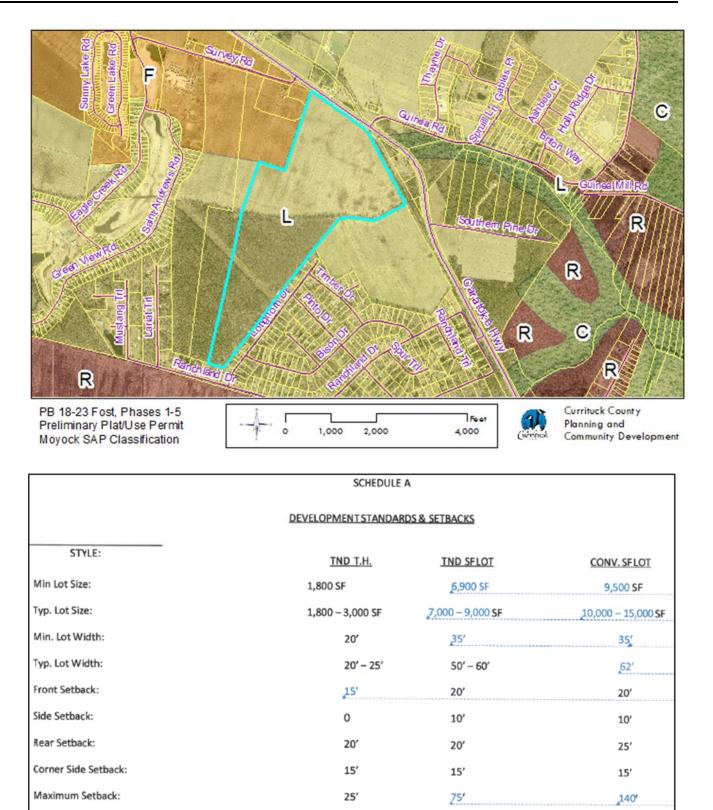
PRELIMINARY STAFF FINDINGS:

- On December 11, 2019 the Board of Education revised its statement about the school district and determined that this development is entirely within the Shawboro school district. The Superintendent also advised that Shawboro Elementary School has capacity for the 119 elementary students this development is projected to generate, with Phases 1-5 expected to generate 75 of those students, based on the July 9, 2004 Tischler Study Student Generation Rates.
- 2. The county can provide adequate facilities, including but not limited to fire, emergency services, and law enforcement to serve the development.
- 3. The following amended phasing schedule shall be adhered to:

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	51	October 2021
4	77	April 2022
5	37	October 2022







Maximum Height:

Maximum Bldg. Size:

Maximum Lot Coverage:

35'

16,000 SF

100%

35'

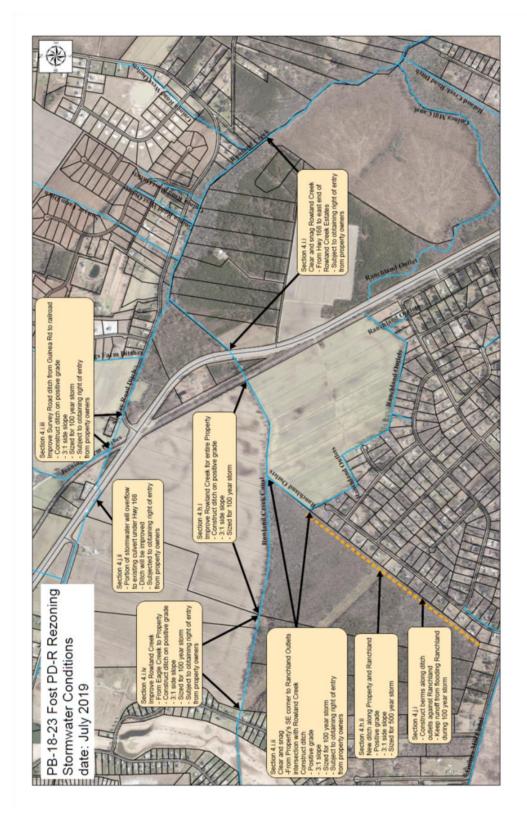
N/A

45%

35'

N/A

<mark>,60%</mark>



Parties were sworn in and Planning and Community Development Director, Laurie LoCicero, reviewed the application, staff report, and supporting documents included in the agenda

packet for Commissioners. The overhead was used during presentation to display maps, site plan revisions and stormwater conditions from the original approval. Use Permit review standards and staff preliminary findings were presented to support the Technical Review Committee (TRC) recommendation for approval of the request.

During presentation, Ms. LoCicero responded to questions related to the various amendments the Board has previously considered for the Fost Tract development.

Mark Bissell, Engineer for the applicant, said no Attorney for the applicant was present for the hearing. County Attorney, Ike McRee, provided a statement to inform the Board that Mr. Bissell, acting as the applicant's representative, would be considered as practicing law without a license. Mr. Bissell chose to proceed with the hearing.

Mr. Bissell said the purpose for the application is to amend the Use Permit so it will correspond with the revised PD-R (Planned Development-Residential) plan approved by the Board in November which allowed the development to hook up to a major central wastewater utility. Mr. Bissell responded to questions relative to earlier revisions in the Fost development plan. He said the County's Unified Development Ordinance does not allow staff to make minor changes, and therefore all revisions must be brought to the Board for approval. Responding to questions about wastewater, he said he had no specific details on the status of the Eagle Creek wastewater utility, but the utility is in contact with the Department of Environmental Quality and the Utilities Commission. He reviewed the changes requested in the application. Findings of fact consistent with those in the original approval were reviewed.

Chairman Payment opened the Public Hearing. No one was signed up nor wished to speak and the Public Hearing was closed.

Commissioner J. Owen Etheridge moved for approval of PB 18-23: Fost, Phases 1-5, Amended Preliminary Plat/Use Permit, with staff recommendations because the applicant has demonstrated the proposed use meets the use permit review standards of the Unified Development Ordinance (UDO).

The use will not endanger the public health or safety. Transportation, potable water, wastewater and stormwater management will be addressed in accordance with the following:

- <u>Transportation</u>: The main subdivision entrance will be connected directly to NC 168 (Caratoke Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and will be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast (Auction Site) and to the west. Roadways will be laid out generally as shown on the Master Plan and will be in accordance with the approved right-ofway and pavement width characteristics, using the NCDOT complete streets planning manual as a guide. Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.
- <u>Potable Wate</u>r: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards. The water system will be modeled to demonstrate adequate flow and pressure for

fighting fires while meeting the maximum day domestic demand.

- 3. <u>Wastewater:</u> Centralized wastewater treatment and disposal facility will be provided in accordance with North Carolina Standards and approved by NCDEQ and/or NCDHHS. A wastewater collection system will be constructed by the developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.
- 4. Stormwater Management: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laving back the slopes and stabilizing the portion of Rowland Creek that runs through the Eagle Creek Subdivision to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along the Ranchland and Auction property, and to excavate a new canal that would be available to Ranchland along the common property line from the Auction site (PIN 00230000070000 ) to south of the powerline easement. Subject to obtaining right of entry to other properties, the Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance. On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets. In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2- year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions. Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Caratoke Highway is commercial, land to the east is farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

- 1. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
- 2. To the north (Caratoke Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least 200 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.
- 3. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland

subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.

- 4. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
- 5. Limited commercial development proposed to be located interior to the development and will front along the landscaped entrance boulevard.
- 6. Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to increase the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275-lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

The use will be in conformity with the Land Use Plan (LUP) or other officially adopted plans.

At its May 6, 2019 meeting, the BOC determined that this development was compatible with the LUP, Moyock Small Area Plan, and the surrounding neighborhoods because:

- 1. The proposed conditions for the property will improve drainage problems on the property and with nearby Ranchland subdivisions if improvements can be made to drainage system on off-site properties, and;
- 2. The PDR is compatible with existing Moyock Township subdivisions.

The use will not exceed the county's ability to provide adequate public facilities:

- 1. On December 11, 2019 the Board of Education revised its statement about the school district and determined that this development is entirely within the Shawboro school district. The Superintendent also advised that Shawboro Elementary School has capacity for the 119 elementary students this development is projected to generate, with Phases 1-5 expected to generate 75 of those students, based on the July 9, 2004 Tischler Study Student Generation Rates.
- 2. The county can provide adequate public facilities, including but not limited to fire, emergency services, and law enforcement to serve the development.

Commissioner McCord seconded the motion. The motion carried on a 6-1 member vote,

with Commissioner Mary Etheridge opposed.

RESULT:	MOTION PASSED-ITEM APPROVED [6 TO 1]
AYES:	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J.
	Owen Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E.
	McCord, Commissioner, Bob White, Commissioner
NAYS:	Mary "Kitty" Etheridge, Commissioner

# NEW BUSINESS

# A. Consideration of Resolution Assigning County Property Located at 117 North Point Boulevard, Moyock, North Carolina for Economic Development Purposes

County Attorney, Ike McRee, described the two-step process required pertaining to setting aside property for Economic Development purposes in consideration of a future long-term lease of the subject property. Mr. McRee reviewed the Resolution for Board consideration that would set the property aside. A subsequent meeting would consist of a Public Hearing for consideration of a lease agreement with Truck Accessory Center for the property.

Following review, Commissioner J. Owen Etheridge moved for adoption of the Resolution. Commissioner Beaumont seconded the motion. The motion carried, 7-0.

# **RESOLUTION OF THE BOARD OF COMMISSIONERS FOR CURRITUCK COUNTY, NORTH CAROLINA ASSIGNING CERTAIN COUNTY PROPERTY FOR ECONOMIC DEVELOPMENT PURPOSES**

WHEREAS, in 2008 Currituck County acquired property at 117 North Point Boulevard, Moyock, North Carolina and thereafter utilized the property for travel and tourism purposes in conjunction with adjacent county property located at 106 Caratoke Highway, Moyock, North Carolina; and

WHEREAS, it is no longer necessary to use all the property located at 117 North Point Boulevard, Moyock, North Carolina for travel and tourism purposes and because the property is in a General Business Zoning District it is appropriate to utilize a portion of the property for economic development purposes; and

WHEREAS, Currituck County desires to hold a portion of the property located at 117 North Point Boulevard, Moyock, North Carolina for lease to a private company for its use and enhancement of economic development in the county.

NOW, THEREFORE, BE IT RESOLVED by the Currituck County Board of Commissioners that:

Section 1. A portion of the county's property located at 117 North Point Boulevard, Moyock, North Carolina previously held for travel and tourism purposes, more particularly described below, is now held by the county for economic development purposes pursuant to N.C. Gen. Stat. §158-7.1:

Beginning at an existing iron rebar situated in the southwest corner of Currituck County property more particularly shown at Plat Cabinet K, Slide 106 of the Currituck County Registry, the northeast comer of Lot 55, Phase 2, North Point Subdivision, more particularly shown at Plat Cabinet D. Slide 76 of the Currituck County Registry and northwest corner of Frank C. Bernard, Jr. and wife, Phyllis A. Bernard property more particularly described at Deed Book 283, Page 179 of the Currituck County Registry; thence from the point of beginning along the western boundary line of Currituck County property more particularly shown at Plat Cabinet K. Slide 106 of the Currituck County Registry North 32 degrees 59 minutes 55 seconds West 167.00 feet to a point, cornering; thence North 57 degrees 00 minutes 05 seconds East 274.85 feet to a set rebar in the southeastern boundary line of Currituck County property more particularly shown at Plat Cabinet K, Slide 106 of the Currituck County Registry, cornering; thence South 32 degrees 59 minutes 55 seconds East 167.00 feet to a set rebar; thence South 57 degrees 00 minutes 05 seconds West 274.85 feet to the point and place of beginning.

Section 2. This resolution is effective upon its adoption and supersedes any prior or conflicting resolution.

ADOPTED the 19th day of January 2021.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	J. Owen Etheridge, Commissioner
SECONDER:	Paul M. Beaumont, Commissioner
AYES:	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J.
	Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina
	S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

# B) Consent Agenda

Commissioner Beaumont moved for approval of the Consent Agenda. Commissioner White seconded the motion. The motion carried, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Commissioner
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J.
	Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina
	S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

# 1. Budget Amendments

			Debit	(	Credit
		Decrea	se Revenue or	Increase	e Revenue or
Account Number	Account Description	Increa	ase Expense	Decrea	se Expense
10511-502000	Salaries - Reg	\$	16,300		
10511-502100	Overtime	\$	1,000		
10511-505000	FICA		1,325		
10511-506000	Health Insurance		3,280		
10511-507000	Retirement Expense		2,750		
10511-536000	Uniform		4,500		
10511-532000	Supplies		900		
10511-590000	Capital Outlay		10,430		
10320-411000	Article 39 Sales Tax				40,485
		\$	40,485	\$	40,485
Explanation:	Detention Facility (10511)				
	officer to provide security equip one new detention of				
	weapon and mobile radio.		Enisting part-time		n uniionn,
Net Budget Effe	ct: Operating Fund (10) -	Increased by S	\$40,485.		

				Debit		Cree	dit
	_			Decrease Revenue or		Increase R	
Account Number	Δ	ccount Description		Increase Expense		Decrease	
recount number					_	Decrease	
10430-503000	S	alaries - Election Part-time		\$ 50			
10430-503430		alaries - Poll Workers		1,667	_		
10430-505000	-			132	_		
10510-503000	_	alaries - Sheriff Part-time		90	_		
10510-503500		alaries - Sheriff Temporary		103	_		
10510-505000		ICA		15	_		
10511-503000	_	alaries - Detention Part-time		95	_		
10511-505000		ICA		8	_		
10512-503000	-	alaries - Animal Services Part-tim	e	190	_		
10512-503500		alaries - Animal Services Temp		25	_		
10512-505000		ICA		17	_		
10530-503500		alaries - EMS Temporary		686	_		
10530-505000		ICA		53	_		
10550-503000	_	alaries - Airport Part-time		171	_		
10550-505000		ICA		13	_		
10790-503000	_	Salaries - Library Part-time		141	_		
10790-505000				11	_		
10795-503500	_	alaries - Recreation Temporary		909	_		
10795-505000		ICA		70	_		
10320-411000		rticle 39 Sales Tax		/0	- 	\$	4,446
	ess 31, 2 appro \$25	bus Departments - Increase appro than 750 hours. Employees mus 2020 and been an active employee oved for full time employees by ac over employee. This will be paid o	t have e on De tual ho	worked between Nover cember 1, 2020. This ours worked. The minu	nber pror mum	1, 2019 and ( ates the \$250 bonus amou	October ) amount int will be
	2021						
Net Budget Effect		perating Fund (10) - Increased by	¢1 11	•			
Net Budget Ellect	. (	perating Fund (10) - increased by	φ <del>4</del> ,44	Debit		Crec	lit
				Doon		0.00	
			De	crease Revenue or		Increase Re	venue o
Account Number	-	Account Description	_	ncrease Expense	_	Decrease I	
<u>Account Number</u>		<u>Account Description</u>	-			Decrease	
10/30-511000	-	Tolophono & Postago	\$	1 000			
10430-511000	-	Telephone & Postage		1,000			
10430-532000	-	Supplies	\$	2,000			
10430-532100		Ballot Programs & Imprint					3,000
			\$	3,000		\$	3,000
Explanation:	-	ections (10430) - Transfer budg 20 election.	eted fu	unds for increased co	osts	of the Noven	nber
Net Budget Effe	ct.	Operating Fund (10) - No char	nde				

				Debit		Credit
	-			Decrease Revenue or	Incre	ase Revenue o
Account Number	-	Account Description		Increase Expense		rease Expense
<u>/////////////////////////////////////</u>		<u></u>				
10480-508000		Supplemental Pension		\$ 3,200		
10480-532000		Supplies		1,000		
10480-557300		Excise Tax on Deeds		900,000		
10480-557400		Children's Trust Funds		1,000		
10480-558100		Domestic Violence Center		6,000		
10320-407000		Marriage License				7,000
10320-410000		Deed Stamp Excise Tax				904,200
				\$ 911,200	\$	911,200
Net Budget Effec	ct:	Operating Fund (10) - Increas	sed b	y \$911,200. Debit		Credit
	-			ecrease Revenue or	Incro	ase Revenue o
Account Number		Account Description	_	Increase Expense		ease Expense
10441-511010		Data Transmission	\$	2,500		
10320-411000		Article 39 Sales Tax				2,500
			\$	2,500	\$	2,500
Explanation:		formation Technology (10441) osts for remote working.	) - Inc	creased data transmiss	sion cost	s due to added
				•		
Net Budget Effe	ct:	Operating Fund (10) - Increa	ased	by \$2,500.		

- 2. Nextel Communications of the Mid-Atlantic, Inc. ("Sprint") Cell Tower Upgrades, Corolla
- 3. Memorandum of Understanding-State of NC and Currituck County Department of Social Services
- 4) Approval Of Minutes-January 4, 2021
  - 1. Minutes for January 4, 2021

# RECESS

Chairman Payment recessed the Board of Commissioners meeting to hold a Special Meeting of the Tourism Development Authority.

# SPECIAL MEETING-TOURISM DEVELOPMENT AUTHORITY

The Board of Commissioners sat as the Tourism Development Authority during a recess of the January 19, 2021, Board of Commissioners Special Meeting. The meeting was held in the Historic Courthouse Board Meeting Room, 153 Courthouse Road, Currituck, North Carolina, for the purpose of considering budget amendments.

# **TDA-Budget Amendments**

Chairman Payment called the meeting to order and County Manager, Ben Stikeleather, reviewed the purpose for each of the Budget Amendments to be considered by the Tourism Development Authority.

Commissioner White moved for approval of the amendments following review. The motion was seconded by Commissioner Beaumont. The motion carried, 7-0.

				Debit		Credit
Account Number		Account Description	Decrease Revenue or Increase Expense		Increase Revenue of Decrease Expense	
15447-587014		TT - Carova Beach Road Dist	\$	6,781		
15320-415000		Occupancy Tax			\$	6,781
			\$	6,781	\$	6,781
Explanation:	Occupancy Tax - Tourism Related Beach Road District to offset the 2 Permits for the 2020 summer seas		% reductio	,		
Net Budget Effe		Occupancy Tax Fund (15) - Incr		2 704		

**Net Budget Effect:** Occupancy Tax Fund (15) - Increased by \$6,781.

				Debit		Credit	
			Decr	ease Revenue or	Increas	se Revenue or	
Account Number		Account Description	Inc	rease Expense	Decrease Exp		
15442-590000		Capital Outlay	\$	6,400	_		
15447-590000		Capital Outlay	\$	90,000			
15448-590000		Capital Outlay	\$	40,000			
15447-587010		T T - Operating Fund	\$	130,000			
15320-415000		Occupancy Tax			\$	266,400	
			\$	266,400	\$	266,400	
Explanation:	Occupancy Tax - Promotion (15442); Tourism Related Expenses (15447 & 15448) - Increase appropriations for capital items for the Tourism Promotion						
	an	d Tourism related activitie		•			
	CC	OVID19 uncertainty.					
Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$266,400.							

				Debit				Credit
				Decreas	e Revenue or		Increas	e Revenue or
Account Number		Account Description		Increa	se Expense		Decrea	ase Expense
15442-503500		Salaries - Promotion Temporary		\$	589			
15442-505000		FICA		\$	45			
15448-503500		Salaries - Whalehead Temporary		\$	600			
15448-505000		FICA		\$	46			
15320-415000		Occupancy Tax					\$	1,280
				\$	1,280		\$	1,280
	bet De act	wide bonus pay for all employees tween November 1, 2019 and Octo cember 1, 2020. This prorates the tual hours worked. The minumum id on the regular check run that with	ober 31, ne \$250 i bonus	2020 and amount a amount w	d been an acti approved for fu <i>v</i> ill be \$25 per	ve en Il tim empl	nployee e emplo	on yees by
Net Budget Effe	ct:	Occupancy Tax Fund (15) - Incre	ased by	/ \$1,280.				
				Debit		Credit		edit
	_		Decre	ease Rev	enue or	Inc	rease l	Revenue or
Account Numb	<u>er</u>	Account Description	Incr	ease Ex	pense	De	ecrease	e Expense
15447-590000	-	Capital Outlay	\$		90,000	-		
15320-415000		Occupancy Tax				\$		90,000
			\$		90,000	\$		90,000
Explanation:	_	Occupancy Tax - Tourism Re truck and skidsteer for mainta	•			• •		
Net Budget Ef	fec	t: Occupancy Tax Fund (15)	- Incre	ased by	\$90,000.			

				Debit		Credit	
			Decreas	se Revenue or	Increas	e Revenue or	
Account Number		Account Description	Increa	se Expense	Decrease Exper		
15449-511010		Data Transmission	\$	2,000			
15449-506000		Health Insurance Expense	\$	5,000			
15448-532160		Maintenance Supplies	\$	5,000			
15448-511010		Data Transmission	\$	1,300			
15320-415000		Occupancy Tax			\$	13,300	
			\$	13,300	\$	13,300	
Explanation:	Occupancy Tax - Whalehead (15448); Maritime Museum (15449) - Increased expenses at the Historic Corolla Park due to extended season on the Outer Banks this year. Increased costs for the Maritime museum to update data transmission						
	costs to actual contract and to provide health insurance for the facility personnel.						
Net Budget Effe		Occupancy Tax Fund (15) - In		<b>\$10,000</b>			

**Net Budget Effect:** Occupancy Tax Fund (15) - Increased by \$13,300.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Paul M. Beaumont, Commissioner
AYES:	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J.
Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner	
	S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

# **ADJOURN TDA**

There was no further business and Commissioner Beaumont moved for adjournment. Commissioner McCord seconded the motion. The motion carried, 7-0, and the meeting of the Tourism Development Authority adjourned at 5:21 PM.

RESULT:	APPROVED [UNANIMOUS]	
MOVER:	Paul M. Beaumont, Commissioner	
SECONDER:	Kevin E. McCord, Commissioner	
AYES:	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J. Owen	
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis,	
	Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner	

# RECONVENE REGULAR MEETING/WORK SESSION

Chairman Payment reconvened the Board of Commissioners meeting at 5:25 PM to hold a work session to discuss funding for additional mobile units for Currituck County schools.

# C. Mobile Classrooms

Ben Stikeleather, County Manager, presented information on two mobile classroom units previously funded by the Board of Commissioners and recommended funding for an additional three units for use by the school system that will provide needed classroom space until the school renovation and expansion projects are completed. A price list for financing of the units was distributed to members and Superintendent, Dr. Mark Lutz, and Maintenance and Transportation Director, Matt Mullins, reviewed the need for the additional units and placement locations. They responded to questions posed by Commissioners.

Discussion concluded and Commissioner Beaumont moved to approve the request for additional mobile units. Commissioner Jarvis seconded the motion. The motion carried unanimously, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES: Michael H. Payment, Commissioner, Paul M. Beaumont, Commission	
Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commission	
	S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

# ADJOURN

# Motion to Adjourn Meeting

Business concluded and Commissioner Beaumont moved to adjourn. The motion was seconded by Commissioner Jarvis. The motion carried, 7-0, and the Board of Commissioners meeting adjourned at 5:32 PM.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J.
	Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina
	S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner
	Michael H. Payment, Commissioner, Paul M. Beaumont, Commissioner, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,



STAFF REPORT PB 84-11 COROLLA LIGHT PUD (PHASE 11) AMENDED SKETCH PLAN/USE PERMIT BOARD OF COMMISSIONERS JANUARY 19, 2021

APPLICATION SUMMARY		
Property Owner:	Applicant:	
Richard C. Willis	Richard C. Willis	
Outer Banks Ventures, LLC	Outer Banks Ventures, LLC	
PO Box 549	PO Box 549	
Corolla, NC 27927	Corolla, NC 27927	
Case Number: PB 84-11	Application Type: Amended Sketch Plan/Use Permit	
Parcel Identification Number:	Existing Use:	
115B-000-P2AU-0000	Planned Unit Development (PUD)	
2006 Land Use Plan Classification:	Parcel Size (Acres):	
Full Service	0.92 (Subject Parcel)	
	267.05 (Overall PUD)	
Request: Amend Sketch Plan/Use Permit	Zoning: SFO with PUD Overlay	
Number of Units:	Project Density:	
8 units (Subject Parcel – Phase 11)	8.69 units per acre (Subject Parcel – Phase 11)	
603 units (Overall PUD)	2.51 units per acre (Overall PUD)	
Required Open Space:	Provided Open Space:	
93.47 acres (35%) (Overall PUD)	128.51 acres (48.12%) (Overall PUD)	
.32 acres (35%) (Subject Parcel – Phase 11)	.44 acres (48%) (Subject Parcel – Phase 11)	

SURROUNDING PARCELS			
	Land Use	Zoning	
North	Shad Street & Corolla Light Single-Family Residential	SFO with PUD Overlay	
South	Beacon Villas – 16 duplexes (Multi-Family Subdivision)	SFO with PUD Overlay	
East	Single-Family Dwellings (Whalehead Subdivision)	SFO with PUD Overlay	
West	NC12 & Corolla Light Single-Family Residential	SFO with PUD Overlay	

PB 84-11 Corolla Light PUD – Phase 11 Amended Sketch Plan/Use Permit Page 1 of 7

# REQUEST

#### Narrative

The subject property (Phase 11) is part of the Corolla Light Planned Unit Development (PUD) and is subject to the Amended Sketch Plan. The property is designated commercial, and the applicant is requesting amended sketch plan/use permit approval for eight dwelling units on the property.

The applicant is proposing a mixed-use development. Two upper-story dwelling units are proposed in the existing building with commercial use on the ground level. Two 3-story multi-family buildings with three dwelling units in each building are proposed.

The site is located at the corner of Ocean Trail and Shad Street. There are multiple utility uses on-site including a water tower, telecommunications tower, several accessory/equipment buildings, propane tanks and generators. Easements for access to the utilities are held by the county, AT&T, Verizon, and Charter.

In the original Corolla Light PUD sketch plan, Phase 11 was approved for utility purposes including a water treatment plant and the property was designated as utility open space.

In 2008, the Board approved an amendment to the sketch plan that included the following:

- Phases 10, 11, 13 and 14 were rezoned from utility open space to General Business.
- Phase 11 was approved for commercial use only.
- 100 residential dwelling units were approved for Phases 10, 13 and 14.

In 2017 the county removed the water treatment equipment from the existing building on Phase 11. There are still elements of the water infrastructure on the property, but the building and has reverted to the owner. The building may be used for commercial purposes subject to the review standards of the UDO.

There is an existing issue with building occupancy. According to the applicant, the existing building is being used for residential occupancy. The property is not currently zoned for residential use and there is no density assigned to the property. This request will allow the applicant to conform to the county's ordinance by properly permitting residential use of the existing building.

A preliminary site plan as well as preliminary architectural renderings were provided to illustrate the proposed uses and project layout. The site plan includes areas designated for open space as well as active recreation open space. Included in the proposal are a swimming pool, playground area, dog park area, seasonal garden area, decorative fountain, and cornhole/game area. The open space proposed meets the requirement for the site; however, the location of some proposed amenities appear to have compatibility issues within the site. For example: the walkway for access to the pool from the proposed multi-family buildings will be between the existing Verizon equipment building and the water tower.

#### **Community Meeting**

A community meeting was held on November 23, 2020. The applicant and his engineer were present along with Planning Staff. Employees of Corolla Light Resort as well as neighboring property owners were in attendance. The attendees asked questions regarding the proposal. A community meeting summary is included in the agenda packet as well as a response to the meeting summary that was received from several attendees of the meeting on January 12, 2021.

INFRASTRUCTURE		
Water	Southern Outer Banks Water System (SOBWS)	
Sewer	Carolina Water Service (Private)	

Attachment: 1 Staff Report Corolla Light ASP UP (PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)

# RECOMMENDATIONS

## **TECHNICAL REVIEW COMMITTEE**

The Technical Review Committee recommends **denial** of the use permit because the request is not consistent with goals and policies of the Land Use Plan and there are compatibility issues within the site and with surrounding land uses including the requested site-specific density.

# **USE PERMIT REVIEW STANDARDS**

A use permit shall be approved on a finding that the applicant demonstrates the proposed use will meet the below requirements. It is staff's opinion that the evidence in the record, prepared in absence of testimony presented at a public hearing, supports the preliminary findings related to Land Use Plan conformity and adequate public facilities.

The use will not endanger the public health or safety.

#### Preliminary Applicant Findings:

Transportation, potable water, wastewater and stormwater management will be addressed in accordance with the following:

- Transportation: The existing entrance configuration on Shad Street will be utilized with no direct connection to NC12 other than a pedestrian connection to the existing walkway. A driveway permit and encroachment agreement have been approved by NCDOT. Appropriate access has been made for emergency services vehicles.
- Potable Water: Water will be supplied by Currituck County via existing water mains located on NC 12 and Shad Street. Fire protection will be provided in accordance with the NC Fire Code and applicable ISO standards.
- Wastewater: Capacity for the development has been allocated by Carolina Water Service in the existing Monteray Shores Wastewater Treatment Facility which is regulated by NCDEQ and the NC Utilities Commission.
- 4. Stormwater Management: Stormwater will be collected and infiltrated via the existing basin on Shad Street, which will be able to accommodate the small additional impervious coverage proposed for the site.

# The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Preliminary Applicant Findings:

 Adjacent properties are a combination of single family and multi-family development; community compatibility standards will be adhered to in the architectural design and materials that are proposed for the new construction. Landscaping and buffering are also being provided in accordance with the UDO standards and will add to existing vegetative screening that is provided by the significant growth of Live Oaks on the site. The proposed density is lower than that of the adjacent Phase 12 development.

## Staff commentary:

Differences between this site and the property to the south, Phase 12, are existing utility uses that impact this parcel and proposed commercial use (restaurant). Phase 12 was developed as 16 duplexes.

Please reference the application Attachment "A" in the agenda packet for the applicant findings.

## Preliminary Staff Findings:

The 2006 Land Use Plan classifies this site as Full Service within the Corolla subarea. The Full Service designation allows for a greater diversity of housing types. The policy emphasis for the Corolla subarea is to allow for predominantly medium density residential development (2 to 3 units per acre) with minimal commercial development arranged in clusters. An overall density of no more than 3 units per acre should apply to PUDs, the prevailing development form in the Corolla area.

The request does not appear to be in direct conflict with the 2006 Land Use Plan with respect to the proposed mixed-use development and overall density of a PUD nor is it in direct conflict with the Transitional Provisions of the UDO with respect to dimensional and overall density standards for PUDs. However, there are compatibility issues within the site and with surrounding land uses. The site is smaller than an acre and this request proposes commercial, multi-family and utility uses.

The project was not designed or planned from the outset as future mixed-use development. This is evident by the placement of buildings on the property that do not appear to be a compatible mixture of residential, non-residential, and utility uses. The existing utility uses on site make it difficult to design an aesthetic project that is compatible with high density residential use.

The 1982 zoning ordinance that was in effect when the Corolla Light PUD was established stated that a PUD is expected to promote a more efficient use of the land, a higher level of amenities and more creative design than would otherwise be possible. The current ordinance contains similar language regarding planned developments.

It may be reasonable to include residential dwelling units on the Phase 11 property; however, the density proposed appears to overwhelm the site thus making it difficult to design and place a higher level of amenities on the parcel.

The request is not consistent with the following goals and policies of the Land Use Plan

- <u>Land Use and Development Goal #10</u> To properly distribute development forms in accordance with the suitability of the land, infrastructure available and the compatibility of surrounding land uses.
- Land Use Compatibility CAMA Management Goal Ensure that development and use of resources or preservation of land minimizes direct and secondary environmental impacts; avoids risks to public health, safety and welfare; and is consistent with the capability of the land based on considerations of interactions of natural and manmade features.
- 3. <u>POLICY CD8</u>: MIXED-USE DEVELOPMENTS, properly planned from the outset, which allow for a compatible mixture of residential and non-residential uses with a pedestrian scale and design, are encouraged. Similarly, businesses may be located adjoining (and therefore convenient to) an existing residential area, when such businesses can be shown to satisfy design considerations similar to a newly planned, pedestrian-scaled, mixed use development.
- 4. <u>POLICY HN1</u>: Currituck County shall encourage development to occur at densities appropriate for the location. LOCATION AND DENSITY FACTORS shall include whether the development

is within an environmentally suitable area, the type and capacity of sewage treatment available to the site, the adequacy of transportation facilities providing access to the site, and the proximity of the site to existing and planned urban services.

- <u>POLICY HN3</u>: Currituck County shall especially encourage two forms of residential development, each with the objective of avoiding traditional suburban sprawl:

   OPEN SPACE DEVELOPMENTS that cluster homes on less land, preserving permanently dedicated open space and often employ on-site or community sewage treatment. These types of developments are likely to occur primarily in the Conservation, Rural, and to a certain extent the Limited Service areas identified on the Future Land Use Map.
   COMPACT, MIXED USE DEVELOPMENTS or DEVELOPMENTS NEAR A MIXTURE OF USES that promote a return to balanced, self-supporting community centers generally served by centralized water and sewer. The types of development are contemplated for the Full Service Areas identified on the Future Land Use Map.
- <u>POLICY HN9</u>: Proposed residential development that would expose residents to the harmful effects of INCOMPATIBLE LAND USES or to ENVIRONMENTAL HAZARDS shall be prohibited. This would include, for example, residential development in locations adversely impacted by proximity to the airport or to activities involving excessive noise, light, odors, dust, fertilizers and insecticides (e.g. certain farm operations, mining activities, etc.).

The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to: schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

Preliminary Staff Findings:

1. The proposed use will not exceed the county's ability to provide adequate public facilities. Utility services are proposed for the site, wastewater and water capacity are available.

THE APPLICATION AND RELATED MATERIALS ARE AVAILABLE ON THE COUNTY'S WEBSITE Board of Commissioners: <u>www.co.currituck.nc.us/board-of-commissioners-minutes-current.cfm</u>



PB 84-11 Corolla Light PUD (Phase 11) Amended Sketch Plan/Use Permit 2020 Aerial Photography

Feet 140 35 70



Currituck County Planning and Community Development



PB 84-11 Corolla Light PUD (Phase 11) Amended Sketch Plan/Use Permit 2020 Aerial Photography





Currituck County Planning and Community

PB 84-11 Corolla Light PUD – Phase 11 Amended Sketch Plan/Use Permit Page 6 of 7

4.A.a



Amended Sketch Plan/Use Permit Official Zoning Map



Amended Sketch Plan/Use Permit Land Use Plan Classification

Feet 140 70 35

Feet 280

140



Currituck County Planning and Community Currituck Development

PB 84-11 Corolla Light PUD – Phase 11 Amended Sketch Plan/Use Permit Page 7 of 7

LightX       8       Phase: 11         TYPE OF SUBMITTAL       TYPE OF SUBMITTAL       TYPE OF SUBDIVISION         Conservation and Development Plan       Traditional Development         Amended Sketch Plan/Use Permit       Conservation Subdivision         Preliminary Plat (or amended)       X Planned Unit Development         Type I OR       Type II         Construction Drawings (or amended)       Planned Development         Final Plat (or amended)       Planned Development	LOOR LOOR	Major Subdivision Application		OFFICIAL USE ONLY: Case Number: Date Filed: Gate Keeper: Amount Paid:
Name:       Outer Banks Ventures, Inc.       Name:       Same         Address:       P.O. Box 549       Address:       Address:         Corolla, NC 27927       Address:       Address:         Telephone:       757-286-5859       Telephone:         E-Mail Address:       reconstruction Drawings (or amended)       E-Mail Address:         Physical Street Address:       1099 Ocean Trail, Corolla, NC         Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         LightX       8         Physical Street Address:       1099 Ocean Trail, Corolla, NC         Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         LightX       8         Phase:       11         TYPE OF SUBMITAL       TYPE OF SUBDIVISION         Conservation and Development Plan       X         X Amended Sketch Plan/Use Permit       Conservation Subdivision         Property Ok or Units:       Yee or Subdivision         Property Owner(s)/Applicant*       I2/2/2/202         Property Owner(s)/Applicant*       I2/2/2620         Property Owner(s)/Applicant*       If there are multiple property owners/applicants a signature is required for ease	Contact Informe	ation		
Address:       P.O. Box 549       Address:         Corolla, NC 27927       Address:         Telephone:       757-286-5859         E-Mail Address:       rewillis@outerbanksventures.com         E-Mail Address:       rewillis@outerbanksventures.com         IEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER:       Same         Request       Same         Physical Street Address:       1099 Ocean Trail, Corolla, NC         Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         Number of Lots or Units:       8         Physical Street Address:       1099 Ocean Trail, Corolla, NC         Number of Lots or Units:       8         Phase:       11         TYPE OF SUBMITTAL       TYPE OF SUBDIVISION         © Conservation and Development Plan       © Conservation Subdivision         # Preliminary Plat (or amended)       X       Planned Unit Development         © Construction Drawings (or amended)       X       Planned Unit Development         © Construction Drawings (or amended)       X       Planned Development         © Construction Drawings (or amended)       X       Planned Development         © Construction Drawings (or amended)       X       Planned Development	APPLICANT:	Karal and the second second	PROPERTY OW	/NER:
Corolla, NC 27927         Telephone:         757-286-5859         Telephone:         F-Mail Address:         IEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER:         Same         Request         Physical Street Address:         1099 Ocean Trail, Corolla, NC         Parcel Identification Number(s):         115B-000-P2AU-0000         Subdivision Name:         Corolla         Number of Lots or Units:         8         Phase:         11         TYPE OF SUBMITTAL         TYPE OF SUBMITTAL         Type I OR and Development Plan         \u00e4 Amended Sketch Plan/Use Permit         Conservation and Development Plan         \u00e4 Construction Drawings (or amended)         \u00e4 Drype II         Construction Drawings (or amended)         \u00e4 Drype III         Construction Drawings (or amended)         Ihereby authorize county officials to enter my property for purposes of determining compliance with a applicable standards. All Information submitted and required as part of this process shall become pull record.         Property Owner(s)/Applicant*         *NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property	Name:	Outer Banks Ventures, Inc.	Name:	Same
Telephone:       757-286-5859       Telephone:         E-Mail Address:       rcwillis@outerbanksventures.com       E-Mail Address:         LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER:       Same         Request       Physical Street Address:       1099 Ocean Trail, Corolla, NC         Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         Number of Lots or UnlishtX       8         Preliminary Plat (or amended)       TYPE OF SUBDIVISION         \u03cd Street Address:       0         Type I OR       Type II         Construction Drawings (or amended)       0         Property Owner(s) /Applicant*       12/21/2020         Property Owner(s) /Applicant*       12/21/2020	Address:	P.O. Box 549	Address:	A State of the second second second second
E-Mail Address:       rcwillis@outerbanksventures.com       E-Mail Address:         LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER:       Same         Request       Physical Street Address:       1099 Ocean Trail, Corolla, NC         Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         Number of Lots or Unifset       8         Precest Description and Development Plan       TYPE OF SUBMITAL         Conservation and Development Plan       Conservation Subdivision         X Amended Sketch Plan/Use Permit       Conservation Subdivision         Preliminary Plat (or amended)       X Planned Unit Development         Type I OR       Type II       Planned Development         Construction Drawings (or amended)       Planned Development       Planned Development         Final Plat (or amended)       Information submitted and required as part of this process shall become pull record.       I2/1/L020         Property Owner(s)/Applicant*       I2/21/L020       Date		Corolla, NC 27927		and the second second of the
LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER:       Same         Request	Telephone:	757-286-5859	Telephone:	
LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER:       Same         Request	E-Mail Address	rcwillis@outerbanksventures.com		11
Request         Physical Street Address:       1099 Ocean Trail, Corolla, NC         Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         LightX       8         Number of Lots or Units:       8         Phase.       11         TYPE OF SUBMITTAL       TYPE OF SUBDIVISION         Conservation and Development Plan       0         X Amended Sketch Plan/Use Permit       0         Preliminary Plat (or amended)       X         Pitpel OR       Type I         Construction Drawings (or amended)       0         Final Plat (or amended)       0         Property owner(s)/Applicant*       12/1/20.20         Property Owner(s)/Applicant*       12/1/20.20         *NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for eace	LEGAL RELATIC	NSHIP OF APPLICANT TO PROPERTY O		
Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         Number of Lots or Units:       8         Phase:       11         TYPE OF SUBMITTAL       TYPE OF SUBDIVISION         Conservation and Development Plan       Image: Conservation Subdivision         X Amended Sketch Plan/Use Permit       Image: Conservation Subdivision         Preliminary Plat (or amended)       X         Image: Type I       Image: Construction Drawings (or amended)         Image: Final Plat (or amended)       Image: Planned Development         Image: Final Plat (or amended)       Image: Planned Development         Image: Property Owner(s)/Applicant*       Image: Planned Development         *NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each				
Parcel Identification Number(s):       115B-000-P2AU-0000         Subdivision Name:       Corolla         Number of Lots or Units:       8         Phase:       11         TYPE OF SUBMITTAL       TYPE OF SUBDIVISION         Conservation and Development Plan       Image: Conservation Subdivision         X Amended Sketch Plan/Use Permit       Image: Conservation Subdivision         Preliminary Plat (or amended)       X         Image: Type I       OR         Construction Drawings (or amended)       Image: Planned Development         Final Plat (or amended)       Image: Planned Development         Intereby authorize county officials to enter my property for purposes of determining compliance with applicable standards. All information submitted and required as part of this process shall become pull record.         Property Owner(s)/Applicant*       Image: Planned Development Plan Property Owner(s) Applicant*         *NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each property	Physical Street	Address 1099 Ocean Trail Corolla	NC	
Subdivision Name:       Corolla         Number of Lots or Units:       8         Phase:       11         TYPE OF SUBMITTAL       TYPE OF SUBDIVISION         Conservation and Development Plan       Intraditional Development         Max       Amended Sketch Plan/Use Permit       Conservation Subdivision         Preliminary Plat (or amended)       X       Planned Unit Development         Image: Type I       OR       Type II       Planned Unit Development         Construction Drawings (or amended)       X       Planned Development         Final Plat (or amended)       Planned Development       Planned Development         I hereby authorize county officials to enter my property for purposes of determining compliance with a applicable standards. All information submitted and required as part of this process shall become pull record.         Property Owner(s)/Applicant*       Image: I				the state of the s
Number of Lots or Units:       8       Phase:       11         TYPE OF SUBMITTAL       TYPE OF SUBDIVISION       Image: Type OF SUBDIVISION         Conservation and Development Plan       Image: Traditional Development       Image: Traditional Development         Mumber of Lots or Units:       Conservation and Development Plan       Image: Traditional Development       Image: Traditional Development         Image: Type I       OR Image: Type II       Image: Construction Drawings (or amended)       Image: Type I OR Image: Construction Drawings (or amended)       Image: Type I OR Image: Construction Drawings (or amended)         Image: Hereby authorize county officials to enter my property for purposes of determining compliance with applicable standards. All information submitted and required as part of this process shall become pull trace of this process shall become pulling of this process shall				
TYPE OF SUBMITTAL       TYPE OF SUBMITTAL         Conservation and Development Plan       TYPE OF SUBDIVISION         Amended Sketch Plan/Use Permit       Traditional Development         Preliminary Plat (or amended)       Traditional Development         Type I       OR         Construction Drawings (or amended)       Planned Unit Development         Final Plat (or amended)       Planned Development         Final Plat (or amended)       Planned Development         I hereby authorize county officials to enter my property for purposes of determining compliance with a applicable standards. All information submitted and required as part of this process shall become pull record.         Property Owner(s)/Applicant*       12/1/1020         *NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each second property interest.		LightV		
<ul> <li>Conservation and Development Plan</li> <li>Amended Sketch Plan/Use Permit</li> <li>Preliminary Plat (or amended)</li> <li>Traditional Development</li> <li>Conservation Subdivision</li> <li>Type I OR Type II</li> <li>Construction Drawings (or amended)</li> <li>Final Plat (or amended)</li> <li>Final Plat (or amended)</li> <li>I hereby authorize county officials to enter my property for purposes of determining compliance with a applicable standards. All information submitted and required as part of this process shall become put record.</li> <li>Property Owner(s)/Applicant*</li> <li>*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each other process.</li> </ul>			Phase	. 11
<ul> <li>Amended Sketch Plan/Use Permit</li> <li>Preliminary Plat (or amended)</li> <li>Type I OR Type II</li> <li>Conservation Subdivision</li> <li>Planned Unit Development</li> <li>Planned Development<td></td><td></td><td>TYPE</td><td>OF SUBDIVISION</td></li></ul>			TYPE	OF SUBDIVISION
<ul> <li>Preliminary Plat (or amended)</li> <li>Type I OR Type II</li> <li>Construction Drawings (or amended)</li> <li>Final Plat (or amended)</li> </ul> I hereby authorize county officials to enter my property for purposes of determining compliance with applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. All information submitted and required as part of this process shall become pull applicable standards. The property of the publicable standards are provided as part of this process shall be provided as part of this process shall be provided as part of the publicable standards. The publicable standards are publicable standards. The publicable standards are publicable standards are publicable standards. The publicable standards are publicable standards. The publicable standards are publicable standards are publ	X Amend	ed Sketch Plan / Ico Pormit		Traditional Development
□Type I OR □Type II □ Planned Unit Development □ Construction Drawings (or amended) □ Final Plat (or amended) I hereby authorize county officials to enter my property for purposes of determining compliance with a applicable standards. All information submitted and required as part of this process shall become pul record. Property Owner(s)/Applicant* *NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for eac	Prelimi	nary Plat (or amended)	La Provincia de la Companya de la Co	
<ul> <li>Final Plat (or amended)</li> <li>I hereby authorize county officials to enter my property for purposes of determining compliance with a applicable standards. All information submitted and required as part of this process shall become pull record.</li> <li>Property Owner(s)/Applicant*</li> <li>*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each process.</li> </ul>	DTyp	oel OR DTypell		Planned Unit Development
Property Owner(s)/Applicant* *NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each	<ul> <li>Constru</li> <li>Final P</li> </ul>	uction Drawings (or amended) lat (or amended)		eranted bevelopment
Community Meeting, if applicable	Property Owns	er(s)/Applicant*	equirea as part o	$\frac{12/21/2620}{Date}$
	Community Me	eting, if applicable	the second second	£01
Date Meeting Held: Nov. 23, 2020 Meeting Location: Corolla Movie & Bistro	Date Meeting	Held: <u>Nov. 23, 2020</u>	Meeting Loca	tion: _ Corolla Movie & Bistro
Jalas Cubdhielen Anni				Malar Subdivision Application
				Major Subdivision Application Page 5 of 12

4.A.b

Attachment: 2 Application(PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)

Use Permit Review Standards, if applicable

PUD Amended Sketch Plan/Use Permit, Type II Preliminary Plat

Purpose of Use Permit and Project Narrative (please provide on additional paper if needed): \_\_\_\_\_ Please refer to Attachment "A"

The applicant shall provide a response to the each one of the following issues. The Board of Commissioners must provide specific findings of fact based on the evidence submitted. All findings shall be made in the affirmative for the Board of Commissioners to issue the use permit.

A. The use will not endanger the public health or safety. Please refer to Attachment "A"

Β.

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Please refer to Attachment "A"

C.

The use will be in conformity with the Land Use Plan or other officially adopted plan.

Please refer to Attachment "A"

D.

The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

Please refer to Attachment "A"

l, the undersigned, do certify that all of the information presented in this application is accurate to the best of my knowledge, information, and belief. Further, I hereby authorize county officials to enter my property for purposes of determining zoning compliance. All information submitted and required as part of this application process shall become public record.

Property Owner(s)/Applicant\*

\*NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.

Major Subdivision Application Page 6 of 12 Revised 7/1/2019

#### ATTACHMENT "A"

#### Purpose of the Use Permit and Project Narrative

The purpose of Use Permit Application is to correct a conflict on the most recently approved Amended Sketch Plan for Corolla Light PUD, where the commercial area use table shows than Phase 11 was approved for Commercial Use only, while the residential density table shows that Phase 11 is approved for commercial and residential use, and to specifically allocate 8 residential units to Phase 11, including two upper-story dwelling units over the existing commercial structure, and 6 multi-family units to be added in two buildings. A Preliminary Site Plan and Preliminary Architectural Renderings are provided to illustrate the proposed uses.

#### A. The Use will not endanger the public health or safety.

Transportation, potable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

 Transporation: The existing entrance configuration on Shad Street will be utilized with no direct connection to NC 12 other than a pedestrian connection to the existing walkway. A driveway permit and encroachment agreement have been approved by NCDOT.

Appropriate access has been made for emergency services vehicles.

- 2. **Potable Water:** Water will be supplied by Currituck County via existing water mains located on NC 12 and Shad Street. Fire protection will be provided in accordance with the NC Fire Code and applicable ISO Standards.
- 3. **Wastewater:** Capacity for the development has been allocated by Carolina Water Service in the existing Monterey Shore Wastewater Treatment Facility which is regulated by NCDEQ and the NC Utilities Commission.
- 4. **Stormwater Management:** Stormwater will be collected and infiltrated via the existing basin on Shad Street, which will be able to accommodate the small additional impervious coverage proposed for the site.
- B. The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.
  - 1. Adjacent properties are a combination of single family and multi-family development; community compatibility standards will be adhered to in the architectural design and materials that are proposed for the new construction. Landscaping and buffering are

also being provided in accordance with the UDO standards, and will add to existing vegetative screening that is provided by the significant growth of Live Oaks on the site. The proposed density is lower than that of the adjacent Phase 12 development.

## C. The use will be in conformity with the Land Use Plan or other officially adopted plan.

 The following special policies applicable to the Outer Banks are supported: POLICY OB3: Currituck County recognizes that, on the Outer Banks in particular, "single family" homes are being built that accommodate 15, 20, 25 or more people. Thus, these LARGE RESIDENTIAL STRUCTURES are circumventing existing zoning laws that could not anticipate the advent of these building forms. Development regulation and project approvals shall therefore be based upon the actual nature of the structure rather than the label (e.g. single family) that may be attached to it.

The proposed uses are upper-story residential and actual multi-family development that do not circumvent existing zoning laws and are labeled according to the actual use.

- 2. The property is located in the Full Service Land Use classification where, "A greater diversity in housing types (i.e. semi-detached, attached, multi-family) would be considered appropriate.
- 3. The property is also located within the existing PUD, where the density is below the allowable 3 dwelling units per acre.
- D. The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.
  - 1. The proposed uses are not expected to have an adverse impact on schools, fire and rescue, law enforcement or other county facilities.

#### Additional Land Use Plan policies that support the development proposal:

#### HOUSING AND NEIGHBORHOOD DEVELOPMENT POLICIES

POLICY HN1: Currituck County shall encourage development to occur at densities appropriate for the location. LOCATION AND DENSITY FACTORS shall include whether the development is within an environmentally suitable area, the type and capacity of sewage treatment available to the site, the adequacy of transportation facilities providing access to the site, and the proximity of the site to existing and planned urban services. *The proposed development is <u>not</u> within an environmentally sensitive area and has more than adequate access to urban services including water, sewer and transportation (both vehicular and pedestrian). The density is comparable to, or below, the density of other mult-family and mixed-use areas in Corolla Light.* 

POLICY HN2: ...The County shall therefore encourage alternatives to large lot developments through INNOVATIVE DEVELOPMENT CONCEPTS AND CORRESPONDING ZONING techniques. *The proposed development provides a needed alternative housing type for Corolla.* 

POLICY HN3: Currituck County shall especially encourage two forms of residential development, each with the objective of avoiding traditional suburban sprawl:

2. COMPACT, MIXED USE DEVELOPMENTS or DEVELOPMENTS NEAR A MIXTURE OF USES that promote a return to balanced, self-supporting community centers generally served by centralized water and sewer. The types of development are contemplated for the Full Service Areas identified on the Future Land Use Map. *The proposed development is a compact mixed-use development with adequate public services and which will be self-supporting.* 

#### **COMMERCIAL DEVELOPMENT POLICIES**

POLICY CD1: NEIGHBORHOOD SERVING COMMERCIAL DISTRICTS should be encouraged to locate where a collector or secondary street intersects with a street of equal or greater size. *The proposed development is at a main intersection of a collector street and a primary highway.* 

POLICY CD7: Attractive, environmentally beneficial LANDSCAPING shall be provided by new commercial or office developments, and in the rehabilitation and upgrading of existing developments. Appropriate BUFFERING or other effective DESIGN FEATURES may be employed to allow less intensive forms of commercial and office development to adjoin existing or planned residential uses. *The site is already well-buffered with a heavy growth of live oaks, and additional heavy landscaping is being provided. Overall, the site will be upgraded from its current condition.* 

## Full Service Areas\* (Areas Preferred for Community Centers)

A greater diversity in housing types (i.e. semi-detached, attached, multi-family) would be considered appropriate in the Full Service areas. *The development is located in the heart of an existing full-service area and offers needed housing alternatives.* 

Attachment: 3 Attachment A - Applicant (PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)

#### **Community Meeting Summary**

## Corolla Light PUD - Amended Sketch Plan/Use Permit

#### Monday, November 23, 2020

Scheduled Time/Place: 6:00 pm, Corolla Movie Theater, Monteray Plaza, Corolla, NC Meeting Began at approximately 6:00 pm and Ended at approximately 6:40 pm

Attendees: Community Residents (See attached sign-in sheet)

Jennie Turner, Currituck County Savannah Newbern, Currituck County Richard Willis, Applicant Mark Bissell, Engineer

#### **Overview:**

An overview of the requested application and County review and approval process was offered. The overview included an explanation of the developer's desire to construct 2 upper story dwellings above the existing commercial building, and 6 multifamily dwellings in 2 new buildings was explained.

Building Renderings and site plan drawings were provided for review.

Comments from the Community	How Addressed
How many dwellings will there be?	A total of 8
How many bedrooms? Bathrooms?	Each unit will have 2 bedrooms and 2 bathrooms
What are the square footages?	Each unit will be a little under 900 square feet
What type of siding will be used?	Will determined by the Architect at the next stage
What will the eatery be?	While not part of this application, the developer is proposing a chicken restaurant on the first floor, which will have some outdoor seating.
Will there be a liquor license	Uncertain, but probably beer & wine will be served
How much Parking will there be?	23 spaced are being provided.

#### Summary:

The attendees appeared to be satisfied with the request. A few people stayed around after the meeting was adjourned to view maps and renderings.

4.A.d

CORSULA LIGHT PHASE 11 , METNG omaunit 11-23-20 ADDRESS NAME PHONE EMAL (PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit) PO BOX/OCH K.H. NC MARK BISSER markabissellprofessionalgro (252)201-3266 PRITUHANS EN 301704 4025 kenprite Perds. a 10994 KEEPars with 757-621-7910 Robenz 100 6 leby 1140 M orris 1006 Ocean 60 Oreking R Spillman 1127 Morris Dr C.S Ichnic fur and 1Wm Curretnok Gunty annie 252-Attachment: 4 Community Meeting Summary avannah Newbern Currituck Co. Savannoth. Newbe 232-6066@ Currituck Low 252 , 9

4.A.e

January 12, 2021

Laurie B. LoCicero, Director Currituck County Department of Planning and Community Development 153 Courthouse Road, Suite 110 Currituck, North Carolina 27929

Re: Corolla Light PUD, Phase 11 - Community Meeting Response to Summary

Dear Ms. LoCicero:

The undersigned, members of the Corolla Light community, submit the following comments concerning proposed development plans for Phase 11:

A. Objections to Aspects of the Community Meeting

We take exception to multiple elements of the November 23, 2020 Community Meeting involving proposed development of a small piece of property in the Corolla Light PUD at Shad Street and Route 12.

- <u>Misleading Statement</u>: A statement made in the closing paragraph of the Developer's Minutes of the Community Meeting is misleading. The statement claims that, "attendees appeared to be satisfied with the request" We dispute this assertion. While questions were asked, and as set forth below, all attendees were not satisfied with the answers or information provided.
- 2. <u>Meeting Accessibility:</u> The meeting was inaccessible to many with homes near the proposed development and elsewhere within the Corolla Light community due to COVID-related health concerns about attendance in an indoor venue.
- 3. <u>Notification, Time and Place</u>: The disorganized manner of notification to homeowners near the proposed development and the Corolla Light Community Association created significant confusion. The first notification received via mail did not provide a date, time or location for the meeting. A sign was subsequently posted on the property announcing a meeting date of November 9, time and location. This meeting was then canceled without notice or explanation. A second mailed notice announced a new date and time for November 23rd.
- 4. <u>Conduct of the Meeting</u>: The meeting (in an enclosed movie theater) was for all practical purposes held in the dark, making viewing of the presentation boards very difficult. Attendees were required to review the site plan boards with flashlights. In addition, it was believed that details and essential aspects of the

proposed development were communicated imprecisely, resulting in confusion over the exact scope of the proposed development.

- B. Our substantive concerns about the proposed development are as follows:
  - 1. Incompatible uses embodied in this proposal will endanger public health or safety.
    - a. A substantial proportion of the less than one acre parcel is dedicated to the operation and servicing of a water and communication tower. Squeezing eight residential units, a pool, a restaurant, 23 parking spaces, loading docks etc., onto the property will cause serious conflicts of use.
    - b. Those residing on the property, restaurant employees and customers will be exposed to potentially dangerous operational equipment, including transformers, generators, two gas tanks (one an above ground LPG tank), an elevated platform containing machinery, chemicals stored on site for maintenance purposes, etc. Of significance, it appears that residents desiring to use the pool will be required to traverse a walkway through the entirety of the restricted utility area, including water and cell tower energized equipment. Appropriate clearance and fencing will be required to safely separate the public, especially non-adults, from this equipment. It is recommended that all energized infrastructure equipment should have required clearances, along with high security fencing.
    - c. Utility workers must remain unimpeded in delivering water and communication services to Corolla consumers. The repair, maintenance, inspection and operation of these utilities requires unobstructed access for service vehicles and heavy equipment, especially during potential emergencies.
    - d. Water towers have an average life span of 50 to 60 years. Our coastal environment may accelerate the decay of this nearly 30 year old structure. What is the plan for decommissioning of the structure? Will it be dismantled and re-erected on site? Adequate space is required for cranes and heavy equipment for safe demolition and reconstruction.
    - e. The existing telecommunication tower can be expected to be disassembled at some point for removal or replacement. Will it be disassembled and/or re-erected on site? Adequate space is required for cranes and heavy equipment for safe demolition and reconstruction.
    - f. Maintaining the property as Utility Open Space for existing and possibly future improvements and utility support is consistent with best practices and guidance of Currituck County's Unified Development Ordinances.

- a. Residents living in the vicinity of the proposed development purchased and have made substantial improvements to their homes with the belief that the small property housing the two towers would be preserved permanently as Utility Open Space. In fact, the number of easements, including those for Currituck County, cable tv and wireless transmission, present on the property support this understanding.
- b. The addition of overly dense residential and commercial uses to the site already used by Water and Communications towers will result in major adverse changes to the character and appearance of adjacent and nearby neighborhoods.
- c. Just prior to application submission to the County Planning Department, multiple healthy and large live oaks were bulldozed and removed from the property and community easement along Shad Street and Route 12. This action has already created an adverse visual impact. The mature trees served as attractive buffers between the site and the adjacent roads and neighborhoods.
- d. Increases in traffic, parking problems and noise are likely to have a negative impact on nearby homes. Seemingly inadequate parking space in both number and location for these incompatible uses, especially during the day, can be expected to result in (currently illegal) street parking along Shad Street.
- e. Corolla Light is a destination vacation village resort, with years of awards and high visitor ratings. In maintaining and advancing tourism standing, the character of the overall resort and property values of existing homes must be protected. Design and construction of any structure on the property must be of the highest quality in order to promote the unique brand of the resort.
- f. Any multifamily building height must not exceed two stories in height in conformity and compatibility with Corolla Light Resort characteristics, mirroring that of the two story Mirage Condominiums just north of the Recreation Center.
- 3. Conformity with the Land Use plan or other officially adopted plan.
  - a. Construction of any structure must comply with Unified Development Ordinances.

3

b. The aesthetics and quality of structures built must complement the existing look and style of the architecture of Corolla Light Resort.

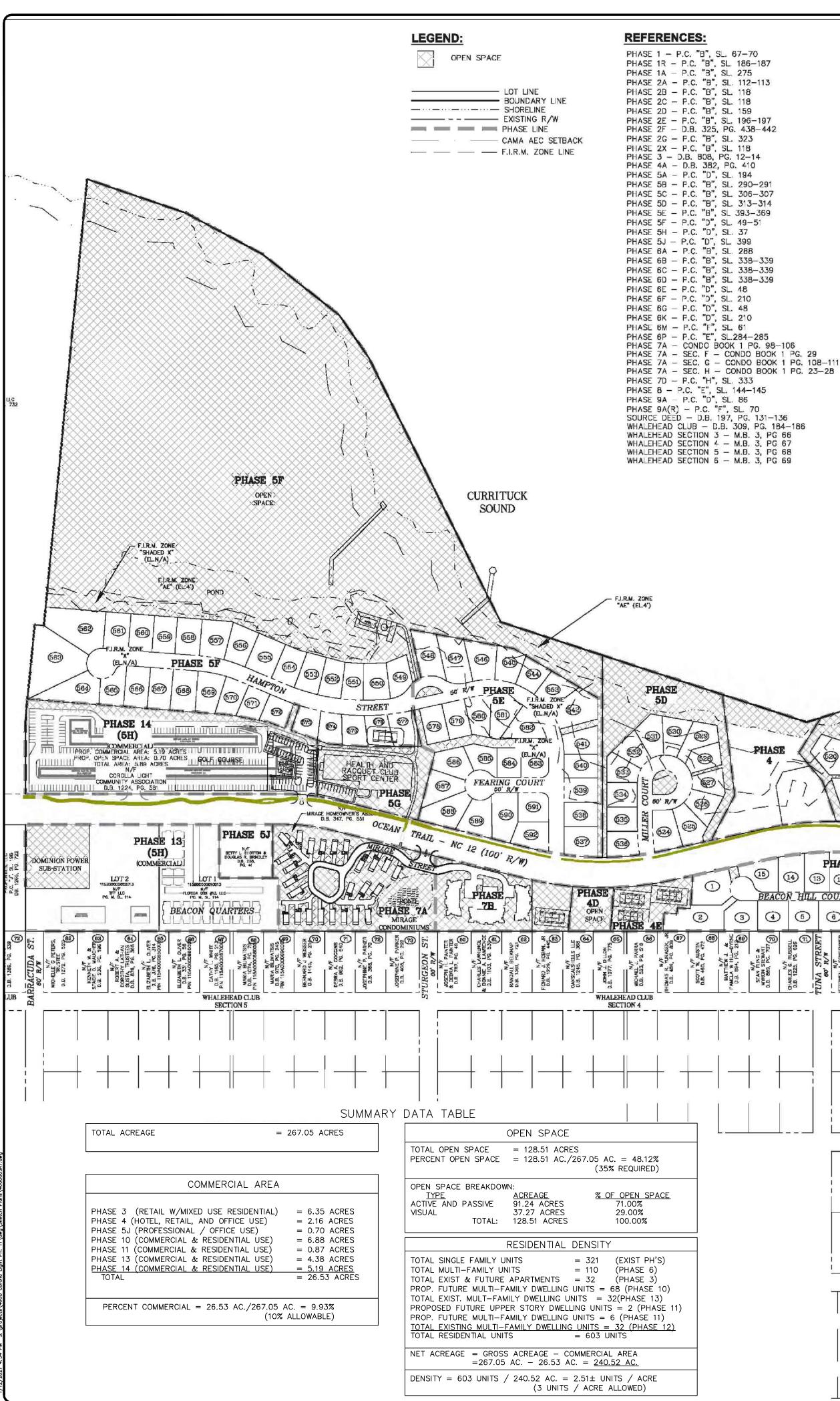
Thank you for consideration of our views.

Bob Stoneking Facilities Manager Corolla Light Community Association 1006 Ocean Trail Corolla, NC 27927

Amy Adams 1140 Morris Drive Corolla, NC 27927

Deb Spillman 1127 Morris Drive Corolla, NC 27927

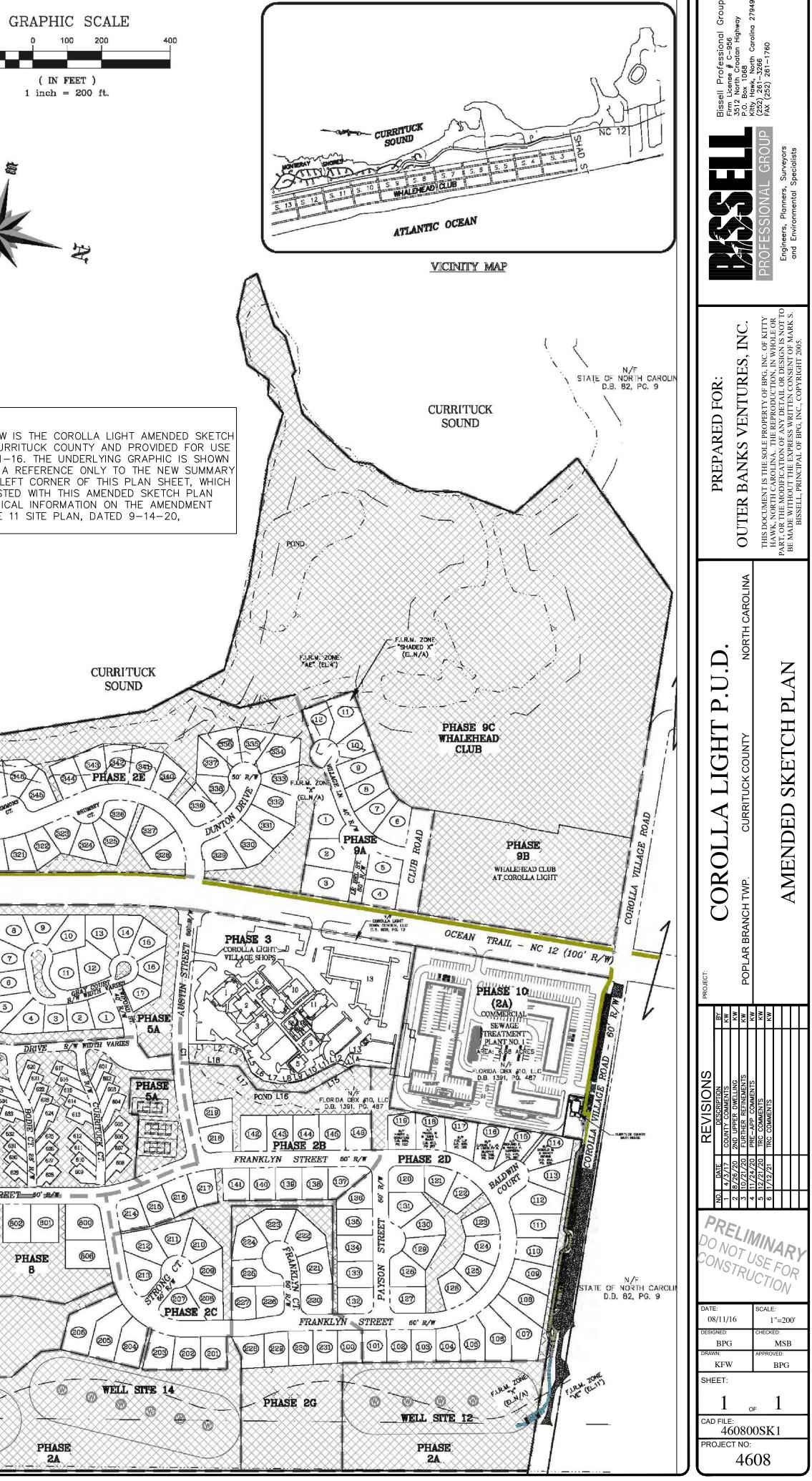
Barbara Heffernan 1121 Austin Street Corolla, NC 27927



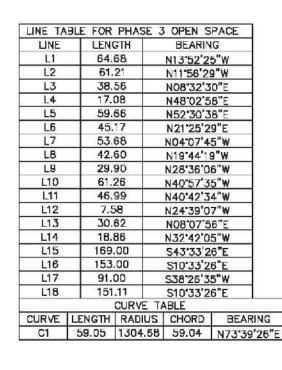
# NOTES:

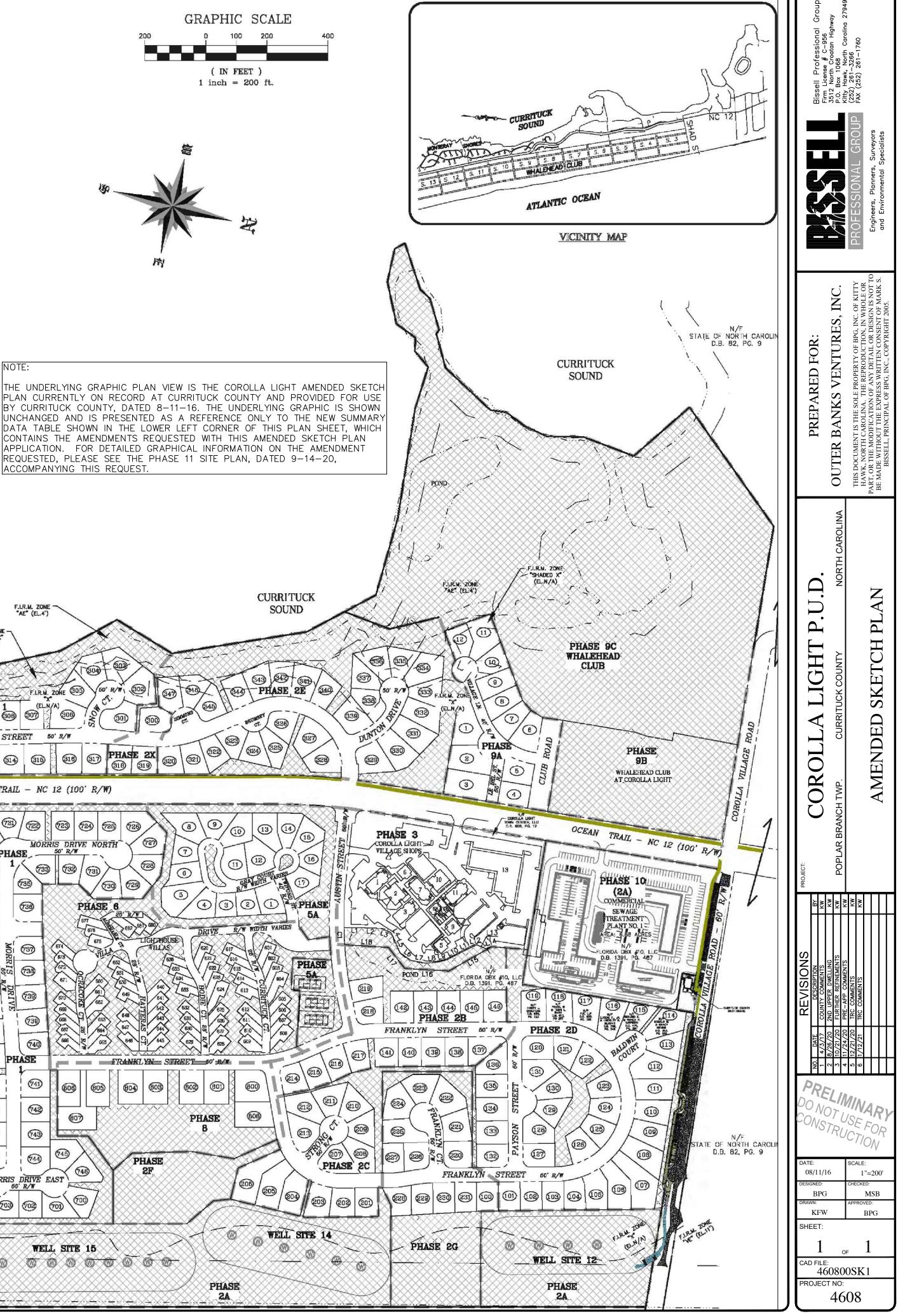
1. PROPERTY LOCATED IN FLOOD ZONES AS SHOWN PER FIRM MAP NO. 3720993600K, PANEL NO. 9936, DATED 12/21/2018.

100



# PRELIMINARY FOR PERMITTING ONLY

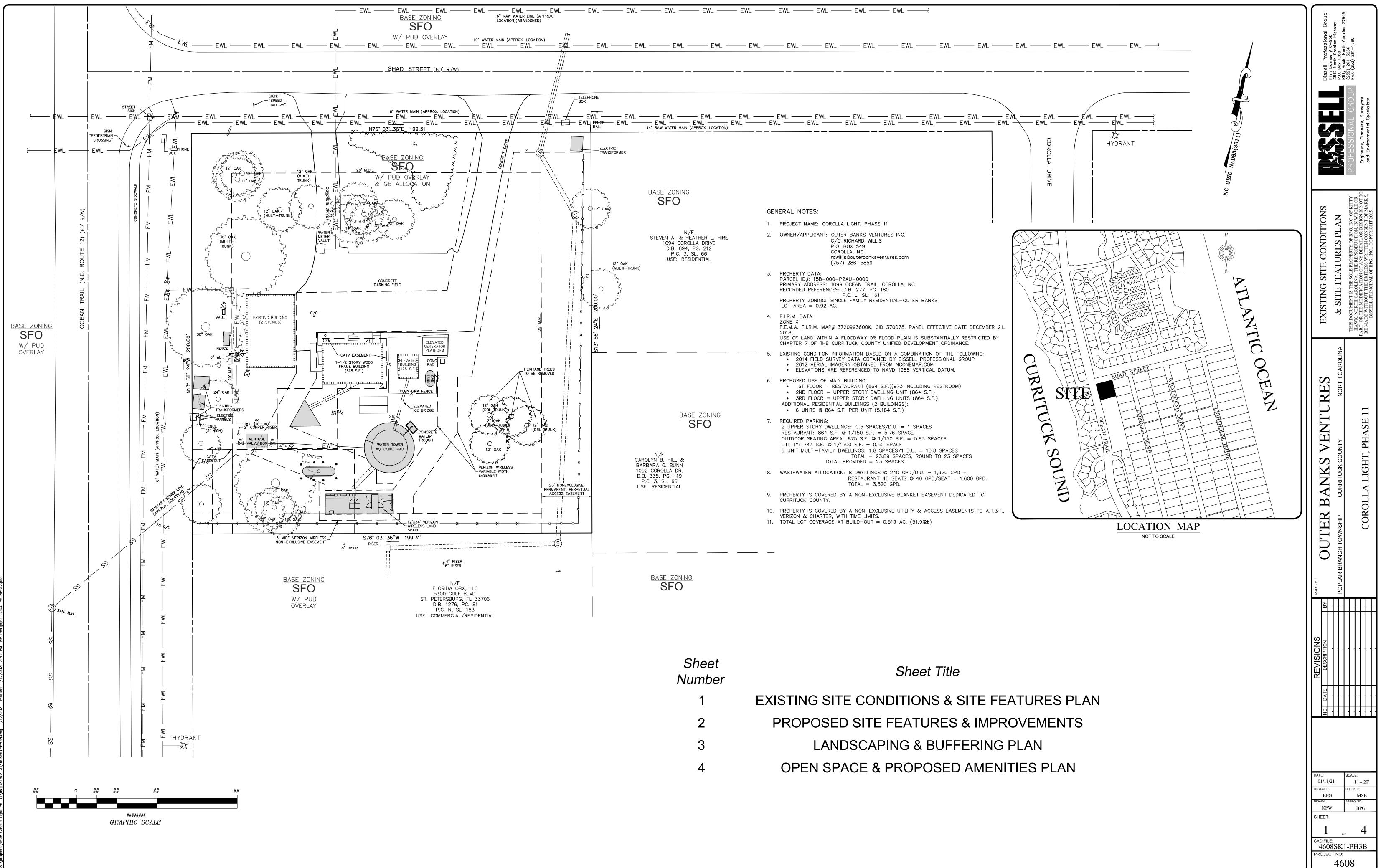




# NOTE

REQUESTED, PLEASE SEE THE PHASE 11 SITE PLAN, DATED 9-14-20, ACCOMPANYING THIS REQUEST.

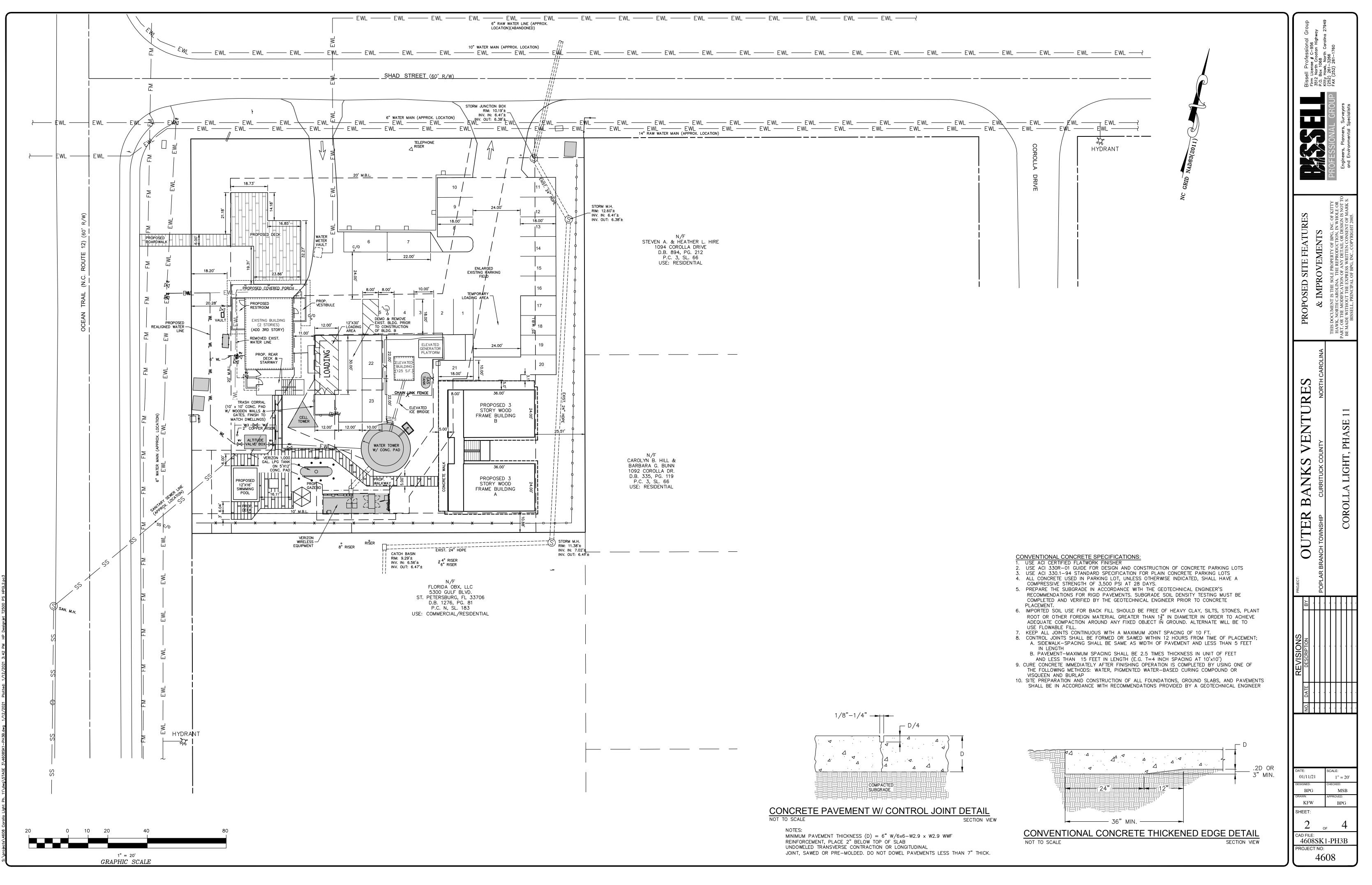
	F.I.R.M. ZONE "AE" (EL.4')	CU
PHASE 5C CURRITUCK	F.L.R.M. ZONE SHADED X" (EL.N/A)	
PHASE 4 PHASE 5B PHASE	F.L.R.M. ZONE (10) 60' R/W, (10) 640 (340) (340)	
60' R/W BAILA 623 623 C 513 513 519 519 508 508 508 507 502 511 513 512 507 607 508 507 507 507 507 507 507 507 507 507 507	Image: Strength of the strengt of the strength of the strength of the strength of the strength	BRUMBER'
PHASE 7D	OCEAN TRAIL - NC 12 (100' R/W)	
Image: Construction of the second	TID PHASE TO PHASE	
	PHASE	



Sheet Number	Sheet Title
1	EXISTING SITE CONDITIONS & SIT
2	PROPOSED SITE FEATURES &
3	LANDSCAPING & BUFFEF
4	OPEN SPACE & PROPOSED A

4.A.g

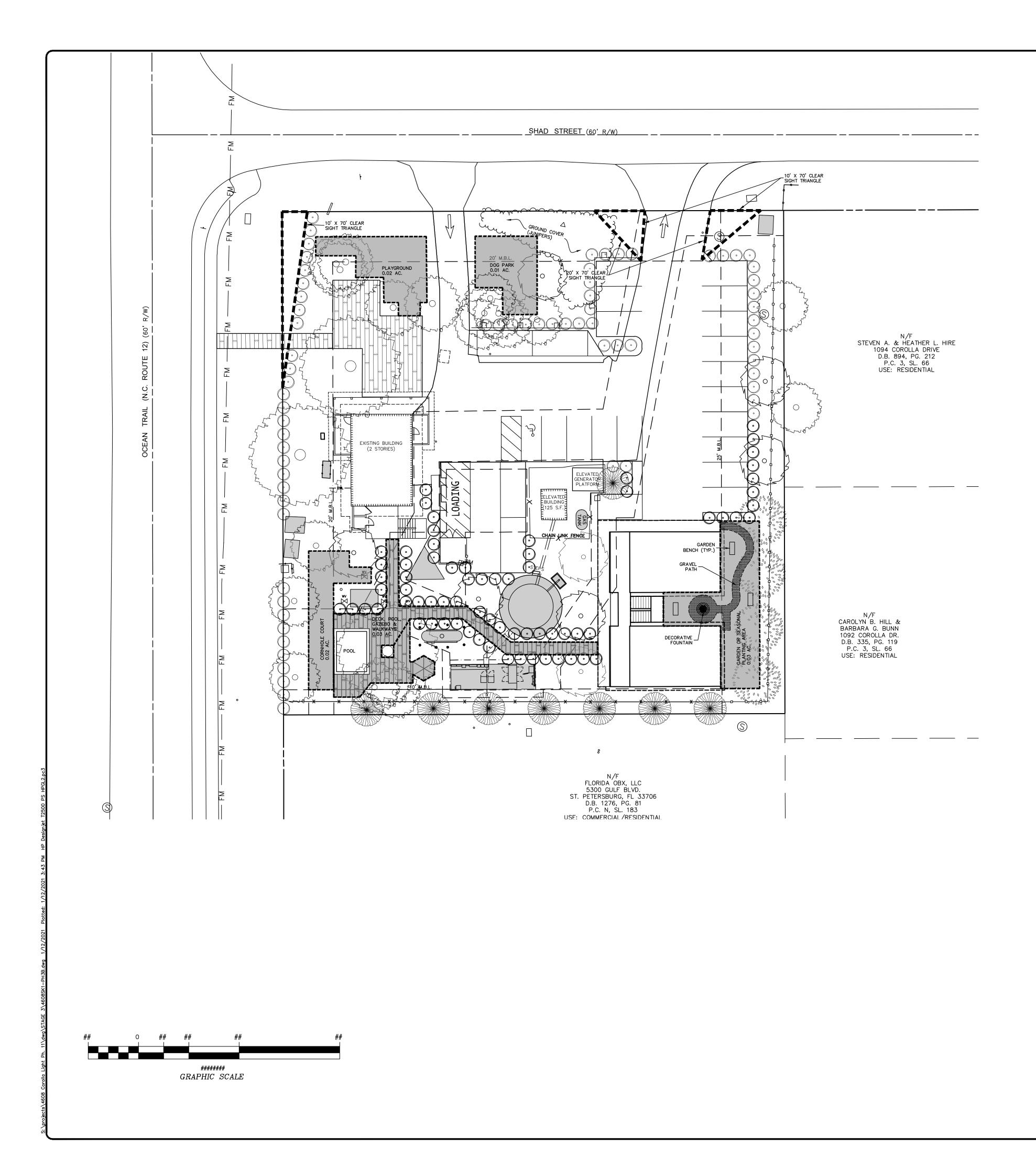
Packet Pg. 53





to the second seco	<ul> <li>GENERAL LANDSCAPING AND BUFFERING NO</li> <li>MAJOR ARTERIAL SCREENING:         <ul> <li>A VEGETATED SCREEN TO HWY 168 SH4 5.2.8.D.(2) OF THE CURRITUCK UDO, SIMAJOR AERTERIAL.</li> <li>VEGETATION SHALL INCLUDE A MININCANOPY TREES FOR EVERY 100 LINIRETAINED WILL BE CREDITED. SUPPLINECESSARY.</li> </ul> </li> <li>HERITAGE TREES:         <ul> <li>A TOTAL OF (25) HERITAGE TREES HAVINDICATED BY THE HERITAGE TREE SYMITREES ARE INTENDED TO REMAIN AND FOR MAXIMUM EXTENT PRACTICABLE.</li> </ul> </li> <li>TREE SPECIES AND PLANTING:         <ul> <li>TREE SHALL BE INSTALLED IN ACCORDIN SECTION 3.5 OF THE CURRITUCK COULINING STALLED IN ACCORDINING STALLED SHALL BE DIVERSE. A CANOPY TREES SHALL BE DIVERSE. A CANOPY TREES SHALL BE DIVERSE. A TOTSTALLATION, CANOPY TREES SMEASURED AT 6 INCHES. ABOVE GRAS AN ALTERNATIVE.</li> <li>AT INSTALLATION, UNDERSTORY TREE</li> </ul> </li> </ul>	ALL BE PROVIDED IN AC TES VISIBLE FROM, BUT MUM OF 8 AGGREGATE OF EAR FEET OF SCREENIN EMENTAL TREES SHALL WE BEEN IDENTIFIED WITH BOL PROVIDED IN THE L BE PROTECTED DURING CANCE WITH THE PLANTI JNTY ADMINISTRATIVE M PECIES SHALL BE OF TH N THE SAME MANUAL. A MINIMUM OF (4) DIFFE D IN ROUGHLY EQUAL F HALL HAVE A MINIMUM RADE, EIGHT FOOT HIGH ES SHALL HAVE A MINIM	NOT ACCESSED FROM CALIPER INCHES OF G. EXISTING VEGETATION BE PLANTED IF HIN THE PROJECT AREA AS EGEND. ALL HERITAGE CONSTRUCTION TO THE NG STANDARDS SPECIFIED ANUAL. OSE LISTED UNDER "TABLE ERENT SPECIES OF 'ROPORTIONS. CALIPER OF <u>2 INCHES</u> TREES MAY BE PLANTED MUM CALIPER OF <u>1.5</u>	Figure 1       Figure 1         Figure 1       Figure 4         Figure 1       Control Cooler         Figure 1       Figure 4         Figure 2       Figure 4         Figure 3       Figure 4         Figure 4       Figure 4 <td< th=""></td<>
6 FT. HIGH	INCHES MEASURES AT 6 INCHES AB PLANTED AS AN ALTERNATIVE. MATERIALS SHALL BE OF HIGH-QUA THE USE OF NATIVE, DROUGHT TOLE A REPUTABLE LANDSCAPE CONTRAC SCHEDULE OF TREES TO BE INSTALL THIS SCHEDULE SHALL BE REVIEWED DETERMINE COMPLIANCE BEFORE OR AND SPECIFICATIONS MAY BE PRESE	LITY NURSERY GRADE ERANT TREES IS ENCOU TOR OR SUPPLIER SHAI LED IN ACCORDANCE WI D BY CURRITUCK COUNT DERING AND INSTALLAT	RAGED. LL PREPARE AN ITEMIZED TH THIS LANDSCAPE PLAN. Y AND THE ENGINEER TO ION. ALTERNATE TREES	LANSCAPING AND BUFFERING PLAN RUFFERING PLAN THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY HAWK, NORTH CAROLINA. THE REPRODUCTION, IN WHOLE OR PART, OR THE MODIFICATION OF ANY DETAIL OR DESIGN IS NOT TO BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF MARK S. BISSELL, PRINCIPAL OF BPG, INC., COPYRIGHT 2005.
	G			ANKS VENTURES JRRITUCK COUNTY NORTH CAROLINA A LIGHT, PHASE 11
SYMBOL A	ANDSCAPING STANDARD STANDARD PARKING PERIMETER LANDSCAPING STRIP	ORDINANCE SECTION	N COMPLIANCE 290 LF OF VEHICULAR USE AREA = 58	
В	PARKING SHADING REQUIREMENT	5.2.5.D	SHRUBS (PROVIDED) 3 EXISTING HERITAGE TREES WITHIN 60 FT. OF ALL SPACES SOUTHERN PROPERTY	
С	PERIMETER LANDSCAPE BUFFERS	5.2.6	SOUTHERN PROPERTY LINE: TYPE D BUFFER (OPTION 2) <u>REQ'D</u> : ONE 6 FT. HIGH SOLID FENCE + 12 ACI OF CANOPY TREES PER 100 L.F. @ 200 L.F. = 24 ACI <u>PROVIDED</u> : (8) 3" CALIPER CANOPY TREES + (1) 6 FT. HIGH SOLID FENCE (BY VERIZON)	REVISIONS       PROJECT:         E       DESCRIPTION       BY
D	SCREENING	5.2.7.C	ROT-RESISTANT WOODEN OPAQUE FENCE, 6 FT. HIGH. FINISH TO MATCH BUILDING.	NO. DATE
E	STREETSCAPE BUFFER	5.2.8	200 LF = 16 ACI REQ'D. 16" CREDIT FOR EXISTING HERITAGE TREES	
F	SITE LANDSCAPING	5.2.4	2 CALIPER INCH PER ACRE = 2" X 0.92 AC. = 1.8" REQ'D. 1.8" CREDIT FOR EXISTING HERITAGE TREES 1 SHRUB PER 5 L.F. OF BUILDING FACADE FACING STREET = 60 L.F./5 = 12 SHRUBS 12 SHRUB CREDIT FOR EXISTING JUNIPER SCREENING ON SHAD STREET	DATE: SCALE: 01/11/21 1" = 10' DESIGNED: CHECKED: BPG MSB DRAWN: APPROVED: KFW BPG SHEET:
G	HERITAGE TREE REPLACEMENT	7.2.3.E.(1)	REMOVED HERITAGE TREE REPLACED BY TREE(S) EQUALING 1/2 TREE DIAMETER. REMOVED: (4) 12" TREES PROVIDED: (6) 4" CANOPY TREES	3 <sub>of</sub> 4 CAD FILE: 4608SK1-PH3B PROJECT NO: 4608

chment: 7 Preliminary Site Plan(PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/U





 $\begin{array}{l} \hline \textbf{OPEN SPACE CALCULATIONS:}\\ \hline \textbf{TOTAL TRACT AREA = 0.915 AC.}\\ \hline \textbf{REQUIRED OPEN SPACE = 0.92 AC. X 0.35 = 0.32 AC.}\\ \hline \textbf{OPEN SPACE PROVIDED = 48.1\%}\\ \hline \textbf{REQUIRED ACTIVE RECREATION OPEN SPACE = 0.32 AC. X 0.35 = 0.11 AC.}\\ \hline \textbf{ACTIVE RECREATION OPEN SPACE PROVIDED = 0.11 AC.} \end{array}$ 

	Bissell Professional Group Firm License # C-956	3512 North Croatan Highway	Kitty Hawk, North Carolina 27949				Engineers, Planners, Surveyors	and Environmental Specialists	
ODEN SDACE AND DDODOSED	UPEN SPACE AND PRUPUSED	AMENITIES PLAN		THE OWNER OF THE STREET AND A DATE OF THE STREET AND A STREET	IT IN DOCUMENT IN THE SOLE PROPERTY OF BEG, INC. OF NILLY	HAWK, NOKIH CAROLINA. THE REPRODUCTION, IN WHOLE OK	PARI, OK THE MODIFICATION OF ANY DETAIL OK DESIGN IS NOT TO DE MADE WITTIOTE THE EVANDESS WEITTEN CONSENT OF MADY S	BE MADE WITHOUT THE EAFRESS WRITTEN CONSENT OF MARKA S. RISSETT DRINCIDAL OF RDG INC. CODVRIGHT 2005	
· .	UUIEK BANKS VENIUKES						CODOLI A LIGHT DHACE 11	CONDEED FIGHT, I HABE II	
REVISIONS	NO. DATE DESCRIPTION BY			•				· · · ·	
DESIGN DRAWN I SHE CAD	/11/2 NED: BPG N: KFW		OF	-]	PI	I" :: ED: N	ISE PG	3	

## ABBREVIATIONS

1R1S	(1) ROD + (1) SHELF	NCSB
ACI	AMERICAN CONCRETE INSTITUTE	N.I.C.
ACT	ACOUSTICAL CEILING TILE	NO.
AFF	ABOVE FINISH FLOOR	NOM.
AFG	ABOVE FINISH GRADE	O.C.
AHU	AIR HANDLING UNIT	O.D.
ALUM.	ALUMINUM	O.H.
AM	ANTE MERIDEN	OPNG
ARCH.	ARCHITECTURAL	O/S
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OTB
BFE	BASE FLOOD ELEVATION	PC
B.O.	BOTTOM OF	PH
CJ	CONTROL JOINT	РJ
CAB.	CABINET	PL
CLG	CEILING	P-LAN
CMU	CONCRETE MASONRY UNIT	PME
CO	CLEANOUT	PP
CONC.	CONCRETE	PSF
CONT.	CONTINUOUS	PSI
	COMMON PATH OF EXIT TRAVEL	
CPET		PSL
CW	COLD WATER	P.T.
DBL	DOUBLE	PNTD
DR.	DOOR	P.W. /
DWG.	DRAWING	RC
DWV	DRAIN/ WASTE/ VENT	RCP
		-
DS	DOWNSPOUT	RD
DTL.	DETAIL	REINF
EC	ELECTRICAL CONTRACTOR	REQ'E
EJ.	EXPANSION JOINT	RL
ELECT.	ELECTRICAL	RUB
ELEV.	ELEVATION	SAN
ETC.	ETCETERA	SF
E.T.R.	EXISTING TO REMAIN	SIM
EWC	ELECTRIC WATER COOLER	SP
EXIST.	EXISTING	SPF
EXT.	EXTERIOR	SS
FBGLS.	FIBERGLASS	STOR
FCP	FIBER CEMENT PANEL	STL.
FD	FLOOR DRAIN	TD
FF	FINISH FLOOR	TME
FEC	FIRE EXTINGUISHER CABINET	T.O.
FJ	FALSE JOINT	T.O.P.
FLR.	FLOOR	TRD.
GC	GENERAL CONTRACTOR	TYP.
GA.	GAUGE	U.N.O
GALV.	GALVANIZED	V
GEN	GENERAL	vст
	-	
GS	GANG STUD	VERT
GWB	GYPSUM WALL BOARD	VIF
H/C	HANDICAPPED	W/
HDWR	HARDWARE	WGL
НМ	HOLLOW METAL	WD
HORIZ.	HORIZONTAL	
-		
HP	HEAT PUMP	
IM	ICEMAKER	
INSUL.	INSULATION	
INT.	INTERIOR	
KW	KILOWATT	
LOCS.	LOCATIONS	
LSL	LAMINATED STRAND LUMBER	
MAX.	MAXIMUM	
MBT	MARBLE THRESHOLD	
MC	MECHANICAL CONTRACTOR	
MCJ	MASONRY CONTROL JOINT	
MEJ	MASONRY EXPANSION JOINT	
MECH.	MECHANICAL	
MFR.	MANUFACTURER	
MIN.	MINIMUM	
MT	METAL THRESHOLD	
MTL.	METAL	
IVI I L.		

NCSBC N.I.C. NO. NOM. O.C. O.D. O.H. OPNG. O/S OTB PC PH PJ PL P-LAM PME PP PSF PSI PSL P.T. PNTD P.W. / PWD RC RCP RD REINF REQ'D RL RUB SAN SF SIM SF SIM SF SIM SF STOR STL. TD TME T.O. T.O.P. TRD. TYP. U.N.O. V VCT VERT. VIF W/ WGL WD	NORTH CAROLINA STATE BUILDING CODE NOT IN CONTRACT NUMBER NOMINAL ON CENTER OVERFLOW DRAIN/OUTSIDE DIAMETER OPPOSITE HAND OPENING OUTSIDE OPEN TO BELOW PLUMBING CONTRACTOR PHASE PANEL JOINT POINT LOAD PLASTIC LAMINATE PLUMBING, MECHANICAL, & ELECTRICAL PUSH PAD POUNDS PER SQUARE FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PARALLEL STRAND LUMBER PRESSURE TREATED PAINTED PLYWOOD REINFORCED CONCRETE REFLECTED CEILING PLAN ROOF DRAIN REINFORCED OR REINFORCING REQUIRED ROOF LEADER RUBBER SANITARY SQUARE FOOT OR SQUARE FEET SIMILAR SOUTHERN PINE SPRUCE/ PINE/ FIR STAINLESS STEEL STOREFRONT STEEL TRAVEL DISTANCE TO MATCH EXISTING TOP OF TOP OF PLATE TREAD TYPICAL UNLESS NOTED OTHERWISE VOLT/ VOLTAGE VINYL COMPOSITE TILE VERIFY IN FIELD WITH WIRE GLASS WOOD
--	---

GENERAL CONSTRUCTION NOTES

1. THESE DRAWINGS CONTAIN THE MINIMUM INFORMATION NECESSARY FOR ANY REPUTABLE CONTRACTOR TO UNDERTAKE CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT. HE SHALL COMPLETE THE WORK IN THE BEST AND MOST WORKMANLIKE MANNER, AND DO EVERYTHING PROPERLY INCIDENTAL THERETO, AS SHOWN ON THE PLANS, REQUIRED BY ALL APPLICABLE CODES, AS RECOMMENDED BY PRODUCT MANUFACTURERS, AND IN ACCORDANCE WITH CONTRACT DOCUMENTS

- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE BEGINNING WORK. DIMENSIONS FOR NEW CONSTRUCTION SHOULD BE HELD TO THE MAXIMUM EXTENT POSSIBLE 4. PREMISES OF THE ENTIRE JOB SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION
- DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF OSHA. 5. PRIOR TO THE FINAL PAYMENT THE CONTRACTOR SHALL GIVE TO THE OWNER A LABELED BINDER CONTAINING A LIST OF ALL SUPPLIERS AND SUBCONTRACTORS WITH ADDRESSES AND PHONE NUMBERS, GUARANTEES, AND OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT. THE
- CONTRACTOR SHALL WARRANT THE WORK FOR A PERIOD OF ONE YEAR. 6. IF A PORTION OF THE WORK HAS BEEN COVERED WHICH THE ARCHITECT HAS NOT SPECIFICALLY REQUESTED TO OBSERVE PRIOR TO ITS BEING COVERED, THE ARCHITECT MAY REQUEST TO SEE SUCH WORK AND IT SHALL BE UNCOVERED BY THE CONTRACTOR. IF SUCH WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, COSTS OF UNCOVERING AND REPLACEMENT SHALL, BY APPROPRIATE CHANGE ORDER, BE CHARGED TO THE ARCHITECT. IF SUCH WORK IS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PAY SUCH COSTS UNLESS THE CONDITION WAS CAUSED BY THE OWNER OR A SEPARATE CONTRACTOR IN WHICH EVENT THE OWNER SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH COSTS. THE CONTRACTOR
- SHALL PROMPTLY CORRECT THE WORK REJECTED BY THE ARCHITECT OR FAILING TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. 7. ALL CONCRETE SHALL BE 3000 PSI MINIMUM, AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE ACI AND ASTM.
- 8. LIGHT GAUGE STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE LIGHT-GAUGE STEEL FRAMING CONSTRUCTION MANUAL AND AS PER ASTM A446, A570, OR A611.
- 9. REINFORCING BARS FOR CONCRETE WORK SHALL BE GRADE 60, DEFORMED AS PER ASTM A615. 10. WELDED WIRE FABRIC SHALL BE AS PER ASTM A185 OF SIZES AND TYPE AS SHOWN ON DRAWINGS. 11. METAL TIE DOWN STRAPS, ANCHORS AND CLIPS SHALL BE AS PER "SIMPSON STRONGTIE" OR
- EQUAL 12. WOOD FRAMING AND BLOCKING SHALL BE #2 SPF OF THE SIZES INDICATED AND SHALL HAVE A MIN. Fb VALUE OF 1200 PSI. 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOFING IN ACCORDANCE WITH NRCA REQUIREMENTS AND THE ROOFING PRODUCT MANUFACTURER'S RECOMMENDATIONS INCLUDING
- WATERPROOFING OF ALL PENETRATIONS AND SUPPORTS FOR MECHANICAL EQUIPMENT, AND AS SHOWN ON DRAWINGS 14. THE CONTRACTOR SHALL DETERMINE BEFORE BEGINNING WORK WHETHER AN ELEVATION
- CERTIFICATE WILL BE REQUIRED AND SHALL OBTAIN THE CERTIFICATE AT THE EARLIEST OPPORTUNITY, ONE COPY MUST BE PROVIDED FOR THE OWNER. 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SHEATHING AND GWB OF WALL CAVITY. FLOOR AND CEILING
- INSULATION SHALL BE IN FULL CONTACT WITH GWB. INSULATION SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS, WITH NO SUBSTANTIAL GAPS, VOIDS, COMPRESSION OR WIND INTRUSION. 16. SOIL SHALL BE FREE OF ORGANIC MATERIAL AND CONSOLIDATED TO BE CAPABLE OF 1,500 PSF AND LIMIT LONG TERM SETTLEMENT.
- 17. CAULK ALL GAPS IN FRAMING AND SHEATHING AT FRAMING ROUGH-IN. CAULK GAPS IN GWB NOT SEALED BY TAPE AND JOINT COMPOUND. AIR TIGHTNESS SHALL BE LESS THAT OR EQUAL TO .30 CFM50 PER SQUARE FOOT OF CONDITIONED ENVELOPE AREA.



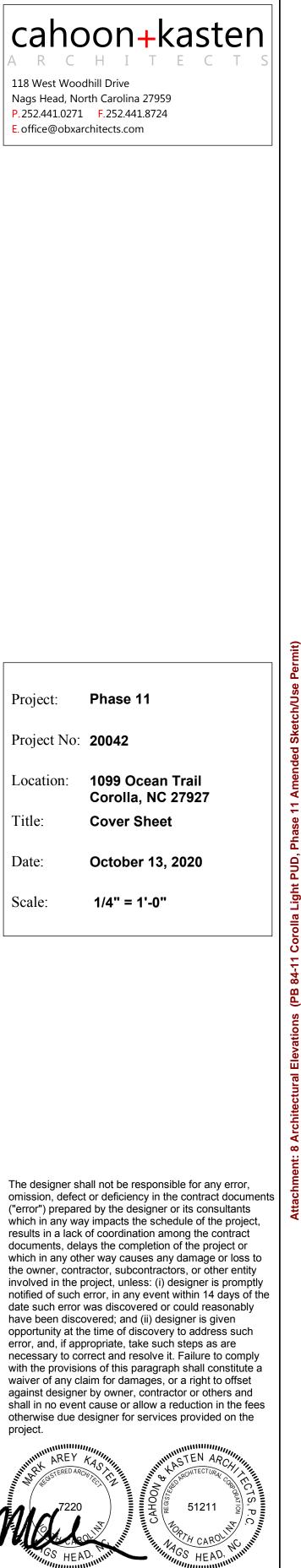


# DEMOLITION NOTES

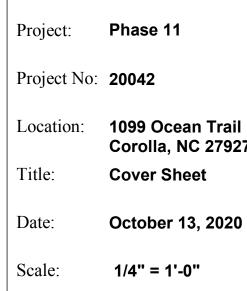
ARCHITECT.

- 1. THESE DRAWINGS ARE BASED ON FIELD OBSERVATIONS AND MEASUREMENTS OF THE EXISTING STRUCTURE. DIMENSIONS FOLLOWED BY A +/- MAY BE ADJUSTED TO MEET ACTUAL DISCREPANCIES IN THE DRAWINGS SHOULD BE ANTICIPATED. THE GENERAL CONTRACTOR SHALL RESOLVE SUCH DISCREPANCIES WITH REGARD TO THE BUILDING'S STRUCTURAL INTEGRITY.
- 2. ELECTRICAL SERVICE SHALL BE TERMINATED AS APPROPRIATE PRIOR TO THE COMMENCEMENT OF DEMOLITION
- TERMINATION OF GAS SERVICE SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF DEMOLITION 4. THE GENERAL CONTRACTOR SHALL SEQUENCE THE WORK SO AS TO PROTECT THE
- EXISTING STRUCTURE FROM EXCESSIVE WATER DAMAGE, UNAUTHORIZED ACCESS, ETC. 5. THE GENERAL CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- 6. IT SHALL BE THE OWNER'S OPTION TO SALVAGE ANY REMOVED STRUCTURES, ARCHITECTURAL COMPONENTS, WINDOWS, FIXTURES, EQUIPMENT OR HARDWARE FOR SALE OR RE-USE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER'S REPRESENTATIVE ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
- 7. EXISTING STRUCTURAL COLUMNS, BEAMS AND WALLS SHALL REMAIN U.N.O. 8. TEMPORARY SUPPORT OF RAFTERS SHALL BE PROVIDED WHERE ROOF STRUCTURE OR WALLS SUPPORTING ROOF STRUCTURE ARE TO BE REMOVED. 9. TEMPORARY SUPPORT OF JOISTS SHALL BE PROVIDED WHERE BEARING WALLS ARE TO
- BE REMOVED. 10. TEMPORARY SUPPORT OF THE FLOOR STRUCTURE SHALL BE PROVIDED WHERE FLOOR AREAS ARE PARTIALLY REMOVED. 11. SOME PLUMBING FIXTURES AND PIPING SHALL BE REMOVED. PLUG ALL ABANDONED
- PIPING AND FLOOR DRAINS EVEN WITH THE FLOOR OR WALL SURFACE. 12. ALL GAS EQUIPMENT AND PIPING SHALL BE REMOVED. GAS-TORCH CUTTING OF GAS PIPING SHALL NOT BE PERMITTED. 13. DISCONNECT EXISTING ELECTRICAL SERVICE AT SERVICE ENTRY AND PROPERLY CAP ALL
- EXPOSED WIRING AS PER CODE. 14. ALL UTILITIES MUST BE CUT, CAPPED, TERMINATED, AND PROPERLY ISOLATED SO THAT NO DAMAGE OCCURS TO PARTS OF ANY SYSTEM THAT ARE TO REMAIN OR SERVE OTHER BUILDINGS THAT ARE NOT PART OF THE DEMOLITION. CONDITIONS. DUE TO THE NATURE OF THE CONSTRUCTION AND SPACE DIVISION SOME
- 15. INFILL AT DOOR OPENINGS SHALL MATCH SURROUNDING CONSTRUCTION AS NEARLY AS POSSIBLE. 16. INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS. AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR
- SERVICEABLE PORTIONS OF THE BUILDING THE OWNER AGREES THAT, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL. THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS AGREEMENT. WHERE NEW CONSTRUCTION IS SHOWN IN ALIGNMENT WITH EXISTING COLUMNS OR THE EDGE OF AN EXISTING MASONRY OPENING THE ALIGNMENT SHOULD BE
- MAINTAINED. ANY EXISTING CONDITIONS WHICH PROHIBIT NEW CONSTRUCTION IN CONFORMANCE WITH THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE

4.A.h



	10/13/2020		EAU
Revis	ions:		
No.	E	Description	Date
Designe	ed: MAK		$\land \land$
Drawn:	MAK, JPB	A0	
Review	ed:	AU	UL
Cad File	e:		_



	Drawing Index
Sheet Number	Sheet Name
A001	Cover Sheet
A002	Appendix B
A003	Life Safety Plans
A101	First Floor Plan & Toilet Elevations
A102	Second Floor Plan & Schedules
A103	Roof Plan
A201	Elevations
A301	Building Sections
A501	Details

1 SIM **A101** ENLARGED PLAN OR DETAIL KEY Drawing Symbols

DRAWING NUMBER

DRAWING NUMBER

DRAWING TITLE

EXTERIOR ELEVATION KEY

INTERIOR ELEVATION KEY

LEVEL CALLOUT

DOOR TAG

WALL TAG

ROOM TAG

DIMENSION

SECTION KEY

DETAIL KEY

(FACE OF STUD U.N.O.)

WINDOW TAG

View Name

1/8" = 1'-0"

∠\_\_\_\_ SHEET NUMBER

Name Elevation

1

(A)

 $\langle A \rangle$ 

Room name

101

5' - 0"

1 A101 SIM

//4" = 1'-0"

A101

໌ A101 `

	Drawing Index
Sheet Number	Sheet Name
A001	Cover Sheet
A002	Appendix B
A003	Life Safety Plans
A101	First Floor Plan & Toilet Elevations
A102	Second Floor Plan & Schedules
A103	Roof Plan
A201	Elevations
A301	Building Sections
4 5 6 4	

Packet Pg. 57

2018 APPENDIX B
<b>BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS</b>
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2

		1			01			
lame of Project:	Phase 11 1099 Ocean	Trail						
uui 055.	Corolla, NC	-						
wner/Authorized A								
none #:	E-N	Mail:						
wned By:	mindiation	City/Co	•		Private			State State
ode Enforcement J								
ONTACT: <u>Mark</u>	Kasten, AlA	۹						
DESIGNER	FIRM		1	NAME	LIC #	TELEPHONE #	E-MAII	
Architectural	Cahoon + k	Kasten Architec	ts N	Mark Kasten	7220	252.441.0271	mark@obxar	chitects.com
Civil Electrical								
Tire Alarm								
Plumbing								
Mechanical								
Sprinkler-Standpip	e							
Structural								
Retaining Walls >5	'h							
Other								
18 NC BUILDIN	G CODE:		] New F	Building	Addition	n 🗌 1st	Time Inte	erior Completion
				-		Construction*		
			inspect					and requirements.
)18 NC EXISTINO	<b>F BUILDING</b>	G CODE:			-	Alteration Le	-	
						Alteration Le		Change of Use
ONSTRUCTED:	(date)				-	UPANCY(S) (Ch		
ENOVATED:	(date)							
SK CATEGORY			Curre			osed:	, · · _	
ASIC BUILDING	DATA							
onstruction Type		-A		-A	III-A	IV		V-A
heck all that apply)		-B		-B	III-B			X V-B
orinklers:	No I	Partial	XN	FPA 13	NFPA	13R NFF	PA 13D	
andpines:	<b>_</b>	Class 🗌 I	Π		Wet	Dry		
imary Fire Distri		No Yes	_		d Hazard A		Yes	
oecial Inspections	Required:	X No	L Y			ns are required, c litional procedure		
				5			s and req	
LOOR		G		<mark>ilding Area 1</mark> STING (SQ F		NEW (SQ FT		SUB-TOTAL
Irth Floor				51110 (501	1)		,	JOD-TOTAL
3rd Floor						864 SF	=	864 SF
2nd Floor				864 \$	SF			864 SF
Mezzanine								
1st Floor				864 S	\$F	108 SF	-	972 SF
Basement Fotal				1728 \$	26	972 SF	=	2700 SF
Total				17203		972 31	-	2700 3F
Factory Hazardous Institutional		F-1 Moderate H-1 Detonate I-1 I-2		2 Low -2 Deflagrate I-1 & I-2 Co		mbust $\square$ H-4 H $\boxed{1}$ $\square$ 2	Iealth	H-5 HPM
Institutional		I-1 I-2 I-3 I-4		I-1 & I-2 CC I-3 Conditio		$\begin{array}{c c} 1 & \underline{} 2 \\ 1 & \underline{} 2 \end{array}$	3	4 5
Mercantile								
Residential		R-1 R-2			_	_		
Storage		S-1 Moderate Parking Gara		X S-2 L Open	ow [	Hile Pile	Dono	ir Garage
Utility and Miscel		I arking Gara	gc		L			in Garage
2								
ccessory Occupan cidental Uses (Tal	•	tion(s): _						
becial Uses (Chapt	, –	de Sections):						
oecial Provisions (			tions):					
ixed Occupancy:		No Yes	1	Separation:	Hr.	Exception:		
	eparated Use	. ,						
X Separ	ated Use (508	3.4) See b the su				ry, the area of the occ of each use divided b		
				all not exceed 1				
Actua	Area of Occ	unancv A		Actual Area	a of Occup	ancv B		
	le Area of O	<u> </u>	+	Allowable Ar			$\leq 1$	
	972 SF			1728	SE.			
	972 SF 0500 SF		+	27000		+	=	$0.088 \leq 1$
	0000 01			27000	01			
	IPTION	(A)		(B	)	(C)		(D)
	ND SE	BLDG. A		TABLE		AREA FOR		ALLOWABLE
U	SE	PER ST (ACTU		AR	ΞA	FRONTAG INCREASE		REA PER STORY OR UNLIMITED <sup>2,3</sup>
1 6 0								
1 S-2 2 B			972 SF 864 SF		0500 SF 7000 SF			18,000 SF 27000 SF
2 В 3 В			864 SF		7000 SF 7000 SF			27000 SF 27000 SF
								2.00001
Bı	ilding Area	2700	SF SF	М	aximum Al	lowable Building	Area	N/A
· · ·				-		-		
Frontage area incre			-		с. · · ·	. 1.1		
a. Perimeter whi b. Total Building	-	-	open spa	-	icei minim	um width =	(F)	
b. Total Building c. Ratio $(F/P) =$				(1)				
d. W = Minimur				(W)				
e. Percent of from					=	(%)		
Unlimited area app	licable under	conditions of	f Section	n 507.				
Maximum Building							5.2).	
The maximum area								
Frontage increase i	s based on the	e unsprinkler	ad area	T-1-1	e 506.2.			
			eu area	value in Table				
			eu alea	value in Table				
		A						
		A	LLOW	ABLE HEIC	HT	WN ON PLANS	COD	E REFERENCE <sup>1</sup>
Building Height in Building Height in	Feet (Table 5	i04.3) <sup>2</sup>	LLOW	ABLE HEIG	SHT SHOV	WN ON PLANS 35' 3(3)	COD S-2	

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4. 2. The maximum height of air traffic control towers must comply with Table 412.3.1. 3. Then maximum height of open parking garages must comply with Table 406.5.4.

PERCENTAGE OF WALL OPENING CALCULATIONS					
WALL	FIRE SEPARATION	DEGREE OF OPENINGS	ALLOWABLE	ACTUAL SHOWN	
	DISTANCE FROM	PROTECTION	AREA	ON PLANS	
	PROPERTY LINES (FEET)	(TABLE 705.8)	(%)	(%)	
NORTH	>30 FT	UP, S	UL %		
EAST	>30 FT	UP, S	UL %		
SOUTH	>30 FT	UP, S	UL %		
WEST	>30 FT	UP, S	UL %		

BUILDING ELEMENT	FIR SEPAR			RATING PROV	IDED	DETA AN
	DISTA		REQ'D	(W/		SHEE
	(FEI	ET)		REDUC	TION)	
Structural frame, including columns,			0			
girders, & trusses			U			
Bearing walls						
Exterior North			0			
East			0			
West			0			
South			0			
Interior Nonbearing walls and			0			
partitions						
Exterior walls						
North East			0			
West			0			
South			0			
Interior walls and partitions Floor construction			0			
Including supporting			0			
beams and joists						
Floor Ceiling Assembly			0			
Columns Supporting Floors Roof Construction, including			0			
supporting beams and joists			0			
Roof Ceiling Assembly			0			
Columns Supporting Roof			0			
Shafts Enclosures - Exit Shafts Enclosures - Other						
Corridor Separation						
Occupancy/ Fire Barrier Separ	ation		1	1		
Party/Fire Wall Separation						
Smoke Barrier Separation Smoke Partition						
Tenant/Dwelling Unit/						
Sleeping Unit Separation						
Incidental Use Separation * Indicate section number permit	ting reduct	tion				
LIFE SAFETY SYSTEM	REQUI			VV	2.5	
Emergency Lighting: Exit Signs:			lo Io	X Ye X Ye		
Fire Alarm:		XN				
Smoke Detection Systems:			lo	XY		Par
Carbon Monoxide Detectio	on:		lo	X Ye	es	
LIFE SAFETY PLAN RE	EQUIRE	MENT	S			
Life Safety Plan Sheet #:	A003	5			-	
Fire and/or smoke ra	ated wall	locatio	ns (Ch	apter 7)		
Assumed and real pr					the sit	e plan)
Exterior wall openin	-	-				-
<ul><li>x Occupancy Use for a</li><li>x Occupant loads for a</li></ul>			lates to	o occupa	ant load	i calcula
x Exit access travel di						
x Common path of tra		nces (10	06.2.1	& 1006	5.3.2(1)	)
Dead end lengths (1		• 1				
<ul><li>x Clear exit widths for</li><li>x Maximum calculated</li></ul>			canaci	tv each e	exit do	or can a
x Actual occupant loa	-		-	.,		or cuir u
x A separate schemati	-	-		e fire rat	ed floo	r/ceiling
for purposes of occu		-		10 1 10)		
Location of doors w Location of doors w	-					nt of de
Location of doors w	-	-				
Location of doors ed			-		8	,
Location of emerger	•			030)		
The square footage			· · ·	ment for	r Occuu	oancy C
Note any code excep			-			•
				-		
TOTAL ACCESSIBLE		SSIBLE		DWEL	1	$\frac{\text{UNITS}}{\text{PE A}}$
UNITS UNITS		ITS		NITS		NITS
REQUIRED	PROV	/IDED	REQ	UIRED	PRO	VIDED
			CESSI	BLE PA	ARKIN	IG (SE
LOT OR PARKING TOT	TAL # OI					OF ACC
AREA R	EQUIRE	D	PROV	IDED		ULAR V
					5'	ACCES
						AISLE
TOTAL						
TOTAL	PLU	MBING	G FIX	TURE F	REQUI	REME
USE WA	TERCLO	OSETS	UR	INALS		LAVAT
USE WA MALE F		OSETS	UR	INALS		
USE WA MALE F EXIST'G	TERCLO	DSETS UNISE	UR	INALS		LAVAT
USE WA MALE F	TERCLO	OSETS	UR	INALS		LAVAT
USE WA MALE F EXIST'G SPACE NEW	TERCLO	DSETS UNISE 1	UR X	INALS	MALE	LAVAT FEMAI
USE WA MALE F EXIST'G SPACE NEW 1	TERCLO	DSETS UNISE 1 1	UR X	INALS SPECIA	MALE	LAVAT FEMA

F		ROTECTION				
	R	ATING	DETAIL#	DESIGN#	SHEET#	SHEET#
ON	REQ'D	PROVIDED	AND	FOR	FOR	FOR
СE		(W/*	SHEET#	RATED	RATED	RATED
		REDUCTION)		ASSEMBLY	PENETRATION	JOINTS
	0					
	Ŭ					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	0					
	1	1				
l						

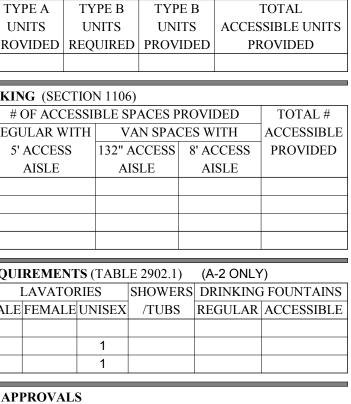
Partial \_\_\_\_\_

	STR	RUCTURAL DESI	GN		
DESIGN LOADS					
Importance Factors:	Wind $(I_w)$ Snow $(I_s)$ Seismic $(I_E)$	1.0 1.0 1.0			
Live Loads:	Roof Mezzanine Floor	20 psf psf 0psf			
Ground Snow Load:		<u>    10  </u> psf			
Wind Load:	Basic Wind Speed Exposure Category	135 mph (A	SCE-7)		
SEISMIC DESIGN CATEGO		A X B	C	<b>D</b>	
Provide the following Seismic	•				
Occupancy Category (Ta	,	I XII		IV	
Spectral Response Accel		%g	S1	%g	
Site Classification (ASC	E-7) Source: Field Test	B C	X D esumptive	E Histori	└ F cal Data
Basic structural system			esumptive		Cal Data
· · · ·	Bearing wall Building Frame Moment Frame	1	Moment Frame diate R/C or Spe lum		
<b>Analysis Procedure:</b>	Simplified	d XE	quivalent Lateral	l Force	Dynamic
Architectural, Mechanic	al, Components anchor	red? X Y	es 🗌 No		
LATERAL DESIGN CONTR	<b>ROL:</b> Earthquake		Wind X		
SOIL BEARING CAPACITI	ES:				
Field Test (provide copy of		psf			
15	• /				

<u>1,500</u> psf

8x8 4 tons

NO



nce, OSC, DPI, DHHA, etc., describe below)

Pile size, type, and capacity

Presumptive Bearing capacity

Area Schedule Porc Name Area Style Heated 972 SF Heated SF Porch Porch 972 SF 864 SF Heated SF Porch Stair 864 SF Heated SF 864 SF Decks Porch creened Porch Stair 864 SF 2700 SF

## provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design. **Existing building envelope complies with code:** (If checked the remainder of this section is not applicable.) Provide code or statutory reference: 5A 4A

X Prescriptive

ENERGY SUMMARY

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be

Performance

ENERGY REQUIREMENTS:

Climate Zone: X 3A

Method of Compliance:

Energy Code

Slab heated:

**Exempt Building:** 

ASHRAE 90.1	Performance Prescriptive	
Other	Performance (specify source)	
THERMAL ENVELOPE (Prescripti	ive method only)	
Roof/ceiling Assembly (each ass Description of assembly: U-Value of total assembly: R-Value of insulation: Skylights in each assembly: U-Value of skylights: total s.f. of skylights in each ass	SHEATHING, WD TRUSSES, FBGLS. BATT INSUL., 1/2" G.W.B. R-38	
Exterior Walls (each assembly) Description of assembly: U-Value of total assembly:	SIDING, 15# ASPHALTIC FELT, 1/2" P.W. SHEATHING, 2x6 WD. STUDS, FBGLS. BATT. INSUL., 1/2" G.W.B.	
R-Value of insulation:	R-20	
Openings (windows or doors w U-Value of assembly: Solar heat gain coefficient: Projection factor: Door R-Values:		ŀ
Walls below grade (each assemb	bly)	
Description of assembly:		
U-Value of total assembly:		
R-Value of insulation:		
Floors over unconditioned space Description of assembly: U-Value of total assembly: R-Value of insulation:	e (each assembly)	
Floors slab on grade	4" REINF. CONC.	
Description of assembly:		
U-Value of total assembly:		
R-Value of insulation: Horizontal/vertical requiremen	NR t:	

ssumed property lines (705.8) oad calculations (Table 1004.1.2)

door can accommodate based on egress width (1005.3)

loor/ceiling and/or roof structure is provided

ount of delay (1010.1.9.7) 010.1.9.9)

cupancy Classification I-2 (407.5) been utilized regarding the items above

G UNITS (SECTION 1107) TYPE A TYPE B TYPE B

	cahoon+kasten
	118 West Woodhill Drive Nags Head, North Carolina 27959 P.252.441.0271 F.252.441.8724 E. office@obxarchitects.com
_	

	4.A.h	
_		

Ð

MECHANICAL SUMMARY

- relative humidity: **Building heating load:**
- **Building cooling load:**

Thermal Zone

Unitary

Boiler

Chiller

Energy Code:

winter dry bulb:

summer dry bulb:

**Interior design conditions** winter dry bulb:

summer dry bulb:

**Mechanical Spacing Conditioning System** 

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

- description of unit: heating efficiency: cooling efficiency:
- size category of unit:
- Size category. If oversized, state reason.:
- Size category. If oversized, state reason.:
- List equipment efficiencies:
- ELECTRICAL SUMMARY ELECTRICAL SYSTEM AND EQUIPMENT
- Method of Compliance:
- Prescriptive ASHRAE 90.1:
  - Prescriptive
- Lighting Schedule (each fixture type)
  - lamp type required in fixture number of lamps in fixture
  - ballast type used in the fixture
  - number of ballasts in fixture total wattage per fixture
  - total interior wattage specified vs. allowed (whole building or space by space) total exterior wattage specified vs. allowed

Performance

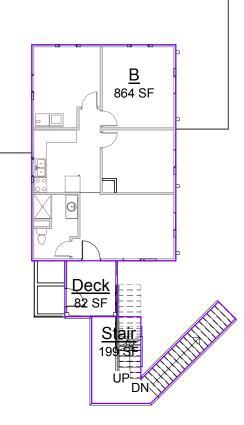
Performance

- Additional Efficiency Package Options
- (When using the 2018 NCECC; not required for ASHRAE 90.1) C406.2 More Efficient HVAC Equipment Performance C406.3 Reduced Lighting Power Density C406.4 Enhanced Digital Lighting Controls
  - C406.5 On-Site Renewable Energy C406.6 Dedicated Outdoor Air System
  - C406.7 Reduced Energy Use in Service Water Heating

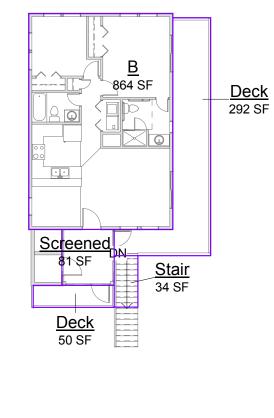


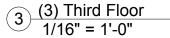
(1) First Floor 1/16" = 1'-0"

ches	Exterior Decks & Stairs
361 SF	
361 SF	0 SF
169 SF	
	98 SF
169 SF	98 SF
	192 SF
113 SF	
56 SF	
	98 SF
169 SF	290 SF
699 SF	388 SF



(2) Second Floor 1/16" = 1'-0"

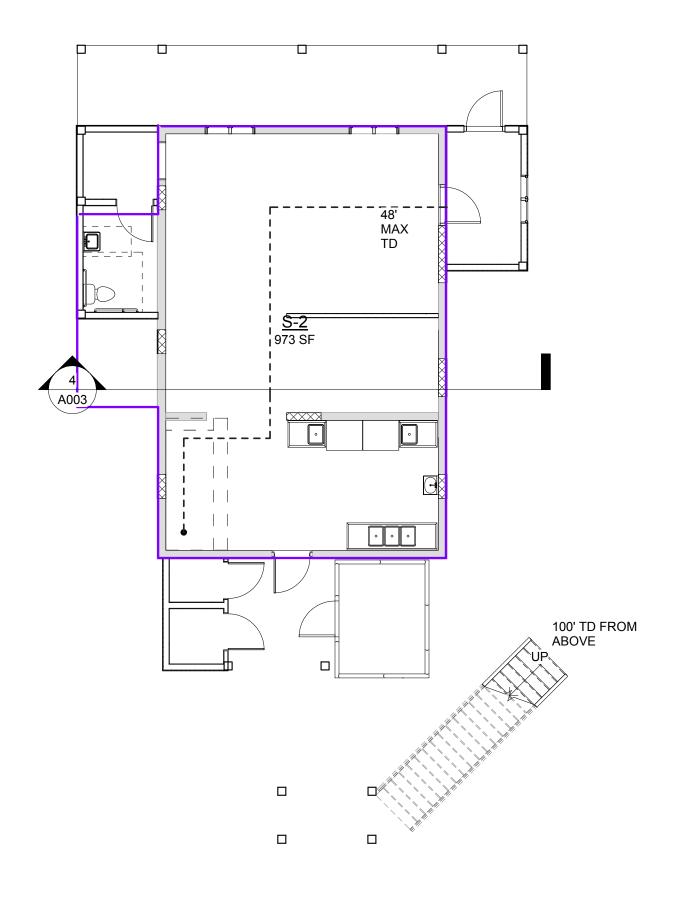


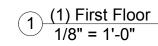


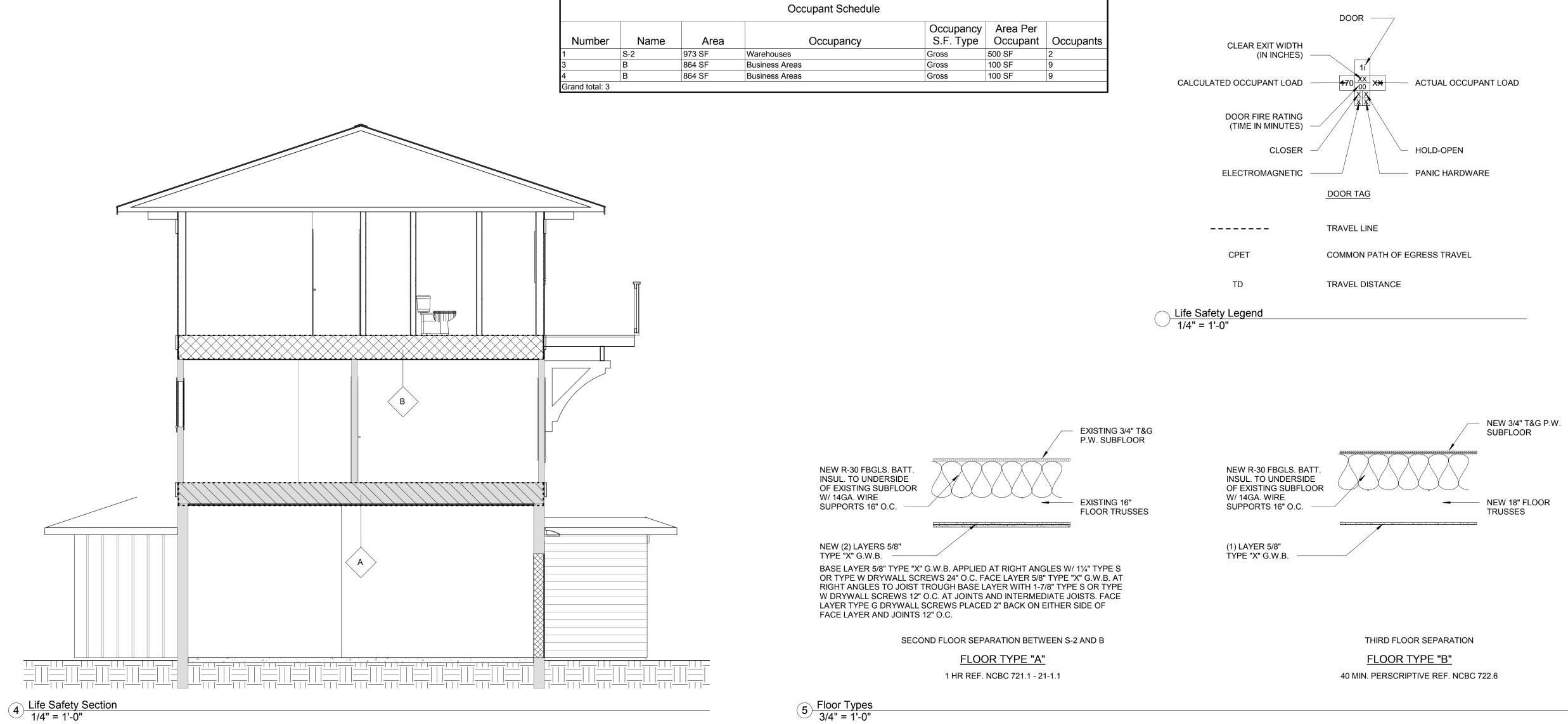
Project:	Phase 11
	000.40
Project No:	20042
Location:	1099 Ocean Trail
Location.	Corolla, NC 27927
Title:	Appendix B
Date:	October 13, 2020
Scale:	1/16" = 1'-0"

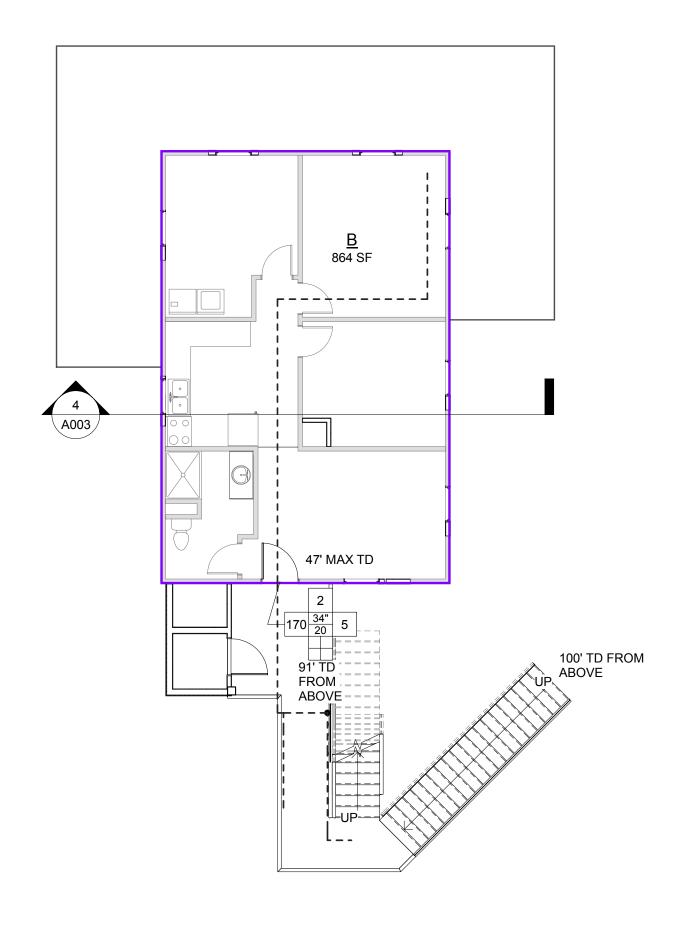
The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

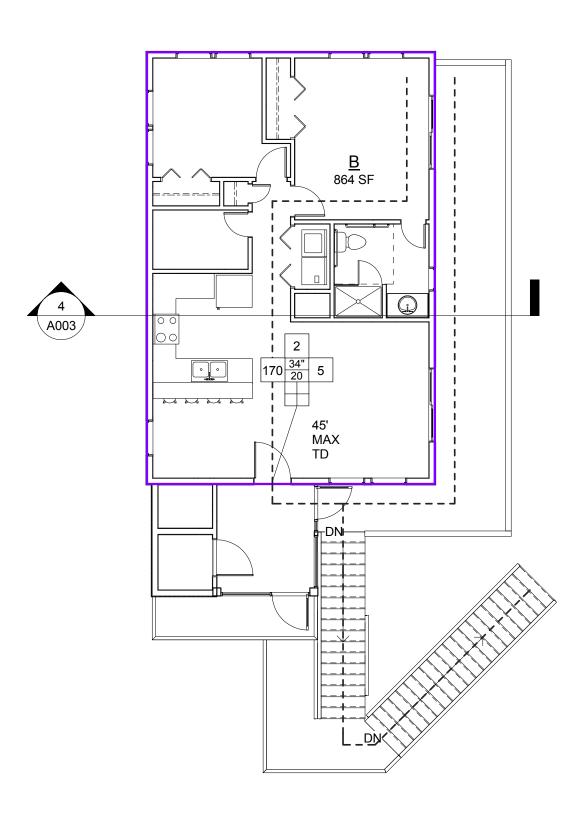
·"///////	)/13/2020	CAHOON IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	STEN AR STEN AR 51211 51211 STA CARO SS HEAD	<u>``</u>
No.		escription		Date
Designed: Drawn: MA		Δ	)()	2
Reviewed: Cad File:			JU	











3 (3) Third Floor 1/8" = 1'-0"

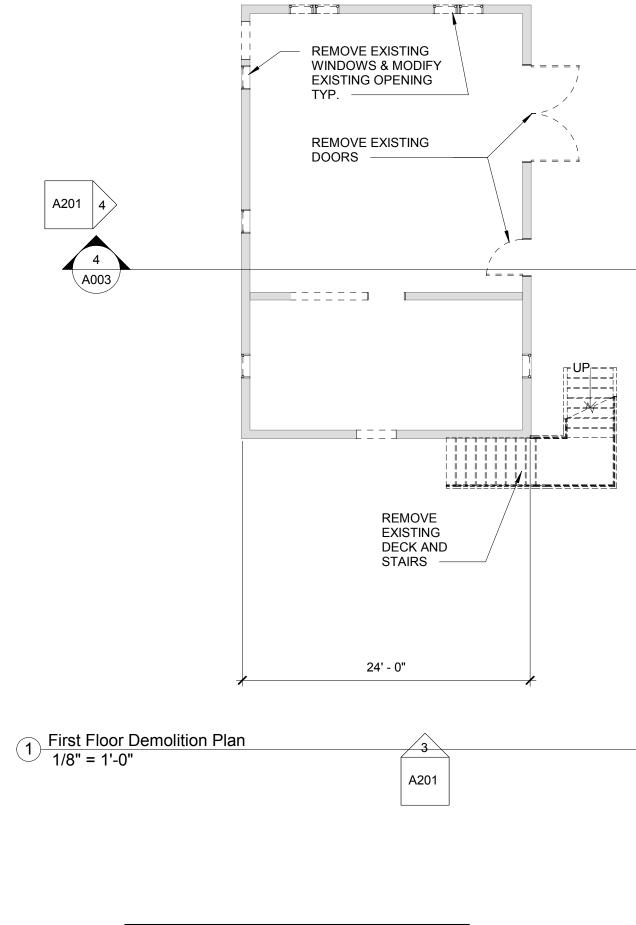
	Occupant Schedule	
		Oc

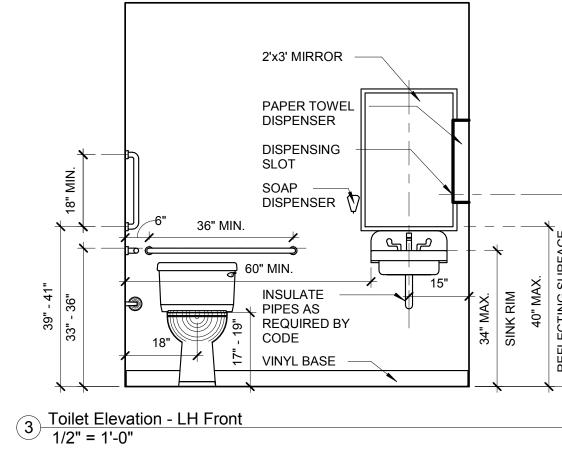
(2) Second Floor 1/8" = 1'-0"

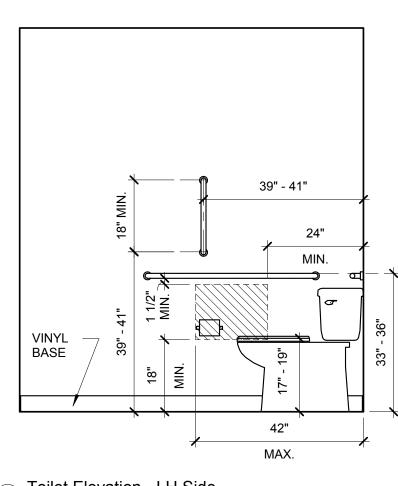
Occupant Schedule						
Number	Name	Area	Occupancy	Occupancy S.F. Type	Area Per Occupant	Occupants
1	S-2	973 SF	Warehouses	Gross	500 SF	2
3	В	864 SF	Business Areas	Gross	100 SF	9
4	В	864 SF	Business Areas	Gross	100 SF	9
Grand total: 3		1	•	÷		

P.252.441.0271 E. office@obxa		
Project:	Phase 11	
Project No:	20042	
Location:	1099 Ocean Trail Corolla, NC 2792	
Title:	Life Safety Plans	
Date:	October 13, 2020	)
Scale:	As indicated	
omission, defec	nall not be responsible for t or deficiency in the cont ed by the designer or its c	ract documents
which in any wa results in a lack	ay impacts the schedule of coordination among the ays the completion of the	f the project, le contract
which in any oth the owner, cont	ner way causes any dama ractor, subcontractors, or project, unless: (i) designed	age or loss to other entity
notified of such date such error have been disc	error, in any event within was discovered or could overed; and (ii) designer i	14 days of the reasonably s given
error, and, if ap necessary to co	ne time of discovery to ad propriate, take such steps prrect and resolve it. Failu	s as are re to comply
waiver of any cl against designe	ons of this paragraph sha laim for damages, or a rig er by owner, contractor or	ht to offset others and
	It cause or allow a reducti designer for services prov	
AREY AREY ARASIEREDAR	KAONIN KASTEN	
	обрания	CTURAL OR ORATION
GRANGE CA	COLONNOL CONTRACT OF CONTRACT	CAROLINE O
10/13/2	2020	
Revisions:	Description	Date
Revisions:		
Revisions:		

2 A201

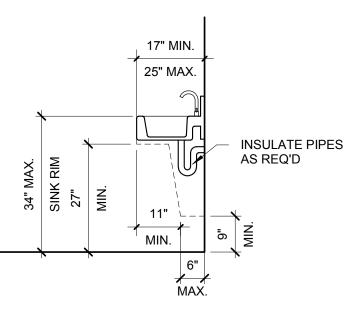






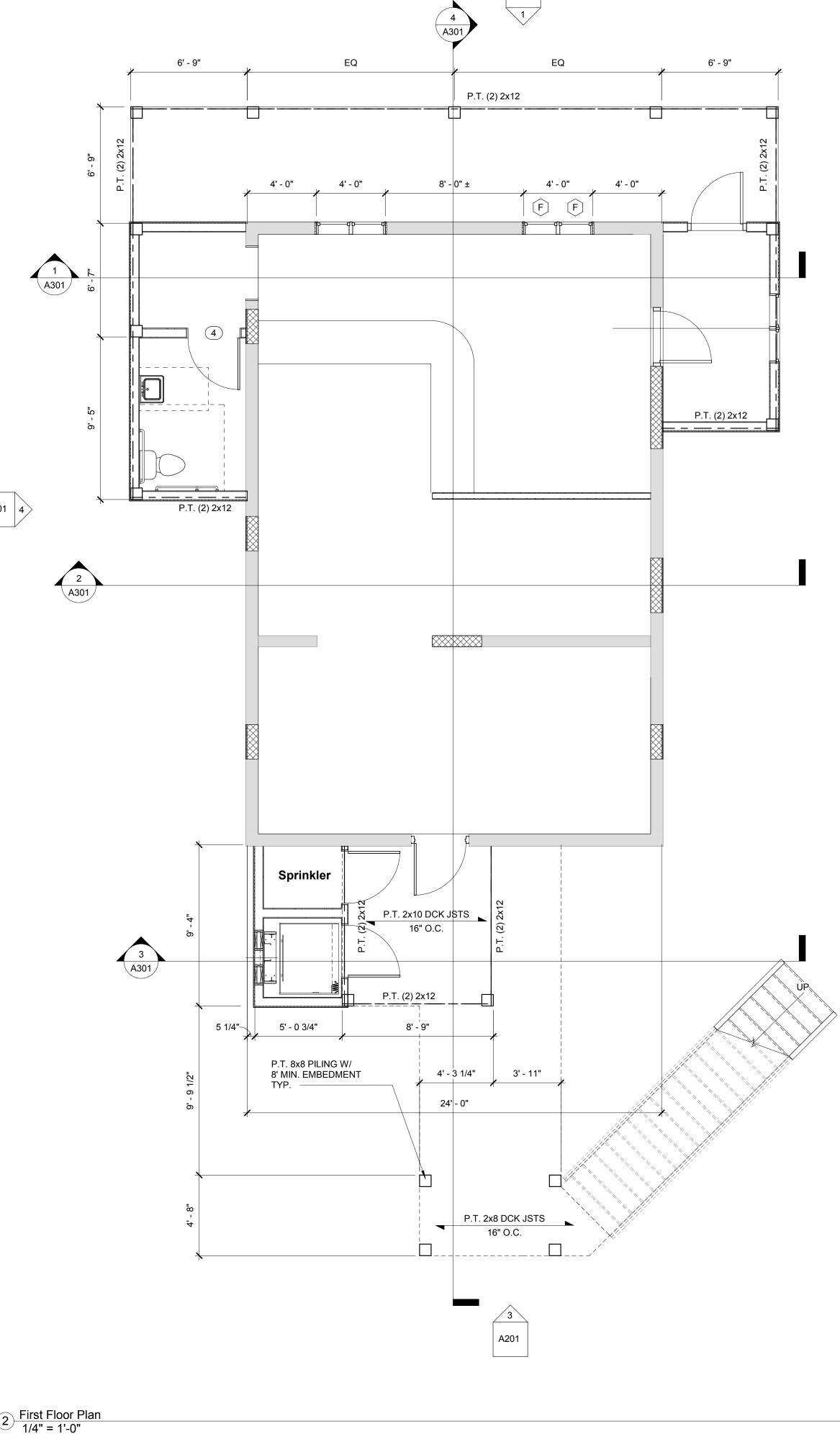
4 Toilet Elevation - LH Side 1/2" = 1'-0"

5 Sink Detail - Wall Hung 1/2" = 1'-0"



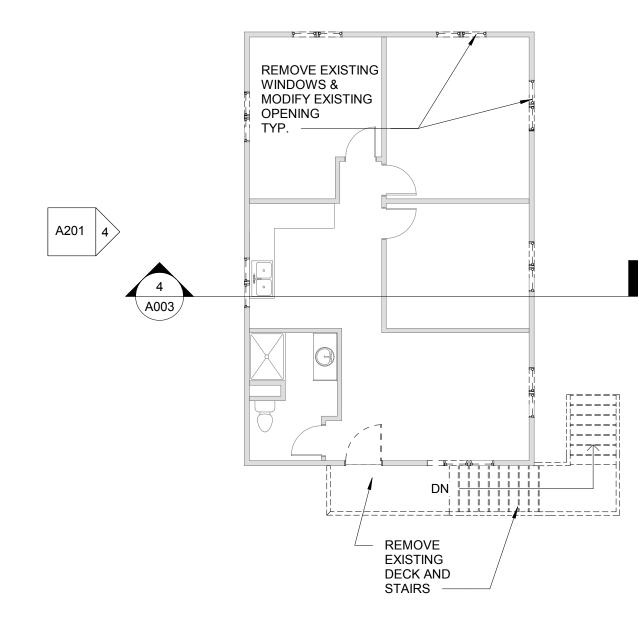
2 First Floor Plan 1/4" = 1'-0"

A201 4





		4.A.h
caho	Son+kas	ten
P.252.441.027	Iorth Carolina 27959	
Project:	Phase 11	-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)
Project No		ed Sketch/
Location:	1099 Ocean Trail Corolla, NC 27927	Amende
Title:	First Floor Plan & Elevations	Toilet    1
Date:	October 13, 2020	jht PUD,
Scale:	As indicated	olla Lig
		Attachment: 8 Architectural Elevations (PB 84-1
omission, defe ("error") prepa which in any w results in a lac documents, de which in any o the owner, cor involved in the notified of such date such error	shall not be responsible for an ect or deficiency in the contract red by the designer or its con vay impacts the schedule of the elays the completion of the pro- ther way causes any damage intractor, subcontractors, or ot project, unless: (i) designer in h error, in any event within 14 or was discovered or could rea- covered; and (ii) designer is	contract oject or or loss to her entity s promptly days of the asonably
opportunity at error, and, if a necessary to c with the provis waiver of any c against design shall in no even otherwise due project.	covered; and (ii) designer is g the time of discovery to addre ppropriate, take such steps a correct and resolve it. Failure tions of this paragraph shall c claim for damages, or a right ter by owner, contractor or oth the cause or allow a reduction designer for services provide	ess such s are to comply onstitute a to offset ners and in the fees
AREY REASTEREDA	0	ACH ACTS
	0 <i>R</i> AD 2020	OLINE
10/13 Revisions:	/2020	"" 
No.	Description	
Drawn: MAK, Reviewed:		)1
Cad File:	I	Packet Pg. 60

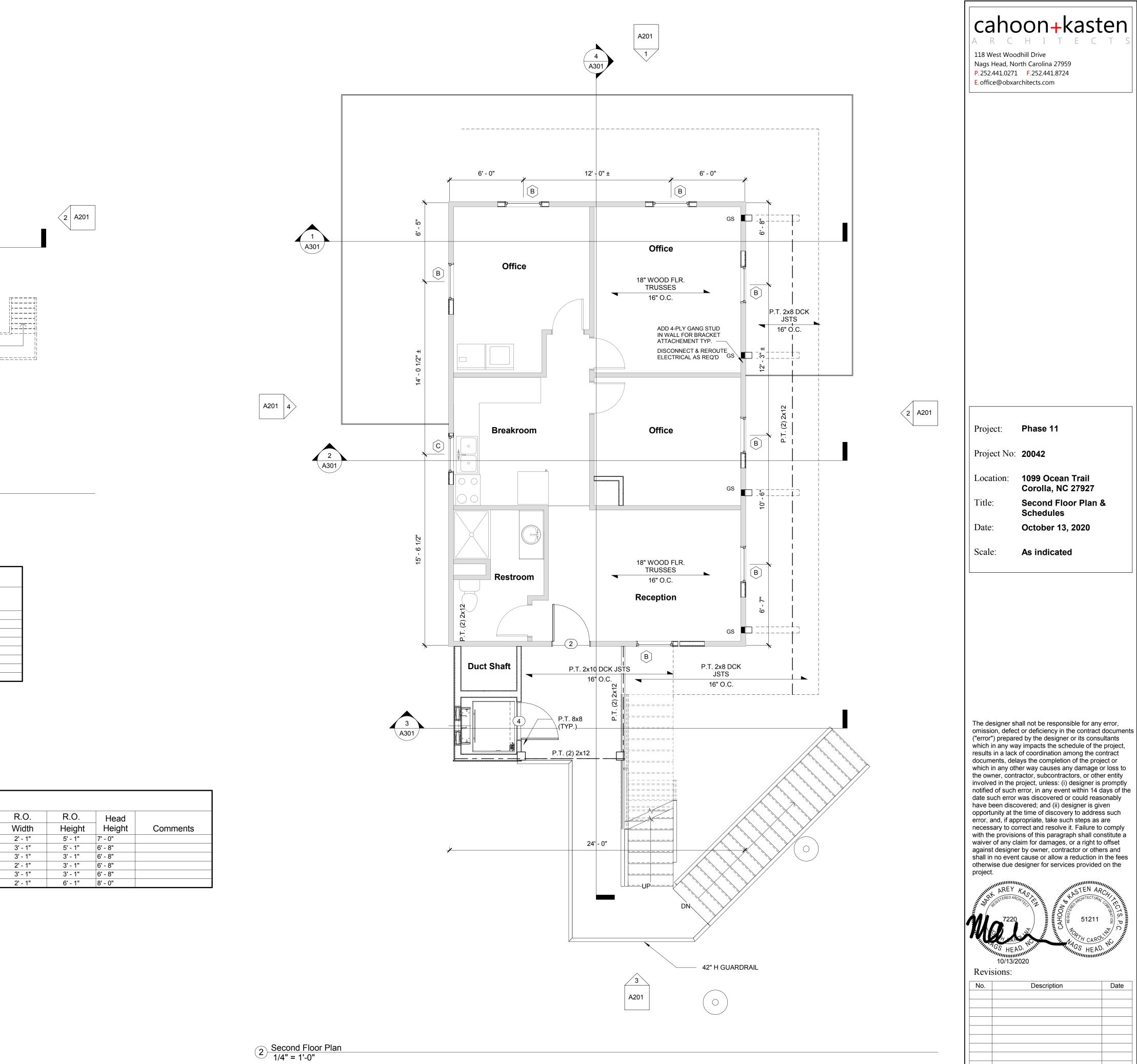


1 (2) Second Floor Demolition Plan 1/8" = 1'-0"

		Door Sch	edule Res	
	Door			
Mark	Door Style	Width	Height	Comments
2	Single, Entry	3' - 0"	6' - 8"	20 min
3	Exterior Sliding	6' - 0"	6' - 8"	
4		3' - 0"	6' - 8"	
5	Single	2' - 6"	6' - 8"	
6	Single	2' - 0"	6' - 8"	
7	Single	1' - 6"	6' - 8"	
8	Double	5' - 0"	6' - 8"	
)	Double	4' - 0"	6' - 8"	

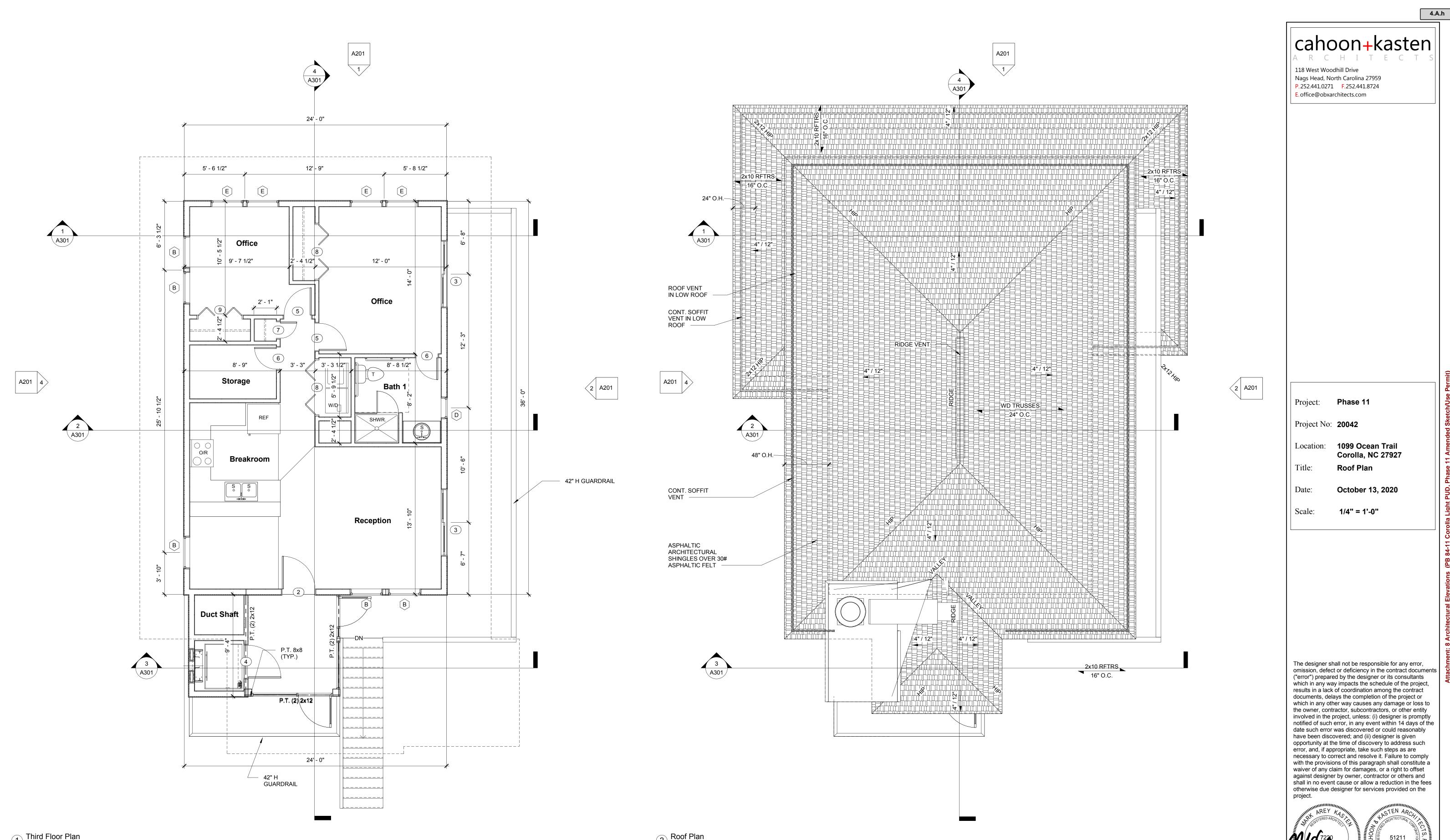
		Window Schedule		
Type Mark	Model	Туре	Manufacturer	
67	Double Hung	24" x 60"	TBD	T
В	Double Hung	36" x 60"	TBD	
С	Double Hung	36" x 36"	TBD	T
D	Double Hung	24" x 36"	TBD	
E	Fixed	36" x 36"	TBD	
F	Double Hung	24" x 72"	TBD	T

R.O.



A R C 118 West Wood Nags Head, Nor	rth Carolina 27959 F.252.441.8724		
		:	nit)
Project:	Phase 11		ations(PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit
Project No:	20042		ded Ske
Location:	1099 Ocean Trail Corolla, NC 27927		11 Amer
Title:	Second Floor Plan Schedules	&	, Phase
Date: Scale:	October 13, 2020 As indicated		ight PUD
Scale.	As indicated		orolla LI
			84-11 C
			ions (PB
		i	Б С
			hitectura
			nt: 8 Arch
omission, defect	all not be responsible for any or deficiency in the contract d by the designer or its cons	v error, documents	Attachment: 8 Architectural
which in any way results in a lack documents, dela	y impacts the schedule of the of coordination among the co sys the completion of the pro	e project, ontract ject or	At
the owner, contrainvolved in the p	er way causes any damage actor, subcontractors, or oth roject, unless: (i) designer is error, in any event within 14 (	er entity promptly	
date such error v have been disco opportunity at the	was discovered or could reas wered; and (ii) designer is givered; and discovery to addres ropriate, take such steps as	sonably ven ss such	
necessary to con with the provisio waiver of any cla	rrect and resolve it. Failure to ns of this paragraph shall co aim for damages, or a right to	o comply nstitute a o offset	
shall in no event	by owner, contractor or othe cause or allow a reduction i esigner for services provided	n the fees	
AREY	tas true and the second		
		CTS, P.O	
GS HEA	D. NO. HEAT	NC	
Revisions:	020	Data	
No.	Description	Date	
Designed: MAK			
Drawn: MAK, JF Reviewed:	$\mathbf{A10}$	2	
Cad File:		Packet Pg. 61	

4.A.h



1 Third Floor Plan 1/4" = 1'-0"

A201 2 Roof Plan 1/4" = 1'-0"

ROOF VENTING CALCS. UPPER ROOF

864 SF ROOF AREA OVER HEATED @ 1/300 = 415 SQ. IN. VENTING REQUIRED

860 SQ. IN. VENTING PROVIDED

EAVE

x 11 LINEAR FT. 220 SQ. IN. PROVIDED

(208 SQ. IN. REQ'D (50%)) 5 SQ. IN. PER LINEAR FÓOT x 128 LINEAR FT. OF EAVE 640 SQ. IN. PROVIDED

UPPER THIRD OF ROOF (RIDGE) (208 SQ. IN. REQ'D (50%)) 20 SQ. IN. PER LINEAR FOOT LOWER ROOF 108 SF ROOF AREA OVER HEATED

@ 1/300 = 53 SQ. IN. VENTING REQUIRED 177.5 SQ. IN. VENTING PROVIDED

EAVE (208 SQ. IN. REQ'D (50%)) 5 SQ. IN. PER LINEAR FOOT x 25.5 LINEAR FT. OF EAVE

127.5 SQ. IN. PROVIDED UPPER THIRD OF ROOF (RIDGE) (208 SQ. IN. REQ'D (50%)) 50 SQ. IN. PER VENT

x 1 VENT 50 SQ. IN. PROVIDED Date

HFA

10/13/2020

Description

Revisions:

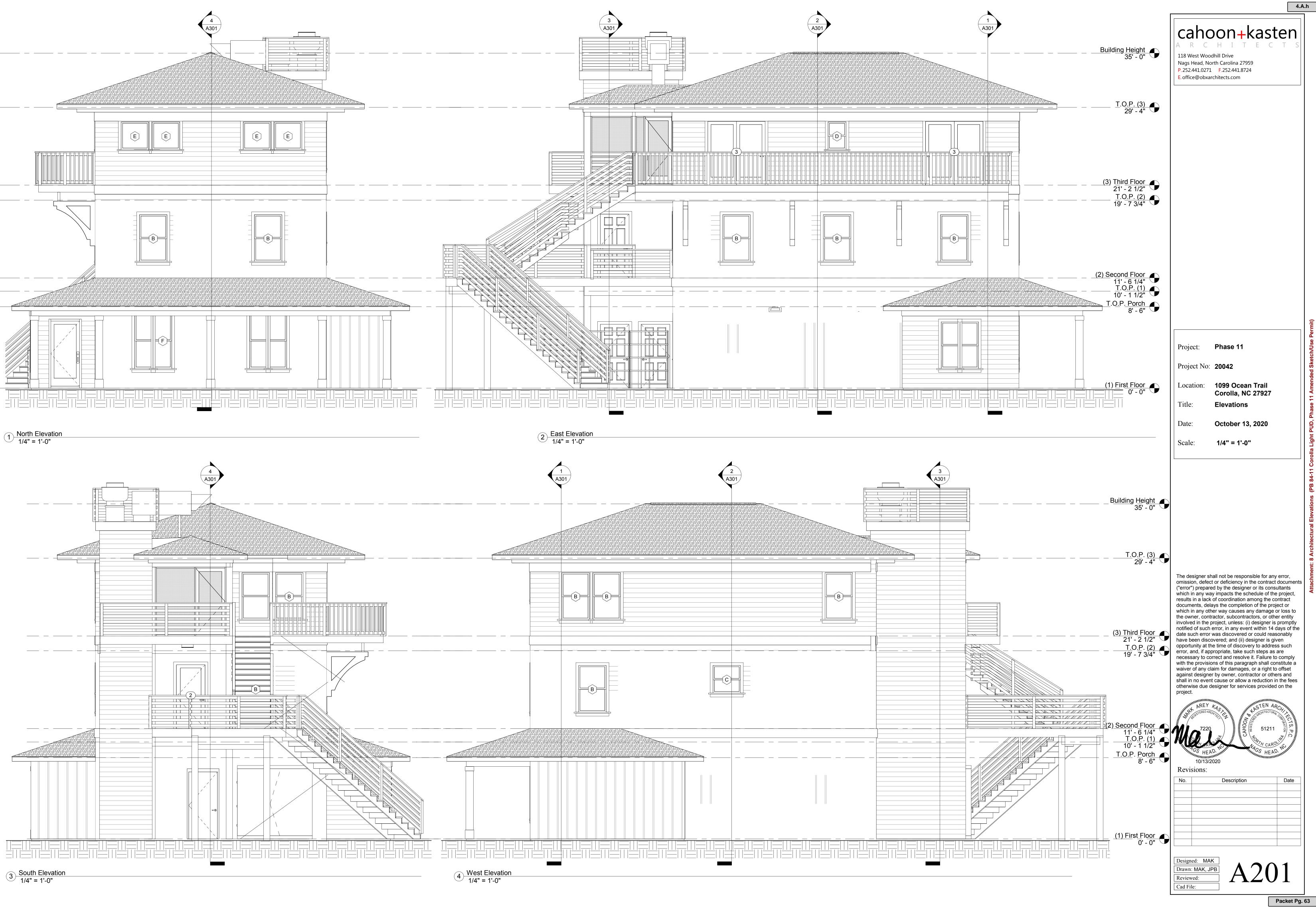
Designed: MAK

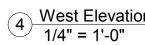
Drawn: MAK, JPB

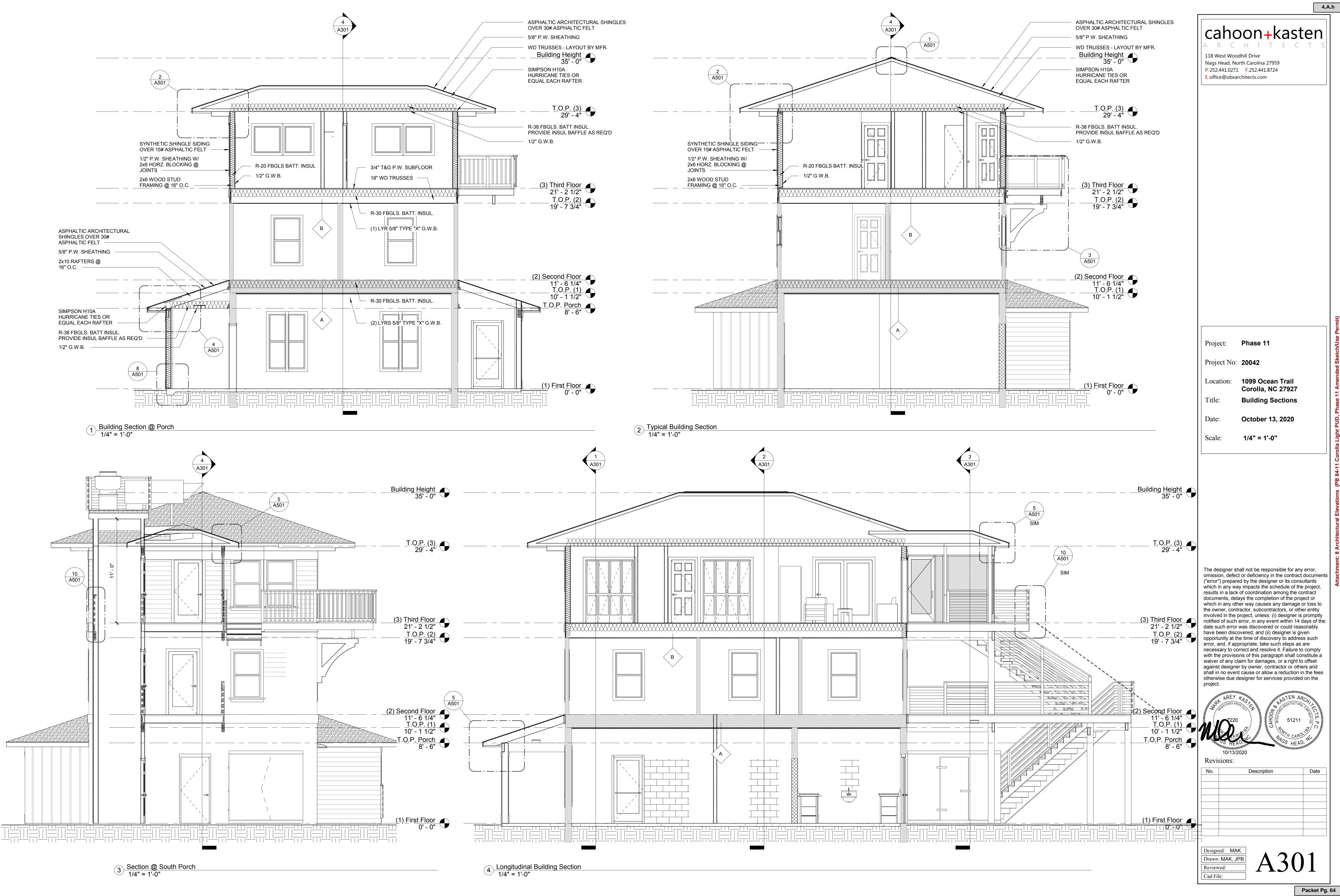
Reviewed: Cad File:

No.

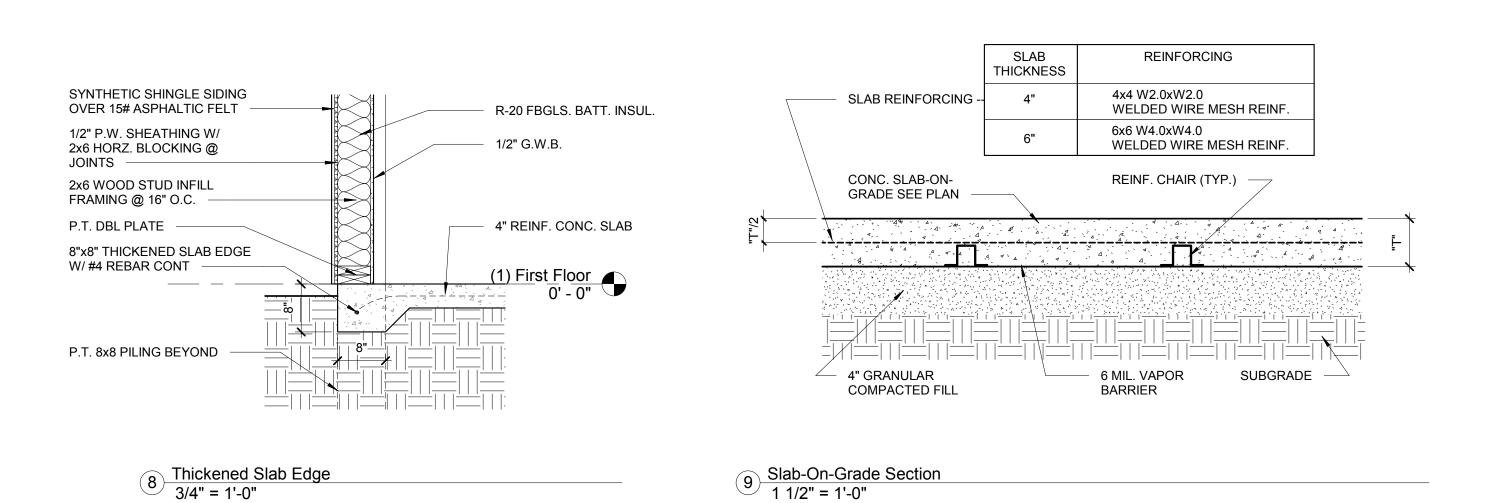
4.A.h

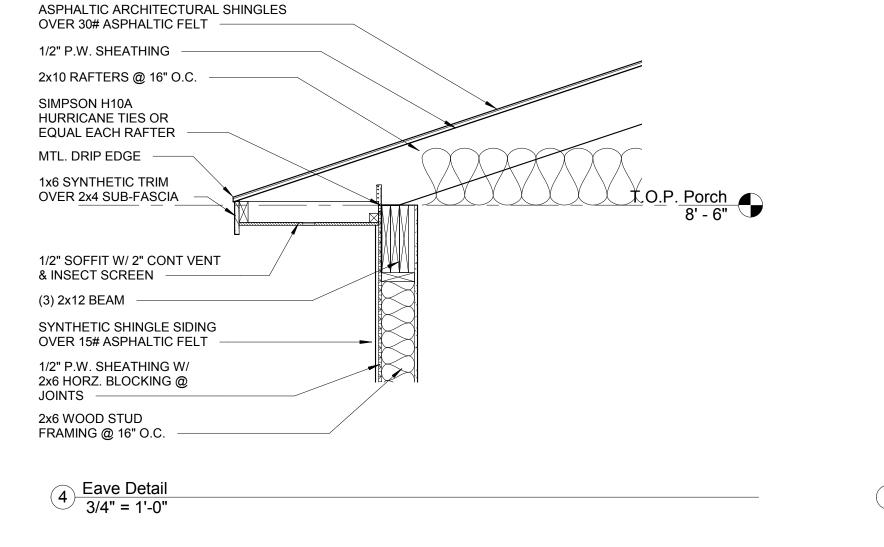


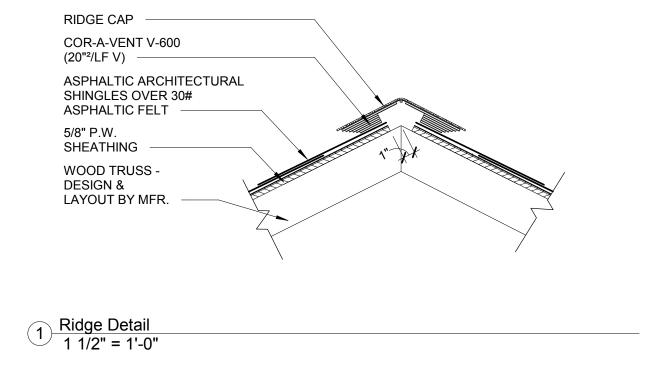










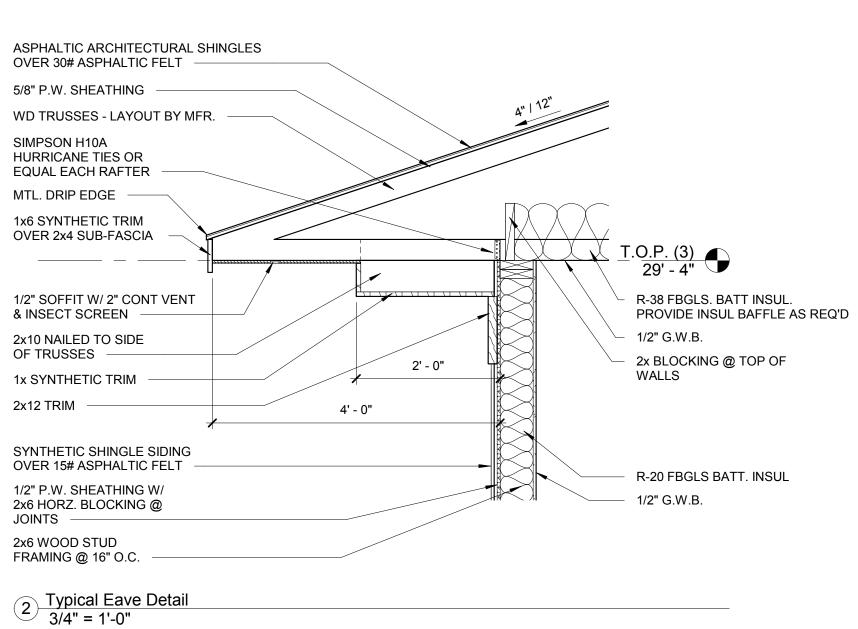


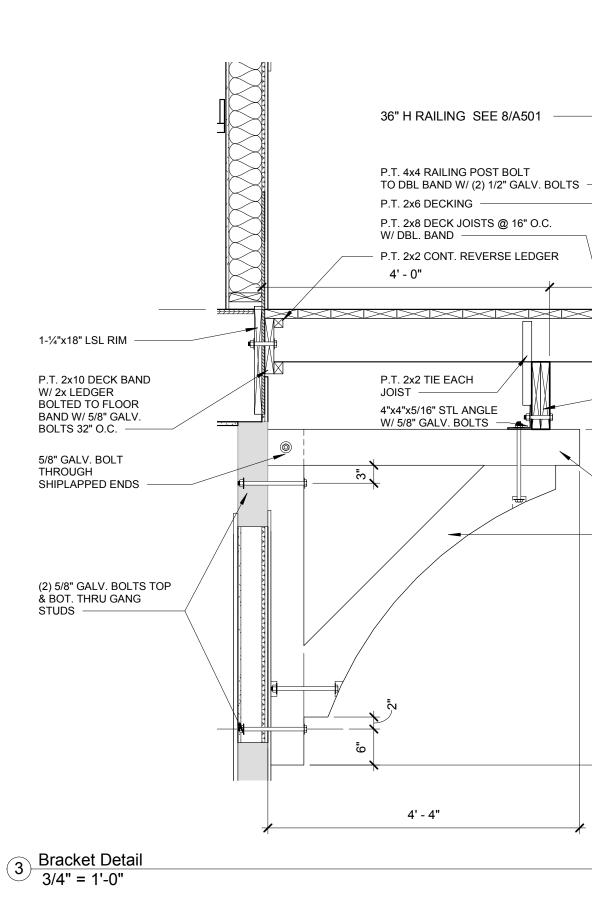
5/8" P.W. SHEATHING SIMPSON H10A HURRICANE TIES OR EQUAL EACH RAFTER MTL. DRIP EDGE -----1x6 SYNTHETIC TRIM OVER 2x4 SUB-FASCIA

& INSECT SCREEN 2x10 NAILED TO SIDE OF TRUSSES 1x SYNTHETIC TRIM

2x12 TRIM

JOINTS -

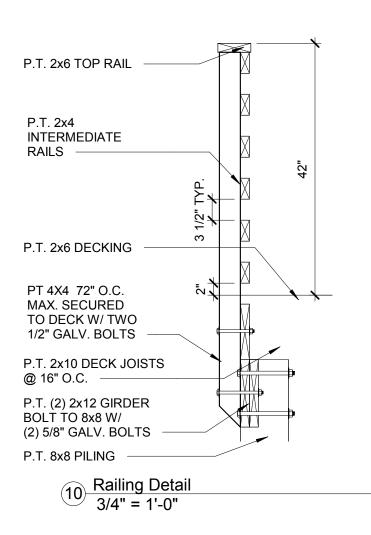




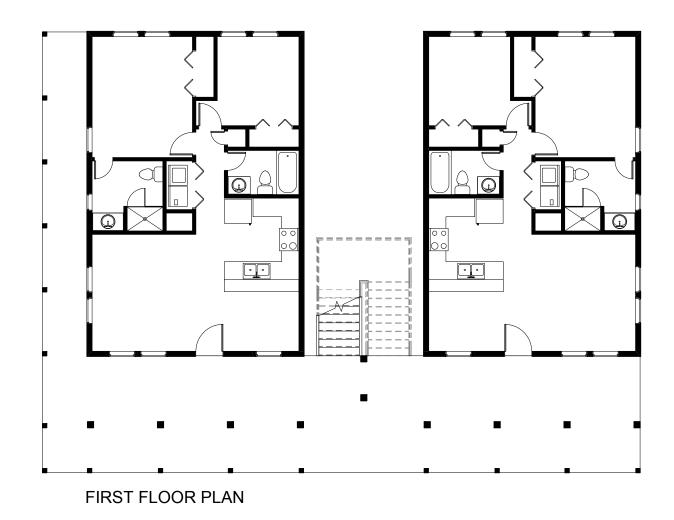
2' - 0" \

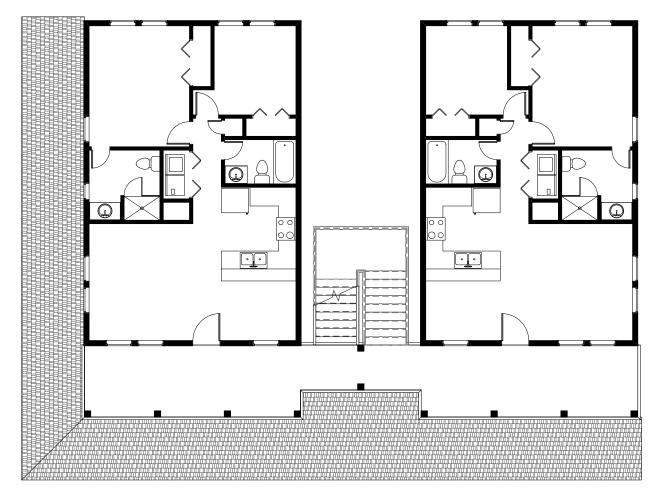
ASPHALTIC ARCHITECTURAL SHINGLES OVER 30# ASPHALTIC FELT 1/2" P.W. SHEATHING 2x10 RAFTERS @ 16" O.C. SIMPSON H10A HURRICANE TIES OR EQUAL EACH RAFTER MTL. DRIP EDGE 1x6 SYNTHETIC TRIM <u>T.O.P. Porch</u> 8' - 6" OVER 2x4 SUB-FASCIA 2' O.H. 2x6 CEILING JOISTS
 16" O.C. 1/2" SOFFIT P.T. (2) 2x12 BEAM BOLT TO 8x8 W/ (2) 5/8" GALV. BOLTS P.T. 8x8 PILING W/ 8' MIN. EMBEDMENT —

5 Low Porch Eave 3/4" = 1'-0"



	<b>4.</b> A.	.h
<ul> <li>P.T. 4x4 POSTS BOLT TO DBL. BAND W/ (2) 1/2" GALV. BOLTS (2) 1/2" GALV. BOLTS</li> <li>P.T. (2) 2x12 BEAM 4*x4*x1/4" STL ANGLE</li> <li>P.T. 6x6 HORZ. &amp; VERT. BRACKET MEMBERS</li> <li>FROM P.T. 6x12 DIAGONAL BRACKET MEMBER</li> </ul>	Cahoon+kasten         A R C H I T E C T S         118 West Woodhill Drive         Nags Head, North Carolina 27959         P.252.441.0271         F.252.441.0271         F.252.441.0271     <	
	Project:Phase 11Project No:20042Location:1099 Ocean Trail Corolla, NC 27927Title:DetailsDate:October 13, 2020Scale:As indicated	vations(PB 84-11 Corolla Light PUD, Phase 11 Amended Sketch/Use Permit)
	The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.	Attachment: 8 Architectural Elevations
	No.     Description     Date	





SECOND FLOOR PLAN







WEST ELEVATION

NORTH ELEVATION





EAST ELEVATION

Phase 11 Aparrtments November 23, 2020 cahoon+kasten A R C H I T E C T S 118 West Woodhill Drive, Nags Head, NC p.252.441.0271 f.252.441.8724



SOUTH ELEVATION



Currituck County Department of Planning and Community Development 153 Courthouse Road, Suite 110 Currituck, North Carolina 27929 252-232-3055 FAX 252-232-3026

## MEMORANDUM

3

To: Rick Willis, Outer Banks Ventures, Inc.

From: Jennie Turner, Planner II

Date: December 10, 2020

Re: PB 84-11 Corolla Light – Phase 11 – Amended Sketch Plan/Use Permit

The following comments were received at the December 9, 2020 TRC meeting. To be scheduled for the January 19, 2021 Board of Commissioners meeting, please address all comments and resubmit a corrected plan by 3:00 p.m. on December 21, 2020. TRC comments are valid for six months from the date of the TRC meeting.

#### Planning (Jennie Turner, 252-232-6031)

Reviewed

- 1. For this submittal, the date for staff's determination of completeness is December 11, 2020. The application is incomplete. Please provide the following:
  - i. Please submit a revised application that is dated correctly. The application appears to be dated November 13, 2000.
  - ii. Complete the application by providing the number of proposed units and the phase.
- 2. Please provide the wastewater allocation letter referenced in the transmittal letter.
- 3. Please provide an update on the existing occupancy issue referenced in my email to Mark Bissell, Rick Willis, David Klebitz, Marcie Respass and Laurie LoCicero on October 30, 2020.
- 4. Please provide a detailed narrative of the proposed request as well as the proposed phases of development including a sequence for constructing the dwelling units and demolition of any structures on the property. If the amended sketch plan is approved, this will be a mixed-use development.
- 5. The units proposed above the proposed restaurant are labeled as "upper story dwellings", please change the reference on the amended sketch plan to "upper story dwelling units". Since this request is part of a Planned Unit Development and density is established in the master plan, multiple upper story dwelling units may be permitted.
- 6. Describe all utility uses, leases and easements on the property.
- 7. Per the UDO, this proposed redevelopment of Phase 11 is required to provide its pro rata share of open space. 35% open space set-asides are required. Show open space and provide percentage on conceptual site plan.
- 8. Provide active recreation features that occupy at least 35% of the open space set-aside. Show active recreation features and provide percentage on the conceptual site plan.
- 9. Staff has concerns with compatibility of existing and proposed uses onsite.
- 10. Provide lot area and proposed lot coverage on the conceptual site plan.
- 11. Non-residential design standards apply.

- 12. Community compatibility standards apply.
- 13. Is there an existing shed on the property not shown on the site plan?
- 14. Staff is currently reviewing an amended sketch plan application for Corolla Light Phase 10, a copy will be provided to you so that you may incorporate the most recently approved Amended Sketch Plan into your resubmittal documents.
- 15. The Amended Sketch Plan should note that the units proposed on Phase 11 are future units.
- 16. There are heritage trees in the area where the multi-family dwellings are proposed. Heritage trees must be mitigated in accordance with UDO Section 7.2. Provide a plan for heritage tree replacement.
- 17. A Type B perimeter landscape buffer is required along Shad Street, please show plantings on conceptual development plan.
- 18. Proposed improvement(s) and proposed building(s) appear to be in existing easements. Please provide authorization from the easement holder(s).
- 19. A Major Site Plan review will be required prior to any proposed construction associated with this request.

#### Currituck County Building and Fire Inspections (Jim Berge/Rick Godsey, 252-232-6023) Reviewed

## Currituck County Engineer (Eric Weatherly, 252-232-6035)

No comments received

#### Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed

Building/Unit addresses will be assigned by GIS at site plan approval phase. Building floor plans and elevations may be required at that time.

Currituck County Economic Development (Larry Lombardi, 252-232-6015) Reviewed

No comment

Currituck County Parks and Recreation (Jason Weeks, 252-232-3007) No Comment

Currituck Soil and Stormwater (Dylan Lloyd, 252-232-3360) Approved

# Currituck County Public Utilities, Water (Will Rumsey, 252-232-6065 and Dave Spence 252-232-4152)

Reviewed

We will need to have some sort of access road for trucks to the water tower for tank maintenance and repairs. Also a water service agreement still needs to be put in owner's name at the mainland water plant office.

#### NC Division of Coastal Management (Charlan Owens, 252-264-3901) No comment

Albemarle Regional Health Services (Joe Hobbs, 252-232-6603) Reviewed

> PB 84-11 Corolla Light - Phase 11 Amended Sketch Plan/Use Permit Page 2 of 3

\*NOTE: WILL NEED SEWER APPROVAL LETTER FROM UTILITIES INC AND THE NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481). ALSO, DEVELOPER WILL NEED TO CONSULT WITH ARHS

## The following items are necessary for resubmittal:

- 3 full size copies of revised plans
- 1 8.5 x 11" reduced copy
- 1- PDF digital copy of all revised or new documents and plans.

PB 84-11 Corolla Light - Phase 11 Amended Sketch Plan/Use Permit Page 3 of 3



Currituck County Department of Planning and Community Development 153 Courthouse Road, Suite 110 Currituck, North Carolina 27929 252-232-3055 FAX 252-232-3026

## MEMORANDUM

To: Rick Willis, Outer Banks Ventures, Inc.

From: Jennie Turner, Planner II

Date: December 10, 2020 Response 12-21-20

**Re:** PB 84-11 Corolla Light – Phase 11 – Amended Sketch Plan/Use Permit

The following comments were received at the December 9, 2020 TRC meeting. To be scheduled for the January 19, 2021 Board of Commissioners meeting, please address all comments and resubmit a corrected plan by 3:00 p.m. on December 21, 2020. TRC comments are valid for six months from the date of the TRC meeting.

#### Planning (Jennie Turner, 252-232-6031)

Reviewed

- 1. For this submittal, the date for staff's determination of completeness is December 11, 2020. The application is incomplete. Please provide the following:
  - i. Please submit a revised application that is dated correctly. The application appears to be dated November 13, 2000. Application with revised date is attached.
  - ii. Complete the application by providing the number of proposed units and the phase. Revised Application is attached.
- 2. Please provide the wastewater allocation letter referenced in the transmittal letter. Allocation letter is attached.
- 3. Please provide an update on the existing occupancy issue referenced in my email to Mark Bissell, Rick Willis, David Klebitz, Marcie Respass and Laurie LoCicero on October 30, 2020. Unchanged as of this date.
- 4. Please provide a detailed narrative of the proposed request as well as the proposed phases of development including a sequence for constructing the dwelling units and demolition of any structures on the property. If the amended sketch plan is approved, this will be a mixed-use development.
  - i. The initial phase will involve the raising and replacement of the roof along with addition of the 3<sup>rd</sup> story and occupancy of the second and third stories as upper story dwelling units.
  - ii. The second phase (not part of this application) is proposed for a food service use on the first floor of the existing building, along with a temporary loading and trash area adjacent to the existing parking lot.
  - iii. The third phase will be the construction of a 3-unit MF dwelling in the southeast corner of the site, along with associated parking.
  - iv. The final phase will be the demolition of the cable TV building, which will become a loading zone and trash area for the development, and construction of a second 3-unit multifamily dwelling where the temporary loading zone was. The concept plan shows the site at buildout.

- 5. The units proposed above the proposed restaurant are labeled as "upper story dwellings", please change the reference on the amended sketch plan to "upper story dwelling units". Since this request is part of a Planned Unit Development and density is established in the master plan, multiple upper story dwelling units may be permitted. ("units" added to labeling.
- 6. Describe all utility uses, leases and easements on the property. Notes regarding the 4 existing easements have been added to the plan (sheet 1).
- 7. Per the UDO, this proposed redevelopment of Phase 11 is required to provide its pro rata share of open space. 35% open space set-asides are required. Show open space and provide percentage on conceptual site plan. Added to sheet 2 of the plan.
- 8. Provide active recreation features that occupy at least 35% of the open space set-aside. Show active recreation features and provide percentage on the conceptual site plan. Added to sheet 2 of the plan.
- Staff has concerns with compatibility of existing and proposed uses onsite. The applicant believes the uses are compatible.
- 10. Provide lot area and proposed lot coverage on the conceptual site plan. Added to the plan.
- 11. Non-residential design standards apply. Acknowledged.
- 12. Community compatibility standards apply. Acknowledged.
- 13. Is there an existing shed on the property not shown on the site plan? No.
- 14. Staff is currently reviewing an amended sketch plan application for Corolla Light Phase 10, a copy will be provided to you so that you may incorporate the most recently approved Amended Sketch Plan into your resubmittal documents. Table has been updated to match.
- 15. The Amended Sketch Plan should note that the units proposed on Phase 11 are future units. Updated accordingly.
- 16. There are heritage trees in the area where the multi-family dwellings are proposed. Heritage trees must be mitigated in accordance with UDO Section 7.2. Provide a plan for heritage tree replacement. This is shown on the landscaping plan, sheet 2.
- 17. A Type B perimeter landscape buffer is required along Shad Street, please show plantings on conceptual development plan. This is also shown on the landscaping plan, sheet 2.
- 18. Proposed improvement(s) and proposed building(s) appear to be in existing easements. Please provide authorization from the easement holder(s). Easements are non-exclusive and access is still provided; if additional authorization is needed, it can be provided at the major site plan review stage.
- 19. A Major Site Plan review will be required prior to any proposed construction associated with this request. Acknowledged.

#### Currituck County Building and Fire Inspections (Jim Berge/Rick Godsey, 252-232-6023) Reviewed

Currituck County Engineer (Eric Weatherly, 252-232-6035) No comments received

#### Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed

Building/Unit addresses will be assigned by GIS at site plan approval phase. Building floor plans and elevations may be required at that time. Acknowledged.

PB 84-11 Corolla Light - Phase 11 Amended Sketch Plan/Use Permit Page 2 of 3 No comment

#### Currituck County Parks and Recreation (Jason Weeks, 252-232-3007) No Comment

#### Currituck Soil and Stormwater (Dylan Lloyd, 252-232-3360) Approved

# Currituck County Public Utilities, Water (Will Rumsey, 252-232-6065 and Dave Spence 252-232-4152)

#### Reviewed

We will need to have some sort of access road for trucks to the water tower for tank maintenance and repairs. Utilities Staff has agreed that access will be sufficient. Also a water service agreement still needs to be put in owner's name at the mainland water plant office. Application will be made prior to construction.

# NC Division of Coastal Management (Charlan Owens, 252-264-3901)

No comment

#### Albemarle Regional Health Services (Joe Hobbs, 252-232-6603)

Reviewed

\*NOTE: WILL NEED SEWER APPROVAL LETTER FROM UTILITIES INC AND THE NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481). ALSO, DEVELOPER WILL NEED TO CONSULT WITH ARHS Allocation letter has been provided.

## The following items are necessary for resubmittal:

- 3 full size copies of revised plans
- 1 8.5 x 11" reduced copy
- 1- PDF digital copy of all revised or new documents and plans.

PB 84-11 Corolla Light - Phase 11 Amended Sketch Plan/Use Permit Page 3 of 3

# Carolina Water Service of North Carolina<sup>™</sup>

November 25, 2020

Mr. Rick Willis Outer Banks Ventures PO Box 549 Corolla NC 27927

Re: 1099 Ocean Trail, Proposed Modifications to Phase 11 for 40 Seat Restaurant Corolla, Currituck County NC Sanitary Sewer Utility-Willingness to Serve- Capacity Commitment Letter

To Whom It May Concern:

Carolina Water Service, Inc. of North Carolina (CWSNC) provides sanitary sewer utility service to the Corolla Light and adjacent developments including the above referenced property and project.

CWSNC is willing and able to provide the sanitary sewer utility needs for the above referenced property and project, including the existing apartment, for a combined maximum capacity of three thousand five hundred-twenty (3520) gallons per day.

This allocation includes and supersedes all previous allocation commitments.

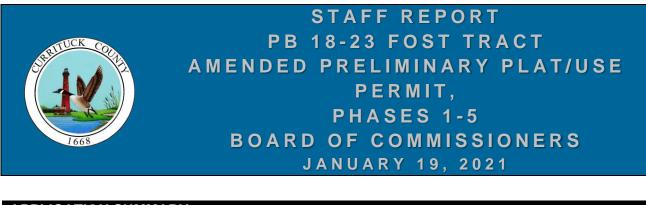
Should you have questions, please contact me at 252-269-2540 or dana.hill@carolinawaterservicenc.com.

Respectfully,

P :---Dana Hill Director of Operations

> 4944 Parkway Plaza Boulevard, Suite 375 • Charlotte, North Carolina 28217 (800) 525-7990 • cwsnc@carolinawaterservicenc.com • www.carolinawaterservicenc.com

4.A.k



APPLICATION SUMMARY	
Property Owner:	Applicant:
Moyock Development LLC	Moyock Development LLC
417-D Caratoke Hwy	417-D Caratoke Hwy
Moyock NC 27958	Moyock NC 27958
Case Number: PB 18-23	Application Type: Amended Preliminary
Case Nulliper. PB 10-23	Plat/Use Permit
Parcel Identification Number:	Existing Use: Planned Development under
0015-000-0086-0000	construction
Land Use Plan Classification: Full Service	Parcel Size (Acres): 137.18 (Phases 1-5) 228.28
Land Use Fian Classification: Full Service	(Total)
Moyock Small Area Plan Classification:	Zoning: PD-R
Limited Service	
Number of Units: 301	Overall Project Density (units/acre): 2.19
Required Open Space (Acres): 41.15	Provided Open Space (Acres): 44.95

SURROUNDING PARCELS			
	Land Use	Zoning	
North	Single-family dwellings, retail	AG, GB, SFM	
South	Single-family dwellings, cultivated farmland	AG, SFM	
East	Single-family dwellings, cultivated farmland	GB, SFM	
West	Single-family dwellings, cultivated farmland	AG	

#### STAFF ANALYSIS

On January 21, 2020, the Board of Commissioners approved the Preliminary Plat/Use Permit for Phases 1-5 of Fost Planned Development (see attached). The developer is requesting an amended approval to:

- Remove on-site WWTP and allow connection to the newly approved private Currituck Water and Sewer Inc private facility at Eagle Creek
- Remove the RV parking from Phase 1 and provide a temporary RV parking area for Phase 1
- Shift location of clubhouse slightly north and enlarge pond beside it
- Modify phasing lines
- Modify boundary lines to match actual field survey
- Resultant modifications to open space boundaries

The Board of Commissioners approved the below phasing plan as part of the project approval. The proposed amended phasing plan changes are noted.

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	<del>55</del> - <b>5</b> 1	October 2021
4	<del>73</del> <b>77</b>	April 2022
5	37	October 2022

Providing adequate public facilities for this development remains a concern since the elementary schools and high schools are near or over 100% <u>committed capacity</u>. (See Adequate Public Facilities – Schools Table below). However, it should be noted that the students generated from Fost, Phases 1-5, are vested since the Board of Commissioners approved the Preliminary Plat/Use Permit previously.

ADEQUATE PUBLIC FACILITIES – SCHOOLS <sup>1</sup>				
	2019-2020	2021-2022		Proposed Capacity Changes
School	2020-2021 Actual Capacity <sup>2</sup>	Actual Capacity <sup>3</sup>	Committed Capacity <sup>3</sup>	Number of Students
Moyock Elementary	109%	115%		
Shawboro Elementary	94%	97%	126%	
Central Elementary	80%	89%		
Griggs Elementary	56%	59%	101%	
Jarvisburg Elementary	82%	88%	101%	
Knotts Island Elementary	35%	36%	36%	
Moyock Middle	95%	700/	02%	
Currituck Middle	61%	79%	93%	
Currituck High	84%	86%	4000/	
JP Knapp Early College	93%		106%	

<sup>1</sup>Does not include minor subdivisions, exempt subdivisions, and subdivisions approved prior to the adoption of the adequate public facilities ordinance (October 1994)

<sup>2</sup>Capacity percentages are based on 2019-2020 and 2020-2021 school year classroom standards and August 2020 ADM

<sup>3</sup>Capacity percentages are based on the 2021-2022 school year classroom standards and August 2020 ADM

The developer held a community meeting on September 23, 2020 at the Eagle Creek Pavilion. Three residents attending the meeting. All were from Ranchland and asked questions about how the sewer would work, entrance locations, drainage ditch improvements to help Ranchland, and berm location.

INFRASTRUCTURE		
Water	Public	
Sewer	Private Centralized System (on-site at Eagle Creek)	
Transportation	<ul> <li>Pedestrian: A series of sidewalks and pedestrian trails; The developer must install an 8' multi-use path along the Caratoke Highway property line as required by the Connect Currituck Plan.</li> <li>Connectivity Score: Minimum = 1.6 Proposed = 1.67</li> <li>One Connection to Caratoke Highway</li> <li>One Connection to Moyock Farms</li> <li>Four connections to Flora Farm</li> </ul>	
Stormwater/Drainage	See attached map for required stormwater/drainage improvements (PB 18-23 Fost PD-R Rezoning Stormwater Conditions dated 7/2019 prepared by engineering staff)	
Design Standards	Multi-family design standards apply to the townhomes.	
Lighting	Street lights are proposed and must be full cut-off fixtures	
Landscaping	Farmland buffers, WWTP/utility buffers, street trees, major arterial screening, and site landscaping are required	
Compatibility	The BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods at its May 6, 2019 meeting.	
Recreation and Park Area Dedication	The applicant will be paying approximately \$27,021 as a fee-in-lieu of recreation and park area dedication for these phases.	
Riparian Buffers	There are no wetlands in these phases.	

#### RECOMMENDATIONS

TECHNICAL REVIEW COMMITTEE

TRC recommends approval of this request provided:

- 1. The application complies with all applicable review standards, so long as the following items are adequately addressed:
  - July 2019 required stormwater improvements remain unchanged (attached).
  - The amended phasing schedule must be adhered to.
- 2. The applicant has demonstrated that the proposed use will meet the use permit review standards of the UDO.
- 3. The conditions of approval necessary to ensure compliance with the review standards of the UDO and to prevent or minimize adverse effects of the development application on surrounding lands include all items in Number 1 above.

#### **USE PERMIT REVIEW STANDARDS**

A use permit shall be approved on a finding that the applicant demonstrates the proposed use will meet the below requirements. On January 21, 2020 the Board of Commissioners adopted the following Findings of Fact that remain relevant with the amended plan request.

The use will not endanger the public health or safety.

Preliminary Applicant Findings:

Transportation, portable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

4.B.a

 <u>Transportation</u>: The main subdivision entrance will be connected directly to NC 168 (Croatan Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and will be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast (Auction Site) and to the west. Roadways will be laid out generally as shown on the Master Plan and will be in accordance with the approved right-of-way and pavement width characteristics, using the NCDOT complete streets planning manual as a guide.

Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.

- 2. <u>Potable Water</u>: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards and the applicable ISO standards. The water system will be modeled to demonstrate adequate flow and pressure for fighting fires while meeting the maximum day domestic demand.
- 3. <u>Wastewater:</u> Centralized wastewater treatment and disposal facility will be provided in accordance with North Carolina Standards and approved by NCDEQ and/or NCDHHS. A wastewater collection system will be constructed by the developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.
- 4. <u>Stormwater Management</u>: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laying back the slopes and stabilizing the portion of Rowland Creek that runs from Eagle Creek Subdivision to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along Ranchland and the Auction property, and to excavate a new ditch that would be available to Ranchland along the common property line from the Auction site (PIN 00230000070000) to south of the power easement. Subject to obtaining right of entry to other properties, the Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance.

On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets.

In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2- year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions.

Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Preliminary Applicant Findings:

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Caratoke Highway is commercial, land to the east is farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

- 1. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
- 2. To the north (Caratoke Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least

200 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.

- 3. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.
- 4. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
- 5. Limited commercial development proposed to be located interior to the development and will front along the landscaped entrance boulevard.
- 6. Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to increase the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275 lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

The use will be in conformity with the Land Use Plan or other officially adopted plans.

Preliminary Staff Findings:

- 1. At its May 6, 2019 meeting, the BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods because:
  - a. The proposed conditions for the property will improve drainage problems on the property and with nearby Ranchland subdivisions if improvements can be made to drainage system on off-site properties, and;
  - b. The PDR is compatible with existing Moyock Township subdivisions.

The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to: schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

Preliminary Staff Findings:

1. On December 11, 2019 the Board of Education revised its statement about the school district and determined that this development is entirely within the Shawboro school

PB 18-23 Fost Tract, Phases 1-5 Amended Preliminary Plat/Use Permit Page **5** of **10**  district. The Superintendent also advised that Shawboro Elementary School has capacity for the 119 elementary students this development is projected to generate, with Phases 1-5 expected to generate 75 of those students, based on the July 9, 2004 Tischler Study Student Generation Rates.

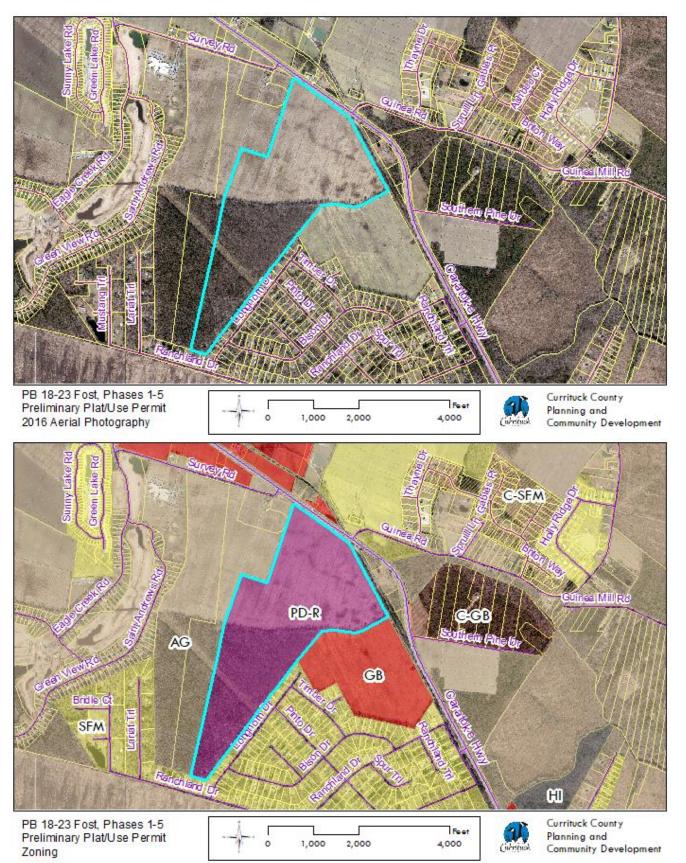
2. The county can provide adequate facilities, including but not limited to fire, emergency services, and law enforcement to serve the development.

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	51	October 2021
4	77	April 2022
5	37	October 2022

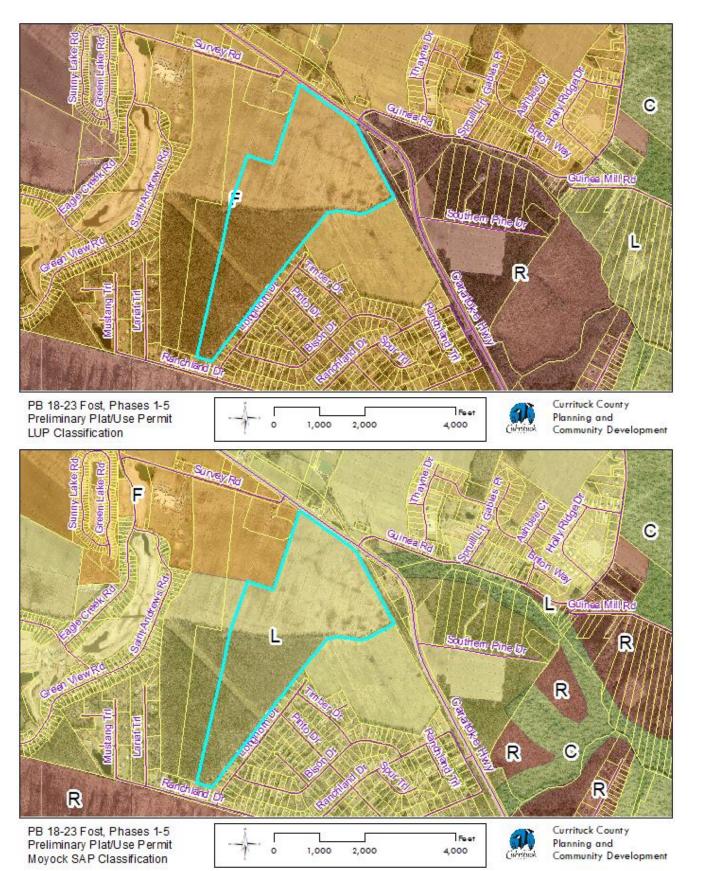
3. The following amended phasing schedule shall be adhered to:

THE APPLICATION AND RELATED MATERIALS ARE AVAILABLE ON THE COUNTY'S WEBSITE Board of Commissioners: www.co.currituck.nc.us/board-of-commissioners-minutes-current.cfm

> PB 18-23 Fost Tract, Phases 1-5 Amended Preliminary Plat/Use Permit Page **6** of **10**



Attachment: 1 Fost A PPUP P1-5 Staff Report 1-19-21 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

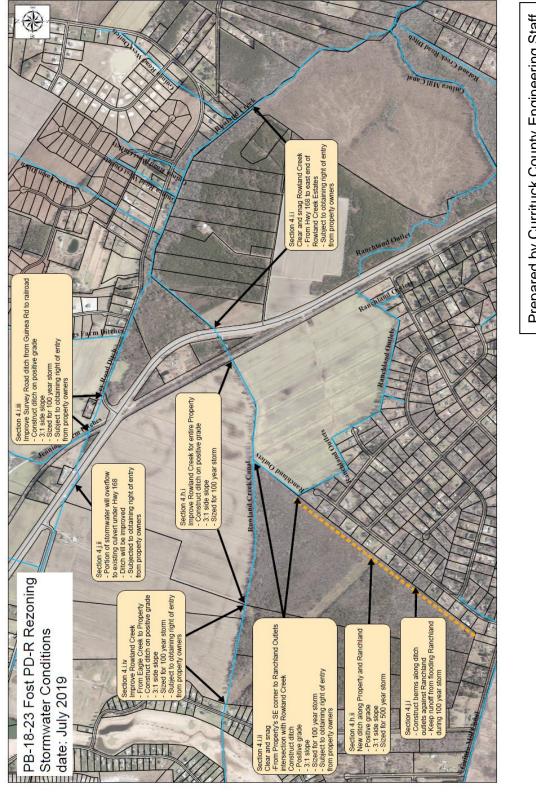


PB 18-23 Fost Tract, Phases 1-5 Amended Preliminary Plat/Use Permit Page 8 of 10

#### Approved Development Standards and Setbacks

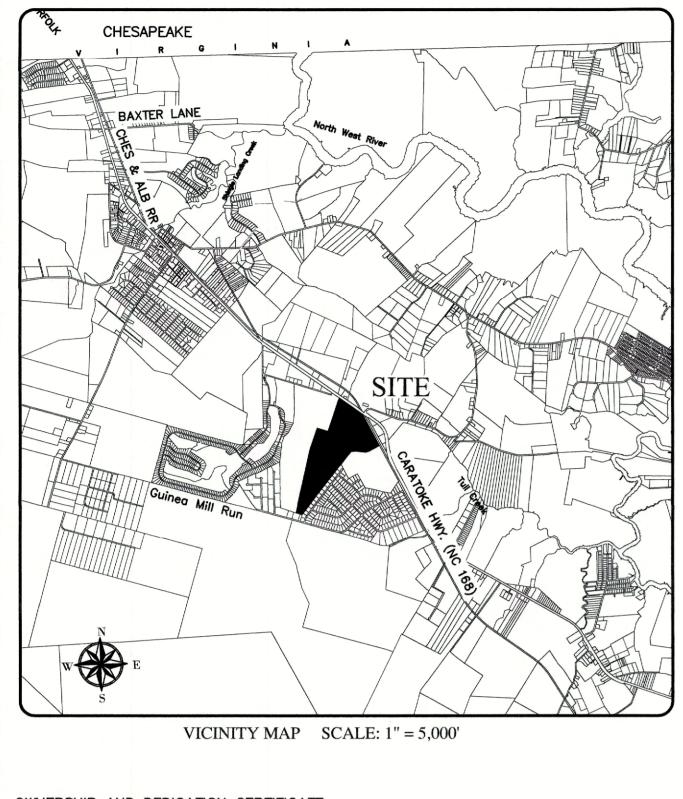
SCHEDULE A			
DEVELOPMENT STANDARDS & SETBACKS			
STYLE:	TND T.H.	TND SFLOT	CONV. SFLOT
Min Lot Size:	1,800 SF	.6,900 SF	9,500 SF
Тур. Lot Size:	1,800 – 3,000 SF	7,000 - 9,000 SF	10,000 - 15,000 SF
Min. Lot Width:	20'	35'	35′
Typ. Lot Width:	20' – 25'	50' - 60'	<u>,62'</u>
Front Setback:	15'	20'	20'
Side Setback:	0	10'	10'
Rear Setback:	20'	20'	25'
Corner Side Setback:	15'	15'	15'
Maximum Setback:	25'	<u>75'</u>	,140′
Maximum Height:	35'	35'	35'
Maximum Bldg. Size:	16,000 SF	N/A	N/A
Maximum Lot Coverage:	100%	<mark>,60</mark> %	45%

PB 18-23 Fost Tract, Phases 1-5 Amended Preliminary Plat/Use Permit Page **9** of **10** 



Prepared by Currituck County Engineering Staff

PB 18-23 Fost Tract, Phases 1-5 Amended Preliminary Plat/Use Permit Page 10 of 10



OWNERSHIP AND DEDICATION CERTIFICATE HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF CURRITUCK COUNTY, THAT I HEREBY FREELY ADOPT THIS PLAT OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREA SHOWN ON THIS PLAT AS STREETS, UTILITIES, ALLEYS, WALKS, RECREATION AND PARKS, OPEN SPACE AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY OR HOME OWNERS' ASSOCIATION. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH USE IS APPROVED BY THE APPROPRIATE PUBLIC AUTHORITY IN THE PUBLIC INTEREST.

DATE	OWNER
	, A NOTARY PUBLIC

OF\_\_\_\_ \_COUNTY, NORTH CAROLINA, DO HEREBY CERTIFY THAT

PERSONALLY APPEARED BEFORE ME THIS DATE AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF\_\_\_

20\_\_\_\_\_

MY COMMISSION EXPIRES \_

NOTARY PUBLIC

# PRIVATE STREETS OWNER CERTIFICATE

HEREBY CERTIFY THAT THE PRIVATE STREETS SHOWN ON THIS PLAT ARE INTENDED FOR PRIVATE USE AND WILL REMAIN UNDER THE CONTROL, MAINTENANCE, AND RESPONSIBILITY OF THE DEVELOPER AND/OR A HOMEOWNER'S ASSOCIATION AND ACKNOWLEDGE THAT SOME PUBLIC SERVICES MAY NOT BE PROVIDED DUE TO THE PRIVATE NATURE OF THE ROAD(S).

OWNER

DATE

#### SURVEYOR'S CERTIFICATION

I, MICHAEL D. BARR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED AND DESCRIPTION RECORDED IN BOOKS REFERENCED); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOKS REFERENCED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THIS IS TO CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 21

DAY OF DECEMBER, A.D. 2020

- A -

# GENERAL NOTES: 1. PROJECT NAME: THE FOST TRACT

- APPLICANT: MOYOCK DEVELOPMENT, LLC 2. MOYOCK DEVELOPMENT, LLC OWNERS: 417-D CARATOKE HWY. MOYOCK, NC 27958
- 3. PROPERTY DATA: ADDRESS: CARATOKE HIGHWAY, MOYOCK, NC 27958 PIN: 0015-000-0086-0000 RECORD DOCUMENT(S): D.B.13, PG: E/12 ACREAGE: 228.83 ACRES PROPERTY ZONING: PD-R (PLANNED DEVELOPMENT - RESIDENTIAL)
- F.I.R.M. DATA: 4. ORDINANCE.
- 5.
- TYPICAL LOT DETAIL ON SHEET 20.
- 2012 AERIAL IMAGERY OBTAINED FROM NCONEMAP.COM
- RIPARIAN BUFFER.
- 12.
- 13. THERE IS A 50' FARM BUFFER IN ALL AREAS ADJOINING ACTIVE FARM LANDS.
- RIGHTS-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

#### ZONING CONDITIONS:

SEE SHEET 19

#### LOT DEVELOPMENT CONFIGURATION: LOT AREAS: VARY FROM 1,800 TO 20,660 SQUARE FEET.

RECREATIONAL AND PARK LAND FEE-IN-LIEU CALCULATION: REQUIRED UPLAND RECREATION/PARKLAND DEDICATION ACREAGE = 7.676 AC. (301 LOTS \* 0.0255AC./LOT) CURRENT PROPERTY ACCESSED VALUE (LAND ONLY) = \$793,300 OR \$3,520.30/AC. (\$793,300/225.35 AC.) FEE-IN-LIEU IS \$27,021.82 (7.676 AC. \* \$3,520.3)

SEE SHEET 5 FOR PROPOSED RECREATION AND P STREET CONNECTIVITY INDEX = 62 LINKS/36 NODES = 1.72

#### DEVELOPMENT NOTES: TRACT SUMMARY:

#### TOTAL AREA OF TRACT: AREA NOT BEING DEVELOPED AT THIS

TOTAL SUBDIVISION DEVELOPMENT AREA DEVELOPMENT AREA SUMMARY:

> EFFLUENT DISPOSAL & RV PROPOSED LOT AREA: PUBLIC PROPOSED R/W AR PRIVATE PROPOSED R/W A REQUIRED OPEN SPACE TO OPEN SPACE PROVIDED:

# OF PROPOSED LOTS:

PROPOSED RIGHT-OF-WAY WIDTHS (FT.) PROPOSED PAVED ROADWAY WIDTH: LINEAR FEET OF ONSITE ROADWAY:

SUMMARY OF CHANGES TO AME 1.) MODIFIED PHASE LINES TO MATCH AMENDED PD-R. 2.) REMOVED WWTP SITE AND RV PARKING FROM PHASE 1, WITH RESULTANT MODIFICATIONS TO PHASE AND OPEN SPACE AREAS.

3.) PROVIDED TEMPORARY RV PARKING FOR PHASE 1.

4.) MODIFIED ACTUAL BOUNDARY AREA PER ACTUAL FIELD SURVEY.

# THE FOST TF

# MOYOCK TOWNSHIP CURRITUCK COUNT AMENDED PRELIMINARY PLAT FOF

ZONE X PER F.I.R.M. MAP NOS. 3721803100 K, 3721803000 K, & 3721804000 K ALL HAVING AN EFFECTIVE DATE DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT

THIS PROPERTY CONTAINS ACOE "404' JURISDICTIONAL WETLANDS AS SHOWN AND CONFIRMED BY USACOE ACTION ID# SAW 2018-00838, DATED APRIL 30, 2018, AND MAY REQUIRE U.S. CORP OF ENGINEERS APPROVAL PRIOR TO DEVELOPMENT OF THE PROPERTY.

6. A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 15' EASEMENT FOR UTILITIES AND DRAINAGE ALONG FRONT PROPERTY LINE IS HEREBY ESTABLISHED. PEDESTRIAN ACCESS AND STREET TREE EASEMENTS ARE HEREBY PROVIDED PER

A 25' DRAINAGE EASEMENT SHALL BE ESTABLISHED ALONG ALL MAJOR DRAINAGE WAYS SERVING MORE THAN 5 ACRES. A BLANKET DRAINAGE, UTILITY, AND PEDESTRIAN ACCESS EASEMENT IS HEREBY ESTABLISHED ACROSS ALL OPEN SPACE AREAS. A 50' DRAINAGE EASEMENT IS HEREBY ESTABLISHED ALONG ROWLAND CREEK CANAL (SEE SHEET 7 FOR DETAIL).

7. EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING: FIELD TOPOGRAPHIC SURVEY DATA BY BISSELL PROFESSIONAL GROUP. ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.

10. SECTION 7.6.5 OF THE CURRITUCK U.D.O. SUBSTANTIALLY RESTRICTS DEVELOPMENT WITHIN A 30'

### 11. ALL UTILITIES ARE TO BE UNDERGROUND.

NEAREST HYDRANT (MCH15) FLOW TESTED AT 1,146 GPM. DESIGN FIRE FLOW IS 1,000 GPM FOR SINGLE FAMILY RESIDENCES BASED ON STRUCTURES HAVING LESS THAN 4,800 SQ. FT. AND NOT OVER 2-STORIES HIGH. NFF FOR MULTI-FAMILY STRUCTURES IS BASED ON ISO STANDARDS.

14. THIS SUBDIVISION CONTAINS RIGHTS-OF-WAY THAT ARE PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE

50/AC.)
ARK LAND DEDICATION.
DFC - 1 70

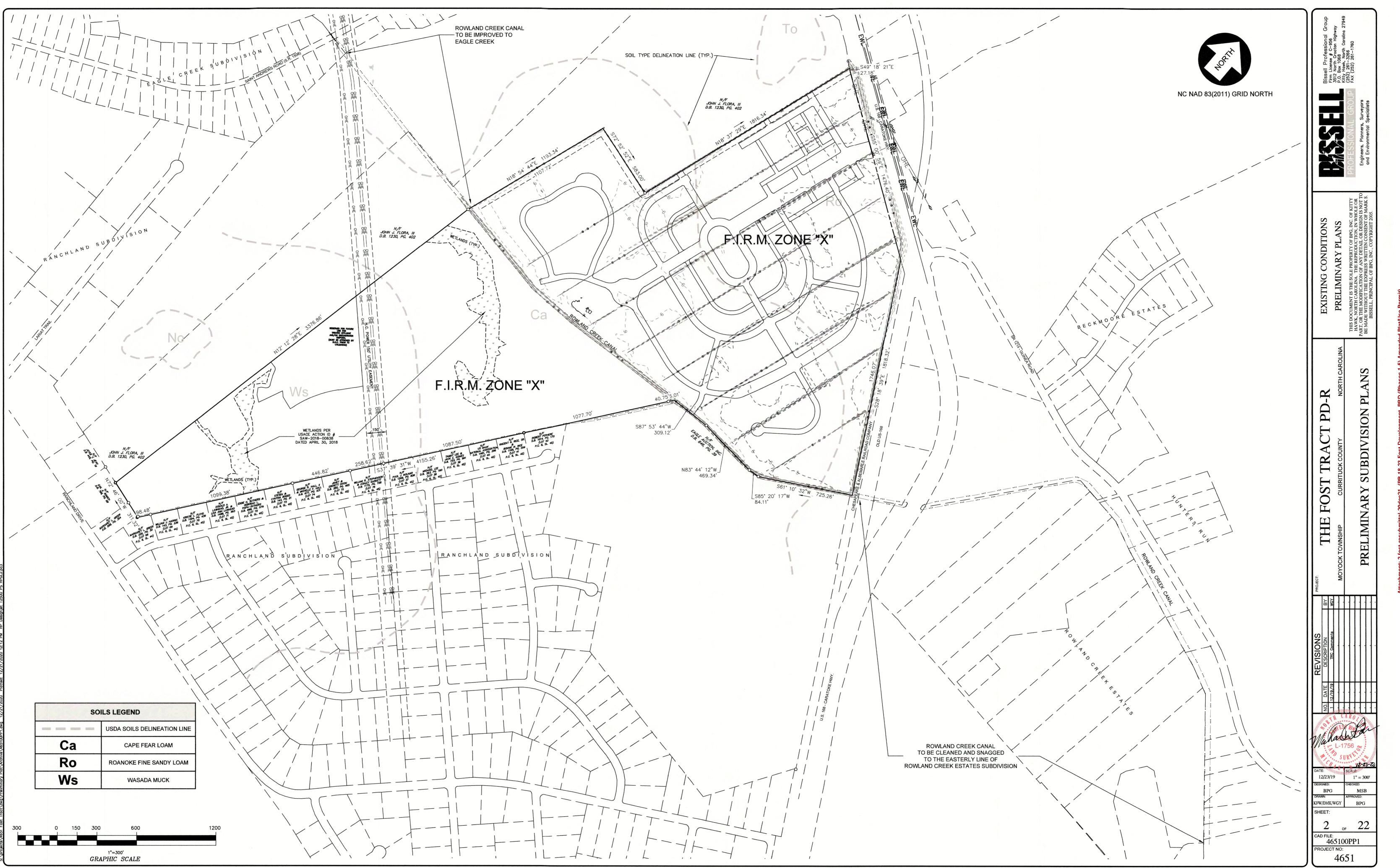
TIME:	228.28 AC. 91.10 AC.
A:	137.18 AC.
/ PARK AREA: REA: AREA: OTAL=30% (0.3*137.18):	8.01 AC. 58.89 AC. 21.73 AC. 3.60 AC. 41.15 AC. 44.95 AC. (32.8%)
	301 (2.19 LOTS/ACRE)
T.): SEE SHEETS 21 & SEE SHEETS 21 & 20,484 L.F.±	
ENDED PRELIMINARY	PLAN

SHEET INDEX		
Sheet Number	Sheet Title	
1	COVER SHEET, DEVELOPMENT NOTES AND SITE LOCATION	
2	EXISTING CONDITIONS AND SITE FEATURES PLAN	
3	OVERALL PHASING PLAN	
4	OVERALL DRAINAGE AND UTILITY PLAN	
5	OVERALL HARDSCAPING PLAN	
6	LANDSCAPING, LIGHTING, BUFFERING AND SIGNAGE PLAN	
7	OVERALL PRELIMINARY PLAT	
8-17	DETAILED PRELIMINARY PLAT SHEETS	
18	LINE AND CURVE TABLES	
19	ZONING TERMS & CONDITIONS	
20-22	DETAILS	

SURVEY LEGEND	
	-RIGHT-OF-WAY
	- PROPERTY BOUNDARY
	- ADJOINING PROPERTY LINE
	- EASEMENT LINE
	CENTERLINE OF ROADWAY
۲	SET IRON ROD
0	EXISTING IRON ROD
0	EXISTING IRON PIPE
D	EXISTING CONCRETE MONUMENT
N/F	NOW OR FORMERLY
TWP.	TOWNSHIP
P.C.	PLAT CABINET
SL.	SLIDE
D.B.	DEED BOOK
М.В.	MAP BOOK
PG.	PAGE
SQ.FT. or S.F.	SQUARE FEET
M.B.L.	MAXIMUM BUILDING LINE
AC or AC.	ACRES
P/0	PART OF
TYP.	TYPICAL
N.T.S.	NOT TO SCALE
0.S.	OPEN SPACE
R/W	RIGHT-OF-WAY

LEG	GEND				
	EXISTING DITCH CENTERLINE				
	EXISTING DITCH TOP OF BANK				
<u> </u>	PROPOSED SWALE W/ FLOW ARROW				
← _ →	PROPOSED SWALE HIGH POINT				
FEMA FEMA	FEMA BOUNDARY LINE				
	EXISTING 404 BOUNDARY				
6	EXISTING GRADE CONTOUR				
	30' UNDISTURBED BUFFER (COUNTY)				
	50' WETLANDS BUFFER (COUNTY)				
	EXISTING CULVERT				
С	EXISTING UTILITY POLE				
OHE OHE	EXISTING OVERHEAD TRANSMISSION LINES				
EWL EWL	EXISTING WATER LINE				
WL WL WL	PROPOSED WATER LINE (SIZE AS NOTED)				
<b>)</b>	PROPOSED FIRE HYDRANT ASSEMBLY				
<b>-</b>	PROPOSED WATER SERVICE				
	PROPOSED BLOW-OFF ASSEMBLY				
м	PROPOSED VALVE				
	PROPOSED REDUCER				
	PROPOSED SIDEWALK				
FM FM FM	PROPOSED FORCE MAIN SANITARY SEWER (SIZE AS NOTED)				
<b>1999 199</b> 55 <b>1999 1</b> 55	PROPOSED GRAVITY SANITARY SEWER (SIZE AS NOTED)				
S	PROPOSED SANITARY SEWER MANHOLE				
BOC	BACK OF CURB				
EOP	EDGE OF PAVEMENT				
D	PROPOSED CATCH BASIN				
<b>\$</b>	PROPOSED STREET LIGHT				
	PROPOSED STORM SEWER PIPE				
	PROPOSED EDGE OF WATER				

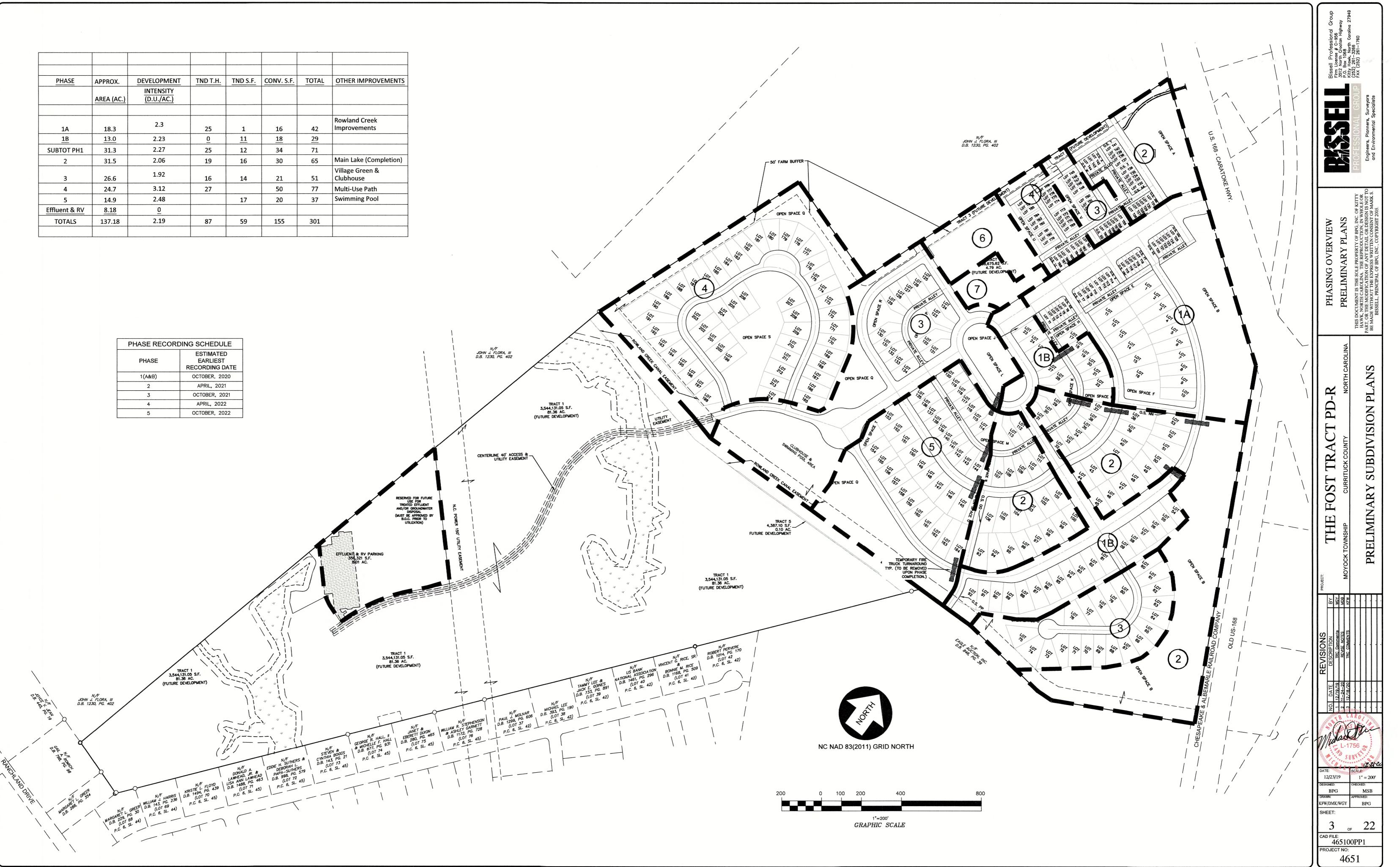
Engineers, Planners, Surveyors and Environmental Specialists	
0	
PART, OR THE MODIFICATION OF ANY DETAIL OR DESIGN IS NOT TO BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF MARK S. BISSELL, PRINCIPAL OF BPG, INC., COPYRIGHT 2005.	ded Plat/Use Permit)
PRELIMINARY SUBDIVISION PLANS	Attachment: 2 fost-resubmittal-20dec21(PB 18-23 Fost Development, PRD (Phases 1-5) Amended
	BRELL BRELL

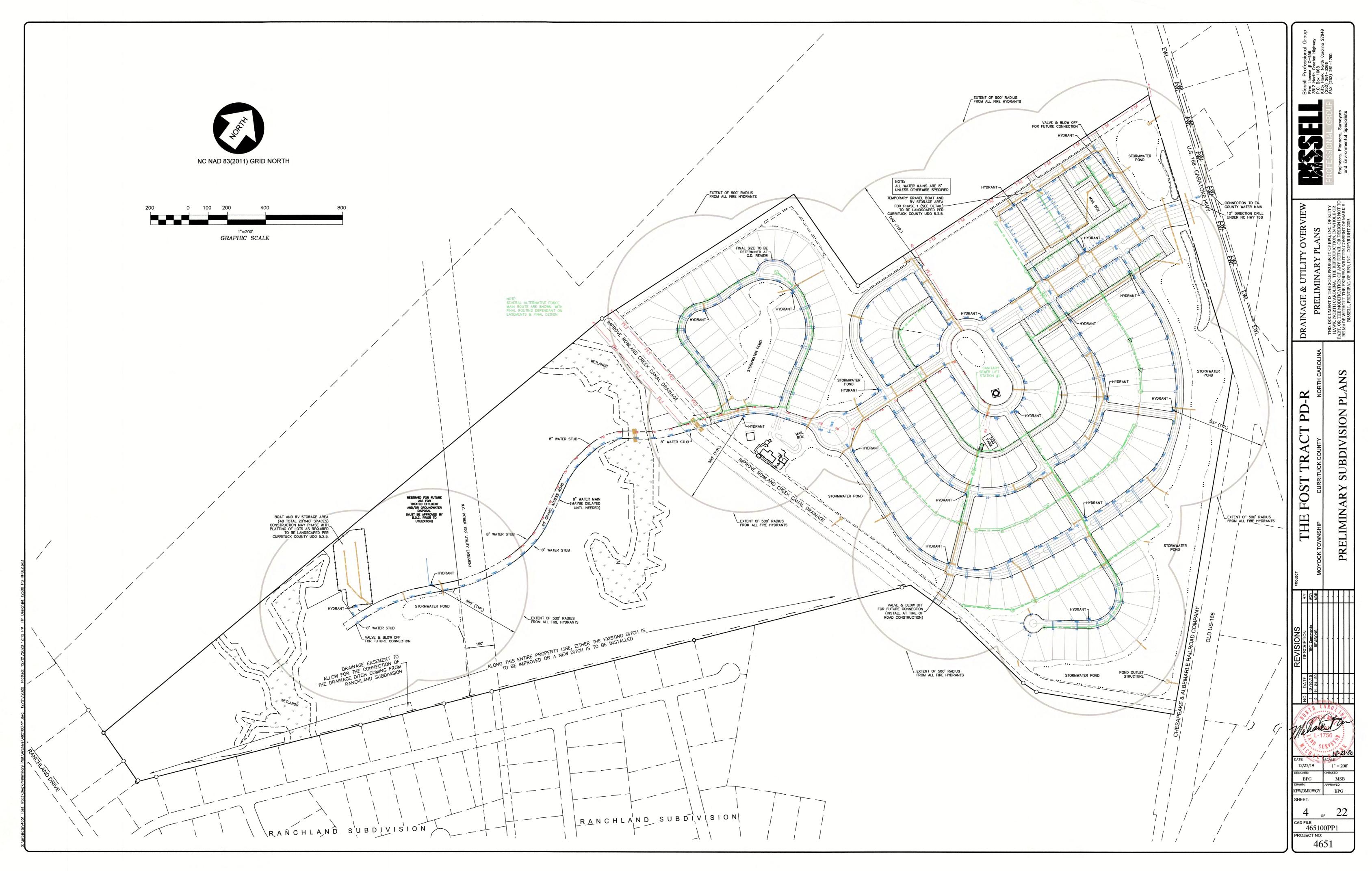


DUACE				TND S.F.		τοται	
PHASE	APPROX.	DEVELOPMENT	TND T.H.	IND S.F.	CONV. S.F.	TOTAL	OTHER IMPROVEMENT
	AREA (AC.)	INTENSITY (D.U./AC.)					
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
<u>1B</u>	13.0	2.23	<u>0</u>	<u>11</u>	<u>18</u>	29	
SUBTOT PH1	31.3	2.27	25	12	34	71	
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
Effluent & RV	8.18	<u>0</u>					
TOTALS	137.18	2.19	87	59	155	301	

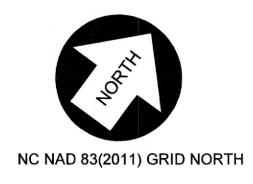
PHASE RECORDING SCHEDULE								
ESTIMATED EARLIEST RECORDING DATE								
OCTOBER, 2020								
APRIL, 2021								
OCTOBER, 2021								
APRIL, 2022								
OCTOBER, 2022								







hment: 2 fost-resubmittal-20dec21(PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat



RESERVED FOR FUTURE USE FOR TREATED EFFLUENT AND/OR GROUNDWATER DISPOSAL (MUST BE APPROVED BY B.O.C. PRIOR TO UTILIZATION)

STORMWATER POND

BOAT AND RV STORAGE AREA (48 TOTAL 20'X40' SPACES) CONSTRUCTION MAY PHASE WITH PLATTING OF LOTS AS REQUIRED TO BE LANDSCAPED PER CURRITUCK COUNTY UDO 5.2.5.

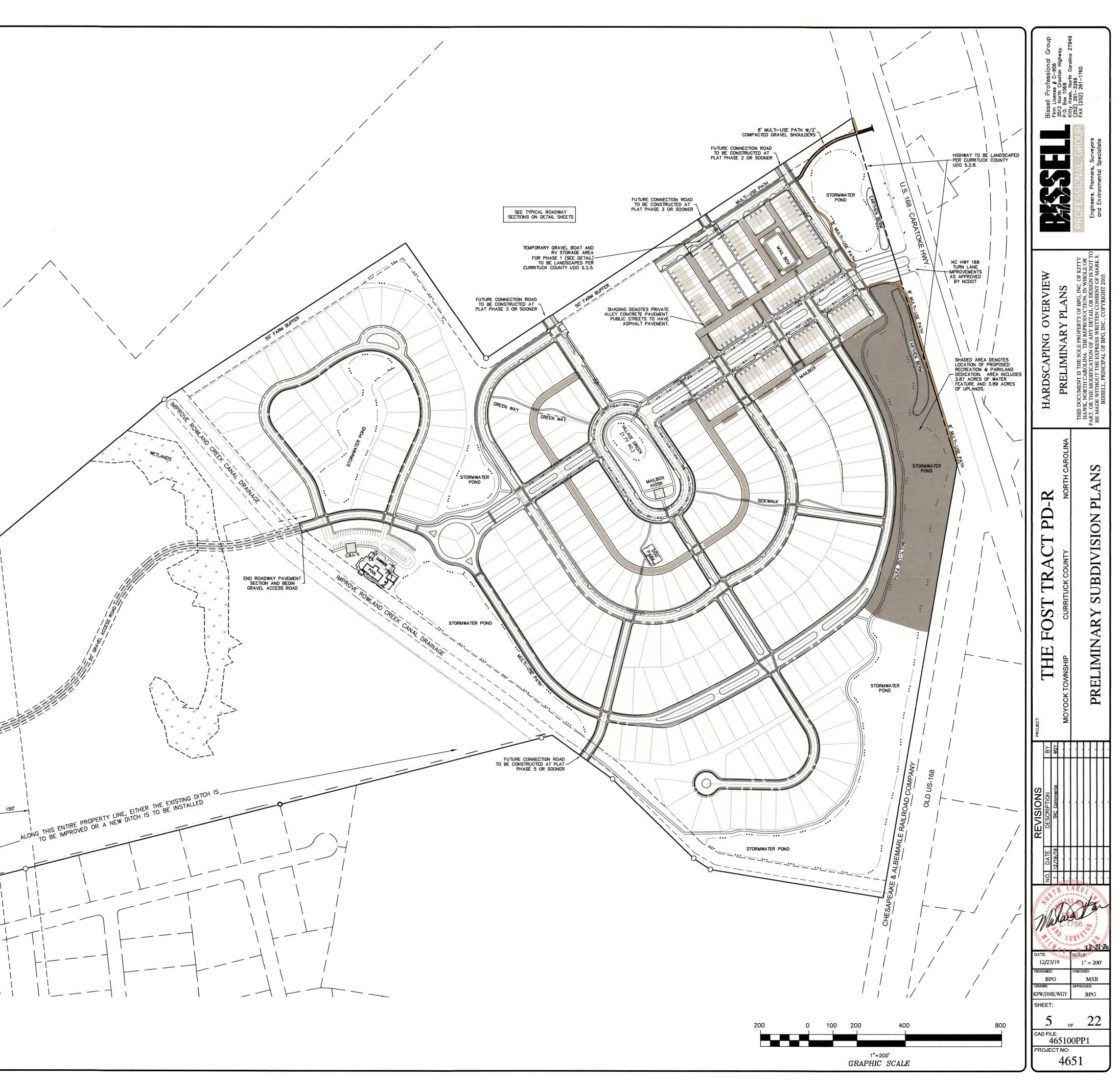
END GRAVEL

SE EASEMENT

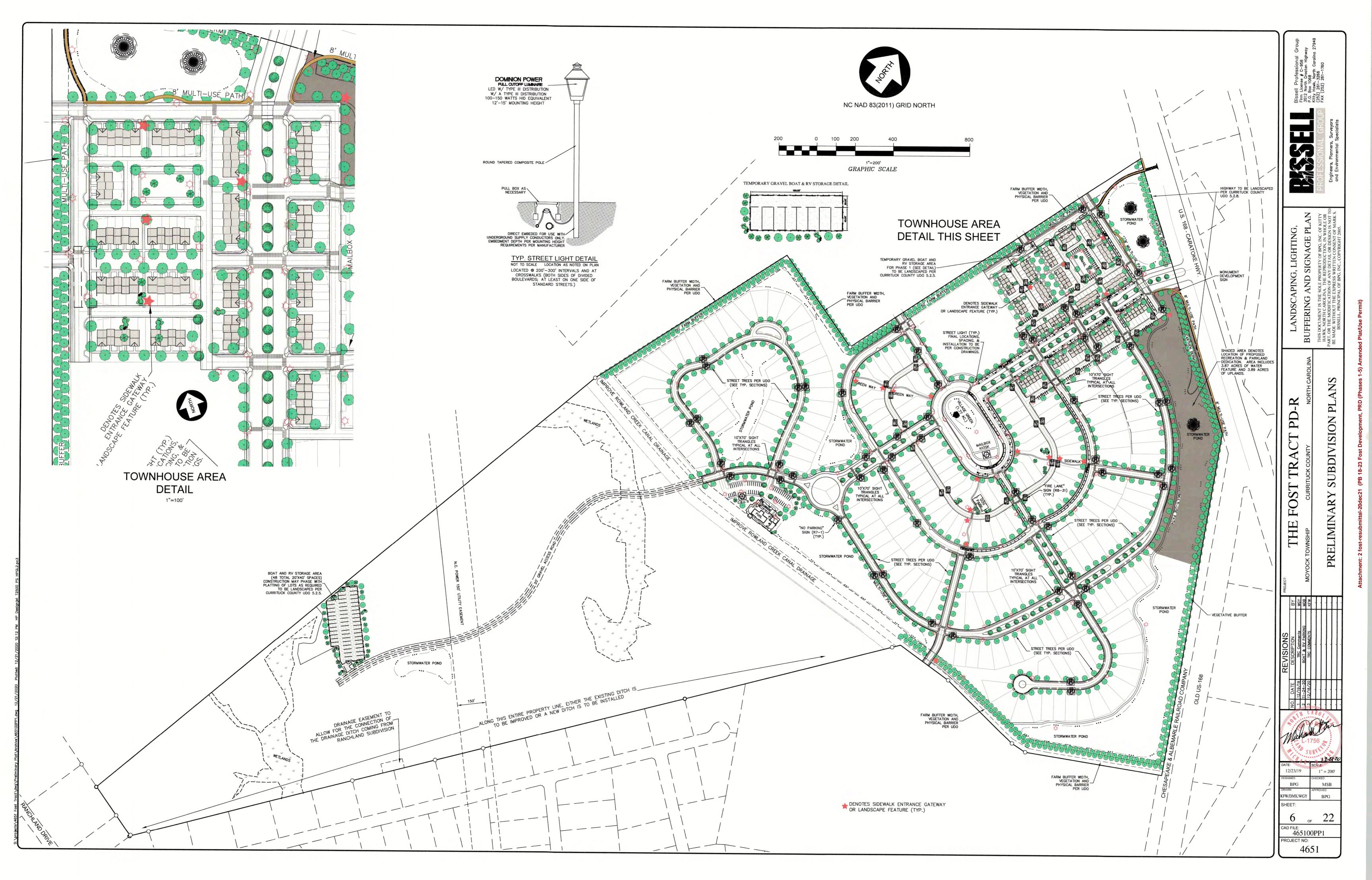
ALLOW FOR THE CONNECTION C ALLOW FOR THE COMING FROM THE DRAINAGE DITCH COMING FROM RANCHLAND SUBDIVISION

# NOTE: ALL ALLEY RIGHTS OF WAY ARE TO BE PRIVATELY HELD. ALL OTHER RIGHTS OF WAY ARE TO BE DEDICATED TO THE PUBLIC.

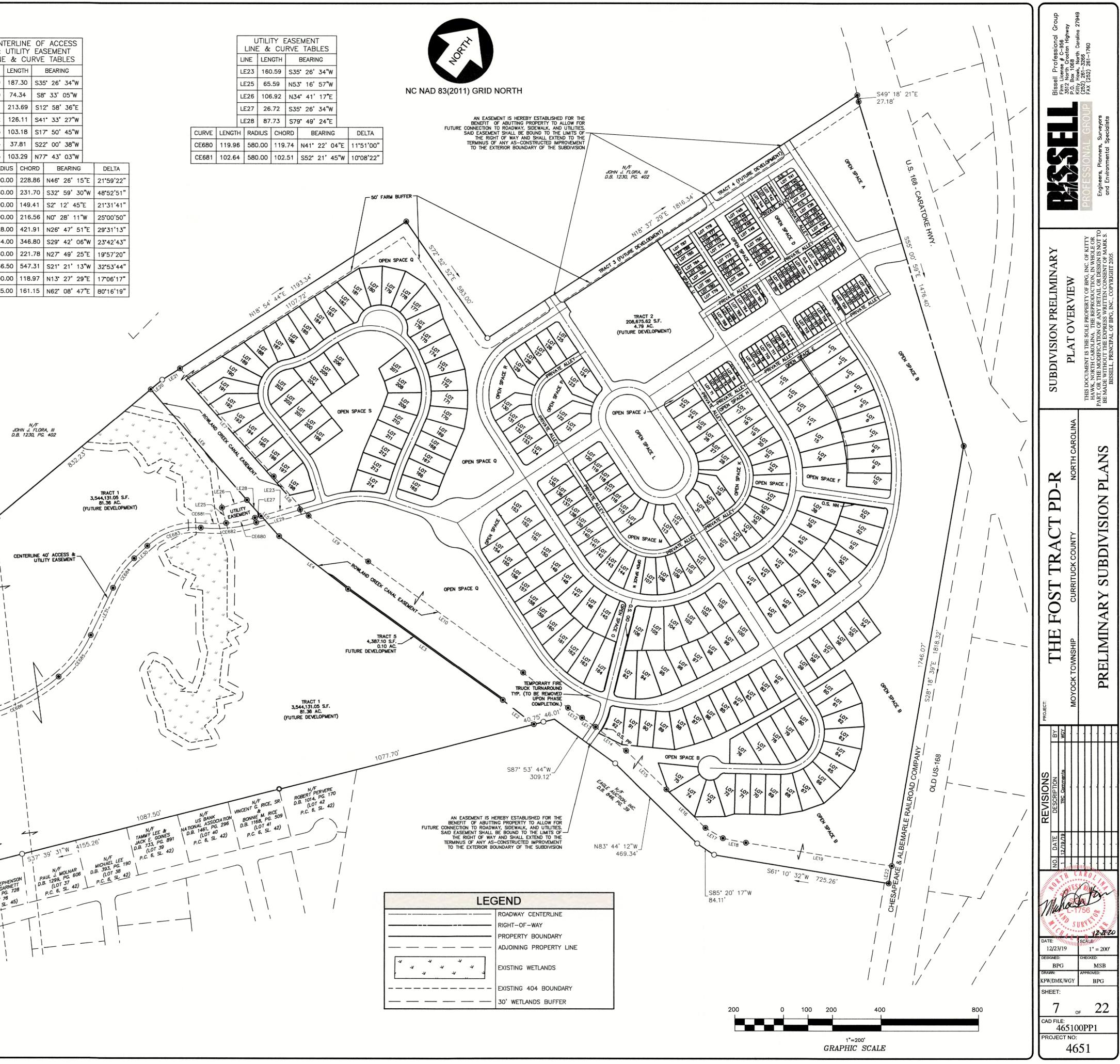




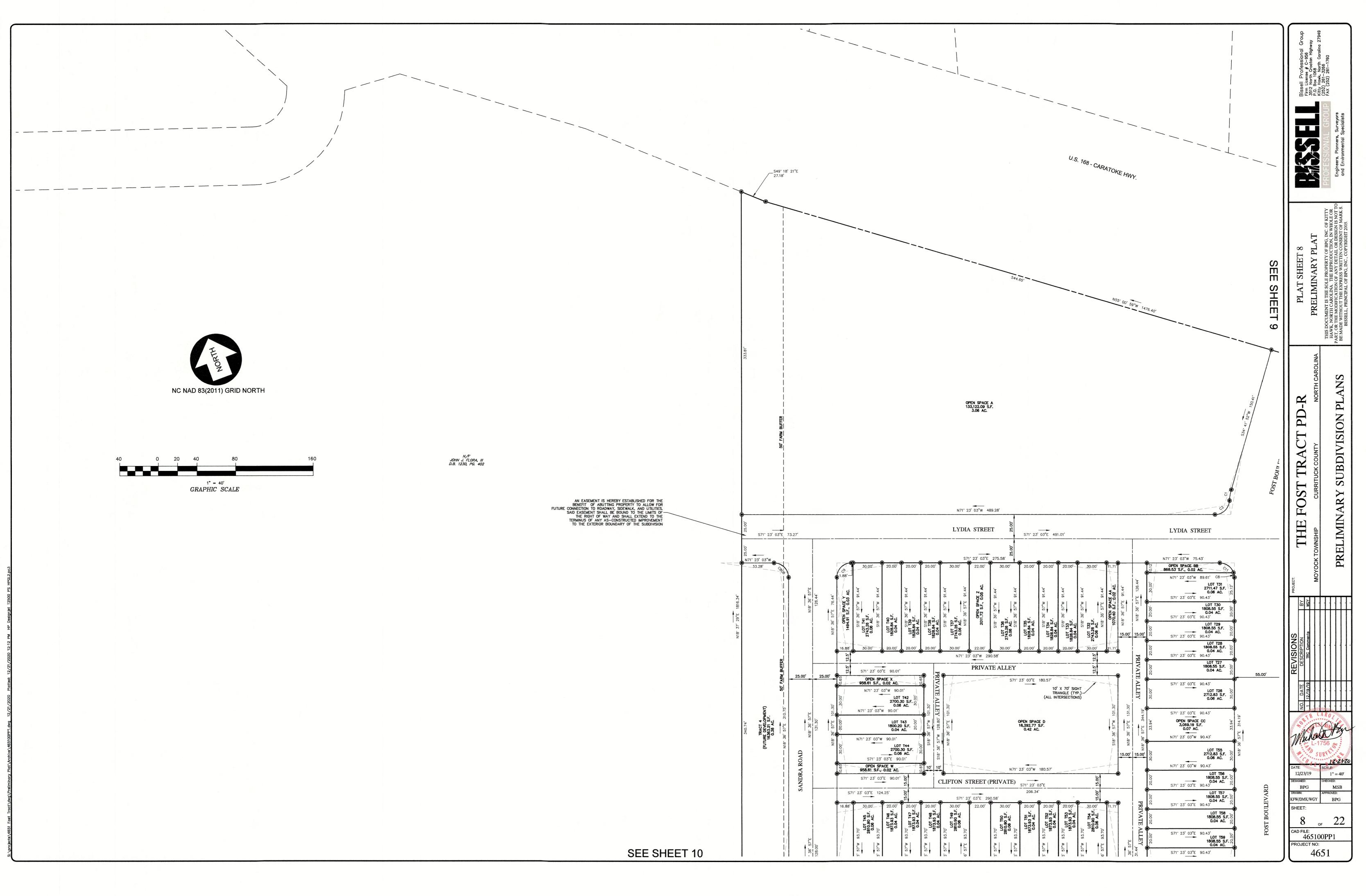




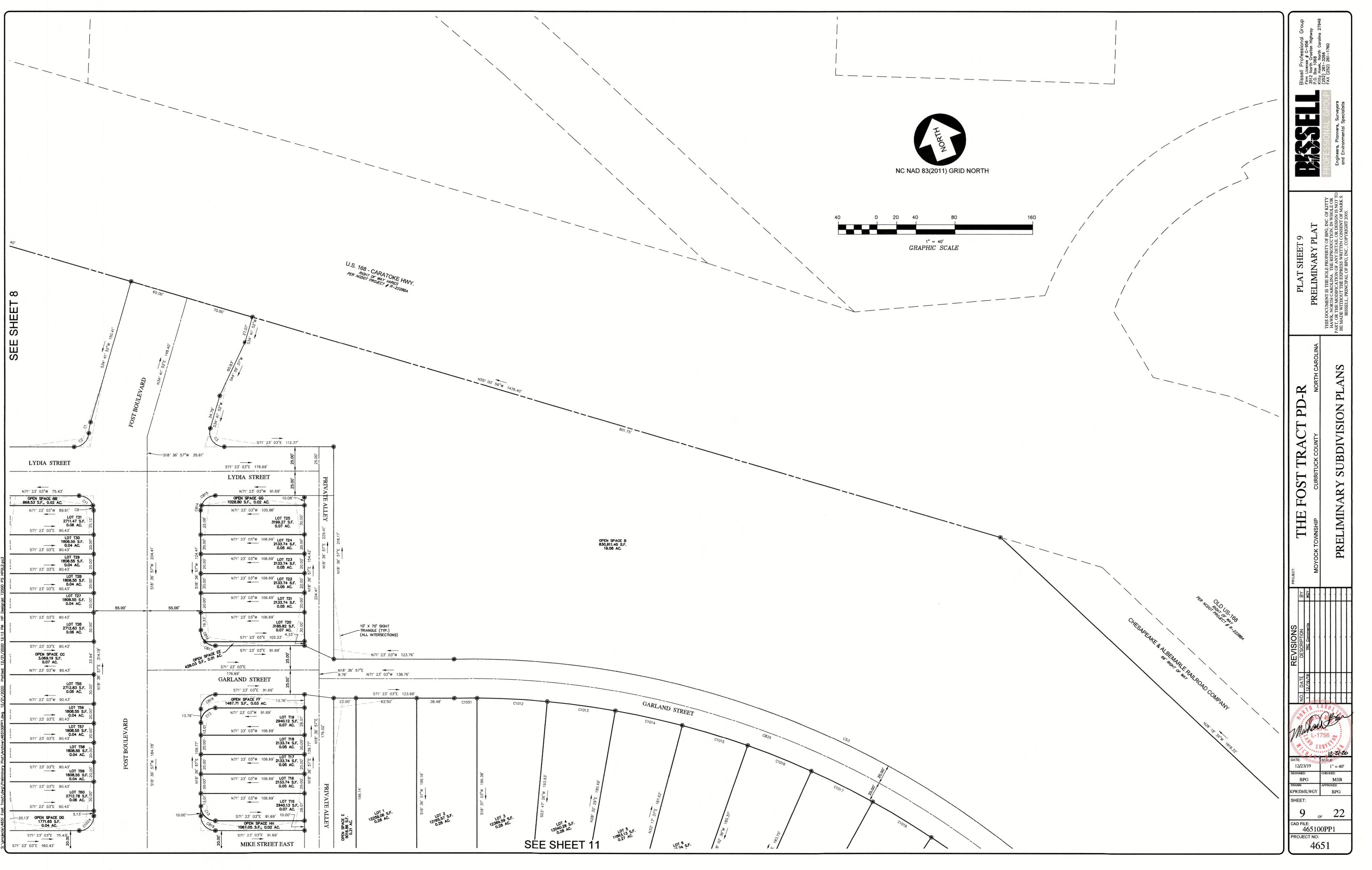
OPEN SPACE T															
									D CREEK						
OPEN SPACE	ACREAGE								TABLE						Γ
A	3.06						LINE	LENGTH	BEARI	IG					
В	19.08						LE1	40.75	N37° 39'						
С	BLANK						LE2	160.96	N89° 57'						
D	0.42						LE3	781.14	N87° 34'						
E	0.21						LE4	356.29	N89° 25'						
F	0.53						LE5	198.20	S79° 49'						
G	BLANK						LE6	600.01	S79° 04'						
Н	0.11						LE7	585.79	S79° 04'						
1	0.23						LE8	215.65	S79° 49'				_	r	
J	0.06						LE9	308.72					- F		ENGTH
К	0.35						LE10	781.80	N87° 34'				- F		230.27
L	1.64						LE11	233.27	N89° 57'						238.88
м	0.45						LE12	70.27	N87° 29'				-		150.29
N	0.19						LE13 LE14	66.78 158.78	N86" 13' N89" 38'				-		218.29
0	0.15						LE14	229.73	S84° 22'				-		426.61
Р	0.40						LE15	229.75	S83° 23'						349.29
Q	17.79						LE17	83.53	N82° 26'						222.91
R	0.44						LE17	95.62	N62 26				-		554.90
S	2.70						LE19	605.72	N60° 56'						119.41
T	0.26							dent to boots and all the	N12* 12'					CE691 1	175.13
U	0.25						LE21	85.62							
v	0.23						LE21	72.25	N18° 54' N28° 18'						
W	0.02							12.20	1020 10	U9 W					
X	0.02														
	0.02		г			1									
Y 7					WTP TRAC										
Z	0.05		ŀ			ARING									
AA	0.02		F			50' 45"W									
BB	0.02		-			49' 03"E									
CC	0.07		- F			25' 47"E									
DD	0.04		-			42' 48"E									1
EE	0.01		H			20' 44"E									I
FF	0.03		F			45' 03"E									
GG	0.02		F			10' 13"W								i	
НН	0.02		F			58' 32"W									
11	0.02		-			57' 03 <b>"</b> E									
IJ	0.03		-			37' 59"E								I.	
КК	0.03			L46 42	.83 S77°	47' 32 <b>"</b> E								Ì	/
LL	0.02	CURV	E LENGTH	RADIUS	CHORD	BEARING	D	ELTA						Ì	179.73
MM	0.02	C672		808.00		39°20'11		6'34"						Å	1,
NN	0.02	C674				29 42 06		42'43"					/	/	
00	0.02	C676		30.00		16 30 44		55'35"							
PP	0.004	C677	31.50	30.00	30.07 N	47° 42' 45	"W 60"	09'33"							
TOTAL	49.34										3376.86		RESERVED FOR	R FUTURE	
TOTAL										28	2 3 8	6. 90	TREATED EFI AND/OR GROU	FLUENT	3"84 N.C. P
IUIAL										. ~2 /20		(	TREATED EFI AND/OR GROU DISPOSI MUST BE APPI B.O.C. PRK UTILIZATIO	ROVED BY O OR TO G	4 3
									4	i <sup>i</sup> <sup>i</sup>			UTILIZATI	0	S44- 21
									-			RKING			
									-LE	EFFLUE	T & RV PA				1
								[	Cerri Lean	EFFLUEN 3	T & RV PA 56,321 S.F. 8.01 AC.				
									Cerri Lean	EFFLUE	T & RV PA 56,321 S.F. 8.01 AC.	S41	* 33' 27"W	-	
IUTAL							LE	LE43 42 42 42 42	Cerri Lean	EFFLUEN 3	T & RV PA 56,321 S.F. 8.01 AC.	S41	* 33' 27"W 126.11'		672
							LE41-		Cerri Lean	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC.		* 33' 27"W 126.11'		
							LE41-		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC.	S41	* 33' 27"W 126.11'		
							LE41		Cerri Lean	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37		* 33' 27"W 126.11'		
							LE41		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37		* 33' 27"W 126.11'		
IUIAL							LE41		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37		* 33' 27"W 126.11'		
				26			LE41		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37	CE687	126.11	-LE32-	
				486.86			LE41		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37	CE687	126.11	-LE32-	
				1486.86			LE41-		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37		126.11	-LE32-	
			TRA 3,544,13 81.36	CT 1 11.05 S.F. 5 AC.			LE41		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37	CE687	126.11	-LE32-	
			1784 3,544,13 81.36 (FUTURE DE	CT 1 105 S.F. B AC. EVELOPMENT)			LE41		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37	CE687	126.11	-LE32-	
DIAL DIAL	JOHN J. FLORA III		TRA 3,544,13 81.36 (FUTURE DE	CT 1 1.05 S.F. 8 AC. WELOPMENT)			LE40		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37	CE687	126.11	-LE32-	
D.B. ALS			TRAA 3,544,13 81.36 (FUTURE DE	CT 1 1.05 S.F. 8 AC. EVELOPMENT)			LE40		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37	CE687 CE687 3,544,13 81.3 (FUTURE DE	126.11'	-LE32-	
	N/F JOHN J. FLORA, III D.B. 1230, PG. 402		1784 3,544,13 81.36 (FUTURE DE	CT 1 1.05 S.F. 8 AC. VELOPMENT)			LE40		C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC. 37	CE687 CE687 TRA 3.544,13 81.3 (FUTURE DE	126.11'	n n	258
D.B. ALS	Л/F ЈОНИ Ј. FLORA, III D.B. 1230, PG. 402		TRAA 3,544,13 81.34 (FUTURE DE	CT 1 105 S.F. 8 AC. EVELOPMENT)					C616	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
D.D. Lord L.	JOHN J. FLORA, MI D.B. 1230, PG 402		1784 3,544,13 81.38 (FUTURE DE	CT 1 1.05 S.F. 8 AC. EVELOPMENT)					Colle		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
Dis. Asis, Po. 19	1		TRA4 3,544,13 81.30 (FUTURE DE	CT 1 1.05 S.F. 8 AC. VELOPMENT)					Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
DIB. ANS. PO. UNIT. SEANN	NTL 46		TRA 3,544,13 81.30 (FUTURE DE	CT 1 1.05 S.F. 8 AC. EVELOPMENT)		99.38		LE43	Colo LE39		56,321 S.F. 8.01 AC. 37	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	LE32-	258
DIB. ANS. PO. UNIT. SEANN	NTL 46		17844 3,544,13 81.38 (FUTURE DE	CT 1 10.05 S.F. B AC. EVELOPMENT)		99.38'		LE43 HILL SUTHERS & SUTHERS SORAH LL SUTHERS 575	Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
D.B. ANT, D.B. P.B. P.B. P.B. P.B. P.B. P.B. P.B.	1172. 46. 00. W		(FUTURE DE	VELOPMENT)		99.38' NNALD JR. & A HEAD, JAWHEAD ANN LPG. 465		LE43 VI THERS 8 SUTHERS 57 SUTHERS 57 SUTHERS 57 SUTHERS 57 SUTHERS 51 SUTHERS 57 SUTHERS 51 SUTHERS 51	Colo LE39	EFFLUER 3 .E45 44	56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
D.B. ANT, D.B. P.B. P.B. P.B. P.B. P.B. P.B. P.B.	1172. 46. 00. W	98.48'	(FUTURE DE	VELOPMENT)		99.38' N/F A. R. & MIEAD ANN LAWHEAD 1488, PG. 4653 (LOT 71 (C, 6, SL 45)		LE43 +22 +22 +22 +243 +2 +2 +2 +2 +2 +2 +2 +2 +2 +2	Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
D.B. ANT, D.B. P.B. P.B. P.B. P.B. P.B. P.B. P.B.	NTP2 46 00 11 311. 32	N.	(FUTURE DE	VELOPMENT)		99.38' N/F A. & EAD, JR. & EAD, LAWHEAD 1488, PG. 463 (LOT 71 C. 6, SL 45)		LE43 +22 -500 HT LL RS 5 SORAH THERS 45) -500 HG 55L -6, 5L -500 HG 55L -500	Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	
D.B. ANT, D.B. P.B. P.B. P.B. P.B. P.B. P.B. P.B.	NTP2 46 00 11 311. 32	N.	(FUTURE DE	N/F N/F N/F N/F N/F N/F N/F N/F N/F N/F		99.38° N/F A. & A. MILLANIEAD NNALD JR. & ALANIEAD ANN LAWHEAD (LOT 71 C. 6, SL. 45)		LE43 42 LE43 42 LE43 42 LE43 42 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 43 LE43 45 LE43 14 LE43 LE43 LE43 LE43 LE43 LE43 LE43 LE43 LE43 LE	Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
D.B. ANT, D.B. P.B. P.B. P.B. P.B. P.B. P.B. P.B.	NTP2 46 00 11 311. 32	N.	(FUTURE DE	VELOPMENT)		99.38' N/F A. & HEAD MALD JR. & MHEAD ANN LAWHEAD ANN LAWHEAD C 6, SL 45)		LE43 VIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
D.B. ANT, D.B. P.B. P.B. P.B. P.B. P.B. P.B. P.B.	NTP2 46 00 11 311. 32	98.48 N/F GREER WILLIAM ET L GREER U.L.B. 14. T4. 21. PG. 30 (L) P. C. (L) OT 68 44) C. 6. SL. 4.	(FUTURE DE	VELOPMENT)		99.38° N/F A. & N/F A. & N/F A		LE43 +22 +22 +10 +11 +1 +1 +1 +1 +1 +1 +1 +1 +	Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258
D.B. ANT, D.B. P.B. P.B. P.B. P.B. P.B. P.B. P.B.	NTP2 46 00 11 311. 32	N.	(FUTURE DE	VELOPMENT)		99.38° N/F A. A. & ANN LAWHEAD ANN LAWHEAD 1488, PG. 4653 (LOT SL. 45)		LE43 +22 +22 +243 +2 +2 +2 +2 +2 +2 +2 +2 +2 +2	Colo LE39		56,321 S.F. 8.01 AC.	С614 СЕ687 3,544,13 81.3 (FUTURE DE	126.11'	n n	258





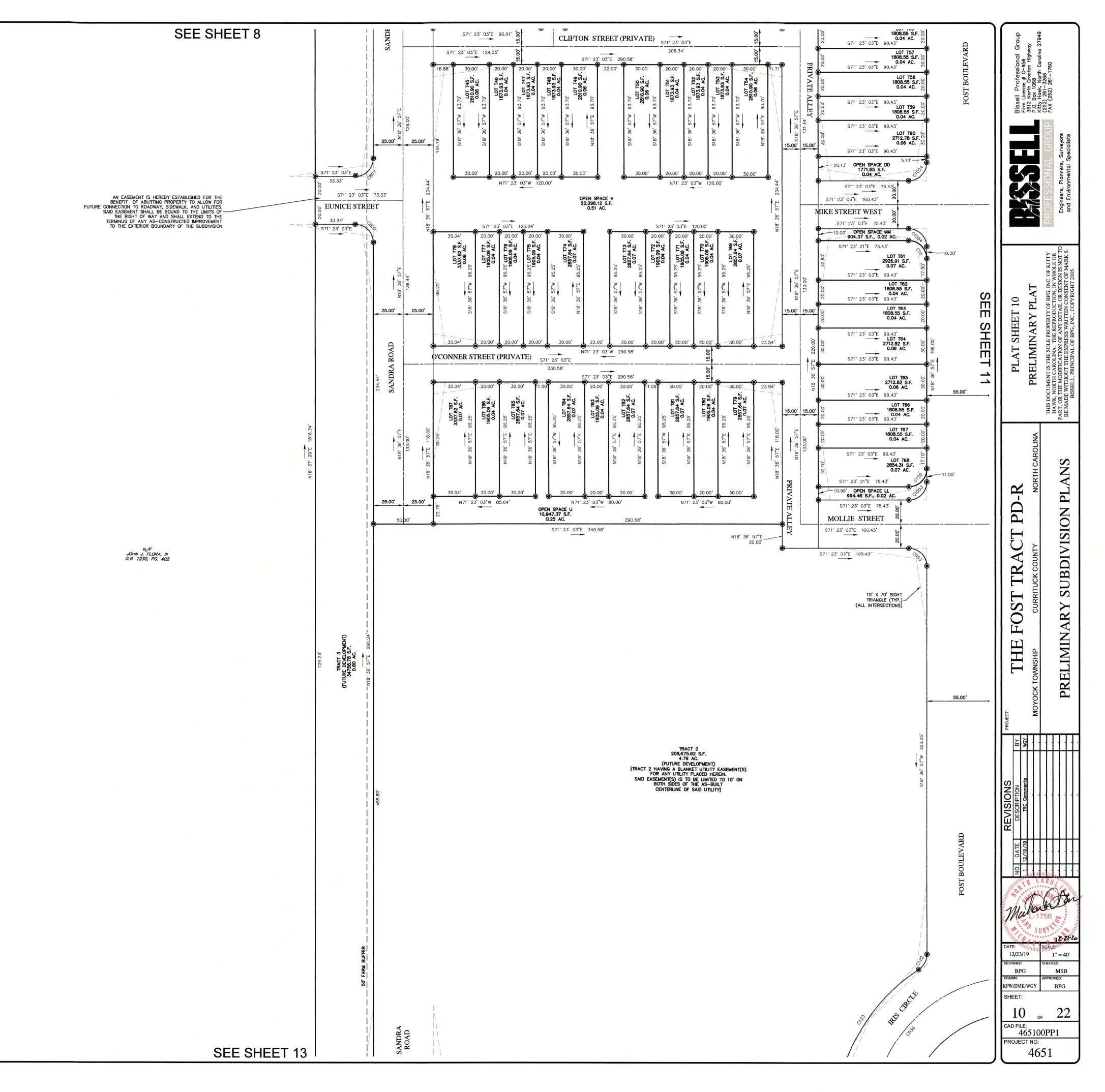


ichment: 2 fost-resubmittal-20dec21(PB 18-23 Fost Development, PRD (Phases 1-5) Amended Pla



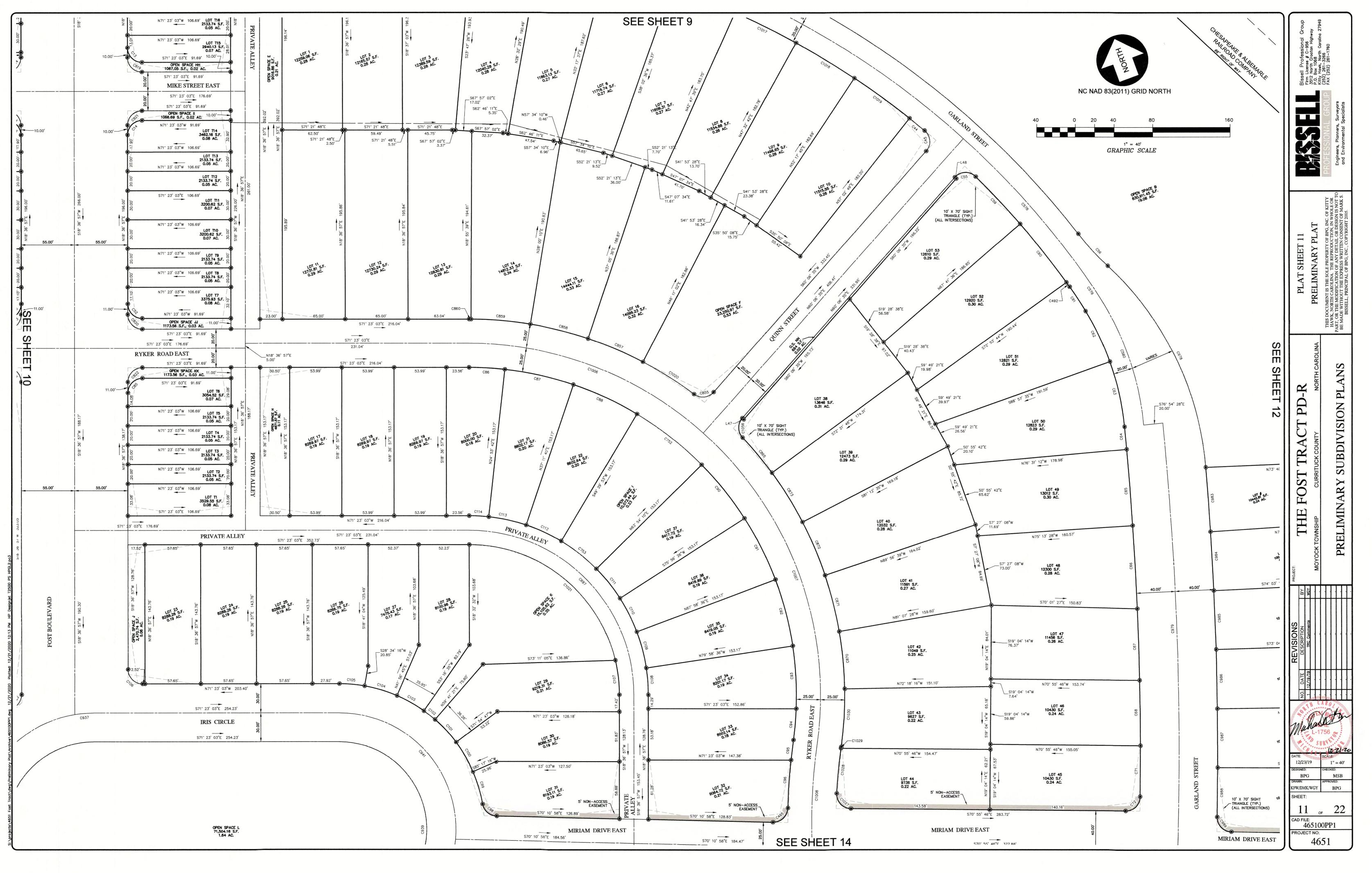
nment: 2 fost-resubmittal-20dec21(PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/U



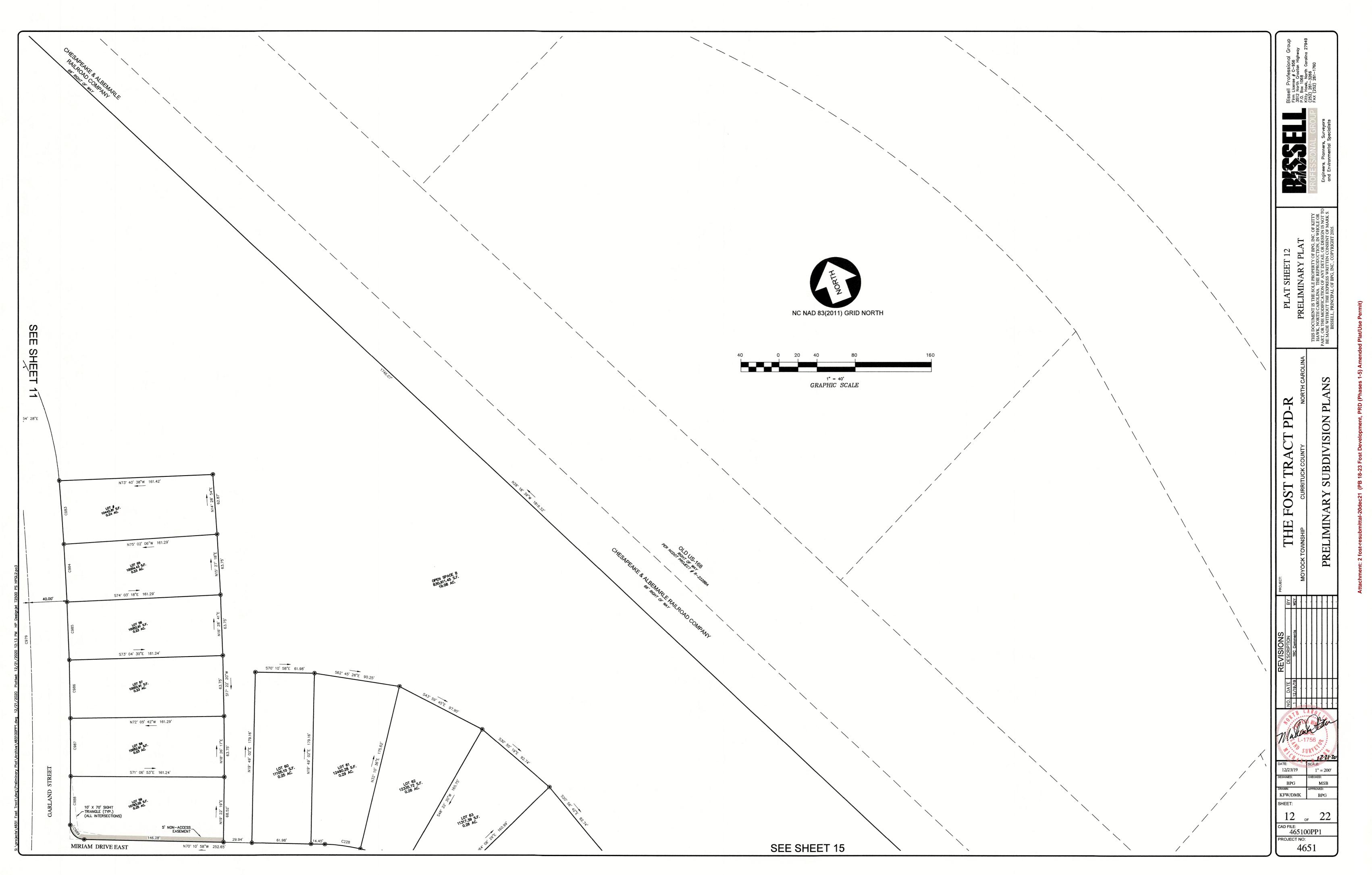


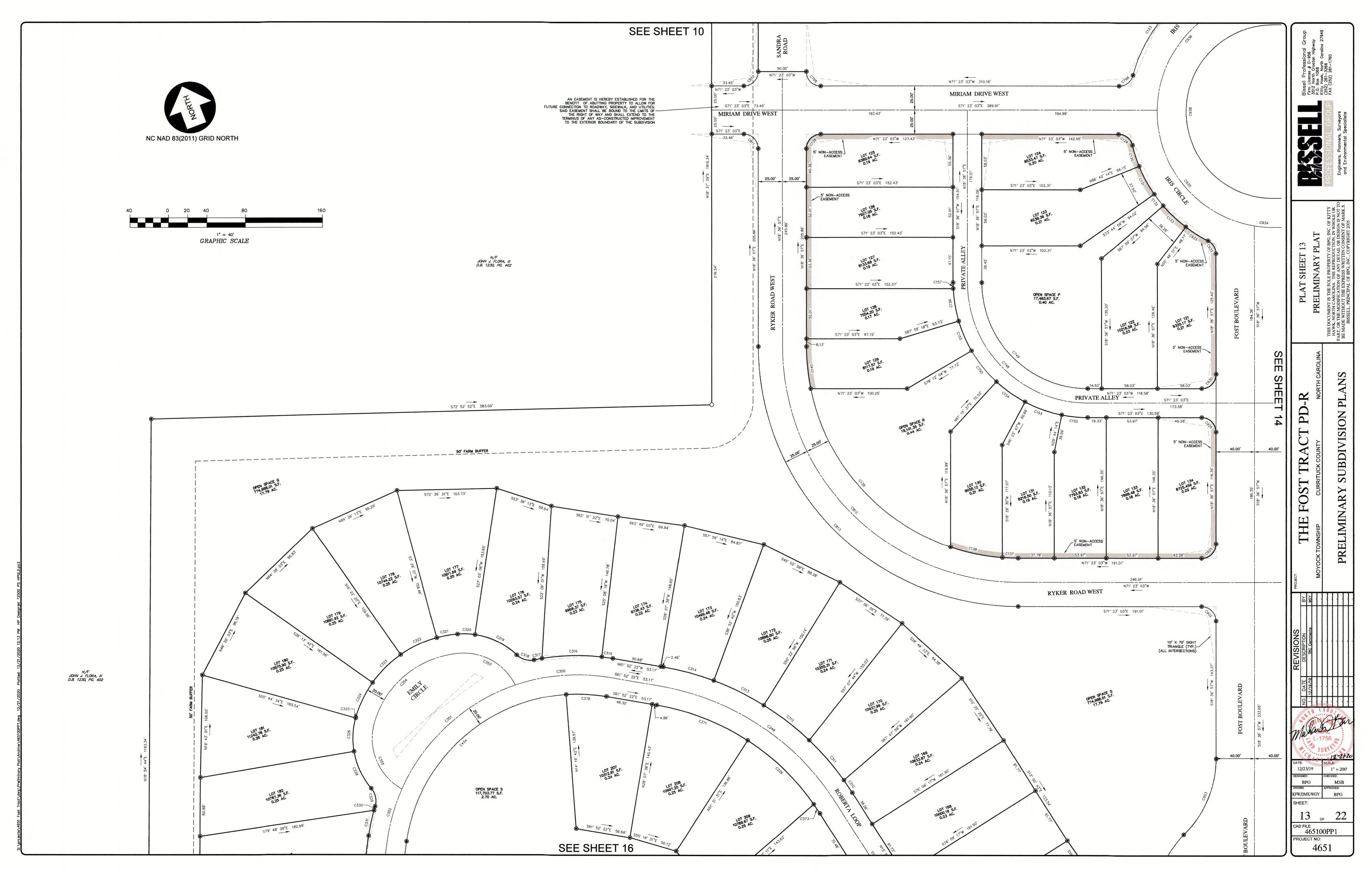
hment: 2 fost-resubmittal-20dec21 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use

.

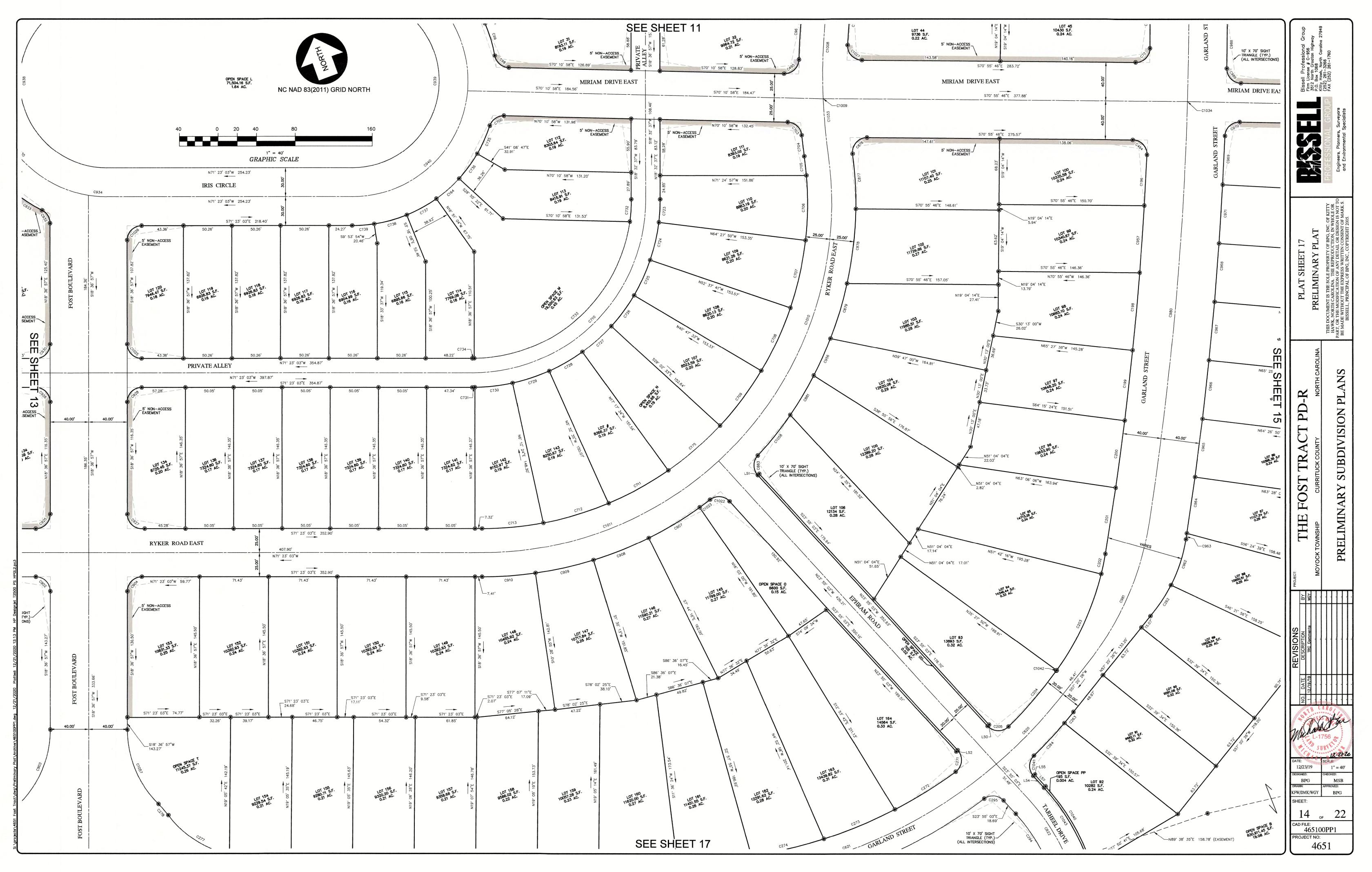


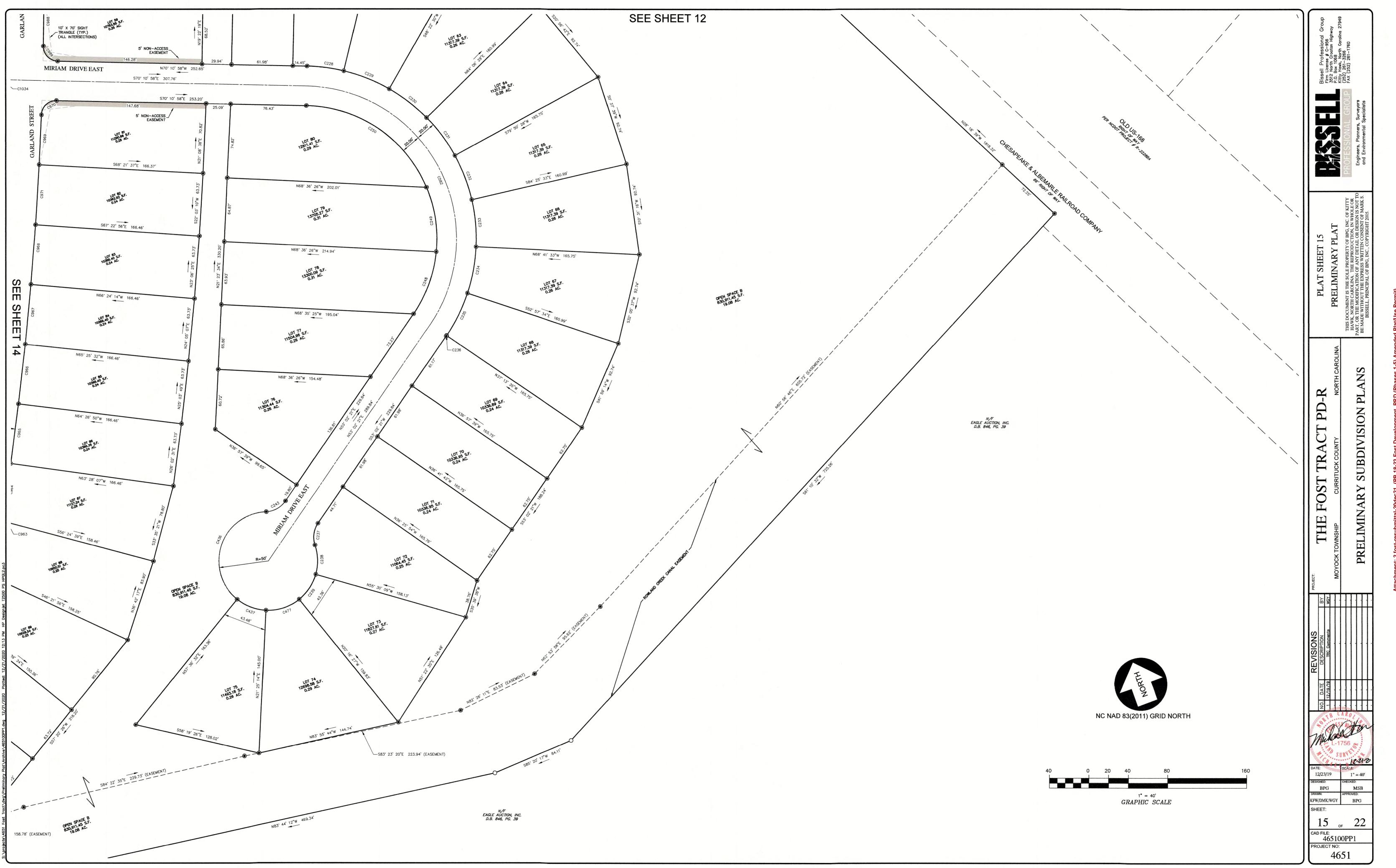
ttachment: 2 fost-resubmittal-20dec21(PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/I

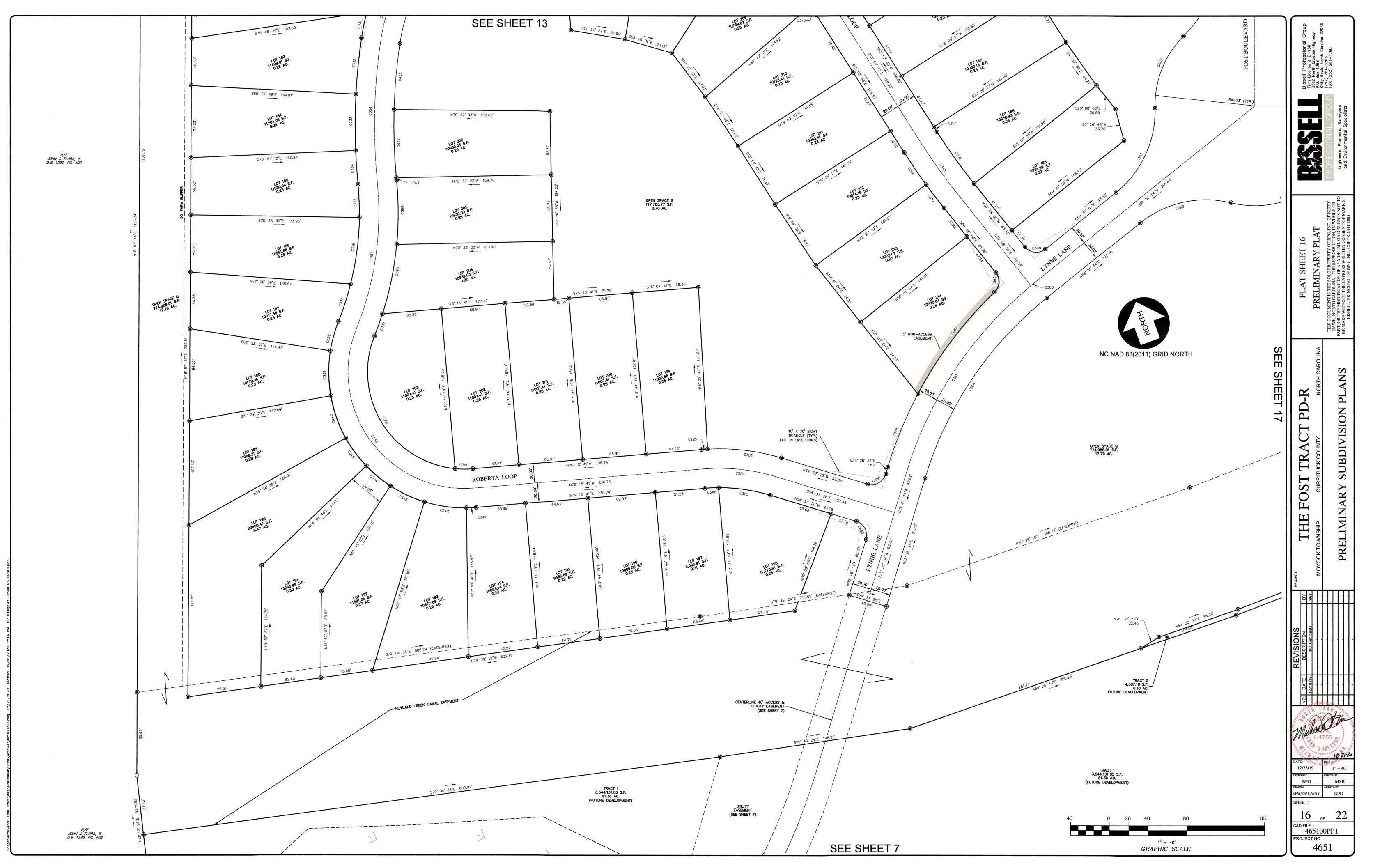




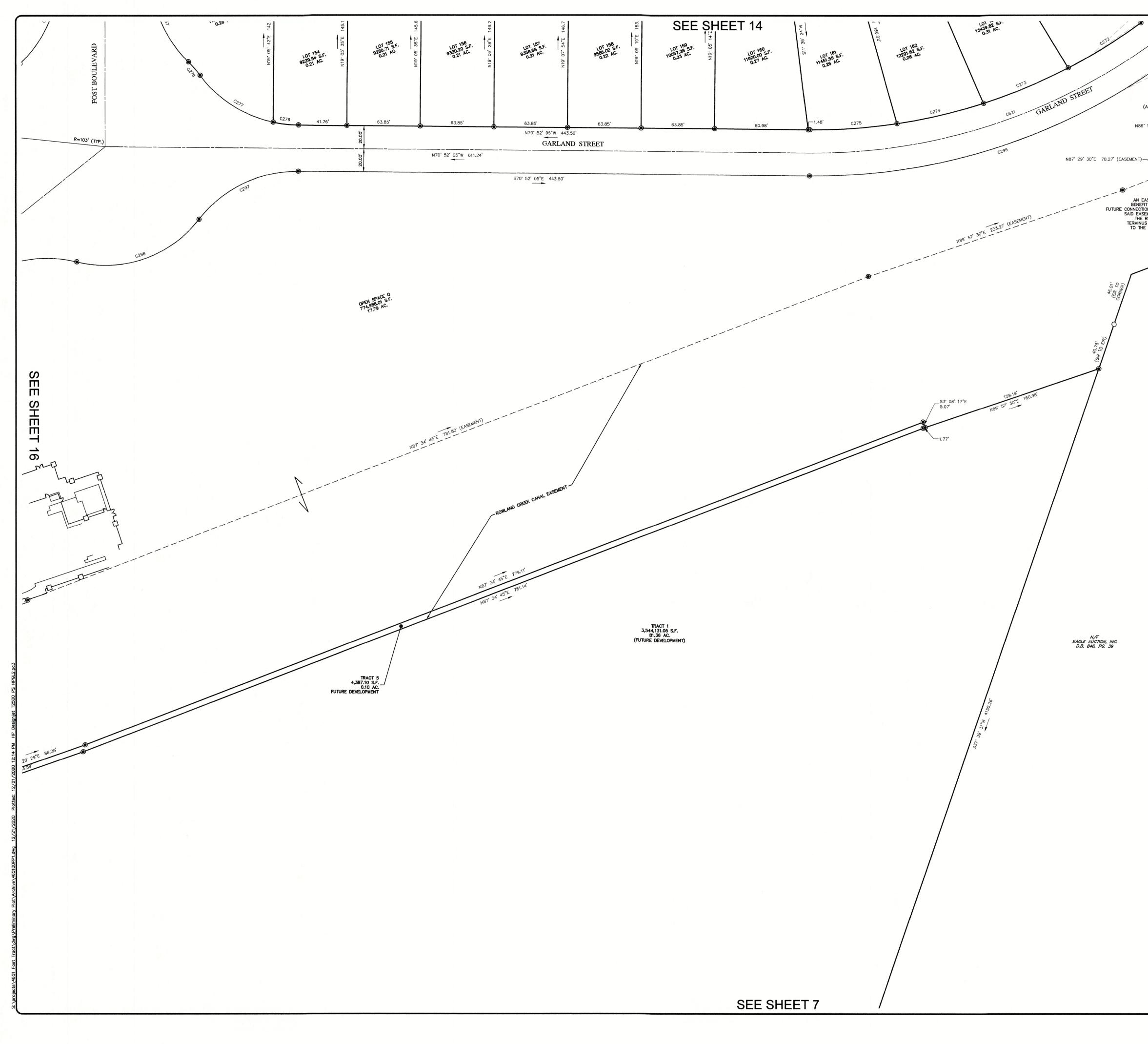
achment: 2 fost-resubmittal-20dec21 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/







chment: 2 fost-resubmittal-20dec21 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/L



N. 80. 03. 8 m OPEN SPACE PP 195 S.F. 0.004 AC. LOT 92 10282 S.F. 0.24 AC. S23' 55' 03"E\_/ 18.69' Bissell Pr. Firm License 3512 North P.0. Box 10 Kitty Hawk, (252) 251-1, FAX (252) 2 OPEN SPACE 830,911.45 19.08 A 10' X 70' SIGHT TRIANGLE (TYP.)-/ (ALL INTERSECTIONS) 158.78' (EASEMENT) eyors alists N86' 13' 06"E 66.78' (EASEMENT)-Sur · 44' 12"E 469.34 20.0 Engin and AN EASEMENT IS HEREBY ESTABLISHED FOR THE BENEFIT OF ABUTTING PROPERTY TO ALLOW FOR FUTURE CONNECTION TO ROADWAY, SIDEWALK, AND UTILITIES. SAID EASEMENT SHALL BE BOUND TO THE LIMITS OF THE RIGHT OF WAY AND SHALL EXTEND TO THE TERMINUS OF ANY AS-CONSTRUCTED IMPROVEMENT TO THE EXTERIOR BOUNDARY OF THE SUBDIVISION AT PLAT SHEET 17 PRELIMINARY PLA NORTH CAROI NORTH CAROI THE MODIFICA E WITHOUT TH BISSELL, PRIMO THIS DOC HAWK, N PART, OR T BE MADE ANS THE FOST TRACT PD-R PL DIVISION SUBI PRELIMINARY 2-2020 NC NAD 83(2011) GRID NORTH DATE: 12/23/19 DESIGNED: BPG DRAWN: KFW/DMK/WGY SHEET: 1" = 40' KED: MSB PPROVED: BPG 17 of 22 CAD FILE: 465100PP1 PROJECT NO: 1" = 40' GRAPHIC SCALE 4651

tachment: 2 fost-resubmittal-20dec21(PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use

URVE	LENGTH	RADIUS	RVE TA CHORD	BEARING	DELTA
C1	11.52	50.00	11.50	S28° 05' 45"W	13°12'15"
C2	22.81	15.00	20.67	N65° 03' 17"E	87°07'19"
C3	27.77	15.00	23.97	S18' 20' 36"E	106°04'56"
C8	4.97	15.00	4.94	N9° 07' 53"E	18°58'07"
C9	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C11	18.60	15.00	17.43	N35° 52' 07"W	71°01'53"
C12	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C13	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"
C14	23.56	15.00	21.21	S63 36' 57"W	90°00'00"
C15	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"
C44	42.71	851.01	42.70	N33 02' 30"W	2 <b>°</b> 52'31"
C45	24.01	15.00	21.53	N14' 15' 10"E	91 <b>°</b> 42'49"
C52	23.56	15.00	21.21	S26° 23' 03"E	90 <b>°</b> 00'00"
C53	829.54	891.01	799.90	N45° 56' 28"W	53 <b>°</b> 20'35"
C55	24.37	15.00	21.78	N73° 20' 51"W	93*05'08"
C56	45.14	280.00	45.09	S23° 53' 14"E	9°14'09"
C59	66.81	851.01	66.79	N24° 33' 21"W	4°29'53"
C60	77.27	851.01	77.24	N19° 42' 20"W	5"12'08"
C61	30.10	451.25	30.09	N14° 48' 54"W	3°49'17"
C62	57.98	280.00	57.88	N6° 58' 20"W	11°51'51"
C63	69.06	280.00	68.89	N6° 01' 34"E	14°07'57"
C64	23.59		23.59	N13° 17' 10"E	0°23'16"
C65	78.82	3485.99	78.82	N14° 07' 40"E	1°17'44"
C66	86.08	3485.99	86.08	N15°28'59"E	1*24'54"
C67	74.05	3485.99	74.04	N16° 47' 56"E	1"13'01"
C68	67.52	3485.99	67.52	N17° 57' 44"E	1°06'35"
C71	52.61	3486.00	52.61	N18° 56' 58"E	0°51'53"
C72	23.48	15.00	21.16	N64 13 39"E	89 <b>°</b> 41'10"
C85	23.56	15.00	21.21	S63° 36' 57"W	90'00'00"
C86	37.06	338.17	37.04	S68° 14' 41"E	6 <b>°</b> 16'46"
C87	72.60	338.17	72.46	N58° 57' 16"W	12°18'04"
C88	72.61	338.17	72.47	N46° 39' 10"W	12"18'09"
C90	71.05	338.17	70.92	N20° 04' 42"W	12'02'16"
C91	71.04	338.17	70.91	N8° 02' 29"W	12°02'11"
C92	71.07	338.17	70.94	N3" 59' 51"E	12'02'28"
C93	65.04	338.17	64.94	N15' 31' 42"E	11'01'13"
C94	32.57	338.17	32.56	N23° 47' 52"E	5 <b>°</b> 31'07"
C95	20.91	620.00	20.91	N25° 35' 27"E	1 <b>°</b> 55'58"
C96	49.48	620.00	49.47	N22° 20' 17"E	4°34'21"
C98	20.64	15.00	19.05	S30° 45' 36"E	78°50'43"
C99	35.08	150.28	35.00	S1° 58' 31"W	13*22'29"
0100	35.08	150.28	35.00	S11° 23' 58"E	13*22'29"
C101	32.06	150.28	32.00	S24 11' 56"E	12"13'26"
C102	14.48	150.28	14.47	N33° 04' 14"W	5 <b>°</b> 31'10"
C103	32.06	150.28	32.00	S41° 56' 32"E	12"13'26"
C104	35.08	150.28	35.00	S54° 44' 29"E	13'22'29"
C105	26.11	150.28	26.08	S66° 24' 24"E	9 <b>°</b> 57'20"
C106	23.56	15.00	21.21	S26° 23' 03"E	90.00,00
			35.78	N11° 59' 14"E	13"15'26"
2107	35.86	155.00			
2108	27.77	185.00	27.75	S14° 18' 53"W	8°36'07"
0109	38.86	185.00	38.79	S3* 59' 43"W	12°02'12"
110	38.86	185.00	38.79	S8° 02' 28"E	12'02'12"
111	38.87	185.00	38.80	S20° 04' 42"E	12'02'16"
:112	39.72	185.00	39.64	S46° 39' 06"E	12*18'05"
:113	39.72	185.00	39.65	S58° 57' 13"E	12"18'09"
:114	20.28	185.00	20.26	N68 14' 41"W	6 <b>°</b> 16'46"
120	23.56	15.00	21.21	N63° 36' 57"E	90 <b>°</b> 00'00"
122	15.01	15.00	14.39	N47° 17' 23"E	57 <b>°</b> 20'53"
123	112.36	150.28	109.76	S54• 32' 41"W	42°50'17"
128	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
129	20.03	15.00	18.57	N33" 08' 08"W	76 <b>°</b> 29'51"
130	22.99	150.28	22.96	NO' 44' 00"E	8°45'49"
C131	33.05	150.28	32.99	S9° 56' 58"E	12'36'06"
132	15.10	150.28	15.10	S19° 07' 47"E	5*45'32"
133			32.00	N28* 07' 16"W	12"13'26"
	32.06	150.28			
137	16.20	220.00	16.20	S69' 16' 29"E	4°13'08"
138	55.25	220.00	55.10	N59° 58' 17"W	14°23'17"
139	229.96	220.00	219.63	S22 49 56 E	59 <b>°</b> 53'23"
140	52.30	230.66	52.19	S13° 45' 32"W	12 <b>°</b> 59'33"
152	27.17	140.00	27.13	N65° 49' 25"W	11 <b>°</b> 07 <b>'</b> 17"
2153	40.71	140.00	40.56	N51° 56' 00"W	16 <b>°</b> 39'33"
2154	36.32	140.00	36.22	S36° 10' 18"E	14 <b>°</b> 51'50"
0155	33.75	140.00	33.66	N4" 53' 37"W	13•48'38"
C156	34.36	140.00	34.27	N9° 02' 32"E	14°03'41"
C157	6.21	140.00	6.21	N17° 20' 40"E	2°32'34"
C164	31.66	150.28	31.60	N67' 06' 47"E	12'04'18"
				N67° 44' 04"E	12'04'18"
C175	71.21	338.00	71.08		
	71.21 52.72	3486.00 3485.99	52.72	N21° 37' 53"E	0*52'00"

		CUI	RVE TA	BLE
CURVE	LENGTH	RADIUS	CHORD	BEARING
C200	70.26	3485.99	70.26	N26° 19' 15"E
C201	69.43	3485.99	69.42	N27 28' 08"E
C202	21.12	285.00	21.12	N30°09'45"E
C203	110.76	285.00	110.07	N43° 25' 10"E
C204	76.20	480.00	76.12	N59° 14' 59"E
C205	24.16	15.00	21.63	S70° 03' 36"E
C225	6.30	220.00	6.30	S75° 26' 27"E
C226	96.02 37.75	250.00 175.00	95.43 37.68	N27° 28' 19"W
C228	49.48	175.00	49.31	N49° 43' 27"W
C230	48.05	175.00	47.90	S33° 45' 30"E
C231	48.05	175.00	47.90	N18° 01' 31"W
C232	48.05	175.00	47.90	S2° 17' 32"E
C233	48.05	175.00	47.90	N13° 26' 27"E
C234	48.05	175.00	47.90	S29° 10' 26"W
C235	48.05	175.00	47.90	N44° 54' 25"E
C236	0.81	175.00	0.81	S52° 54' 23"W
C237	23.18	25.00	22.36	S26' 28' 27"W
C238	30.18	50.00	29.73	S17° 12' 12"W
C239	30.74	50.00	30.26	S52°06'42"W
C243	23.18	25.00	22.36	N79° 36' 15"E
C248	67.72	135.00	67.01	N38° 40' 09"E
C249	66.83	135.00	66.15	N10° 07' 05"E
C250	155.79	135.00	147.29	N37° 07' 22"W
C262	32.95	160.00	32.89	S51° 26' 30"W
C263	14.75	520.00	14.75	S58 09' 11"W
C264	46.57	520.00	46.55	S61° 31' 52"W
C271	25.23	15.00	22.36	N24° 15' 34"E
C272	74.26	480.00	74.19	N76° 52' 07"E
C273	79.72	480.00	79.63	N86° 03' 33"E
C274	77.33	480.00	77.24	S84° 34' 03"E
C275	76.10	480.00	76.02	S75° 24' 37"E
C276	22.25	108.00	22.21	S64° 57' 59"E
C277	99.25	108.00	95.79	S44° 32' 29"E
C278	15.51	103.00	15.50	N22° 31' 44"W
C294 C295	65.97 22.12	180.00	65.61 20.17	N13° 25' 02"W
C295	340.61	520.00	334.55	S89° 37' 59"E
C297	99.25	108.00	95.79	S82° 48' 19"W
C298	118.72	103.00	112.26	N89° 29' 55"E
C299	99.25	108.00	95.79	N83° 48' 30"W
C302	84.24	103.00	81.92	S40° 38' 35"W
C303	99.25	108.00	95.79	N43° 32' 18"E
C304	228.30	380.00	224.88	S52° 39' 14"W
C305	54.04	180.00	53.84	N63° 09' 30"W
C308	23.56	15.00	21.21	S65 08' 06"E
C309				
	65.86	600.00	65.83	S16° 59' 24"E
C310	65.86 15.69	600.00 290.00	65.83 15.68	S16° 59' 24"E N15° 23' 42"W
C310 C311				
	15.69	290.00	15.68	N15° 23' 42"W
C311	15.69 55.20	290.00 290.00	15.68 55.11	N15° 23' 42"W S22° 23' 49"E
C311 C312 C313 C314	15.69 55.20 59.56 58.23 54.41	290.00 290.00 290.00 290.00 290.00	15.68 55.11 59.46 58.13 54.33	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E
C311 C312 C313 C314 C315	15.69 55.20 59.56 58.23 54.41 11.47	290.00 290.00 290.00 290.00 290.00 290.00	15.68 55.11 59.46 58.13 54.33 11.47	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W
C311 C312 C313 C314 C315 C316	15.69 55.20 59.56 58.23 54.41 11.47 62.55	290.00 290.00 290.00 290.00 290.00 220.00 220.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W N73° 00' 21"W
C311 C312 C313 C314 C315 C316 C317	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42	290.00 290.00 290.00 290.00 290.00 220.00 220.00 220.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E
C311 C312 C313 C314 C315 C316 C317 C318	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37	290.00 290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W N73° 00' 21"W S82° 14' 49"E S55° 36' 03"E
C311 C312 C313 C314 C315 C316 C317 C318 C319	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 20.00 80.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W N73° 00' 21"W S82° 14' 49"E S55° 36' 03"E S45° 24' 12"E
C311 C312 C313 C314 C315 C316 C317 C318	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37	290.00 290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30	290.00 290.00 290.00 290.00 220.00 220.00 220.00 20.00 80.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W N73° 00' 21"W S82° 14' 49"E S55° 36' 03"E S45° 24' 12"E
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91	290.00 290.00 290.00 290.00 220.00 220.00 220.00 20.00 80.00 80.00 120.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W N73° 00' 21"W S82° 14' 49"E S55° 36' 03"E S45° 24' 12"E S69° 30' 10"E S81° 17' 12"E N83° 33' 21"E
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 80.00 120.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C322	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 20.00 80.00 120.00 120.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W N73° 00' 21"W S82° 14' 49"E S55° 36' 03"E S45° 24' 12"E S69° 30' 10"E S81° 17' 12"E N83° 33' 21"E S63° 41' 59"W
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C322 C323 C324	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 40.20	290.00 290.00 290.00 290.00 220.00 220.00 220.00 20.00 80.00 80.00 120.00 120.00 120.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 40.02	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C322 C323 C324 C325	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 40.20 0.67	290.00 290.00 290.00 290.00 220.00 220.00 220.00 20.00 80.00 120.00 120.00 120.00 120.00 120.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C322 C323 C324 C325 C326	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 40.20 0.67 35.08	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 40.02 0.67 34.80	N15° 23' 42"W S22° 23' 49"E N33° 44' 02"W S45° 22' 12"E S56° 29' 51"E N63° 22' 02"W N73° 00' 21"W S82° 14' 49"E S55° 36' 03"E S45° 24' 12"E S69° 30' 10"E S81° 17' 12"E N83° 33' 21"E S63° 41' 59"W N44° 10' 26"E N34° 20' 13"E S21° 32' 05"W
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C326 C328	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 40.20 0.67 35.08 42.91	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 40.02 0.67 34.80 42.40	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C326 C328 C329	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 41.59 40.20 0.67 35.08 42.91 19.90	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 40.02 0.67 34.80 42.40 19.09	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 24' 04"E
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C322 C323 C324 C325 C326 C328 C328 C329 C330	15.69         55.20         59.56         58.23         54.41         11.47         62.55         8.42         19.37         49.00         18.30         21.91         41.59         41.59         40.20         0.67         35.08         42.91         19.90         4.31	290.00 290.00 290.00 290.00 290.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00 80.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 40.02 0.67 34.80 42.40 19.09 4.31	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 44' 04"E N34' 40' 17"E
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C329 C330 C331	15.69         55.20         59.56         58.23         54.41         11.47         62.55         8.42         19.37         49.00         18.30         21.91         41.59         40.20         0.67         35.08         42.91         19.90         4.31         27.00	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00 20.00 220.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 40.02 0.67 34.80 42.40 19.09 4.31 26.98	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 24' 04"E N34' 40' 17"E N30' 35' 40"E
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C329 C320 C320 C320 C321 C328 C329 C320 C320	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 41.59 41.59 40.20 0.67 35.08 42.91 19.90 4.31 27.00 58.42	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00 80.00 20.00 220.00 220.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 58.40	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 23' 46"W N6' 44' 04"E N34' 40' 17"E N30' 35' 40"E
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C329 C328 C329 C330 C331 C331 C332	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 41.59 41.59 41.59 41.59 40.20 0.67 35.08 42.91 19.90 4.31 27.00 58.42 58.09	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00 80.00 80.00 20.00 220.00 220.00 220.00 615.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 41.38 41.38 40.02 0.67 34.80 42.40 19.09 4.31 26.98 58.40 58.07	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 24' 04"E N34' 40' 17"E N30' 35' 40"E N24' 21' 28"E S18' 55' 50"W
C311 C312 C313 C314 C315 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C328 C328 C329 C330 C331 C332	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 41.59 41.59 41.59 40.20 0.67 35.08 42.91 19.90 4.31 27.00 58.42 58.09 34.93	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00 80.00 20.00 220.00 220.00 615.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 41.38 40.02 0.67 34.80 42.40 19.09 4.31 26.98 58.40 58.07 34.92	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 23' 46"W N6' 44' 04"E N34' 40' 17"E N30' 35' 40"E N24' 21' 28"E S18' 55' 50"W N14' 35' 52"E
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C328 C328 C329 C330 C331 C332 C333 C334 C335	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 41.59 41.59 40.20 0.67 35.08 42.91 19.90 4.31 27.00 58.42 58.09 34.93 34.28	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00 20.00 220.00 220.00 615.00 624.99 615.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 40.02 0.67 34.80 42.40 19.09 4.31 26.98 58.40 58.07 34.92 34.26	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 23' 46"W N6' 23' 46"W N6' 44' 04"E N34' 40' 17"E N30' 35' 40"E N24' 21' 28"E S18' 55' 50"W N14' 35' 52"E N16' 14' 40"E
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C328 C328 C329 C330 C331 C332 C333 C334 C335 C336	15.69 55.20 59.56 58.23 54.41 11.47 62.55 8.42 19.37 49.00 18.30 21.91 41.59 41.59 41.59 41.59 41.59 40.20 0.67 35.08 42.91 19.90 4.31 27.00 58.42 58.09 34.93 34.28 69.44	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 80.00 80.00 80.00 80.00 20.00 220.00 220.00 615.00 615.00 615.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 41.38 58.40 19.09 4.31 26.98 58.40 58.07 34.92 34.26 69.29	N15' 23' 42"W S22' 23' 49"E N33' 44' 02"W S45' 22' 12"E S56' 29' 51"E N63' 22' 02"W N73' 00' 21"W S82' 14' 49"E S55' 36' 03"E S45' 24' 12"E S69' 30' 10"E S81' 17' 12"E N83' 33' 21"E S63' 41' 59"W N44' 10' 26"E N34' 20' 13"E S21' 32' 05"W N6' 23' 46"W N6' 23' 46"W N6' 23' 46"W N6' 44' 04"E N34' 40' 17"E N30' 35' 40"E N24' 21' 28"E S18' 55' 50"W N14' 35' 52"E N16' 14' 40"E S26' 08' 58"W
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C328 C328 C329 C330 C331 C332 C333 C334 C335 C335 C336 C337	15.69         55.20         59.56         58.23         54.41         11.47         62.55         8.42         19.37         49.00         18.30         21.91         41.59         41.59         42.91         19.90         42.91         19.90         4.31         27.00         58.42         58.09         34.28         69.44         40.55	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 20.00 80.00 80.00 80.00 20.00 20.00 220.00 615.00 624.99 615.00 300.00	15.68 55.11 59.46 58.13 54.33 11.47 62.34 8.42 18.62 48.23 18.26 21.88 41.38 41.38 41.38 41.38 40.02 0.67 34.80 42.40 19.09 4.31 26.98 58.40 58.40 58.07 34.92 34.26 69.29 40.52	N15' 23' 42"W         S22' 23' 49"E         N33' 44' 02"W         S45' 22' 12"E         S56' 29' 51"E         N63' 22' 02"W         N73' 00' 21"W         S82' 14' 49"E         S55' 36' 03"E         S45' 24' 12"E         S69' 30' 10"E         S81' 17' 12"E         N83' 33' 21"E         S63' 41' 59"W         N44' 10' 26"E         N34' 20' 13"E         S21' 32' 05"W         N6' 23' 46"W         N6' 23' 46"W         N6' 44' 04"E         N34' 40' 17"E         N30' 35' 40"E         N24' 21' 28"E         S18' 55' 50"W         N14' 35' 52"E         N16' 14' 40"E         S26' 08' 58"W         N36' 39' 09"E         N34' 03' 46"E         S18' 05' 42"W
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C328 C329 C320 C323 C324 C323 C324 C325 C326 C328 C329 C330 C331 C332 C333 C334 C335 C336 C337 C338	15.69         55.20         59.56         58.23         54.41         11.47         62.55         8.42         19.37         49.00         18.30         21.91         41.59         40.20         0.67         35.08         42.91         19.90         4.31         27.00         58.42         58.09         34.93         34.28         69.44         40.55         31.58         46.45         46.45	290.00 290.00 290.00 290.00 290.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 120.00 20.00 80.00 80.00 20.00 20.00 220.00 615.00 615.00 300.00 300.00	15.68         55.11         59.46         58.13         54.33         11.47         62.34         8.42         18.62         48.23         18.26         21.88         41.38         40.02         0.67         34.80         42.40         19.09         4.31         26.98         58.40         58.07         34.26         69.29         40.52         31.51         46.24	N15' 23' 42"W         S22' 23' 49"E         N33' 44' 02"W         S45' 22' 12"E         S56' 29' 51"E         N63' 22' 02"W         N73' 00' 21"W         S82' 14' 49"E         S55' 36' 03"E         S45' 24' 12"E         S69' 30' 10"E         S81' 17' 12"E         N83' 33' 21"E         S63' 41' 59"W         N44' 10' 26"E         N34' 20' 13"E         S21' 32' 05"W         N6' 23' 46"W         N6' 44' 04"E         N34' 40' 17"E         N30' 35' 40"E         N24' 21' 28"E         S18' 55' 50"W         N14' 35' 52"E         N16' 14' 40"E         S26' 08' 58"W         N36' 39' 09"E         N36' 39' 09"E
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C326 C328 C328 C329 C320 C323 C324 C325 C326 C328 C329 C320 C323 C324 C325 C326 C328 C329 C330 C331 C332 C333 C334 C335 C336 C337 C338 C338 C339 C336 C337	15.69         55.20         59.56         58.23         54.41         11.47         62.55         8.42         19.37         49.00         18.30         21.91         41.59         41.59         42.91         19.90         43.1         27.00         58.42         58.42         34.28         69.44         40.55         31.58         46.45         10.08	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 220.00 80.00 80.00 80.00 20.00 220.00 220.00 615.00 615.00 624.99 615.00 300.00 300.00 140.00	15.68         55.11         59.46         58.13         54.33         11.47         62.34         8.42         18.62         48.23         18.26         21.88         41.38         40.02         0.67         34.80         42.40         19.09         4.31         26.98         58.40         58.40         58.40         58.07         34.92         34.26         69.29         40.52         31.51         46.24         10.08	N15' 23' 42"W         S22' 23' 49"E         N33' 44' 02"W         S45' 22' 12"E         S56' 29' 51"E         N63' 22' 02"W         N73' 00' 21"W         S82' 14' 49"E         S55' 36' 03"E         S45' 24' 12"E         S69' 30' 10"E         S81' 17' 12"E         N83' 33' 21"E         S63' 41' 59"W         N44' 10' 26"E         N34' 20' 13"E         S21' 32' 05"W         N6' 23' 46"W         N6' 44' 04"E         N34' 40' 17"E         N30' 35' 40"E         N24' 21' 28"E         S18' 55' 50"W         N14' 35' 52"E         N16' 14' 40"E         S26' 08' 58"W         N36' 39' 09"E         N34' 03' 46"E         S18' 05' 42"W         N0' 55' 00"W         N74' 11' 56"W
C311 C312 C313 C314 C315 C316 C316 C317 C318 C319 C320 C321 C322 C323 C324 C325 C324 C325 C326 C328 C328 C329 C320 C323 C324 C323 C324 C325 C326 C328 C329 C330 C331 C332 C333 C334 C335 C336 C337 C338	15.69         55.20         59.56         58.23         54.41         11.47         62.55         8.42         19.37         49.00         18.30         21.91         41.59         40.20         0.67         35.08         42.91         19.90         4.31         27.00         58.42         58.09         34.93         34.28         69.44         40.55         31.58         46.45         46.45	290.00 290.00 290.00 290.00 220.00 220.00 220.00 220.00 80.00 120.00 120.00 120.00 120.00 120.00 120.00 220.00 80.00 80.00 80.00 220.00 220.00 615.00 615.00 615.00 615.00 300.00 300.00 140.00	15.68         55.11         59.46         58.13         54.33         11.47         62.34         8.42         18.62         48.23         18.26         21.88         41.38         40.02         0.67         34.80         42.40         19.09         4.31         26.98         58.40         58.07         34.26         69.29         40.52         31.51         46.24	N15' 23' 42"W         S22' 23' 49"E         N33' 44' 02"W         S45' 22' 12"E         S56' 29' 51"E         N63' 22' 02"W         N73' 00' 21"W         S82' 14' 49"E         S55' 36' 03"E         S45' 24' 12"E         S69' 30' 10"E         S81' 17' 12"E         N83' 33' 21"E         S63' 41' 59"W         N44' 10' 26"E         N34' 20' 13"E         S21' 32' 05"W         N6' 23' 46"W         N6' 23' 46"W         N6' 44' 04"E         N34' 40' 17"E         N30' 35' 40"E         N24' 21' 28"E         S18' 55' 50"W         N14' 35' 52"E         N16' 14' 40"E         S26' 08' 58"W         N36' 39' 09"E         N34' 03' 46"E         S18' 05' 42"W         N0' 55' 00"W

-																			-			
		1							[						]	Г						
						JRVE TA							RVE TA	T						RVE TAE		
" <b>C</b>	DELTA 1°09'17"		CURVE C344	LENGTH	RADIUS	CHORD 32.25	BEARING	DELTA				RADIUS	CHORD	BEARING	DELTA		C979	LENGTH 441.74	RADIUS	CHORD	BEARING	DELTA
с в"Е	1'08'28"		C345	32.32 35.67	140.00 140.00	35.57	S31° 38' 05"E N17° 43' 18"W	13°13'41" 14°35'52"			32.06 34.92	150.28 150.28	32.00 34.84	S54° 57' 56"W	12°13'26" 13°18'51"	-	C980	436.96	3525.99 3525.99	441.45 436.68	N16° 40' 53"E N23° 49' 16"E	7°10'41" 7°06'01"
»е	4°14'48"		C346	14.14	180.00	14.14	S74° 00' 37"E	4°30'07"			35.24	150.28	35.16	N86° 49' 10"W	13'26'08"	-	C981	164.77	315.00		N42° 21' 21"E	29'58'10"
- "Е	22°16'02"		C348	68.06	620.00	68.03	S16° 59' 24"E	6°17'23"			22.86	150.28	22.84	N75° 44' 34"W	8'43'02"		C983	66.69		66.69	S14° 25' 45"W	1°04'18"
"Е	9 <b>°</b> 05'44"		C349	226.32	270.00	219.76	N37° 51' 33"W	48°01'39"	C	48	196.35	125.00	176.78	S26° 23' 03"E	90'00'00"	-	C984	61.00	3565.99	61.00	S15° 27' 18"W	0*58'48"
"Е	92°17'07"		C350	99.36	200.00	98.34	N76° 06' 17"W	28 <b>°</b> 27'49"	C	49	172.79	110.00	155.56	S26° 23' 03"E	90°00'00"		C985	61.00	3565.99	61.00	S16° 26' 06"W	0*58'48"
"Е	1*38'28"		C351	164.67	200.00	160.06	S66° 04' 33"W	47°10'32"	C	50	41.39	140.00	41.24	S20° 16' 10"E	16*56'27"		C986	61.00	3565.99	61.00	N17° 24' 54"E	0*58'48"
<b>"</b> W	22°00'21"		C352	53.79	200.00	53.63	S34* 47' 01"W	15 <b>°</b> 24'33"	C	52	85.02	338.17	84.79	N33° 17' 58"W	14 <b>°</b> 24 <b>'</b> 15"		C987	61.00	3565.99	61.00	S18° 23' 42"W	0*58'48"
Έ	12*21'34"		C353	71.28	60.00	67.16	N42° 01' 30"W	68°03'51"	C	53	46.51	185.00	46.39	N33° 17' 57"W	14*24'14"		C988	50.93	3565.99	50.93	S19' 17' 40"W	0*49'06"
″"W	16°11'54"		C354	121.07	100.00	113.81	S69° 15' 34"W	69°22'01"	C	98	19.76	15.00	18.36	N70° 52' 15"E	75°29'24"		C989	23.53	15.00	21.19	S25° 14' 22"E	89°53'10"
)"Е	15 <b>°</b> 43'59"		C355	80.59	60.00	74.67	S3° 54' 13"E	76 <b>°</b> 57'32"	C	99	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"		006	265.00	363.17	259.16	N50°28'49"W	41*48'29"
w.	15°43'59"		C356	146.51	595.00	146.14	S20° 01' 30"W	14 <b>°</b> 06'29"	CE	07	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"		1007	355.94	363.17	341.86	N1° 29' 54"W	56°09'20"
E	15 <b>°</b> 43'59"		C357	153.89	320.00	152.41	N26° 44' 52"E	27°33'14"	CE	08	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"		008	107.23	595.00	107.08	S21° 25' 00"W	10~19'32"
"E	15°43'59"		C358	244.60	120.00	204.40	S17° 52' 06"E	116°47'09"	CE	09	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"		009	0.05	595.00	0.05	S16' 15' 06"W	0°00'17"
"W	15°43'59"		C359	75.76	200.00	75.31	N65° 24' 34"W	21*42'14"	CE	10	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"		C1010	351.19	363.00	337.65	N38° 22' 01"E	55°25'53"
δ"Ε	15°43'59"		C360	4.80	400.00	4.80	S69* 31' 16"W	0'41'16"		311	23.56	15.00	21.21	N26* 23' 03"W	90°00'00"	-	C1011	269.47	363.00	263.33	N87° 20' 57"E	42'31'59"
5"W	0*15'56"		C361	235.51	400.00	232.12	S52° 18' 36"W	33°44'05"			384.85	245.00	346.48	S26° 23' 03"E	90°00'00"	-	C1012	72.22	851.01	72.19	N68' 38' 26"W	4°51'44"
	53*07'48"		C362	131.97	420.00	131.43	N55° 36' 49"E	18°00'12"			424.12	270.00	381.84	S26' 23' 03"E	90'00'00"		01013	70.56	851.01	70.54	N63° 50' 03"W	4*45'03"
W	34°35'19"		C363	22.25	14.82	20.22	N22° 14' 25"E	86°02'37"		14	5.01	15.00	4.99	S28° 10' 59"W	19'08'05"	-	C1014	70.56	851.01	70.54	N59' 04' 59"W	4*45'03"
2"W	35°13'42"		C371 C373	102.09	250.00	101.39	N50° 10' 26"W	23°23'53"		15	18.55	15.00	17.39	\$73° 10' 59"W	70*51'55"	H	21015	70.56 70.56	851.01	70.54	N54' 19' 56"W	4°45'03"
, Е Э"Е	53°07'48" 28°44'25"		C376	11.45 40.06	250.00	11.45 40.05	N15° 09' 26"W	2°37'25"		16	9.28	15.00	9.13	S0° 53' 52"W	35°26'08"	-	C1016	70.56	851.01 851.01	70.54 70.54	N49° 34' 53"W	4°45'03" 4°45'03"
"E	28°21'42"		C378	30.20	640.00 640.00	30.20	N15° 38' 18"W	3°35'10" 2°42'13"		18	11.69 23.56	15.00 15.00	11.39 21.21	S49° 04' 01"E S63° 36' 57"W	44°38'05" 90°00'00"	-	C1018	70.56	851.01	70.54	N44° 49' 50"W	4 45 03 4°45'03"
	66°07'12"		C378	42.06	180.00	41.96	N68° 34' 00"W	13°23'16"		19	23.56	15.00	21.21	S26° 23' 03"E	90'00'00"	-	21019	70.56	851.01	70.54	N35° 19' 43"W	4*45'03"
	11°47'53"		C379	81.87	420.00	81.75	S41° 01' 38"W	11"10'09"		20	23.56	15.00	21.21	S26° 23' 03"E	90'00'00"	-	1020	62.50	388.17	62.43	N39° 12' 12"W	9°13'32"
"W	1°37'30"		C380	23.56	15.00	21.21	N80° 26' 34"E	90'00'00"		321	23.56	15.00	21.21	S63° 36' 57"W	90'00'00"	-	C1021	207.61	155.00	192.43	N33° 00' 46"W	
"W	5°07'52"		C386	77.04	220.00	76.64	N64" 35' 20"W	20°03'47"		22	23.56	15.00	21.21	S63° 36' 57"W	90'00'00"	-	1022	22.26	15.00	20.27	N66° 25' 34"W	
"Е	96°21'13"		C390	18.37	100.00	18.34	S70° 59' 59"E	10°31'23"			659.89	871.01	644.22	N50° 56' 12"W	43°24'30"	-	0123	254.29	388.00	249.76		37*33'03"
7"E	8°51'53"		C391	185.46	100.00	160.00	S12° 36' 24"E	106°15'46"	-	55	22.33	15.00	20.33	S77° 14' 25"E	85 <b>°</b> 17'59"	⊢	1024	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"
3"Е	9*30'59"		C392	24.17	340.00	24.16	S38° 29' 18"W	4°04'21"	CE	57	61.59	388.17	61.52	S48° 21' 41"E	9°05'26"		0125	23.56	15.00	21.21	S26° 23' 03"E	90'00'00"
5"Е	9°13'49"		C393	73.30	340.00	73.16	S30° 16' 32"W	12 <b>°</b> 21'11"	CE	58	61.59	388.17	61.52	S57° 27' 07"E	9°05'26"		01026	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
"Е	9*05'03"		C398	66.04	340.00	65.93	S18° 32' 06"W	11 <b>°</b> 07'42"	CE	59	61.59	388.17	61.52	S66° 32' 33"E	9°05'26"		01027	24.26	15.00	21.70	S24' 36' 10"E	92*39'12"
9"Е	11 <b>°</b> 48'12"		C431	2.83	575.00	2.83	S13* 06' 43"W	0°16'56"	CE	60	2.01	388.17	2.01	S71' 14' 10"E	017'48"		21028	46.71	570.00	46.70	S24° 04' 43"W	4°41'43"
Э"Е	52 <b>°</b> 39'12"		C432	70.40	575.00	70.36	S16° 45' 38"W	7 <b>°</b> 00'54"	CE	65	47.41	388.17	47.38	S21 08' 08"E	6°59'53"		01029	1.53	570.00	1.53	S26' 30' 10"W	0*09'12"
<b>"</b> W	8'37'42"		C433	68.35	575.00	68.31	S23° 40' 24"W	6 <b>°</b> 48'40"	CE	70	59.75	388.17	59.69	S13° 17' 08"W	8°49'11"		01030	60.19	388.17	60.13	S22°08'15"W	8'53'02"
2 <b>"</b> W	21°00'02"		C434	243.98	180.00	225.73	S65° 54' 33"W	77•39'37"	С	371	59.75	388.17	59.69	S4° 27' 57"W	8 <b>•</b> 49 <b>`</b> 11"		01033	58.13	595.00	58.11	S13° 27' 01"W	5*35'52"
7"W	84°28'50"		C435	23.56	15.00	21.21	N9° 33' 26"W	90'00'00"	CE	72	59.93	388.17	59.87	S4° 22' 02"E	8°50'46"		0134	0.03	3525.99	0.03	N20° 16' 14"E	0'00'02"
9"Е	37 <b>°</b> 31'47"		C436	120.92	50.00	93.53	S36° 53' 20"W	138°33'38"	CE	73	59.93	388.17	59.87	S13° 12' 48"E	8°50'46"		01040	81.37	222.00	80.91	N13° 25' 02"W	21°00'02"
"W	52 <b>°</b> 39'12"		C437	31.58	50.00	31.06	N50° 29' 07"W	36*11'18"	CE	76	25.65	15.00	22.64	S60° 04' 29"W	97 <b>*</b> 59'30"		C1041	23.13	14.79	20.84	S20° 05' 23"W	89°35'19"
5"E	66°02'24"		C477	36.39	50.00	35.59	S89° 25' 37"E	41°41'41"	CE	77	57.26	388.00	57.21	S15° 18' 24"W	8°27'20"		21042	0.74	285.00	0.74	N54 37 39 E	0°08'56"
)"W	52 <b>°</b> 39'12"		C492	5.63	851.01	5.63	N16° 54' 55"W	0°22'44"	CE	78	78.01	388.00	77.88	S25° 17' 39"W	11*31'09"		21043	80.64	220.00	80.19	S13° 25' 02"E	21*00'02"
5"W	46°51'46"		C494	24.12	15.00	21.60	N24° 52' 04"W	92°07'23"		79	59.54	388.00	59.48	S35° 27' 00"W	8°47'33"	H	C1051	23.53	851.01	23.52	N71° 51′ 49″W	1*35'02"
3"E	52 <b>°</b> 39'12"		C495	23.52	15.10	21.21	N65° 02' 36"E	8914'22"		381	47.66	388.00	47.63	S49° 36' 13"W	7'02'16"		01052	23.13	14.79	20.84	\$20° 05' 23"W	89*35'19"
"W	34°25'21"		C578	190.13	871.01	189.75	N22° 58' 45"W	12'30'24"	-	83	22.26	15.00	20.27	S18° 35' 29"W	85°01'04"	F	01053	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"
)"₩	17"12'08"		C579	31.43	471.25	31.43	N14° 48' 54"W	3'49'17"		02	23.56	15.00	21.21	N26° 23' 03"W	90'00'00"	- F	21054	23.56	15.00	21.21	N26' 23' 03"W	90°00'00"
»"Е ."Е	90°00'00" 6°17'23"		C580 C582	136.12		134.95		25'59'48"			85.69	108.00	83.46	N41° 20' 43"E	45°27'32"		C1056	22.15	15.00	20.19	S17° 48' 00"W	84°37'11"
° ⊑	3*05'57"		C620	333.35 92.75	500.00		N8° 34' 18"W N62° 39' 17"E	123°13'18" 10°37'42"		04	23.56 61.72	15.00 388.00	21.21 61.65	S63° 36' 57"W	90°00'00" 9°06'50"	-	c1057	85.69 54.02	108.00 388.00	83.46 53.98	S4° 06' 49"E	45°27'32" 7°58'40"
. <b>"</b>	10°54'19"		C621	359.21	500.00	351.54	N88° 33' 02"E	41°09'46"		08	61.86	388.00	61.80	S86° 43' 32"W	9'08'07"		E680	119.96	580.00		N41° 22' 04"E	11°51'00"
2"W	11°46'05"		C622	73.31	200.00	72.90	N13° 25' 02"W	21°00'02"	-	09	61.86	388.00	61.80	N84° 08' 21"W	9°08'07"		CE681	102.64	580.00	102.51	S52° 21' 45"W	10°08'22"
"E	11'30'16"		C672	62.65	808.00	62.64	S39° 20' 11"W	4'26'34"			55.44	388.00	55.40	N75° 28' 41"W	8'11'15"	- F	E682	230.27	600.00		N46° 26' 15"E	21*59'22"
"E	10*45'02"		C674	357.57	864.00	355.02	S29' 42' 06"W	23*42'43"	C	25	23.56	15.00	21.21	N63° 36' 57"E	90'00'00"		E683	238.88	280.00	231.70	S32° 59' 30"W	48°52'51"
2"W	2*59'18"		C676	42.37	30.00	38.94	N16° 30' 44"E	80°55'35"	C	26	23.56	15.00	21.21	N26° 23' 03"W	90'00'00"		CE684	150.29	400.00	149.41	S2° 12' 45"E	21°31'41"
w"	16 <b>°</b> 17'21"		C677	31.50	30.00	30.07	N47° 42' 45"W	60°09'33"	C	27	23.56	15.00	21.21	S26° 23' 03"E	90'00'00"		CE685	218.29	500.00	216.56	N0° 28' 11"W	25°00'50"
"Е	2°11'35"		C697	267.04	170.00	240.42	N26° 23' 03"W	90°00'00"	CS	28	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"		E686	426.61	828.00	421.91	N26° 47' 51"E	29 <b>*</b> 31'13"
3"Е	55°29'07"		C700	19.14	15.00	17.87	S73° 15' 49"W	73*06'26"	CS	30	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"		CE687	349.29	844.00	346.80	S29° 42' 06"W	23*42'43"
"Е	35°05'25"		C703	21.74	15.00	19.88	N28° 39' 59"W	83°01'57"	CS	32	16.55	15.00	15.73	N13° 00' 02"W	6313'59"	_						
"Е	13*06'30"		C704	23.79	620.00	23.79	N11° 45' 02"E	2ٵ1'55"	CS	33	27.53	150.28	27.49	N39°28'50"W	10 <b>°</b> 29'44"							
Έ	10°27'34"		C705	18.43	338.00	18.42	N12° 12' 47"E	3°07'24"	CS	34	19.26	120.28	19.24	S66° 47' 52"E	9 <sup>¶</sup> 0'23"							
"Е	19 <b>*</b> 51*21"		C706	67.28	338.00	67.17	N19°28'39"E	11*24'20"		-	171.08	120.28	157.02	S21° 27' 43"E	81*29'55"							
"W	19 <b>°</b> 51'21"		C707	72.02	338.00	71.88	N31° 17' 04"E	1212'30"	CS	36	168.27	120.28	154.88	S59°21'56"W	80°09'23"							
б"Е	19°11'45"		C708	72.01	338.00	71.88	N43° 29' 32"E	1212'27"		37	19.25	120.28	19.23	N75° 58' 13"W	910'20"							
5"E	0°28'41"		C709	71.40	338.00	71.26	N55° 38' 50"E	12°06'09"			283.61	90.28	180.55	S18° 36' 57"W	180°00'00"							
₩"W	25*07'36"		C710	282.97	180.00	254.72	N63° 34' 47"E	90°04'20"			283.61	90.28		N18° 36' 57"E	180'00'00"							
W.	30°44'06"		C711	70.95	338.00	70.82	N79° 47' 01"E	12°01'37"			178.37	120.28	162.47	N66° 07' 47"E	84*58'20"							
Έ ″F	56°59'45" 1°07'20"		C712 C713	70.62 63.99	338.00 338.00	70.49 63.90	S88° 13' 03"E S76° 48' 29"E	11°58'15" 10°50'52"		941 53	199.48 23.56	120.28 15.00	177.39 21.21	N23° 52' 13"W N26° 23' 03"W	95°01'40" 90°00'00"							
с )"Е	7°01'52"		C723	23.82	195.00	23.80	S22* 02' 32"W	6 <b>'</b> 59'51"		56	42.25	388.00	42.22	S42° 57' 56"W	6°14'18"							
зе З"Е	5°26'33"		C724	40.31	195.00	40.24	S31° 27' 47"W	11°50'38"		57	69.70	3485.99	69.70	N22° 38' 15"E	1°08'44"							
)"W	5'19'30"		C725	40.31	195.00	40.24	S43° 18' 23"W	11*50'36"		62	50.17	160.00	49.97	S36° 33' 34"W	17 <b>°</b> 57 <b>'</b> 58"							
2"E	3°15'15"		C726	40.01	195.00		S55' 06' 23"W	11°45'23"		63	6.31	3565.92		S27° 31' 32"W	0*06'05"							
"E	6 <b>*</b> 32 <b>'</b> 51"		C727	40.01	195.00		N66* 51' 44"E	11*45'19"		64	58.74	3565.99		S27° 00' 11"W	0*56'38"							
	13*15'45"		C728	40.00	195.00	39.93	S78' 37' 00"W	11°45'14"		65	60.89	3565.99		S26' 02' 31"W	0*58'42"							
9"E	7 <b>°</b> 44'39"		C729	40.00	195.00	39.93	N89° 37' 49"W	11°45'09"	C	66	60.89	3565.99	60.89	S25° 03' 49"W	0°58'42"							
6"E	12*55'26"		C730	39.39	195.00	39.33	N77° 57' 59"W	11 <b>°</b> 34'30"	C	67	60.89	3565.99	60.89	S24 05' 07"W	0*58'42"							
2"W	19°00'42"		C731	2.70	195.00	2.70	N71° 46' 54"W	0°47'41"	C	68	60.89	3565.99	60.89	\$23° 06' 25"W	0*58'42"							
'W	19 <b>°</b> 00'42"		C732	23.05	165.00	23.03	N22° 32' 43"E	8 <b>°</b> 00'14"	C	69	50.79	3565.99	50.79	S21° 13' 54"W	0*48'58"							
"W	4°07'29"		C733	234.30	165.00	215.11	N67* 13' 39"E	81 <b>°</b> 21'38"	C	70	23.30	15.00	21.03	S65° 19' 14"W	88•59'38"							
	17 <b>*</b> 56 <b>*</b> 05*		C734	2.04	165.00		S71° 44' 18"E	0*42'28"		971	60.89	3565.99		S22° 07' 44"W	0 <b>°</b> 58'42"							
"Е	15 <b>°</b> 57'12"		C735	31.85	150.28	31.79	S42° 46' 54"W	12 <b>°</b> 08'37"	C	78	236.80	320.00	231.43	N7° 18' 21"W	42 <b>°</b> 23'55"							

Ъ
ő
Š
lat
<u>п</u>
dec
enc
Ĕ
₹
S
ase
<u>Б</u>
Ř
ц Ц
en
Ĕ
ğ
Š
å
st
ц
23
<del>4</del>
1 (PB 18-23 F
Ē
3
lec
õ
1
ij
B
sul
ě
st
5
t: 2
ent
Ē
act
<b>∆tt</b>
-

	Bissell Professional Group Firm License # C-956	3512 North Croatan Highway P.O. Box 1068	(252) 261-3266	UUF FAX (252) 261-1760		S	S	
			JEO IVINOISSIESSE	JUDINOIONALOUL			and Environmental Specialists	
	<b>CURVE TABLES</b>	PRELIMINARY PLAT		THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY	HAWK, NOKTH CAKOLINA. THE KEPRODUCTION, IN WHOLE OK	PAKI, OK THE MODIFICATION OF ANY DETAIL OK DESIGN IS NOT TO DE MADE WITHOUT THE EVIDESS WRITTEN CONSENT OF MADE S	BE INFLIDE WITHOUT THE EAST NEED WALLER CONSENT OF MANAN S. RISSETT DENICIPAT OF REG. INC. CODVERTED 2005	DISCRETE, INTICUT ALL OF DEC, HAC, COL HAUTH 2005.
	PD-R	NORTH CAROLINA				ON DI ANC		
	FOST TRACT PD-R	CURRITUCK COUNTY				IAPV SURDIVISION DI ANS	ICTATOOC INTER	
PROJECT:	THE	MOYOCK TOWNSHIP				DPFFI IMIN		
	BΥ	MGY .			-	•		
REVISIONS	DESCRIPTION	IRC Comments						
	VO. DATE	1/2/19/19			•		•	
minn	NOR A	A	A	111 R 0	I	4	in	
1	Au	L-1	75	6	100	100000 V		With Manual Manu
DAT 1	E: 2/23/	19	SR	Att	R	-2 I/A	FZ	0
DESI	GNED: BPC	3			(ED: M	ISE D:		
	EET:	C/WGY				PG		
CAI			)()	т	-	22	2	
PR		0510 21 NO: 46			1			
		nigan Az						

		TABLE						
LINE	LENGTH	BEARING						
L47	2.00	S29° 53' 25"E						
L48	2.00	N29° 53' 25"W						
L50	2.00	N66° 04' 57"E						
L51	2.00	S66° 04' 57"W						
L52	2.00	N66° 04' 57"E						
L54	16.53	N23 55' 03"W						
L55	2.00	S66' 04' 57"W						
L56	2.00	N87°04'59"E						
L57	16.53	N23° 55' 03"W						
LE2	160.96	N89° 57' 30"E						
LE3	781.14	N87° 34' 45"E						
LE4	356.29	N89° 25' 10"E						
LE5	198.20	S79° 49' 24"E						
LE6	600.01	S79° 04' 38"E						
LE7	585.79	S79° 04' 38"E						
LE8	215.65	S79° 49' 24"E						
LE9	308.72	N89° 25' 10"E						
LE10	781.80	N87° 34' 45"E						
LE11	233.27	N89° 57' 30"E						
LE12	70.27	N87° 29' 30"E						
LE13	66.78	N86° 13' 06"E						
LE14	158.78	N89° 38' 35"E						
LE15	229.73	S84° 22' 35"E						
LE16	223.94	S83° 23' 20"E						
LE17	83.53	N82° 26' 11"E						
LE18	95.62	N62 53' 58"E						
LE19	605.72	N60° 56' 46"E						
LE20	61.23	N12° 12' 28"E						
LE21	85.62	N18° 54' 44"E						
LE22	72.25	N28° 18' 39"W						
LE23	160.59	S35° 26' 34"W						
LE25	65.59	N53° 16' 57"W						
LE26	106.92	N34° 41' 17"E						
LE27	26.72	S35° 26' 34"W						
LE28	87.73	S79° 49' 24"E						
LE29	187.30	S35° 26' 34"W						
LE30	74.34	S8° 33' 05"W						
LE31	213.69	S12° 58' 36"E						
LE32	126.11	S41° 33' 27"W						
LE33	103.18	S17° 50' 45"W						
LE36	35.99	S17° 50' 45"W						
LE37	105.01	S71° 49' 03"E						
LE38	46.00	S44° 25' 47"E						
LE39	199.18	N24° 42' 48"E						
LE40	57.23	S53° 20' 44"E						
LE41	53.56	S31° 45' 03"E						
LE42	24.99	S41° 10' 13"W						
LE43	33.85	S56° 58' 32"W						
LE44	70.90	S23° 57' 03"E						
LE45	44.13	S17° 37' 59"E						
LE46	42.83	S77° 47' 32"E						

4.B.b

16

SCHEDULE C R	OADWAY STANDARDS			
ТҮРЕ	R/W WIDTH	PAV' T . WIDTH (B -B)		
Boulevard w/on-street parking & bike lane	100' - 130'	35' each way		
Local Road w/parking both sides	60'	43'		
Local Road w/parking one side	50' – 55'	35		
Local Road w/no parking	40'	27'		
Alley	20' - 30'	20'		
Boulevard w/out bike lane	80'	16' each way		

DE	VELOPMENT STAND	ARDS & SETBACKS			
		STYLE			
	TND T.H.	TND S.F. LOT	CONV. S.F. LOT		
MIN. LOT SIZE	1,800 SF	6,900 SF	9,500 SF		
TYPICAL LOT SIZE	1,800 - 3,000 SF	7,000 - 9,000 SF	10,000 - 15,000 SF		
MIN. LOT WIDTH	20'	35'	35'		
TYPICAL LOT WIDTH	20'-25'	50'-60'	62'		
FRONT SETBACK	15'	20'	20'		
SIDE SETBACK	0	10'	10'		
REAR SETBACK	20'	20'	25'		
CORNER SIDE SETBACK	15'	15'	15'		
MAXIMUM SETBACK	25'	75'	140'		
MAXIMUM HEIGHT	35'	35'	35'		
MAXIMUM BUILDING SIZE	16,000 SF	N/A	N/A		
MAXIMUM LOT COVERAGE	100%	60%	45%		

#### ZONING CONDITIONS:

- a. THE PHASING PLAN ATTACHED TO THIS ORDINANCE AND INCORPORATED HEREIN BY REFERENCE AS SCHEDULE B (ATTACHED) SHALL BE ADHERED TO EXCEPT THAT THE DEVELOPER MAY DETERMINE THE SEQUENCE IN WHICH PHASES ARE DEVELOPED. THE DEVELOPER SHALL PROVIDE AN ANNUAL REPORT UPDATING THE PHASING PLAN FOR THE DEVELOPMENT. NOTWITHSTANDING THE FORGOING, THE FIRST PHASE OF DEVELOPMENT SHALL NOT EXCEED SEVENTY-ONE (71) RESIDENTIAL UNITS.
- b. DEVELOPMENT ON THE PROPERTY SHALL BE CONNECTED TO A NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY ("NCDEQ") OR DEPARTMENT OF HEALTH & HUMAN SERVICES (NCDHHS) PERMITTED AND APPROVED CENTRAL WASTEWATER TREATMENT AND DISPOSAL SYSTEM, AND TO THE CURRITUCK COUNTY WATER SYSTEM. FIRE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE UDO STANDARDS AND THE N.C. FIRE CODE.
- THE DENSITY/INTENSITY STANDARDS, DIMENSIONAL STANDARDS AND C DEVELOPMENT STANDARDS FOR DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE MASTER PLAN AND SCHEDULE A (ATTACHED). SUBJECT TO THE DEGREE OF FLEXIBILITY PROVIDED IN THESE CONDITIONS.
- COMMUNITY FORM AND DESIGN FOR DEVELOPMENT OF THE PROPERTY SHALL CONFORM TO THE STREETSCAPE PERSPECTIVES. EXAMPLE MODEL HOME DRAWINGS, MIXED USE, AND CLUBHOUSE PERSPECTIVE DRAWINGS ILLUSTRATED ON THE MASTER PLAN AND AS PROVIDED AND ILLUSTRATED IN APPENDIX TO THE MASTER PLAN SUPPLEMENTAL DOCUMENT. VARIATIONS MAY BE PROVIDED AND SHALL BE PERMITTED IN COLORS, MATERIALS, AND ARCHITECTURAL DETAILING THAT ARE COMPATIBLE WITH THE DESIGN CONCEPT.
- TRANSPORTATION: THE MAIN SUBDIVISION ENTRANCE WILL BE CONNECTED e. DIRECTLY TO N.C. HIGHWAY168. DECELERATION AND ACCELERATION LANES SHALL BE PROVIDED ALONG THE PROPERTY FRONTAGE IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, ("NCDOT"), STANDARDS AND SHALL BE APPROVED BY NCDOT PRIOR TO CONSTRUCTION. CONNECTIVITY WILL BE PROVIDED TO THE EXISTING FARMLAND TO THE SOUTHEAST, IDENTIFIED WITH PARCEL IDENTIFICATION NUMBER ("PIN") 002300000070000. ROADWAYS SHALL BE LAID OUT GENERALLY AS SHOWN ON THE MASTER PLAN AND SCHEDULE C.
- POTABLE WATER: WATER SHALL BE SUPPLIED BY CURRITUCK COUNTY VIA AN EXISTING 12" MAIN LOCATED ON N.C. HIGHWAY 168 WHICH WILL BE TAPPED AND LOOPED THROUGH THE SITE. FIRE PROTECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH UDO STANDARD AND THE APPLICABLE INSURANCE SERVICE OFFICE STANDARDS. INDIVIDUAL LOTS AND DWELLINGS SHALL BE METERED. THE DEVELOPER SHALL MODEL THE COUNTY'S WATER SYSTEM TO DEMONSTRATE ADEQUATE WATER FLOW AND PRESSURE FOR FIGHTING FIRES WHILE MEETING THE MAXIMUM DAY DOMESTIC DEMAND.
- WASTEWATER: DEVELOPER INTENDS TO CONNECT TO A MAJOR UTILITY, OFF-SITE, OWNED BY CURRITUCK WATER & SEWER, LLC FOR WASTEWATER TREATMENT AND DISPOSAL. A WASTEWATER COLLECTION SYSTEM WILL BE CONSTRUCTED BY THE DEVELOPER AND MANAGED BY A WASTEWATER UTILITY. THE UTILITY WILL BE REGULATED BY THE NORTH CAROLINA UTILITIES COMMISSION.

- ZONING CONDITIONS CONTINUED: h. ON-SITE STORMWATER: THE FOLLOWING IMPROVEMENTS TO STORMWATER DRAINAGE ("IMPROVEMENTS") ON THE PROPERTY SHALL BE COMPLETED BY THE DEVELOPER PRIOR TO RECORDING THE FINAL PLAT FOR THE FIRST PHASE OF DEVELOPMENT ON THE PROPERTY:
- IMPROVE ROWLAND CREEK FOR THE ENTIRE LENGTH ON THE PROPERTY BY CONSTRUCTION OF A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY IS LOCATED.
- ii. INSTALL A NEW DITCH ALONG THE ENTIRE LENGTH OF THE PROPERTY'S EASTERN COMMON BOUNDARY LINE WITH RANCHLAND SUBDIVISION ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 500 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY AND A PORTION OF RANCHLAND SUBDIVISION ARE LOCATED.
- iii. THE IMPROVEMENTS SET FORTH IN THIS SECTION SHALL BE MAINTAINED BY THE DEVELOPER, OR A MANAGEMENT ASSOCIATION CREATED BY THE DEVELOPER.
- i. OFF-SITE STORMWATER: SUBJECT TO OBTAINING RIGHT OF ENTRY FROM OFF-SITE PROPERTY OWNERS, I.E. IF CONSENT OF THOSE PROPERTY OWNERS IS OBTAINED, THE FOLLOWING IMPROVEMENTS TO STORM WATER DRAINAGE SYSTEMS OUTSIDE THE BOUNDARIES OF THE PROPERTY SHALL BE COMPLETED BY THE DEVELOPER PRIOR TO RECORDING THE FINAL PLAT FOR THE FIRST PHASE OF THE DEVELOPMENT:
- i. CLEAR AND SNAG ROWLAND CREEK FROM N. C. HIGHWAY 168 TO THE EAST END OF ROWLAND CREEK ESTATES SUBDIVISION (ADJACENT TO PIN 0022000088M0000)
- ii. CLEAR AND SNAG THE RANCHLAND OUTLETS DITCH FROM THE PROPERTY'S SOUTHEAST CORNER ADJACENT TO RANCHLAND SUBDIVISION (ADJACENT TO PIN 023B000004201F2) TO THE RANCHLAND OUTLETS' INTERSECTION WITH ROWLAND CREEK, AND CONSTRUCT A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY AND RANCHLAND SUBDIVISION ARE LOCATED.
- iii. IMPROVE THE SURVEY ROAD DITCH FROM GUINEA ROAD TO THE RAILROAD (ON PIN 0022000063Y0000) AND CONSTRUCT THE DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY IS LOCATED.
- iv. IMPROVE ROWLAND CREEK FROM THE EASTERN BOUNDARY OF EAGLE CREEK (ADJACENT TO PIN 015A00000980000) TO THE WESTERN BOUNDARY OF THE PROPERTY BY CONSTRUCTING A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES SIZED FOR A 100 YEAR STORM EVENT
- v. DEVELOPER OR A MANAGEMENT ASSOCIATION SHALL CONTRIBUTE \$5,000 ANNUALLY TO THE COST OF MAINTENANCE FOR THE OFF-SITE IMPROVEMENTS SET FORTH IN THIS SECTION. SUCH FUNDS SHALL BE DEPOSITED WITHIN AN ASSOCIATION CREATED FOR THE PURPOSE OF MAINTAINING OFF-SITE IMPROVEMENTS. THE FIRST CONTRIBUTION SHALL BE MADE WITHIN 1 YEAR OF THE RECORDING OF THE FIRST PHASE OF DEVELOPMENT, AND SUBSEQUENT CONTRIBUTIONS MADE ANNUALLY FOR THE NEXT 10 YFARS
- vi. SHOULD DEVELOPER BE UNABLE TO OBTAIN RIGHT OF ENTRY FROM ANY LANDOWNER PRIOR TO THE RECORDING OF PHASE 2, THEN DEVELOPER'S ONLY OBLIGATION UNDER THIS SECTION (I), OFF-SITE STORMWATER, SHALL BE TO PROVIDE FEE IN LIEU IN THE AMOUNT OF 115% OF THE COST OF THE OFF-SITE IMPROVEMENTS, SUCH THAT THE COUNTY MAY COMPLETE THESE IMPROVEMENTS IF AND WHEN RIGHT OF ENTRY IS OBTAINED. OVERALL STORMWATER CONDITIONS:
- i. THE DEVELOPER SHALL CONSTRUCT BERMS ALONG DITCH OUTLETS AGAINST RANCHLAND TO KEEP PROPOSED DEVELOPMENT'S RUNOFF
- FROM FLOODING RANCHLAND DURING A 100 YEAR STORM. ii. ON-SITE STORMWATER WILL BE MANAGED BY CONSTRUCTION A SERIES OF STORMWATER MANAGEMENT PONDS THAT WILL BE INTERCONNECTED AND WILL RETAIN AND SLOW-RELEASE STORMWATER PRIMARILY TO ROWLAND CREEK BOTH DIRECTLY AND INDIRECTLY. A PORTION OF THE STORMWATER WILL ALSO OVERFLOW TO AN EXISTING CULVERT THAT RUNS DIRECTLY UNDER N.C. HIGHWAY 168 NEAR THE NORTHWEST CORNER OF THE PROPERTY, THE DITCH THAT DRAINS THAT OUTLET WILL ALSO BE IMPROVED AS NECESSARY SUBJECT TO OBTAINING RIGHT OF ACCESS REFERENCED ABOVE. IN ADDITION TO MODELING AND RETAINING STORMWATER TO THE UDO AND STORMWATER MANUAL STANDARD FOR THE DIFFERENCE BETWEEN RUNOFF FROM THE 10-YEAR DEVELOPED CONDITION AND RUNOFF FROM A 2-YEAR WOODED CONDITION SITE, STORMWATER SHALL BE MODELED FOR THE 100-YEAR STORM EVENT AND PROPERTY LINE BERMS CONSTRUCTED AS NECESSARY TO MANAGE THE 100-YEAR STORM WITHOUT ADVERSELY IMPACTING NEIGHBORING PROPERTIES. STORMWATER SHALL BE CONVEYED TO ON-SITE RETENTION PONDS THROUGH A COMBINATION OF CURBS WITH INLETS, STORMWATER PIPES AND OPEN, VEGETATED SWALES.

ZONING CONDI NOT APPLY. DEVELOPMENTS. BOULEVARD.

PHASE	40000	DEVELOPMENT		TND S.F.	CONV. S.F.	TOTAL	
PHASE	APPROX. AREA (AC.)	INTENSITY (D.U./AC.)	TND T.H.	<u>IND S.F.</u>	<u>CONV. S.F.</u>	TOTAL	OTHER IMPROVEMENTS
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
<u>1B</u>	13.0	2.23	<u>0</u>	11	18	29	
SUBTOT PH1	31.3	2.27	25	12	34	71	
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
6	35.0	2.26	21		58	79	
7	23.8	2.56	18		43	61	Up to 22,000 SF Neighborhood Commercial
8	18.6	1.02			19	19	
9	13.7	1.39			19	19	
Effluent & RV	8.18	<u>0</u>				т. 30 — С. А. В. — туран И	
TOTALS	228.28	2.10	126	59	294	479	

TIONS CONTINUED.	TIONS	CONTINUED:	
------------------	-------	------------	--

PERIMETER COMPATIBILITY SHALL BE ADDRESSED AS FOLLOWS: TO THE WEST: AS LONG AS THIS PROPERTY REMAINS ZONED AS IS, A 50 FOOT FARM BUFFER SHALL BE PROVIDED, FOLLOWED BY A 60 FOOT ROADWAY CORRIDOR, SO THE NEAREST EXISTING DWELLING UNIT WILL BE AT LEAST 565 FEET FROM THE EXISTING RESIDENCE ON THAT FARM. A VEGETATIVE BUFFER SHALL BE PROVIDED ALONG THAT PROPERTY LINE. IF THIS PROPERTY IS REZONED, THE BUFFER REQUIREMENTS IN THIS CONDITION SHALL

TO THE NORTH (CARATOKE HIGHWAY): A BERM SHALL BE PROVIDED ALONG THE HIGHWAY ALONG WITH LAKES FLANKING THE MAIN ENTRANCE ROAD. THE NEAREST DWELLING UNIT WILL BE SET BACK AT LEAST 200 FEET FROM THE HIGHWAY RIGHT-OF-WAY AT THE CLOSEST POINT. THE VISUAL IMPACT OF THE DEVELOPMENT SHALL BE MINIMIZED BY SETBACKS, BERMS AND LANDSCAPING.

TO THE EAST: A 50 FOOT VEGETATIVE FARM BUFFER SHALL BE PROVIDED ALONG THE EXISTING FARMLAND; TRADITIONAL SINGLE FAMILY DWELLING LOTS ARE BEING PROPOSED IN THE AREAS THAT BACK UP TO EXISTING DWELLING UNITS IN THE ADJACENT RANCHLAND SUBDIVISION. A MINIMUM 50 FOOT BUFFER SHALL BE PROVIDED BETWEEN THE

TO THE SOUTH: COMPATIBLE RESIDENTIAL DEVELOPMENT IS BEING PROPOSED AND A MINIMUM 90 FOOT OPEN SPACE BUFFER IS SHOWN TO THE PROPERTY LINE. THE SOUTHERN BUFFER MAY INCLUDE A POND. V. LIMITED COMMERCIAL DEVELOPMENT IS LOCATED INTERIOR TO THE DEVELOPMENT AND SHALL FRONT ALONG THE LANDSCAPED ENTRANCE

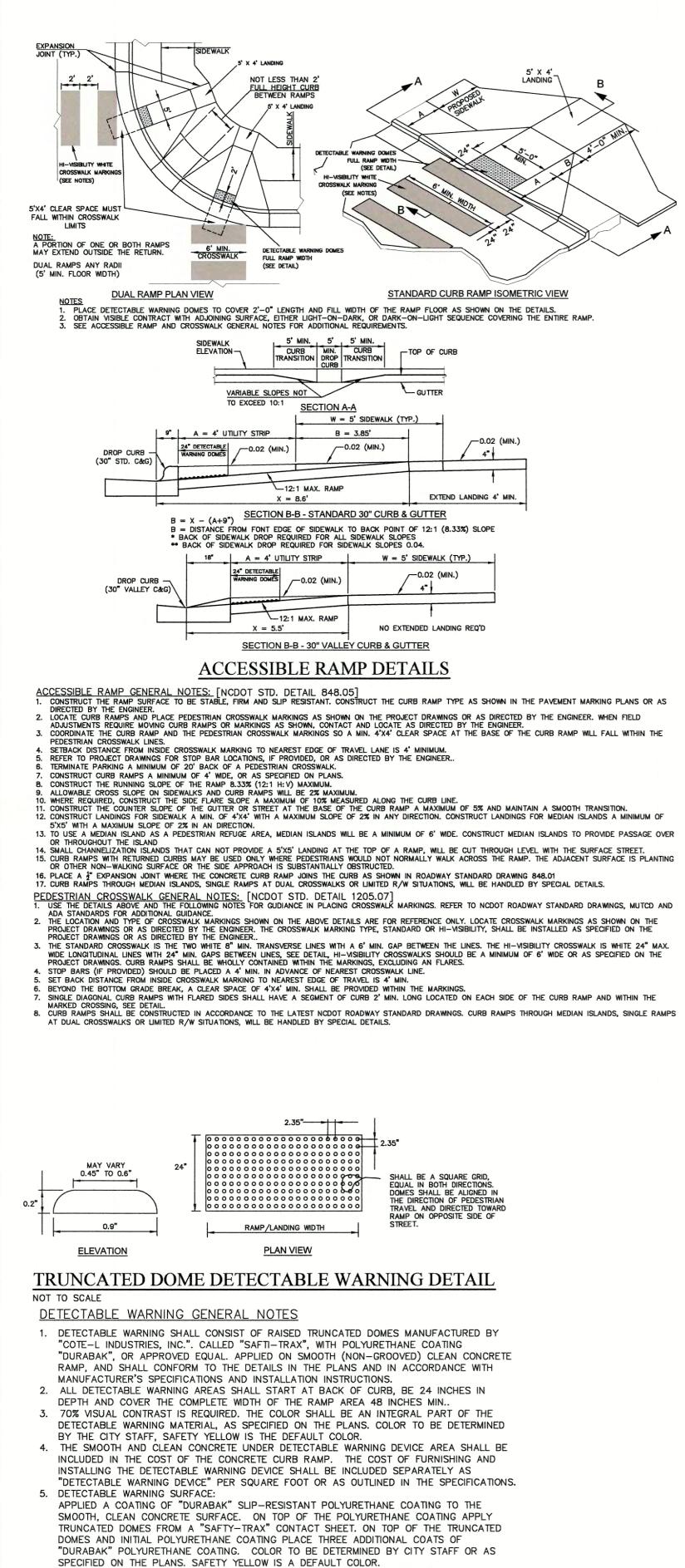
ENVIRONMENTAL PROTECTION AND MONITORING: WETLANDS SUBJECT TO THE JURISDICTION OF THE US ARMY CORPS OF ENGINEERS HAVE BEEN DELINEATED AND CONFIRMED BY THE CORPS OF ENGINEERS. WETLAND BUFFERS HAVE BEEN SHOWN ON THE MASTER PLAN AND THE DEVELOPMENT PLAN HONORS THOSE BUFFERS. THE ASSOCIATION DOCUMENTS (DECLARATION) WILL INCLUDE PROVISIONS THAT PROHIBIT THE FILLING OF WETLANDS AND PROHIBIT THE CLEARING OF THE BUFFER AREAS OTHER THAN INCIDENTAL TREE CUTTING AND VEGETATION REMOVAL, EXCEPT FOR MINOR IMPACTS ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES. THE ASSOCIATION. EITHER ITSELF OR VIA A MANAGEMENT ENTITY, WILL ASSUME RESPONSIBILITY FOR ONGOING OPERATION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE CURRITUCK COUNTY UDO REQUIREMENTS AND ALL NCDEQ PERMIT REQUIREMENTS. THE ASSOCIATION DUES WILL BE STRUCTURED IN A WAY THAT FUNDS ARE PROVIDED FOR THE UPKEEP OF THESE FACILITIES, AS WELL AS PERIODIC IMPROVEMENTS TO ROWLAND CREEK BOTH THROUGH THE DEVELOPMENT, AS WELL AS A CONTRIBUTION TO OFF-SITE MAINTENANCE. WIND TIDES WILL BE CONSIDERED IN THE DESIGN OF SITE GRADING, WITH STRUCTURES LOCATED ABOVE THE ELEVATION OF THE HISTORIC WIND TIDAL INFLUENCE FROM ROWLAND CREEK.

	Bissell Professional Group	Firm License # C-956	3512 North Croatan Highway	Kitty Hawk North Caroling 27949	(252) 261-3266	FAX (252) 261-1760				
					DDOFFCOLONIAL CDOLLD	FRUFEVOIUNAL GROUP		Engineers, Planners, Surveyors	and Environmental Specialists	
	ZUNING TERMS & CUNDITIONS		DDFI IMINARV DI AT			THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY	HAWK, NOKTH CAROLINA. THE REPRODUCTION, IN WHOLE OR	PART, OR THE MODIFICATION OF ANY DETAIL OR DESIGN IS NOT TO BE MADE WITTED THE EXPRESS WRITTED CONSENT OF MARY S	DE MALDE WILLOUT LITE EAFRESS WALLTEN CONSENT OF MARK S. RISSETT DETNOTEAT OF REG INC CODVERGHT SAAS	
	HHHHON IKACIPIJ-K			CURRITUCK COUNTY						
-	BΥ	WGY	MDB							
REVISIONS	40. DATE DESCRIPTION	1 12/19/19 TRC Comments	2 11-24-20 REVISE NOTES		•					
12 DESIG DRAW KFW SHE	BP	/19 G K/\	)	Y	АР	ECk	N (ED: N OVEL B)	ISE D: PG	3	Williamanullille
	LEVISIONS REVISIONS	REVISIONS REVISIONS REVISIONS REVISIONS THE FOST TRACT PD-R ZONING TERMS & CONDITIONS REVISIONS	REVISIONS REVISIONS	REVISIONS REVISIONS	Image: Addition of the comments       Revisions       Project       The FOST TRACT PD-R       ZONING TERMS & CONDITIONS         Image: Addition of the comments       Image: Addition of the comments	Revisions       Revisions       Revisions         Induction       BY       Zoning TRACT PD-R         Induction       BY       Revenuests         Induction       BY       Repution         Induction       BY       Reprint Point         Induction       Induction       Reprint Point         Induction       Inductin       Reprinduction </th <th>Indicating the solutions of the solution</th> <th>REVISIONS       REVISIONS         REVISIONS       THE VISIONS         No. Date       Description         No.       Date         Date       Date</th> <th>REVISIONS       Reduct       REVISIONS       Recursions       BY         No.       DESCRIPTION       BY       ZONING TERMS &amp; CONDITIONS       ZONING TERMS &amp; CONDITIONS         No.       DESCRIPTION       BY       RELIMINARY PLAT       RELIMINARY PLAT         No.       DESCRIPTION       NOTICK COUNTY       NORTH CAROLINA       RELIMINARY PLAT         No.       DESCRIPTION       NORTH CAROLINA       NORTH CAROLINA       RELIMINARY PLAT         DESCRIPTION       DATUCK COUNTY       NORTH CAROLINA       RELIMINARY PLAT       RELIMINARY PLAT         DESCRIPTION       DESCRIPTION       NORTH CAROLINA       NORTH CAROLINA       RELIMINARY PLAT</th> <th>Image: Control of the image: Control of the image ima</th>	Indicating the solutions of the solution	REVISIONS       REVISIONS         REVISIONS       THE VISIONS         No. Date       Description         No.       Date         Date       Date	REVISIONS       Reduct       REVISIONS       Recursions       BY         No.       DESCRIPTION       BY       ZONING TERMS & CONDITIONS       ZONING TERMS & CONDITIONS         No.       DESCRIPTION       BY       RELIMINARY PLAT       RELIMINARY PLAT         No.       DESCRIPTION       NOTICK COUNTY       NORTH CAROLINA       RELIMINARY PLAT         No.       DESCRIPTION       NORTH CAROLINA       NORTH CAROLINA       RELIMINARY PLAT         DESCRIPTION       DATUCK COUNTY       NORTH CAROLINA       RELIMINARY PLAT       RELIMINARY PLAT         DESCRIPTION       DESCRIPTION       NORTH CAROLINA       NORTH CAROLINA       RELIMINARY PLAT	Image: Control of the image: Control of the image ima

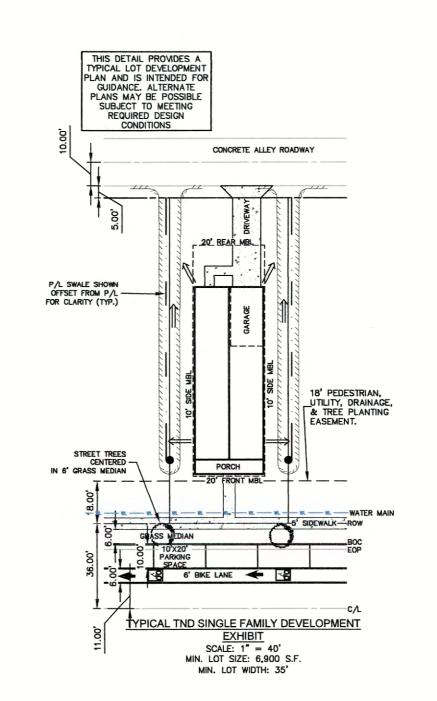
Packet Pg. 102

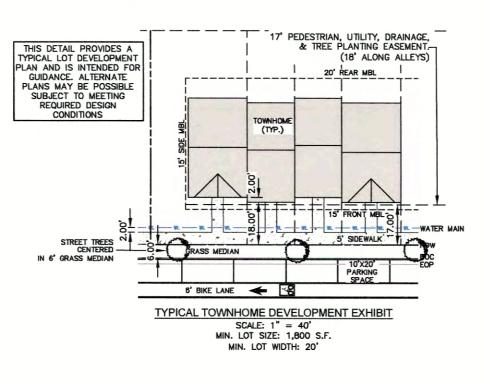
ROJECT NO

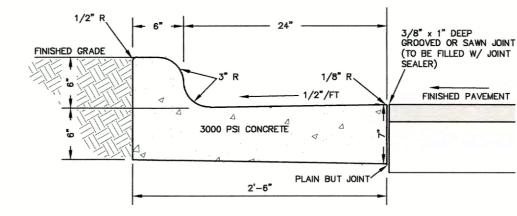
4651



6. ALL RAMPS AND DETECTABLE WARNING SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL AND DIRECTED TOWARD RAMP ON THE OPPOSITE SIDE OF STREET.

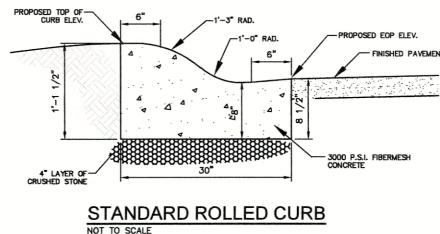




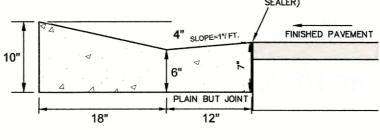


#### **CURB & GUTTER COLLECTION SECTION** NCDOT STD 846.01 NOT TO SCALE

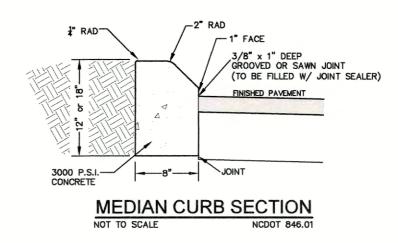
GENERAL CURB & GUTTER NOTES: 1. 1/2" X 1-1/2" DEEP CONTRACTION JOINTS SHALL BE PLACED AT 10' INTERVALS.
 2. 1/2" EXPANSION JOINTS SHALL BE PLACED AT 90' INTERVALS, AND ADJACENT TO ALL RIGID STRUCTURES.
 3. ALL JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER.

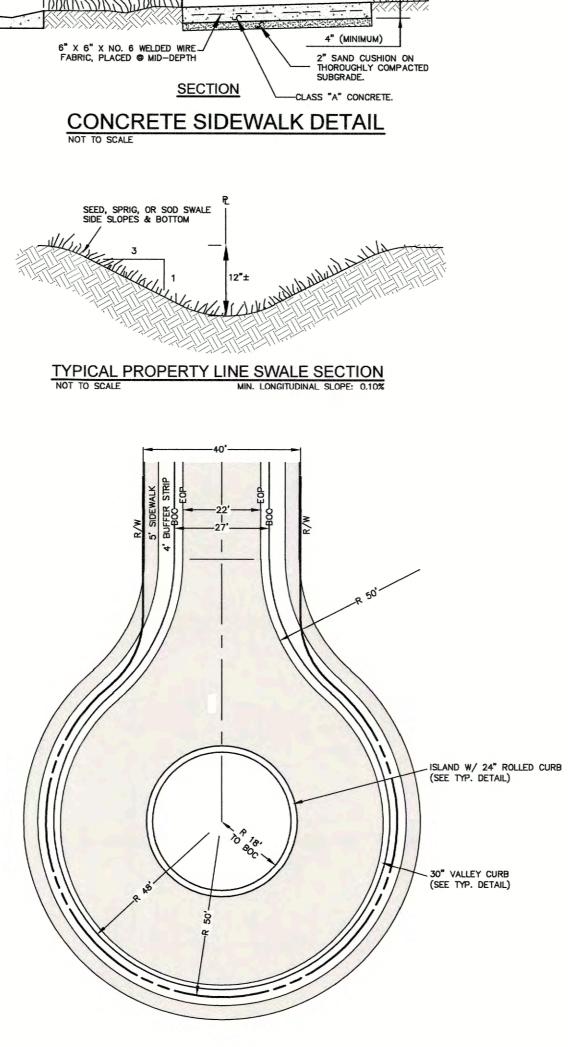


3/8" x 1" DEEP GROOVED OR SAWN JOINT (TO BE FILLED W/ JOINT FINISHED PAVEMENT SI OPE=1



# **CURB & GUTTER VALLEY SECTION** NOT TO SCALE



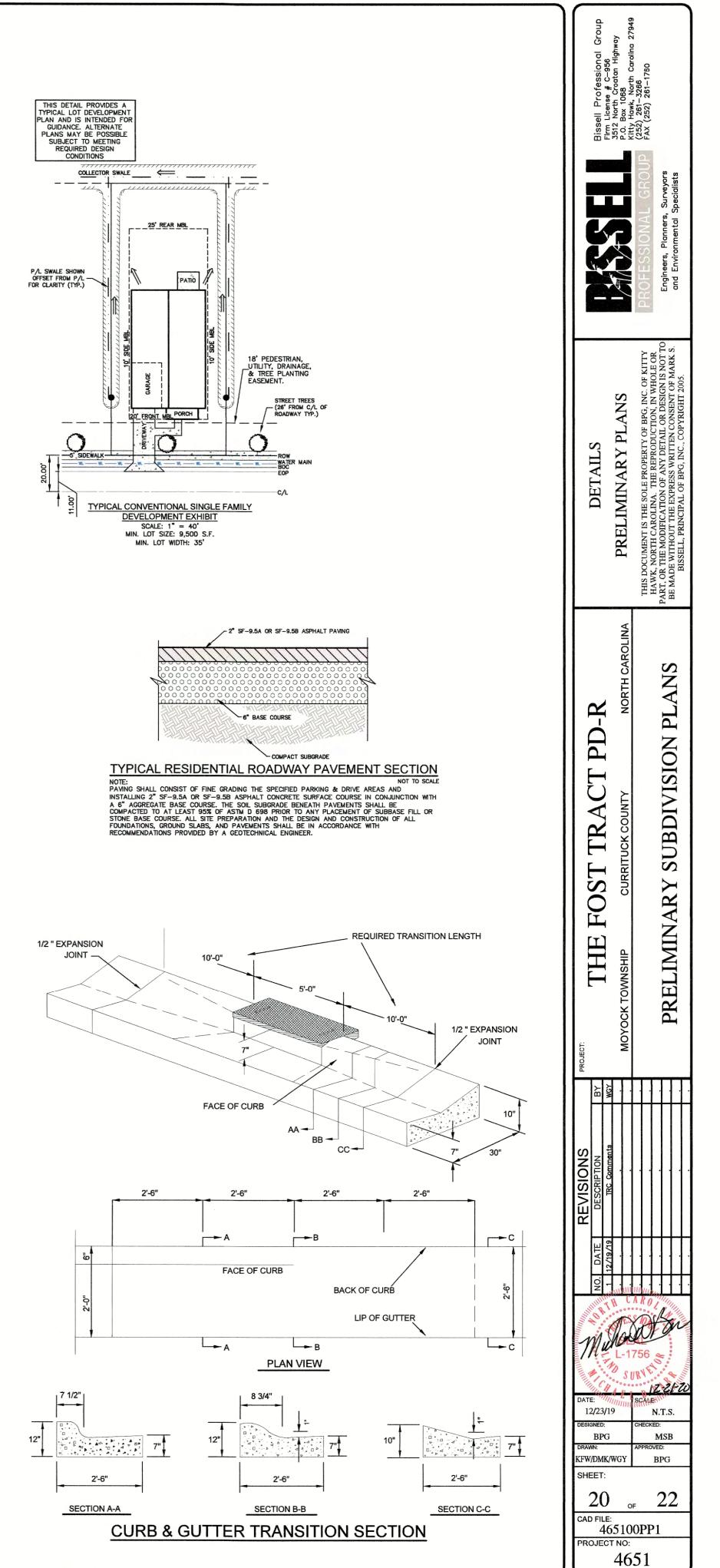


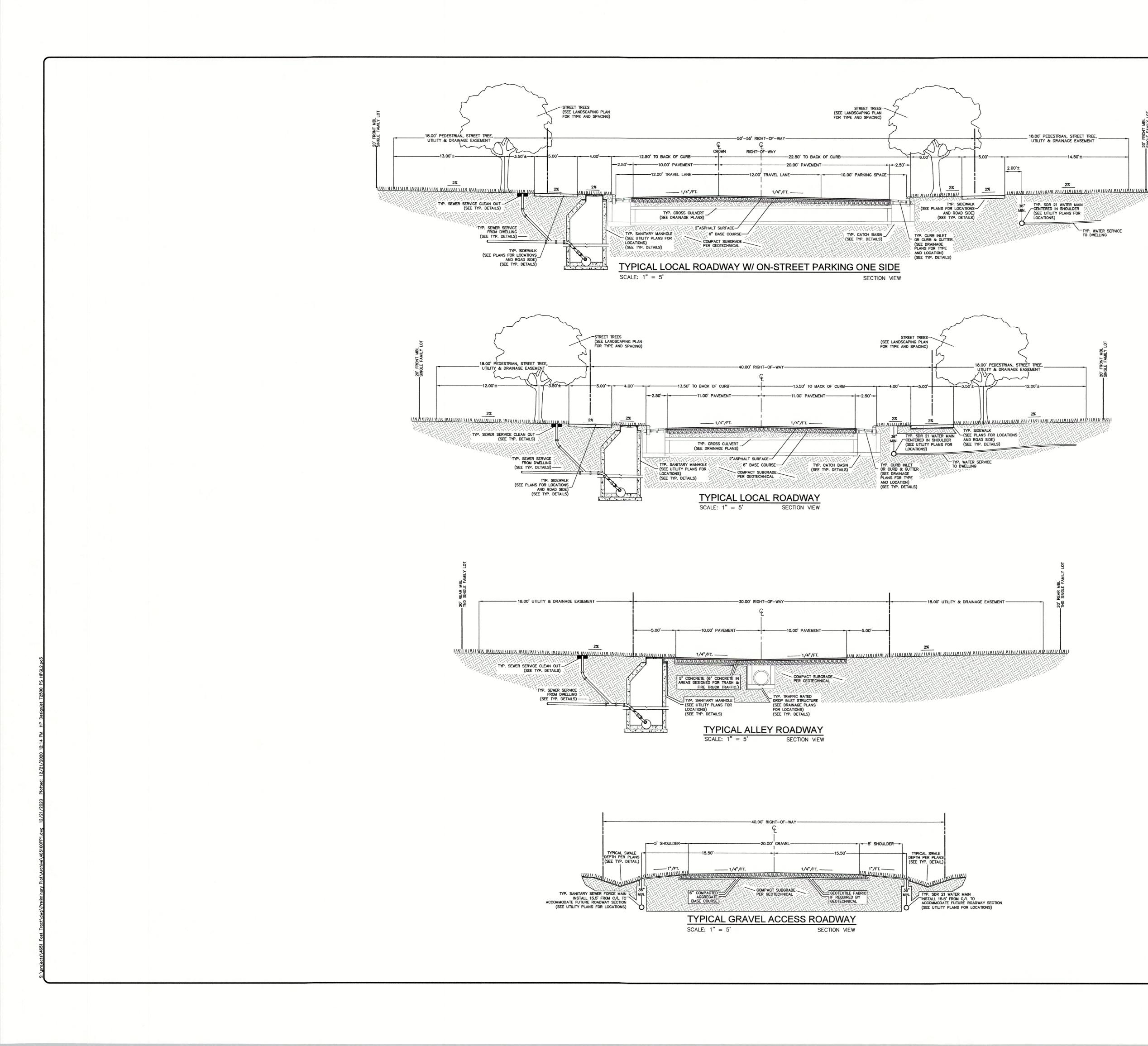
SLOPE: 2% (MAXIMUM)

----- 4'

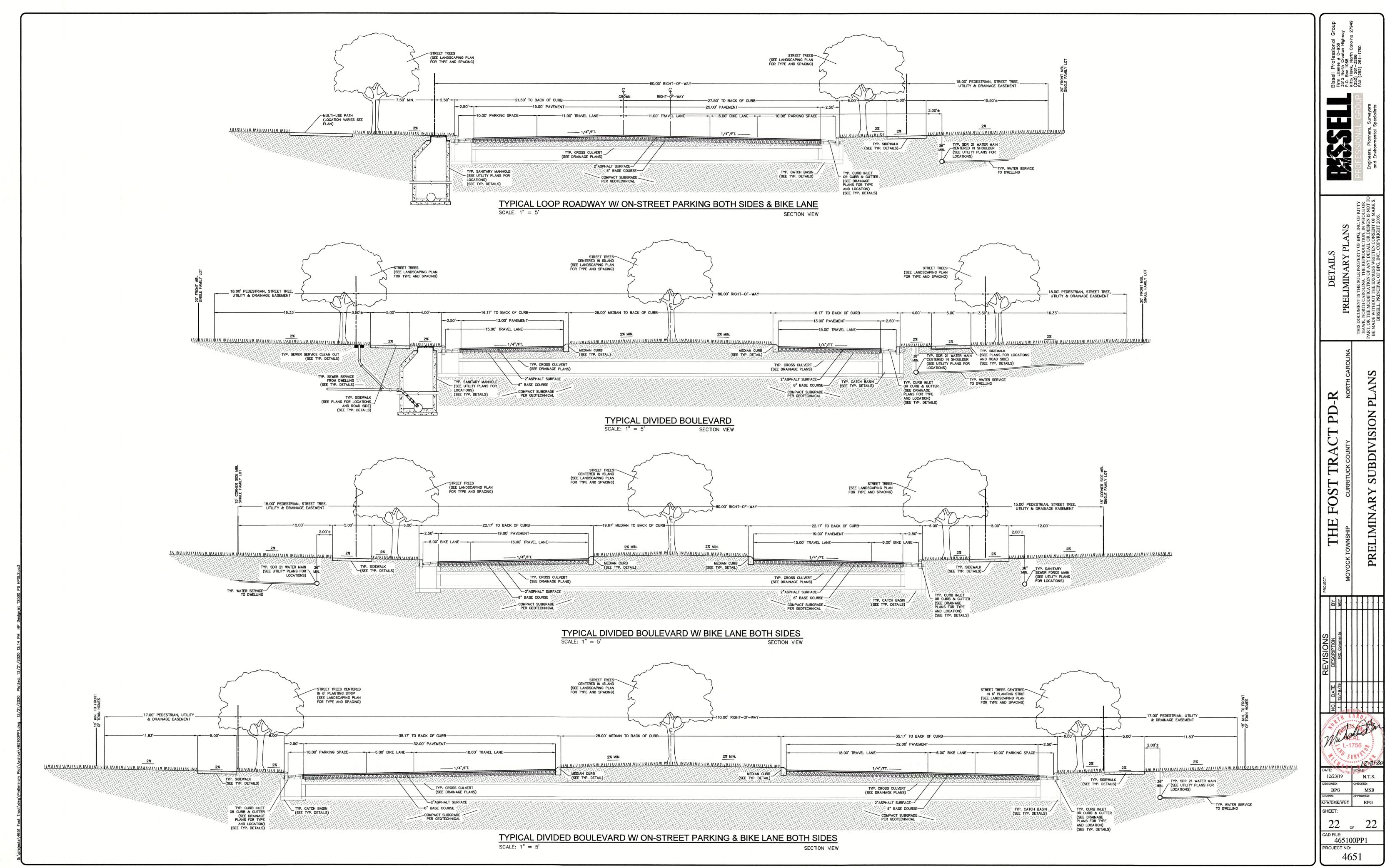
1"/FOOT

TYPICAL CUL-DE-SAC PLAN NOT TO SCAL





Endine       Bissell Professional Group         Erim Liense # 0-956       552 North Croatan Highway         Engineers, Planners, Surveyors       552 261-3266         Engineers, Planners, Surveyors       552 261-1760         Engineers, Planners, Surveyors       552 261-1760
DETAILS DETAILS DETAILS PRELIMINARY PLANS THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY HAWK, NORTH CAROLINA. THE REPRODUCTION, IN WHOLE OR PART, OR THE MODIFICATION OF ANY DETAIL OR DESIGN IS NOT TO BART, OR THE MODIFICATION OF ANY DETAIL OR DESIGN IS NOT TO BISBELL, PRINCIPAL OF BPG, INC., COPYRIGHT 2005.
PROLININARY SUBDIVISION PLANS
NOLIUSSI NOLIUSSI URUSS
SHEET: 21 <sub>of</sub> 22 CAD FILE: 465100PP1 PROJECT NO: 4651





Packet Pg. 105

4.B.c



Department of Planning and Community Development 153 Courthouse Road, Suite 110 Currituck, North Carolina 27929 252-232-3055 FAX 252-232-3026

**Currituck County** 

#### **MEMORANDUM**

- To: Mark Bissell, Bissell Professional Group Justin Old, Moyock Development LLC
- From: Tammy D. Glave, CZO, Senior Planner
- Date: December 10, 2020

**Re:** PB 18-23 Fost Tract – Amendment #1 - Preliminary Plat/Use Permit - Phases 1-5

The following comments have been received for Fost Tract, amendment #1 Preliminary Plat/Use Permit, Phases 1-5. To be placed on the January 18, 2021 Board of Commissioners' agenda, all outstanding **TRC comments must be addressed before 3:00 pm on December 21, 2020.** TRC comments are valid for six months.

#### Planning (Tammy Glave, 252-232-6025)

Reviewed with comment/Resubmit:

1. Please make sure all changes are called out in the note. For example, relocation of temporary RV/boat storage for Phase 1, increase in development area acreage, reduction in area not being developed at this time, and reduction in open space.

#### Currituck County Chief Building Inspector and Fire Inspections (Bill Newns, 252-232-6023)

Reviewed with comments:

- 1. Streets marked with no street parking signage where parking not provided.
- 2. Private alleys marked with Fire Lane no parking signage (discuss at TRC).
- 3. Mail Kiosk accessible parking spot at kiosk by clubhouse/pool area.
- 4. See attached TRC comments from past reviews that need to be in place as phases are being installed.

#### County Engineer (Eric Weatherly, 252-232-6035).

Comments not yet received.

#### Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed with comment:

1. Lot addresses will be assigned during Final Plat review phase.

#### Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

Reviewed without comment.

#### Currituck County Soil and Stormwater (Dylan Lloyd, 252-232-3360)

Reviewed with comment:

- 1. Ensure all slopes and banks are stabilized during and after land disturbing activity; including but not limited to Roland Creek and stormwater ponds.
- Ensure elevation of Keyway outfall at southern end of pond allows positive grade during 10 yr storm event.
- 3. Vegetative buffers are allowed to overlap drainage easement to Roland Creek, keep spacing at intervals to allow equipment access for future maintenance.

#### Currituck County Utilities Director (Will Rumsey, 252-232-2769)

Reviewed with comment:

1. Waterline location concerns have been addressed.

#### Albemarle Regional Health Services (Joe Hobbs, 252-232-6603)

Reviewed with comment:

1. NEED SEWER APPROVAL LETTER FROM NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481) AND A SEWER LAYOUT FINAL PLAN FROM CONSULTING ENGINEER.

#### NC Department of Transportation (David Otts, 252-453-2721)

No additional comments.

#### NC Division of Coastal Management (Charlan Owens, 252-264-3901)

Reviewed with comment:

 Concerning stormwater management on Rowland Creek, areas downstream, north and east of the railroad track, are within the Public Trust Area of Environmental Concern (AEC) and have a 30 foot shoreline AEC. Please contact Robert Corbett, DCM Field Representative, before beginning work in and along the creek. He can be reached at 252-264-3901.

#### US Post Office (Local)

Please contact the post office regarding method of mail delivery.

#### Mediacom (252-482-5583)

See attached letter.

#### The following items are necessary for resubmittal:

- 3 full size copies of revised plans
- 1 8.5 x 11" reduced copy
- 1- PDF digital copy of all revised or new documents and plans.

PB 18-23 Fost Amended Preliminary Plat/Use Permit Phases 1-5 12/9/2020 TRC Comments Page 2 of 7

4.B.c

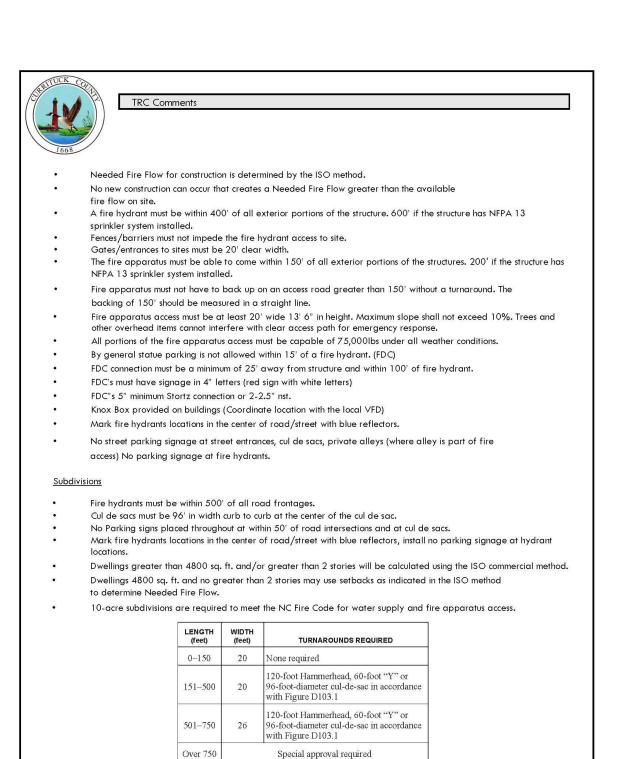
A use permit hearing is an evidentiary hearing where the Board of Commissioners must make a Quasi-Judicial Decision.

- An evidentiary hearing will be held for the Board of Commissioners to gather competent, material and substantial evidence to establish the facts of the case.
- All testimony is made under oath.
- The applicant or opposing parties shall establish written findings of fact and conclusions of law.
- Parties with standing may participate fully in the evidentiary hearing, including presenting evidence, cross-examining witnesses, objecting to evidence, and making legal arguments.
- Non-parties may present competent, material, and substantial evidence that is not repetitive.

Typical Use Permit (Quasi-Judicial) Hearing at BOC

- Swearing in of witnesses/speakers
- Presentation by County Staff on Application
- Required Presentation by Applicant or Authorized Agent (20-25 minutes)
  - Applicant to Present Findings of Fact
- Public Comment Period (typically 3 minutes each)
- Applicant Rebuttal (typically 5 minutes)
- BOC Deliberation & Decision

PB 18-23 Fost Amended Preliminary Plat/Use Permit Phases 1-5 12/9/2020 TRC Comments Page 3 of 7





PB 18-23 Fost Amended Preliminary Plat/Use Permit Phases 1-5 12/9/2020 TRC Comments Page 5 of 7

26' R TYP.'

120'HAMMERHEAD ACCEPTABLE ALTERNATIVE TO 120'HAMMERHEAD FIGURE D103.1 DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

MINIMUM CLEARANCE AROUND A FIRE HYDRANT

### Other Considerations for Determining Needed Fire Flow (NFF)

- When the subject building or exposure buildings have a wood-shingle roof covering and ISO determines that the roof can contribute to spreading fires, ISO adds 500 gpm to the NFF.
- The maximum NFF is 12,000 gpm. The minimum NFF is 500 gpm.
- ISO rounds the final calculation of NFF to the nearest 250 gpm if less than 2,500 gpm and to the nearest 500 gpm if greater than 2,500 gpm.
- For 1- and 2-family dwellings not exceeding 2 stories in height, ISO uses the following needed fire flows for a duration of 1 hour:

DISTANCE BETWEEN BUILDINGS More	NEEDED FIRE FLOW	
than 30 feet	500 gpm	
21 – 30 feet	750 gpm	
11 – 20 feet	1,000 gpm	
0 – 10 feet	1,500 gpm	

### **Inspection Comments**

- Cluster mailbox units must be accessible (accessible route, reach ranges)
- Accessible routes must be provided to all amenities such as pools, boardwalks, piers, docks, and other amenities within the development. Plans must be designed to the 2018 NC Building Code design loads and structures must meet ADA requirements.
- Curb cuts at vehicular traffic areas and pedestrian crossings must be ADA compliant and have detectable warning devices installed.
- Soil engineering reports for footings will be required for lots that have fill placed on them where the footings
  do not rest at a minimum of 12" below grade on undisturbed natural soil. Site preparation, the area within the
  foundation walls shall have all vegetation, topsoil and foreign material removed.
- Compaction testing will be required for slabs and thickened footing areas that exceed 24" of fill. Fill material shall be free of vegetation and foreign material. The fill shall be compacted to ensure uniform support of the slab, and except where approved, the fill depths shall not exceed 24 inches for clean sand or gravel and 8 inches (203 mm) for earth.

### Street signage examples



PB 18-23 Fost Amended Preliminary Plat/Use Permit Phases 1-5 12/9/2020 TRC Comments Page 6 of 7



### Kim Mason, NC Area Director

kmason@mediacomcc.com 216 B Shannonhouse Road Edenton NC, 27932 Edenton: 252-482-5583 Plymouth: 252-793-2491 Mobile: 252-497-0328

RE: New Build & Development

Dear Development manager;

As you know the key need for all homes in this 21<sup>st</sup> Century is a solid internet connection, be it for business, education or entertainment, the public demand is here.

With this in mind, as you plan for your development and build out, we would like to encourage you to reach out to us, as you do for other essential utilities. It is most economical and reasonable for you to work with us and have this valuable infrastructure in advance of selling and building the homes. Any build out costs can easily be recouped as the lots are developed and make your neighborhoods more appealing to families and professionals.

We invite, you to partner with us and contact us locally. We will process a ROI for your location to determine partnership feasibility and estimated cost to ensure your development has access to the best internet services available.

Our key contacts are, Kim Mason, Director for North Carolina – information above and our construction coordinator Nathanial Harris at 252- 793-5256 or 252-339-9375.

Mediacom launched 1-Gig broadband speeds in the following areas of North Carolina and operates customer service offices in Edenton and Plymouth.

Bertie County	Martin County	Chowan County	Perquimans County
Colerain	Jamesville	Arrowhead / Chowan Beach	Hertford
Kelford	Northampton County	Edenton	Winfall
Lewiston	Conway	Currituck County	Tyrrell County
Powellsville	Galatia	Barco	Columbia
Roxobel	Jackson	Currituck	Washington County
Windsor	Rich Square	Grandy	Creswell
Camden County	Seaboard	Moyock	Plymouth
Camden	Severn	Point Harbor	Roper
Shiloh	Woodland	Poplar Branch	
South Mills		Tulls Bay	

### About Mediacom Communications

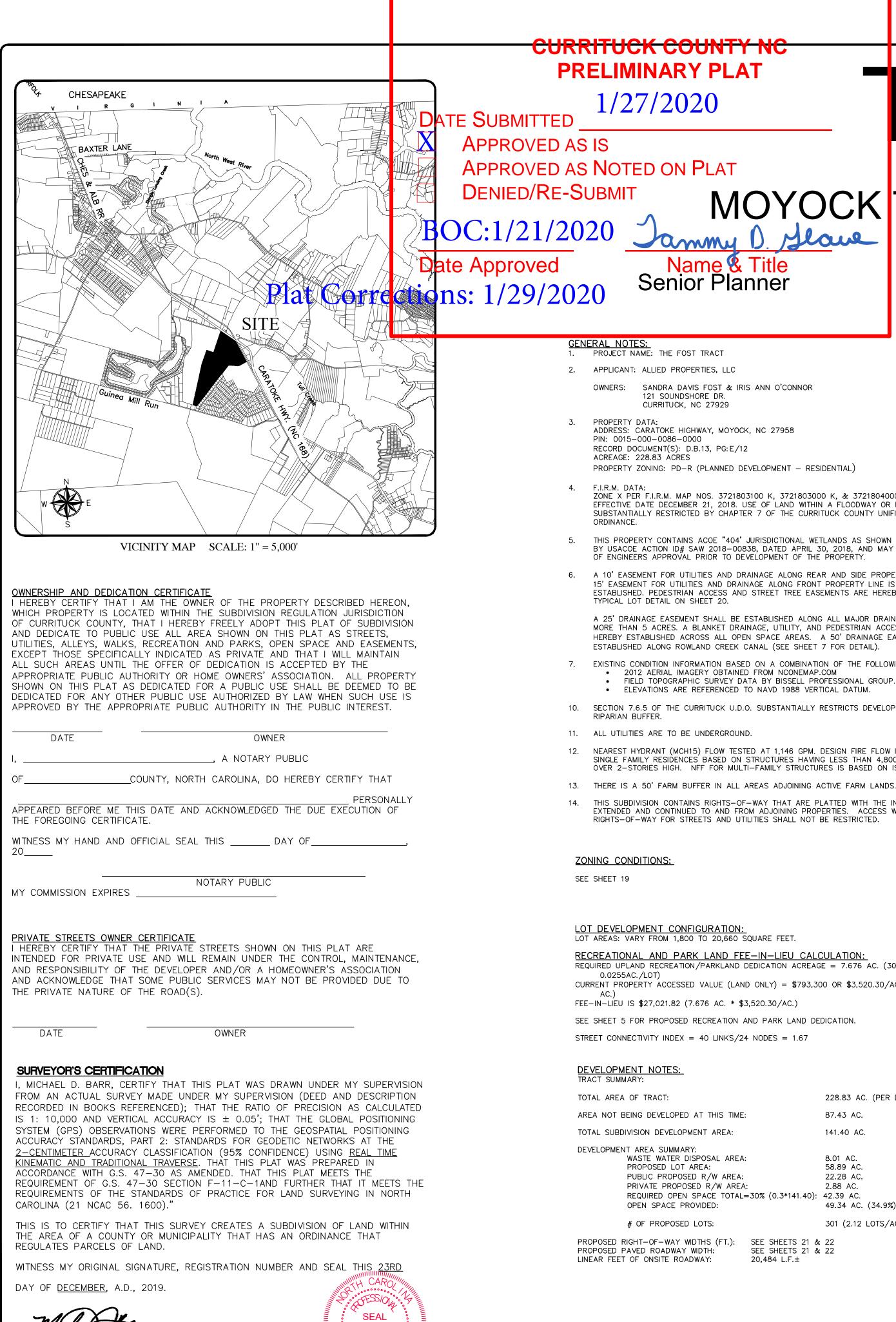
Mediacom Communications Corporation is the 5<sup>th</sup> largest cable operator in the U.S. serving over 1.3 million customers in smaller markets primarily in the Midwest and Southeast. Mediacom offers a wide array of information, communications and entertainment services to households and businesses, including video, high-speed data, phone, and home security and automation. Through Mediacom Business, the company provides innovative broadband solutions to commercial and public sector customers of all sizes and sells advertising and production services under the OnMedia brand. More information about Mediacom is available at <a href="https://www.mediacomcable.com">www.mediacomcable.com</a>.

We look forward to partnering with you to ensure your projects are successful and your development has the best services available for your buyers.

Best regards, Kim Mason

Kim Mason Operations Director, North Carolina

> PB 18-23 Fost Amended Preliminary Plat/Use Permit Phases 1-5 12/9/2020 TRC Comments Page 7 of 7



بر L-1756 <u>ا</u>

SRK

L-1756

SIGNATURE

## THE FOST TR

### MOYOCK TOWNSHIP 2020 RITUCK COUNT PHASES 1-5

ZONE X PER F.I.R.M. MAP NOS. 3721803100 K, 3721803000 K, & 3721804000 K ALL HAVING AN EFFECTIVE DATE DECEMBER 21, 2018. USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT

THIS PROPERTY CONTAINS ACOE "404' JURISDICTIONAL WETLANDS AS SHOWN AND CONFIRMED BY USACOE ACTION ID# SAW 2018-00838, DATED APRIL 30, 2018, AND MAY REQUIRE U.S. CORP

6. A 10' EASEMENT FOR UTILITIES AND DRAINAGE ALONG REAR AND SIDE PROPERTY LINES AND A 15' EASEMENT FOR UTILITIES AND DRAINAGE ALONG FRONT PROPERTY LINE IS HEREBY ESTABLISHED. PEDESTRIAN ACCESS AND STREET TREE EASEMENTS ARE HEREBY PROVIDED PER

A 25' DRAINAGE EASEMENT SHALL BE ESTABLISHED ALONG ALL MAJOR DRAINAGE WAYS SERVING MORE THAN 5 ACRES. A BLANKET DRAINAGE, UTILITY, AND PEDESTRIAN ACCESS EASEMENT IS HEREBY ESTABLISHED ACROSS ALL OPEN SPACE AREAS. A 50' DRAINAGE EASEMENT IS HEREBY ESTABLISHED ALONG ROWLAND CREEK CANAL (SEE SHEET 7 FOR DETAIL).

7. EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING: FIELD TOPOGRAPHIC SURVEY DATA BY BISSELL PROFESSIONAL GROUP.

10. SECTION 7.6.5 OF THE CURRITUCK U.D.O. SUBSTANTIALLY RESTRICTS DEVELOPMENT WITHIN A 30'

12. NEAREST HYDRANT (MCH15) FLOW TESTED AT 1,146 GPM. DESIGN FIRE FLOW IS 1,000 GPM FOR SINGLE FAMILY RESIDENCES BASED ON STRUCTURES HAVING LESS THAN 4,800 SQ. FT. AND NOT OVER 2-STORIES HIGH. NFF FOR MULTI-FAMILY STRUCTURES IS BASED ON ISO STANDARDS.

14. THIS SUBDIVISION CONTAINS RIGHTS-OF-WAY THAT ARE PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED TO AND FROM ADJOINING PROPERTIES. ACCESS WITHIN THE RIGHTS-OF-WAY FOR STREETS AND UTILITIES SHALL NOT BE RESTRICTED.

REQUIRED UPLAND RECREATION/PARKLAND DEDICATION ACREAGE = 7.676 AC. (301 LOTS \*

CURRENT PROPERTY ACCESSED VALUE (LAND ONLY) = \$793,300 OR \$3,520.30/AC. (\$793,300/225.35

		228.83 AC. (PER DEED)
IME:		87.43 AC.
:		141.40 AC.
REA: EA: REA: TAL=	30% (0.3*141.40):	8.01 AC. 58.89 AC. 22.28 AC. 2.88 AC. 42.39 AC. 49.34 AC. (34.9%)
		301 (2.12 LOTS/ACRE)
):	SEE SHEETS 21 & SEE SHEETS 21 & 20,484 L.F.±	

SHEET INDEX				
Sheet Number	Sheet Title			
1	COVER SHEET, DEVELOPMENT NOTES AND SITE LOCATION			
2	EXISTING CONDITIONS AND SITE FEATURES PLAN			
3	OVERALL PHASING PLAN			
4	OVERALL DRAINAGE AND UTILITY PLAN			
5	OVERALL HARDSCAPING PLAN			
6	LANDSCAPING, LIGHTING, BUFFERING AND SIGNAGE PLAN			
7	OVERALL PRELIMINARY PLAT			
8-17	DETAILED PRELIMINARY PLAT SHEETS			
18	LINE AND CURVE TABLES			
19	ZONING TERMS & CONDITIONS			
20-22	DETAILS			

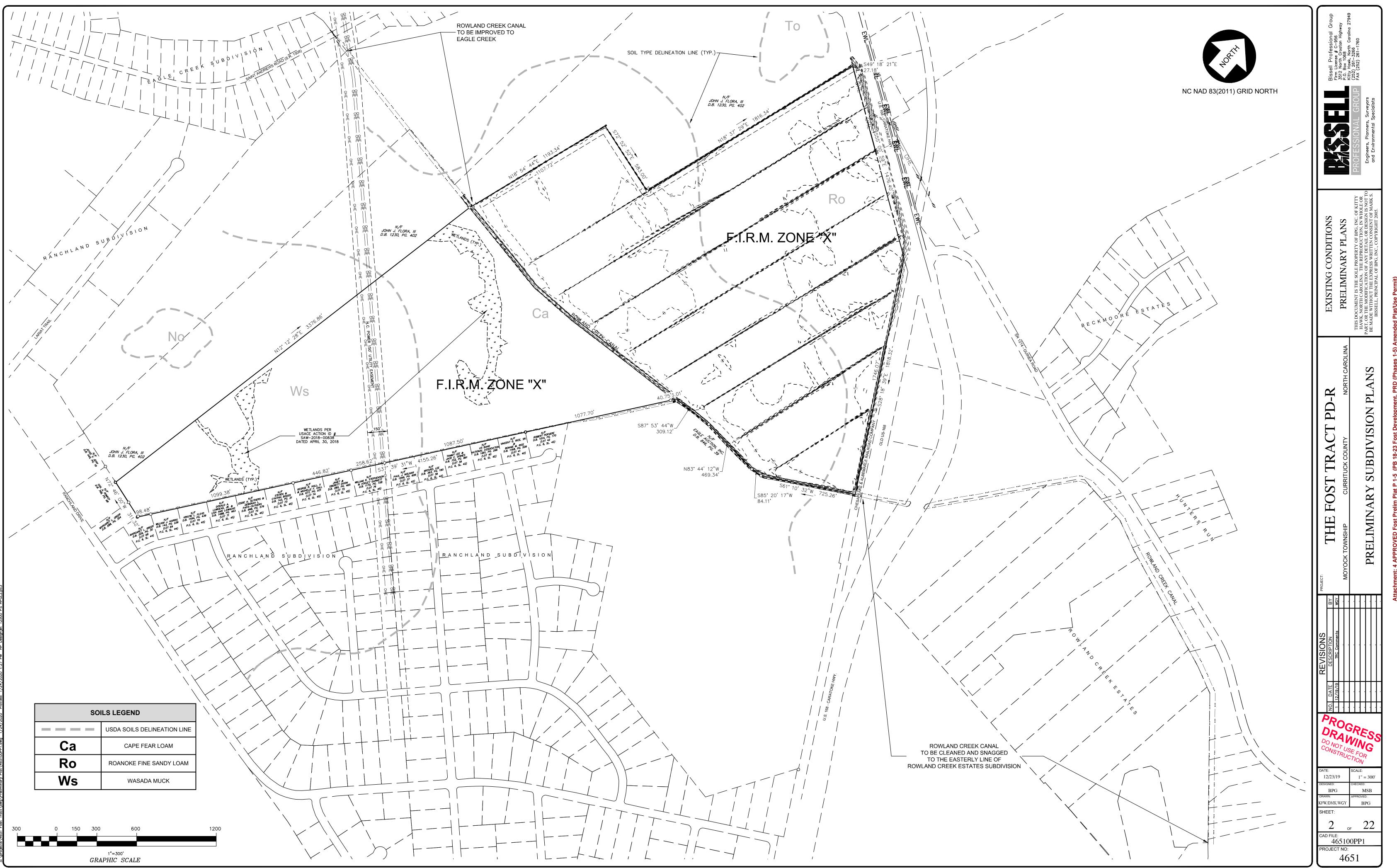
SURVEY LEGEND				
	RIGHT-OF-WAY			
	PROPERTY BOUNDARY			
	ADJOINING PROPERTY LINE			
	EASEMENT LINE			
	CENTERLINE OF ROADWAY			
۲	SET IRON ROD			
0	EXISTING IRON ROD			
0	EXISTING IRON PIPE			
·	EXISTING CONCRETE MONUMENT			
N/F	NOW OR FORMERLY			
TWP.	TOWNSHIP			
P.C.	PLAT CABINET			
SL.	SLIDE			
D.B.	DEED BOOK			
М.В.	MAP BOOK			
PG.	PAGE			
SQ.FT. or S.F.	SQUARE FEET			
M.B.L.	MAXIMUM BUILDING LINE			
AC or AC.	ACRES			
P/0	PART OF			
TYP.	TYPICAL			
N.T.S.	NOT TO SCALE			
0.S.	OPEN SPACE			
R/W	RIGHT-OF-WAY			

LEGEND				
···· ···· ···· ···· ····	EXISTING DITCH CENTERLINE			
	EXISTING DITCH TOP OF BANK			
<u>⇒</u>	PROPOSED SWALE W/ FLOW ARROW			
	PROPOSED SWALE HIGH POINT			
FEMA FEMA	FEMA BOUNDARY LINE			
	EXISTING 404 BOUNDARY			
6	EXISTING GRADE CONTOUR			
	30' UNDISTURBED BUFFER (COUNTY)			
	50' WETLANDS BUFFER (COUNTY)			
	EXISTING CULVERT			
C)	EXISTING UTILITY POLE			
OHE OHE	EXISTING OVERHEAD TRANSMISSION LINES			
— EWL — EWL —	EXISTING WATER LINE			
WL WL WL	PROPOSED WATER LINE (SIZE AS NOTED)			
<b>&gt;</b> +++	PROPOSED FIRE HYDRANT ASSEMBLY			
	PROPOSED WATER SERVICE			
	PROPOSED BLOW-OFF ASSEMBLY			
M	PROPOSED VALVE			
<	PROPOSED REDUCER			
	PROPOSED SIDEWALK			
FM FM FM	PROPOSED FORCE MAIN SANITARY SEWER (SIZE AS NOTED)			
SS	PROPOSED GRAVITY SANITARY SEWER (SIZE AS NOTED)			
S	PROPOSED SANITARY SEWER MANHOLE			
BOC	BACK OF CURB			
EOP	EDGE OF PAVEMENT			
D	PROPOSED CATCH BASIN			
<b>☆</b>	PROPOSED STREET LIGHT			
	PROPOSED STORM SEWER PIPE			
••• ••• •••	PROPOSED EDGE OF WATER			

RACT Y NORTH CAROLINA	Rest of the second of the se
STORMWATER STATEMENT NO MORE THAN 30% OF ANY LOT SHALL BE COVERED BY IMPERVIOUS STRUCTURES AND MATERIALS, INCLUDING ASPHALT, GRAVEL, CONCRETE, BRICK STONE, SLATE, OR SIMILAR MATERIAL, NOT INCLUDING WOOD DECKING OR THE WATER SURFACE OF SWIMMING POOLS. THIS COVENANT IS INTENDED TO ENSURE COMPLIANCE WITH THE STORMWATER PERMIT NUMBER	COVER SHEET PRELIMINARY PLANS & PLAT THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY HAWK, NORTH CAROLINA. THE REPRODUCTION, IN WHOLE OR PART, OR THE MODIFICATION OF ANY DETAIL OR DESIGN IS NOT TO BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF MARK S. BISSELL, PRINCIPAL OF BPG, INC., COPYRIGHT 2005.
REVIEW OFFICER CERTIFICATE STATE OF NORTH CAROLINA COUNTY OF CURRITUCK         I,	PROLECT THE FOST TRACT PD-R MOYOCK TOWNSHIP CURRITUCK COUNTY NORTH CAROLINA NORTH COUNTY NORTH CAROLINA NORTH CAROLINA NORTH CAROLINA NORTH CAROLINA NORTH CAROLINA NORTH CAROLINA NORTH CAROLINA NORTH CAROLINA NORTH CAROLINA NORTH COUNTY NORTH COUNTY N
DAYS OF THE DATE BELOW.  DAYS OF THE DATE BELOW.  DATE ADMINISTRATOR  REVIEW OFFICER CERTIFICATE STATE OF NORTH CAROLINA COUNTY OF CURRITUCK  I,, REVIEW OFFICER OF CURRITUCK COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.  DATE REVIEW OFFICER  HEREBY CERTIFY THAT ALL IMPROVEMENTS REQUIRED BY THE CURRITUCK COUNTY UNFIED DEVELOPMENT ORDINANCE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY BISSELL PROFESSIONAL GROUP, AND SAID IMPROVEMENTS COMPLY WITH CURRITUCK COUNTY SPECIFICATIONS.  DATE REGISTERED LAND SURVEYOR/ENGINEER  REGISTRATION NUMBER	Im       Im <td< td=""></td<>

4.B.d

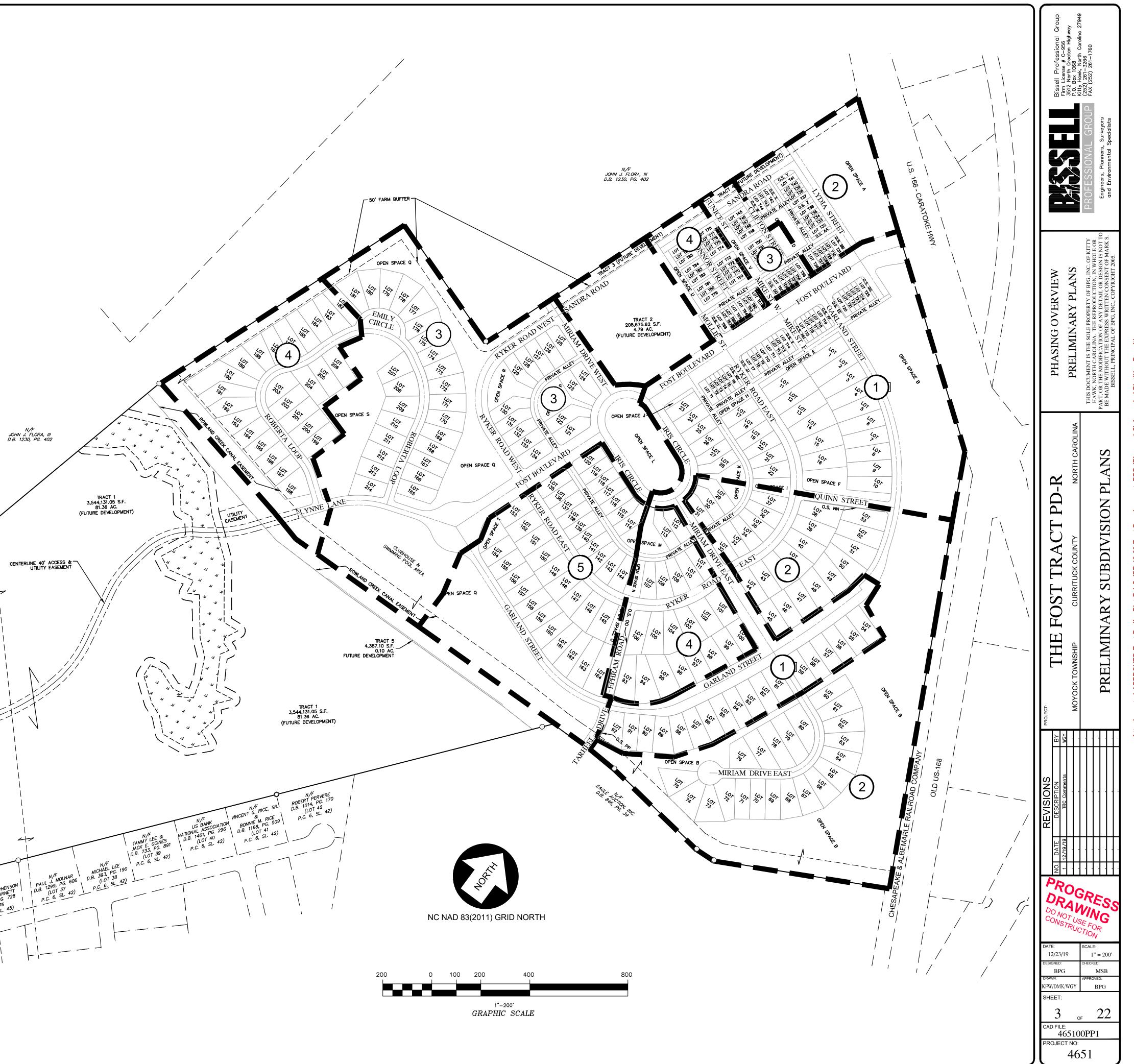
4651

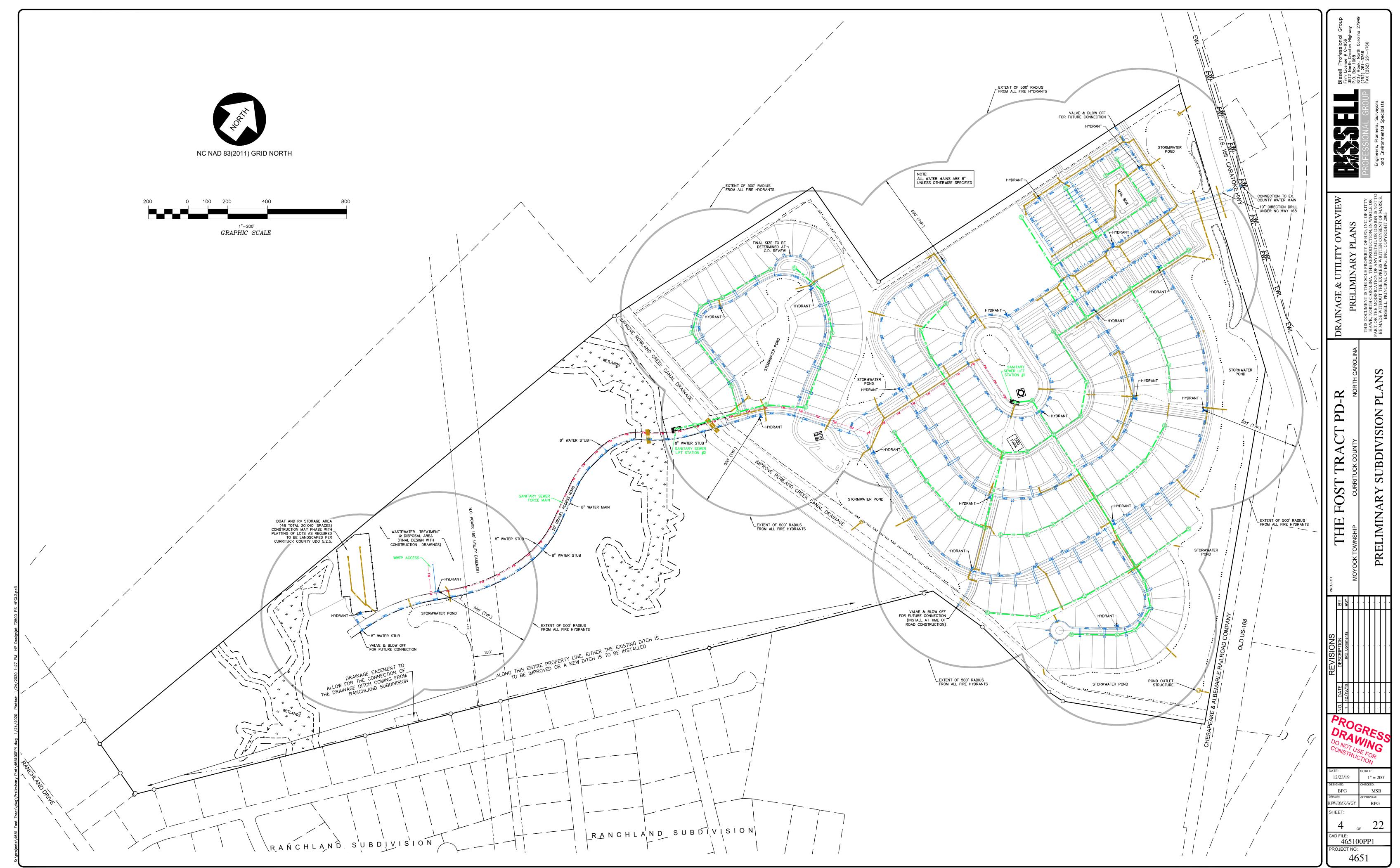


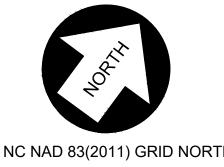
	PHASING SCHEDULE							
PHASE	AREA (AC.)	DEVELOPMENT	TND T.H.	TND S.F.	CONV. S.F.	TOTAL	OTHER IMPROVEMENTS	
		INTENSITY (D.U./AC.)						
1	39.7	1.79	25	12	34	71	Rowland Creek Improvements	
2	33.1	1.96	19	9	37	65	Main Lake (Completion)	
3	29.2	1.88	16	14	25	55	Village Green & Clubhouse	
4	19.9	3.67	27	7	39	73	Multi-Use Path	
5	14.4	2.57		17	20	37	Swimming Pool	

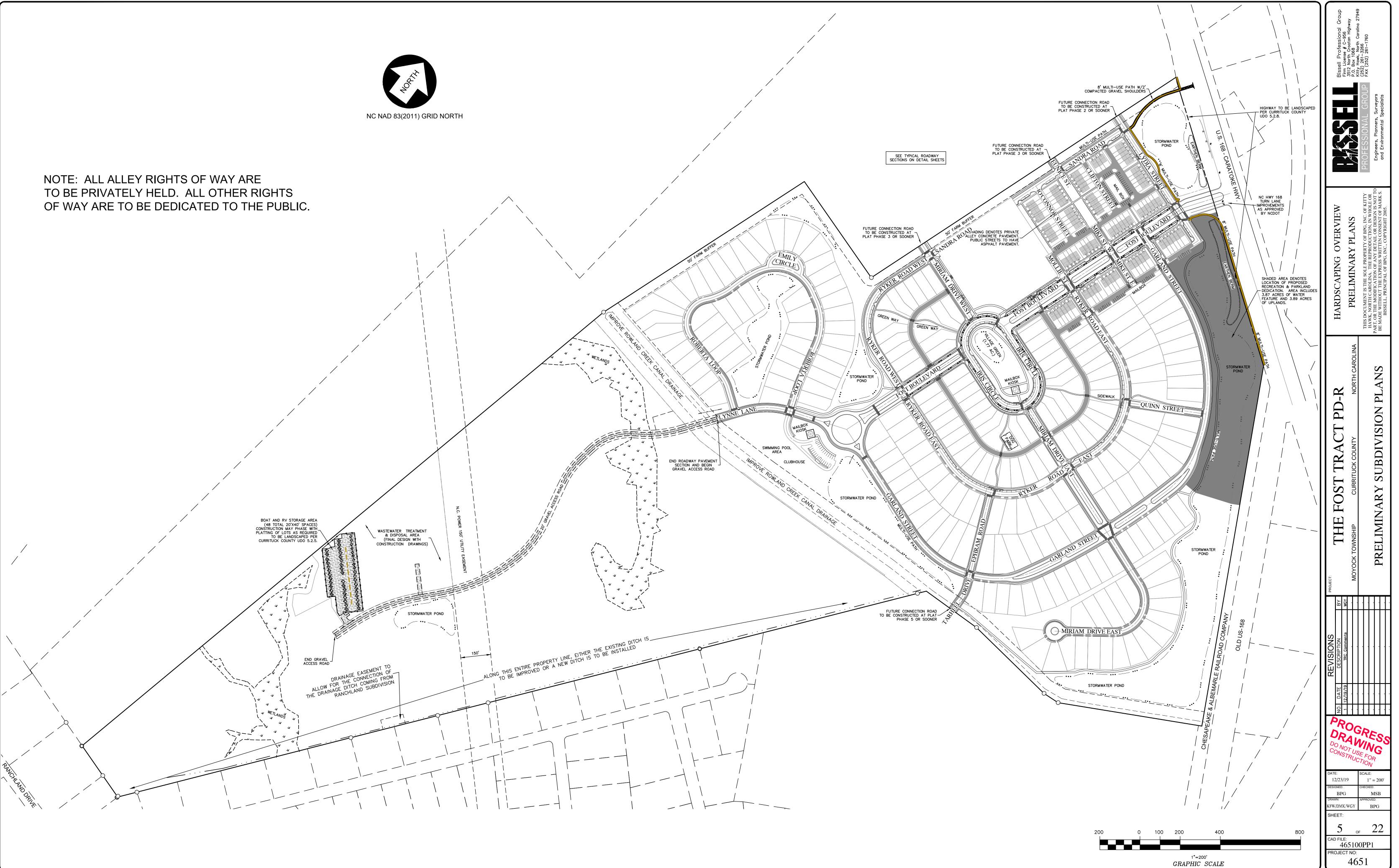
PHASE RECORDING SCHEDULE				
PHASE	ESTIMATED EARLIEST RECORDING DATE			
1	OCTOBER, 2020			
2	APRIL, 2021			
3	OCTOBER, 2021			
4	APRIL, 2022			
5	OCTOBER, 2022			



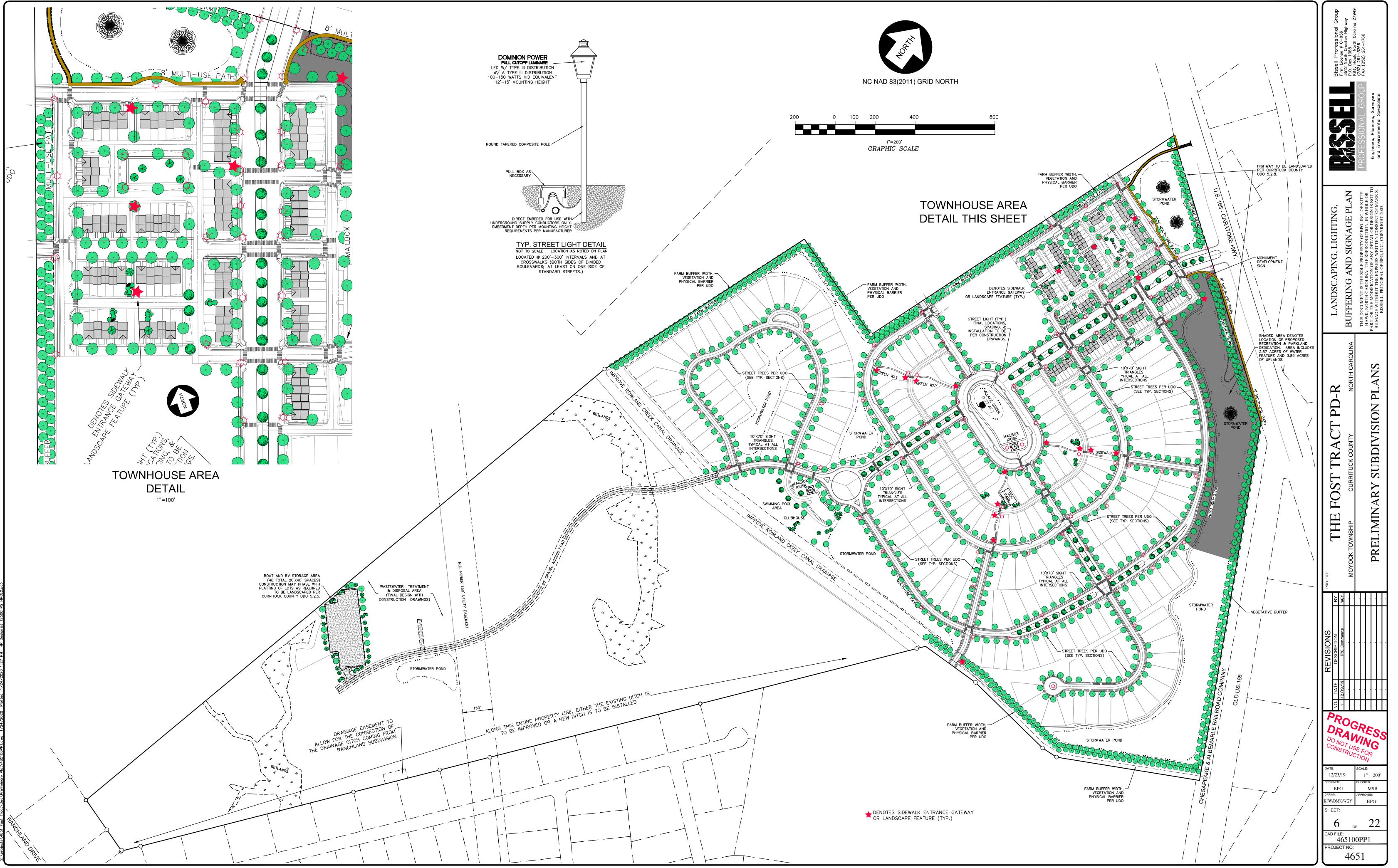






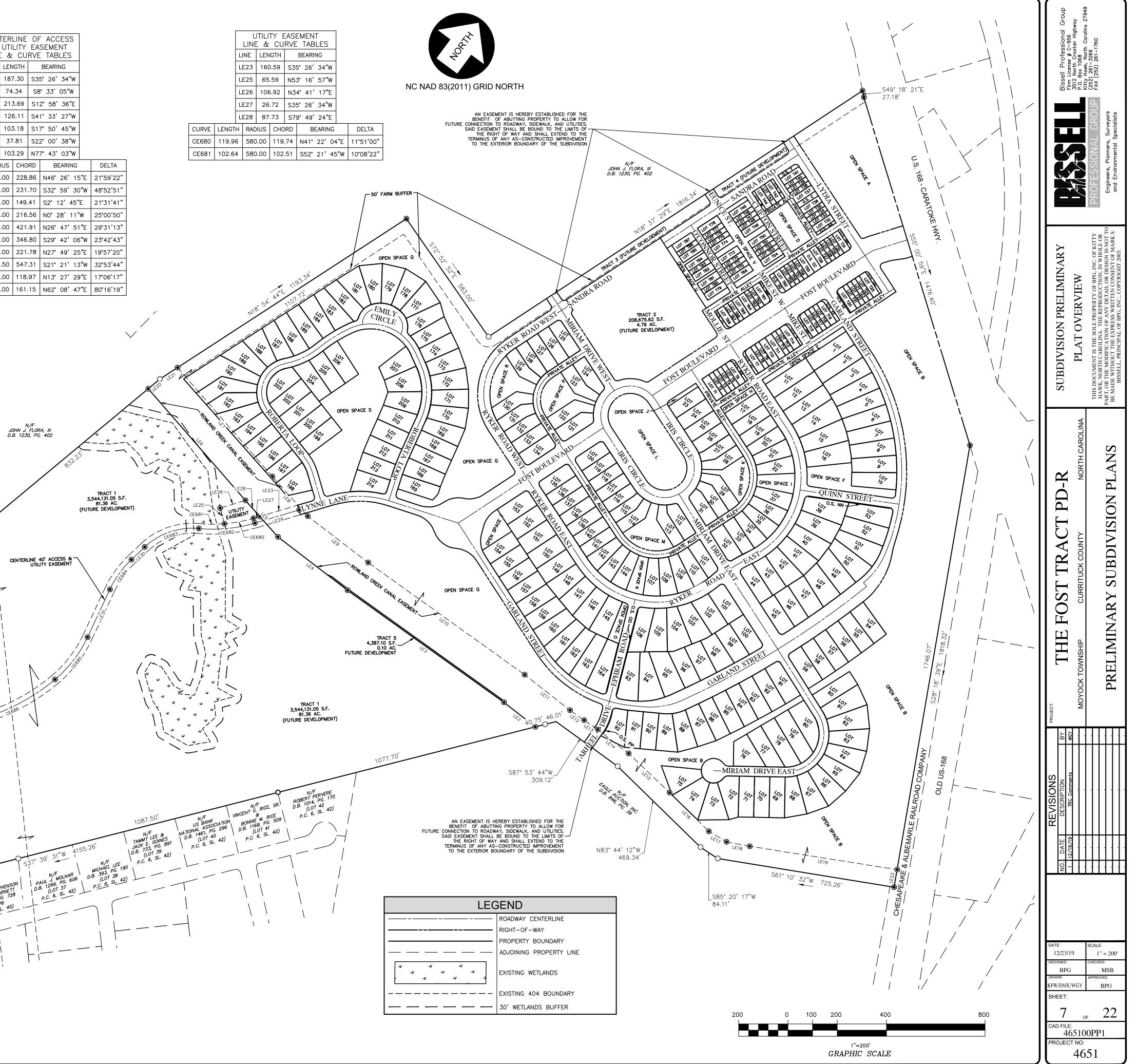


-5

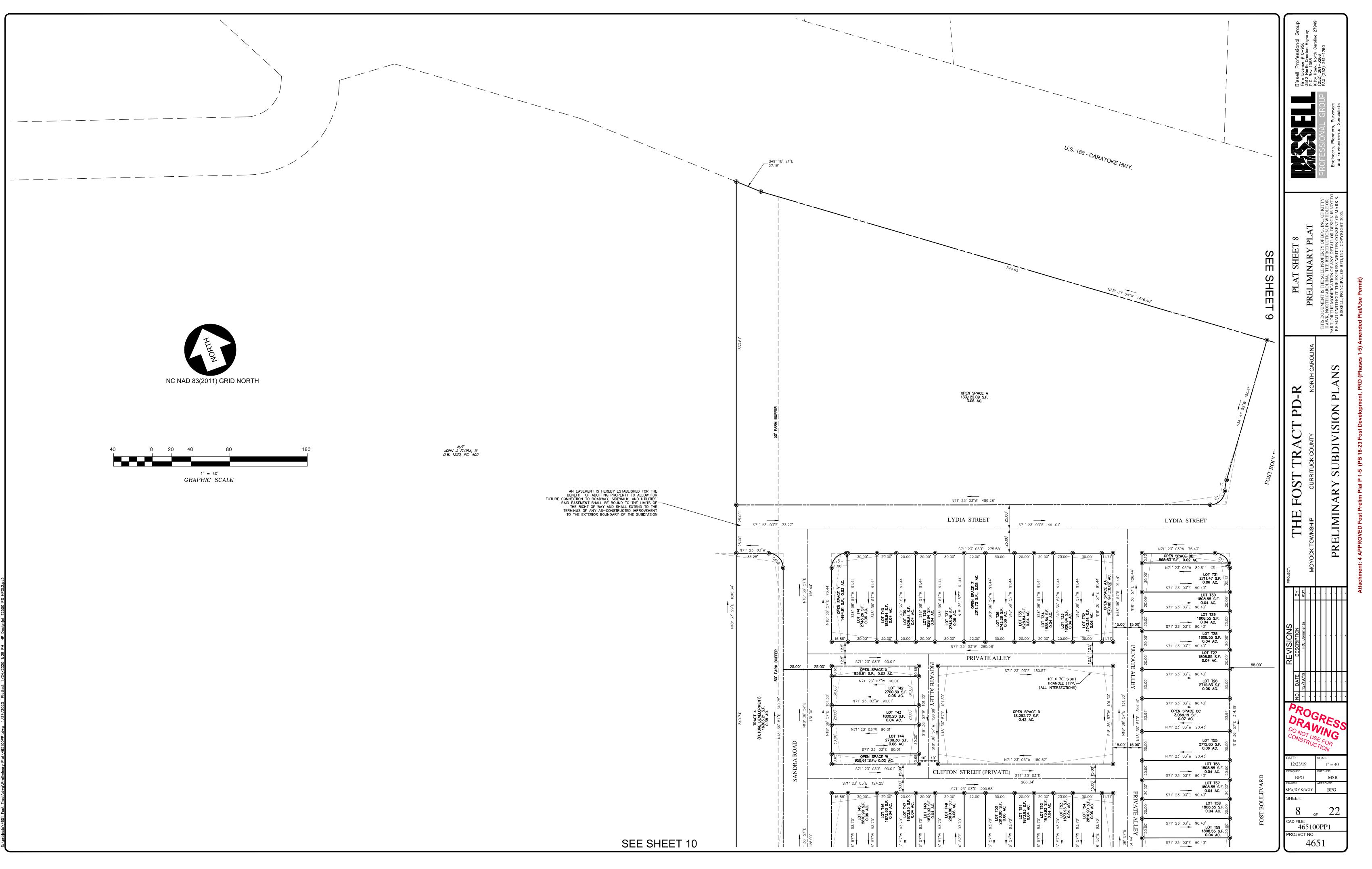


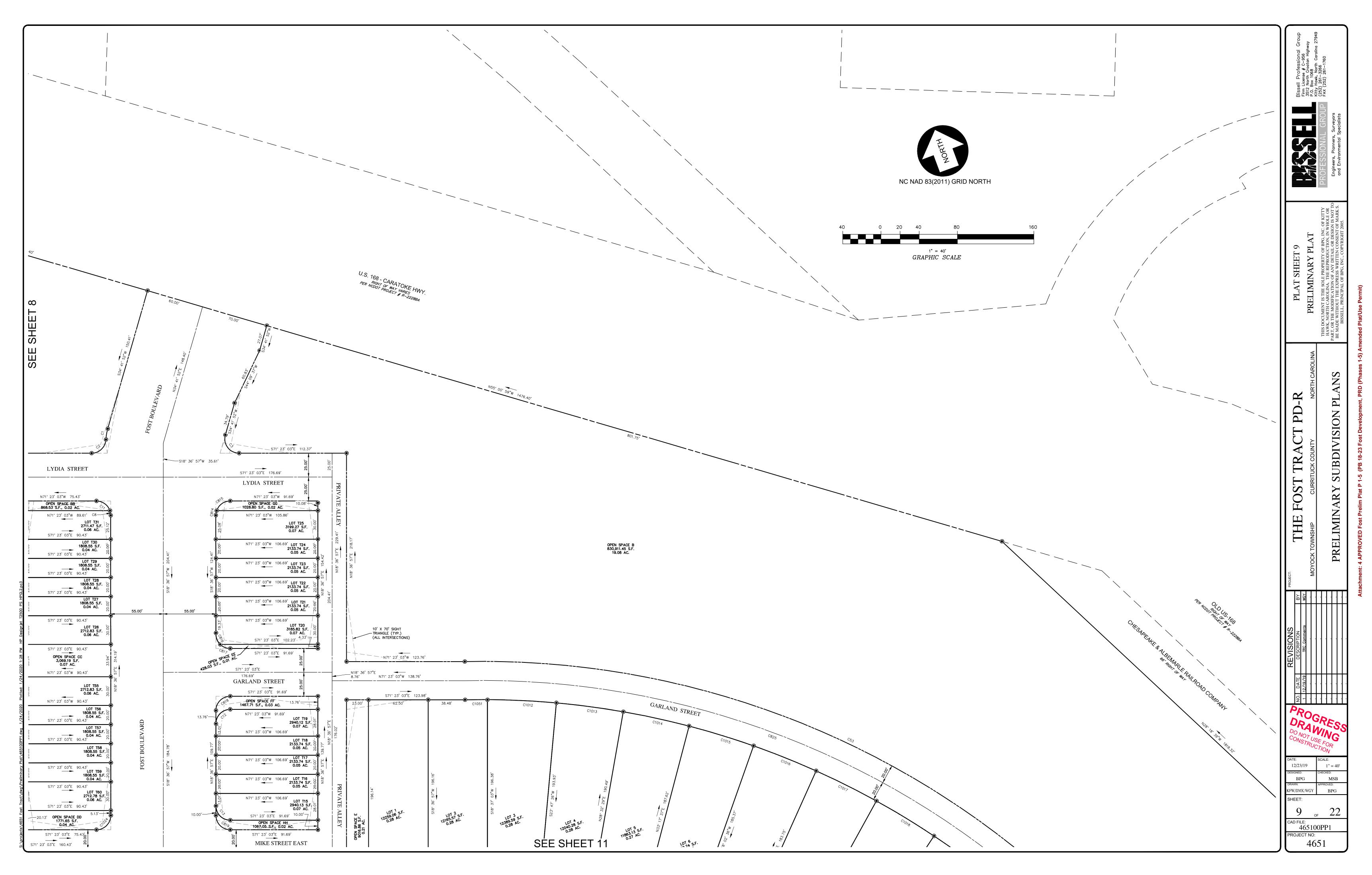
# hment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Pla

OPEN SPACE	TABULATION						
	ACREAGE				EASEMENT TABLE		
A	3.06			LINE LENGTH	BEARING		
В	19.08			LE1 40.75	N37° 39' 31"E		
С	BLANK			LE2 160.96	N89° 57' 30"E		LE
D	0.42			LE3 781.14			
E	0.21			LE4 356.29			L
F	0.53			LE5 198.20			LE
G	BLANK			LE6 600.01 LE7 585.79			
Н	0.11			LE7 585.79 LE8 215.65			
I	0.23			LE9 308.72			E LENGTH
J	0.06			LE10 781.80		CURV CE68	
K	0.35			LE11 233.27	+	CE68	
	1.64			LE12 70.27	N87° 29' 30"E	CE68	
M	0.45			LE13 66.78	N86° 13' 06"E	CE68	5 218.29
N O	0.19			LE14 158.78	N89° 38' 35"E	CE68	6 426.61
P	0.13			LE15 229.73		CE68	7 349.29
Q	17.79			LE16 223.94		CE68	
R	0.44			LE17 83.53	N82° 26' 11"E	CE68	
S	2.70			LE18 95.62	N62° 53' 58"E	CE69	
т	0.26			LE19 605.72 LE20 61.23		CE69	1 175.13
U	0.25			LE20 81.23	N12 12 28 E		
V	0.51			LE21 85.82 LE22 72.25	N18 54 44 E N28° 18' 39"W		
W	0.02						
X	0.02						
Y	0.03			7			
Z	0.05		WWTP TRACT LINE & CURVE TABLES				
AA	0.02		LINE LENGTH BEARING				
BB	0.02		L36 35.99 S17 50' 45"W				
СС	0.07		L37 105.01 S71° 49' 03"E	-1			
DD	0.04		L38 46.00 S44° 25' 47"E	-1			١
EE	0.01		L39 199.18 N24° 42' 48"E	-1			
FF	0.03		L40         57.23         S53*         20'         44"E           L41         53.56         S31*         45'         03"E	-1		1	
GG	0.02		L42 24.99 S41° 10' 13"W	-1			
НН	0.02		L43 33.85 S56° 58' 32"W	-1		l	1
	0.02		L44 70.90 S23° 57' 03"E	-1			1
JJ	0.03		L45 44.13 S17 37' 59"E	-			
КК	0.03		L46 42.83 S77* 47' 32"E				
	0.02		TH RADIUS CHORD BEARING				179.73
MM	0.02	C672 62.6				/	1
NN OO	0.02	C674 357.5 C676 42.3					
PP	0.02	C677 31.5					
TOTAL	49.34					è	
					N12 12 28	2 3 <sup>376</sup> 8° 80	
					28	6 <sup>10</sup>	0, 48"E <b>1 2 N</b>
					,2°,12		682.60 <sup>4</sup> 544 <sup>-</sup> 21 <sup>-</sup> 48 <sup>*</sup> E <b>051 Jamod</b>
					R <sup>1</sup>		s4 1 <b>0</b> . 0
					LE46	WWTP TRACT 348,715.01 S.F. 8.01 AC.	
						8.01 AC.	682.60, 34. 21. 42 34. 42
					LE45	S41* 33' 27"W	
					LE44	126.11'	C672
						1_	
	/				1 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		
	/					37 C674 -LE32	2
						E36 CE687	
	, / ,		1486 86 1			E36 CE687	
\	,						
×	. / /	1 3,544 8 (FUTURE	RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)			E36 CE687	
0.5	, , ,					E36 CE687	
D.B. AAS	N/F JOHN J. FLORA, J D.B. 1230, PG. 40					E36 CE687	2.58.6
Dia. WK KEAN	N/F JOHN J. FLORA, J D.B. 1230, PG. 40					TRACT 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	 
Dia. WK KEMM	N/F JOHN J. FLORA, M D.B. 1230, PG. 40				LE 39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
			RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)		LE 39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
			RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)		LE 39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
D.GALL X	KIP. 46		(RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)	LE40 VI	LE39	TRACT 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
D.GALL X	KIP. 46		(RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)	LE40 VI	LE39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
Dia. 19 Dia. 19 Dia. 198. Dia. 198. Dia. 198. Dia. 198.	1, 1, 1, 1, 2, 1, 2, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1,		RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)	LE40 VI	LE39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
Dia. 19 Dia. 19 Dia. 198. Dia. 198. Dia. 198. Dia. 198.	K among a K K K K K K K K K K K K K K K K K K	98.48' N/F uarRIS	RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)	LE40 VI	LE39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
Dia. 19 Dia. 19 Dia. 198. Dia. 198. Dia. 198. Dia. 198.	K among a K K K K K K K K K K K K K K K K K K	98.48' N/F uarRIS	RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)	LE40 VI	LE39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
Dia. 19 Dia. 19 Dia. 198. Dia. 198. Dia. 198. Dia. 198.	K among a K K K K K K K K K K K K K K K K K K	98.48' N/F uarRIS	RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)	LE40 VI	LE39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6
Dia. 19 Dia. 19 Dia. 198. Dia. 198. Dia. 198. Dia. 198.	K among a K K K K K K K K K K K K K K K K K K	98.48'	RACT 1 ,131.05 S.F. 1.36 AC. DEVELOPMENT)	LE40 VI	LE39	траст 1 3,544,131.05 S.F. 81.36 AC. (FUTURE DEVELOPMENT)	258.6

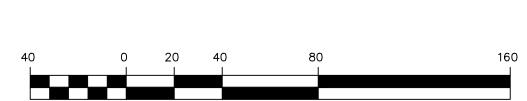


ment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended P

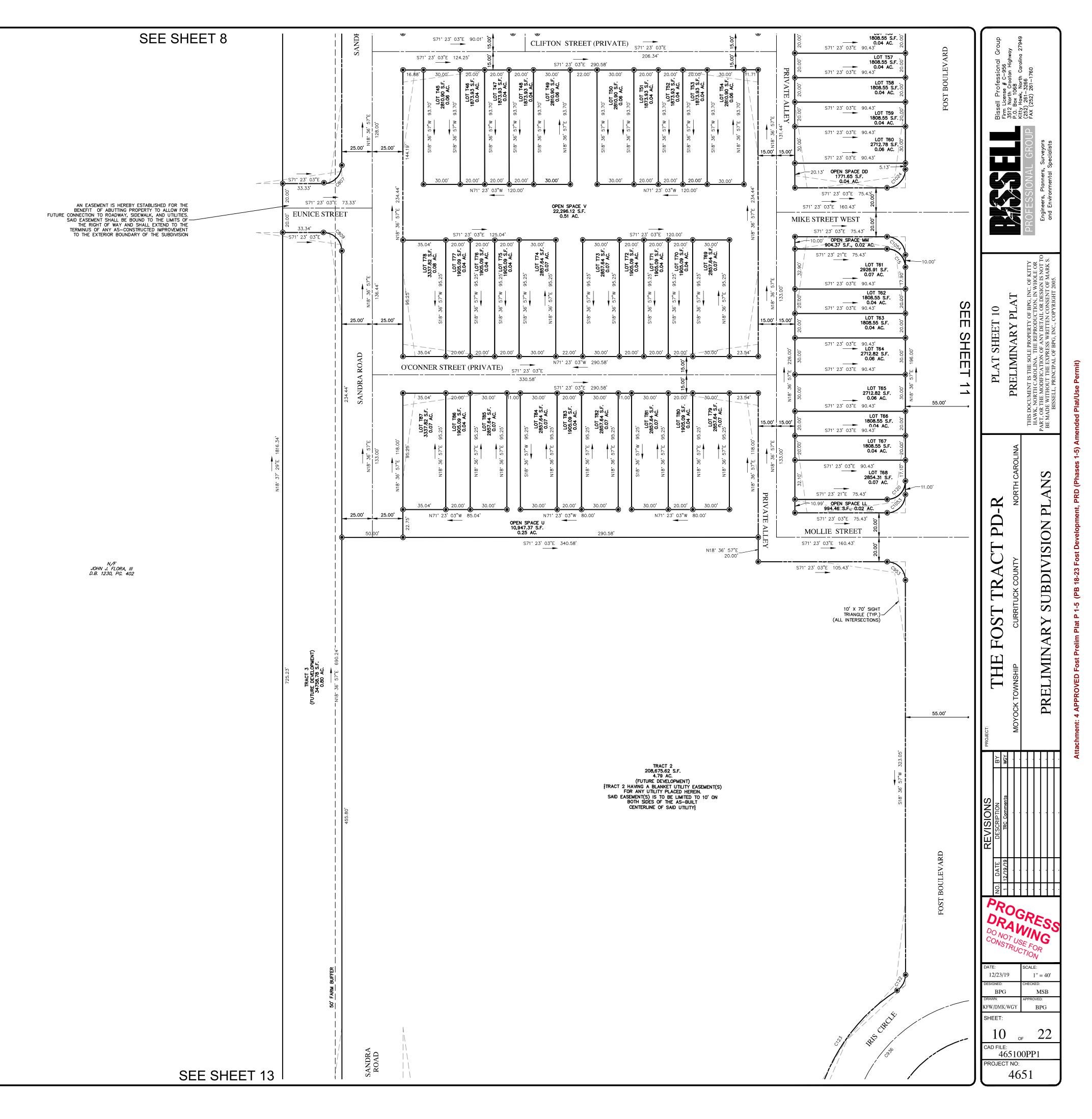




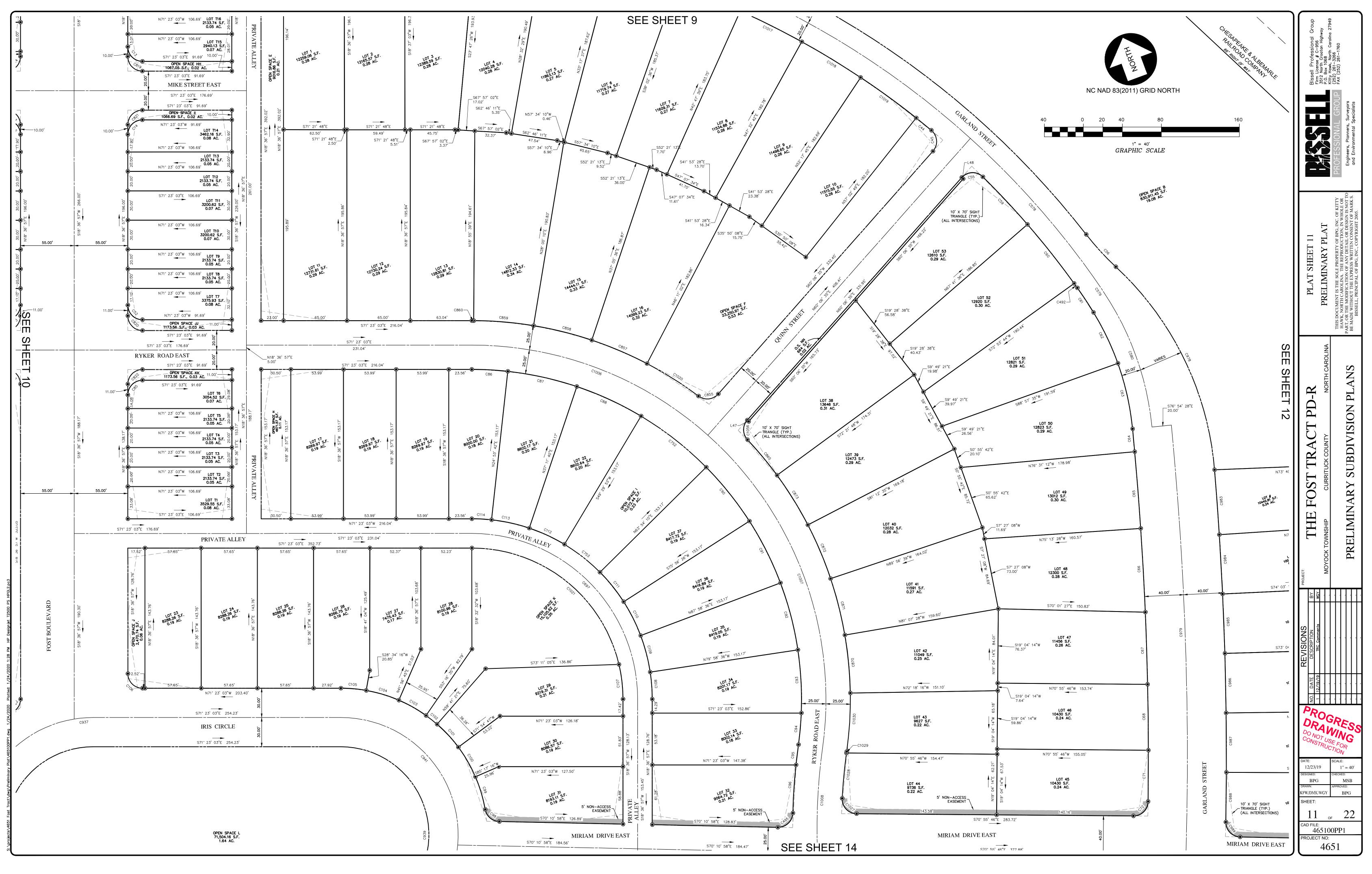


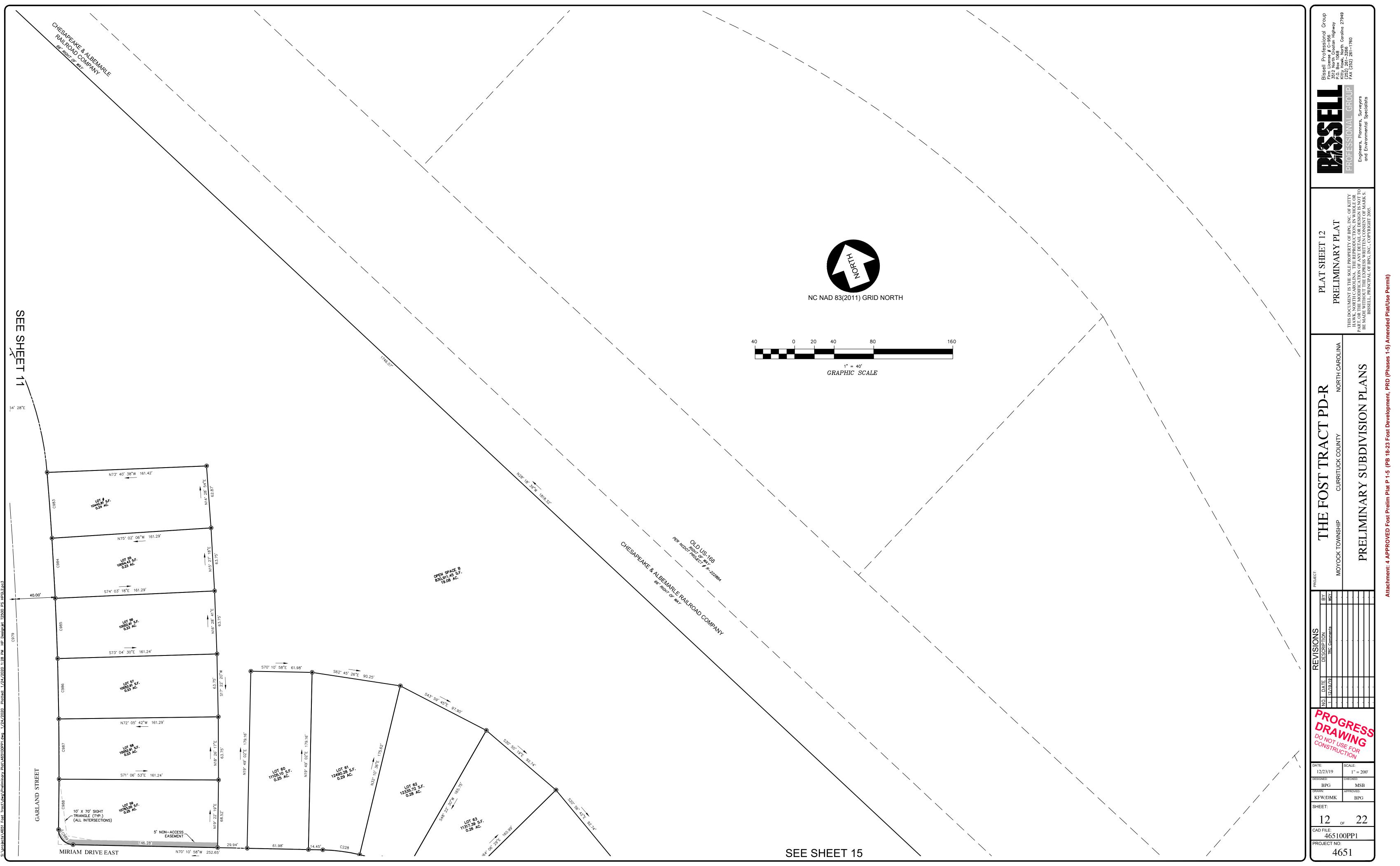


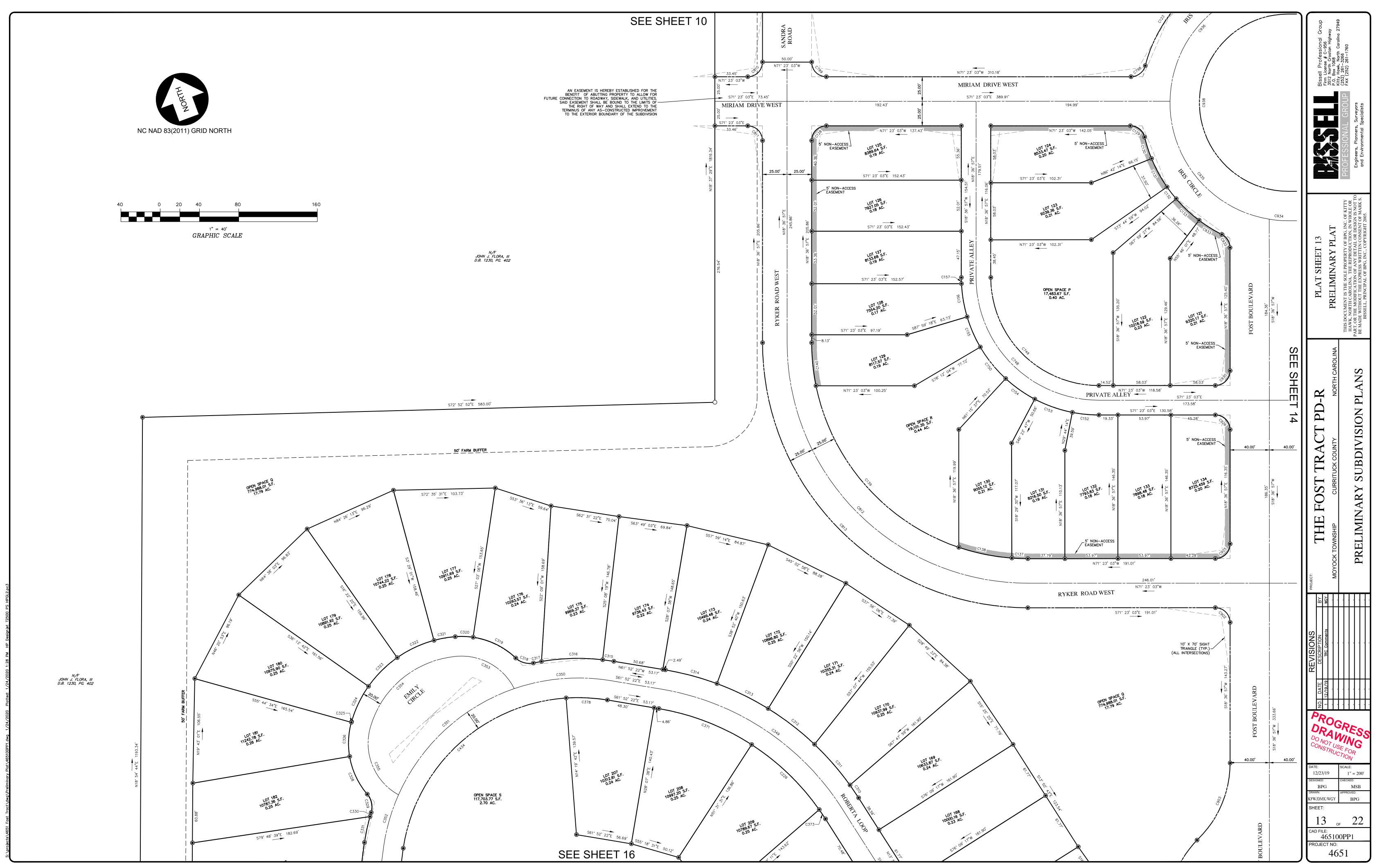
1" = 40' GRAPHIC SCALE



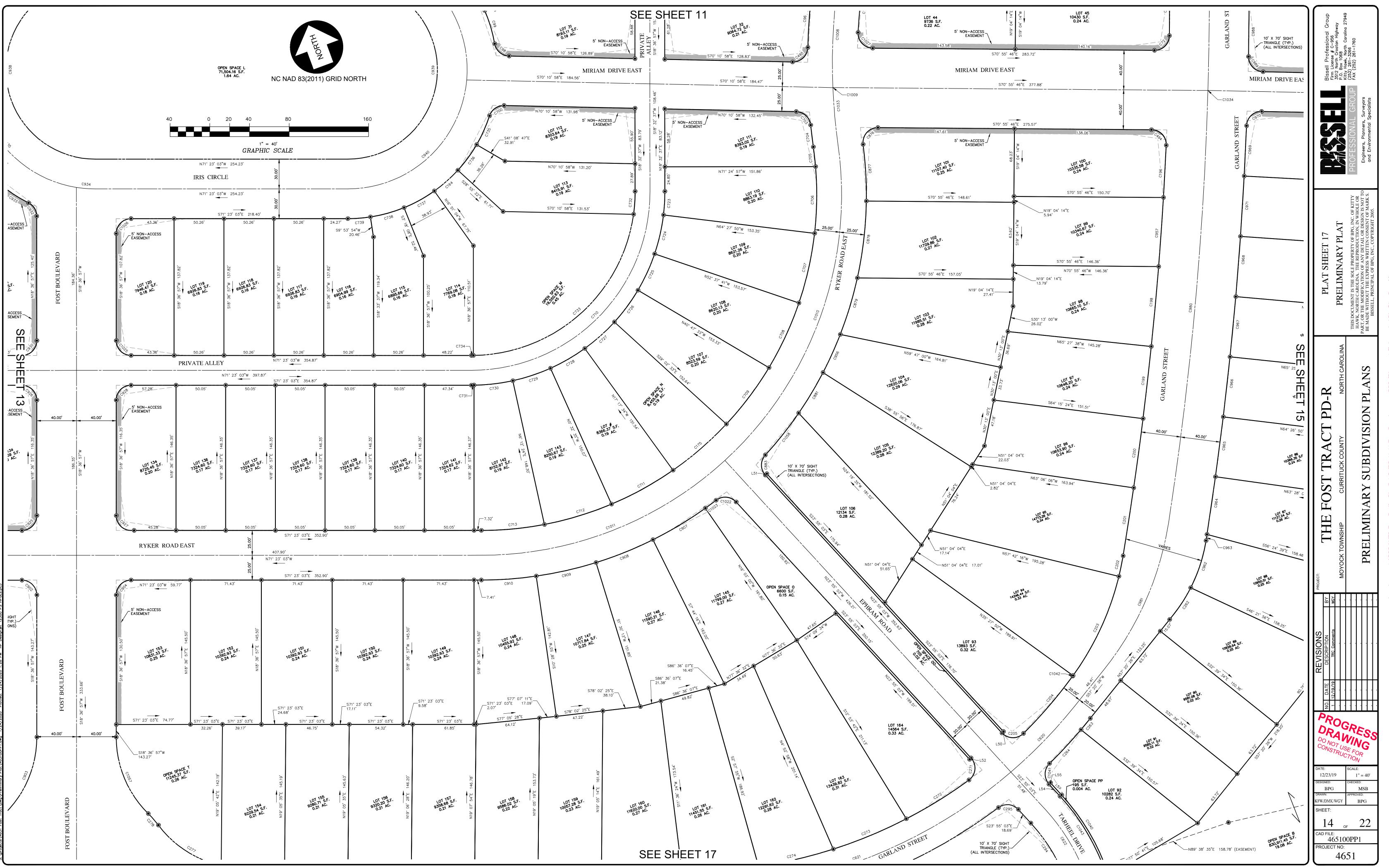
4.B.d





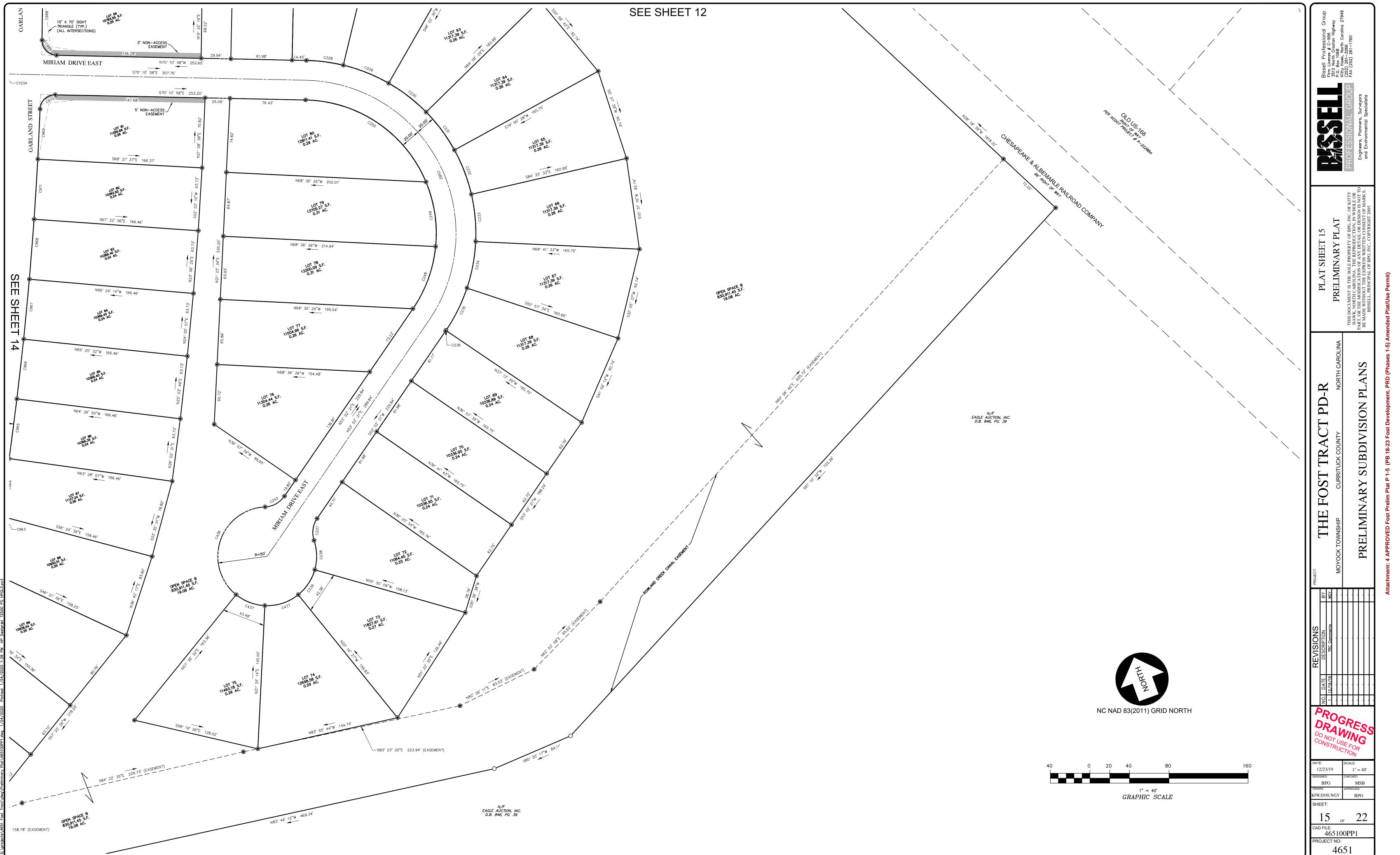


achment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Am

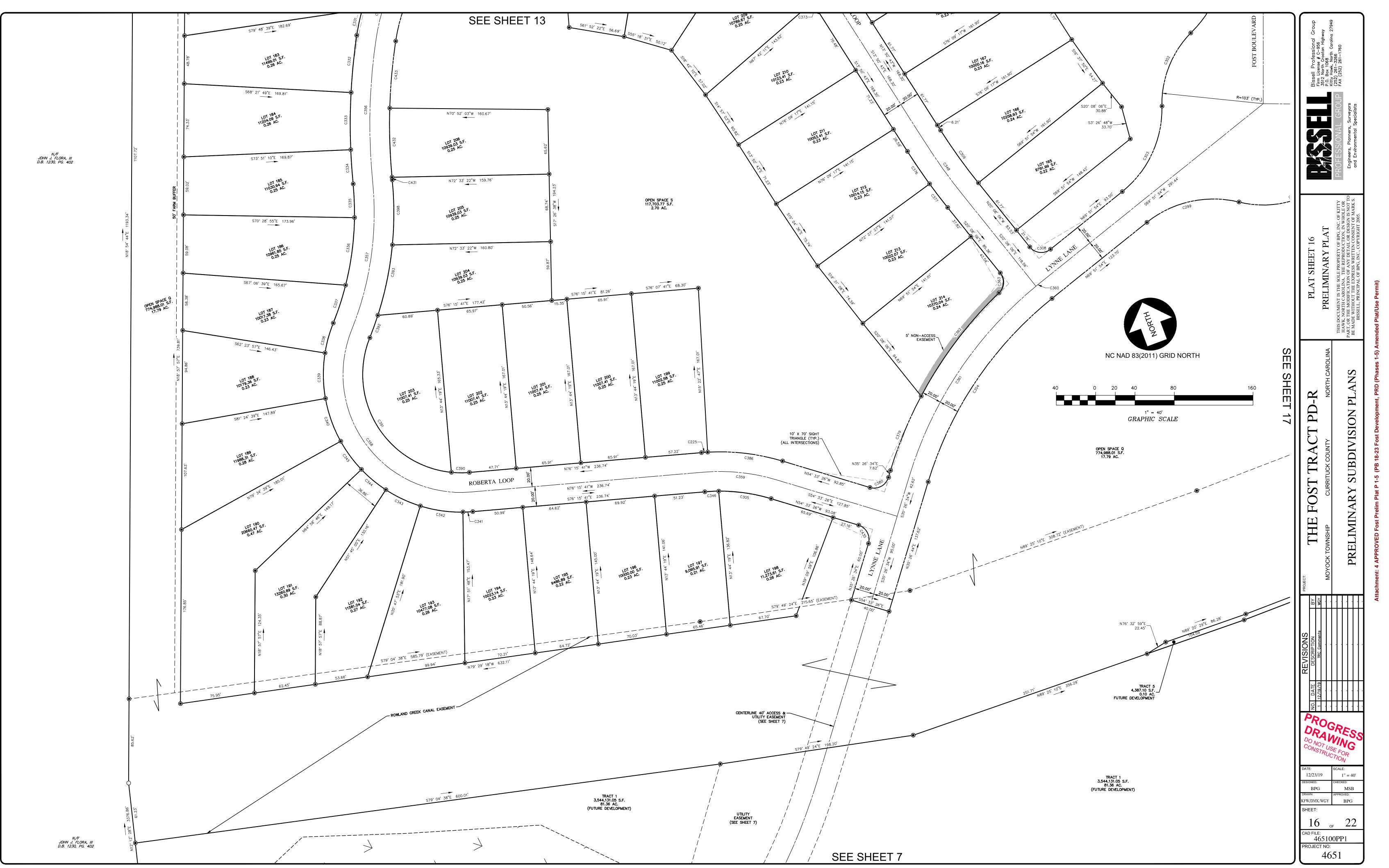


achment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amended I

4.B.d

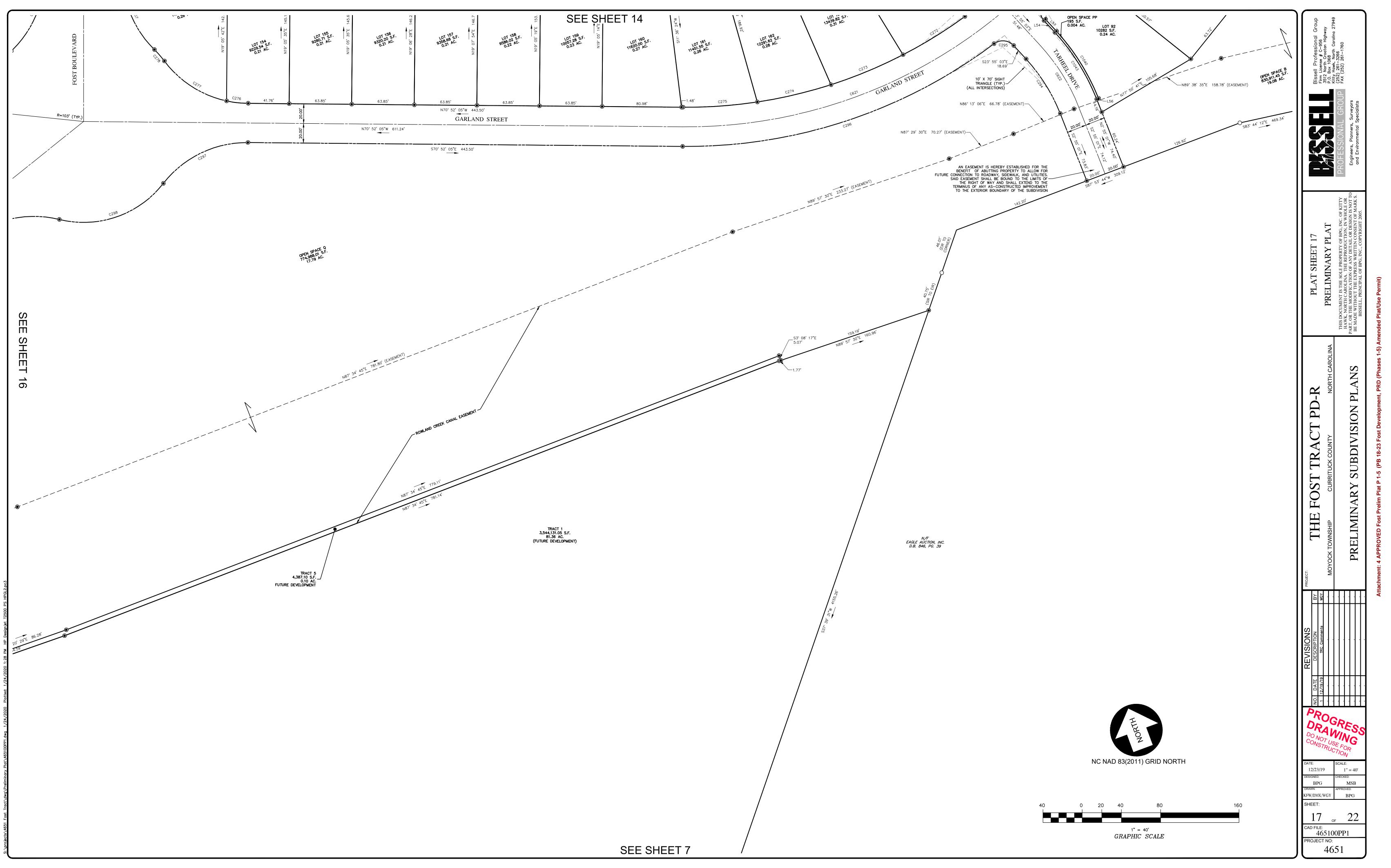


23 F. ੁ 1-5 \_ \_



ojects\4651 Fost Tract\dwq\Preliminary Plat\465100PP1.dwq 1/24/2020 Plotted: 1/24/2020 1:28 PM HP Designjet T2500 PS HPGL2.pc3





4.B.d

Cal2.7.7715.002.8418.120.0718.120.0718.120.07Ga4.8715.0017.43N35.75.20.779000007Cal2.3.5615.0021.218.5.3.56.779000007Cal2.3.5615.0021.218.5.3.56.779000007Cal2.3.5615.0021.218.5.3.56.779000007Cal2.3.5615.0021.218.5.3.56.779000007Cal2.3.5615.0021.218.5.2.3.579000007Cal2.4.0115.002.1.218.5.2.3.579000007Cal2.4.0115.002.1.3N14.15.1079000007Cal2.4.0115.002.1.3N14.2.67900007Cal2.4.12.9.001.4.7.8N3.2.07900007Cal2.4.12.9.001.4.7.8N3.2.07900007Cal3.5.418.001.7.8N3.2.07900007Cal4.5.101.7.8N3.2.071.9.07.071.9.07.07Cal3.5.11.7.8N3.2.071.9.07.071.9.07.07Cal4.5.101.7.11.7.11.9.07.071.9.07.07Cal3.7.28.5.018.6.2N1.7.71.7.11.9.07.07Cal3.7.23.45.97.8.0N1.7.171.7.171.7.17Cal3.4.13.7.11.7.11.7.171.7.17Cal3.7.63.7.13.7.11.7.171.7.17Cal3.7.6<			CU	RVE TA	BLE	
1202.2.8115.002.8.715.002.8.715.002.8.715.002.8.715.002.8.715.002.8.715.002.1.25.3.7 5.5.79.00000711118.8015.002.1.25.3.7 5.5.7"9.0000071212.3.5815.002.1.25.3.7 5.5.7"9.0000071312.3.5815.002.1.25.3.7 5.5.7"9.0000071312.3.5815.002.1.25.3.7 5.5.7"9.0000071342.3.5615.002.1.25.2.7 3.5.7"9.0000071352.3.5615.002.1.25.2.7 3.5.7"9.0000071352.3.5615.002.1.25.2.7 3.5.7"9.0000071352.3.5413.002.1.55.2.7 3.7"9.0000071352.3.5413.002.1.55.2.7 3.7"9.0000071352.3.5513.002.1.55.2.7 3.7"9.0000071352.3.5513.001.4.55.2.7 3.7"9.0000071352.3.5613.002.1.55.2.7 3.7"9.000071352.3.5613.001.4.55.2.7 3.7"9.000071352.3.5713.001.4.55.2.731.2.751352.3.571.5.001.3.71.2.751.2.751352.3.571.5.001.3.751.2.751.2.751363.1.69.0001.3.751.3.751.2.751363.1.69.0001.3.771.4.75	CURVE	LENGTH				DELTA
10.002.7.7715.004.94NP OT 5.7%1856'07'0.84.9715.007.41NS 50'5'1950'07'0.122.3.5615.007.121S.5.7'S'900'00'0.132.3.5615.002.121S.6.3'S'S'T"900'00'0.142.3.5615.002.121S.6.3'S'S'T"900'00'0.142.3.5615.002.121NS'S'S'S''900'00'0.142.3.5615.002.121NS'S'S''900'00'0.142.3.5615.002.121NS'S'S''900'00'0.152.3.5615.002.121NS'S'S''900'00'0.152.3.5615.002.124NS'S'S''900'00'0.152.3.5615.0117.24NS'S'S''900'00'0.152.3.5615.0117.24NS'S'S''900'00'0.152.3.5615.0117.24NS'S'S''900'00'0.152.3.5715.017.2.4NS'S'S''900'00'0.158.1.502.1.7NS'S''S''17.15''17.15''0.159.1.51''15.0117.24NS'S''S''17.15''0.159.1.51''15.0117.2''NS'S''S''17.15''0.159.1.51''17.15''17.15''17.15''17.15''0.153.1.51''17.15''17.15''17.15''17.15''0.153.1.51''17.15''17.15''17.15''17.15''0.153.1.51''17.15	C1	11.52	50.00	11.50	S28°05'45"W	13 <b>°</b> 12 <b>'</b> 15"
Res of the set of	C2	22.81	15.00	20.67	N65°03'17"E	87 <b>°</b> 07'19"
10002.3.5.615.0.017.1.48.3.5.2.6.7.*.900000°C1118.0.015.0.017.1.18.5.5.2.6.7.*.900000°C142.3.5.615.0.02.1.2.18.5.3.6.5.7.*.900000°C142.3.5.615.0.02.1.2.18.5.3.6.5.7.*.900000°C142.3.5.615.0.02.1.2.18.5.3.6.5.7.*.900000°C542.3.5.615.0.02.1.2.18.5.2.0.7.*.925.3.*.C552.4.7.115.0.02.1.2.18.7.2.0.7.*.900000°C556.4.12.0.0.04.1.28.7.2.7.0.*.900000°C556.4.115.0.02.1.2.18.7.2.7.0.*.900000°C566.4.12.0.0.04.1.28.7.2.7.0.*.900000°C566.4.115.0.02.1.2.18.7.2.7.1.*.12.0.2.7.1C566.4.15.0.04.1.28.7.2.7.1.*.12.0.2.7.1C566.4.15.0.04.1.2.18.7.2.7.1.*.12.0.2.7.1C566.0.14.1.55.0.01.1.7.4.*12.0.2.7.1C566.0.22.0.06.8.9N.1.7.1.7.1.*12.0.2.7.1C577.3.25.3.4.5.97.3.2.1.*.112.0.2.7.1C587.3.23.4.5.97.4.0.1N.1.7.4.*14.7.4.*C566.3.2.17.4.5.9N.1.7.4.*14.7.4.*C566.3.2.17.4.5.9N.1.7.4.*14.7.4.*C577.3.2.57.4.5.9N.1.7.4.*14.7.4.*C56	C3	27.77	15.00	23.97	S18°20'36"E	106°04'56"
118.6015.0017.33N35 S2 07%7101S3"C122.3.5615.0021.21S63 36 57%900000"C142.3.5615.0021.21N25 23 03"900000"C4442.71851.0121.21N25 23 03"900000"C4442.71851.0021.21N25 23 03"900000"C552.3.5615.0021.21N25 23 03"90000"C5524.3715.0021.21N25 23 03"90000"C5645.1428.00178.90N25 55 24"91403"C5645.1428.0015.9123.75 14"91403"C5824.3715.0012.81N25 20"11515"C5830.1045.1230.90N14 45 54"34917"C5830.50345.9035.50N13 '17 10"023'17"C5863.00345.9080.50N13 '17 10"023'17"C5674.50345.9075.20N17 47"170'17"C5774.50345.9075.10N13'14"170'17"C5875.00345.9075.10170'17"170'17"C5875.00345.9075.10170'17"170'17"C5875.0033.1774.00N14'14"170'17"C5875.0033.1774.00N25'15"170'17"C5875.0033.1774.00N25'15"170'17"C5875.0033.1774.00N25'15"170'17" <t< td=""><td>C8</td><td>4.97</td><td>15.00</td><td>4.94</td><td>N9°07'53"E</td><td>18<b>°</b>58'07"</td></t<>	C8	4.97	15.00	4.94	N9°07'53"E	18 <b>°</b> 58'07"
Classes <t< td=""><td>C9</td><td>23.56</td><td>15.00</td><td>21.21</td><td>S63° 36' 57"W</td><td>90<b>°</b>00'00"</td></t<>	C9	23.56	15.00	21.21	S63° 36' 57"W	90 <b>°</b> 00'00"
12.3561.5002.121S.27. S.37900000°C162.3.5615.002.1.21S.27. S.27. S.37900000°C444.2.718.51.014.2.70N.37. O'S.3791273'C522.3.5615.002.1.51N.4.4 F1 S.10"91242'8'C522.3.5615.002.1.21S.27. S.27. S'S.10'9120000'C538.2.5.4891.017.9.9N.5.5 S.2.3'S'S'9120'8'C556.6.11851.016.7.9N.4.4'S'S.1"9140'8'C566.6.21851.016.7.9N.4.4'S'S.1"9140'8'C566.6.21945.098.6.8N.5'S'S'S''9171'C566.6.21246.098.6.8N.5'S'S''9171''C567.9.21246.098.6.8N.6'S'S'S''1171'4''C567.9.21346.597.8.21N.14' B'S'A''1174'4''C567.8.2346.597.8.21N.14' D'S'A''1174'4''C567.8.2345.97A.14'N.6'S'S'''1171'4''C567.9.2345.977.9.2''N.15'S'''1171'4''C573.48.597.9.2''N.15'S'''1171'4''C587.9.2345.977.9.2''1202'''C597.9.2''345.977.9.2'''1202''''C543.7.57.9.4'''1203''''1203''''''''''''''''''''''''''''''''''''	C11	18.60	15.00	17.43	N35°52'07"W	71°01'53"
1142.3.5615.002.1.21S.5.3.6 S.7.W9.00.007C152.3.5615.002.1.21N.26' 2.3' 0.3'W2.75.3''C444.2.71851.012.1.21N.33' 0.2' 3.0'W2.75.3''C452.4.0115.002.1.31N.41' 15 10'Z9.00'0'0'C53823.541801.01799.90N.45' 56' 2.8'W3.73.5'B'C552.4.3715.0017.24N.14' 35' 10'W9.10'S'B'C566.6.8145.0017.24N.14' 42' 2.0'W151.2'B'C613.010451.253.029N.44' 35'W3.41'17'C625.7.982.80.005.7.88N.6'S'B' 2.0'W115'15''C636.9.062.80.907.8.2N.11'17'Y14'0'5'TC646.9.053.485.997.8.2N.11'17'Y14'0'T'C657.4.053.485.997.6.2N.15'T''Y11'14'YC666.7.523.485.997.6.2N.15'T'Y11'14'YC677.4.053.485.997.6.2N.15'T'Y11'14'YC686.7.523.485.997.6.2N.15'T'Y11'14'YC686.7.523.485.997.6.2N.15'T'Y11'14'YC686.7.523.485.997.6.2N.15'T'Y11'14'YC686.7.523.485.977.7.2N.15'T'Y11'14'YC767.4.053.7.577.7.4N.64'T'Y 3.7.8'11'14'YC767.7.63.8.177.2.4N.65'T'Y	C12	23.56	15.00	21.21	S63° 36' 57"W	90 <b>°</b> 00'00"
1012.3.5.15.0.2.1.21N26' 2.3' 0."9.100'00'C4442.71851.014.2.70N33' 0.2' 3."W2.52' 3."C552.4.3715.0021.21S26' 2.3' 0.3'9.00'00''C5524.3715.0021.78N73' 2.0' S."W9.30'08''C5644.1428.0045.09S23' 5.3' 14"9.14'03''C5866.81851.0167.99N44' 3.5' 2."W9.12'08''C5866.8185.0067.89N94' 2.0''1.12'18''C5966.8185.0067.89N19'4' 2.0''1.12'18''C6867.0067.89N16' 4.4' 5."C1.17'14''1.17'14''C6868.0068.29N16' 1.3'E'1.17'14''1.13'11''C6868.00345.9974.04N16' 4.7' 5E'1.13'01''C6867.52345.9774.04N16' 4.7' 5E'1.13'01''C7874.05345.9774.04N16' 4.7' 5E'1.13'01''C7874.05338.1774.40N16' 4.5' 3E'1.21'16''C7872.60338.1774.41N16' 3.5'''1.21'16'''C7872.60338.1774.42N16' 3.5'''1.21'16'''C7872.60338.1774.42N16' 3.5'''1.21'16'''C7872.61338.1774.44N16' 3.5'''1.21'16'''C7974.61338.1774.44N16' 3.5'''1.21'16'''C7974.61338.1774.44N	C13	23.56		21.21	S26° 23' 03"E	90 <b>°</b> 00'00"
AddAddAddAddAddAddAddC4524.0115.0021.31S26' 2.3' 0.3''90''o''C5323.3.415.001.21S26' 2.3' 0.3''93''o''C5423.3.515.001.21S26' 2.3'' 0.3''93''o''C5545.14280.0045.09S23' 5.3' 1.4''91''o''C5645.14280.0057.8N44' 3.3' 2.1''4''y''C5130.10451.2530.9N44' 45' 2.0''1''y''C6130.10451.2530.9N14' 45' 5.5''1''y'''C6369.06280.0057.88N6'' 1.3'''1''y'''C6423.59345.997.8.2N14' 47' 5.5''1''y'''C657.8.2345.997.8.2N14' 47' 5.5''1''y'''C6667.05345.997.8.2N15' 2.5''E1''y'''C7152.811450.002.1.1N16' 5.5''E1''y'''C7223.4815.002.1.6N15' 5.5''E1''y''''C7323.5415.002.1.6N16' 5.5''E1''y''''C743.38.177.4.4N64' 1.3''E1''y''''''C753.38.177.4.4N64' 1.3''E1''y''''''''''''''''''''''''''''''''''		23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
Cell24.0015.0021.35N14' 15' 0°E914'4'a'C5223.5615.0021.21S26' 23' 0.3"900'00'C53829.541891.01799.90N45' 56' 2E'W532' 0.5''C5524.371200021.78N73' 20' 61'L'914'02''C5666.81851.0166.79N24' 33' 2I'W422'S'S'C6077.27851.0177.24N19' 42' 2'W512'08''C6130.10452.5530.09N14' 45' 54'W349'17''C5257.98280.0057.89N16' 0'T'E'171'4''C6485.00280.0086.89N16' 0'T'E'171'4''C6578.82345.9978.82N14' 0'T'E'171'4''C6686.08345.9967.62N14' 0'T'E'171'4''C6774.05345.9967.62N14' 55' 65''130'1''C7823.5615.0021.16N64' 15' 35''675'''C7152.61338.1770.45N64' 51'''120'1'''C7823.56133.1770.44N8'' 55'''''120'1'''C7971.05338.1770.44N8'' 55'''''''120'1''''C7971.05338.1770.44N8'' 55'''''''''''''''''''''''''''''''''			15.00		N26°23'03"W	90°00'00"
CS22.3.5.15.002.1.21S2C 2.3' 0.3'E9.00000CS3829.54891.01799.00NAS 562 28"N5.32' 0.3'TCS524.3715.0017.84NJ3' 20' 51"N9.375'02"CS645.14280.007.24N14' 45' 54"N349'17"CS677.27851.0177.24N14' 45' 54"N349'17"CS677.28280.0057.88NS'5' 20"N115'5'1"CS669.06280.0067.89NS'5' 20"N117'4'CS669.08345.9976.20N13'1'1'0E117'4'CS668.08345.9976.20N13'1'1'0E117'4'CS667.52345.9976.20N13'1'1'0E117'4'CS667.52345.9976.20N15'5'5'E113'0''CS774.05345.9021.61N16'5'5'E113'0''CS867.5215.0021.61N16'5'5'E113'0''CS877.60338.1777.40N55'5'E120''C''CS977.60338.1770.41N55'5'E120''C''CS970.01338.1770.41N55'5'E120''C''CS971.05338.1770.41N55'5'E120''C''CS971.05338.1770.41N55'5'E120''C''CS971.05338.1770.41N55'5'E120''C''CS971.05338.1770.41N55'5'E120''C''CS971.05338.1770.41 <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>						
CSNS29.94B91.01799.90NA5' S6' 2"NS32' S3'CSS24.3715.0021.78N73' 20' 51''N93'05''N'CSS66.8185.0167.90N24' 33' 21''N4'29''S'CSD66.8185.0167.90N14' 4''S' 5''N3'49''N'CSD57.98280.0057.88N8' 5''S''N'115''S''CSD69.00280.0068.89N8' 0'' 3''N'117''S''CSD78.823485.9978.60N15''S'''S'''117''S''CSD78.823485.9974.04N16''S''S'''117''S''CSD74.053485.9074.04N16''S''S'''117''S''CSD74.053485.9074.04N16''S''S''''100''S''CSD74.053485.9074.04N16''S''S''''100''S'''CSD74.053485.0021.21N56''S'''100''S'''CSD51.5021.21N56''S''''121''S'''CSD51.5021.21N56''S''''''''''''''''''''''''''''''''''	- / -					
CSS24.3715.0021.78N73' 20' 51"930' 08'CSS45.14280.0045.0923.3' 5.3' 14"914' 09'CSS66.81851.0167.24N19' 42' 20''N472' 53''CSS77.27851.0077.24N19' 42' 20''N3'49''T'CSS57.82280.0057.88N5' 55' 20''N1'15''s''CSS69.00280.0068.89N6' 0' 34''E1'0''5''CSS78.82345.9978.82N14' 0' 70'E1'17'4''CSS66.08345.9976.20N15' 25' 55'E1'13''1'CSS66.08345.9976.20N15' 25' 55'E1'13''1'CSS67.52345.9967.52N15' 25' 55'E1'13''1'CSS345.9971.04N16' 13' 35'E894'10'CSS353.1772.45N18' 55' 5E'E0'51'5''CTS23.56150.0221.16N64' 13' 35'E894'10'CSS72.64338.177.24N46' 31'4'E1'20'2'B'CSS72.64338.177.04N56' 51'E1'20'2'B'CSS73.817.04N56' 51'E1'20'2'B'CSS73.817.04N56' 51'E1'20'2'B'CSS73.817.04N56' 51'E1'20'2'B'CSS73.817.04N56' 51'E1'20'2'B'CSS73.817.04N56' 51'E1'20'2'B'CSS73.817.04N56' 51'E1'20'2'B'CSS73.8						
C5045.14280.0045.09S.23' S.3' I.*E914'09'C5066.81851.0166.79N.24' 33' 21"W4'29'S3'C6077.27851.0177.24N19' 42' 20"W512'08''C6130.10451.2530.09N14' 48' 54"W3'49'17'C6257.88280.0057.88N6'63' 20"W115'15''C6423.592845.998.82N14' 07' 40"E117'44"C6686.083'455.9986.28N15' 21' 55"E1'24'54"C6774.053'458.9967.02N15' 21' 55"E1'13'01''C6867.523'458.9974.04N16' 47' 54"E1'06'35''C7152.611348.0052.61N15' 35' 55"E1'21' 54"C7223.4815.0021.21S63' 35' 57"W90'0'0'0'C8667.02338.177.04N63' 10"W1'21' 64"C8772.60338.177.04N63' 51"E1'21' 64"C8771.053'38.177.04N63' 51"E1'20' 21''C9071.05338.177.04N63' 51"E1'20' 21''C9171.04338.177.04N5' 51"E1'20' 21''C9271.07338.177.04N5' 51"E1'20' 21''C9365.0435.005.04' 53' 52"1'13' 53''C9449.4862.004.94'N5' 51'E1'20' 21''C9365.0415.025.005.15' 53''1'32'29''C94						
Ceb66.8851.06.7.2851.0177.24N19' 42' 20''472/36''Ceb77.27851.0177.24N19' 42' 20''812/08''Ceb30.10451.2530.09N4' 46' 54''3'49'17''Ceb27.98280.0057.88N6' 58''20''1115''15''Ceb78.823485.9978.82N14' 07' 40'E117'44''Ceb86.083485.9986.08N15' 25' 58'E124'54''Ceb74.053485.9967.20N16' 47' 56'E10'50''Ceb74.053485.0967.20N16' 47' 56'E10'50''Ceb37.06338.177.40N64' 55' 56''9'00'00''Ceb77.26338.177.40N64''51''12'16'''Ceb72.60338.177.41N64'''12'16'''Ceb72.61338.177.44N65' 51'''12'0''''Ceb71.04338.177.44N5'' 51'''12'0''''Ceb72.61338.177.44N5'' 51''''12'0''''Ceb71.04338.177.44N5'' 51'''12'0''''Ceb72.61338.177.44N5'' 51'''12'0''''Ceb72.61338.177.44N5'' 51'''12'0''''Ceb71.04338.177.44N5'' 51'''13'2''''Ceb72.61338.177.44N5'' 51'''13'2''''Ceb72.6152.6113'''''13'''''''''''''''''''''''''''''						
Cell77.2851.077.24N19' 42' 20''512/08''G6130.10451.2530.09N14' 48' 54''3'49'17'G6257.98280.0067.88N6' 56' 20''115'51''G6366.00280.9067.88N6' 51' 34'E14'05'57'G6423.593455.9986.08N15' 21' 52'E1'17'44''G6567.823455.9967.82N16' 27' 56'E1'13'01''G6467.523455.9967.82N17' 57' 44'E1'06'35''G7152.61338.1772.46N64' 13' 36' 57''9'00'00'G8677.00338.1772.44N64' 31' 36' 57''9'00'00'G8677.00338.1772.44N64' 31' 36'' 57''1'21' 66''G9171.04338.1770.94N8' 52' 57'E1'21' 66''G9365.04338.1770.94N8' 53' 14''E1'21' 66''G9471.04338.1770.94N8' 53' 14''E1'13' 14''EG9520.9162.0020.94N2'' 53'' 57''E1'23' 68''G9563.04150.2850.03S1'' 53'' 57''E1'23' 26''G9520.9162.0020.94N2'' 53'' 57''E1'23' 26''G9563.04150.2830.04S6'' 14''H'1'31' 22''E'G9563.04150.2830.04S6'' 14''H'1'31' 22''E'G9563.04150.2830.04S6'' 14''H'1'31' 22''E'G9563.05150.28						
Cel30.00451.2530.09N14 48 5 s/m34917C6257.88280.0057.88N6 58 20°M115151C6369.06280.0068.89N6 01' 34"E14'07'57'C6423.593485.9978.82N14'07' 40"171'4'C6686.083485.9978.62N16' 27' 56"E113'01"C6774.053486.0962.10N16' 47' 56"E173'01"C7152.613486.0022.11N16' 47' 53"E89'41'10"C8867.52348.1721.12S53'36' 57"F90'0'0'0"C8037.06338.177.04N86' 9' 14' 41"E121'16''4C887.261338.177.04N85' 9' 16"F121'0'1"C9071.05338.177.04N85' 9' 16"F120'2'1"C9171.04338.177.04N15' 31' 42"E100'1'1"C9271.07338.177.04N15' 31' 42"E100'1'1"C9365.0415.0012.01N25' 51'E120'2'2"C944.862.002.01N25' 51'E120'2'2"C952.0162.002.01N25' 51'E132'2'2"C964.9415.023.04N15' 31'4'E132'2'2"C9735.0815.023.04S1'1'2' 55''5'132'2'2"C9335.0415.023.04S1'1'2' 55''5'132'2'2''C944.815.023.04S1'1'2' 55''5'132'2'2''C93						
Ce2S7.9828.000S7.88Net S5' 20"W115'15''C6123.993485.99Z3.59N13'17'10"EQ23'16"C6578.823485.99R.82N14'07'40"E117'44"C6667.053485.9986.08N15'28'58"E124'54"C6774.053485.9967.52N17'57'44"E106'35"C7152.613485.0967.52N17'57'44"E106'35"C7223.4815.0021.16N46'13'39"E89'4'10"C8523.5615.0021.21S55'36'57"W90'00'0"C8637.06338.177.24N56'57'E12'18'0"C8772.60338.177.24N56'51'E12'18'0"C9071.05338.177.24N56'51'E12'18'0"C9171.04338.177.24N56'51'E12'18'0"C9271.07338.177.25N23'47'52'5'3'10"C9365.04338.177.25N23'47'52'5'3'10"C9443.8062.009.44'N55'51'E12'12'2"C950.9162.029.20'17'E4'34'2"C982.0415.0212.02N15'3''A''E13'22'2"C1033.2015.023.00S11'2'3'SE'13'22'2"C1043.5015.023.00S11'2'3'SE'13'2'2'E'C1032.0415.023.00S11'2'3'SE'13'2'2'E'C1043.5015.023.01S14'4'2'E'						
66369.0628.0.068.99N6 01 34*E14*07's7'66423.59348.59923.59N13' 17' 10'E0'23'18''67578.62348.59978.62N14' 07' 40'E117'44''67674.05348.59974.04N16' 47' 56''11''3'0''67867.52348.59967.52N17' 57' 44''10'5'5''67223.4815.0021.16N64' 13' 39'E89'4'1'0''68623.5615.0021.21S63' 36' 57''90'0'0''68672.6033.177.04S68' 14' 41'E616' 47''67972.6033.177.04N8'C 2' 28'''12''0'''63071.05338.177.04N8'C 2' 28'''12''0'''63165.04338.177.04N3''5' 51''E12''2'16''6327.07338.177.04N3''5' 51''E12''2'16''63365.04338.176.94N15''3' 14''E11''1''1''63432.5733.8176.94N15''3' 14''E13''1''1''63520.9162.002.01''N2''5''5'''13''2''2''63649.4615.0016.02S1''5''''13''2''2''63515.023.00S1''5''''''''''''''''''''''''''''''''''						
No. 1.0.						
Res78.82N14' 07' 40"117'44'C6686.08348.5986.08N15' 26' 59"124'54'C6774.05348.5967.52N17' 57' 44"106'35"C7152.61348.0052.61N18' 56' 58"99'41'0'C8523.5615.0021.16684' 13' 39' 57"90'0'0'C8533.5015.0021.16685' 14' 4""6'16' 49"C8772.60338.1772.42865' 14' 4""6'16' 49"C8872.61338.1772.47N46' 39' 10"12'10' 09'C9071.05338.1770.94N3' 59' 51"E12'02'29"C9171.04338.1770.94N3' 59' 51"E12'02'29"C9365.04338.1770.94N3' 59' 51"E12'02'29"C9365.04150.0220.1N2' 53' 27"E15'5' 53''C949.5020.9162.0020.1N2' 53' 27"E15'5' 53''C9520.9162.0020.1N2' 53' 27"E15'2'2''C9649.4862.0020.1N2' 2' 3'''13'2'2'''C9735.08150.2830.00S1' 12'' 5'''13'2'2'''C9820.94150.2830.00S1' 12'' 5'''13'''''C9135.08150.2830.00S1' 12'' 5'''13''''''C10135.08150.2830.00S1' 44' 29''13'''''''C10224.41150.0130.00S4' 44' 29''13''''''''''''''''''''''						
6668.0.80348.5.998.0.80N15' 28' Sept11'3'0''67774.05348.5.9974.04N16' 47' Sept11'3'0''67852.61348.5.002.1.61N15' 56''SE''10'5'S''67152.61348.5.002.1.61N64' 13' 39''89'4'1'0''6852.3.6515.002.1.21S53''S6''S'''90''0'0''68637.06338.177.4.61N56' 57' 16''12''16''a''678772.80338.177.4.7N45' 39' 10''12''16''a''679171.05338.177.0.4N56' 51''E'12''22''8''679171.05338.177.0.4N3''50' 51''E12''22''8''679365.04338.177.0.4N3''50' 51''E12''22''8''679432.57338.173.2.6N2''2''4'''13''2''E'67952.0.9162.009.0.91N2''2''5'''13''2''E'67943.2.57338.173.2.6N2''4'''E'13''2''E'67952.0.9162.009.0.91N2''2''E'13''2''E'67953.0.6115.0.23.0.0S1''5''3'''13''2''E'67963.0.8115.0.23.0.0S1''5''3'''13''2''E'67073.0.6115.0.23.0.0S1''5''3'''13''2''E'67163.0.6115.0.23.0.0S1''5''3'''13''2''E'67173.0.6115.0.23.0.0S1''5''5''13''2''E'67163.0.615.0.7 </td <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>						
Cert74.053485.9974.04N16' 47' 56"E11'3'0''C6867.523486.0052.61N17' 57' 44"E106'3''C7152.613486.0052.61N18' 56' 56"E0'51'3''C7223.4815.0021.11S53' 36' 57"W90'0'0'0'C8637.06338.1772.46N58' 57' 16"12'18'0''C8772.60338.1772.44N58' 57' 16"12'18'0''C8872.61338.1770.94N5' 53' 16"12'18'0''C9071.05338.1770.94N5' 53' 12"12'18'0''C9171.04338.1770.94N5' 53' 12"12'0'2'8''C9365.04338.1770.94N5' 53' 12"12'0'2'8''C9432.57338.1732.56N23' 47' 52"5'3'0'''C9520.9162.009.94N2' 53' 52''E13'2'2'8''C10035.0815.0235.00S1' 53' 3'W'13'2'2'8''C10132.0615.0230.00S1' 53' 3'W'13'2'2'8''C10214.48150.2832.00S4' 4' 2'E'13'2'2'8''C10332.0615.0232.00S4' 4' 2'E'13'2'2'8''C10435.8615.0031.91''S5' 4''4''13'2'2'8''C1052.1115.022.60S6' 24' 2'A''9'5'0'0''C1062.5115.0031.91''S5' 4'''8'''13'2'2'8''C1073.5615.00'''31.91'''13'2'8''						
68867.52N7. 57. 44"106/35"17152.613486.0052.61N18. 56/58"0/51/31"17223.4815.0021.16N64.13' 39"89'41'0"178.523.5615.0021.21S63' 36' 57"90'00'0"178.637.00338.177.44N58' 57' 16"91'0'0'1"178.637.01338.177.44N58' 57' 16"12'18'0'4"178.672.60338.177.04N8'0'2' 29"12'0'1"179.7338.177.04N3'50' 51"12'02'18"170.7338.177.04N3'50' 51"12'02'18"170.832.57338.1732.66N2'3' 47' 52"5'3'10"179.432.57338.1732.66N2'3' 47' 52"15'5'8"179.52.0.9162.009.41N2'2' 20' 17"4'3'2'1"179.432.57338.1732.66N1'3' 3'5' 4'1"15'2'2'8"170.62.0.9162.009.41N2'2' 20' 17"4'3'2'1"179.52.0.9162.009.41N2'2' 20' 17"15'2'8"170.635.0815.0235.00S1'13' 3'6'1"13'2'2'8"171.735.8115.0232.00S4'14' 29"13'2'2'8"171.635.8615.0032.61S1'14' 20'14"5'14'14'171.735.8615.0035.7413'12'8'14'15'171.635.8615.0037.75S1'14'8' 5'3'8'13'12'8'14'5'171.638.8618.						
152.613486.0052.61N18' 56' SE"0'51'S"C7223.4815.0021.16N64' 13' 39"69'41'10"C8523.5615.0021.21S63' 36' 57"90'00'00"C8637.0033.177.04N68' 57' 16"121'8'04"C8772.6033.177.04N86' 57' 16"121'8'04"C8872.6133.8177.04N86' 59' 16"121'8'04"C9071.0533.8177.04N8' 02' 29"12'0'2'18"C9156.0433.8176.49N15' 31' 42"12'0'2'8"C9271.0733.8176.49N15' 31' 42"12'0'2'8"C9432.5733.8176.49N15' 31' 42"13'2'1"C952.09162.002.091N2'3' 33' 13'13'2'2'2'8"C9649.4862.009.41'N2'2' 20' 17"4'3'2'1"C9335.0815.023.00S1'5' 5''3'13'2'2'3'C10435.0815.023.00S1'5' 5''3''13'2'2'3'C1052.61115.022.60S6' 42' 42''13'2'2'3'C1043.5015.003.14''S5' 5''1'13'2'2'3'C1052.61115.022.612S6'' 42''2''13'2'2'3'C1062.35615.003.76N1''5''14''13'1'2''C1052.61115.002.77S1''16''5' 3'''13'2'2'''C1043.8615.003.78S1''16''5' 3''''13'2'2'''' <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>						
C7223.4815.0021.16N64' 13' 39"E89'4'10"C8523.5615.0021.21S63' 36' 57"W90'0'0'0'C8637.0633.81772.40N58' 57' 16"W1218'0'4"C8872.6133.81772.47N46' 39' 10"W1218'0'4"C8071.0533.81770.24N20' 04' 42"W12'02'1"C9171.04338.1770.94N3' 59' 15"E12'02'18"C9271.0733.81770.94N3' 59' 15"E12'02'28"C9365.0433.81765.04N23' 47' 52"E15'5' 58"C9449.4862.002.91N25' 35' 27"E17'5' 58"C952.0.9162.002.94N22' 20' 17"E4'3'4'1"C9820.6415.0019.05S30' 45' 36"E12'12'2"C10035.08150.2835.00S1' 23' 35' 31"W13'22'2"C10132.06150.2832.00S4' 15' 55' 2"E12'13'2"C10214.48150.2832.00S4' 14'S' 55' 2"E12'12'E"C10332.06150.2832.00S4' 42' 25'E13'22'E"C10435.08150.2835.00S5' 54' 43''E"13'12'E"C1052.61.1150.2832.00S4' 42'E'E13'12'E"C1062.7.7185.0037.79S5' 54' 43''E"13'12'E"C10735.86155.0037.79S5' 54' 43''E"13'12'E"C1082.7.7185.0037.79S						
CBS23.5615.0021.21SG3 36 57"900000CB637.0633.81.737.04S68 14 41"E616'46"CB772.6033.81.772.46NS6'57'16"W1218'09"CB372.6133.81.772.47N46'39'10"W1218'09"CB171.0533.81.770.94N3'02'29"W12'02'18"CB171.0733.81.770.94N3'02'29"W12'02'18"CB171.0733.81.770.94N3'03'142"E11'01'13"CP365.0433.81.764.94N15'31'42"E11'01'13"CP432.5733.81.725.68N23'47'52"E53'07"CP520.9162.00049.47N22'20'17"E4'34'21"CP320.6415.0019.05S30'45'36"E1752'29"CP335.08150.2835.00S1'12'3'58"E13'22'29"CP335.08150.2835.00S1'12'3'58"E13'22'29"CP1035.08150.2835.00S1'12'3'58"E13'22'29"CP1035.08150.2835.00S4'14'2"E13'22'29"CP1035.08150.2835.00S4'14'2"E13'22'29"CP1035.08150.2835.00S4'14'2"E13'22'29"CP1035.68150.0037.7S4'14'14'85'31'0"CP1035.68150.0037.7S1'14'15'57"3'15'29"CP1035.86150.0037.7S1'14'15'57"12'15'15"						
Cele37.06338.1737.04S68'14' 41"E6'16'46"C8772.60338.1772.46N55'57 16"W12'16'04"C8872.61338.1770.24N46'39'10"W12'16'04"C9071.05338.1770.94N3'59'51"E12'02'8"C9171.07338.1770.94N3'59'51"E12'02'8"C9271.07338.1770.94N3'59'51"E12'02'8"C9365.04338.1764.94N15'31'42"E11'01'3"C9432.57338.1732.56N23'47'52"E5'3'10"C9520.9162.0009.47N22'20'17"E4'3'2'1"C9820.6415.0019.05S30'45'36"E17'5'28"C10035.08150.2835.00S1'58'31'W13'22'9"C10132.06150.2832.00S1'14'S'53'E12'13'26"C10214.48150.2832.00S1'4'4'29"E12'13'26"C10332.06150.2832.00S4'4'4'29"E13'22'9"C10435.08150.2832.00S4'4'4'29"E13'2'2'9"C10526.11150.2832.00S4'4'4'29"E13'2'2'9"C10435.08150.2832.09S54'44'29"E13'2'2'9"C10526.11150.2037.68S6'4'4'2"E13'2'2'9"C10623.56150.0037.68S6'4'4'2"E12'12'1"C10735.86150.0037.75S1'4'15'5'3"31'2'1'9" <trr< td=""><td></td><td></td><td></td><td></td><td></td><td></td></trr<>						
C8772.60338.1772.46N56' 57' 16"W1218'04"C8872.61338.1772.47N46' 39' 10"W1218'09"C9071.05338.1770.92N20' 04' 42"W1202'16"C9171.07338.1770.94N3' 59' 51"E1202'28"C9365.04338.1764.94N15' 31' 42"E1110'13"C9432.57338.1732.56N23' 47' 52"E5'31'07"C9520.91620.009.47N22' 20' 17"E4'34'21"C9820.6415.0019.05S30' 45' 36"E175'58"C9935.08150.2835.00S1' 23' 58"E123'28"C10035.08150.2835.00S1' 23' 58"E123'28"C10132.06150.2832.00S4' 15' 56"E121'328"C10214.48150.2832.00S4' 15' 56"E121'328"C10435.08150.2832.00S4' 15' 56"E121'328"C10526.11150.2835.00S1' 44' 29"E13'22'29"C10623.56150.0235.78N11' 59' 14"E31'52'6"C10735.86150.0035.78N11' 59' 14"E31'52'6"C10827.77185.0037.6S5'4' 44' 29"E12'2'2"C10938.86185.0038.79S5'9' 43"W12'0'2'1"C11038.86185.0038.79S5'9' 43"W12'0'2'1"C11138.77185.0038.69S6'2' 24"E12'0						
C8872.61338.1772.47N46' 39' 10"W12'16''O'C9071.05338.1770.92N20' 04' 42"W12'02'16"C9171.07338.1770.94N3' 59' 51"E12'02'26"C9365.04338.1764.94N15' 31' 42"E11'01'13"C9432.57338.1732.56N23' 47' 52"E5'31'07"C9520.91620.000.91N25' 35' 27"E155'58"C9649.48620.0049.47N22' 20' 17"E4'34'21"C9820.6415.0235.00S1' 58' 31"W13'22'29"C10035.08150.2835.00S1' 12'3'58"E13'22'29"C10132.06150.2832.00S24' 11' 56"E12'13'26"C10214.48150.2832.00S4' 44' 29"E13'22'9"C10332.06150.2835.00S54' 44' 29"E13'22'9"C10435.08150.2835.00S54' 44' 29"E9'3'2'0"C10526.11150.2835.00S54' 44' 29"E13'12'8"C10435.86150.0035.76N11' 59' 14"E13'15'2"C10526.11150.2835.07S3' 59' 43"W12'02'12"C10623.56150.0035.76S4' 43'29"E12'02'12"C10735.86150.0035.75S4' 44'29"E12'02'12"C11038.86185.0035.75S4' 44'29"E12'02'12"C11038.86185.0035.75S4' 44'2						
Code71.05338.1770.92N20 ° 4.2°", 12°C1'n°Code71.04338.1770.91N8 ° 02' 29°", 12°C1'n°Code71.07338.1770.94N3' 59' 51°E12°C2'8°Code65.04338.1764.94N15' 11' 42°E1101'13°Code32.57338.1732.56N23' 47' 52°E5'31'07'Code49.4862.00049.47N22' 20' 17°E4'34'21°Code49.4862.00049.47N22' 20' 17°E4'34'21°Code49.4862.00049.47N22' 20' 17°E4'34'21°Code35.08150.2835.00S1' 45' 36°E75'5'8'Code35.08150.2835.00S1' 45' 36°E12'2'2'8'Cito35.08150.2835.00S1' 12' 56'E12'12'8'Cito32.06150.2832.00S4' 44' 29°E12'12'8'Cito32.06150.2835.00S6' 4' 44''890'0'0'Cito35.68150.0037.70S14' 18' 53'W13'2'2'8'Cito35.6615.0037.70S14' 18' 53'W13'2'2'8'Cito35.6615.0037.70S14' 18' 53'W13'2'2'8'Cito35.8615.0037.70S14' 18' 53'W13'2'2'8'Cito35.8615.0037.70S14' 18' 53'W12'0'1'8'Cito35.8615.0037.70S14' 18' 53'W12'0'1'8'Cito35.8715.8037.70S14' 18' 53'W <td< td=""><td></td><td></td><td></td><td></td><td></td><td></td></td<>						
C19171.04338.1770.91N8'02'29"W12'02'14"G2271.07338.1770.94N3'59'51"E12'02'28"G3365.04338.1764.94N15'31'42"E11'01'13"G9432.57336.1732.56N23'47'52"E5'31'07"G9520.9162.00020.91N25'35'27"E1'55'8"G9649.4862.00049.47N22'20'17"E4'34'21"G9820.6415.0019.05S30'45'36"E78'50'43"G10035.08150.2835.00S1'58'31"W1'3'22'9"C10132.06150.2835.00S1'1'3'58"E1'2'2'9"C10214.48150.2832.00S4'1'56'32"E1'2'1'2"C10332.06150.2832.00S4'1'56'32"E1'2'1'2"C10435.08150.2835.00S54'44'29"E1'3'2'2'9"C10526.11150.2826.08S66'24'24"E9'5'2'0"C10623.56150.0037.75S14'18'53"W3'5'26"C10735.86150.0037.75S14'18'53"W3'5'26"C10827.77185.0037.75S14'18'53"W3'5'26"C10938.68185.0038.79S2'0'4'42"E1'2'1'2"C11038.86185.0038.79S5'4'3'W1'2'1'2"C11138.67185.0038.65S28'5'1'3"E1'2'1'8"C11239.72185.0038.65S58'5'1'3"E1'2'1'8" <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td></t<>						
C9271.07338.1770.94N3'59'51"E12'02'28''C9365.04338.1764.94N15' 31' 42"E1101'13"C9432.57338.1732.56N23' 47' 52"E5'31'07''C9520.91620.0020.91N25' 35' 27"E1'55'88''C9649.48620.0049.47N22' 20' 17"E4'34'21''C9820.6415.0019.05530' 45' 36"E7'8'50' 43''C19035.08150.2835.00S1'1 23' 58"E1'3'2' 29''C10132.06150.2832.0054' 41' 29"E1'2' 12''E''C10332.06150.2832.00S4' 15' 56' 22"E1'2' 12''E''C10435.08150.2835.00S54' 44' 29"E1'2' 12''E''C10526.11150.2820.78S14' 18' 53''W9'0'0''O''C10623.56155.0035.78N11' 59' 14"E1'3' 12''E''C10735.86185.0036.79S5' 54' 3''W1'2'O'2''C10827.77185.0036.80S2O' 04' 42"E1'2'O'1'''C11038.86185.0036.80S2O' 04' 42"E1'2'O'1'''C11138.77185.0036.80S2O' 04' 42"E1'2'O'1'''C11239.72185.0036.45S5'S' 31''E1'2'O'1'''C11339.72185.0021.21N63' 36''S''E9'0'0'0''C11420.28150.0230.65S5'S' 51''S'E1'2'S''E''C11530.70 <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>						
C9365.04338.1764.94N15' 31' 42"E1101'13"C9432.57338.1732.56N23' 47' 52"E531'07"C9520.91620.0020.91N25' 35' 27"E155'58"C9649.48620.0049.47N22' 20' 17"E4'34'21"C9820.6415.0019.05S30' 45' 36"E78'50'4'3"C10035.08150.2835.00S1' 53' 58"E132' 29'8"C10132.06150.2832.00S4' 11' 56"E12'13' 26''C10214.48150.2814.47N33' 04' 14"W5'3'1'0"C10332.06150.2832.00S4' 4' 29"E12'12'29"C10435.08150.2835.00S54' 44' 29"E12'12'29"C10526.11150.2820.03S6'6' 24' 24"E9'57'20"C10623.56155.0037.78N11' 59' 14"E13'12'29"C10735.86155.0037.75S14' 18' 53"W8'36'07"C10827.77185.0027.75S14' 18' 53"W12'02'12"C11038.86185.0038.79S5'9' 43"W12'02'12"C11138.71185.0038.79S5'9' 43"W12'02'12"C11239.72185.0039.64S4'6' 39' 06"E12'18''6"C11339.72185.0021.21N63' 36' 57"E90'00'0"C11420.28150.0221.21N63' 36' 57"E90'00'0"C11420.28150.0221.21						
C9432.57338.1732.56N23' 47' 52"E5'31'07"C9520.91620.0020.91N25' 35' 27"E1'55'8"C9649.48620.0049.47N22' 20' 17"E4'34'21"C9935.08150.2835.00S1' 58' 31"W13'22'8"C10035.08150.2835.00S1' 25' 58"E13'22'8"C10132.06150.2832.00S24' 11' 56"E12'3'2"C10214.48150.2814.47N33'04' 14"W53'110"C10332.06150.2832.00S44' 54' 2"13'22'8"C10435.08150.2835.00S54' 44' 29"E13'22'8"C10526.11150.2836.00S66' 24' 24"E9'57'20"C10623.5615.0037.75S14' 18' 53"W8'36'07"C10735.86155.0037.75S14' 18' 53"W8'36'07"C10827.77185.0037.80S20' 24"E12'02'12"C11138.87185.0038.69S20' 04' 42"E12'02'12"C11138.87185.0039.64S46' 39' 06"E12'18'08"C11239.72185.0039.65S58' 57' 13"E12'18'08"C11339.72185.0021.21N63' 36' 57"E90'00'00"C11420.2815.0021.21N63' 36' 57"E90'00'00"C11420.2815.0021.21N63' 36' 57"E90'00'00"C11420.2815.0021.21N63' 36' 57						
C9520.91620.0020.91N25' 35' 27"E1'55'8"C9649.48620.0049.47N22' 20' 17"E4'34'21"C9820.6415.0019.05S30' 45' 36"E78'50'43'C10035.08150.2835.00S1' 25' 58"E13'22'8"C10132.06150.2832.00S24' 11' 56"E12'3'2'8"C10214.48150.2814.47N33'04' 14"W53'1'0"C10332.06150.2832.00S44' 56' 32"E13'22'8"C10435.08150.2835.00S54' 44' 29"E13'22'8"C10526.11150.2826.05S66' 24' 24"E95'7'20"C10623.5615.0037.75S14' 18' 53"W8'36'0"C10827.77185.0037.75S14' 18' 53"W8'36'0"C10938.66185.0038.79S8'02' 28"E12'02'1"C11138.87185.0038.65S5'5' 57' 13"E12'8'0"C11239.72185.0030.65S5'5' 57' 13"E12'8'0"C11339.72185.0021.21N63' 36' 57"E90'00'0"C11420.2815.0021.21N63' 36' 57"E90'00'0"C11420.2815.0021.21N63' 36' 57"E90'00'0"C11420.2815.0021.21N63' 36' 57"E90'00'0"C11420.2815.0021.21N63' 36' 57"E90'00'0"C11420.2815.0021.21N63' 36' 57"E<						
C96         49.48         620.00         49.47         N22' 20' 17"E         4'34'21"           C98         20.64         15.00         19.05         S30' 45' 36"E         78'50'43'           C100         35.08         150.28         35.00         S1' 23' 58"E         13'22'29"           C101         32.06         150.28         32.00         S24' 11' 56"E         12'13'28"           C102         14.48         150.28         32.00         S41' 56' 32"E         12'13'28"           C103         32.06         150.28         32.00         S41' 56' 32"E         12'13'28"           C104         35.08         150.28         32.00         S41' 56' 32"E         957'20"           C105         26.11         150.28         26.08         S66' 24' 24"E         957'20"           C106         23.56         155.00         35.78         N11' 59' 14"E         13'15'26"           C108         27.77         185.00         38.79         S5'4'3'W         12'02'12"           C111         38.86         185.00         39.64         S46'39' 06"E         12'16'12"           C112         39.72         185.00         39.64         S46'39' 06"E         12'16'12"           C114						
C9820.6415.0019.05S30 45' 36"E78'50'43"C9935.08150.2835.00S1' 58' 31"W13'22'9"C10035.08150.2832.00S24' 11' 56"E12'13'26"C10132.06150.2832.00S41' 156' 32"E12'13'26"C10332.06150.2832.00S41' 56' 32"E12'13'26"C10435.08150.2835.00S54' 44' 29"E13'22'9"C10526.11150.2826.08S66' 24' 24"E9'57'20"C10623.5615.0035.78N11' 59' 14"E13'15'26"C10735.86155.0035.78N11' 59' 14"E13'15'26"C10827.77185.0038.79S5' 59' 43"W12'20'12"C11038.86185.0038.79S5' 59' 43"W12'20'12"C11138.87185.0038.60S20' 04' 42"E12'10'12"C11239.72185.0038.60S20' 04' 42"E12'10'12"C11339.72185.0039.64S46' 39' 06"E12'10'12"C11420.28150.0021.21N63' 36' 57"E90'00'0"C12315.0115.0012.11N63' 36' 57"E90'00'0"C12420.5015.0021.21S63' 36' 57"W90'00'0"C12515.0115.0281.94' 10'' 23'E57'20'3"C12625.0115.0212.12'S63' 36' 57"W90'00'0"C12715.0115.02N64' 14''W6'16						
C99         35.08         150.28         35.00         S1*58' 31"W         1322'29"           C100         35.08         150.28         35.00         S11*23' 58"E         1322'29"           C101         32.06         150.28         32.00         S21*11' 56"E         12'13'26"           C102         14.48         150.28         32.00         S41*56' 32"E         12'13'26"           C103         32.06         150.28         35.00         S54*44' 29"E         13'22'29"           C104         35.08         150.02         21.21         S26*23' 03"E         90'00'0"           C105         26.11         150.28         26.08         S66*24' 24"E         9'57'20"           C106         23.56         150.00         37.75         S14*18' 53"W         8'36'07"           C108         27.77         185.00         38.79         S3'59'43"W         12'02'12"           C110         38.86         185.00         38.79         S3'59'43"W         12'02'12"           C111         38.72         185.00         38.79         S8'6'0'2'28"E         12'02'12"           C111         38.72         185.00         38.61         S4'6'39'06"E         12'13'06"           C112						78°50'43"
C10035.08150.2835.00S11 23' 58"E13'22'29"C10132.06150.2832.00S24' 11' 56"E12'13'26"C10214.48150.2814.47N33' 04' 14"W5'31'10"C10332.06150.2832.00S41' 56' 32"E12'13'26"C10435.08150.2835.00S54' 44' 29"E13'22'29"C10526.11150.2826.08S66' 24' 24"E9'57'20"C10623.5615.0021.21S26' 23' 03"E9'00'00"C10735.86155.0035.78N11' 59' 14"E13'15'26"C10827.77185.0027.75S14' 18' 53"W8'36'07"C10938.86185.0038.79S3' 59' 43"W12'02'12"C11038.86185.0038.69S20' 04' 42"E12'02'12"C11138.71185.0038.60S20' 04' 42"E12'02'12"C11239.72185.0039.64S46' 39' 06"E12'18'09"C11339.72185.0021.21N63' 14' 41"W45'16'17"C12023.5615.0021.21N63' 36' 57"E9'00'00"C123112.3615.0021.21N63' 36' 57"E9'00'00"C12425.0115.0021.21N63' 36' 57"E9'00'00"C12515.0115.0221.21N63' 36' 57"E9'00'00"C12625.0115.0221.21N63' 36' 57"E9'00'00"C12615.0115.0216.21						13°22'29"
C10132.06150.2832.00S24' 11' 56"E12'13'26"C10214.48150.2832.00S41' 56' 32"E12'13'26"C10435.08150.2835.00S41' 56' 32"E12'13'26"C10435.08150.2826.08S66' 24' 24"E9'57'20"C10526.11150.2826.08S66' 24' 24"E9'57'20"C10623.5615.0021.21S26' 23' 03"E9'00'00"C10735.86155.0035.78N11' 59' 14"E13'15'26"C10827.77185.0037.75S14' 18' 53"W8'36'07"C10938.86185.0038.79S3' 59' 43"W12'02'12"C11038.86185.0038.79S8' 02' 28"E12'02'12"C11138.87185.0038.60S20' 04' 42"E12'02'12"C11239.72185.0039.64S46' 39' 06"E12'18' 09"C11339.72185.0021.21N63' 36' 57"E9'00'00"C12415.0014.39N47' 17' 23"E57'20'53"C123112.3615.0021.21N63' 36' 57"E9'00'00"C12425.5615.0021.21S63' 36' 57"E9'00'00"C12515.0015.0212.21S63' 36' 57"E9'00'00"C12625.5615.0021.21N63' 36' 57"E9'00'00"C12715.0016.52S65' 58"E12'36'6"C12825.5615.0015.02N64' 40"E2'36'6" <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>						
C10214.48150.2814.47N33 04' 14"W5'31'0''C10332.06150.2832.00S41' 56' 32"E1213'26"C10435.08150.2835.00S54' 44' 29"E1322'29"C10526.11150.2826.08S66' 24' 24"E9'57'20"C10623.5615.0021.21S26' 23' 03"E9'00'00"C10735.86155.0035.78N11' 59' 14"E13'15'26"C10827.77185.0027.75S14' 18' 53"W8'36'07"C10938.86185.0038.79S3'59' 43"W12'02'12"C11038.86185.0038.79S3'59' 43"W12'02'12"C11138.87185.0038.64S60' 28"E12'10'9"C11239.72185.0039.65S8'57' 13"E12'18'09"C11339.72185.0039.65S8'57' 13"E12'18'09"C11420.2815.0021.21N63' 36' 57"E9'00'0'0"C12315.0115.0211.21S63' 36' 57"W9'00'0'0"C12420.3515.0021.21S63' 36' 57"W9'00'0'0"C12523.5615.0021.21S63' 36' 57"W9'00'0'0"C12415.0115.0281.51N3'' 08''0''E12'3'26"C13332.06150.2832.00N64' 4''W12'3'26"C13433.05150.2832.00N28' 07'16"W12'3'26"C13532.0652.10N59' 58'E'12'3'3'"<						
C103         32.06         150.28         32.00         S41*56' 32"E         12'13'26"           C104         35.08         150.28         35.00         S54*44' 29"E         13'22'29"           C105         26.11         150.28         26.08         S66' 24' 24"E         9'57'20"           C106         23.56         15.00         21.21         S26' 23' 03"E         9'0'0'00"           C107         35.86         155.00         35.78         N11' 59' 14"E         13'15'26"           C108         27.77         185.00         38.79         S3'59' 43"W         12'02'12"           C110         38.86         185.00         38.79         S8'62' 28"E         12'02'12"           C111         38.87         185.00         39.64         S46' 39' 06"E         12'18'09"           C112         39.72         185.00         39.65         S58' 57' 13"E         12'18'09"           C114         20.28         185.00         21.21         N63' 36' 57"E         9'0'0'0"           C123         15.01         15.00         21.21         N63' 36' 57"E         9'0'0'0"           C124         20.33         15.00         21.21         S63' 36' 57"W         9'0'0'0"           C125 <td>C102</td> <td></td> <td></td> <td></td> <td></td> <td></td>	C102					
C104         35.08         150.28         35.00         S54' 44' 29"E         13'22'29"           C105         26.11         150.28         26.08         S66' 24' 24"E         9'57'20"           C106         23.56         15.00         21.21         S26' 23' 03"E         9'0'0'0'0"           C107         35.86         155.00         35.78         N11' 59' 14"E         13'15'26"           C108         27.77         185.00         27.75         S14' 18' 53"W         8'36'07"           C109         38.86         185.00         38.79         S3' 59' 43"W         12'0'1'2"           C110         38.86         185.00         38.80         S20' 04' 42"E         12'0'1'2"           C111         38.87         185.00         39.65         S58' 57' 13"E         12'0'0'9"           C114         20.28         185.00         20.26         N68' 14' 41"W         6'16'4'6"           C120         23.56         15.00         21.21         N63' 36' 57"W         9'0'0'0'0'           C123         15.01         15.02         21.21         S63' 36' 57"W         9'0'0'0'0'           C123         15.02         15.01         N54' 32' 41"W         4'2'50'1''           C124 <td< td=""><td></td><td></td><td></td><td></td><td></td><td></td></td<>						
C105         26.11         150.28         26.08         S66 24' 24"E         9'57'20"           C106         23.56         15.00         21.21         S26' 23' 03"E         90'00'00"           C107         35.86         155.00         35.78         N11' 59' 14"E         13'15'26"           C108         27.77         185.00         38.79         S3' 59' 43"W         12'02'12"           C110         38.86         185.00         38.79         S8'02' 28"E         12'02'12"           C111         38.87         185.00         39.64         S46' 39' 06"E         12'18'09"           C112         39.72         185.00         39.64         S46' 39' 06"E         12'18'09"           C114         20.28         185.00         20.26         N68' 14' 41"W         6'16'46"           C120         23.56         15.00         21.21         N63' 36' 57"E         90'00'00"           C123         112.36         15.02         21.21         N63' 36' 57"W         90'00'00"           C123         15.01         15.02         21.21         S63' 36' 57"W         90'00'00"           C124         20.03         15.02         18.57         N33' 08' 08"W         76'29'51"           C130<	C104	35.08	150.28	35.00	S54° 44' 29"E	13°22'29"
C107         35.86         155.00         35.78         N11* 59' 14"E         13'15'26"           C108         27.77         185.00         27.75         S14' 18' 53"W         83'6'07"           C109         38.86         185.00         38.79         S3' 59' 43"W         12'02'12"           C110         38.86         185.00         38.79         S3' 59' 43"W         12'02'12"           C111         38.87         185.00         38.80         S20' 04' 42"E         12'02'16"           C112         39.72         185.00         39.64         S46' 39' 06"E         12'18'09"           C114         20.28         185.00         20.26         N68' 14' 41"W         6'16'46"           C120         23.56         15.00         21.21         N63' 36' 57"E         90'00'00"           C123         112.36         150.28         109.76         S54' 32' 41"W         42'50'17"           C128         23.56         15.00         21.21         S63' 36' 57"W         90'00'00"           C129         20.03         15.02         22.96         N0'44' 00"E         8'45'49"           C130         22.99         150.28         32.09         S9'56' 58"E         12'36'06"           C133<			150.28			
C108         27.77         185.00         27.75         S14' 18' 53"W         8'36'07"           C109         38.86         185.00         38.79         S3' 59' 43"W         12'02'12"           C110         38.86         185.00         38.79         S8' 02' 28"E         12'02'12"           C111         38.87         185.00         38.80         S20' 04' 42"E         12'02'12"           C112         39.72         185.00         39.64         S46' 39' 06"E         12'18'09"           C114         20.28         185.00         20.26         N68' 14' 41"W         6'16' 46"           C120         23.56         15.00         21.21         N63' 36' 57"E         90'00'00"           C123         112.36         150.02         11.21         S63' 36' 57"W         90'00'00"           C123         12.356         15.00         21.21         S63' 36' 57"W         90'00'00"           C124         20.03         15.02         21.21         S63' 36' 57"W         90'00'00"           C130         22.99         150.28         32.99         S9'56' 58"E         12'36'08"           C131         33.05         150.28         32.90         N28' 07' 16"W         12'13'26"           C	C106	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"
C109         38.86         185.00         38.79         S3*59' 43"W         12'02'12"           C110         38.86         185.00         38.79         S8' 02' 28"E         12'02'12"           C111         38.87         185.00         38.80         S20' 04' 42"E         12'02'12"           C112         39.72         185.00         39.64         S46' 39' 06"E         12'18'05"           C113         39.72         185.00         20.26         N68' 14' 41"W         6'16'46"           C120         23.56         15.00         21.21         N63' 36' 57"E         90'00'00"           C122         15.01         15.02         109.76         S54' 32' 41"W         42'50'17"           C128         23.56         15.00         21.21         S63' 36' 57"W         90'00'00"           C129         20.03         15.02         18.57         N33' 08' 08"W         76'29'51"           C130         22.99         150.28         22.96         N0' 44' 00"E         8'45'49"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C134	C107	35.86	155.00	35.78	N11° 59' 14"E	13 <b>°</b> 15'26"
C109         38.86         185.00         38.79         S3*59' 43"W         12'02'12"           C110         38.86         185.00         38.79         S8' 02' 28"E         12'02'12"           C111         38.87         185.00         38.80         S20' 04' 42"E         12'02'12"           C112         39.72         185.00         39.64         S46' 39' 06"E         12'18'05"           C113         39.72         185.00         20.26         N68' 14' 41"W         6'16'46"           C120         23.56         15.00         21.21         N63' 36' 57"E         90'00'00"           C122         15.01         15.02         109.76         S54' 32' 41"W         42'50'17"           C128         23.56         15.00         21.21         S63' 36' 57"W         90'00'00"           C129         20.03         15.02         18.57         N33' 08' 08"W         76'29'51"           C130         22.99         150.28         22.96         N0' 44' 00"E         8'45'49"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C134	C108		185.00	27.75		
C110         38.86         185.00         38.79         S8 02' 28"E         12'02'12"           C111         38.87         185.00         38.80         S20' 04' 42"E         12'02'16"           C112         39.72         185.00         39.64         S46' 39' 06"E         12'18'05"           C113         39.72         185.00         20.26         N68' 14' 41"W         6'16'46"           C120         23.56         15.00         21.21         N63' 36' 57"E         90'00'00"           C122         15.01         15.00         21.21         N63' 36' 57"W         90'00'00"           C123         112.36         15.00         21.21         S63' 36' 57"W         90'00'00"           C124         23.56         15.00         21.21         S63' 36' 57"W         90'00'00"           C129         20.03         15.00         18.57         N33' 08' 08"W         76'29'51"           C130         22.99         150.28         32.99         S9' 56' 58"E         12'36'06"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C13			1		S14° 18' 53"W	
C112         39.72         185.00         39.64         S46* 39' 06"E         12'18'05"           C113         39.72         185.00         39.65         S58* 57' 13"E         12'18'09"           C114         20.28         185.00         20.26         N68* 14' 41"W         6*16'46"           C120         23.56         15.00         21.21         N63* 36' 57"E         90'00'00"           C122         15.01         15.00         14.39         N47* 17' 23"E         57'20'53"           C123         112.36         150.02         21.21         S63* 36' 57"W         90'00'00"           C129         20.03         15.00         21.21         S63* 36' 57"W         90'00'00"           C130         22.99         150.28         22.96         N0' 44' 00"E         8*45'49"           C131         33.05         150.28         32.99         S9* 56' 58"E         12'36'0"           C132         15.10         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C1	C110		185.00	38.79		8 <b>°</b> 36'07"
C113         39.72         185.00         39.65         S58* 57' 13"E         12'18'09"           C114         20.28         185.00         20.26         N68' 14' 41"W         6'16'46"           C120         23.56         15.00         21.21         N63' 36' 57"E         90'00'00"           C122         15.01         15.02         14.39         N47' 17' 23"E         57'20'53"           C123         112.36         150.02         109.76         S54' 32' 41"W         42'50'17"           C128         23.56         15.00         21.21         S63' 36' 57"W         90'00'00"           C129         20.03         15.00         18.57         N33' 08' 08"W         76'29'51"           C130         22.99         150.28         32.99         S9' 56' 58"E         12'36'06"           C131         33.05         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C134         55.25         220.00         55.10         N59' 58' 17"W         14'23'17" <td< td=""><td></td><td>38.86</td><td></td><td></td><td>S3° 59' 43"W</td><td>8°36'07" 12°02'12"</td></td<>		38.86			S3° 59' 43"W	8°36'07" 12°02'12"
C114         20.28         185.00         20.26         N68* 14' 41"W         6*16'46"           C120         23.56         15.00         21.21         N63* 36' 57"E         90'00'00"           C122         15.01         15.00         14.39         N47' 17' 23"E         57'20'53"           C123         112.36         150.28         109.76         S54* 32' 41"W         42'50'17"           C128         23.56         15.00         21.21         S63* 36' 57"W         90'00'00"           C129         20.03         15.00         18.57         N33' 08' 08"W         76'29'51"           C130         22.99         150.28         22.96         N0' 44' 00"E         8'45'49"           C131         33.05         150.28         32.99         S9' 56' 58"E         12'3'6'0"           C132         15.10         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C134         55.25         220.00         16.20         S69' 16' 29"E         4'13'08"           C135         55.25         220.00         55.10         N59' 58' 17"W         14'23'17"           C1	C111		185.00	38.79	S3° 59' 43"W S8° 02' 28"E	8°36'07" 12°02'12"
C120         23.56         15.00         21.21         N63* 36' 57"E         90'00'00''           C122         15.01         15.00         14.39         N47' 17' 23"E         57'20'53"           C123         112.36         150.28         109.76         S54* 32' 41"W         42'50'17"           C128         23.56         15.00         21.21         S63* 36' 57"W         90'00'00"           C129         20.03         15.00         18.57         N33* 08' 08"W         76'29'51"           C130         22.99         150.28         22.96         N0* 44' 00"E         8'45'49"           C131         33.05         150.28         32.99         S9* 56' 58"E         12'36'06"           C132         15.10         150.28         32.00         N28* 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28* 07' 16"W         12'13'26"           C134         55.25         220.00         16.20         S69* 16' 29"E         4'13'08"           C135         55.25         220.00         55.10         N59* 58' 17"W         14'23'17"           C135         27.17         140.00         27.13         N65* 49' 25"W         11'07'17"		38.87	185.00 185.00	38.79 38.80	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E	8°36'07" 12°02'12" 12°02'12" 12°02'16"
C122         15.01         15.00         14.39         N47* 17' 23"E         57'20'53"           C123         112.36         150.28         109.76         S54* 32' 41"W         42'50'17"           C128         23.56         15.00         21.21         S63* 36' 57"W         90'00'00"           C129         20.03         15.00         18.57         N33* 08' 08"W         76'29'51"           C130         22.99         150.28         22.96         N0' 44' 00"E         8'45'49"           C131         33.05         150.28         32.99         S9' 56' 58"E         12'36'06"           C132         15.10         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C133         32.06         150.28         32.00         N28' 07' 16"W         12'13'26"           C134         55.25         220.00         55.10         N59' 58' 17"W         14'23'17"           C139         229.96         220.00         219.63         S22' 49' 56"E         59'53'23"           C140         52.30         230.66         52.19         S13' 45' 32"W         12'59'33"           <	C112	38.87 39.72	185.00 185.00 185.00	38.79 38.80 39.64	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05"
C123         112.36         150.28         109.76         S54* 32' 41"W         42*50'17"           C128         23.56         15.00         21.21         S63* 36' 57"W         90*00'00"           C129         20.03         15.00         18.57         N33* 08' 08"W         76*29'51"           C130         22.99         150.28         22.96         N0* 44' 00"E         8*45'49"           C131         33.05         150.28         32.99         S9* 56' 58"E         12*36'06"           C132         15.10         150.28         32.00         N28* 07' 16"W         12*13'26"           C133         32.06         150.28         32.00         N28* 07' 16"W         12*13'26"           C137         16.20         220.00         16.20         S69* 16' 29"E         4'13'08"           C138         55.25         220.00         55.10         N59* 58' 17"W         14*23'17"           C139         229.96         220.00         219.63         S22* 49' 56"E         59*53'23"           C140         52.30         230.66         52.19         S13* 45' 32"W         12*59'33"           C152         27.17         140.00         36.22         S36* 10' 18"E         14*51'50"           <	C112 C113	38.87 39.72 39.72	185.00 185.00 185.00 185.00	38.79 38.80 39.64 39.65	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09"
C128         23.56         15.00         21.21         S63' 36' 57''W         90'00'00''           C129         20.03         15.00         18.57         N33' 08' 08''W         76'29'51''           C130         22.99         150.28         22.96         N0' 44' 00''E         8'45'49''           C131         33.05         150.28         32.99         S9' 56' 58''E         12'36'06''           C132         15.10         150.28         32.09         S9' 56' 58''E         12'36'06''           C133         32.06         150.28         32.00         N28' 07' 16''W         12'13'26''           C133         32.06         150.28         32.00         N28' 07' 16''W         12'13'26''           C134         55.25         220.00         16.20         S69' 16' 29''E         4'13'08''           C138         55.25         220.00         55.10         N59' 58' 17''W         14'23'17''           C139         229.96         220.00         219.63         S22' 49' 56''E         59'53'23''           C140         52.30         230.66         52.19         S13' 45' 32''W         12'59'33''           C152         27.17         140.00         27.13         N65' 49' 25''W         11'07'17'' <td>C112 C113 C114</td> <td>38.87 39.72 39.72 20.28</td> <td>185.00 185.00 185.00 185.00 185.00</td> <td>38.79 38.80 39.64 39.65 20.26</td> <td>S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W</td> <td>8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09"</td>	C112 C113 C114	38.87 39.72 39.72 20.28	185.00 185.00 185.00 185.00 185.00	38.79 38.80 39.64 39.65 20.26	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09"
C12920.0315.0018.57N33` 08' 08"W76'29'51"C13022.99150.2822.96N0' 44' 00"E8'45'49"C13133.05150.2832.99S9` 56' 58"E12'36'06"C13215.10150.2815.10S19' 07' 47"E5'45'32"C13332.06150.2832.00N28' 07' 16"W12'13'26"C13716.20220.0016.20S69' 16' 29"E4'13'08"C13855.25220.0055.10N59' 58' 17"W14'23'17"C139229.96220.00219.63S22' 49' 56"E59'53'23"C14052.30230.6652.19S13' 45' 32"W12'59'33"C15227.17140.0027.13N65' 49' 25"W11'07'17"C15340.71140.0036.22S36' 10' 18"E14'51'50"C15533.75140.0033.66N4' 53' 37"W13'48'38"C15634.36140.0034.27N9' 02' 32"E14'03'41"C1576.21140.006.21N17' 20' 40"E2'32'34"C16431.66150.2831.60N67' 64' 4"'E12'04'18"C17571.21338.0071.08N67' 44' 04"E12'04'18"C19652.723486.0052.72N21' 37' 53"E0'52'00"C19880.863485.9980.86N23' 52' 30"E1'19'44"	C112 C113 C114 C120	38.87 39.72 39.72 20.28 23.56	185.00 185.00 185.00 185.00 185.00 15.00	38.79 38.80 39.64 39.65 20.26 21.21	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46"
C13022.99150.2822.96N0° 44' 00"E8*45'49"C13133.05150.2832.99S9° 56' 58"E12°36'06"C13215.10150.2815.10S19° 07' 47"E5*45'32"C13332.06150.2832.00N28° 07' 16"W12°13'26"C13716.20220.0016.20S69° 16' 29"E4*13'08"C13855.25220.0055.10N59° 58' 17"W14*23'17"C139229.96220.00219.63S22* 49' 56"E59°53'23"C14052.30230.6652.19S13° 45' 32"W12°59'33"C15227.17140.0027.13N65° 49' 25"W11'07'17"C15340.71140.0036.22S36° 10' 18"E14°51'50"C15533.75140.0033.66N4* 53' 37"W13*48'38"C15634.36140.0034.27N9° 02' 32"E14*03'41"C1576.21140.006.21N17° 20' 40"E2*32'34"C16431.66150.2831.60N67° 44' 04"E12'04'18"C17571.21338.0071.08N67° 44' 04"E12'04'18"C19652.723486.0052.72N21' 37' 53"E0°52'00"C19880.863485.9980.86N23' 52' 30"E1*19'44"	C112 C113 C114 C120 C122	38.87 39.72 39.72 20.28 23.56 15.01	185.00 185.00 185.00 185.00 185.00 15.00 15.00	38.79 38.80 39.64 39.65 20.26 21.21 14.39	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00"
C131         33.05         150.28         32.99         S9* 56' 58"E         12'36'06"           C132         15.10         150.28         15.10         S19* 07' 47"E         5*45'32"           C133         32.06         150.28         32.00         N28* 07' 16"W         12'13'26"           C137         16.20         220.00         16.20         S69* 16' 29"E         4*13'08"           C138         55.25         220.00         55.10         N59* 58' 17"W         14*23'17"           C139         229.96         220.00         219.63         S22* 49' 56"E         59*53'23"           C140         52.30         230.66         52.19         S13* 45' 32"W         12*59'33"           C152         27.17         140.00         27.13         N65* 49' 25"W         11*07'17"           C153         40.71         140.00         36.22         S36* 10' 18"E         14*51'50"           C154         36.32         140.00         36.22         S36* 10' 18"E         14*03'41"           C155         33.75         140.00         34.27         N9* 02' 32"E         14'03'41"           C155         34.36         140.00         6.21         N17* 20' 40"E         2'32'34" <td< td=""><td>C112 C113 C114 C120 C122 C123</td><td>38.87 39.72 39.72 20.28 23.56 15.01 112.36</td><td>185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28</td><td>38.79 38.80 39.64 39.65 20.26 21.21 14.39 109.76</td><td>S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W</td><td>8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53"</td></td<>	C112 C113 C114 C120 C122 C123	38.87 39.72 39.72 20.28 23.56 15.01 112.36	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28	38.79 38.80 39.64 39.65 20.26 21.21 14.39 109.76	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53"
C13215.10150.2815.10S19° 07' 47"E5°45'32"C13332.06150.2832.00N28° 07' 16"W12'13'26"C13716.20220.0016.20S69° 16' 29"E4'13'08"C13855.25220.0055.10N59° 58' 17"W14'23'17"C139229.96220.00219.63S22° 49' 56"E59°53'23"C14052.30230.6652.19S13° 45' 32"W12'59'33"C15227.17140.0027.13N65° 49' 25"W11'07'17"C15340.71140.0040.56N51° 56' 00"W16'39'33"C15436.32140.0036.22S36° 10' 18"E14'51'50"C15533.75140.0034.27N9° 02' 32"E14'03'41"C15634.36140.006.21N17° 20' 40"E2'32'34"C16431.66150.2831.60N67° 06' 47"E12'04'18"C19652.723486.0052.72N21° 37' 53"E0'52'00"C19880.863485.9980.86N23° 52' 30"E11'19'44"	C112 C113 C114 C120 C122 C123 C128	38.87 39.72 20.28 23.56 15.01 112.36 23.56	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28 15.00	38.79 38.80 39.64 39.65 20.26 21.21 14.39 109.76 21.21	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17"
C13332.06150.2832.00N28' 07' 16"W12'13'26"C13716.20220.0016.20S69' 16' 29"E4'13'08"C13855.25220.0055.10N59' 58' 17"W14'23'17"C139229.96220.00219.63S22' 49' 56"E59'53'23"C14052.30230.6652.19S13' 45' 32"W12'59'33"C15227.17140.0027.13N65' 49' 25"W11'07'17"C15340.71140.0040.56N51' 56' 00"W16'39'33"C15436.32140.0036.22S36' 10' 18"E14'51'50"C15533.75140.0034.27N9' 02' 32"E14'03'41"C1576.21140.006.21N17' 20' 40"E2'32'34"C16431.66150.2831.60N67' 06' 47"E12'04'18"C19652.723486.0052.72N21' 37' 53"E0'52'00"C19880.863485.9980.86N23' 52' 30"E11'19'44"	C112 C113 C114 C120 C122 C123 C128 C129	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03	185.00 185.00 185.00 185.00 15.00 15.00 150.28 15.00 15.00	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51"
C13716.20220.0016.20S69° 16' 29"E4*13'08"C13855.25220.0055.10N59° 58' 17"W14*23'17"C139229.96220.00219.63S22° 49' 56"E59°53'23"C14052.30230.6652.19S13° 45' 32"W12°59'33"C15227.17140.0027.13N65° 49' 25"W11°07'17"C15340.71140.0040.56N51° 56' 00"W16°39'33"C15436.32140.0036.22S36° 10' 18"E14°51'50"C15533.75140.0034.27N9° 02' 32"E14°03'41"C1576.21140.006.21N17° 20' 40"E2'32'34"C16431.66150.2831.60N67° 06' 47"E12°04'18"C17571.21338.0071.08N67° 44' 04"E12°04'18"C19652.723486.0052.72N21° 37' 53"E0°52'00"C19880.863485.9980.86N23° 52' 30"E11'19'44"	C112 C113 C114 C120 C122 C123 C128 C129 C130 C131	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28 15.00 150.28 150.28	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06"
C13855.25220.0055.10N59° 58' 17"W14°23'17"C139229.96220.00219.63S22° 49' 56"E59°53'23"C14052.30230.6652.19S13° 45' 32"W12°59'33"C15227.17140.0027.13N65° 49' 25"W11°07'17"C15340.71140.0040.56N51° 56' 00"W16°39'33"C15436.32140.0036.22S36° 10' 18"E14°51'50"C15533.75140.0033.66N4° 53' 37"W13°48'38"C15634.36140.0034.27N9° 02' 32"E14°03'41"C1576.21140.006.21N17° 20' 40"E2'32'34"C16431.66150.2831.60N67° 06' 47"E12°04'18"C17571.21338.0071.08N67° 44' 04"E12°04'18"C19652.723486.0052.72N21° 37' 53"E0'52'00"C19880.863485.9980.86N23° 52' 30"E11'19'44"	C112 C113 C114 C120 C122 C123 C128 C129 C130 C131 C132	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28 150.28 150.28 150.28	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32"
C139229.96220.00219.63S22* 49' 56"E59*53'23"C14052.30230.6652.19S13* 45' 32"W12*59'33"C15227.17140.0027.13N65* 49' 25"W11*07'17"C15340.71140.0040.56N51* 56' 00"W16*39'33"C15436.32140.0036.22S36* 10' 18"E14*51'50"C15533.75140.0033.66N4* 53' 37"W13*48'38"C15634.36140.0034.27N9* 02' 32"E14*03'41"C1576.21140.006.21N17* 20' 40"E2*32'34"C16431.66150.2831.60N67* 06' 47"E12*04'18"C19652.723486.0052.72N21* 37' 53"E0*52'00"C19880.863485.9980.86N23* 52' 30"E11*9'44"	C112 C113 C114 C120 C122 C123 C128 C129 C130 C131 C132 C133	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28 150.28 150.28 150.28	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.00	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26"
C14052.30230.6652.19S13° 45' 32"W12°59'33"C15227.17140.0027.13N65° 49' 25"W11'07'17"C15340.71140.0040.56N51° 56' 00"W16°39'33"C15436.32140.0036.22S36° 10' 18"E14°51'50"C15533.75140.0033.66N4° 53' 37"W13°48'38"C15634.36140.0034.27N9° 02' 32"E14°03'41"C1576.21140.006.21N17° 20' 40"E2°32'34"C16431.66150.2831.60N67° 06' 47"E12°04'18"C17571.21338.0071.08N67° 44' 04"E12°04'18"C19652.723486.0052.72N21° 37' 53"E0°52'00"C19880.863485.9980.86N23° 52' 30"E11'9'44"	C112 C113 C114 C120 C122 C123 C128 C129 C130 C131 C132 C133 C137	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06 16.20	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28 150.28 150.28 150.28 150.28 150.28	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.00 16.20	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E N28° 07' 16"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26"
C152       27.17       140.00       27.13       N65* 49' 25"W       11*07'17"         C153       40.71       140.00       40.56       N51* 56' 00"W       16*39'33"         C154       36.32       140.00       36.22       S36* 10' 18"E       14*51'50"         C155       33.75       140.00       33.66       N4* 53' 37"W       13*48'38"         C156       34.36       140.00       34.27       N9* 02' 32"E       14*03'41"         C157       6.21       140.00       6.21       N17* 20' 40"E       2*32'34"         C164       31.66       150.28       31.60       N67* 06' 47"E       12*04'18"         C175       71.21       338.00       71.08       N67* 44' 04"E       12*04'18"         C196       52.72       3486.00       52.72       N21* 37' 53"E       0*52'00"         C198       80.86       3485.99       80.86       N23* 52' 30"E       1'19'44"	C112 C113 C114 C120 C122 C123 C128 C129 C130 C131 C132 C133 C137 C138	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06 16.20 55.25	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28 150.28 150.28 150.28 150.28 150.28 220.00 220.00	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.00 16.20	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E N28° 07' 16"W S69° 16' 29"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26" 4°13'08" 14°23'17"
C153       40.71       140.00       40.56       N51° 56' 00"W       16°39'33"         C154       36.32       140.00       36.22       S36° 10' 18"E       14°51'50"         C155       33.75       140.00       33.66       N4° 53' 37"W       13°48'38"         C156       34.36       140.00       34.27       N9° 02' 32"E       14°03'41"         C157       6.21       140.00       6.21       N17° 20' 40"E       2°32'34"         C164       31.66       150.28       31.60       N67° 06' 47"E       12°04'18"         C175       71.21       338.00       71.08       N67° 44' 04"E       12°04'18"         C196       52.72       3486.00       52.72       N21° 37' 53"E       0°52'00"         C198       80.86       3485.99       80.86       N23° 52' 30"E       1'19'44"	C112 C113 C114 C120 C122 C123 C128 C129 C130 C131 C132 C133 C137 C138 C139	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06 16.20 55.25 229.96	185.00 185.00 185.00 185.00 185.00 15.00 15.00 150.28 150.28 150.28 150.28 150.28 150.28 220.00 220.00	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.00 16.20 16.20 55.10	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E N28° 07' 16"W S69° 16' 29"E N59° 58' 17"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12'18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26" 4°13'08" 14°23'17" 59°53'23"
C154       36.32       140.00       36.22       S36° 10' 18"E       14°51'50"         C155       33.75       140.00       33.66       N4° 53' 37"W       13°48'38"         C156       34.36       140.00       34.27       N9° 02' 32"E       14°03'41"         C157       6.21       140.00       6.21       N17° 20' 40"E       2'32'34"         C164       31.66       150.28       31.60       N67° 06' 47"E       12°04'18"         C175       71.21       338.00       71.08       N67° 44' 04"E       12°04'18"         C196       52.72       3486.00       52.72       N21° 37' 53"E       0°52'00"         C198       80.86       3485.99       80.86       N23° 52' 30"E       1'19'44"	C112 C113 C114 C120 C122 C123 C128 C128 C129 C130 C131 C132 C133 C137 C138 C139 C139 C140	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06 16.20 55.25 229.96 52.30	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         15.00         15.00         150.28         150.28         150.28         150.28         220.00         220.00         220.00         230.66	38.79 38.80 39.64 39.65 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.00 15.10 16.20 55.10 219.63 52.19	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E N28° 07' 16"W S69° 16' 29"E N59° 58' 17"W S22° 49' 56"E	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26" 4°13'08" 14°23'17" 59°53'23"
C155       33.75       140.00       33.66       N4* 53' 37"W       13*48'38"         C156       34.36       140.00       34.27       N9* 02' 32"E       14*03'41"         C157       6.21       140.00       6.21       N17* 20' 40"E       2*32'34"         C164       31.66       150.28       31.60       N67* 06' 47"E       12*04'18"         C175       71.21       338.00       71.08       N67* 44' 04"E       12*04'18"         C196       52.72       3486.00       52.72       N21* 37' 53"E       0*52'00"         C198       80.86       3485.99       80.86       N23* 52' 30"E       1*19'44"	C112 C113 C114 C120 C122 C123 C128 C129 C130 C130 C131 C132 C133 C137 C138 C139 C140 C152	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06 16.20 55.25 229.96 52.30 27.17	185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         150.28         150.28         150.28         150.28         150.28         150.28         220.00         220.00         230.66         140.00	38.79 38.80 39.64 39.65 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.00 15.10 32.00 15.10 32.00 15.10 32.00	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W S63° 36' 57"W S63° 36' 57"W S63° 36' 58"E S19° 07' 47"E S19° 07' 47"E N28° 07' 16"W S69° 16' 29"E N59° 58' 17"W S22° 49' 56"E S13° 45' 32"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26" 4°13'08" 14°23'17" 59°53'23" 12°59'33" 11°07'17"
C156       34.36       140.00       34.27       N9° 02' 32"E       14°03'41"         C157       6.21       140.00       6.21       N17° 20' 40"E       2°32'34"         C164       31.66       150.28       31.60       N67° 06' 47"E       12°04'18"         C175       71.21       338.00       71.08       N67° 44' 04"E       12°04'18"         C196       52.72       3486.00       52.72       N21° 37' 53"E       0°52'00"         C198       80.86       3485.99       80.86       N23° 52' 30"E       1'19'44"	C112 C113 C114 C120 C122 C123 C128 C129 C129 C130 C131 C132 C137 C138 C137 C138 C137 C138 C139 C140 C152 C153	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06 16.20 55.25 229.96 52.30 27.17 40.71	185.00 185.00 185.00 185.00 185.00 15.00 15.00 15.00 150.28 150.28 150.28 150.28 150.28 220.00 220.00 220.00 220.00 230.66 140.00	38.79 38.80 39.64 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.00 16.20 16.20 219.63 55.10 219.63 52.19 27.13	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W S63° 36' 57"W S63° 36' 57"W S63° 36' 58"E S19° 07' 47"E N28° 07' 16"W S69° 16' 29"E N59° 58' 17"W S69° 16' 29"E S13° 45' 32"W N65° 49' 25"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26" 4°13'08" 14°23'17" 59°53'23" 12°59'33" 11°07'17" 16°39'33"
C157       6.21       140.00       6.21       N17° 20' 40"E       2°32'34"         C164       31.66       150.28       31.60       N67° 06' 47"E       12°04'18"         C175       71.21       338.00       71.08       N67° 44' 04"E       12°04'18"         C196       52.72       3486.00       52.72       N21° 37' 53"E       0°52'00"         C198       80.86       3485.99       80.86       N23° 52' 30"E       1'19'44"	C112 C113 C114 C120 C122 C123 C128 C128 C129 C130 C130 C131 C132 C133 C137 C138 C137 C138 C139 C140 C152 C153 C154	38.87 39.72 20.28 23.56 15.01 112.36 23.56 20.03 22.99 33.05 15.10 32.06 16.20 55.25 229.96 52.30 27.17 40.71 36.32	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         150.28         150.28         150.28         150.28         150.28         220.00         220.00         230.66         140.00         140.00	38.79 38.80 39.64 39.65 20.26 21.21 14.39 109.76 21.21 18.57 22.96 32.99 15.10 32.99 15.10 32.00 16.20 16.20 16.20 55.10 219.63 52.19 27.13 40.56	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W S63° 36' 57"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E S9° 56' 58"E S19° 07' 47"E S9° 56' 58"E S19° 07' 47"E S69° 16' 29"E N28° 07' 16"W S69° 16' 29"E S13° 45' 32"W N59° 58' 17"W S22° 49' 56"E S13° 45' 32"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'05" 12°18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 5°45'32" 12°13'26" 4°13'08" 12°13'26" 12°59'33" 12°59'33" 11°07'17" 16°39'33"
C164       31.66       150.28       31.60       N67° 06' 47"E       12°04'18"         C175       71.21       338.00       71.08       N67° 44' 04"E       12°04'18"         C196       52.72       3486.00       52.72       N21° 37' 53"E       0°52'00"         C198       80.86       3485.99       80.86       N23° 52' 30"E       1'19'44"	C112 C113 C114 C120 C122 C123 C123 C128 C129 C130 C137 C137 C138 C137 C138 C137 C138 C137 C138 C137 C138 C139 C140 C152 C153 C154 C155	38.87         39.72         39.72         20.28         23.56         15.01         112.36         23.56         20.03         22.99         33.05         15.10         32.06         16.20         55.25         229.96         52.30         27.17         40.71         36.32         33.75	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         15.00         150.28         150.28         150.28         150.28         220.00         220.00         220.00         230.66         140.00         140.00	38.79       38.80       39.64       39.65       20.26       21.21       14.39       109.76       21.21       18.57       22.96       32.99       15.10       32.00       16.20       55.10       219.63       52.19       31.62       33.66	S3° 59' 43"W S8° 02' 28"E S20° 04' 42"E S46° 39' 06"E S58° 57' 13"E N68° 14' 41"W N63° 36' 57"E N47° 17' 23"E S54° 32' 41"W S63° 36' 57"W N33° 08' 08"W N0° 44' 00"E S9° 56' 58"E S19° 07' 47"E S9° 56' 58"E S19° 07' 47"E N28° 07' 16"W S69° 16' 29"E N28° 07' 16"W S69° 16' 29"E N28° 16' 29"E N59° 58' 17"W S22° 49' 56"E S13° 45' 32"W N65° 49' 25"W	8°36'07" 12°02'12" 12°02'12" 12°02'16" 12°18'09" 12'18'09" 6°16'46" 90°00'00" 57°20'53" 42°50'17" 90°00'00" 76°29'51" 8°45'49" 12°36'06" 12°36'06" 12°13'26" 4°13'08" 14°23'17" 59°53'23" 14°23'17" 16°39'33" 14°51'50" 13°48'38"
C175         71.21         338.00         71.08         N67° 44' 04"E         12°04'18"           C196         52.72         3486.00         52.72         N21° 37' 53"E         0°52'00"           C198         80.86         3485.99         80.86         N23° 52' 30"E         1'19'44"	C112 C113 C114 C120 C122 C123 C123 C128 C129 C130 C130 C131 C132 C133 C137 C138 C137 C138 C137 C138 C137 C152 C152 C153 C154 C155 C156	38.87         39.72         39.72         20.28         23.56         15.01         112.36         23.56         20.03         22.99         33.05         15.10         32.06         16.20         55.25         229.96         52.30         27.17         40.71         36.32         33.75         34.36	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         15.00         150.28         150.28         150.28         150.28         220.00         220.00         220.00         230.66         140.00         140.00         140.00	38.79       38.80       39.64       39.65       20.26       21.21       14.39       109.76       21.21       18.57       22.96       32.00       15.10       32.00       16.20       55.10       219.63       52.19       36.21       36.22       33.66       34.27	S3° 59' 43"W         S8° 02' 28"E         S20° 04' 42"E         S46° 39' 06"E         S46° 39' 06"E         S58° 57' 13"E         N68° 14' 41"W         N63° 36' 57"E         N47° 17' 23"E         S54° 32' 41"W         S63° 36' 57"W         N33° 08' 08"W         N0° 44' 00"E         S9° 56' 58"E         S19° 07' 47"E         N28° 07' 16"W         S69° 16' 29"E         N59° 58' 17"W         S22' 49' 56"E         S13' 45' 32"W         N65' 49' 25"W         N51' 56' 00"W         S36' 10' 18"E         N4' 53' 37"W         N9' 02' 32"E	8*36'07"           12°02'12"           12°02'16"           12°02'16"           12°02'16"           12°18'05"           12°18'09"           6°16'46"           90°00'00"           57°20'53"           42°50'17"           90°00'00"           76°29'51"           8°45'49"           12°13'26"           4'13'08"           14°23'17"           59°53'23"           12°59'33"           11°07'17"           16°39'33"           14*51'50"           13°48'38"           14°03'41"
C196       52.72       3486.00       52.72       N21° 37' 53"E       0°52'00"         C198       80.86       3485.99       80.86       N23° 52' 30"E       1°19'44"	C112 C113 C114 C120 C122 C123 C123 C128 C129 C130 C130 C131 C132 C133 C137 C138 C137 C138 C137 C138 C137 C152 C152 C155 C155 C156 C157	38.87         39.72         20.28         23.56         15.01         112.36         23.56         23.56         15.01         112.36         23.56         33.05         15.10         32.06         16.20         55.25         229.96         52.30         27.17         40.71         36.32         33.75         34.36         6.21	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         15.00         15.00         150.28         150.28         150.28         150.28         220.00         220.00         230.66         140.00         140.00         140.00         140.00	38.79       38.80       39.64       39.65       20.26       21.21       14.39       21.21       18.57       22.96       32.99       15.10       32.00       16.20       55.10       219.63       52.19       27.13       40.56       36.22       33.66       34.27       6.21	S3° 59' 43"W         S8° 02' 28"E         S20° 04' 42"E         S46° 39' 06"E         S58° 57' 13"E         N68' 14' 41"W         N63' 36' 57"E         N47' 17' 23"E         S63' 36' 57"W         N33' 08' 08"W         N0' 44' 00"E         S9' 56' 58"E         S19' 07' 47"E         N28' 07' 16"W         S69' 16' 29"E         N59' 58' 17"W         S22' 49' 56"E         S13' 45' 32"W         N65' 49' 25"W         N51' 56' 00"W         S36' 10' 18"E         N4' 53' 37"W         N9' 02' 32"E         N17' 20' 40"E	8*36'07"           12*02'12"           12*02'16"           12*02'16"           12*02'16"           12*02'16"           12*02'16"           12*02'16"           12*02'16"           12*02'16"           12*18'09"           6*16'46"           90*00'00"           57*20'53"           42*50'17"           90*00'00"           76*29'51"           8*45'49"           12*36'06"           5*45'32"           12*13'26"           4*13'08"           14*23'17"           59*53'23"           12*59'33"           11*07'17"           16*39'33"           14*51'50"           13*48'38"           14*03'41"           2*32'34"
C198 80.86 3485.99 80.86 N23° 52' 30"E 1°19'44"	C112 C113 C114 C120 C122 C123 C128 C128 C129 C130 C130 C131 C132 C137 C138 C137 C138 C137 C138 C137 C152 C153 C154 C155 C156 C157 C164	38.87         39.72         20.28         23.56         15.01         112.36         23.56         20.03         22.99         33.05         15.10         32.06         16.20         55.25         229.96         52.30         27.17         40.71         36.32         33.75         34.36         6.21         31.66	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         15.00         15.00         150.28         150.28         150.28         220.00         220.00         220.00         230.66         140.00         140.00         140.00         140.00         150.28	38.79       38.80       39.64       39.65       20.26       21.21       14.39       109.76       21.21       18.57       22.96       32.99       15.10       32.00       16.20       55.10       219.63       52.19       27.13       40.56       36.22       33.66       34.27       6.21       31.60	S3° 59' 43"W         S8° 02' 28"E         S20° 04' 42"E         S46° 39' 06"E         S46° 39' 06"E         S58° 57' 13"E         N68' 14' 41"W         N63° 36' 57"E         N47° 17' 23"E         S63° 36' 57"W         S63° 36' 57"W         N0° 44' 00"E         S9° 56' 58"E         S19° 07' 47"E         N28° 07' 16"W         S69° 16' 29"E         N59' 58' 17"W         S22' 49' 56"E         S13' 45' 32"W         N65' 49' 25"W         N51' 56' 00"W         S36' 10' 18"E         N4' 53' 37"W         N9' 02' 32"E         N17' 20' 40"E         N67' 06' 47"E	8*36'07"           12'02'12"           12'02'16"           12'02'16"           12'18'05"           12'18'09"           6'16'46"           90'00'00"           57'20'53"           42'50'17"           90'00'00"           76'29'51"           8'45'49"           12'13'26"           4'13'08"           14'23'17"           59'53'23"           12'59'33"           11'07'17"           16'39'33"           14*51'50"           13'48'38"           14*03'41"           2'32'34"
	C112 C113 C120 C122 C123 C123 C128 C128 C129 C130 C137 C137 C138 C137 C138 C137 C138 C137 C138 C137 C152 C154 C155 C155 C156 C157 C154 C157 C154	38.87         39.72         39.72         20.28         23.56         15.01         112.36         23.56         20.03         22.99         33.05         15.10         32.06         16.20         55.25         229.96         52.30         27.17         40.71         36.32         33.75         34.36         6.21         31.66         71.21	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         150.28         150.28         150.28         150.28         150.28         220.00         220.00         220.00         230.66         140.00         140.00         140.00         140.00         150.28	38.79       38.80       39.64       39.65       20.26       21.21       14.39       109.76       21.21       13.00       32.99       32.99       15.10       32.00       16.20       55.10       219.63       52.19       27.13       40.56       36.22       33.66       34.27       6.21       31.60       71.08	S3° 59' 43"W         S8° 02' 28"E         S20° 04' 42"E         S46° 39' 06"E         S46° 39' 06"E         S58° 57' 13"E         N68' 14' 41"W         N63° 36' 57"E         N47° 17' 23"E         S54° 32' 41"W         S63° 36' 57"W         N33' 08' 08"W         N0° 44' 00"E         S9° 56' 58"E         S19° 07' 47"E         N28' 07' 16"W         S69° 16' 29"E         N59' 58' 17"W         S22' 49' 56"E         S13' 45' 32"W         N65' 49' 25"W         N65' 49' 25"W         N51' 56' 00"W         S36' 10' 18"E         N4' 53' 37"W         N9' 02' 32"E         N17' 20' 40"E         N67' 06' 47"E         N67' 44' 04"E	8*36'07"           12°02'12"           12°02'16"           12°02'16"           12°18'05"           12'18'09"           6°16'46"           90°00'00"           57°20'53"           42°50'17"           90°00'00"           76°29'51"           8*45'49"           12°13'26"           4'13'08"           14°23'17"           59°53'23"           12°59'33"           11°07'17"           16°39'33"           14°51'50"           13°48'38"           14°03'41"           2°32'34"           12°04'18"
עניט א 1°12'15"	C112 C113 C120 C122 C123 C123 C128 C129 C130 C130 C131 C132 C137 C138 C137 C138 C137 C138 C137 C154 C152 C153 C154 C155 C156 C157 C156 C157 C164	38.87         39.72         39.72         20.28         23.56         15.01         112.36         23.56         20.03         22.99         33.05         15.10         32.06         16.20         55.25         229.96         52.30         27.17         40.71         36.32         33.75         34.36         6.21         31.66         71.21	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         15.00         150.28         150.28         150.28         150.28         220.00         220.00         220.00         230.66         140.00         140.00         140.00         140.00         140.00         140.00         140.00         140.00         140.00         140.00         140.00         140.00	38.79       38.80       39.64       39.65       20.26       21.21       14.39       109.76       21.21       18.57       22.96       32.00       15.10       32.00       16.20       55.10       219.63       6.2.19       33.66       34.27       6.21       31.60       71.08       52.72	S3° 59' 43"W         S8° 02' 28"E         S20° 04' 42"E         S46° 39' 06"E         S46° 39' 06"E         S58° 57' 13"E         N68° 14' 41"W         N63° 36' 57"E         N47° 17' 23"E         S54° 32' 41"W         S63° 36' 57"W         N33° 08' 08"W         N0° 44' 00"E         S9° 56' 58"E         S19° 07' 47"E         N28° 07' 16"W         S69° 16' 29"E         N59° 58' 17"W         S69° 16' 29"E         N59° 58' 17"W         S69° 16' 29"E         N59° 58' 17"W         S69° 16' 32"W         N59° 58' 17"W         S69° 16' 32"W         N59° 58' 17"W         S65' 49' 25"W         N65' 49' 25"W         N51° 56' 00"W         S36' 10' 18"E         N4' 53' 37"W         N9° 02' 32"E         N17' 20' 40"E         N67' 06' 47"E         N67' 06' 47"E         N67' 06' 47"E         N67' 44' 04"E	8*36'07"           12°02'12"           12°02'12"           12°02'16"           12°02'16"           12°18'05"           12°18'09"           6°16'46"           90°00'00"           57°20'53"           42°50'17"           90°00'00"           76°29'51"           8*45'49"           12°13'26"           4'13'08"           14°23'17"           59°53'23"           11°07'17"           16°39'33"           14°51'50"           13°48'38"           14°03'41"           2°32'34"           12°04'18"           0°52'00"
	C112 C113 C114 C120 C122 C123 C123 C128 C129 C130 C130 C137 C137 C138 C137 C138 C137 C138 C137 C152 C153 C154 C155 C156 C155 C156 C157 C164 C155 C196	38.87         39.72         39.72         20.28         23.56         15.01         112.36         23.56         20.03         22.99         33.05         15.10         32.06         16.20         55.25         229.96         52.30         27.17         40.71         36.32         33.75         34.36         6.21         31.66         71.21         52.72         80.86	185.00         185.00         185.00         185.00         185.00         185.00         185.00         15.00         15.00         15.00         15.00         15.028         150.28         150.28         150.28         220.00         220.00         220.00         230.66         140.00         140.00         140.00         140.00         338.00         3486.00	38.79       38.80       39.64       39.65       20.26       21.21       14.39       21.21       18.57       22.96       32.99       15.10       32.00       16.20       21.31       6.21       33.66       34.27       35.160       34.27       31.60       71.08       52.72       80.86	S3° 59' 43"WS8° 02' 28"ES20° 04' 42"ES46° 39' 06"ES46° 39' 06"ES58° 57' 13"EN68° 14' 41"WN63° 36' 57"EN47° 17' 23"ES63° 36' 57"WN33° 08' 08"WN0° 44' 00"ES9° 56' 58"ES19° 07' 47"EN28° 07' 16"WS69° 16' 29"EN59° 58' 17"WS22° 49' 56"ES13° 45' 32"WN65° 49' 25"WN51° 56' 00"WS36° 10' 18"EN4° 53' 37"WN9° 02' 32"EN17° 20' 40"EN67° 06' 47"EN67° 06' 47"EN67° 44' 04"EN67° 44' 04"EN67° 44' 04"EN67° 44' 04"EN21° 37' 53"EN23° 52' 30"E	8*36'07"         12°02'12"         12°02'12"         12°02'16"         12°18'05"         12°18'09"         6°16'46"         90°00'00"         57°20'53"         42°50'17"         90°00'00"         76°29'51"         8°45'49"         12°13'26"         4'13'08"         12°59'33"         14°23'17"         59°53'23"         11°07'17"         16°39'33"         14°51'50"         13°48'38"         14°03'41"         2°32'34"         12°04'18"         0°52'00"         1'19'44"

	·	1	RVE TA	
CURVE	LENGTH	RADIUS	CHORD	BEARING
C200	70.26	3485.99	70.26	N26° 19' 15"E
C201	69.43	3485.99	69.42	N27° 28' 08"
C202	21.12	285.00	21.12	N30° 09' 45"
C203	110.76	285.00	110.07	N43° 25' 10"E
C204	76.20	480.00	76.12	N59°14'59"E
C205	24.16	15.00	21.63	S70° 03' 36"E
C225	6.30	220.00	6.30	S75° 26' 27"E
C226	96.02	250.00	95.43	N27°28'19"
C228	37.75	175.00	37.68	S64° 00' 11"E
C229	49.48	175.00	49.31	N49° 43' 27"
C230	48.05	175.00	47.90	S33° 45' 30"E
C231	48.05	175.00	47.90	N18° 01' 31"W
C232	48.05	175.00	47.90	S2° 17' 32"E
C233	48.05	175.00	47.90	N13° 26' 27"E
C234	48.05	175.00	47.90	S29° 10' 26"V
C235	48.05	175.00	47.90	N44° 54' 25"
C236	0.81	175.00	0.81	S52° 54' 23"
C237	23.18	25.00	22.36	S26° 28' 27"
C238	30.18 30.74	50.00	29.73	S17° 12' 12"W
C239 C243		50.00 25.00	30.26 22.36	S52°06'42" N79°36'15"E
C243	23.18 67.72	135.00		
			67.01	N38° 40' 09"
C249 C250	66.83	135.00	66.15 147.29	N10° 07' 05"E
	155.79	135.00		N37° 07' 22"
C262	32.95	160.00	32.89	S51° 26' 30"
C263	14.75	520.00	14.75	S58° 09' 11"W
C264	46.57	520.00	46.55	S61° 31' 52"W
C271	25.23	15.00	22.36	N24° 15' 34"E
C272	74.26	480.00	74.19	N76° 52' 07"
C273	79.72	480.00	79.63	N86° 03' 33"
C274	77.33	480.00	77.24	S84° 34' 03"E
C275	76.10	480.00	76.02	S75° 24' 37"
C276	22.25 99.25	108.00	22.21 95.79	S64° 57' 59"E
C277	15.51	103.00		S44° 32' 29"E
C278 C294	65.97	180.00	15.50 65.61	
C294	22.12	15.00	20.17	N13° 25' 02" N66° 09' 27"
C295	340.61	520.00	334.55	S89° 37' 59"
C296	99.25	108.00	95.79	
C297	118.72	103.00	112.26	S82° 48' 19"V N89° 29' 55"I
C298	99.25	108.00	95.79	N83° 48' 30"
C302	84.24	103.00	81.92	S40° 38' 35"
C303	99.25	108.00	95.79	N43° 32' 18"E
C304	228.30	380.00	224.88	S52° 39' 14"W
C305	54.04	180.00	53.84	N63° 09' 30"
C308	23.56	15.00	21.21	S65° 08' 06"E
C309	65.86	600.00	65.83	S16° 59' 24"E
C310	15.69	290.00	15.68	N15° 23' 42"
C311	55.20	290.00	55.11	S22° 23' 49"
C312	59.56	290.00	59.46	N33° 44' 02"
C313	58.23	290.00	58.13	S45° 22' 12"E
C314	54.41	290.00	54.33	S56°29'51"E
C315	11.47	220.00	11.47	N63° 22' 02"
C316	62.55	220.00	62.34	N73°00'21"\
C317	8.42	220.00	8.42	S82° 14' 49"E
C318	19.37	20.00	18.62	S55° 36' 03"
C319	49.00	80.00	48.23	S45° 24' 12"E
C320	18.30	80.00	18.26	S69° 30' 10"E
C321	21.91	120.00	21.88	S81° 17' 12"E
C322	41.59	120.00	41.38	N83° 33' 21"E
C323	41.59	120.00	41.38	S63° 41' 59"W
C324	40.20	120.00	40.02	N44° 10' 26"E
C325	0.67	80.00	0.67	N34° 20' 13"E
C326	35.08	80.00	34.80	S21° 32' 05"V
C328	42.91	80.00	42.40	N6°23'46"W
C329	19.90	20.00	19.09	N6° 44' 04"E
C330	4.31	220.00	4.31	N34° 40' 17"E
C331	27.00	220.00	26.98	N30° 35' 40"
C332	58.42	615.00	58.40	N24° 21' 28"E
C333	58.09	624.99	58.07	S18° 55' 50"V
C334	34.93	615.00	34.92	N14° 35' 52"E
C335	34.28	300.00	34.26	N16°14'40"E
C336	69.44	300.00	69.29	S26° 08' 58"
C337	40.55	300.00	40.52	N36° 39' 09"
C338	31.58	140.00	31.51	N34° 03' 46"
C339	46.45	140.00	46.24	S18° 05' 42"V
C340	46.45	140.00	46.24	N0° 55' 00"W
C341	10.08	140.00	10.08	N74° 11' 56"V
C342	43.82	140.00	43.64	N63° 10' 10"V
C343	38.98	140.00	38.86	S46° 13' 31"E
L	1	1	I	ı

DELTA
°09'17" '08'28"
14'48"
2°16'02"
°05'44"
2°17'07"
'38'28"
2°00'21"
2°21'34"
5°11'54"
°43'59"
5°43'59"
5°43'59"
°43'59"
<sup>6</sup> 43'59"
<sup>6</sup> 43'59"
°15'56"
3°07'48"
<b>1°</b> 35'19"
513'42"
3°07'48"
3°44'25"
3°21'42"
5°07'12"
°47'53"
<sup>47</sup> 33 '37'30"
°07'52"
5°21'13"
•51'53"
°30'59"
13'49"
°05'03"
°48'12"
2°39'12"
°37'42"
°00'02"
•28'50"
7 <b>°</b> 31'47"
2*39'12"
5°02'24"
) () / / 4
2•39'12"
2*39'12" 5*51'46"
2•39'12"
2*39'12" 6*51'46" 2*39'12" 4*25'21"
2°39'12" 5°51'46" 2°39'12" 4°25'21" 7°12'08"
2*39'12" 5*51'46" 2*39'12" 4*25'21" 7*12'08" 0*00'00"
2*39'12" 5*51'46" 2*39'12" 4*25'21" 7*12'08" 0*00'00" *17'23"
2*39'12" 5*51'46" 2*39'12" 4*25'21" 7*12'08" 0*00'00"
2°39'12" 5°51'46" 2°39'12" 4°25'21" 7°12'08" 0°00'00" °17'23" °05'57" 0°54'19"
2°39'12" 5°51'46" 2°39'12" 4°25'21" 7°12'08" 0°00'00" 17'23" °05'57" 0°54'19" °46'05"
2*39'12" 5*51'46" 2*39'12" 4*25'21" 7*12'08" 0*00'00" 17'23" 0*05'57" 0*54'19" *46'05" *30'16"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 7'12'08" 0'00'00" 1'7'23" 0'05'57" 0'54'19" '46'05" '30'16" 0'45'02"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 1'05'57" 0'54'19" '46'05" 3'0'16" 1'45'02" '59'18"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 7'12'08" 0'00'00" 1'7'23" 0'05'57" 0'54'19" '46'05" '30'16" 0'45'02"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 7'12'08" 0'00'00" 1'7'23" 0'5'57" 0'54'19" 1'46'05" 0'45'02" 0'45'02" 0'45'02" 5'59'18"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'00'557" 0'55'57" 0'54'19" 4'46'05" 1'30'16" 0'45'02" 1'45'02" 1'45'02" 1'59'18" 5'17'21" 1'11'35" 5'29'07"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 7'12'08" 0'00'00" 1'7'23" 0'5'57" 0'54'19" 4'6'05" 0'54'19" 4'46'05" 0'54'19" 1'45'02" 0'59'18" 5'59'18" 5'17'21"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'05'57" 0'54'19" 1'46'05" 1'30'16" 1'45'02" 1'59'18" 5'9'18" 5'9'18" 5'17'21" 1'11'35" 5'29'07" 5'05'25"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 7'12'08" 0'00'00" 1'7'23" 0'5'57" 0'54'19" '46'05" 0'54'19" '46'05" 0'54'19" '46'05" 0'54'19" 1'45'02" 5'59'18" 5'17'21" 1'1'35" 5'29'07" 5'05'25" 5'06'30"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 17'23" 0'05'57" 17'23" 17'23" 17'23" 17'23" 17'23" 17'23" 17'23" 17'23" 17'23" 17'23" 17'23" 11'35" 5'29'07" 5'05'25" 5'06'30" 127'34" 9'51'21"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'55'57" 0'54'19" 46'05" 1'17'21" 1'135" 5'29'07" 5'05'25" 5'06'30" 0'27'34" 0'51'21" 0'51'21"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'05'57" 0'54'19" '46'05" 0'54'19" '46'05" 0'54'19" 1'45'02" 5'9'18" 5'17'21" 1'1'35" 5'29'07" 5'05'25" 5'06'30" 0'27'34" 9'51'21" 9'51'21" 9'11'45"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 7'12'08" 1'7'23" 0'00'00" 1'7'23" 0'5'57" 0'54'19" 4'6'05" 0'54'19" 1'45'02" 0'54'19" 1'45'02" 0'59'18" 5'9'18" 5'9'18" 5'9'18" 5'9'18" 5'9'16" 0'59'121" 0'551'21" 0'551'21" 0'551'21"
239'12" 3'51'46" 2'39'12" 1'25'21" 1'2'08" 1'2'08" 1'2'08" 1'2'07' 1'12'08" 1'17'23" 1'17'23" 1'17'23" 1'17'23" 1'17'21" 1'17'21" 1'17'21" 1'17'21" 1'17'21" 1'17'21" 1'17'21" 1'17'21" 1'29'07" 1'05'25" 1'06'30" 1'27'34" 1'51'21" 1'17'45" 1'28'41" 1'07'36"
2:39'12" 3:51'46" 2:39'12" 1:25'21" 1:2'08" 1:2'08" 1:2'08" 1:2'08" 1:2'08" 1:2'08" 1:2'08" 1:1'23" 1:1'23" 1:1'35" 1:29'07" 1:1'35" 1:29'07" 1:1'35" 1:29'07" 1:20'25'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25' 1:20'25'25'25' 1:20'25'25' 1:20'25'25'25' 1:20'25'25'25' 1:20'
239'12" 3'51'46" 2'39'12" 1'25'21" 1'2'08" 1'00'00" 1'7'23" 1'05'57" 1'54'19" 1'45'02" 1'59'18" 1'1'35" 1'59'18" 1'1'35" 1'59'18" 1'59'18" 1'59'18" 1'59'17' 1'1'35" 1'59'17' 1'51'21"
2:39'12" 3:51'46" 2:39'12" 4:25'21" 4:25'21" 4:00'00" 17'23" 5:05'57" 5:54'19" 5:46'05" 5:30'16" 145'02" 5:59'18" 5:59'18" 5:59'18" 5:59'18" 5:59'18" 5:59'18" 5:59'17" 11'35" 5:29'07" 5:59'121" 5:51'21"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'55'57" 1'17'23" 1'17'23" 1'17'23" 1'17'23" 1'46'05" 1'46'05" 1'45'02" 1'45'02" 1'45'02" 1'17'21" 1'17'35" 1'17'21" 1'17'35" 1'29'07" 1'17'34" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'51'21" 0'11'45" 1'28'41" 1'28'41" 0'7'36" 1'44'06" 1'59'45" 1'07'20" 1'152"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'05'57" 0'54'19" 46'05" 1'30'16" 0'45'02" 1'46'05" 1'45'02" 1'1'35" 0'45'02" 1'1'35" 0'59'18" 0'59'18" 0'59'17" 1'1'35" 0'59'17" 0'51'21' 0'51'21' 0'51'21' 0'51'21' 0'51'21' 0'51'21' 0'51'21' 0'
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'05'57" 0'54'19" 46'05" 1'45'02" 1'45'02" 1'45'02" 1'59'18" 0'17'21" 1'1'35" 5'29'07" 0'51'21"
2'39'12" 5'51'46" 2'39'12" 4'25'21" 4'25'21" 4'25'21" 1'12'08" 0'00'00" 1'7'23" 0'05'57" 0'54'19" 46'05" 30'16" 1'45'02" 59'18" 5'77'21" 1'1'35" 5'29'07" 5'59'18" 5'77'21" 1'1'35" 5'29'07" 5'59'18" 5'77'21" 1'1'35" 5'59'14" 5'59'45" 0'44'06" 5'59'45" 0'7'20" 1'5'15"
239'12" 239'12" 239'12" 225'21" 12'08" 200'00" 17'23" 05'57" 254'19" 246'05" 246'05" 259'18" 245'02" 259'18" 259'18" 27'34" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 29'07" 205'25" 206'30" 29'07" 205'25" 206'30" 27'34"
<ul> <li>*39'12"</li> <li>*51'46"</li> <li>*39'12"</li> <li>*25'21"</li> <li>*12'08"</li> <li>*00'00"</li> <li>17'23"</li> <li>*54'19"</li> <li>46'05"</li> <li>*30'16"</li> <li>*45'02"</li> <li>*54'19"</li> <li>*45'02"</li> <li>*59'18"</li> <li>*17'21"</li> <li>*11'35"</li> <li>*29'07"</li> <li>*05'25"</li> <li>*06'30"</li> <li>*27'34"</li> <li>*51'21"</li> <li>*51'51"</li> <li< td=""></li<></ul>
<ul> <li>*39'12"</li> <li>*51'46"</li> <li>*39'12"</li> <li>*25'21"</li> <li>*12'08"</li> <li>*20'00"</li> <li>17'23"</li> <li>*54'19"</li> <li>46'05"</li> <li>*54'19"</li> <li>46'05"</li> <li>*50'16"</li> <li>*46'02"</li> <li>*59'18"</li> <li>*17'21"</li> <li>*51'21"</li> <li>*51'51"</li> <li></li></ul>
<ul> <li>*39'12"</li> <li>*51'46"</li> <li>*39'12"</li> <li>*25'21"</li> <li>*12'08"</li> <li>*20'00"</li> <li>17'23"</li> <li>*55'57"</li> <li>*6'05"</li> <li>*50'19"</li> <li>46'05"</li> <li>*30'16"</li> <li>*45'02"</li> <li>*59'18"</li> <li>*17'21"</li> <li>*11'35"</li> <li>*29'07"</li> <li>*05'25"</li> <li>*06'30"</li> <li>*29'07"</li> <li>*05'25"</li> <li>*06'30"</li> <li>*29'07"</li> <li>*05'25"</li> <li>*06'30"</li> <li>*29'07"</li> <li>*05'25"</li> <li>*06'30"</li> <li>*27'34"</li> <li>*51'21"</li> <li></li></ul>
39'12"         39'12"         39'12"         39'12"         25'21"         12'08"         00'00"         7'23"         05'57"         54'19"         46'05"         30'16"         45'02"         59'18"         17'21"         11'35"         29'07"         05'55"         06'30"         27'34"         51'21"         11'45"         28'41"         07'36"         44'06"         59'45"         07'20"         01'52"         26'33"         9'30"         15'15"         32'51"         15'45"         44'39"         55'26"         00'42"
<ul> <li>*39'12"</li> <li>*51'46"</li> <li>*39'12"</li> <li>*25'21"</li> <li>*12'08"</li> <li>*00'00"</li> <li>*17'23"</li> <li>*54'19"</li> <li>*46'05"</li> <li>*30'16"</li> <li>*45'02"</li> <li>*59'18"</li> <li>*17'21"</li> <li>*17'21"</li> <li>*17'21"</li> <li>*17'21"</li> <li>*05'25"</li> <li>*06'30"</li> <li>*27'34"</li> <li>*51'21"</li> <li>*55'26"</li> <li>*00'42"</li> <li>*00'42"</li> </ul>
<ul> <li>*39'12"</li> <li>*39'12"</li> <li>*39'12"</li> <li>*39'12"</li> <li>*39'12"</li> <li>*25'21"</li> <li>*12'08"</li> <li>*00'00"</li> <li>17'23"</li> <li>*55'57"</li> <li>*54'19"</li> <li>*46'05"</li> <li>*30'16"</li> <li>*45'02"</li> <li>*59'18"</li> <li>*17'21"</li> <li>*11'45"</li> <li>28'41"</li> <li>*07'36"</li> <li>*44'06"</li> <li>*59'45"</li> <li>*07'20"</li> <li>*15'15"</li> <li< td=""></li<></ul>

	I	CU	RVE TA	BLE	
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C736	32.06	150.28	32.00	S54° 57' 56"W	12°13'26"
C737	34.92	150.28	34.84	S79°48'21"W	13°18'51"
C738	35.24	150.28	35.16	N86° 49' 10"W	13°26'08"
C739	22.86	150.28	22.84	N75°44'34"W	8°43'02"
C748	196.35	125.00	176.78	S26° 23' 03"E	90°00'00"
C749	172.79	110.00	155.56	S26°23'03"E	90°00'00"
C750	41.39	140.00	41.24	S20° 16' 10"E	16 <b>°</b> 56'27"
C752	85.02	338.17	84.79	N33° 17' 58"W	14 <b>°</b> 24'15"
C753	46.51	185.00	46.39	N33° 17' 57"W	14 <b>°</b> 24'14"
C798	19.76	15.00	18.36	N70° 52' 15"E	75°29'24"
C799	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"
C807	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"
C808	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"
C809	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"
C810	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"
C811	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"
C812	384.85	245.00	346.48	S26° 23' 03"E	90°00'00"
C813	424.12	270.00	381.84	S26° 23' 03"E	90°00'00"
C814	5.01	15.00	4.99	S28° 10' 59"W	19°08'05"
C815 C816	18.55 9.28	15.00 15.00	17.39 9.13	S73° 10' 59"W	70°51'55"
			9.13	S0° 53' 52"W	35°26'08"
C817 C818	11.69 23.56	15.00 15.00	11.39 21.21	S49° 04' 01"E S63° 36' 57"W	44°38'05" 90°00'00"
C818	23.56	15.00	21.21	S63° 36° 57 W	90°00'00" 90°00'00"
C819	23.56	15.00	21.21	S26 23 03 E S26° 23' 03"E	90'00'00"
C820	23.56	15.00	21.21	S63° 36' 57"W	90'00'00"
C822	23.56	15.00	21.21	S63° 36' 57"W	90°00'00" 90°00'00"
C825	659.89	871.01	644.22	N50° 56' 12"W	43°24'30"
C855	22.33	15.00	20.33	S77° 14' 25"E	+5 2+ 50 85°17'59"
C857	61.59	388.17	61.52	S48° 21' 41"E	9°05'26"
C858	61.59	388.17	61.52	S57° 27' 07"E	9°05'26"
C859	61.59	388.17	61.52	S66° 32' 33"E	9°05'26"
C860	2.01	388.17	2.01	S71° 14' 10"E	0๚7'48"
C865	47.41	388.17	47.38	S21°08'08"E	6 <b>°</b> 59'53"
C870	59.75	388.17	59.69	S13° 17' 08"W	8°49'11"
C871	59.75	388.17	59.69	S4° 27' 57"W	8°49'11"
C872	59.93	388.17	59.87	S4° 22' 02"E	8°50'46"
C873	59.93	388.17	59.87	S13° 12' 48"E	8 <b>°</b> 50'46"
C876	25.65	15.00	22.64	S60°04'29"W	97 <b>°</b> 59'30"
C877	57.26	388.00	57.21	S15°18'24"W	8°27'20"
C878	78.01	388.00	77.88	S25°17'39"W	11°31'09"
C879	59.54	388.00	59.48	S35°27'00"W	8°47'33"
C881	47.66	388.00	47.63	S49° 36' 13"W	7 <b>°</b> 02'16"
C883	22.26	15.00	20.27	S18° 35' 29"W	85°01'04"
C902	23.56	15.00	21.21	N26°23'03"W	90 <b>°</b> 00'00"
C903	85.69	108.00	83.46	N41°20'43"E	45°27'32"
C904	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"
C907	61.72	388.00	61.65	S77° 36' 04"W	9 <b>°</b> 06'50"
C908	61.86	388.00	61.80	S86° 43' 32"W	9°08'07"
C909	61.86	388.00	61.80	N84° 08' 21"W	9°08'07"
C910	55.44	388.00	55.40	N75° 28' 41"W	8°11'15"
C925	23.56	15.00	21.21	N63° 36' 57"E	90°00'00"
C926	23.56	15.00	21.21	N26° 23' 03"W	90°00'00"
C927	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"
C928 C930	23.56 23.56	15.00 15.00	21.21 21.21	S63° 36' 57"W N63° 36' 57"E	90°00'00" 90°00'00"
C930	16.55	15.00	15.73	N63 36 57 E	90 00 00 63°13'59"
C933	27.53	150.28	27.49	N39° 28' 50"W	10°29'44"
C934	19.26	120.28	19.24	S66° 47' 52"E	9°10'23"
C935	171.08	120.28	157.02	S21° 27' 43"E	81°29'55"
C936	168.27	120.28	154.88	S59° 21' 56"W	80°09'23"
C937	19.25	120.28	19.23	N75° 58' 13"W	9°10'20"
C938	283.61	90.28	180.55	S18°36'57"W	180°00'00"
C938 C939	283.61 283.61	90.28 90.28	180.55 180.55	N18° 36' 57"W	180°00'00" 180°00'00"
C939	283.61	90.28	180.55	N18 36' 57"E	180 <b>°</b> 00'00"
C939 C940	283.61 178.37	90.28 120.28	180.55 162.47	N18° 36' 57"E N66° 07' 47"E	180°00'00" 84°58'20"
C939 C940 C941	283.61 178.37 199.48	90.28 120.28 120.28	180.55 162.47 177.39	N18° 36' 57"E N66° 07' 47"E N23° 52' 13"W	180°00'00" 84°58'20" 95°01'40"
C939 C940 C941 C953	283.61 178.37 199.48 23.56	90.28 120.28 120.28 15.00	180.55 162.47 177.39 21.21	N18 36' 57"E N66 07' 47"E N23 52' 13"W N26 23' 03"W	180°00'00" 84°58'20" 95°01'40" 90°00'00"
C939 C940 C941 C953 C956	283.61 178.37 199.48 23.56 42.25	90.28 120.28 120.28 15.00 388.00	180.55 162.47 177.39 21.21 42.22	N18' 36' 57"E N66' 07' 47"E N23' 52' 13"W N26' 23' 03"W S42' 57' 56"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18"
C939 C940 C941 C953 C956 C957	283.61 178.37 199.48 23.56 42.25 69.70	90.28 120.28 120.28 15.00 388.00 3485.99	180.55 162.47 177.39 21.21 42.22 69.70	N18* 36' 57"E N66* 07' 47"E N23* 52' 13"W N26* 23' 03"W S42* 57' 56"W N22* 38' 15"E	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44"
C939 C940 C941 C953 C956 C957 C962	283.61 178.37 199.48 23.56 42.25 69.70 50.17	90.28 120.28 120.28 15.00 388.00 3485.99 160.00	180.55 162.47 177.39 21.21 42.22 69.70 49.97	N18° 36' 57"E N66° 07' 47"E N23° 52' 13"W N26° 23' 03"W S42° 57' 56"W N22° 38' 15"E S36° 33' 34"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58"
C939 C940 C941 C953 C956 C957 C962 C963	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92	180.55 162.47 177.39 21.21 42.22 69.70 49.97 6.31	N18* 36' 57"E N66* 07' 47"E N23* 52' 13"W N26* 23' 03"W S42* 57' 56"W N22* 38' 15"E S36* 33' 34"W S27* 31' 32"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05"
C939 C940 C953 C955 C956 C962 C963 C964	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31 58.74	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92 3565.99	180.55 162.47 177.39 21.21 42.22 69.70 49.97 6.31 58.74	N18' 36' 57"E N66' 07' 47"E N23' 52' 13"W N26' 23' 03"W S42' 57' 56"W N22' 38' 15"E S36' 33' 34"W S27' 31' 32"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05" 0°56'38"
C939 C940 C953 C955 C957 C962 C963 C964 C965	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31 58.74 60.89	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92 3565.99	180.55         162.47         177.39         21.21         42.22         69.70         49.97         6.31         58.74         60.89	N18' 36' 57"E N66' 07' 47"E N23' 52' 13"W N26' 23' 03"W S42' 57' 56"W N22' 38' 15"E S36' 33' 34"W S27' 31' 32"W S27' 00' 11"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05" 0°56'38" 0°56'38"
C939 C940 C953 C955 C957 C962 C963 C964 C965 C966	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31 58.74 60.89 60.89	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92 3565.99 3565.99	180.55 162.47 177.39 21.21 42.22 69.70 49.97 6.31 6.31 58.74 60.89 60.89	N18*       36'       57"E         N66*       07'       47"E         N23*       52'       13"W         N26*       23'       03"W         S42*       57'       56"W         N22*       38'       15"E         S36*       33'       34"W         S27*       31'       32"W         S26*       02'       31"W         S25*       03'       49"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05" 0°56'38" 0°58'42"
C939 C940 C953 C956 C957 C962 C963 C964 C965 C966 C967	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31 58.74 60.89 60.89 60.89	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92 3565.99 3565.99 3565.99	180.55 162.47 177.39 21.21 42.22 69.70 49.97 6.31 58.74 60.89 60.89 60.89	N18*       36'       57"E         N66*       07'       47"E         N23*       52'       13"W         N26*       23'       03"W         S42*       57'       56"W         N22*       38'       15"E         S36*       33'       34"W         S27*       31'       32"W         S26*       02'       31"W         S25*       03'       49"W         S24*       05'       07"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05" 0°56'38" 0°58'42" 0°58'42"
C939 C940 C953 C955 C957 C962 C963 C964 C965 C965 C966 C967 C968	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31 58.74 60.89 60.89 60.89	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92 3565.99 3565.99 3565.99 3565.99	180.55 162.47 177.39 21.21 42.22 69.70 49.97 6.31 58.74 60.89 60.89 60.89	N18*       36'       57"E         N66*       07'       47"E         N23*       52'       13"W         N26*       23'       03"W         S42*       57'       56"W         N22*       38'       15"E         S36*       33'       34"W         S27*       00'       11"W         S26*       02'       31"W         S25*       03'       49"W         S23*       06'       25"W         S21*       13'       54"W         S65*       19'       14"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05" 0°56'38" 0°58'42" 0°58'42" 0°58'42"
C939 C940 C953 C955 C957 C962 C963 C964 C965 C966 C967 C968 C969	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31 58.74 60.89 60.89 60.89 60.89 50.79	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92 3565.99 3565.99 3565.99 3565.99	180.55         162.47         177.39         21.21         42.22         69.70         49.97         6.31         58.74         60.89         60.89         60.89         50.79	N18*       36'       57"E         N66*       07'       47"E         N23*       52'       13"W         N26*       23'       03"W         S42*       57'       56"W         N22*       38'       15"E         S36*       33'       34"W         S27*       00'       11"W         S26*       02'       31"W         S25*       03'       49"W         S23*       06'       25"W         S23*       06'       25"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05" 0°56'38" 0°56'38" 0°58'42" 0°58'42" 0°58'42" 0°58'42"
C939 C940 C953 C955 C957 C962 C963 C964 C965 C966 C967 C968 C969 C969	283.61 178.37 199.48 23.56 42.25 69.70 50.17 6.31 58.74 60.89 60.89 60.89 60.89 60.89 50.79 23.30	90.28 120.28 120.28 15.00 388.00 3485.99 160.00 3565.92 3565.99 3565.99 3565.99 3565.99 3565.99 3565.99 15.00	180.55         162.47         177.39         21.21         42.22         69.70         49.97         6.31         58.74         60.89         60.89         60.89         50.79         21.03	N18*       36'       57"E         N66*       07'       47"E         N23*       52'       13"W         N26*       23'       03"W         S42*       57'       56"W         N22*       38'       15"E         S36*       33'       34"W         S27*       00'       11"W         S26*       02'       31"W         S25*       03'       49"W         S23*       06'       25"W         S21*       13'       54"W         S65*       19'       14"W	180°00'00" 84°58'20" 95°01'40" 90°00'00" 6°14'18" 1°08'44" 17°57'58" 0°06'05" 0°56'38" 0°56'38" 0°58'42" 0°58'42" 0°58'42" 0°58'42" 0°58'42" 0°58'42"

		CUI	RVE TA	BLE				LINE	TABLE
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA		INE	LENGTH	BEARIN
C979	441.74	3525.99	441.45	N16° 40' 53"E	7°10'41"		L47	2.00	S29° 53' :
C980	436.96	3525.99	436.68	N23° 49' 16"E	7 <b>°</b> 06'01"	-	 L48	2.00	N29° 53' 2
C981	164.77	315.00	162.89	N42° 21' 21"E	29°58'10"		L50	2.00	N66° 04'
C983	66.69	3565.99	66.69	S14° 25' 45"W	1°04'18"		L50	2.00	S66° 04' 5
C984	61.00	3565.99	61.00	S15° 27' 18"W	0°58'48"	{ ⊢	L52	2.00	N66° 04'
C985	61.00	3565.99	61.00	S16°26'06"W	0°58'48"	-	L54	16.53	N23° 55' (
C986	61.00	3565.99	61.00	N17° 24' 54"E	0°58'48"	-	L55	2.00	S66° 04' 5
C987	61.00	3565.99	61.00	S18°23'42"W	0°58'48"		L56	2.00	N87° 04'
C988	50.93	3565.99	50.93	S19° 17' 40"W	0°49'06"	{ ⊢	L57	16.53	N23°55'(
C989	23.53	15.00	21.19	S25° 14' 22"E	89 <b>°</b> 53'10"		LE2	160.96	N89° 57'
C1006	265.00	363.17	259.16	N50°28'49"W	41°48'29"		LE3	781.14	N87° 34'
C1007	355.94	363.17	341.86	N1° 29' 54"W	56°09'20"		LE4	356.29	N89° 25'
C1008	107.23	595.00	107.08	S21°25'00"W	10 <b>°</b> 19'32"		LE5	198.20	S79° 49' :
C1009	0.05	595.00	0.05	S16°15'06"W	0°00'17"		LE6	600.01	S79° 04' 3
C1010	351.19	363.00	337.65	N38°22'01"E	55 <b>°</b> 25'53"		LE7	585.79	S79° 04' 🤅
C1011	269.47	363.00	263.33	N87°20'57"E	42 <b>°</b> 31'59"		LE8	215.65	S79° 49' :
C1012	72.22	851.01	72.19	N68° 38' 26"W	4 <b>°</b> 51'44"	[	LE9	308.72	N89° 25'
C1013	70.56	851.01	70.54	N63° 50' 03"W	4 <b>°</b> 45'03"	[	LE10	781.80	N87° 34'
C1014	70.56	851.01	70.54	N59°04'59"W	4°45'03"		LE11	233.27	N89° 57' .
C1015	70.56	851.01	70.54	N54° 19' 56"W	4°45'03"		LE12	70.27	N87° 29'
C1016	70.56	851.01	70.54	N49° 34' 53"W	4°45'03"		LE13	66.78	N86° 13' (
C1017	70.56	851.01	70.54	N44° 49' 50"W	4°45'03"		LE14	158.78	N89° 38'
C1018	70.56	851.01	70.54	N40°04'46"W	4°45'03"		LE15	229.73	S84° 22' 3
C1019	70.56	851.01	70.54	N35° 19' 43"W	4°45'03"	⊢	LE16	223.94	S83° 23' 2
C1020	62.50	388.17	62.43	N39° 12' 12"W	9"13'32"		LE17	83.53	N82° 26'
C1021	207.61	155.00	192.43	N33° 00' 46"W	76°44'35"	-	LE18	95.62	N62° 53'
C1022	22.26	15.00	20.27	N66° 25' 34"W	85°01'04"	-	LE19	605.72	N60° 56'
C1023	254.29	388.00	249.76	N89° 50' 25"E	37°33'03"	-	_E20	61.23	N12° 12' 2
C1024	23.56	15.00	21.21	N63° 36' 57"E	90.00,00		LE21	85.62	N18° 54' 4
C1024	23.56	15.00	21.21	S26° 23' 03"E	90°00'00"	-	_E22	72.25	N28° 18' 3
						-			
C1026	23.56	15.00	21.21	S63° 36' 57"W	90°00'00"		_E23	160.59	S35° 26' 3
C1027	24.26	15.00	21.70	S24° 36' 10"E	92°39'12"	-	_E25	65.59	N53° 16' 5
C1028	46.71	570.00	46.70	S24° 04' 43"W	4°41'43"	-	LE26	106.92	N34° 41'
C1029	1.53	570.00	1.53	S26° 30' 10"W	0°09'12"	-	_E27	26.72	S35° 26' 3
C1030	60.19	388.17	60.13	S22°08'15"W	8°53'02"	-	_E28	87.73	S79°49'
C1033	58.13	595.00	58.11	S13° 27' 01"W	5°35'52"	-	LE29	187.30	S35° 26' 3
C1034	0.03	3525.99	0.03	N20° 16' 14"E	0°00'02"	{ ⊢	_E30	74.34	S8° 33' 0
C1040	81.37	222.00	80.91	N13° 25' 02"W	21°00'02"		LE31	213.69	S12°58'
C1041	23.13	14.79	20.84	S20°05'23"W	89°35'19"		_E32	126.11	S41° 33' 2
C1042	0.74	285.00	0.74	N54° 37' 39"E	0°08'56"		_E33	103.18	S17° 50' 4
C1043	80.64	220.00	80.19	S13° 25' 02"E	21°00'02"		LE36	35.99	S17° 50' 4
C1051	23.53	851.01	23.52	N71°51'49"W	1°35'02"	[	_E37	105.01	S71°49'(
C1052	23.13	14.79	20.84	S20° 05' 23"W	89 <b>°</b> 35 <b>'</b> 19"	[	_E38	46.00	S44° 25' ·
C1053	23.56	15.00	21.21	N63° 36' 57"E	90 <b>°</b> 00'00"	ī	LE39	199.18	N24° 42'
C1054	23.56	15.00	21.21	N26°23'03"W	90 <b>°</b> 00'00"	[	_E40	57.23	S53° 20' -
C1056	22.15	15.00	20.19	S17°48'00"W	84°37'11"	[	LE41	53.56	S31°45'(
C1057	85.69	108.00	83.46	S4° 06' 49"E	45°27'32"	[	_E42	24.99	S41° 10' 1
C1058	54.02	388.00	53.98	S57°06'41"W	7 <b>°</b> 58'40"	ī	_E43	33.85	S56° 58' 3
CE680	119.96	580.00	119.74	N41°22′04"E	11°51'00"	.	_E44	70.90	S23° 57' (
CE681	102.64	580.00	102.51	S52°21'45"W	10 <b>°</b> 08'22"		_E45	44.13	S17° 37' 5
CE682	230.27	600.00	228.86	N46°26'15"E	21°59'22"	-	LE46	42.83	S77° 47' 3
CE683	238.88	280.00	231.70	S32° 59' 30"W	48°52'51"				
CE684	150.29	400.00	149.41	S2° 12' 45"E	21°31'41"				
CE685	218.29	500.00	216.56	N0° 28' 11"W	25°00'50"				
CE686	426.61	828.00	421.91	N26° 47' 51"E	23 <sup>°</sup> 31'13"				
52000		844.00	346.80	S29° 42' 06"W	23°42'43"				
CE687	349.29								

SS S	FRELIMINARY SUBULYISIUN FLAINS	BE MADE WITHOUT THE EXPRESS WRIJ BISSELL, PRINCIPAL OF BPG, INC
	Attachment: 1 ADDDAVED East Dralim D1st D 1.5 (DB 18.23 East Develorment DDD (Dhasas 1.5) Amended D1st() [se Dermit)	mended Dlat/  [se Dermit)

Bissell Professional Group	Firm License # C-956 3512 North Croatan Highway P.O. Box 1068 Kitty Hawk. North Carolina 27949	(25Ź) 261–3266 FAX (252) 261–1760
		PROFESSIONAL GROUP Engineers, Planners, Surveyors and Environmental Specialists
CURVE TABLES	<b>PRELIMINARY PLAT</b>	THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY HAWK, NORTH CAROLINA. THE REPRODUCTION, IN WHOLE OR PART, OR THE MODIFICATION OF ANY DETAIL OR DESIGN IS NOT TO BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF MARK S. BISSELL, PRINCIPAL OF BPG, INC., COPYRIGHT 2005.
THE FOST TRACT PD-R		<b>PRELIMINARY SUBDIVISION PLANS</b>
REV DE	1 12/19/19 TRC Comments WGY	
PR DR DO N CONS		RESS VING EFOR TION
DATE: 12/23/ DESIGNED: BPO DRAWN: KFW/DMH SHEET: 18	/19 G K/WGY	SCALE: N/A CHECKED: MSB APPROVED: BPG
CAD FILI 4 PROJEC	e: 6510	0PP1

4.B.d

SCHEDULE C	ROADWAY STANDARDS	
ТҮРЕ	R/W WIDTH	PAV'T.WIDTH (B-B)
Boulevard w/on-street parking & bike lane	100' – 130'	35' each way
Local Road w/parking both sides	60'	43'
Local Road w/parking one side	50' – 55'	35
Local Road w/no parking	40'	27'
Alley	20' - 30'	20'
Boulevard w/out bike lane	80'	16' each way

DE	VELOPMENT STAND	ARDS & SETBACKS	
		STYLE	
	TND T.H.	TND S.F. LOT	CONV. S.F. LOT
MIN. LOT SIZE	1,800 SF	6,900 SF	9,500 SF
TYPICAL LOT SIZE	1,800 - 3,000 SF	7,000 - 9,000 SF	10,000 - 15,000 SF
MIN. LOT WIDTH	20'	35'	35'
TYPICAL LOT WIDTH	20'–25'	50'-60'	62'
FRONT SETBACK	15'	20'	20'
SIDE SETBACK	0	10'	10'
REAR SETBACK	20'	20'	25'
CORNER SIDE SETBACK	15'	15'	15'
MAXIMUM SETBACK	25'	75'	140'
MAXIMUM HEIGHT	35'	35'	35'
MAXIMUM BUILDING SIZE	16,000 SF	N/A	N/A
MAXIMUM LOT COVERAGE	100%	60%	45%

### ZONING CONDITIONS:

- a. THE PHASING PLAN ATTACHED TO THIS ORDINANCE AND INCORPORATED HEREIN BY REFERENCE AS SCHEDULE B (ATTACHED) SHALL BE ADHERED TO EXCEPT THAT THE DEVELOPER MAY DETERMINE THE SEQUENCE IN WHICH PHASES ARE DEVELOPED. THE DEVELOPER SHALL PROVIDE AN ANNUAL REPORT UPDATING THE PHASING PLAN FOR THE DEVELOPMENT. NOTWITHSTANDING THE FORGOING, THE FIRST PHASE OF DEVELOPMENT SHALL NOT EXCEED SEVENTY-ONE (71) RESIDENTIAL UNITS.
- b. DEVELOPMENT ON THE PROPERTY SHALL BE CONNECTED TO A NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY ("NCDEQ") PERMITTED AND APPROVED CENTRAL WASTEWATER TREATMENT AND DISPOSAL SYSTEM, AND TO THE CURRITUCK COUNTY WATER SYSTEM. FIRE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE UDO STANDARDS AND THE N.C. FIRE CODE.
- c. THE DENSITY/INTENSITY STANDARDS, DIMENSIONAL STANDARDS AND DEVELOPMENT STANDARDS FOR DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE MASTER PLAN AND SCHEDULE A (ATTACHED), SUBJECT TO THE DEGREE OF FLEXIBILITY PROVIDED IN THESE CONDITIONS.
- d. COMMUNITY FORM AND DESIGN FOR DEVELOPMENT OF THE PROPERTY SHALL CONFORM TO THE STREETSCAPE PERSPECTIVES, EXAMPLE MODEL HOME DRAWINGS, MIXED USE, AND CLUBHOUSE PERSPECTIVE DRAWINGS ILLUSTRATED ON THE MASTER PLAN AND AS PROVIDED AND ILLUSTRATED IN APPENDIX TO THE MASTER PLAN SUPPLEMENTAL DOCUMENT. VARIATIONS MAY BE PROVIDED AND SHALL BE PERMITTED IN COLORS, MATERIALS, AND ARCHITECTURAL DETAILING THAT ARE COMPATIBLE WITH THE DESIGN CONCEPT.
- E. TRANSPORTATION: THE MAIN SUBDIVISION ENTRANCE WILL BE CONNECTED DIRECTLY TO N.C. HIGHWAY168. DECELERATION AND ACCELERATION LANES SHALL BE PROVIDED ALONG THE PROPERTY FRONTAGE IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, ("NCDOT"), STANDARDS AND SHALL BE APPROVED BY NCDOT PRIOR TO CONSTRUCTION. CONNECTIVITY WILL BE PROVIDED TO THE EXISTING FARMLAND TO THE SOUTHEAST, IDENTIFIED WITH PARCEL IDENTIFICATION NUMBER ("PIN") 002300000070000. ROADWAYS SHALL BE LAID OUT GENERALLY AS SHOWN ON THE MASTER PLAN AND SCHEDULE C.
- POTABLE WATER: WATER SHALL BE SUPPLIED BY CURRITUCK COUNTY VIA AN EXISTING 12" MAIN LOCATED ON N.C. HIGHWAY 168 WHICH WILL BE TAPPED AND LOOPED THROUGH THE SITE. FIRE PROTECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH UDO STANDARD AND THE APPLICABLE INSURANCE SERVICE OFFICE STANDARDS. INDIVIDUAL LOTS AND DWELLINGS SHALL BE METERED. THE DEVELOPER SHALL MODEL THE COUNTY'S WATER SYSTEM TO DEMONSTRATE ADEQUATE WATER FLOW AND PRESSURE FOR FIGHTING FIRES WHILE MEETING THE MAXIMUM DAY DOMESTIC DEMAND.
- WASTEWATER: LAND HAS BEEN SET ASIDE FOR THE CONSTRUCTION OF A CENTRALIZED WASTEWATER TREATMENT AND DISPOSAL FACILITY THAT WILL BE CONSTRUCTED IN ACCORDANCE WITH NCDEQ STANDARDS AND APPROVED BY NCDEQ. A WASTEWATER COLLECTION SYSTEM WILL BE CONSTRUCTED BY THE DEVELOPER AND MANAGED BY A WASTEWATER UTILITY. THE UTILITY WILL BE REGULATED BY THE NORTH CAROLINA UTILITIES COMMISSION AND WILL APPLY FOR A CERTIFICATE OF PUBLIC NECESSITY AND CONVENIENCE.

ZONING CONDITIONS CONTINUED:

- h. ON-SITE STORMWATER: THE FOLLOWING IMPROVEMENTS TO STORMWATER DRAINAGE ("IMPROVEMENTS") ON THE PROPERTY SHALL BE COMPLETED BY THE DEVELOPER PRIOR TO RECORDING THE FINAL PLAT FOR THE FIRST PHASE OF DEVELOPMENT ON THE PROPERTY:
- i. IMPROVE ROWLAND CREEK FOR THE ENTIRE LENGTH ON THE PROPERTY BY CONSTRUCTION OF A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY IS LOCATED.
- ii. INSTALL A NEW DITCH ALONG THE ENTIRE LENGTH OF THE PROPERTY'S EASTERN COMMON BOUNDARY LINE WITH RANCHLAND SUBDIVISION ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 500 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY AND A PORTION OF RANCHLAND SUBDIVISION ARE LOCATED.
- III. THE IMPROVEMENTS SET FORTH IN THIS SECTION SHALL BE MAINTAINED BY THE DEVELOPER, OR A MANAGEMENT ASSOCIATION CREATED BY THE DEVELOPER.
- i. OFF-SITE STORMWATER: SUBJECT TO OBTAINING RIGHT OF ENTRY FROM OFF-SITE PROPERTY OWNERS, I.E. IF CONSENT OF THOSE PROPERTY OWNERS IS OBTAINED, THE FOLLOWING IMPROVEMENTS TO STORM WATER DRAINAGE SYSTEMS OUTSIDE THE BOUNDARIES OF THE PROPERTY SHALL BE COMPLETED BY THE DEVELOPER PRIOR TO RECORDING THE FINAL PLAT FOR THE FIRST PHASE OF THE DEVELOPMENT:
- i. CLEAR AND SNAG ROWLAND CREEK FROM N. C. HIGHWAY 168 TO THE EAST END OF ROWLAND CREEK ESTATES SUBDIVISION (ADJACENT TO PIN 0022000088M0000)
- ii. CLEAR AND SNAG THE RANCHLAND OUTLETS DITCH FROM THE PROPERTY'S SOUTHEAST CORNER ADJACENT TO RANCHLAND SUBDIVISION (ADJACENT TO PIN 023B000004201F2) TO THE RANCHLAND OUTLETS' INTERSECTION WITH ROWLAND CREEK, AND CONSTRUCT A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY AND RANCHLAND SUBDIVISION ARE LOCATED.
- iii. IMPROVE THE SURVEY ROAD DITCH FROM GUINEA ROAD TO THE RAILROAD (ON PIN 0022000063Y0000) AND CONSTRUCT THE DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES AND SIZED FOR A 100 YEAR STORM EVENT FROM THE DRAINAGE BASIN IN WHICH THE PROPERTY IS LOCATED.
- iv. IMPROVE ROWLAND CREEK FROM THE EASTERN BOUNDARY OF EAGLE CREEK (ADJACENT TO PIN 015A00000980000) TO THE WESTERN BOUNDARY OF THE PROPERTY BY CONSTRUCTING A DITCH ON A POSITIVE GRADE WITH 3:1 SIDE SLOPES SIZED FOR A 100 YEAR STORM EVENT
- v. DEVELOPER OR A MANAGEMENT ASSOCIATION SHALL CONTRIBUTE \$5,000 ANNUALLY TO THE COST OF MAINTENANCE FOR THE OFF-SITE IMPROVEMENTS SET FORTH IN THIS SECTION. SUCH FUNDS SHALL BE DEPOSITED WITHIN AN ASSOCIATION CREATED FOR THE PURPOSE OF MAINTAINING OFF-SITE IMPROVEMENTS. THE FIRST CONTRIBUTION SHALL BE MADE WITHIN 1 YEAR OF THE RECORDING OF THE FIRST PHASE OF DEVELOPMENT, AND SUBSEQUENT CONTRIBUTIONS MADE ANNUALLY FOR THE NEXT 10 YEARS
- vi. SHOULD DEVELOPER BE UNABLE TO OBTAIN RIGHT OF ENTRY FROM ANY LANDOWNER PRIOR TO THE RECORDING OF PHASE 2, THEN DEVELOPER'S ONLY OBLIGATION UNDER THIS SECTION (I), OFF-SITE STORMWATER, SHALL BE TO PROVIDE FEE IN LIEU IN THE AMOUNT OF 115% OF THE COST OF THE OFF-SITE IMPROVEMENTS, SUCH THAT THE COUNTY MAY COMPLETE THESE IMPROVEMENTS IF AND WHEN RIGHT OF ENTRY IS OBTAINED.
   J. OVERALL STORMWATER CONDITIONS:
- i. THE DEVELOPER SHALL CONSTRUCT BERMS ALONG DITCH OUTLETS AGAINST RANCHLAND TO KEEP PROPOSED DEVELOPMENT'S RUNOFF FROM FLOODING RANCHLAND DURING A 100 YEAR STORM.
- ii. ON-SITE STORMWATER WILL BE MANAGED BY CONSTRUCTION A SERIES OF STORMWATER MANAGEMENT PONDS THAT WILL BE INTERCONNECTED AND WILL RETAIN AND SLOW-RELEASE STORMWATER PRIMARILY TO ROWLAND CREEK BOTH DIRECTLY AND INDIRECTLY. A PORTION OF THE STORMWATER WILL ALSO OVERFLOW TO AN EXISTING CULVERT THAT RUNS DIRECTLY UNDER N.C. HIGHWAY 168 NEAR THE NORTHWEST CORNER OF THE PROPERTY. THE DITCH THAT DRAINS THAT OUTLET WILL ALSO BE IMPROVED AS NECESSARY SUBJECT TO OBTAINING RIGHT OF ACCESS REFERENCED ABOVE. IN ADDITION TO MODELING AND RETAINING STORMWATER TO THE UDO AND STORMWATER MANUAL STANDARD FOR THE DIFFERENCE BETWEEN RUNOFF FROM THE 10-YEAR DEVELOPED CONDITION AND RUNOFF FROM A 2-YEAR WOODED CONDITION SITE, STORMWATER SHALL BE MODELED FOR THE 100-YEAR STORM EVENT AND PROPERTY LINE BERMS CONSTRUCTED AS NECESSARY TO MANAGE THE 100-YEAR STORM WITHOUT ADVERSELY IMPACTING NEIGHBORING PROPERTIES. STORMWATER SHALL BE CONVEYED TO ON-SITE RETENTION PONDS THROUGH A COMBINATION OF CURBS WITH INLETS, STORMWATER PIPES AND OPEN, VEGETATED SWALES.

PHASING S	SCHEDULE							
PHASE	AREA (AC.)	DEVELOPMENT	TND T.H.	TND S.F.	CONV. S.F.	TOTAL	OTHER IMPROVEMENTS	
		INTENSITY						
		(D.U./AC.)						
		4 70					Rowland Creek	
1	39.7	1.79	25	12	34	71	Improvements	
2	33.1	1.96	19	9	37	65	Main Lake (Completion)	
							Village Green &	
3	29.2	1.88	16	14	25	55	Clubhouse	
4	19.9	3.67	27	7	39	73	Multi-Use Path	
5	14.4	2.57		17	20	37	Swimming Pool	
							Up to 22,000 SF	
							Neighborhood	
6	39.7	1.99	21		58	79	Commercial	
7	23.8	2.56	18		43	61		
8	17	1.12			19	19		
9	<u>12</u>	<u>1.58</u>			<u>19</u>	<u>19</u>		
TOTALS	228.8	2.09	126	59	294	479		

4.B.d

### ZONING CONDITIONS CONTINUED:

k. PERIMETER COMPATIBILITY SHALL BE ADDRESSED AS FOLLOWS:
i. TO THE WEST: AS LONG AS THIS PROPERTY REMAINS ZONED AS IS, A 50 FOOT FARM BUFFER SHALL BE PROVIDED, FOLLOWED BY A 60 FOOT ROADWAY CORRIDOR, SO THE NEAREST EXISTING DWELLING UNIT WILL BE AT LEAST 565 FEET FROM THE EXISTING RESIDENCE ON THAT FARM. A VEGETATIVE BUFFER SHALL BE PROVIDED ALONG THAT PROPERTY LINE. IF THIS PROPERTY IS REZONED, THE BUFFER REQUIREMENTS IN THIS CONDITION SHALL NOT APPLY.

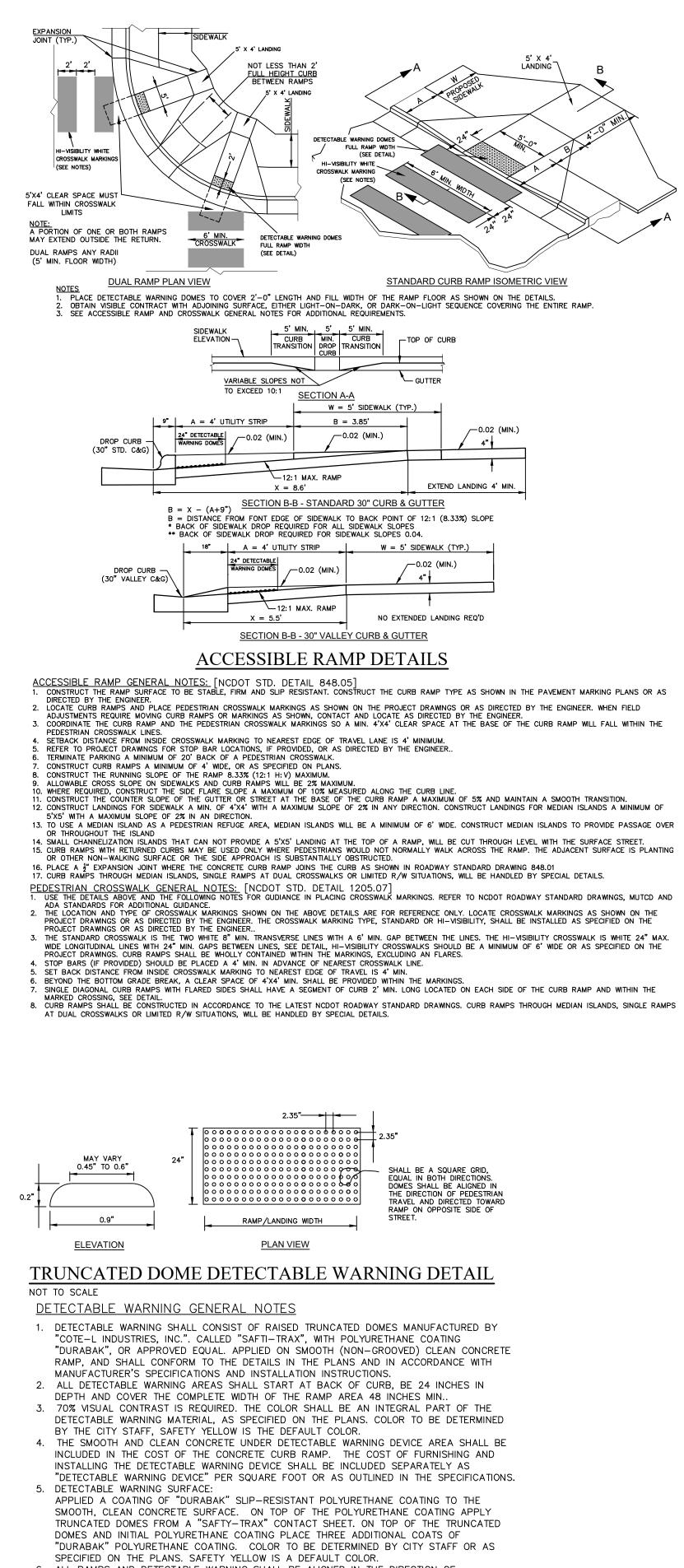
iI. TO THE NORTH (CARATOKE HIGHWAY): A BERM SHALL BE PROVIDED ALONG THE HIGHWAY ALONG WITH LAKES FLANKING THE MAIN ENTRANCE ROAD. THE NEAREST DWELLING UNIT WILL BE SET BACK AT LEAST 200 FEET FROM THE HIGHWAY RIGHT-OF-WAY AT THE CLOSEST POINT. THE VISUAL IMPACT OF THE DEVELOPMENT SHALL BE MINIMIZED BY SETBACKS, BERMS AND LANDSCAPING.

TO THE EAST: A 50 FOOT VEGETATIVE FARM BUFFER SHALL BE PROVIDED ALONG THE EXISTING FARMLAND; TRADITIONAL SINGLE FAMILY DWELLING LOTS ARE BEING PROPOSED IN THE AREAS THAT BACK UP TO EXISTING DWELLING UNITS IN THE ADJACENT RANCHLAND SUBDIVISION. A MINIMUM 50 FOOT BUFFER SHALL BE PROVIDED BETWEEN THE DEVELOPMENTS.

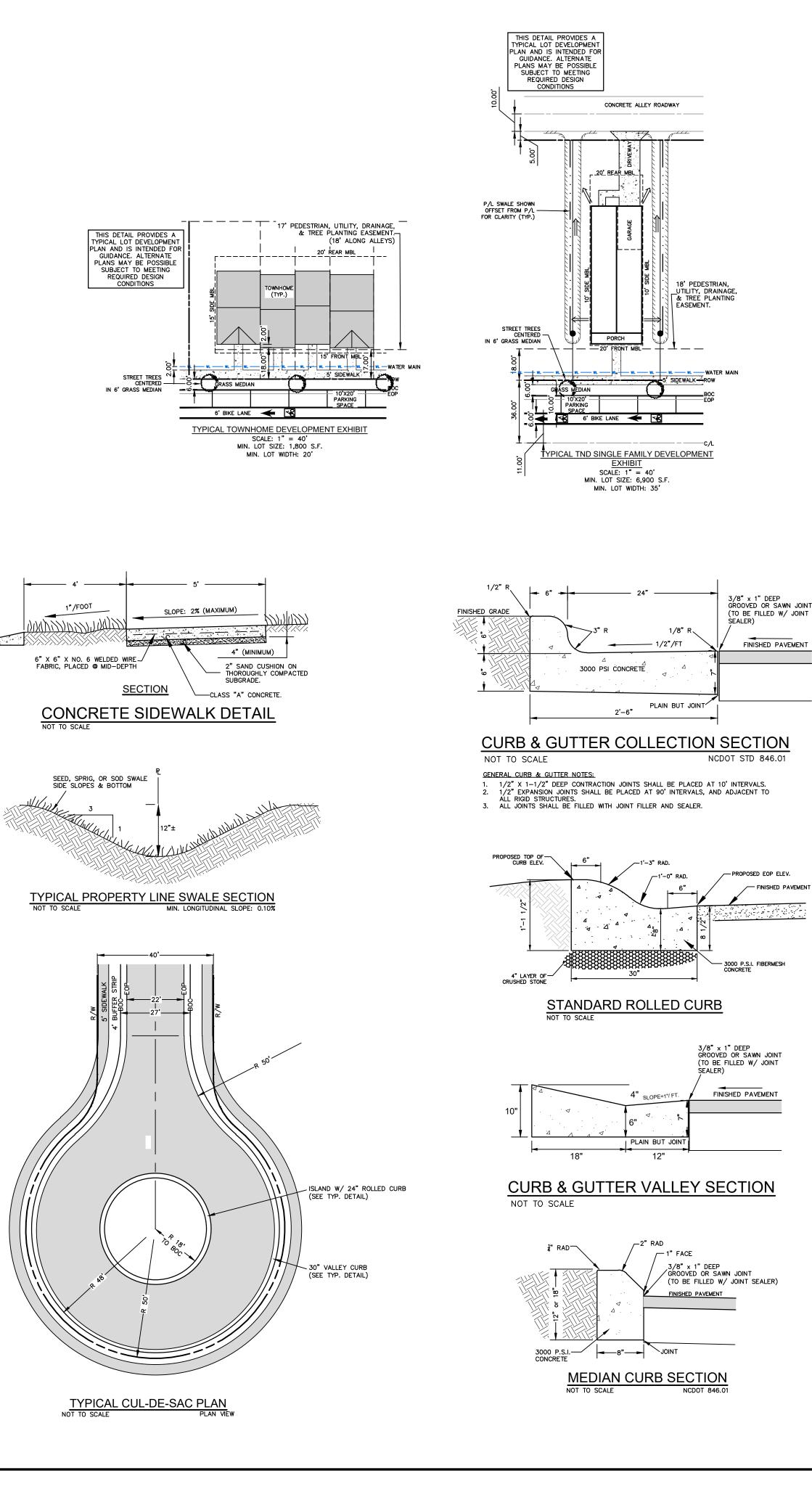
 iv. TO THE SOUTH: COMPATIBLE RESIDENTIAL DEVELOPMENT IS BEING PROPOSED AND A MINIMUM 90 FOOT OPEN SPACE BUFFER IS SHOWN TO THE PROPERTY LINE. THE SOUTHERN BUFFER MAY INCLUDE A POND.
 v. LIMITED COMMERCIAL DEVELOPMENT IS LOCATED INTERIOR TO THE DEVELOPMENT AND SHALL FRONT ALONG THE LANDSCAPED ENTRANCE BOULEVARD.

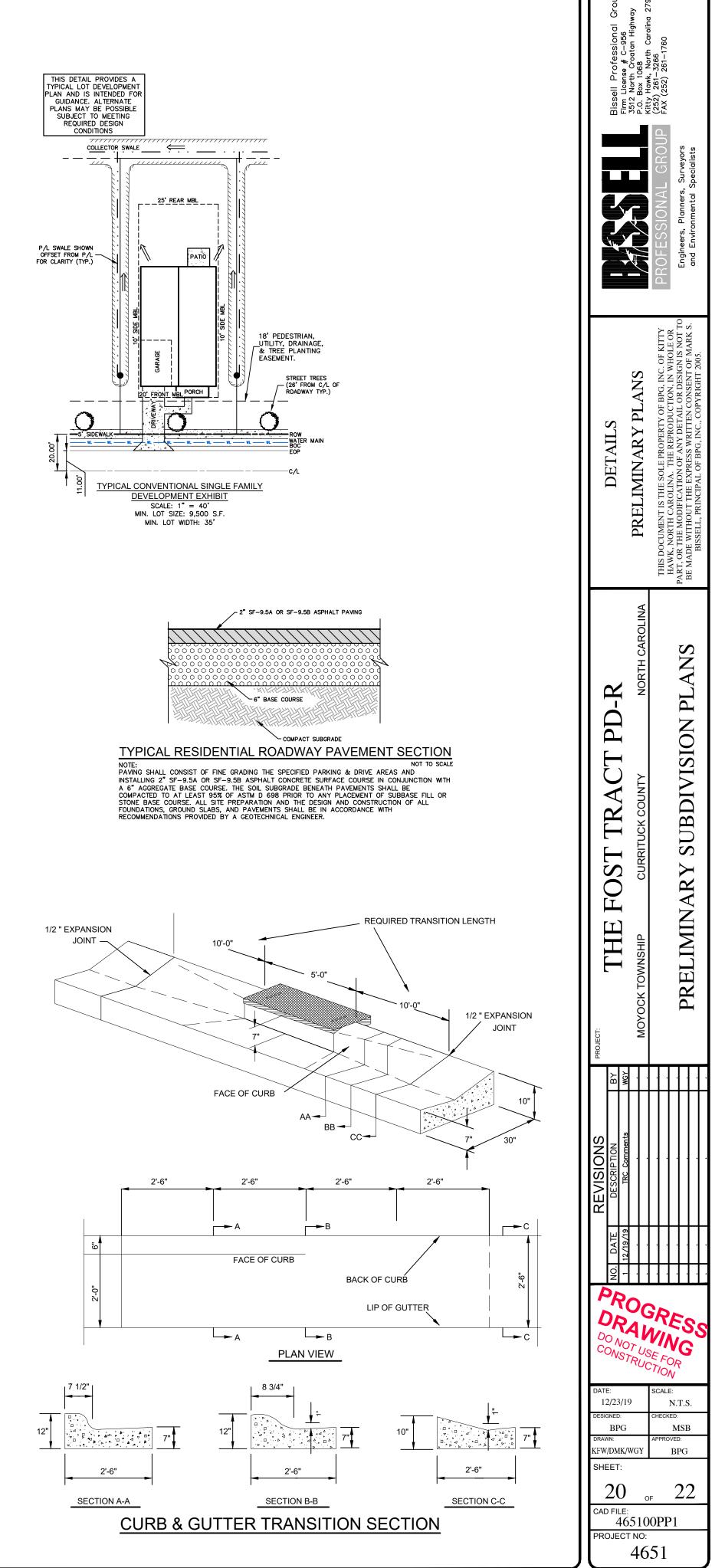
ENVIRONMENTAL PROTECTION AND MONITORING: WETLANDS SUBJECT TO THE JURISDICTION OF THE US ARMY CORPS OF ENGINEERS HAVE BEEN DELINEATED AND CONFIRMED BY THE CORPS OF ENGINEERS. WETLAND BUFFERS HAVE BEEN SHOWN ON THE MASTER PLAN AND THE DEVELOPMENT PLAN HONORS THOSE BUFFERS. THE ASSOCIATION DOCUMENTS (DECLARATION) WILL INCLUDE PROVISIONS THAT PROHIBIT THE FILLING OF WETLANDS AND PROHIBIT THE CLEARING OF THE BUFFER AREAS OTHER THAN INCIDENTAL TREE CUTTING AND VEGETATION REMOVAL, EXCEPT FOR MINOR IMPACTS ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES. THE ASSOCIATION, EITHER ITSELF OR VIA A MANAGEMENT ENTITY, WILL ASSUME RESPONSIBILITY FOR ONGOING OPERATION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE CURRITUCK COUNTY UDO REQUIREMENTS AND ALL NCDEQ PERMIT REQUIREMENTS. THE ASSOCIATION DUES WILL BE STRUCTURED IN A WAY THAT FUNDS ARE PROVIDED FOR THE UPKEEP OF THESE FACILITIES, AS WELL AS PERIODIC IMPROVEMENTS TO ROWLAND CREEK BOTH THROUGH THE DEVELOPMENT, AS WELL AS A CONTRIBUTION TO OFF-SITE MAINTENANCE. WIND TIDES WILL BE CONSIDERED IN THE DESIGN OF SITE GRADING, WITH STRUCTURES LOCATED ABOVE THE ELEVATION OF THE HISTORIC WIND TIDAL INFLUENCE FROM ROWLAND CREEK.

		Bissell Professional Group	Firm License # C-956	3512 North Croatan Highway	P.O. Box 1068 Kitty Hawb North Caroling 27940	(252) 261–3266	ĚAX (252) 261–1760				
							PROFESSIONAL GROUP		Engineers, Planners, Surveyors	and Environmental Specialists	
		ZUNING TERMS & CUNDITIONS		DDEI IMINIADV DI AT			THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY	HAWK, NOKIH CAROLINA. THE REPRODUCTION, IN WHOLE OR	PARI, OK THE MODIFICATION OF ANY DETAIL OK DESIGN IS NOT TO DE MADE WITTIOUT THE EXPRESS WRITTEN CONSERVE OF MADE S	BE MADE WITHOUT THE EAFRESS WRITTEN CONSENT OF MARA S. DISCETT DDINCIDAT OF DDC INC. CODVDICHT 2005	DISSELL, FRINCIFAL OF DEO, INC., COF INIUITI 2003.
									DPFI IMINAPV SITRDIVISION DI ANS	CUMULACIAN DOUGLANDIA DOUGLANDIA	
	PROJECT:		×		MOYOCK TOWNSHIP						
		BΥ	WGY	•		•		•	•		•
	REVISIONS	DESCRIPTION	TRC Comments	•		•					
		O. DATE	1 12/19/19					•			
	F F		2	0							
			<b>?</b> vo s7	4 TR		- V. ET.	T FO	E V DR		S.	S
	DATE	≣: 2/23	8/19			SC	AL	E:	I/A		
	DESIC	BF VN:	G	WG	Y			N	ISF	3	
	SHE	ЕТ 19	_		_	F		,	22	2	
	CAE	) FII 2	-e: 16		10		PI			-	
J		_			-6	5	1				J

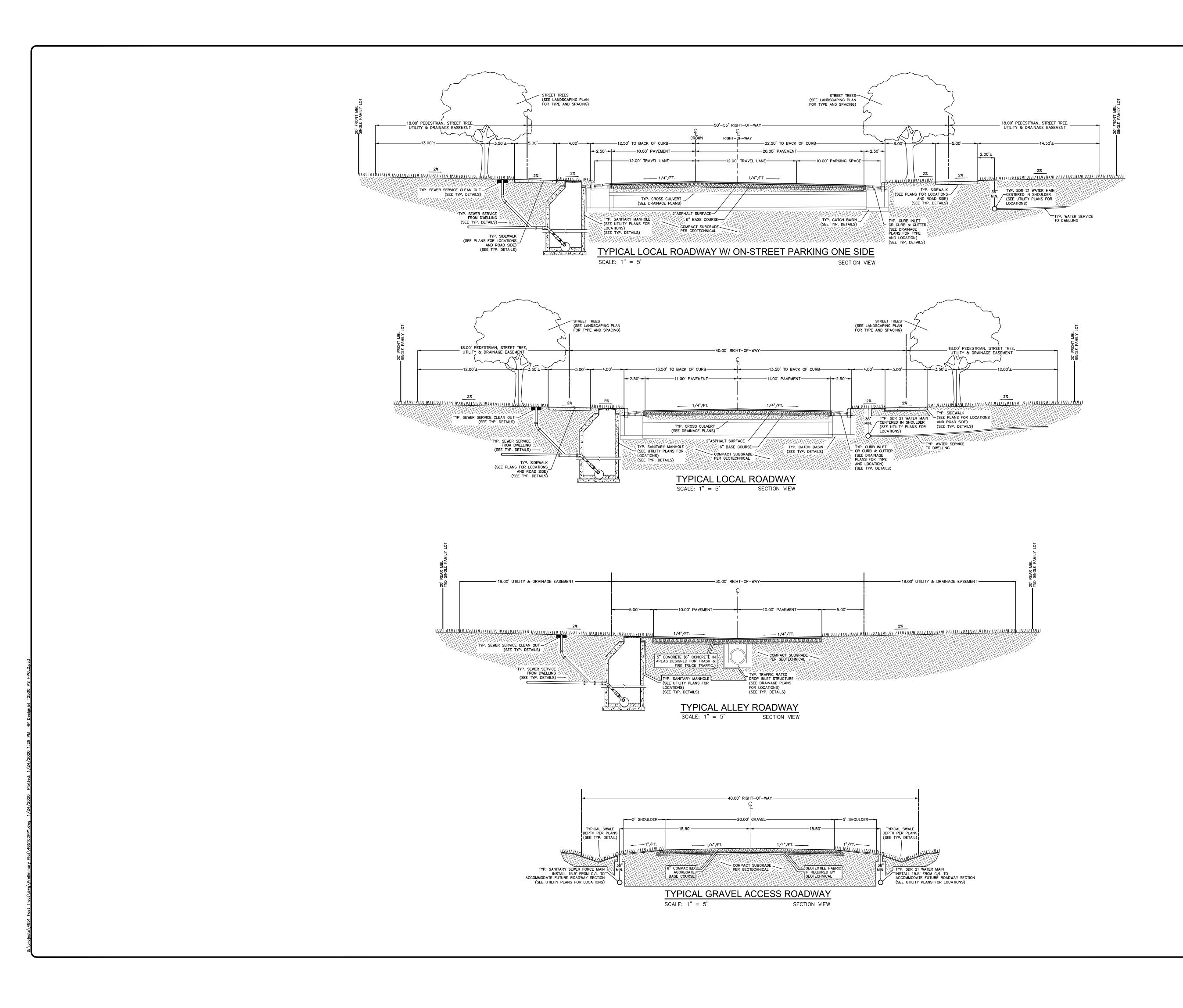


6. ALL RAMPS AND DETECTABLE WARNING SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL AND DIRECTED TOWARD RAMP ON THE OPPOSITE SIDE OF STREET.



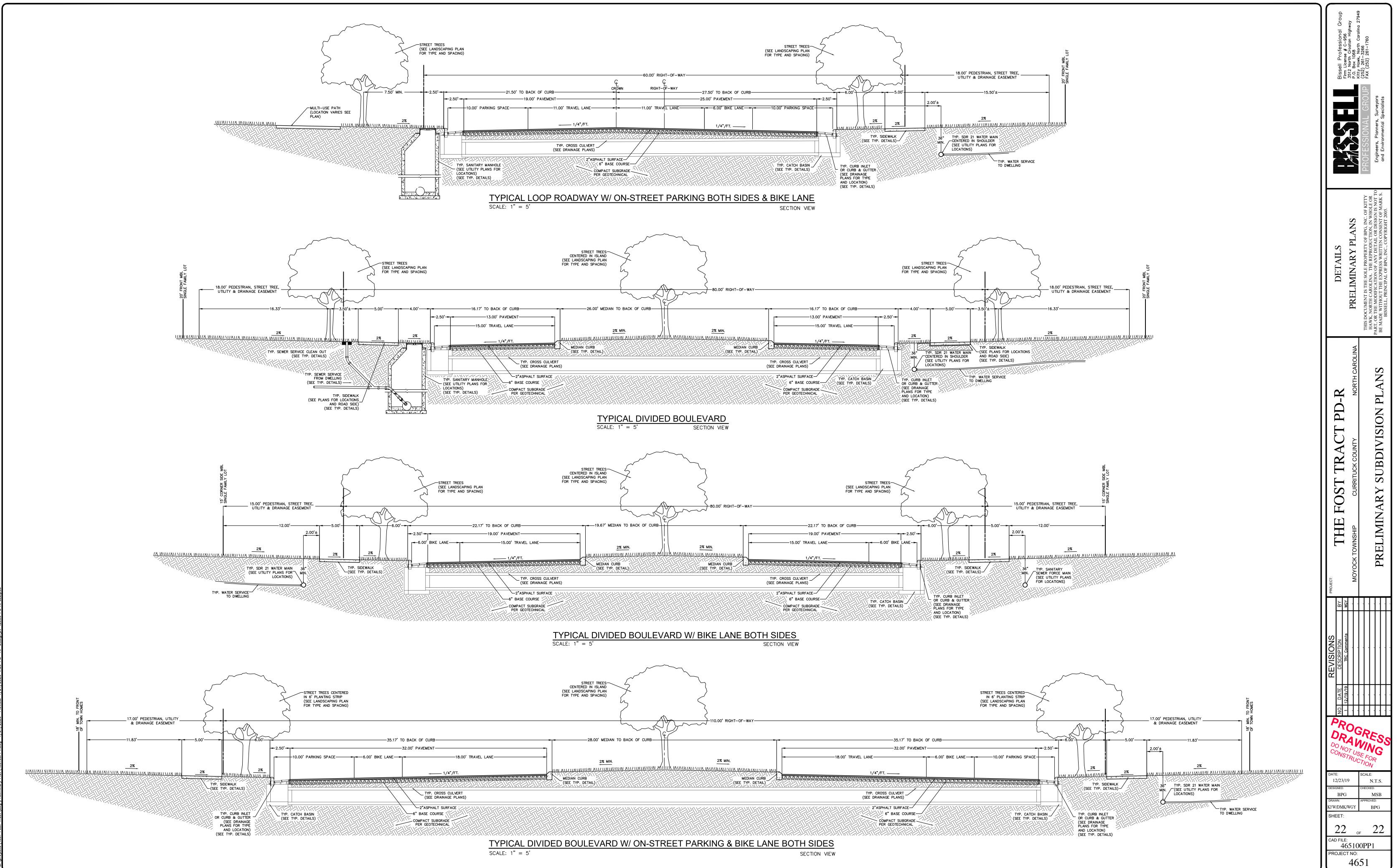


Attachment: 4 APPROVED Fost Prelim Plat P 1-5 (PB 18-23 Fost Development, PRD (Phases 1-5) Amende



Bissell Professional Group	Firm License # C-956 3512 North Croatan Highway P.O. Box 1068	Kitty Hawk, North Carolina (252) 261-3266	L GRUUP FAX (252) 261–1760		Surveyors	Specialists	
			PROFESSIONAL			and Environmental Specialists	
DETAILS	PRELIMINARY PLANS		THIS DOCUMENT IS THE SOLE PROPERTY OF BPG, INC. OF KITTY	HAWK, NOKIH CAROLINA. THE REPRODUCTION, IN WHOLE OK	FAK1, UK THE MUDIFICATION UF AN Y DETAIL UK DESIGN IS NUT TU DE MADE WITHIOTT THE EXPRESS WRITTEN CONSERVE OF MADY S	BE MADE WITHOUT THE EAFRESS WRITTEN CONSENT OF MARKAS. BISSETT DRINCIDAL OF RDG INC CODVRIGHT 2005	DISSELL, INTIVELLAL OF DES, INC., COL INIGITI 2003.
' PD-R							
FOST TRACT PD-R	FUST IKACT				IAPV CURDIVICION DI ANC		
PROJECT: THR H	MOYOCK TOWNSHIP	· · · · · · · · · · · · · · · · · · ·			DPFIIININ		
ΒY	₩G						
REVISIONS DESCRIPTION	TRC Comments						
IO. DATE	1 12/19/19 · ·			•	   		
	50	I G	L Q				
DO N CON	VOT U STRU	VV	11		G		S
DATE: 12/23 DESIGNED	6/19	SC	ALE	E: N.'	Г.5	5.	
DESIGNED BP DRAWN: KFW/DM	G	AP	PRO	N.	ISE ): PG	3	
SHEET		-		-	22	2	
CAD FIL	-e: 1651		PF	_		_	
, NUJE		55	1				

4.B.d





Planning and Community Development Department Planning and Zoning Division 153 Courthouse Road, Suite 110 Currituck, North Carolina 27929 Telephone (252) 232-3055 / Fax (252) 232-3026

### **USE PERMIT GRANTED**

On the date(s) listed below, the Board of Commissioners for the County of Currituck met and held a public hearing to consider the following application:

- Property Owner: Sandra Davis Fost and Iris Ann O'Connor 121 Soundshore Drive Currituck, NC 27929
- Applicant: Allied Properties LLC 417 Caratoke Highway, Unit D Moyock, NC 27958
- Property Location: West side of Caratoke Highway, north of Ranchland Subdivision Tax Map 15, Parcel 86, Moyock Township
- Project: PB 18-23 The Fost Tract Planned Development Residential (PD-R)
- Proposed Use: 301 Residential Lots

Meeting Dates: January 21, 2020 – Board of Commissioners' Public Hearing/Action

Having heard all the evidence and argument presented at the hearing, the Board of Commissioners finds that the application is complete, that the application complies with all of the applicable requirements of the Currituck County Unified Development Ordinance for the development proposed, and that therefore the application to make use of the above described property for the purpose indicated is hereby approved subject to all applicable provisions of the Unified Development Ordinance and the following conditions:

- (A) The applicant shall complete the development strictly in accordance with the plans submitted to and approved by this Board, a copy of which is filed in the office of the Planning and Community Development Department.
- (B) If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this permit shall be void and of no effect.
- (C) This permit is valid for three years and will expire on January 21, 2023, if a final plat is not submitted within three years after the date of approval of the preliminary plat authorized by this use permit.

1. The use <u>will not</u> endanger the public health or safety: (Applicant Findings) Transportation, portable water, wastewater and stormwater management will be addressed in

accordance with the following paragraphs:

 <u>Transportation</u>: The main subdivision entrance will be connected directly to NC 168 (Croatan Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and will be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast (Auction Site) and to the west. Roadways will be laid out generally as shown on the Master Plan and will be in accordance with the approved right-of-way and pavement width characteristics, using the NCDOT complete streets planning manual as a guide.

Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.

- Potable Water: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards and the applicable ISO standards. The water system will be modeled to demonstrate adequate flow and pressure for fighting fires while meeting the maximum day domestic demand.
- 3. <u>Wastewater:</u> Land has been set aside for the construction of a centralized wastewater treatment and disposal facility that will be constructed in accordance with NCDEQ Standards and approved by NCDEQ. A wastewater collection system will be constructed by the Developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission and will apply for a Certificate of Public Necessity and Convenience
- 4. <u>Stormwater Management</u>: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laying back the slopes and stabilizing the portion of Rowland Creek that runs from Eagle Creek Subdivision to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along Ranchland and the Auction property, and to excavate a new ditch that would be available to Ranchland along the common property line from the Auction site (PIN 00230000070000) to south of the power easement. Subject to obtaining right of entry to other properties, the Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance.

On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets.

In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2- year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions. Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

2. The use <u>will not</u> injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located: (Applicant Findings)

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Caratoke Highway is commercial, land to the east is

farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

- 1. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
- 2. To the north (Caratoke Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least 200 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.
- 3. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.
- 4. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
- 5. Limited commercial development proposed to be located interior to the development and will front along the landscaped entrance boulevard.
- 6. Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to increase the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275 lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

- 3. The use <u>will be</u> in conformity with the Land Use Plan or other officially adopted plans: At its May 6, 2019 meeting, the BOC determined that this development was compatible with the Land Use Plan, Moyock Small Area Plan, and the surrounding neighborhoods because:
  - 1. The proposed conditions for the property will improve drainage problems on the property and with nearby Ranchland subdivisions if improvements can be made to drainage system on off-site properties, and;
  - 2. The PDR is compatible with existing Moyock Township subdivisions.
- 4. The use will not exceed the county's ability to provide adequate public facilities:

- On December 11, 2019 the Board of Education revised its statement about the school district and determined that this development is entirely within the Shawboro school district. The Superintendent also advised that Shawboro Elementary School has capacity for the 119 elementary students this development is projected to generate, with Phases 1-5 expected to generate 75 of those students, based on the July 9, 2004 Tischler Study Student Generation Rates.
- 2. The county can provide adequate facilities, including but not limited to fire, emergency services, and law enforcement to serve the development.
- 5. The following phasing schedule shall be adhered to:

Phase Numbers	Number of Dwelling Units	Projected Recording Date
1	71	October 2020
2	65	April 2021
3	55	October 2021
4	73	April 2022
5	37	October 2022

IN WITNESS WHEREOF, the County has caused this permit to be issued in its name, and the property owners/applicants of the property above described, do hereby accept this Use Permit together with all its conditions, as binding on them and their successors in interest.

ATTES1 Clerk to the Board

RMulto

2.18.2020 Date

Chairman Board of Commissioners

(Seal)

(NOT VALID UNTIL FULLY EXECUTED)





Currituck County

Department of Planning and Community Development 153 Courthouse Road, Suite 110 Currituck, North Carolina 27929 252-232-3055 FAX 252-232-3026

### MEMORANDUM

To: Mark Bissell, Bissell Professional Group Justin Old, Moyock Development LLC

From: Tammy D. Glave, CZO, Senior Planner

**Date:** December 10, 2020 12-21-20 Response

**Re:** PB 18-23 Fost Tract – Amendment #1 - Preliminary Plat/Use Permit - Phases 1-5

The following comments have been received for Fost Tract, amendment #1 Preliminary Plat/Use Permit, Phases 1-5. To be placed on the January 18, 2021 Board of Commissioners' agenda, all outstanding **TRC comments must be addressed before 3:00 pm on December 21, 2020.** TRC comments are valid for six months.

### Planning (Tammy Glave, 252-232-6025)

Reviewed with comment/Resubmit:

 Please make sure all changes are called out in the note. For example, relocation of temporary RV/boat storage for Phase 1, increase in development area acreage, reduction in area not being developed at this time, and reduction in open space. Updated on cover sheet.

### Currituck County Chief Building Inspector and Fire Inspections (Bill Newns, 252-232-6023)

Reviewed with comments: Shown on updated plat.

- 1. Streets marked with no street parking signage where parking not provided.
- 2. Private alleys marked with Fire Lane no parking signage (discuss at TRC).
- 3. Mail Kiosk accessible parking spot at kiosk by clubhouse/pool area.
- 4. See attached TRC comments from past reviews that need to be in place as phases are being installed.

### County Engineer (Eric Weatherly, 252-232-6035).

Comments not yet received.

### Currituck County GIS (Harry Lee, 252-232-4039)

Reviewed with comment:

1. Lot addresses will be assigned during Final Plat review phase. Acknowledged.

### Currituck County Parks and Recreation (Jason Weeks, 252-232-3007)

Reviewed without comment.

### Currituck County Soil and Stormwater (Dylan Lloyd, 252-232-3360)

Reviewed with comment:

- 1. Ensure all slopes and banks are stabilized during and after land disturbing activity; including but not limited to Roland Creek and stormwater ponds.
- 2. Ensure elevation of Keyway outfall at southern end of pond allows positive grade during 10 yr storm event.
- 3. Vegetative buffers are allowed to overlap drainage easement to Roland Creek, keep spacing at intervals to allow equipment access for future maintenance.

All will be addressed at the construction drawing stage.

### Currituck County Utilities Director (Will Rumsey, 252-232-2769)

Reviewed with comment:

1. Waterline location concerns have been addressed. Acknowledged.

### Albemarle Regional Health Services (Joe Hobbs, 252-232-6603)

Reviewed with comment:

1. NEED SEWER APPROVAL LETTER FROM NC DIVISION OF WATER RESOURCES (WASHINGTON REGIONAL OFFICE-252-946-6481) AND A SEWER LAYOUT FINAL PLAN FROM CONSULTING ENGINEER. Acknowledged.

### NC Department of Transportation (David Otts, 252-453-2721)

No additional comments.

### NC Division of Coastal Management (Charlan Owens, 252-264-3901)

Reviewed with comment:

 Concerning stormwater management on Rowland Creek, areas downstream, north and east of the railroad track, are within the Public Trust Area of Environmental Concern (AEC) and have a 30 foot shoreline AEC. Please contact Robert Corbett, DCM Field Representative, before beginning work in and along the creek. He can be reached at 252-264-3901.

Acknowledged. US Post Office (Local)

Please contact the post office regarding method of mail delivery. Acnkowledged.

### Mediacom (252-482-5583)

See attached letter.

### The following items are necessary for resubmittal:

- 3 full size copies of revised plans
- 1 8.5 x 11" reduced copy
- 1- PDF digital copy of all revised or new documents and plans.

PB 18-23 Fost Amended Preliminary Plat/Use Permit Phases 1-5 12/9/2020 TRC Comments Page 2 of 7

4.B.f

A use permit hearing is an evidentiary hearing where the Board of Commissioners must make a Quasi-Judicial Decision.

- An evidentiary hearing will be held for the Board of Commissioners to gather competent, material and substantial evidence to establish the facts of the case.
- All testimony is made under oath.
- The applicant or opposing parties shall establish written findings of fact and conclusions of law.
- Parties with standing may participate fully in the evidentiary hearing, including presenting evidence, cross-examining witnesses, objecting to evidence, and making legal arguments.
- Non-parties may present competent, material, and substantial evidence that is not repetitive.

Typical Use Permit (Quasi-Judicial) Hearing at BOC

- Swearing in of witnesses/speakers
- Presentation by County Staff on Application
- Required Presentation by Applicant or Authorized Agent (20-25 minutes)
  - o Applicant to Present Findings of Fact
- Public Comment Period (typically 3 minutes each)
- Applicant Rebuttal (typically 5 minutes)
- BOC Deliberation & Decision

PB 18-23 Fost Amended Preliminary Plat/Use Permit Phases 1-5 12/9/2020 TRC Comments Page 3 of 7

THE R	Major Subdivision	n	OFFICIAL USE ONLY: Case Number: Date Filed: Gate Keepen Amount Patid:
Contact Informa	tion		
APPLICANT; Name: Address:	Moyock Development, LLC 417-D Caratoke Hwy.	PROPERTY O' Name: Address:	WNER: Same
Felephone: E-Mail Address: EGAL RELATION	Moyock. NC. 27958 252-435-2718 jold@qhoc.com NSHIP OF APPLICANT TO PROPERTY	Telephone: E-Mail Addre: OWNER: Sa	ss,
Request			
Physical Street A Parcel Identifica Subdivision Nam Number of Lots (	tion Number(s): Fost Development or Units: 301	Phase	-
TYPE OF SUBMITTAL         Conservation and Development Plan         Amended Sketch Plan/Use Permit         Preliminary Plat (or amended)         CType i       OR         Construction Drawings (or amended)         Final Plat (or amended)		IYPE C C C C C C C C C	<u>OF SUBDIVISION</u> Traditional Development Conservation Subdivision Planned Unit Development Planned Development
	ce county officials to enter my prope lards. All information eventted and		
	(a)/Applicant		UL2412020 Date
roperty Owner			
NOTE: Form mu	ist be signed by the owner(s) of record, ity interest. If there are multiple proper	ty owners/applican	us a signature is required for each.
NOTE: Form my ecognized prope		ty owners/applican	us a signature is required for each.
NOTE: Form my accgnized propa Community Meet	rty interest. If there are multiple prope	2	ilona

1

Use Permit Review Standards, If applicable PUD Amended Sketch Plan/Use Permit, Type II Preliminary Plat	
Purp	ose of Use Permit and Project Norrative (please provide on additional paper if needed):
	See Attachment 1
Comr	applicant shall provide a response to the each one of the following issues. The Board of nissioners must provide specific findings of fact based on the evidence submitted. All findings shall be in the affirmative for the Board of Commissioners to issue the use permit.
	The use will not enclanger the public health or safety.
40	See attachment A
8.	The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.
	See attachment B
1	The use will be in conformity with the Land Use Plan or other officially adopted plan.
-	
	See attachment C
D.	The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.
	See attachment D
f my rope	undersigned, do certify that all of the information presented in this application is accurate to the best knowledge, information, and belief. Further, I hereby authorize county officials to enter my orty for purposes of determining zoning compliance. All information submitted and required as part application process shall become public record.
ope	Hy Owner(s)/Applicent* Date
10 T	Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized ty interest. If there are multiple property owners/applicants a signature is required for each.
	y martan. Il mere ale montple propeny ovviera/applicanas a sagnatare la requirea rar ettett. Mejor Subdivision Application

### ATTACHMENT 1

### Purpose of the Use Permit and Project Narrative

The goal is to build a community that has a creative design, providing a mix of different residential uses in close proximity to one another, while at the same time providing an efficient use of open space that promotes an active lifestyle and strong sense of community. Limited, small scale commercial uses may also be constructed primarily to serve the needs of the residents in this development.

The ways in which these goals and objectives will be achieved is shown graphically on the approved Master Plan, and is further described in the following paragraphs:

- Several different housing types are proposed, including traditional rear load traditional neighborhood development style townhomes, TND style homes with rear loaded driveways and garages, and more conventional frontloaded single family development lots.
- The Community will be pedestrian friendly, with open spaces and greenways strategically located throughout the community, and with a combination of sidewalks, multi-use paths/cart paths, a village green and a clubhouse with large outdoor recreation areas.
- The mixing of housing styles will also provide a mix of lot sizes, densities and streetscapes.
- The development is sensitive to existing wetlands, which have been delineated and confirmed by the Corps of Engineers; buffers have been shown and are being honored, existing drainage ways are being maintained and improved. Lower areas that are more flood prone are being set aside as open space, some of which will be used for the construction of lakes and ponds for the management of stormwater.

### **ATTACHMENT "A"**

### The use will not endanger the public health or safety.

Transportation, portable water, wastewater and stormwater management will be addressed in accordance with the following paragraphs:

 <u>Transportation</u>: The main subdivision entrance will be connected directly to NC 168 (Croatan Highway). Deceleration and acceleration lanes will be provided in accordance with NCDOT Standards and have been approved by NCDOT. Connectivity will be provided to the existing farmland to the southeast (Moyock Farms) and to the west.

Roadways have been laid out generally as shown on the Master Plan and will be in accordance with the approved right-of-way and pavement width characteristics, using the NCDOT complete streets planning manual as a guide.

Appropriate access has been made for emergency service vehicles in accordance with applicable standards including the N.C. Fire Code.

- Potable Water: Water will be supplied by Currituck County via an existing 12" main located on Caratoke Highway, which will be tapped and looped through the site. Fire protection will be provided in accordance with UDO Standards and the applicable ISO standards. The water system will be modeled to demonstrate adequate flow and pressure for fighting fires while meeting the maximum day domestic demand.
- 3. <u>Wastewater</u>: Centralized wastewater treatment and disposal facility will be provided in accordance with North Carolina Standards and approved by NCDEQ and/or NCDHHS. A wastewater collection system will be constructed by the Developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.
- 4. <u>Stormwater Management</u>: A major drainage way known as Rowland Creek Canal runs through the development property. Due to the importance of this drainage feature not only to the development but to other properties located both upstream and downstream of this property, the Developer has committed to cleaning and laying back the slopes and stabilizing the portion of Rowland Creek that runs from Eagle Creek to the railroad next to NC 168. The Developer has also committed to improving the common property line ditch along Ranchland and the Auction property, and to excavate a new ditch that would be available to Ranchland along the common property line from the Auction site to south of the power easement. The Developer will also improve the sections of Rowland Creek downstream of the Fost property that require maintenance.

On-site stormwater will be managed by constructing a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater to existing outlets. In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard of the difference between runoff from the 10-year developed condition and runoff from a 2year wooded condition site, stormwater will be modeled for the 100-year storm without adversely impacting neighboring properties. Implementation of this plan should improve drainage for neighboring properties compared to existing conditions.

Stormwater will be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes, and open vegetated swales.

4.B.g

### **ATTACHMENT "B"**

# The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

Land use to the west is agricultural, with one dwelling unit located approximately 435 feet from the nearest property line and approximately 565 feet from the nearest structure. Land use to the north, across the railroad and Croatan Highway is commercial, land to the east is farmland and residential lots, and land to the south is residential lots. Perimeter compatibility is being addressed as follows:

- a. To the west: A 50 foot farm buffer is being provided, followed by a 60 foot roadway corridor, so the nearest dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer is also being provided along that property line.
- b. To the north (Croatan Highway): A berm is being provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least 175 feet from the highway right-of-way at the closest point. The visual impact of the development will be minimized by setbacks, berms and landscaping.
- c. To the east: A 50 foot vegetative farm buffer is being provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas tat back up to existing dwelling units in the adjacent Ranchland subdivision. Even though the dwelling types are believed to be compatible, a minimum 50 foot buffer is being provided between the developments.
- d. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line.
- e. Limited commercial development is proposed to be located interior to the development and will front along the landscaped entrance boulevard.

Lot size ratios and density ratios are comparable to other developments that have been approved in the immediate area and in other parts of Moyock.

The applicant is not aware of any adverse impacts on land value in the surrounding area. The applicant anticipates that its proposed stormwater improvements may benefit the property values of the nearby Ranchland community. The Development is anticipated to **increase** the values of nearby properties by improving existing drainage problems.

The site is adjacent to non-agricultural activities including the Ranchland neighborhood to the south and southeast, and commercial and residential uses to the east. The site is also in close proximity to the Eagle Creek neighborhood. The proposed use is compatible with these adjacent uses and furthers the County's goal of concentrating new residential development in the vicinity of existing residential development. Nearby communities include existing planned communities of 588 lots to the west, a 275

lot subdivision to the east and 426 lots under development to the north of Caratoke Highway, all in the vicinity of the Fost tract. The development is appropriate for the location as it continues existing development patterns in this part of Moyock. Lot area ratios and density ratios are consistent with other developments that have been approved recently nearby and in other parts of Moyock.

### **ATTACHMENT "C"**

### The use is consistent with the goals, objectives, and policies of the Land Use Plan or other applicable county-adopted plans:

A. The use is consistent with the following policies of the Currituck County Land Use Plan ("LUP"): The project is consistent with the Land Use Plan policies addressing density, recreational and open space, transportation infrastructure, and utilities:

*i.* **Density:** The project is located within the Full Service Area of the Land Use Plan, and proposes a density of 2.1 units per acre. The proposed use will include residential development in village like-clusters and will include open spaces surrounding the clusters, helping to prevent traditional suburban sprawl. The applicant is proposing centralized sewer, and the Full Service Area designation recognizes higher density (above 2 units per acre) is appropriate here. The proposed use will not interfere with nearby resource production activities. This is consistent with the County's density designations because development is occurring along Caratoke Highway, a major transportation corridor, and is an infill site between two existing residential subdivisions but with its own access to Hwy 168. This is consistent with the following Land Use Plan policies:

<u>POLICY AG6</u>: For areas experiencing intense development pressure, new residential development may be allowed to locate in COMPACT, VILLAGE-LIKE CLUSTERS, PREFERABLY NEAR EXISTING, NON-AGRICULTURAL ACTIVITIES AND SERVICES, or in other locations that will not interfere with resource production activities. Overall density shall remain very low, with permanent open space, dedicated during the development review process, surrounding such clusters of homes. LUP, p. 9-7.

POLICY HN1: Currituck County shall encourage development to occur at densities appropriate for the location. LOCATION AND DENSITY FACTORS shall include whether the development is within an environmentally suitable area, the type and capacity of sewage treatment available to the site, the adequacy of transportation facilities providing access to the site, and the proximity of the site to existing and planned urban services. For example, projects falling within the Full Services areas of the Future Land Use Map would be permitted a higher density because of the availability of infrastructure as well as similarity to the existing development pattern. Such projects could be developed at a density of two (2) or more dwelling units per acre.... LUP, p. 9-7.

POLICY HN3: Currituck County shall especially encourage two forms of residential development, each with the objective of avoiding traditional suburban sprawl...COMPACT, MIXED USE DEVELOPMENTS or DEVELOPMENTS NEAR A MIXTURE OF USES that promote a return to balanced, self-supporting community centers generally served by centralized water and sewer. The types of development are contemplated for the Full Service Areas identified on the Future Land Use Map. LUP, p. 9-7.

ii. Utilities:

<u>Stormwater</u>: The applicant is aware of stormwater drainage issues in the surrounding properties and has conducted a stormwater study to investigate causes in Rowland Creek, upstream and

downstream from the property. That study has shown significant restrictions to flow on both onand off-site properties, which the applicant is willing to remove and restore with the off-site landowners' consent. The applicant is also placing significant drainage facilities on site to collect and control its own water. Where adjacent landowners are unwilling to allow the applicant to remove off-site obstructions, the applicant is willing to provide a additional stormwater storage on site to minimize flooding. The applicant plans to model the 100-year storm event and to manage stormwater runoff from that event. These commitments will provide a public benefit to the County by improving existing drainage problems with private funds, and providing a responsible mechanism for the site and surrounding areas to drain.

<u>Wastewater</u>: The applicant is proposing to connect to an off-site wastewater treatment and disposal facility. This will give the existing system new funds for upgrades, repair, and maintenance. Thus, the development will have a positive impact on sewer facilities and will not strain the County's infrastructure, consistent with the Full Service Area designation which anticipates additional density on this site. The applicant is also setting aside land to receive effluent and/or groundwater from the off-site facility.

This is consistent with the following Land Use Plan policies:

**POLICY WS7**: Currituck County allows for the appropriate use of PACKAGE SEWAGE TREATMENT PLANTS as a means of achieving more efficient land use, while properly disposing of waste. Such systems shall have a permanent organizational ownership to guarantee their proper management, including operation, maintenance and replacement needs. Depending on their location in the county, such systems may be required to have a design that allows for assimilation into a centralized system at a future date. LUP, p. 9-13.

**POLICY WQ3**: Currituck County supports policies, plans and actions that help protect the water quality of the county's estuarine system by preventing SOIL EROSION AND SEDIMENTATION, and by controlling the quantity and quality of STORMWATER RUNOFF entering the estuary. LUP, p. 9-17.

**POLICY WQ4**: RUNOFF AND DRAINAGE from development, forestry and agricultural activities shall be of a quality and quantity as near to natural conditions as possible. Post-development runoff shall not exceed pre-development volumes. LUP, p. 9-17.

*iii.* **Recreational and Open Space:** The project will provide for sidewalks, greenways, and walking trails to encourage mobility by pedestrians and bicyclists. It also preserves a significant amount of open space and natural features throughout to promote recreation and preserve natural areas. This is consistent with the following Land Use Plan policies:

**POLICY TR9**: BIKEWAY FACILITIES shall be encouraged as energy-efficient, healthful, and environmentally sound alternatives to the automobile. The inclusion of bikeways, sidewalks, trails, and other alternatives to the automobile shall be encouraged in both public and private developments. LUP, p. 9-11.

**POLICY PR4**: The County shall seek to identify, plan for and develop a system of OPEN SPACE GREENWAYS, HIKING and BIKING TRAILS as opportunities may allow. The use of (1) natural corridors such

as streams and floodplains, and (2) man-made corridors such as utility and transportation rights-of-way and easements, shall be emphasized. LUP, p. 9-14.

**POLICY PR6**: All new residential development shall provide for ADEQUATE OPEN SPACE AND RECREATION IMPROVEMENTS including, as may be appropriate, funding in proportion to the demand created by the development. The amount of open space and improvements may be determined according to the number of dwelling units in the development and/or by a percentage of the total acreage in the development. Fees in lieu of land dedication shall be based on the inflation adjusted assessed value of the development or subdivision for property tax purposes. LUP, p. 9-14.

*iv. Transportation infrastructure:* As set forth in the master plan, the project will provide for paved public roadways and drainage infrastructure, and will include convenient circulation within the proposed neighborhood. The project will seek to preserve existing buffering along NC 168 where feasible. The project will have direct access to and frontage on NC 168, and will not include access to higher intensity development through an area of lower intensity development. This is consistent with the following Land Use Plan policies:

**POLICY TR12**: New residential developments shall provide for the installation of PAVED PUBLIC ROADWAY AND DRAINAGE INFRASTRUCTURE at the time of development. This policy is intended to prevent the creation of substandard developments that must later correct for infrastructure problems that could have been avoided, had they been installed properly from the beginning.... LUP, p. 9-11.

**POLICY CA1**: The important economic, tourism, and community image benefits of attractive, functional MAJOR HIGHWAY CORRIDORS through Currituck County shall be recognized. Such highway corridors, beginning with US 158 and NC 168, shall receive priority attention for improved appearance and development standards, including driveway access, landscaping, buffering, signage, lighting and tree preservation. LUP, p. 9-19.

**POLICY TR11**: ACCESS TO HIGHER INTENSITY DEVELOPMENT shall generally not be permitted through an area of lower intensity development. For example, access to a multi-family development, a major park facility or other large traffic generator shall not be permitted through a local street serving a single-family residential neighborhood. LUP, p. 9-11.

**POLICY TR8**: Local streets shall be designed and built to allow for convenient CIRCULATION WITHIN AND BETWEEN NEIGHBORHOODS and to encourage mobility by pedestrians and bicyclists. Care shall be taken to encourage local street "connectivity" without creating opportunities for cut-through traffic from outside the connected areas. LUP, p. 9-11.

### B. The proposed use is consistent with the following provisions of the Moyock Area Policy Emphasis of the Land Use Plan:

**Moyock Area Policy Emphasis:** The policy emphasis of this plan is on properly managing the increased urban level of growth that this area is sure to experience over the next decade and beyond. Residential development densities should be medium to high depending upon available services. In areas where on-site wastewater is proposed and other County services are limited, development density should

be limited to 1-2 units per acre. However in areas where central sewer is proposed or existing, additional services are available and the character of the surrounding areas supports it, higher density ranging from 3-4 units per acre could be considered through the use of overlay zones.

Clustered housing developments, with open space required by ordinance, will need to be encouraged. If sewage treatment collection systems are built, whether publicly or privately, all such systems should be designed so as to allow them to be tied together into a single system at some point in the future. LUP, p. 11-4.

The proposed use will include clustered housing accompanied by open spaces. The applicant is proposing onsite privately developed sewer to avoid strain on County infrastructure. The site is eligible for County sewer and central sewer is existing in the area. Because the wastewater system will be a central sewer system, and the 2.1 units/acre is below the 3-4 units per acre allowed where central sewer is available, the proposed use is consistent with the Moyock Area Policy Emphasis.

### C. The proposed use is consistent with the Future Land Use Map.

The Currituck County Future Land Use Map designates the site as a Full Service area. In Full Service areas, residential density can be increased to 3-4 units per acre depending on the available services. A greater diversity in housing types is also appropriate in Full Service Areas. The proposed use will have 2.1 units per acre, which is within the contemplated development densities from Section 3.7.3 of the UDO for PD-R districts (up to three units per acre). The proposed use will also include a diversity in housing types, including townhomes, cottage style single-family lots and traditional single family lots.

## D. The proposed use is consistent with the following policies and action items of the Moyock Area Small Area Plan ("SAP"):

The proposed use will include open spaces, sidewalks, greenways, and walking trails to for recreational purposes, and a clubhouse for community gathering. The plan will provide for connections to Ranchland, as appropriate. The applicant is studying the existing stormwater drainage issues and will ensure that the project improves these issues.

**POLICY TR 2**: Ensure that development is designed with an interconnected, multi-modal transportation network between neighborhoods, activity centers, and other destinations to improve mobility and emergency access. Development of an interconnected road network east and west of Highway 16 that allows north-south movement for local residential traffic is strongly encouraged. SAP, p. 16.

**POLICY IS 1**: The costs of infrastructure, facilities, and services related to new growth and development should be borne primarily by those creating the demand. SAP, p. 17.

**POLICY IS 4**: Ensure that stormwater runoff, soil erosion, and sedimentation is properly managed to reduce nuisance flooding and pollution of sensitive environmental areas. SAP, p. 17.

**POLICY IS 5**: Encourage retrofitting of NCDOT drainage infrastructure to manage nuisance flooding. SAP, p. 18.

<u>ACTION IS 5A</u>: Coordinate with NCDOT to develop a plan of action for addressing ... Ranchland subdivision street flooding.... SAP, p. 18.

**POLICY R-1**: Expand and develop recreational opportunities for all ages and users including access to the water and natural environment, walking trails, multi-purpose fields, multi-purpose community building, and other non-traditional types of recreational opportunities that are consistent with the Currituck County Parks and Recreation Master Plan. SUP, p. 21.

### ATTACHMENT "D"

# The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities.

The site has adequate access to NC 168 and will be adequately served by schools (it is our understanding that the site is in the Shawboro school district, that school capacity is currently available and that capacity in the school system has already been allocated to this development), police, fire, and emergency services. The applicant has completed a stormwater study and improvements plan to ensure that stormwater management will be enhanced not only for the development but also for the surrounding community. Sewer service will be provided off-site and will not burden the county's wastewater system.

### Fost PD-R Amendment No. 2 and Preliminary Plat Amendment

September 23, 2020

Scheduled Time/Place: 4:00pm and 6:00pm, Eagle Creek Pavilion

The first meeting began at 4:00pm/Meeting Ended: at approximately 4:40pm The second meeting began at 5:50pm/Meeting ended at approximately 6:15pm

Attendees: (See attached sign-in sheets)

Also: Jennie Turner, Currituck County Justin Old, Developer Mark Bissell, Engineer

Comments from the Community	How Addressed
How will the sewer work?	It is proposed that wastewater be pumped to Eagle Creek for treatment and disposal. A site is being set aside for future disposal of treated effluent or groundwater from the Eagle Creek site.
Where will the entrance be located and when will it be constructed?	About halfway between the railroad tract and Survey road. The work is supposed to begin on the entrance road next week and you should see the connection within two weeks.
How will the new drainage ditch work and can Ranchland properties connect?	The ditch will be constructed along the property line with all of the widening taking place on the Fost side. The Ranchlands side of the ditch actually extends onto many of the Ranchland lots who will have direct access to it. The ditch will be connected to the Rowland Creek canal which is also being improved.
Where will the berm be located?	On the Fost side of the Ranchland ditch.

### Summary:

Between the two meetings, only three residents showed up, all from Ranchland. Their questions were addressed and they seemed satisfied. There being no further questions or comments the meetings were adjourned.

Attachment: 8 Comm Mtg. (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)

Community Meeting Sign-In Sheet Fost Development September 23, 2020 4:00 P.M.

					 	 	 _
E-MAIL	Cuboy 67@ Yahoo	Chintre County 10. 30V	Jold Olytor . Con				mended Plat/Use Permit)
TELEPHONE	704- 754-10 25	252 435 9318	54-2-584.2-52				evelopment, PRD (Phases 1-5) A
ADDRESS	122 LONGMORNER Meyock	114 Long Lores th	131 Springle le				Attachment: 8 Comm Mtg. (PB 18-23 Fost Development, PRD (Phases 1-5) Amended Plat/Use Permit)
NAME	lish Lawhead	LEN DIXON	The old				Attachm

4.B.h

Packet Pg. 156

Community Meeting Sign-In Sheet Fost Development September 23, 2020 6:00 P.M.

E-MAIL	gebuicklor rangyahos. com					Amended Plat/I se Permit)
TELEPHONE						valonment DRD (Phases 1-5)
ADDRESS	129 Lark Honen 72					Attachment: & Comm Mto. (PR 18-23 Eost Development, PRD (Phases 1-5) Amended Plat/I Ise Permit)
NAME	La Charles					Attachme

4.B.h

Packet Pg. 157

Section 4: The zoning map amendment for the Property is approved with the following conditions:

a. The Phasing Plan attached to this ordinance and incorporated herein by reference as Schedule B (attached) shall be adhered to except that the Developer may determine the sequence in which phases are developed. The Developer shall provide an annual report updating the

Phasing Plan for the development. Notwithstanding the forgoing, the first phase of development shall not exceed seventy-one (71) residential units.

- b. Development on the Property shall be connected to a North Carolina Department of Environmental Quality ("NCDEQ") or Department of Health & Human Services ("NCDHHS") permitted and approved central wastewater treatment and disposal system, and to the Currituck County water system. Fire protection shall be provided in accordance with the UDO Standards and the N.C. Fire Code.
- c. The density/intensity standards, dimensional standards and development standards for development of the Property shall be in accordance with the Master Plan and Schedule A (attached), subject to .the degree of flexibility provided in these conditions.
- d. Community form and design for development of the Property shall conform to the streetscape perspectives, example model home drawings, mixed use, and clubhouse perspective drawings illustrated on the Master Plan and as provided and illustrated in Appendix to the Master Plan Supplemental document. Variations may be provided and shall be permitted in colors, materials, and architectural detailing that are compatible with the design concept.
- e. Transportation: The main subdivision entrance will be connected directly to N.C. Highway168. Deceleration and acceleration lanes shall be provided along the Property frontage in accordance with North Carolina Department of Transportation, ("NCDOT"), standards and shall be approved by NCDOT prior to construction. Connectivity will be provided to the existing farmland to the southeast, identified with Parcel Identification Number("PIN") 00230000070000. Roadways shall be laid out generally as shown on the Master Plan and Schedule C.
- f. Potable Water: Water shall be supplied by Currituck County via an existing 12" main located on N.C. Highway 168 which will be tapped and looped through the site. Fire Protections shall be provided in accordance with UDO standard and the applicable Insurance Service Office standards. Individual lots and dwellings shall be metered. The Developer shall model the county's water system to demonstrate adequate water flow and pressure for fighting fires while meeting the maximum day domestic demand.
- g. Wastewater: Developer intends to connect to a major utility, off-site, owned by Currituck Water & Sewer, LLC, for wastewater treatment and disposal. A wastewater collection system will be constructed by the

Developer and managed by a wastewater utility. The utility will be regulated by the North Carolina Utilities Commission.

- h. On-Site Stormwater: The following improvements to stormwater drainage ("Improvements") on the Property shall be completed by the Developer prior to recording the final plat for the first phase of development on the Property:
  - Improve Rowland Creek for the entire length on the Property by construction of a ditch on a positive grade with 3:1 side slopes and sized for a 100 year storm event from the drainage basin in which the Property is located.
  - ii. Install a new ditch along the entire length of the Property's eastern common boundary line with Ranchland Subdivision on a positive grade with 3:1 side slopes and sized for a 500 year storm event from the drainage basin in which the Property and a portion of Ranchland Subdivision are located.
  - iii. The Improvements set forth in this section shall be maintained by the Developer, or a management association created by the Developer.
- i. Off-Site Stormwater: Subject to obtaining right of entry from off-site property owners, i.e. if consent of those property owners is obtained, the following improvements to storm water drainage systems outside the boundaries of the Property shall be completed by the Developer prior to recording the final plat for the first phase of the development:
  - i. Clear and snag Rowland Creek from N. C. Highway 168 to the east end of Rowland Creek Estates Subdivision (adjacent to PIN 0022000088MOOOO)
  - ii. Clear and snag the Ranchland Outlets ditch from the Property's southeast corner adjacent to Ranchland Subdivision (adjacent to PIN 0238000004201F2) to the Ranchland Outlets' intersection with Rowland Creek, and construct a ditch on a positive grade with 3:1 side slopes and sized for a 100 storm event from the drainage basin in which the Property and Ranchland Subdivision are located.
  - iii. Improve the Survey Road ditch from Guinea Road to the railroad (on PIN 0022000063YOOOO) and construct the ditch on a positive grade with 3:1 side slopes and sized for a 100 year storm event from the drainage basin in which the Property is located.
  - iv. Improve Rowland Creek from the eastern boundary of Eagle Creek (adjacent to PIN 015A00000980000) to the western boundary of the Property by constructing a ditch on a positive grade with 3:1 side slopes sized for a 100 year storm event
  - v. Developer or a management association shall contribute \$5,000 annually to the cost of maintenance for the off-site improvements set forth in this section. Such funds shall be deposited within an association created for the purpose of maintaining off-site improvements. The first contribution shall be made within 1 year of the recording of the first phase of development, and subsequent contributions made annually for the next 10 years.
  - *vi.* Should Developer be unable to obtain right of entry from any landowner prior to recording Phase 2, then Developer's only

obligation under this Section (i), Off-Site Stormwater, shall be to provide fee in lieu in the amount of 115% of the cost of the Off-Site Improvements, such that the County may complete these Improvements if and when right of entry is obtained.

- j. Overall stormwater conditions:
  - i. The Developer shallconstruct berms along ditch outlets against Ranchlandto keep proposed development's runoff from flooding Ranchland during a 100 year storm.
  - ii. On-site stormwater will be managed by construction a series of stormwater management ponds that will be interconnected and will retain and slow-release stormwater primarily to Rowland Creek both directly and indirectly. A portion of the stormwater will also overflow to an existing culvert that runs directly under N.C. Highway 168 near the northwest corner of the property, The ditch that drains that outlet will also be improved as necessary subject to obtaining right of access referenced above.

In addition to modeling and retaining stormwater to the UDO and Stormwater Manual standard for the difference between runoff from the 10-year developed condition and runoff from a 2-year wooded condition site, stormwater shall be modeled for the 100-year storm event and property line berms constructed as necessary to manage the 100-year storm without adversely impacting neighboring properties.

Stormwater shall be conveyed to on-site retention ponds through a combination of curbs with inlets, stormwater pipes and open, vegetated swales.

- k. Perimeter compatibility shall be addressed as follows:
  - To the west: As long as this property remains zoned as is, a 50 foot farm buffer shall be provided, followed by a 60 foot roadway corridor, so the nearest existing dwelling unit will be at least 565 feet from the existing residence on that farm. A vegetative buffer shall be provided along that property line. If this property is rezoned, the buffer requirements in this condition shall not apply.
  - ii. To the north (Caratoke Highway): A berm shall be provided along the highway along with lakes flanking the main entrance road. The nearest dwelling unit will be set back at least 200 feet from the highway right-of-way at the closest point. The visual impact of the development shall be minimized by setbacks, berms and landscaping.
  - iii. To the east: A 50 foot vegetative farm buffer shall be provided along the existing farmland; traditional single family dwelling lots are being proposed in the areas that back up to existing dwelling units in the adjacent Ranchland subdivision. A minimum 50 foot buffer shall be provided between the developments.
  - iv. To the south: Compatible residential development is being proposed and a minimum 90 foot open space buffer is shown to the property line. The southern buffer may include a pond.
  - v. Limited commercial development is located interior to the Development and shall front along the landscaped entrance boulevard.

I. Environmental Protection and Monitoring: Wetlands subject to the jurisdiction of the US Army Corps of Engineers have been delineated and confirmed by the Corps of Engineers. Wetland buffers have been shown on the Master Plan and the Development plan honors those buffers. The Association documents (Declaration) will include provisions that prohibit the filling of wetlands and prohibit the clearing of the buffer areas other than incidental tree cutting and vegetation removal, except for minor impacts associated with stormwater management facilities.

The Association, either itself or via a management entity, will assume responsibility for ongoing operation and maintenance of all stormwater management facilities in accordance with the Currituck County UDO requirements and all NCDEQ permit requirements. The Association dues will be structured in a way that funds are provided for the upkeep of these facilities, as well as periodic improvements to Rowland Creek both through the development, as well as a contribution to off-site maintenance.

Wind tides will be considered in the design of site grading, with structures located above the elevation of the historic wind tidal influence from Rowland Creek.

SCHEDULE A

# **DEVELOPMENT STANDARDS & SETBACKS**

STYLE:	TND T.H.	TND SFLOT	CONV. SFLOT
Min Lot Size: 1,	1,800 SF	6,900 SF	9,500 SF
Typ. Lot Size: 1,	1,800 – 3,000 SF 7,	7,000 – 9,000 SF	10,000 – 15,000 SF
Min. Lot Width:	20'	35'	35,
Typ. Lot Width:	20' – 25'	50' - 60'	62'
Front Setback:	15′	20'	20'
Side Setback:	0	10'	10′
Rear Setback:	20′	20'	25′
Corner Side Setback:	15′	15′	15′
Maximum Setback:	25′	75'	140′
Maximum Height:	35′	35'	35′
Maximum Bldg. Size:	16,000 SF	N/A	N/A
Maximum Lot Coverage:	100%	60%	45%

4.B.i

### SCHEDULE B

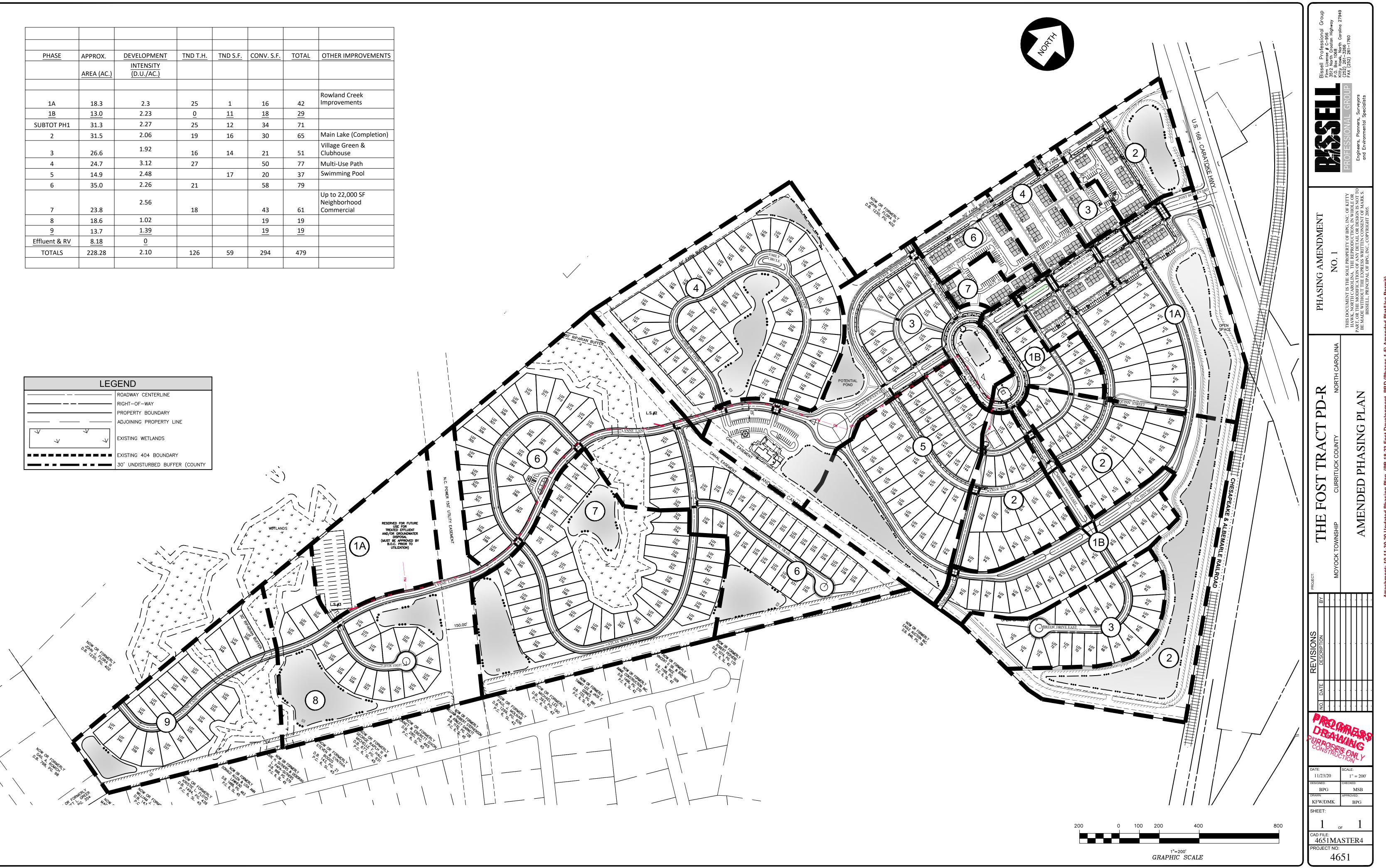
### PHASING SCHEDULE

PHASE	<u>AREA (AC.)(+/-)</u>	<u>DEVELOPMENT</u> INTENSITY (D.U./AC.)	<u>TND T.H.</u>	<u>TND S.F.</u>	CONV. S.F.	<u>TOTAL</u>	OTHER IMPROVEMENTS
		INTENSITY (D.U./AC.)					
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
1B	13	2.23	0	11	18	29	
PH. 1 SUBTOTAL	31.3	2.27	25	12	34	71	_
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
6	35	2.26	21		58	79	
7	23.8	2.56	18		43	61	Up to 22,000 SF Neighborhood Commercial
8	18.6	1.02			19	19	
9	13.7	1.39			19	19	
Effluent & RV	8.18	0					
TOTALC	220.20	2.40	126	50	204	470	
TOTALS	228.28	2.10	126	59	294	479	

### SCHEDULE C ROADWAY STANDARDS

<u>TYPE</u>	<u>R/WWIDTH</u>	<u>PAV'T. WIDTH</u> (B-B)
Boulevard w/on-street parking & bike lane	100' - 130'	35' each way
Local Road w/parking both sides	60'	43'
Local Road w/parking one side	50' – 55'	35
Local Road w/no parking	40′	27′
Alley	20' - 30'	20'
Boulevard w/out bike lane	80'	16' each way

					τοται	OTHER IMPROVEMENT
APPROX.	INTENSITY (D.U./AC.)			<u>conv. s.r.</u>		
18.3	2.3	25	1	16	42	Rowland Creek Improvements
<u>13.0</u>	2.23	<u>0</u>	<u>11</u>	<u>18</u>	<u>29</u>	
31.3	2.27	25	12	34	71	
31.5	2.06	19	16	30	65	Main Lake (Completion
26.6	1.92	16	14	21	51	Village Green & Clubhouse
24.7	3.12	27		50	77	Multi-Use Path
14.9	2.48		17	20	37	Swimming Pool
35.0	2.26	21		58	79	
23.8	2.56	18		43	61	Up to 22,000 SF Neighborhood Commercial
18.6	1.02			19	19	
13.7	1.39			<u>19</u>	19	
8.18	<u>0</u>					
228.28	2.10	126	59	294	479	
	18.3         13.0         31.3         31.5         26.6         24.7         14.9         35.0         23.8         18.6         13.7         8.18	AREA (AC.) $INTENSITY (D.U./AC.)$ 18.32.313.02.2331.32.2731.52.0626.61.9224.73.1214.92.4835.02.2623.82.5618.61.0213.71.398.18 $\underline{0}$	INTENSITY (D.U./AC.)       INTENSITY (D.U./AC.)         18.3       2.3       25         13.0       2.23       0         31.3       2.27       25         31.5       2.06       19         26.6       1.92       16         24.7       3.12       27         14.9       2.48       21         35.0       2.26       21         23.8       1.02       18         18.6       1.02       18         18.7 <u>1.39</u> 2.56         8.18 <u>0</u> 1.37	AREA (AC.)INTENSITY (D.U./AC.)Image: constraint of the second	AREA (AC.)INTENSITY (D.U./AC.)Image: constraint of the second	AREA (AC.)INTENSITY (D.U./AC.)Image: constraint of the second



### SCHEDULE B

### PHASING SCHEDULE

<u>PHASE</u>	<u>AREA (AC.)(+/-)</u>	DEVELOPMENT	TND T.H.	<u>TND S.F.</u>	CONV. S.F.	<u>TOTAL</u>	OTHER IMPROVEMENTS
	<u> </u>	INTENSITY (D.U./AC.)					
1A	18.3	2.3	25	1	16	42	Rowland Creek Improvements
1B	13	2.23	0	11	18	29	
PH. 1 SUBTOTAL	31.3	2.27	25	12	34	71	_
2	31.5	2.06	19	16	30	65	Main Lake (Completion)
3	26.6	1.92	16	14	21	51	Village Green & Clubhouse
4	24.7	3.12	27		50	77	Multi-Use Path
5	14.9	2.48		17	20	37	Swimming Pool
6	35	2.26	21		58	79	
7	23.8	2.56	18		43	61	Up to 22,000 SF Neighborhood Commercial
8	18.6	1.02			19	19	
9	13.7	1.39			19	19	
Effluent & RV	8.18	0					
TOTALS	228.28	2.10	126	59	294	479	

### RESOLUTION OF THE BOARD OF COMMISSIONERS FOR CURRITUCK COUNTY, NORTH CAROLINA ASSIGNING CERTAIN COUNTY PROPERTY FOR ECONOMIC DEVELOPMENT PURPOSES

WHEREAS, in 2008 Currituck County acquired property at 117 North Point Boulevard, Moyock, North Carolina and thereafter utilized the property for travel and tourism purposes in conjunction with adjacent county property located at 106 Caratoke Highway, Moyock, North Carolina; and

WHEREAS, it is no longer necessary to use all the property located at 117 North Point Boulevard, Moyock, North Carolina for travel and tourism purposes and because the property is in a General Business Zoning District it is appropriate to utilize a portion of the property for economic development purposes; and

WHEREAS, Currituck County desires to hold a portion of the property located at 117 North Point Boulevard, Moyock, North Carolina for lease to a private company for its use and enhancement of economic development in the county.

NOW, THEREFORE, BE IT RESOLVED by the Currituck County Board of Commissioners that:

Section 1. A portion of the county's property located at 117 North Point Boulevard, Moyock, North Carolina previously held for travel and tourism purposes, more particularly described below, is now held by the county for economic development purposes pursuant to N.C. Gen. Stat. §158-7.1:

Beginning at an existing iron rebar situated in the southwest corner of Currituck County property more particularly shown at Plat Cabinet K, Slide 106 of the Currituck County Registry, the northeast comer of Lot 55, Phase 2, North Point Subdivision, more particularly shown at Plat Cabinet D, Slide 76 of the Currituck County Registry and northwest corner of Frank C. Bernard, Jr. and wife, Phyllis A. Bernard property more particularly described at Deed Book 283, Page 179 of the Currituck County Registry; thence from the point of beginning along the western boundary line of Currituck County property more particularly shown at Plat Cabinet K. Slide 106 of the Currituck County Registry North 32 degrees 59 minutes 55 seconds West 167.00 feet to a point, cornering; thence North 57 degrees 00 minutes 05 seconds East 274.85 feet to a set rebar in the southeastern boundary line of Currituck County property more particularly shown at Plat Cabinet K, Slide 106 of the Currituck County Registry, cornering; thence South 32 degrees 59 minutes 55 seconds East 167.00 feet to a set rebar; thence South 57 degrees 00 minutes 05 seconds West 274.85 feet to the point and place of beginning.

Section 2. This resolution is effective upon its adoption and supersedes any prior or conflicting resolution.

ADOPTED the 19th day of January 2021.

Michael H. Payment, Chair Board of Commissioners

ATTEST:

Leeann Walton, Clerk to the Board of Commissioners

(COUNTY SEAL)

20210070

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		Debit	Cr	edit
Account Number	Account Description	 se Revenue or ase Expense		Revenue or e Expense
10511-502000	Salaries - Reg	\$ 16,300		
10511-502100	Overtime	\$ 1,000		
10511-505000	FICA	1,325		
10511-506000	Health Insurance	3,280		
10511-507000	Retirement Expense	2,750		
10511-536000	Uniform	4,500		
10511-532000	Supplies	900		
10511-590000	Capital Outlay	10,430		
10320-411000	Article 39 Sales Tax			40,485
		\$ 40,485	\$	40,485

**Explanation:** Detention Facility (10511) - Increase appropriations for an additional detention officer to provide security at the courtroom. Uniforms, supplies and capital will equip one new detention officer and one existing part-time officer with uniform, weapon and mobile radio.

**Net Budget Effect:** Operating Fund (10) - Increased by \$40,485.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal #

20210071

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		D	ebit	C	Credit
Account Number	Account Description		Revenue or e Expense		Revenue or se Expense
10430-503000 10430-503430 10430-505000 10510-503000 10510-503500 10511-503000 10511-503000 10512-503000 10512-503500 10530-505000 10550-503000 10790-503000 10795-503500 10795-505000 10320-411000	Salaries - Election Part-time Salaries - Poll Workers FICA Salaries - Sheriff Part-time Salaries - Sheriff Temporary FICA Salaries - Detention Part-time FICA Salaries - Animal Services Part-time Salaries - Animal Services Temp FICA Salaries - Library Part-time FICA Salaries - Recreation Temporary FICA Article 39 Sales Tax	\$	50 1,667 132 90 103 15 95 8 190 25 17 686 53 171 13 141 11 909 70	\$	4,446
		\$	4,446	\$	4,446

**Explanation:** Various Departments - Increase appropriations to provide bonus pay for all employees with less than 750 hours. Employees must have worked between November 1, 2019 and October 31, 2020 and been an active employee on December 1, 2020. This prorates the \$250 amount approved for full time employees by actual hours worked. The minumum bonus amount will be \$25 per employee. This will be paid on the regular check run that will be paid on February 10, 2021.

Net Budget Effect: Operating Fund (10) - Increased by \$4,446.

Minute Book # \_\_\_\_\_\_, Page # \_\_\_\_\_

Journal #

20210072

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		I	Debit	Credit		
Account Number	Account Description		e Revenue or se Expense		Revenue or se Expense	
10430-511000 10430-532000	Telephone & Postage Supplies	\$ \$	1,000 2,000			
10430-532100	Ballot Programs & Imprint				3,000	
		\$	3,000	\$	3,000	

**Explanation:** Elections (10430) - Transfer budgeted funds for increased costs of the November 2020 election.

**Net Budget Effect:** Operating Fund (10) - No change.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal #

20210073

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		Debit	Credit
Account Number	Account Description	 se Revenue or ise Expense	Increase Revenue or Decrease Expense
10480-508000	Supplemental Pension	\$ 3,200	
10480-532000	Supplies	1,000	
10480-557300	Excise Tax on Deeds	900,000	
10480-557400	Children's Trust Funds	1,000	
10480-558100	Domestic Violence Center	6,000	
10320-407000	Marriage License		7,000
10320-410000	Deed Stamp Excise Tax		904,200
		\$ 911,200	\$ 911,200

**Explanation:** Register of Deeds (10480) - Increase appropriations due to increases in the real estate market over the past several months. These increased expenses are specifically related to increased off-setting revenues.

**Net Budget Effect:** Operating Fund (10) - Increased by \$911,200.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal #

20210074

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		[	Debit Decrease Revenue or Increase Expense		edit
Account Number	Account Description				Revenue or e Expense
10441-511010 10320-411000	Data Transmission Article 39 Sales Tax	\$	\$ 2,500		2,500
		\$	2,500	\$	2,500

**Explanation:** Information Technology (10441) - Increased data transmission costs due to added costs for remote working.

**Net Budget Effect:** Operating Fund (10) - Increased by \$2,500.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal #

20210075

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

		Debit		Cre	dit
Account Number	Account Description		Decrease Revenue or Increase Expense		evenue or Expense
10510-590000 10320-411000	Capital Outlay Article 39 Sales Tax	\$	54,000		54,000
		\$	54,000	\$	54,000

**Explanation:** Sheriff (10510) - Increase appropriations for vehicle taxes and increases in vehicle costs since the eleven vehicles requested were not approved prior to current contract expirations.

**Net Budget Effect:** Operating Fund (10) - Increased by \$54,000.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal #

12/14/2020

County of Currituck Attn: County Manager's Office 153 Courthouse Road., Ste 204 Currituck, NC 27929



2528 Horse Pasture Rd. Suite 100

Suite 100 Virginia Beach, VA 23453

TEL: 757.490.2535 FAX: 757.490.4990 Email: management@fcitowers.com

RE: Site License Agreement between County of Currituck ("Landlord") and Nextel Communications of the Mid-Atlantic, Inc. ("Sprint"), dated January 17, 2007 and as amended June 5, 2019 ("Site Agreement"), with respect to the real property located at 734 Ocean Trail, Corolla NC, Cascade No. NO80XC013 ("Site")

Dear Sir or Madam:

This letter is to advise you that it will be necessary within the near future for Sprint to make certain physical modifications to equipment within Sprint's premises at the Site. These improvements are being undertaken in order to ensure the continued technical and economic feasibility of Sprint's facility and are needed for Sprint to make optimal use of the Site for the purposes intended by the Site Agreement. As described below, these modifications should have no significant impact on Landlord's property or operations. However, in accordance with the Site Agreement, Sprint requests that Landlord acknowledge notice of, and consent to, the following modifications which are specifically described below and in the Construction Drawings dated <u>12-1-2020</u> annexed hereto:

Addition or replacement of antennas and other equipment to the Facilities, as more particularly described within the attached documents.

Please indicate the Landlord's acknowledgement, consent and approval for Sprint to proceed with the modifications outlined above by signing below and returning one copy of this letter to me via fax to the attention of Matt Winstead at (757) 490-4990 or scan and email the Consent Letter to <u>MWinstead@FCITowers.com</u>. Alternatively, the letter can be returned by regular mail to Matt Winstead at 2528 Horse Pasture Road, Suite 100, Virginia Beach, VA 23453.

Thank you in advance for your prompt attention to this matter.

Regards,

By: <u>Matt Winstead</u> FCI Towers, an authorized representative of Sprint

### ACKNOWLEDGED AND AGREED TO:

County of Currituck

Printed Name: Ben Stikeleather

Title: County Manager

Date: January 19, 2021

Landlord Contact Email address: \_\_\_\_

Landlord Contact Name and Number for Access and/or work scheduling:

Access Contact Name: \_\_\_\_

Access Contact Number/Email: \_\_\_\_\_

5.B.2.a

# T - Mobile • **NSD TEMPLATE - NEW BUILD - SPRINT KEEP**

T-MOBILE Site #

### VA70795A / NO80XC013

T-MOBILE Site Name

### CO OF CURRITUCK OCEAN TRAIL

### SCOPE OF WORK

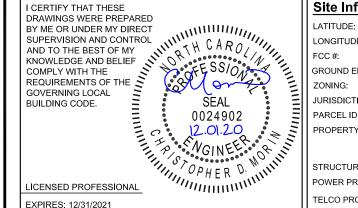
- **FOWEF** REMOVAL OF (3) EXISTING SPRINT SECTOR MOUNTS REMOVAL OF (6) EXISTING SPRINT ANTENNAS REMOVAL OF (6) EXISTING SPRINT RADIOS EXISTING (3) SPRINT 1900MHz RRH TO BE RELOCATED TO NEW MOUNTS INSTALLATIÓN OF (3) NEW PERFECT VISION PV-SFA12-3-12-278X126 SECTOF MOUNTS WITH STIFF ARMS INSTALLATION OF (3) NEW ERICSSON - AIR 32 DB ANTENNAS @ POS 1 INSTALLATION OF (3) NEW RFS OCTO PORT ANTENNAS @ POS 2 INSTALLATION OF (3) NEW AIR 6449 ANTENNAS @ POS 3 INSTALLATION OF (3) NEW ERICSSON 4449 RADIOS INSTALLATION OF (4) NEW ERICSSON 6X12 HYBRID CABLES INSTALLATION OF (6) NEW RRUS DUAL MOUNT PLACE HOLDER FOR FUTURE (1) M/W DISH, (1) ODU & (1) CAT6 CABLE ROUND 3. REMOVAL OF (1) EXISTING SPRINT BATTERY CABINET 4. EXISTING (1) SPRINT BTS CABINET, (1) FIBER DISTRIBUTION BOX AND CABLES TO REMAIN INSTALLATION OF (1) NEW ERICSSON 6230 POWER CABINET ON TOP OF (1) NEW ERICSSON 6230 RF EQUIPMENT & BATTERY RACK INSTALLATION OF (1) NEW IXRe ROUTER IN NEW RACK INSTALLATION OF (1) NEW PSU 4813 IN NEW RACK 8. INSTALLATION OF (3) NEW BB 6630, (1) NEW DUG20 & (1) NEW BB 6648 IN NEW RACK
- INSTALLATION OF (1) NEW GENERAC 50KW DIESEL GENERATOR & (1) NEW ATS 20. INSTALLATION OF NEW 200A AC SERVICE
- 21. G.C. TO INSTALL REQUIRED RECTIFIERS, DC BREAKERS & BATTERIES INSIDE NEW 6230 CABINET/RACK

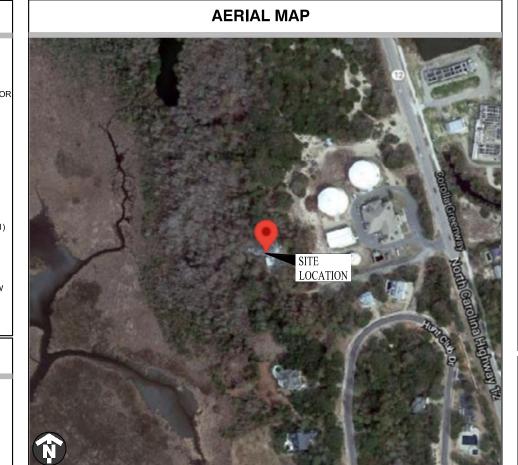
### DRIVING DIRECTIONS

DRIVING DIRECTIONS FROM T-MOBILE OFFICE AT: 324 MADISON MEWS, NORFOLK, VIRGINIA 23510

TURN RIGHT ONTO W. FREEMASON ST. TURN RIGHT ONTO ST PAULS BLVD. TURN LEFT ONTO I264 W. KEEP RIGHT AT FORK AND CONTINUE TO I464 S. CONTINUE ONTO VA168 S. KEEP LEFT TO STAY ONTO VA168 S. CONTINUE ONTO NC 168 S. CONTINUE ONTO US 158 E. TURN LEFT ONTO NC 12 N. PROCEED FOR 16.9 MILES AND ARRIVE AT SITE ON LEFT.

### **PROFESSIONAL LICENSURE**







(	
	SHEET IND
HEET	SHEET DESCR
T-1	TITLE SHEET
AP-1	APPENDIX B
AP-2	APPENDIX B
A-1	SITE PLAN
A <b>-</b> 2	COMPOUND PLAN
A-2A	EXISTING & PROPOSED EC
A-3	ELEVATIONS
A-3A	MOUNTING DETAILS
A-4	EXISTING & PROPOSED AN
A-4A	ANTENNA & CABLE SCHED
A-4B	RFDS DIAGRAM
A-5	DETAILS
A-5A	DETAILS
A-5B	DETAILS
E-1	ELECTRICAL LAYOUT
E-2	ONE LINE DIAGRAM
E-3	AC PANEL SCHEDULES
G-1	GROUNDING LAYOUT
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
N-1	GENERAL NOTES
N-2	GENERAL NOTES
N-3	GENERAL NOTES

### General Notes:

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS AT THE PR MMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING RESPONSIBLE FOR SAME

OR SITES WHERE A CRANE IS NECESSARY. THE CONTRACTOR SHALL CONFIRM AN UNOBSTRUC CRANE FROM PUBLIC ROAD TO TOWER SITE PRIOR TO CONSTRUCTION. NO AERIAL OBSTRUCTIO EET ABOVE GRADE, INCLUDING AERIAL UTILITY LINES, ARE ALLOWED ALONG SAID CRANE ROUT

GC SHALL CONTACT THE A&E FIRM PRIOR TO BIDWALK AND CONSTRUCTION START TO CONFIRM THE MOST RECENT SET.

### **PROJECT INFORMATION**

								-	
	Site Informatio	on:	Project Te	am:	Code Compliance:				į
	LATITUDE:	N 36.32147250 (NAD 83)	APPLICANT:	T-MOBILE NORTHEAST LLC	ALL WORK AND MATERIALS SHALL INSTALLED IN ACCORDANCE WITH				
IN CARO	LONGITUDE:	W 75.81802805 (NAD 83)		324 MADISON MEWS NORFOLK. VIRGINIA 23510	EDITIONS OF THE FOLLOWING COE		PROPERTY OWNER	DATE	
R	FCC #:	1007667		PHONE: 804-364-7803	THE LOCAL GOVERNING AUTHORIT				
KESSION I I	GROUND ELEVATION:	± 5' (AMSL IN FEET)		FAX: 757-490-4990	THESE PLANS IS TO BE CONSTRUE NOT CONFORMING TO THE LATEST				_
St any =	ZONING:	N/A	PROJECT MANAGEMENT:	F.C.I. TOWERS. INC	FOLLOWING CODES:		SITE ACQUISITION	DATE	
SEAL È	JURISDICTION:	CURRITUCK COUNTY	MANAGEMENT.	2528 HORSE PASTURE RD.	BUILDING / DWELLING CODE:	2018 NC EXISTING			
0024902	PARCEL ID:	01160000060000		VIRGINIA BEACH, VA 23453 CONTACT: ANDREW WALLACE	Bolebing / Dweleling CODE.	BUILDING CODE			
12.01.20	PROPERTY OWNER:	CURRITUCK COUNTY		OFFICE: (757) 490-2535	PLUMBING CODE:	2018 NC	CONSTRUCTION MANAGER	DATE	
NOINFER &		734 OCEAN TRAIL COROLLA. NC 27927		FAX: (757) 490-4990	MECHANICAL CODE: ELECTRICAL CODE:	2018 NC NEC 2017			
ST	STRUCTURE TYPE:	250'-0" SELF SUPPORT TOWER	ENGINEER:	BC ARCHITECTS ENGINEERS, PLC	FIRE / LIFE SAFETY CODE:	2018 NC	ZONING	DATE	
UPHER U.				5661 COLUMBIA PIKE, SUITE 200					
· · · · · · · · · · · · · · · · · · ·	POWER PROVIDER:	DOMINION POWER		FALLS CHURCH, VA 22041	THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE AT 24"X36".	CONTRACTOR SHALL VERIFY ALL PLANS			
	TELCO PROVIDER:	CENTURY LINK		CONTACT: BRIAN M. QUINN, AIA OFFICE: (703) 671-6000	AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE A DESIGNER / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFC MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME CONTRA	ND SHALL IMMEDIATELY NOTIFY THE DRE PROCEEDING WITH THE WORK OR ACTOR SHALL USE BEST MANAGEMENT	RFENGINEER	DATE	
				OFFICE. (703) 07 1-0000	PRACTICE TO PREVENT STORM WATER POLLUTION DURING CONS				

Site Address 734 OCEAN TRAIL COROLLA, NC 2792

67D5A997DB(RAN) / 67D597D

Configuration SECTORS	APPLICANT         SATE MADISON MEWS DORFOLK, VIRGINIA 23510         PROJECT MANAGEMENT         PROJECT MANAGEMENT         PROJECT MANAGEMENT         PROJECT MANAGEMENT         DEC MARAGEMENT         DEC MANAGEMENT         DEC MANAGEMENT         DEC MANAGEMENT         DEC MARAGEMENT         DEC MARAGEMEN
(RAN) / 67D597DB_B25 (A&L) SHEET INDEX	Leaders in Communication Development and Construction Services
T SHEET DESCRIPTION TITLE SHEET APPENDIX B APPENDIX B SITE PLAN COMPOUND PLAN EXISTING & PROPOSED EQUIPMENT PLAN	engineer <b>300</b> <b>architects</b> <b>engineers</b> 5661 COLUMBIA PIKE, SUITE 200 FALLS CHURCH, VA 22041-2866
ELEVATIONS MOUNTING DETAILS EXISTING & PROPOSED ANTENNA PLAN ANTENNA & CABLE SCHEDULE RFDS DIAGRAM	DRAWN BY: MP CHECKED BY: SS APPROVED BY: BMQ
DETAILS DETAILS DETAILS DETAILS DETAILS ELECTRICAL LAYOUT ONE LINE DIAGRAM AC PANEL SCHEDULES GROUNDING LAYOUT GROUNDING DETAILS GROUNDING DETAILS GENERAL NOTES GENERAL NOTES GENERAL NOTES	No.Revision/IssueDateInitialA90% PRELIMINARY09/24/20MPB90% PRELIMINARY10/02/20SSC90% PRELIMINARY10/08/20SSD90% PRELIMINARY10/19/20SS0FINALS12/01/20SS
	COP CURRILICK OCEAN TRAIL COROLLA, NC 27927 COP LE SHEET
APPROVED APPROVED DISAPPROVED/ ASNOTED REVISE	SITE INFORMATION VA70795A/NO80XC013 CO OF CURRITUCK OCEAN TRAIL 734 OCEAN TRAIL
	COROLLA, NC 27927
	Attac
	T-1
	Bookot Bg 176

Packet Pg. 176

5.B.2.b

### 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (Reproduce the following data on the building plans sheet 1 or 2)

-	et: <u>VA70795A / NO80XC0</u> DCEAN TRAIL, COROLI			V BUILD – SPRI ip Code: 27927	NT KEEP
Owner/Author	zed Agent: <u>M. Winstead</u>	Phone #(757) 490	- 2535 E	-Mail: mwinstead	afcitowers.com
Owned By: Pr	the second se				
Code Enforcen	nent Jurisdiction: County				
Code Enforcem	tent surisalenon. County				
Code Enforcen	ione surfishenon. County				
CONTACT:	on suisición. County				
	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
CONTACT:			LICENSE #	TELEPHONE # (703) 671-6000	E-MAIL bquinn@bcplc.coi
CONTACT: DESIGNER	FIRM	Brian Quinn			

Licenicai	DC Aremiters Engineers	manasi Enugata	(703) 071-0000	menugata@ovpre.com
Fire Alarm	N/A		( )	
Plumbing	N/A		( )	
Mechanical	N/A			
Sprinkler-Stand	dpipe N/A			
Structural	N/A		()	
Retaining Wall	s>5' High N/A			
Other	N/A			
("Other" should	d include firms and individua	ils such as truss, precast,	pre-engineered, interio	r designers, etc.)

### 2018 NC BUILDING CODE: Addition

2018 NC EXISTING BUILDING CODE: N/A	<u>N/A</u> <u>N/A</u>
CONSTRUCTED: (date)	CURRENT OCCUPANCY(S) (Ch. 3):
RENOVATED: (date)	PROPOSED OCCUPANCY(S) (Ch. 3):
RISK CATEGORY (Table 1604.5): Current: N	/A Proposed: <u>N/A</u>

BASIC BUILDING DATA	
Construction Type: II-B	
Sprinklers: N/A N/A	
Standpipes: N/A	
Primary Fire District: Yes	Flood Hazard Area: No
Special Inspections Required: No	

### Gross Building Area Table

FLOOR 3 <sup>rd</sup> Floor	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
2 <sup>nd</sup> Floor			
Mezzanine			
1st Floor			
Basement			
TOTAL	0	0	
	1		

ALLOWABLE AREA

Primary Occupancy Classification(s): Utility and Miscellaneous	<u>N/A</u>	N/A	<u>N/A</u> <u>N/A</u>
<u>N/A</u>			
Accessory Occupancy Classification(s):			
Incidental Uses (Table 509):			

Special Uses (Chapter 4 - List Code Sections): Special Provisions: (Chapter 5 - List Code Sections) Mixed Occupancy: No Separation: Select one Exception: Select one

 
 Actual Area of Occupancy A
 +
 Actual Area of Occupancy B

 Allowable Area of Occupancy A
 Allowable Area of Occupancy B
  $\leq 1$ 

_		+		+	= ≤1.00
STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(b) table 506.2° area	(C) AREA FOR FRONTAGE INCREASE <sup>1,5</sup>	(D) Allowable area Per story or unlimited <sup>2,3</sup>
N/A					

<sup>1</sup> Frontage area increases from Section 506.3 are computed thus: a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_(F) b. Total Building Perimeter = \_\_\_\_\_(P) c. Ratio (*PP*) = \_\_\_\_(*PP*) d. W = Minimum width of public way = \_\_\_\_(W) d. W = Minimum width of public way = \_\_\_\_(W) d. W = Minimum width of public way = \_\_\_\_(W) e. Percent of frontage increase *i<sub>f</sub>* = 100(*FP* = 0.25); *K*//3C = \_\_\_\_\_(%) <sup>2</sup> Unlimited area applicable under conditions of Section 507. <sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2). <sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4. <sup>5</sup> Frontage increase is based on the unsprinklered area value in Table 506.2.

### ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE 1			
Building Height in Feet (Table 504.3) 2	N/A					
Building Height in Stories (Table 504.4) 3						
<ul> <li><sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.</li> <li><sup>2</sup> The maximum height of particing parking garages must comply with Table 412.3.1.</li> <li><sup>3</sup> The maximum height of open parking garages must comply with Table 406.5.4.</li> </ul>						

earing Walls Exterior North East West South Interior Nonbearing Walls and Partitions Exterior walls North East West South Interior walls and part oor Construction Including supporting beams and joists loor Ceiling Assembly Columns Supporting Floors toof Construction, includin upporting beams and joists Roof Ceiling Assembly Columns Supporting Roof Shaft Enclosures - Exit Shaft Enclosures - Other Corridor Separation Occupancy/Fire Barrier Separation Party/Fire Wall Separation oke Barrier Separation Smoke Partition Tenant/Dwelling Unit/ Sleeping Unit Separation Incidental Use Separation \* Indicate section number permitting reduction

UILDING ELEMEN

ructural Frame,

cluding columns, girde

FIRE PROTECTION REQUIREMENTS

PROVIDED

FOR RATED

RATI PENETR.

2018 NC Administrative Code and Policies

2018 NC Administrative Code and Policies

2018 NC Administrative Code and Policies

PERCENTAGE OF WALL OPENING CALCULATIONS						
Fire Separation Distance (Feet) from Property lines	Degree of openings Protection (Table 705.8)	Allowable area (%)	ACTUAL SHOWN ON PLANS (%)			
N/A						

### LIFE SAFETY SYSTEM REOUIREMENTS

Emergency Lighting:	No	
Exit Signs:	No	
Fire Alarm:	No	
Smoke Detection Systems:	No	
Carbon Monoxide Detection:	No	

### LIFE SAFETY PLAN REQUIREMENTS

- Life Safety Plan Sheet # N/A
- ☐ Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on the site plan)
   Exterior wall opening area with respect to distance to assumed property lines (705.8)
   Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- Occupant loads for each area
   Exit access travel distances (1017)
- Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
  Dead end lengths (1020.4)
- Clear exit widths for each exit door
  Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
  Actual occupant load for each exit door
- Actual occupant load for each exit door
   A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for
   purposes of occupancy separation
   Location of doors with panic hardware (1010.1.10)
   Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
   Location of doors with electromagnetic egress locks (1010.1.9.9)
   Location of doors with electromagnetic egress locks (1010.1.9.9)
   Location of doors with electromagnetic egress locks (1010.1.9.7)
   Location of doors with electromagnetic egress locks (1010.1.9.7)
   Location of doors with electromagnetic egress locks (1010.1.9.7)
   Location of doors equipped with hold-open devices
   Location of doors do fire area (202)
   The square footage of each fire area (202)
   Note any code exceptions or table notes that may have been utilized regarding the items above

### ACCESSIBLE DWELLING UNITS

			(		<i>'</i>		
Total Units	Accessible Units Required	Accessible Units Provided	TYPE A UNITS Required	Type A Units Provided	Type B Units Required	Type B Units Provided	TOTAL ACCESSIBLE UNITS PROVIDED
N/A							

### ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING TOTAL # OF PARKING SPACES		# OF AC	TOTAL #			
AREA	REQUIRED	PROVIDED	REGULAR WITH	VAN SPAC	ES WITH	ACCESSIBLE
			5' ACCESS AISLE	132" ACCESS	8' ACCESS	PROVIDED
				AISLE	AISLE	
TOTAL	N/A					

### PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

N/A											
τ	JSE	8	ATERCLOSI	ETS	URINALS		LAVATORIE	s	SHOWERS	DRINKING	FOUNTAINS
		MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	/TUBS	REGULAR	ACCESSIBLE
SPACE	EXIST'G										
	NEW										
	REQ'D										

### SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

N/A

B.	.2.	b
-		~
	B.	B.2.

FOR D TION	SHEET # FOR RATED JOINTS
_	

			5.6	1	
	APPLICA T M(C 324 MADISON NORFOLK, VIRG	<b>bile</b>	<b>)</b> "	(orolla)	
	PROJECT MANA PROJECT MANA To To Padders in Communication Ser	w e	r s elopment	cations-Cell Tower Upgrades, Corolla	
DRA	5661 COLUMBIA PIK FALLS CHURCH, V	ects eers xe, suffe 200 A 22041-2868	Y: 55	Nextel Communications-Ce	
	,,				
No.	Revision/Issue	Date	Initial	late-NewBuild-Sprint	
A	90% PRELIMINARY	09/24/20	MP	ķ	
В	90% PRELIMINARY	10/02/20	SS	ild	
с	90% PRELIMINARY	10/08/20	SS	/Bu	
D	90% PRELIMINARY	10/19/20	SS	Vev	
0	FINALS	12/01/20	SS	te-l	
H	SEAL 0024902 FR NGINEER ON NORTH CAROL				
	SEAL 0024902 2.01.20 WGINEER VA70795A/NO80XC013 COOF CURRITUCK OCEAN TRAIL 734 OCEAN TRAIL 734 OCEAN TRAIL COROLLA, NC 27927 APPENDIX B				
	AP-1				
		Pac	ket Pg.	177	

### ENERGY SUMMARY

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

### Existing building envelope complies with code: $\underline{Select}\ one$

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: Select one

Method of Compliance:	Selict one (If 'Other" specify source here)
	(in other speen) sourcement)_

THERMAL ENVELOPE (Prescriptive method only) N/A

Roof/ceiling Assembly (each assembly)	
Description of assembly:	
U-Value of total assembly:	
R-Value of insulation:	
Skylights in each assembly:	
U-Value of skylight:	
total square footage of skylights in	n each assembly:

Exterior Walls (each assembly)	
Description of assembly:	
U-Value of total assembly:	
R-Value of insulation:	
Openings (windows or doors with	glazing)
U-Value of assembly:	
Solar heat gain coefficien	it:
projection factor:	
Door R-Values:	

Walls below grade (each assembly)	
Description of assembly:	
TT Males of seal and him	

U-Value of total assembly: R-Value of insulation: Floors over unconditioned space (each assembly)

Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Valae of insulation:
Horizontal/vertical requirement:
slab heated:

2018	NC	Administrative	Code and	Policies	

BUILDING CODE SUMM (PROVIDE ON TH	2018 APPENDIX B ARY FOR ALL COMMERCIAL PROJECTS Mechanical design e mechanical sheets if applicable (echanical summary
MECHANICAL SYSTEMS, SERVICE S	YSTEMS AND EQUIPMENT
Thermal Zone	
winter dry bulb: NiA summer dry bulb:	
Interior design conditions	
winter dry bulb: NiA summer dry bulb: relative humidity:	
Building heating load: NA	
Building cooling load: NA	
Mechanical Spacing Conditionin	g System
Unitary	
description of unit: heating efficiency: cooling efficiency:	N/A
heating efficiency:	N/A
cooling efficiency:	N/A
size category of unit: Boiler	N/A
Boiler Size category. If over	sized, state reason.: N/A
Chiller	Sized, state reason.

Size category. If oversized, state reason.: N/A\_\_\_\_\_

List equipment efficiencies: N/A \_\_\_\_\_

	SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN E ON THE STRUCTURAL SHEETS IF APPLICABLE)
DESIGN LOADS:	
Importance Factors:	Snow $(1_s)$ <u>Select one</u> Seismic $(1_s)$ <u>Select one</u>
Live Loads:	Roof         Y/A psf           Mezzanine         N/A psf           Floor         N/A psf
Ground Snow Load:	125psf
	timete Wind Speed <b>125</b> mph (ASCE-7) posure Category <u>N/A</u>
SEISMIC DESIGN CATEGORY	Y: <u>N/A</u>
Provide the following Seismic Des Risk Category (Table 16 Spectral Response Accel	
Easic structural system Analysis Procedure:	Source: Select one Select one
LATERAL DESIGN CONTROL	L: Wind
SOIL BEARING CAPACITIES: $\frac{N/A}{Pile size, type, and capacity}$	psf

2018 APPENDIX B

2018 NC Administrative Code and Policies

### 2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: ASHRAE 90.1 - Prescriptive

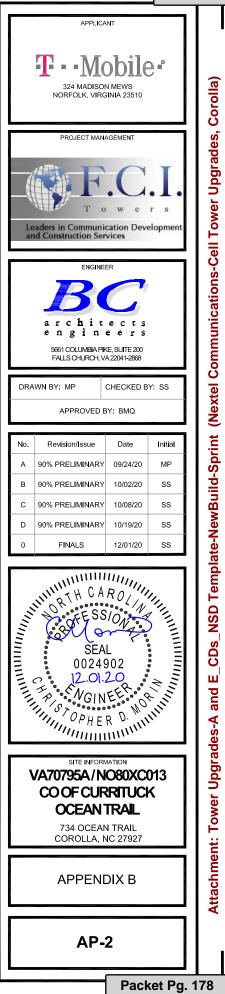
### Lighting schedule (each fixture type)

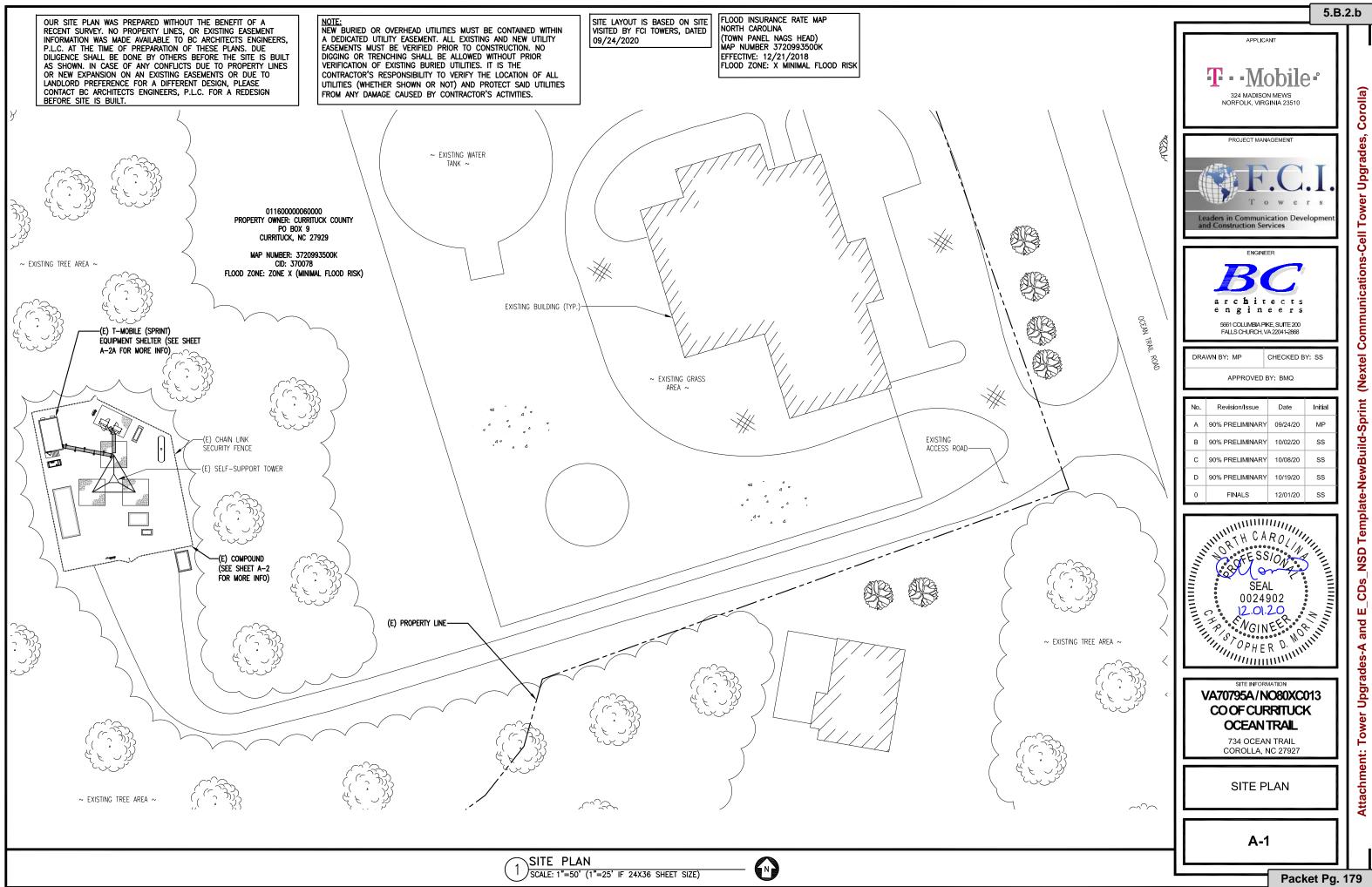
amp type required in fixture number of lamps in fixture ballast type used in the fixture number of ballasts in fixture total wattage per fixture total interior wattage specified vs. allowed (whole building or space by space) total exterior wattage specified vs. allowed

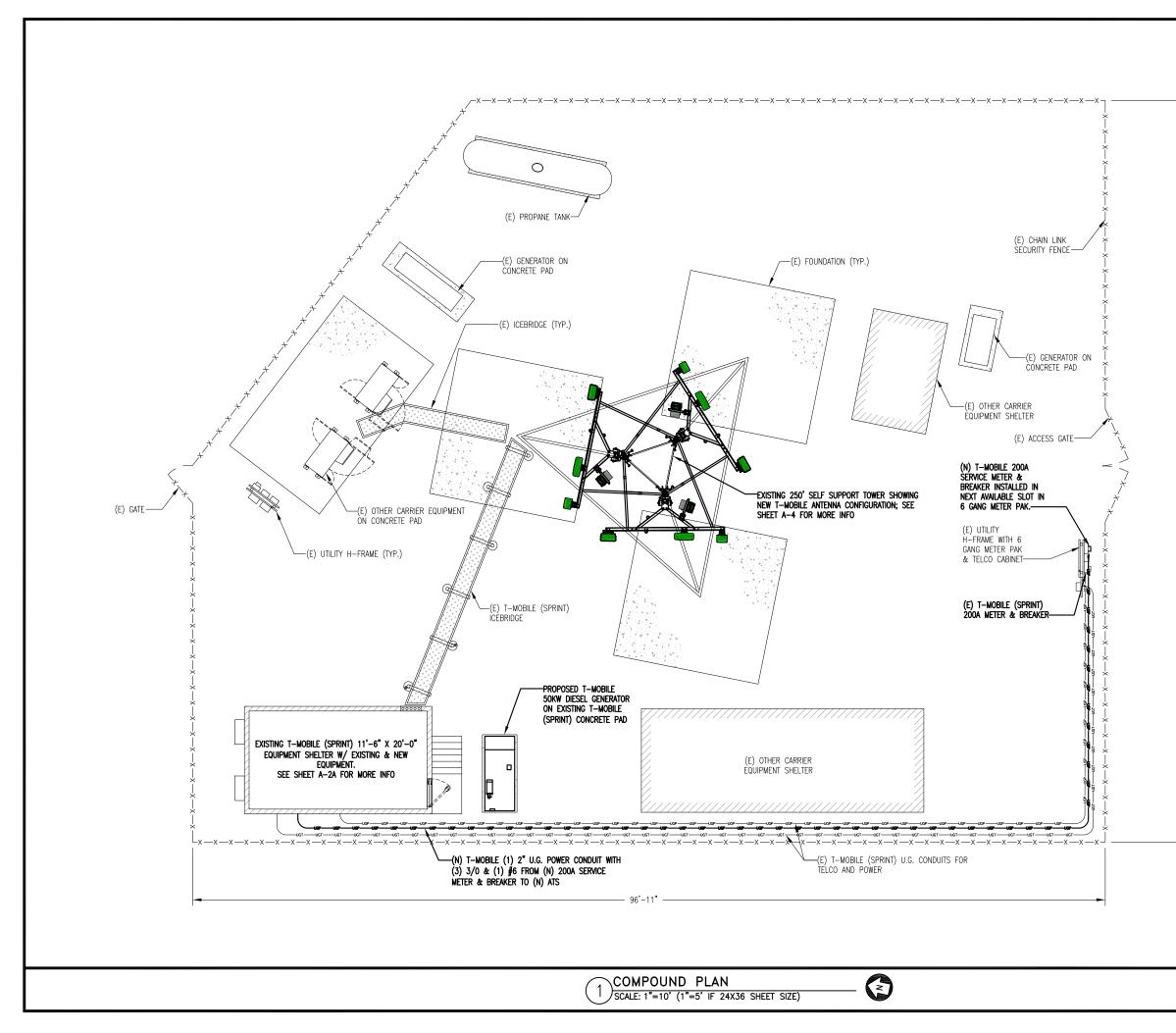
### Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1)

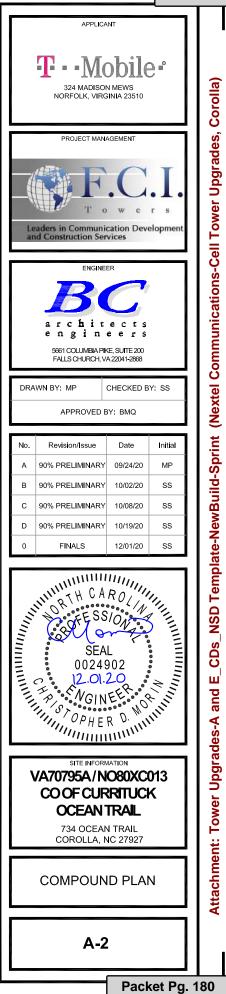
G406.2 More Efficient HVAC Equipment Performance
 G406.2 More Efficient HVAC Equipment Performance
 G406.3 Reduced Lighting Power Density
 G406.4 Enhanced Digital Lighting Controls
 G406.5 On-Site Renewable Erergy
 G406.6 Dedicated Outdoor Air System
 G406.7 Reduced Energy Use in Service Water Heating



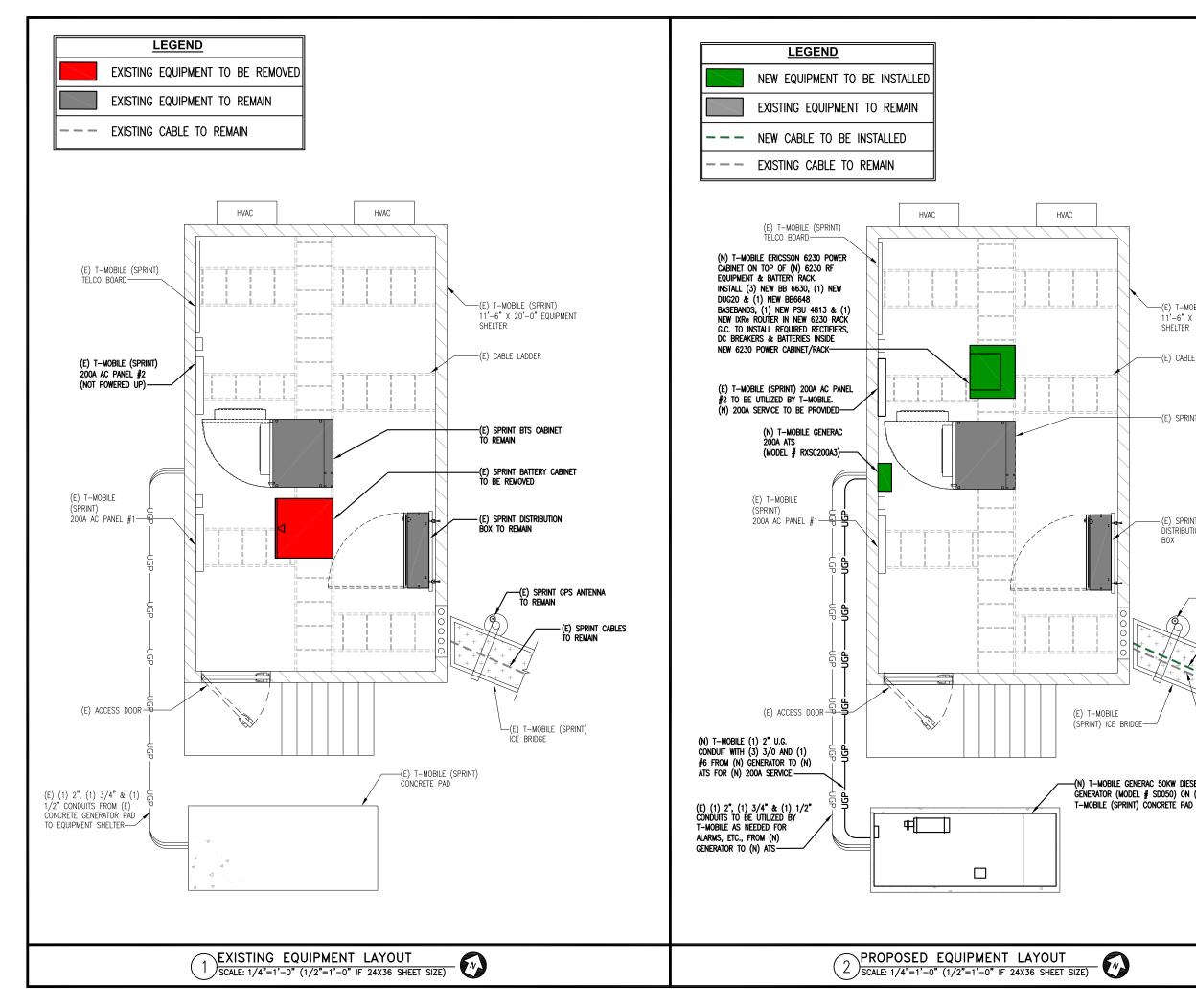


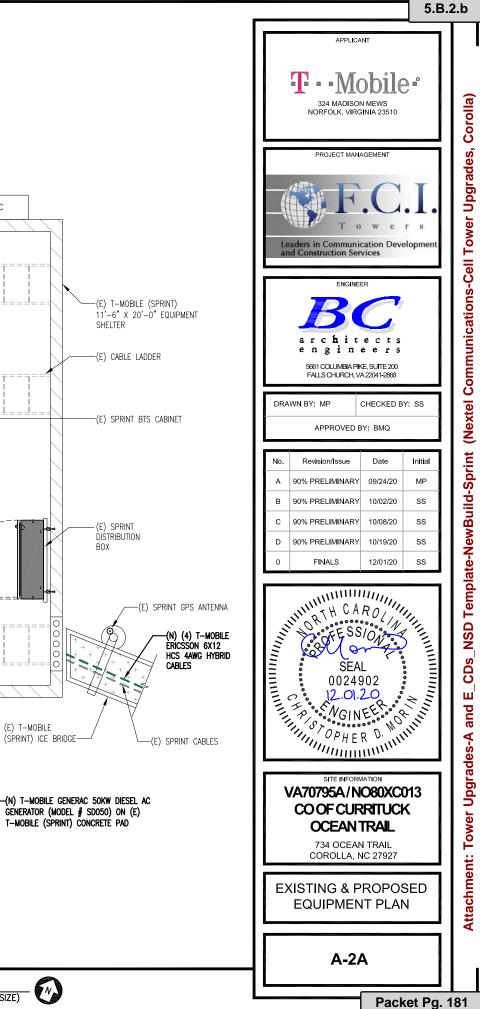


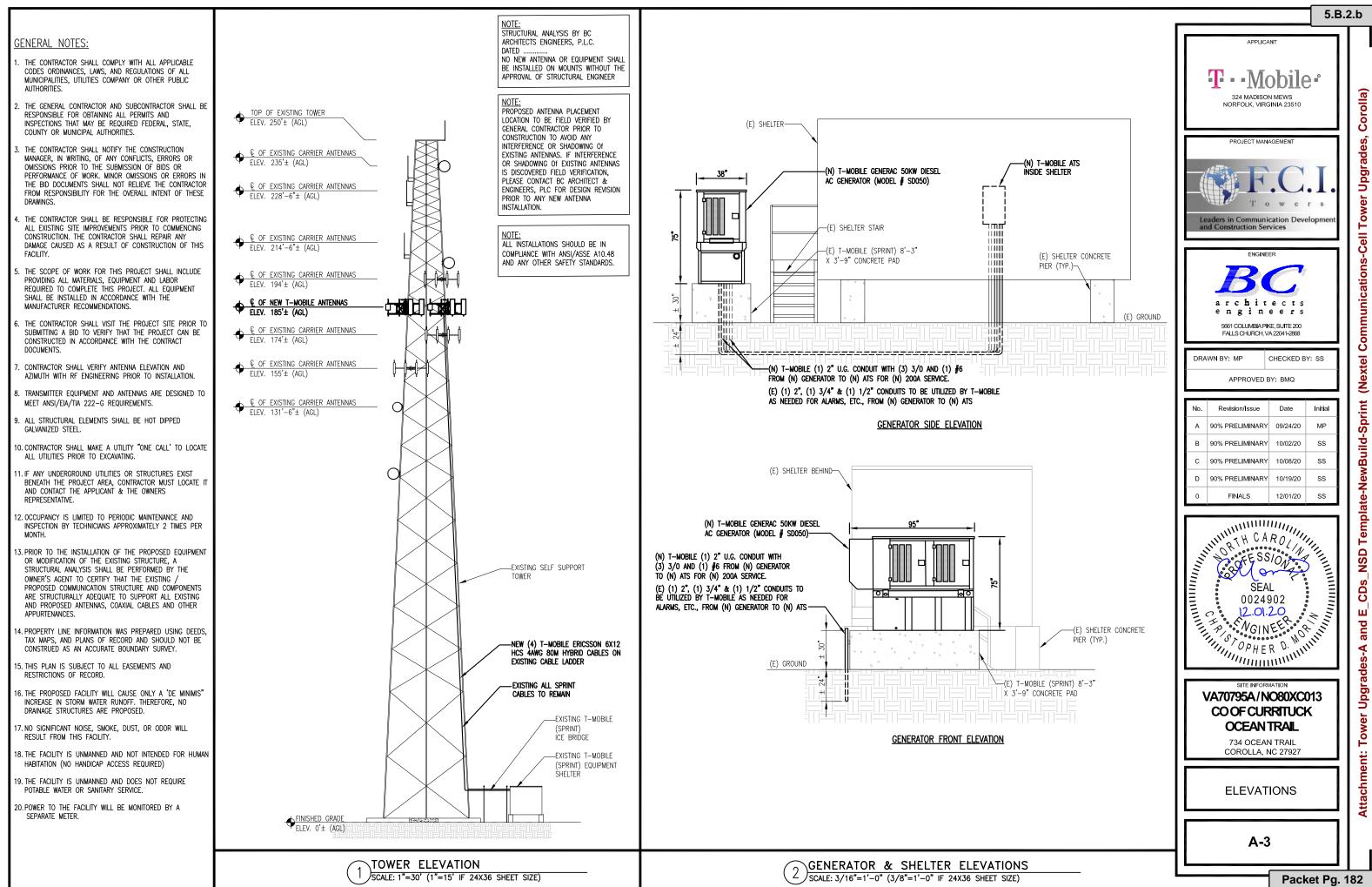


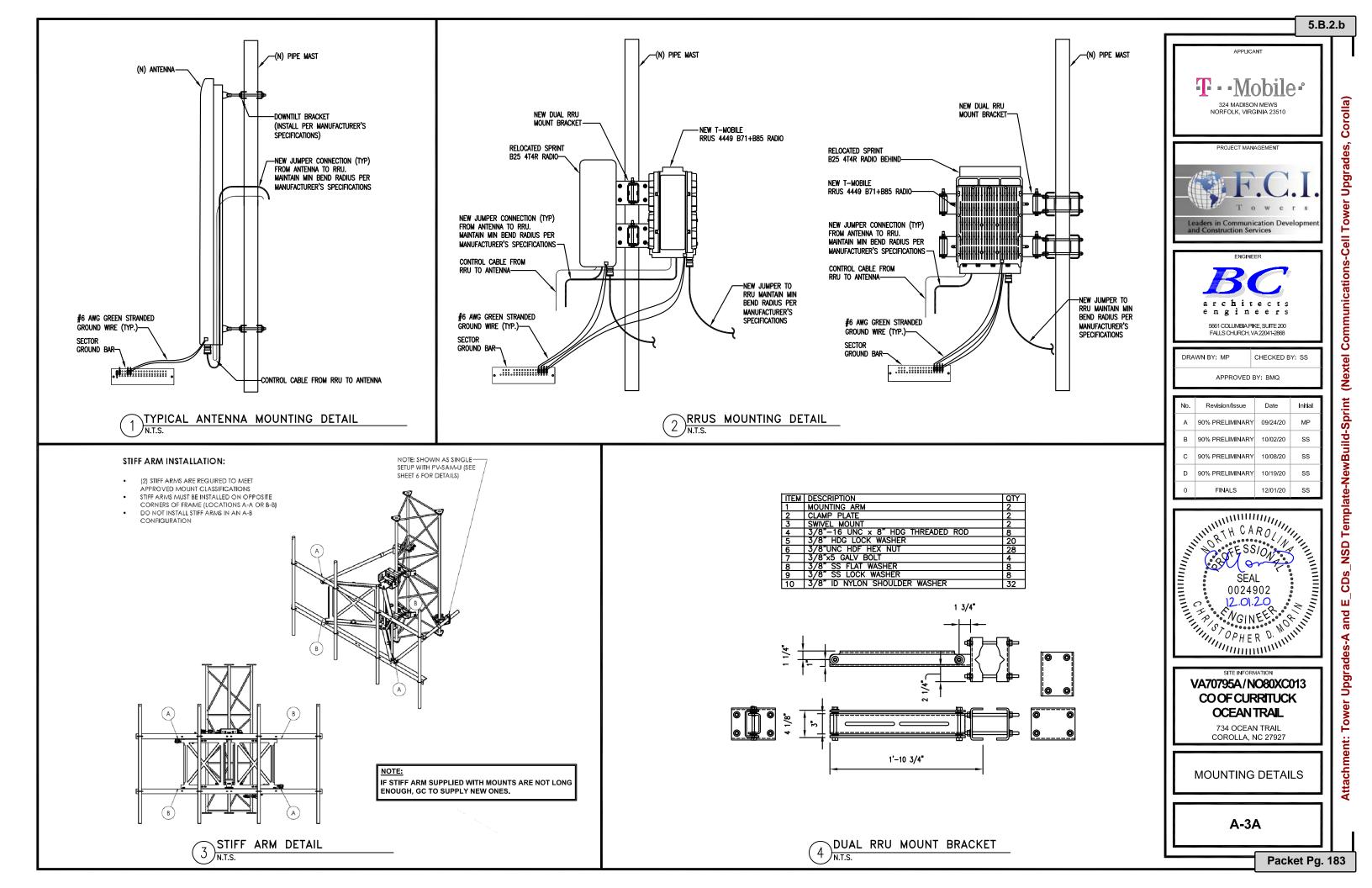


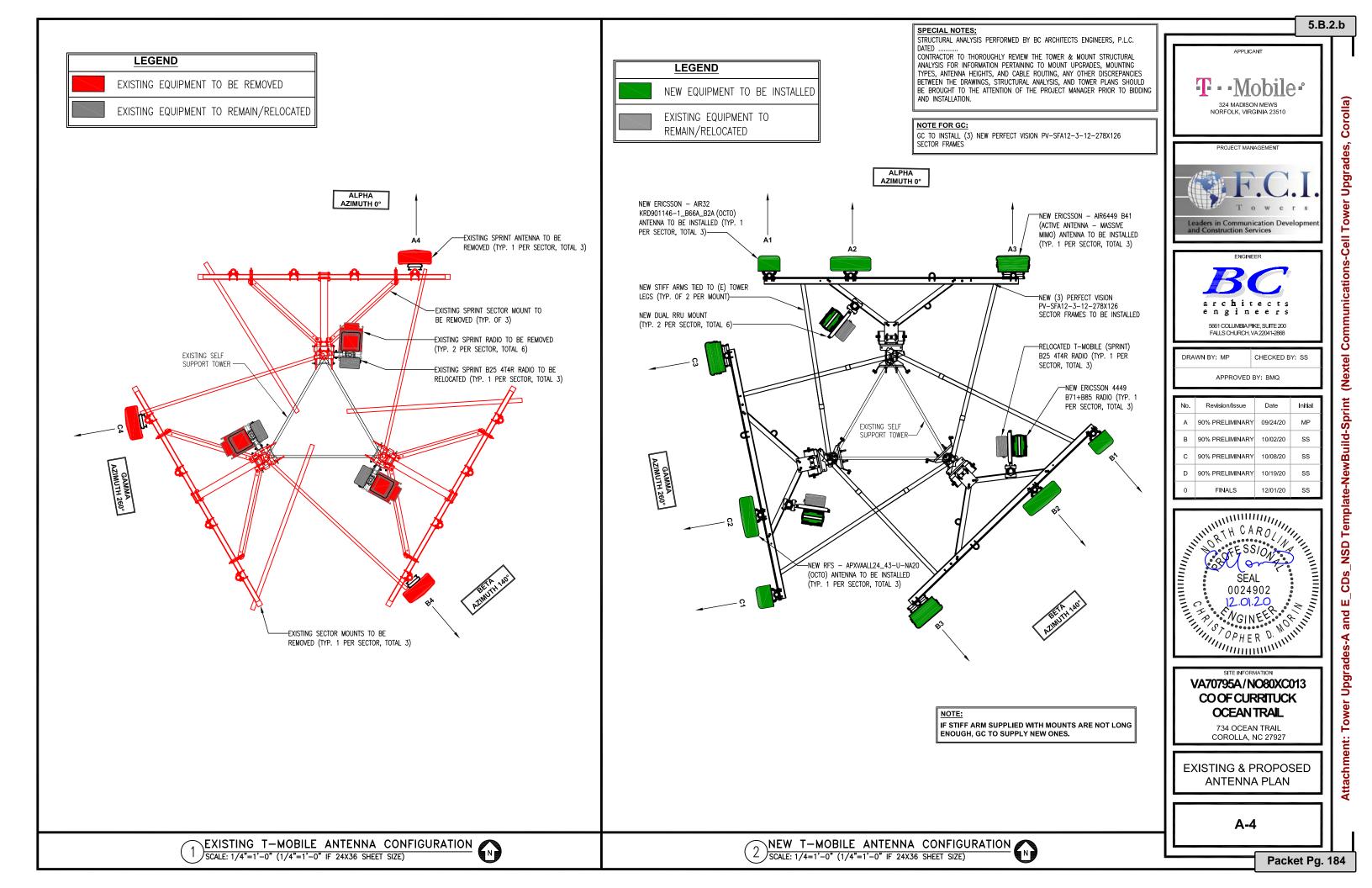
- 78'-9"



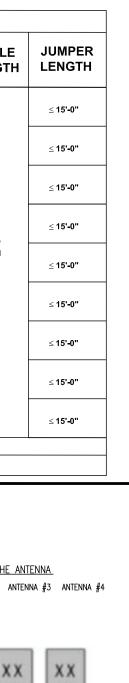




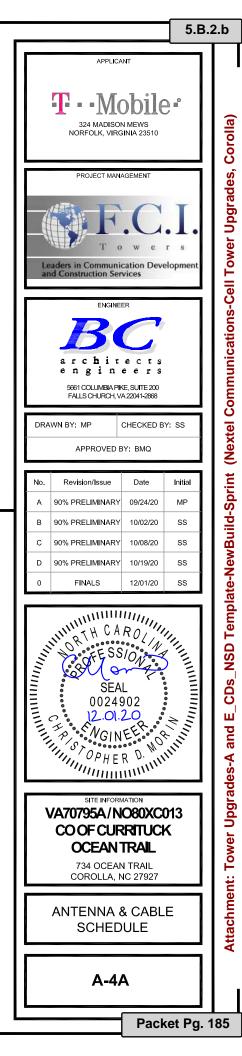




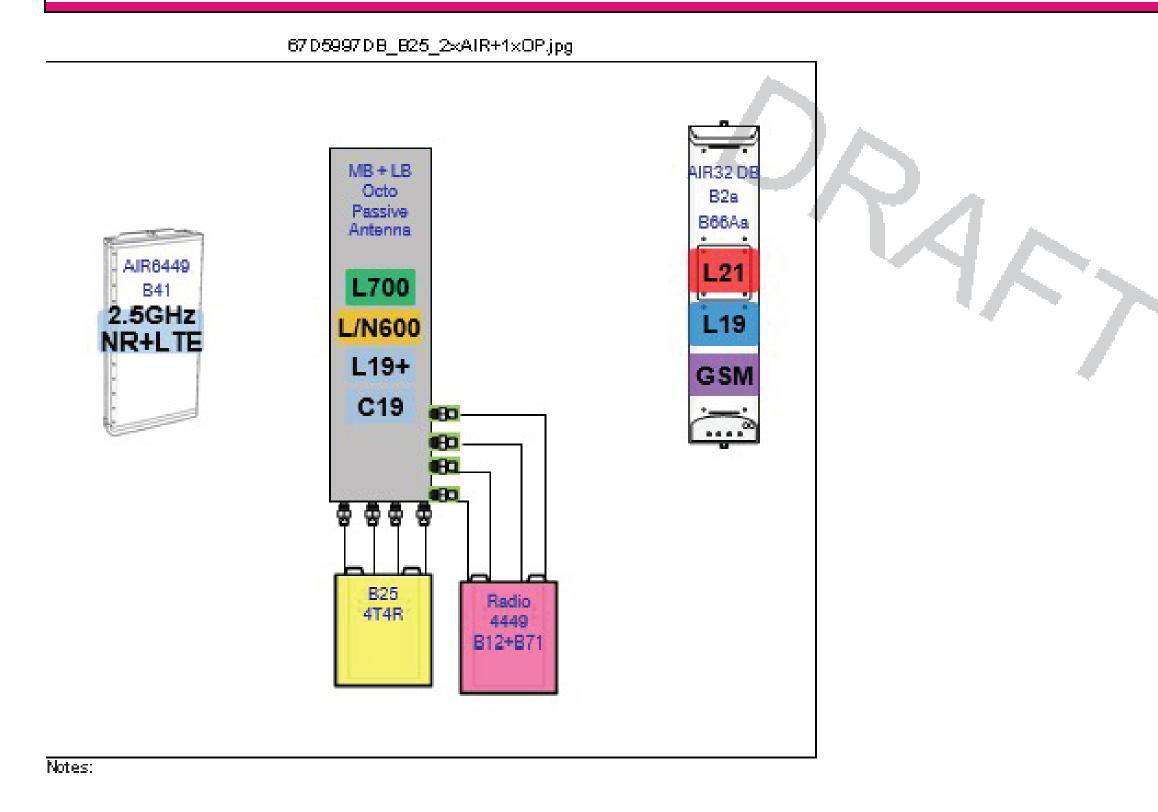
	-	,		1	NEW AND	EXISTIN	IG ANT	ENNA AND CABLE SCHEDU	JLE		1	
SECTOR	POS.	AZIMUTH	RAD CENTER	TECHNOLOGY	ANTENNA	M-tilt	E-tilt	RRU TYPE	TMA/ DIPLEXER	CABLE STATUS	CABLE SIZE	CABI LENG
	A1	0'	185'	L2100/G1900/L1900	(1) NEW ERICSSON - AIR32 KRD901146-1_B66A_B2A (OCTO)	0°	4°	-	-			
ALPHA	A2	0'	185'	L700/L600/N600/ L1900/C1900	(1) NEW RFS - APXVAALL24_43-U-NA20 (OCTO)	0°	4° & 6°	(1) NEW ERICSSON 4449 B71+B85 RRU (1) EXISTING (SPRINT) B25 4T4R RRU	-	-		
	A3	0'	185'	L2500/N2500	(1) NEW ERICSSON - AIR6449 B41 (ACTIVE ANTENNA - MASSIVE MIMO)	0°	<b>4</b> °	-	-	-		
	B1	140'	185'	L2100/G1900/L1900	(1) NEW ERICSSON - AIR32 KRD901146-1_B66A_B2A (OCTO)	0°	4°	-	-	(4) NEW ERICSSON 6X12 HCS		
BETA	B2	140'	185'	L700/L600/N600/ L1900/C1900	(1) NEW RFS - APXVAALL24_43-U-NA20 (OCTO)	0°	4° & 6°	(1) NEW ERICSSON 4449 B71+B85 RRU (1) EXISTING (SPRINT) B25 4T4R RRU		HYBRID CABLES. ALL EXISTING SPRINT	1.99" (4 AWG)	± 270 ± 801
	вз	140'	185'	L2500/N2500	(1) NEW ERICSSON - AIR6449 B41 (ACTIVE ANTENNA - MASSIVE MIMO)	0°	4°	-	-	CABLES TO REMAIN (*)		
	C1	260'	185'	L2100/G1900/L1900	(1) NEW ERICSSON - AIR32 KRD901146-1_B66A_B2A (OCTO)	0°	4°	-	-	-		
GAMMA	C2	260'	185'	L700/L600/N600/ L1900/C1900	(1) NEW RFS - APXVAALL24_43-U-NA20 (OCTO)	0°	4° & 6°	(1) NEW ERICSSON 4449 B71+B85 RRU (1) EXISTING (SPRINT) B25 4T4R RRU		-		
	СЗ	260'	185'	L2500/N2500	(1) NEW ERICSSON - AIR6449 B41 (ACTIVE ANTENNA - MASSIVE MIMO)	0°	4°	-	-	-		
					,							
			IMPER C		20MM 50 MM (1) WRAP OF INSULATION TAPE (OVERLAPPING 50%) (2) STRETCH WRAPPED WRAPS OF SELF AMALGAMATING TAPE (STRETCH 30%, OVERLAPPING 50%) (3) WRAPS OF INSULATION TAPE (OVERLAPPING 50%)	)		TO LEFT 1-X • COAX/JUMPER	L BE LABELED (BACK OF A	BY SECTOR COLOR E COAX/JUMPER	XX XX	FRONT OF ANTENNA #2
(2) NEW BA SITE PRO P	ART # BC12	N.T.S.		CABLE TIE		)		ANTENNAS WILL TO LEFT 1-X     COAX/JUMPER AND BY NUMB  SECTOR A  SECTOR B  SECTOR C  SECTOR D  SECTOR E  SECTOR F	L BE LABELED (BACK OF A PORTS LINES WILL BE IDENTIFIED ER OF BANDS AROUND THI RED GREEN BLUE YELLOW WHITE PURPLE BROWN+SECTOR COLOR E GRAY PINK ORANGE	BY SECTOR COLOR E COAX/JUMPER	XX XX XX	ANTENNA #2
	ART # BC12 ARE. CH50	IN.T.S.		ONNECTION DE		)		ANTENNAS WILL TO LEFT 1-X     COAX/JUMPER AND BY NUMB SECTOR A SECTOR B SECTOR C SECTOR D SECTOR C SECTOR F LMU FIBER ID UNUSED COAX MICROWAVE DWE T-1'S + GPS DOWNLINK CABLE ANTENNA AND C 1. ALL ANTENNAS S CONTRACTOR SH EACH ANTENNA Y 2. CONTRACTOR SH	L BE LABELED (BACK OF A PORTS LINES WILL BE IDENTIFIED ER OF BANDS AROUND THI RED GREEN BLUE YELLOW WHITE PURPLE BROWN+SECTOR COLOR E GRAY PINK ORANGE ID W/LABEL MAKER COAXIAL CABLE SCHEDULE SHALL BE FURNISHED WITH ALL COORDINATE REQUIRED WITH RF ENGINEER. ANTENN WITH RF ENGINEER. ANTENN ALL INSTALL COLOR CODE ANT TAPE. ALL CABLE SHAL	BY SECTOR COLOR E COAX/JUMPER	AND VERIFIED BY A 3 BRID CABLES AND JU BOTTOM WITH 2" COL	ANTENNA





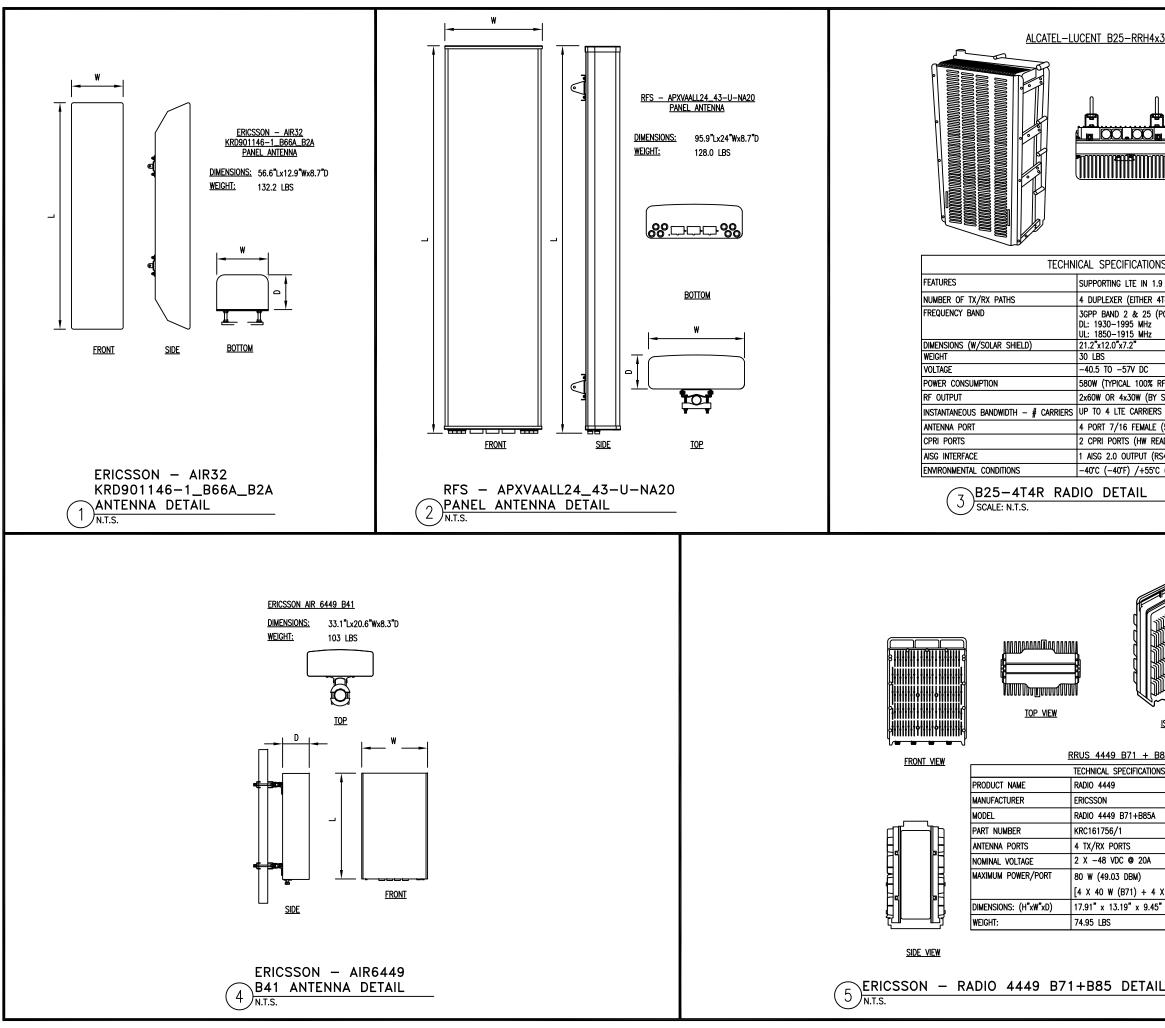


# Section 3 - Proposed Template Images

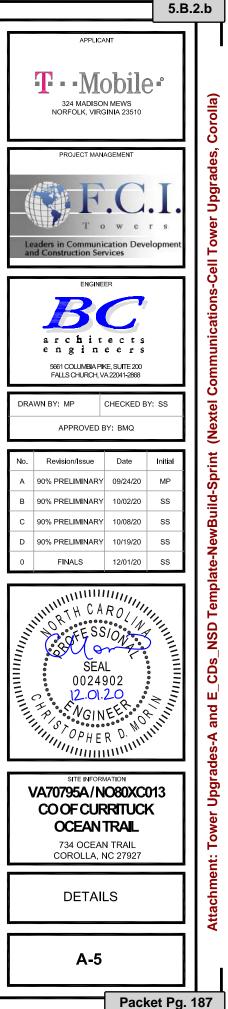


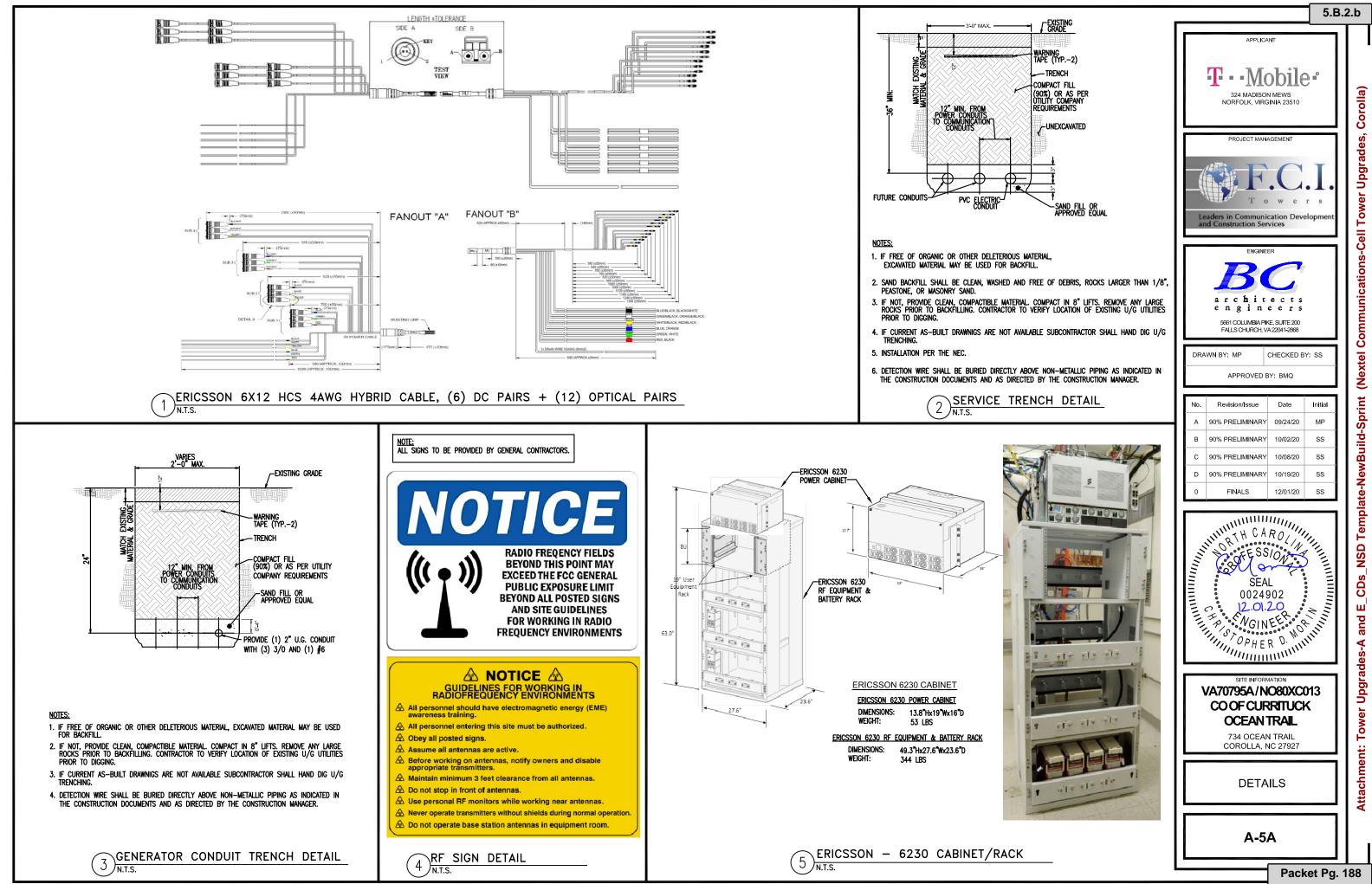


		5.B.2.b
5	APPLICANT <b>T Mobile</b> 324 MADISON MEWS NORFOLK, VIRGINIA 23510	
	PROJECT MANAGEMENT To we r Leaders in Communication Devel and Construction Services	3
	ENGINEER BCC architects engineers 5661 COLUMEIA PKE, SUITE 200 FALLS CHURCH, VA 22041-2868	Communications-Ce
	DRAWN BY: MP CHECKED BY APPROVED BY: BMQ	Nextel 38
	No.         Revision/Issue         Date           A         90% PRELIMINARY         09/24/20           B         90% PRELIMINARY         10/02/20           C         90% PRELIMINARY         10/08/20           D         90% PRELIMINARY         10/19/20           O         FINALS         12/01/20	Initial     MP       SS     SS       SS     SS       SS     SS
	0 FINALS 12/01/20	DS_NSD Templ
	SITE INFORMATION VA70795A/NO80XCO CO OF CURRITUCK OCEAN TRAIL 734 OCEAN TRAIL COROLLA, NC 27927	nt: Tower Upgra
	RFDS DIAGRAM	Attachme
	A-4B	
L	Pack	et Pg. 186



x30-4T4R         x30-4T4R         x40	Image: Contract of the second seco	
Image: Signed state sta	Image: Signed state sta	<u>x30-4T4R</u>
1.9 GHz BAND (PCS, 3GPP BAND 2 & 25)         4T4R OR 2T4R BY SW)         (PCD-G)	1.9 GHz BAND (PCS, 3GPP BAND 2 & 25)         4T4R OR 2T4R BY SW)         (PCD-G)	
1.9 GHz BAND (PCS, 3GPP BAND 2 & 25)         4T4R OR 2T4R BY SW)         (PCD-G)	1.9 GHz BAND (PCS, 3GPP BAND 2 & 25)         4T4R OR 2T4R BY SW)         (PCD-G)	
414R OR 214R BY SW)         (PCD-G)         RF LOAD)         Y SW)         RS (M 40MHz OCCUPIED BANDWIDTH)         E (50 0HMS)         READY FOR RATE 7/9.8 GBPS)         (RS485), +24X/2A DC POWER         TC (+131'F)	414R OR 214R BY SW)         (PCD-G)         RF LOAD)         Y SW)         RS (M 40MHz OCCUPIED BANDWIDTH)         E (50 0HMS)         READY FOR RATE 7/9.8 GBPS)         (RS485), +24X/2A DC POWER         TC (+131'F)	
(PCD-G)         RF LOAD)         Y SW)         RS (M 40MHz OCCUPIED BANDWIDTH)         E (50 OHMS)         READY FOR RATE 7/9.8 GBPS)         (RS485), +24X/2A DC POWER         TC (+131TF)	(PCD-G)         RF LOAD)         Y SW)         RS (M 40MHz OCCUPIED BANDWIDTH)         E (50 OHMS)         READY FOR RATE 7/9.8 GBPS)         (RS485), +24X/2A DC POWER         TC (+131TF)	I.9 GHz BAND (PCS, 3GPP BAND 2 & 25)
(PCD-G)         RF LOAD)         Y SW)         RS (M 40MHz OCCUPIED BANDWIDTH)         E (50 OHMS)         READY FOR RATE 7/9.8 GBPS)         (RS485), +24X/2A DC POWER         TC (+131TF)	(PCD-G)         RF LOAD)         Y SW)         RS (M 40MHz OCCUPIED BANDWIDTH)         E (50 OHMS)         READY FOR RATE 7/9.8 GBPS)         (RS485), +24X/2A DC POWER         TC (+131TF)	4T4R OR 2T4R BY SW)
Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) EEADY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) EEADY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	(PCD-G)
Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	
Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	
Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) EEADY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) EEADY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	
Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) EEADY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	Y SW) RS (IN 40MHz OCCUPIED BANDWIDTH) E (SO OHMS) EEADY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER TC (+131'F)	RE LOAD)
RS (IN 40MHz OCCUPIED BANDWIDTH) E (50 OHMS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER 'C (+131'F)	RS (IN 40MHz OCCUPIED BANDWIDTH) E (50 OHMS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER 'C (+131'F)	Y SW)
E (50 OHWS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER 'C (+131'F) SO VIEW B85 DNS A A A A A A A A A A A A A	E (50 OHWS) READY FOR RATE 7/9.8 GBPS) RS485), +24X/2A DC POWER 'C (+131'F) SO VIEW B85 DNS A A A A A A A A A A A A A	RS (IN 40MHz OCCUPIED BANDWIDTH)
READY FOR RATE 7/9.8 GBPS)         (R5485), +24X/2A DC POWER         TC (+131'F)	READY FOR RATE 7/9.8 GBPS)         (R5485), +24X/2A DC POWER         TC (+131'F)	
Image: Control (+131'F)       I	Image: Control (+131'F)       I	READY FOR RATE 7/9.8 GBPS)
B85         INS         A         A         A         A         A         A         A         A         A         A         A         A         A         B         A         B         A         B	B85         INS         A         A         A         A         A         A         A         A         A         A         A         A         A         B         A         B         A         B	RS485), +24X/2A DC POWER
B85 DNS A A A A A A A A A A A A A A A A A A A	B85 DNS A A A A A A A A A A A A A A A A A A A	°C (+131°F)
B85 DNS A A A A A A A A A A A A A A A A A A A	B85 DNS A A A A A A A A A A A A A A A A A A A	
B85 DNS A A A A A A A A A A A A A A A A A A A	B85 DNS A A A A A A A A A A A A A A A A A A A	
B85 DNS A A A A A A A A A A A A A A A A A A A	B85 DNS A A A A A A A A A A A A A A A A A A A	
DNS	DNS	
DNS	DNS	
A A ↓ X 40 W (B85A)]	A A ↓ X 40 W (B85A)]	
↓ X 40 W (B85A)]	↓ X 40 W (B85A)]	
↓ X 40 W (B85A)]	↓ X 40 W (B85A)]	
↓ X 40 W (B85A)]	↓ X 40 W (B85A)]	
\$ X 40 W (B85A)] 15"	4 X 40 W (B85A)] 5"	<u> </u>
↓ X 40 W (B85A)] /5″	\$ X 40 W (B85A)] 15"	
↓ X 40 W (B85A)] '5″	\$ X 40 W (B85A)] 15"	
¥ X 40 W (B85A)] /5″	¥ X 40 W (B85A)] 55"	
5"	5"	+ X 40 W (B85A)]
	<u> </u>	5"
		J
	11	Ш
11		
IL		





# GENERAC I SD050 | 3.4L | 50 kW INDUSTRIAL DIESEL GENERATOR SET EPA Certified Stationary Emergency

## ENGINE SPECIFICATIONS

General		Cooling System	
Make	Generac	Cooling System Type	Closed Recovery
EPA Emissions Compliance	Stationary Emergency	Water Pump	Pre-Lubed, Self Sealing
EPA Emissions Reference	See Emissions Data Sheet	Fan Type	Pusher
Cylinder #	4	Fan Speed (rpm)	NA
Туре	In-Line	Fan Diameter mm (in)	560 (22)
Displacement — L (cu In)	3.4 (207.48)	Coolant Heater Wattage	1500
Bore – mm (in)	98 (3.86)	Coolant Heater Standard Voltage	120 V /240 V
Stroke – mm (in)	113 (4.45)		
Compression Ratio	18.5:1		
Intake Air Method	Turbocharged/Aftercooled	Fuel System	
Cylinder Head Type	Cast Iron OHV	Fuel Type	Ultra Low Sulfur Diesel Fuel
Piston Type	Aluminium	Fuel Specifications	ASTM
Crankshaft Type	Forged Steel	Fuel Filtering (microns)	10
		Fuel Injection	Bosch (VE)
Engine Governing		Fuel Pump Type	Engine Driven Gear
Governor	Electronic Isochronous	Injector Type	Pintel - 2100 PSI
Frequency Regulation (Steady State)	+/- 0.25%	Fuel Supply Line mm (in)	7.92 (0.312)
		Fuel Return Line mm (in)	7.92 (0.312)
Lubrigghing Custom			

#### Lubrication System

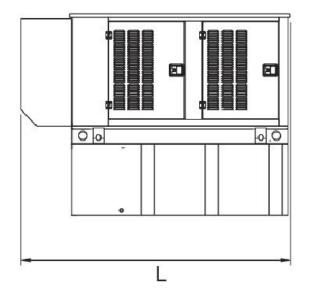
Oil Pump Type	Gear	Engine Electrical System
Oil Filter Type	Full Flow Cartridge	Engine Electrical System
Crankcase Capacity — L (qts)	7 (7.4)	System Voltage
		Battery Charging Alternator
		Battery Size

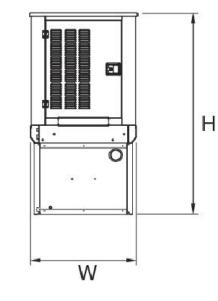
#### ALTERNATOR SPECIFICATIONS

Standard Model	390	Standard Excitation	Synchronous
Poles	4	Bearings	Single Sealed Cartridge
Field Type	Revolving	Coupling	Direct, Flexible Disc
Insulation Class — Rotor	Н	Load Capacity - Standby	100%
Insulation Class — Stator	Н	Prototype Short Circuit Test	Yes
Total Harmonic Distortion	<3%	Voltage Regulator Type	Digital
Telephone Interference Factor (TIF)	<50	Number of Sensed Phases	All
		Regulation Accuracy (Steady State)	+0.25%

Battery Voltage

Regulation Accuracy (Steady State) ±0.25%





12 VDC 20 A

12 VDC

Negative

See Battery Index

<u>01619705ÉY</u>

#### OPERATING DATA

#### POWER RATINGS

				Standby	
Single-Phase	120/240 VAC	@1.0pf	50 k₩	Amps: 2	208
Three-Phase 1	20/208 VAC	@0.8pf	50 k₩	Amps: 1	173
Three-Phase 1	20/240 VAC	@0.8pf	50 k₩	Amps: 1	150
Three-Phase 2	277/480 VAC	@0.8pf	50 k₩	Amps: 7	75
Three-Phase 3	346/600 VAC	@0.8pf	50 k₩	Amps: 6	30

#### STARTING CAPABILITIES (sKVA)

			sKVA vs. Voltage Dip								
			480 VAC							208/2	240 VAC
<u>Alternato</u> r	<u>k₩</u> 10%	7	15%	20%	25%	30%	35%	10%	15%	20%	25%
Standard	50	34	52	69	86	103	120	26	39	52	65
Upsize 1	60	42	63	83	104	125	146	32	47	62	78

#### FUEL CONSUMPTION RATES\*

		Dies	el — gph (lph)
	Fuel Pump Lift - ft (m)	Percent Load	gph (lph)
-	3 (1)	25%	1.3 (4.92)
		50%	2.3 (8.71)
	Total Fuel Pump Flow (Combustion + Return)	75%	3.3 (12.50)
-	5.5 gph	100%	4.3 (16.36)
		* Fuel supply installation must	accommodate fuel consumption ro

#### COOLING

		Standby
Coolant Flow per Minute	gpm (lpm)	12.2 (46)
Coolant System Capacity	gal (L)	2.5 (9.5)
Heat Rejection to Coolant	BTU/hr	135,900
Inlet Air	cfm (m3/hr)	7500 (212)
Max. Operating Radiator Air Temp	F° (C°)	122 (50)
Max. Ambient Temperature (before derate)	F° (C°)	104 (40)
Maximum Radiator Backpressure	in H2O	0.5

#### COMBUSTION AIR REQUIREMENTS

			Standby			
		Flow at Rated F	Power cfm (m3/min)	166 (4.7)		
ENGINE			EXHAU	JST		
		Standby				
Rated Engine Speed	rpm	1800	Exhaust	Flow (Rated Output)	cfm (m3/min)	
Horsepower at Rated k\**	* hp	86	Max. Bo	ickpressure (Post Silend	er) inHg (Kpa)	
Distan Snood	ft (main (main)	1775			PE (PO)	

Piston Speed ft/min (m/min) 1335 Exhaust Temp (Rated Output) BMEP 169 psi Exhaust Outlet Size (Open Set) \*\* Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

Deration - Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditio Please consult a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO30 and DIN6271 standards.

STANDA	RD ENCLO	DSURE		
RUN TIME	USABLE CAPACITY	L x W x H in (mm)	WT lbs (kg) -	
HOURS	GAL (L)		Steel	
NO TANK	-	95 (2413) x 38 (965.2) x 50 (1270)		
13	54 (204.4)	95 (2413) x 38 (965.2) x 63 (1600.2)		
31	132 (499.7)	95 (2413) x 38 (965.2) x 75 (1905)	334 (152)	
49	211 (798.7)	95 (2413) x 38 (965.2) x 87 (2209.8)		
70	300 (1135.6)	95 (2413) x 38 (965.2) x 91 (2311.4)	1	

DESEL AC GENERATOR (SD050)

|--|

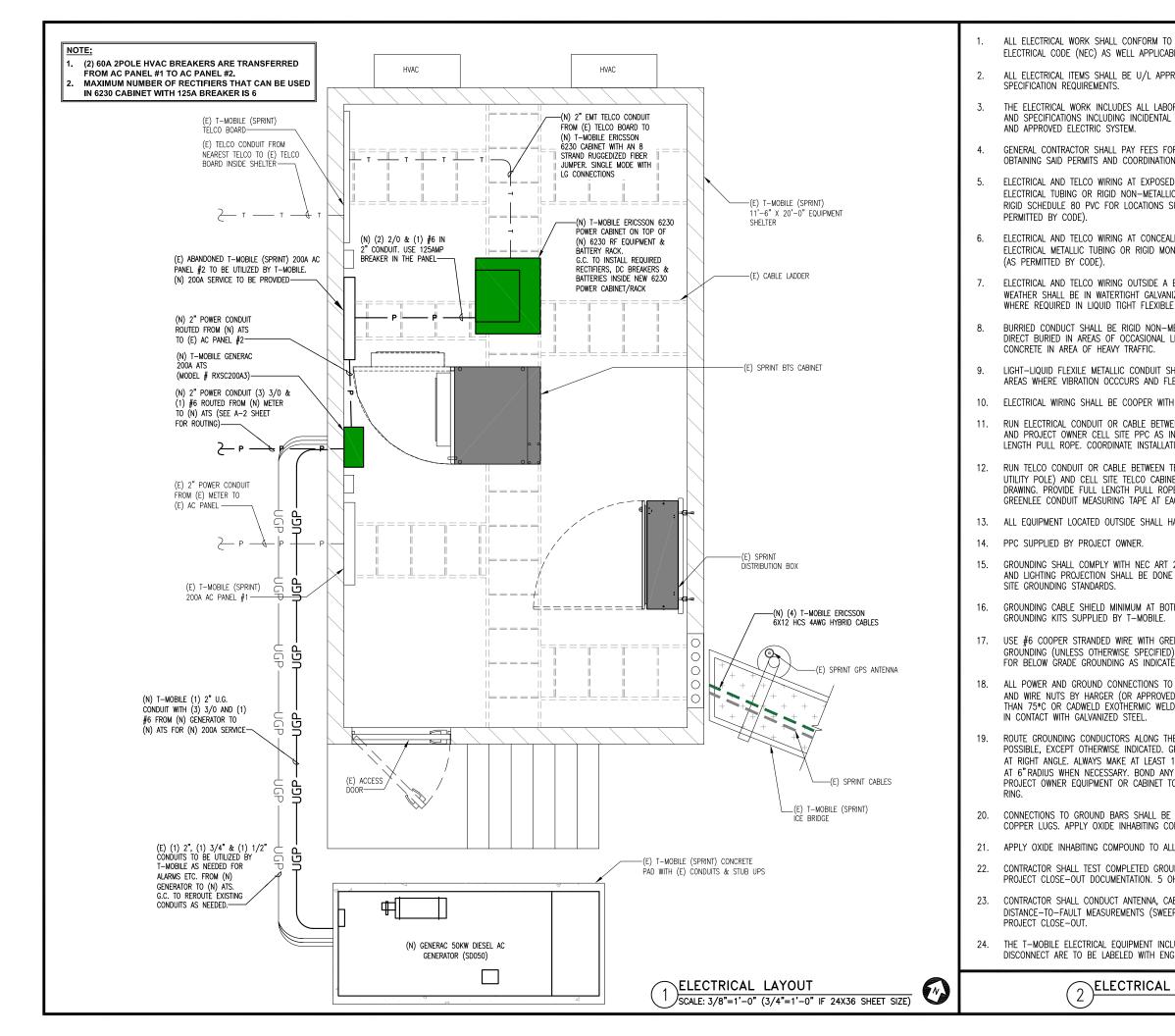
					APPLICA T M( 324 MADISOL NORFOLK, VIRC	<b>bile</b>	•
					PROJECT MAN	AGEMENT	
/240 VAC 25% 65 78	30% 77 94	<u> </u>			aders in Communi	cation Deve	r s
/0	94	110	- 15	an	d Construction Ser	vices	
gph (lph) 1.3 (4.92) 2.3 (8.71) 3.3 (12.50) 4.3 (16.36)		 - -			engine archit engin 5661 COLUMEIA PH FALLS CHURCH, V	ects eers (e, sulfe 200	
el consumption	rates at	100% load.		DRA	WN BY: MP	CHECKED B	Y: SS
					APPROVED E	BY: BMQ	
				No.	Revision/Issue	Date	Initial
				A	90% PRELIMINARY	09/24/20	MP
				В	90% PRELIMINARY	10/02/20	SS
				с	90% PRELIMINARY	10/08/20	SS
				D	90% PRELIMINARY	10/19/20	SS
				0	FINALS	12/01/20	SS
(m3/min) g (Kpa) °F (°C) nm (in) vical site cond dance with IS(		2.7) .1) .62)		2	SEA 00249 12.01. 57.00 H E	10	1
- Enclosure O Aluminum	nly -			١	SITE INFORM /A70795A/N CO OF CUF OCEAN 734 OCEAN COROLLA, N	RITUCI TRAIL	
115 (52)					DETA	ILS	
					A-5	В	

°F (°C)

mm (in)

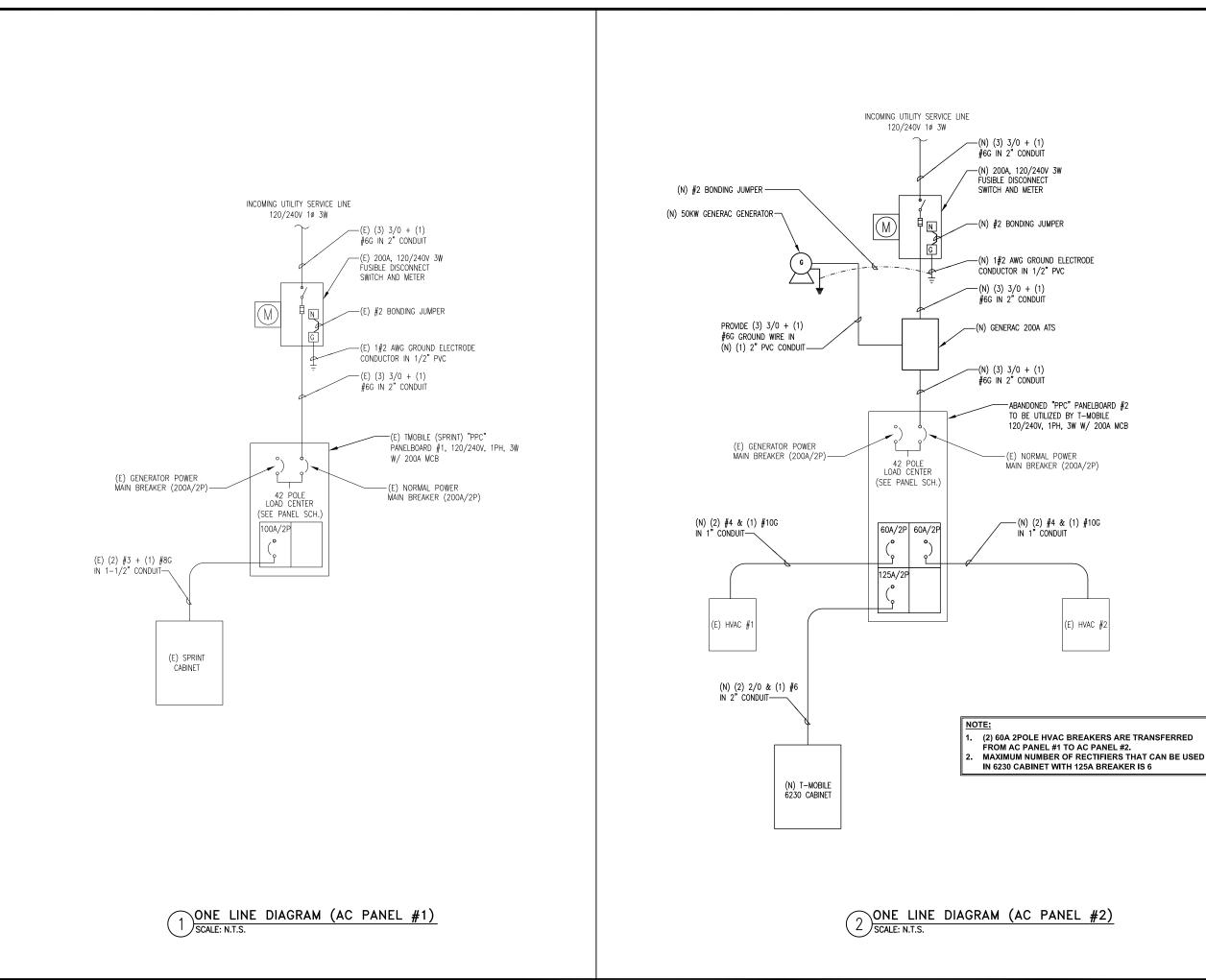
Corolla) \_CDs\_NSD Template-NewBuild-Sprint(Nextel Communications-Cell Tower Upgrades, and E\_ **Tower Upgrades-A** Attachment:

Packet Pg. 189

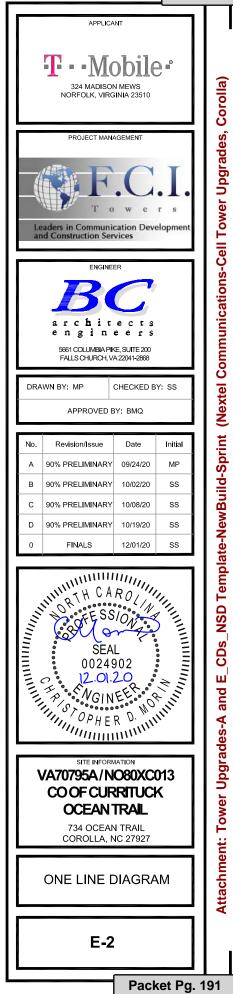


) THE REQUIREMENTS OF THE NATIONAL	5.B	.2.b
BLE STATE AND LOCAL CODES.	APPLICANT	ТТ
PROVED OR LISTED AND PROCEDURE PER		
OR AND MATERIAL DESCRIBED BY DRAWINGS WORK TO PROVIDE COMPLETE OPERATING	<b>T</b> • • • Mobile • 324 MADISON MEWS NORFOLK, VIRGINIA 23510	olla)
OR PERMITS AND IS RESPONSIBLE FOR N OF INSPECTIONS.	PROJECT MANAGEMENT	s, Core
D INDOOR LOCATIONS SHALL BE IN IC TUBING (RIGID SCHEDULE 40 PVC OR SUBJECTED TO PHYSICAL DAMAGE) (AS ALED INDOOR LOCATIONS SHALL BE IN DINOMETALLIC TUBING (RIGID SCHEDULE 40 PVC	Freder MANDELMENT	CDs_NSD Template-NewBuild-Sprint(Nextel Communications-Cell Tower Upgrades, Corolla
BUILDING, ABOVE GRADE AND EXPOSED TO NIZED RIGID STEEL CONDUCTS (RGS) AND E METAL OR NON-METALLIC CONDUCTS.	Leaders in Communication Development and Construction Services	ons-Cell Tov
WETALLIC CONDUCT (RIGID SCHEDULE 40 PVC) LIGHT TRAFFIC, ENCASED IN REINFORCED	architects	inicatio
SHALL BE USED INDOORS AND OUTDOOR IN LEXIBILITY IS NEEDED.	engineers 5661 COLUMBIA PIKE, SUITE 200 FALLS CHURCH, VA 22041-2868	h
H TYOE THHN, THWN-2 OR THIN INSULATION.		S
YEEN ELECTRICAL UTILITY DEMARCATION POINT INDICATED ON THIS DRAWING. PROVIDE FULL TION WITH UTILITY COMPANY.	DRAWN BY: MP CHECKED BY: SS APPROVED BY: BMQ	(Nextel
TELEPHONE UTILITY DEMARCATION POINT (AT NET AND BTS CABINET AS INDICATED ON THIS PE INSTALLED TELCO CONDUIT. PROVIDE ACH END,	No.         Revision/Issue         Date         Initial           A         90% PRELIMINARY         09/24/20         MP	-Sprint
HAVE NEMA 3R ENCLOSURE.	B         90% PRELIMINARY         10/02/20         SS           C         90% PRELIMINARY         10/08/20         SS	wBuild
250. ADDITIONALLY, GROUNDING, BONDING E IN ACCORDANCE WITH METRO MOD CELL	D         90% PRELIMINARY         10/19/20         SS           0         FINALS         12/01/20         SS	ate-Ne
TH ENDS USING MANUFACTURES CABLE	RTH CAROL	Temp
EEN COLOR INSULATION FOR ABOVE GRADE )) AND #2 SOLID TINNED BARE COOPER WIRE IED ON THE DRAWING.	O FESSION	s_NSD
D BE CRIMP—STYLE, COMPRESSION WIRE LUGS ID EQUAL) RATED FOR OPERATION AT NO LESS ID. DO NOT ALLOW BARE COOPER WIRE TO BE	0024902 12.01.20	nd E_CD
HE SHORTEST AND STRAIGHTEST PATH GROUNDING LEADS SHOULD NEVER BE BENT 12" RADIUS BENDS. #6 WIRE CAN BE BENT Y METAL OBJECTS WITHIN 6 FEET OF TO MASTER GROUND BAR OR GROUNDING	SEAL 0024902 12.01.20 WGINEFER OR WGINEFER OR WILLING SITE INFORMATION	Attachment: Tower Upgrades-A and E_
E MADE WITH TWO HOLE COMPRESSION TYOE OMPOUND TO ALL LOCATIONS.	VA70795A/NO80XC013 CO OF CURRITUCK OCEAN TRAIL	wer Upç
LL MECHANICAL GROUND CONNECTIONS.	734 OCEAN TRAIL COROLLA, NC 27927	To T
UND SYSTEM AND RECORD RESULTS FOR DHMS MINIMUM RESISTANCE REQUIRED.	0010LLA, NO 2/ 92/	nent:
ABLE, AND LNA RETURN-LOSS AND EP TEST) AND RECORD RESULTS FOR	ELECTRICAL LAYOUT	Vttachr
LUDING PANEL, SWITCH GEAR AND GRAVED BAKELITE LABELS.	E-1	
NOTES		Щ

Packet Pg. 190







NOTE:

(2) 60A 2POLE HVAC BRI FROM AC PANEL #1 TO A
 MAXIMUM NUMBER OF R IN 6230 CABINET WITH 12
 G.C. TO TURN OFF/REMO

200	A MCB	,	Voltage:	240									
AC PANEL	SCHEDULE		1	φ3W									
Breaker Pos #	Description	State (On/Off)	Use *	Amp	Load	Phase A	Phase B	Load	Amp	State (On/Off)	Use *	Description	Breake Pos #
1						0							2
3							0						4
5						0							6
7							0						8
9						0							10
11							0						12
13						0							14
15							0						16
17						180		180	20	ON	1P	RECEPT	18
19							180	180	20	ON	1P	RECEPT	20
21	SPACE					1		1	60	ON	2P	SURGE	22
23	SPACE						1	1	00	0/1	2P	SUPPRESSION	24
25	SPARE	OFF	1P	40		180		180	20	ON	1P	RECEPT	26
27	MMBTS	ON	2P	100	9600		9600						28
29	IVIIVID I 3		217	100	9600	9600							30
31	LIGHT	ON	1P	20	512		512						32
33	SPACE					0							34
35	SPACE						0						36
37	GFI	ON	1P	20	180	180							38
39	GFI	ON	1P	20	180		180						40
41	SMOKE DETECT	ON	1P	20	500	500							42
						9961	10293						

AC PANEL	SCHEDULE	_	1	φ 3 W				-		-			-
Breaker Pos #	Description	State (On/Off)	Use *	Amp	Load	Phase A	Phase B	Load	Amp	State (On/Off)	Use *	Description	Breake Pos #
1	HVAC #1	ON	2P	60	3360	6720		3360	60	ON	2P	HVAC #2	2
3	HVAC #1		26	00	3360		6720	3360			28	HVAC #2	4
5	6230 CABINET	ON	2P	125	12000	12000							6
7	6230 CADINET		28	125	12000		12000						8
9						0							10
11							0						12
13						0							14
15							0						16
17						0							18
19							0						20
21	SPARE	OFF	1P	30		0			30	OFF	1P	SPARE	22
23							0		60	OFF	2P	SPARE	24
25						0				0, ,	21	OF AIRE	26
27	SPARE	OFF	2P	40			0		60	OFF	2P	SPARE	28
29	OF AILE		21	40		0				0//	21	OF AIRE	30
31	SPARE	OFF	2P	41			0		20	OFF	1P	SPARE	32
33	0. / I (L		/	.,		0			20	OFF	1P	SPARE	34
35							0		20	OFF	1P	SPARE	36
37						0			20	OFF	1P	SPARE	38
39							0						40
41						0							42
						18720	18720						

37.44

0.00 0.00

0.00 0.00

46.80

48.00

46.80

1.20

NO NEW AC LOADS ADDED

HVAC LOADS TO BE TRANSFERRED TO AC PANEL #2

NEW LOADS ADDED

CONNECTED LOAD (KVA):

DEMAND CALCULATIONS: CONTINUOUS LOAD @ 125%

NON CONTINUOUS LOAD @ 100% MECHANICAL LOADS @ 125%

EXISTING LOADS @ 125%

NEW LOADS @ 125% TOTAL PANEL CAPACITY (KVA)

TOTAL LOADING ON PANEL (KVA)

TOTAL SPARE CAPACITY (KVA)

NOTE: PANEL BOARD IS NOT OVERLOADED.

CONNECTED LOAD (KVA):	20.25		
DEMAND CALCULATIONS:			
CONTINUOUS LOAD @ 125%	25.27		
NON CONTINUOUS LOAD @ 100%	0.90		
MECHANICAL LOADS @ 125%	0.00		
EXISTING LOADS @ 125%	0.00		
NEW LOADS @ 125%	0.00		
TOTAL PANEL CAPACITY (KVA)	48.00	200.00	TOTAL PANEL CAPACITY (A)
TOTAL LOADING ON PANEL (KVA)	26.17	109.03	TOTAL LOADING ON PANEL (A)
TOTAL SPARE CAPACITY (KVA)	21.83	90.97	TOTAL SPARE CAPACITY (A)

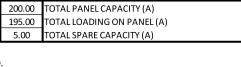
NOTE: PANEL BOARD IS NOT OVERLOADED.



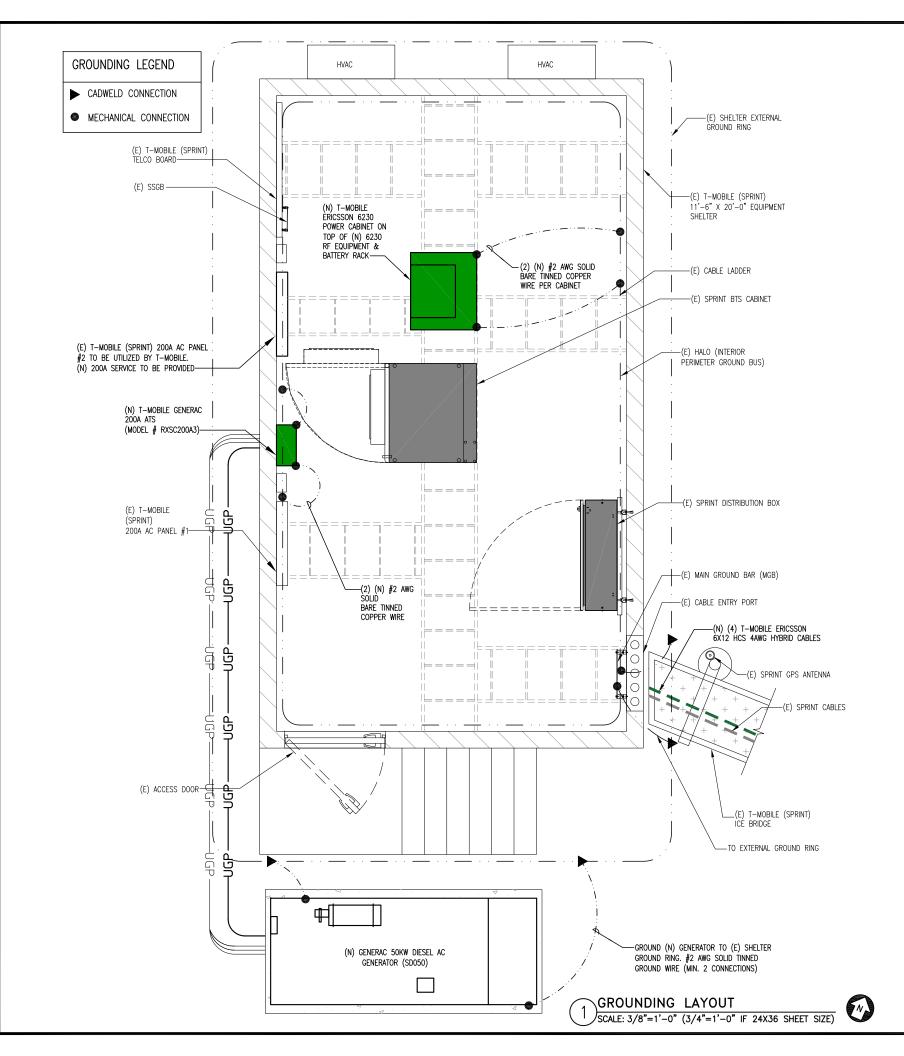
# 2 EXISTING AC PANEL #2 SCHEDULE SCALE: N.T.S.

5.B.2.b

REAKERS ARE TRANSFERRED
AC PANEL #2.
RECTIFIERS THAT CAN BE USED
125A BREAKER IS 6
NOVE ALL UNUSED BREAKERS



	5.B.2.b
APPLICANT	
<b>T</b> Mobile 324 MADISON MEWS NORFOLK, VIRGINIA 23510	
PROJECT MANAGEMENT	»   [
Leaders in Communication Devel and Construction Services	3
ENGINEER	v
architects engineers 5661 COLUMBIA PIKE, SUITE 200 FALLS CHURCH, VA 22041-2888	Communications
DRAWN BY: MP CHECKED BY	
APPROVED BY: BMQ	
No. Revision/Issue Date	Initial
A 90% PRELIMINARY 09/24/20	mtial MP Ss
B 90% PRELIMINARY 10/02/20	ss p
C 90% PRELIMINARY 10/08/20	ss S
D 90% PRELIMINARY 10/19/20	ss <b>S</b>
0 FINALS 12/01/20	SS Z
0         FINALS         12/01/20           11         12/01/20         12/01/20           11         11         12/01/20           11         11         11           12         12         12/01/20           11         12/01/20         12/01/20           11         10         12/01/20           11         10         12/01/20           12         00/24/90/2         12/01/20           12         00/20         12/01/20           11         10         12/01/20           12         00/24/90/2         12/01/20           11         10         10/01/20           12         00/20         12/01/20           12         00/20         12/01/20           13         12/01/20         12/01/20           14         10         12/01/20           15         10/01/20         12/01/20           14         10/01/20         12/01/20           15         10/01/20         12/01/20           16         10/01/20         12/01/20           17         10/01/20         12/01/20           17         10/01/20         10/01/20	Ds_NSD Tel
SITE INFORMATION VA70795A / NO80XCO CO OF CURRITUCK OCEAN TRAIL 734 OCEAN TRAIL COROLLA, NC 27927	SI S
E-3	
	et Pg. 192

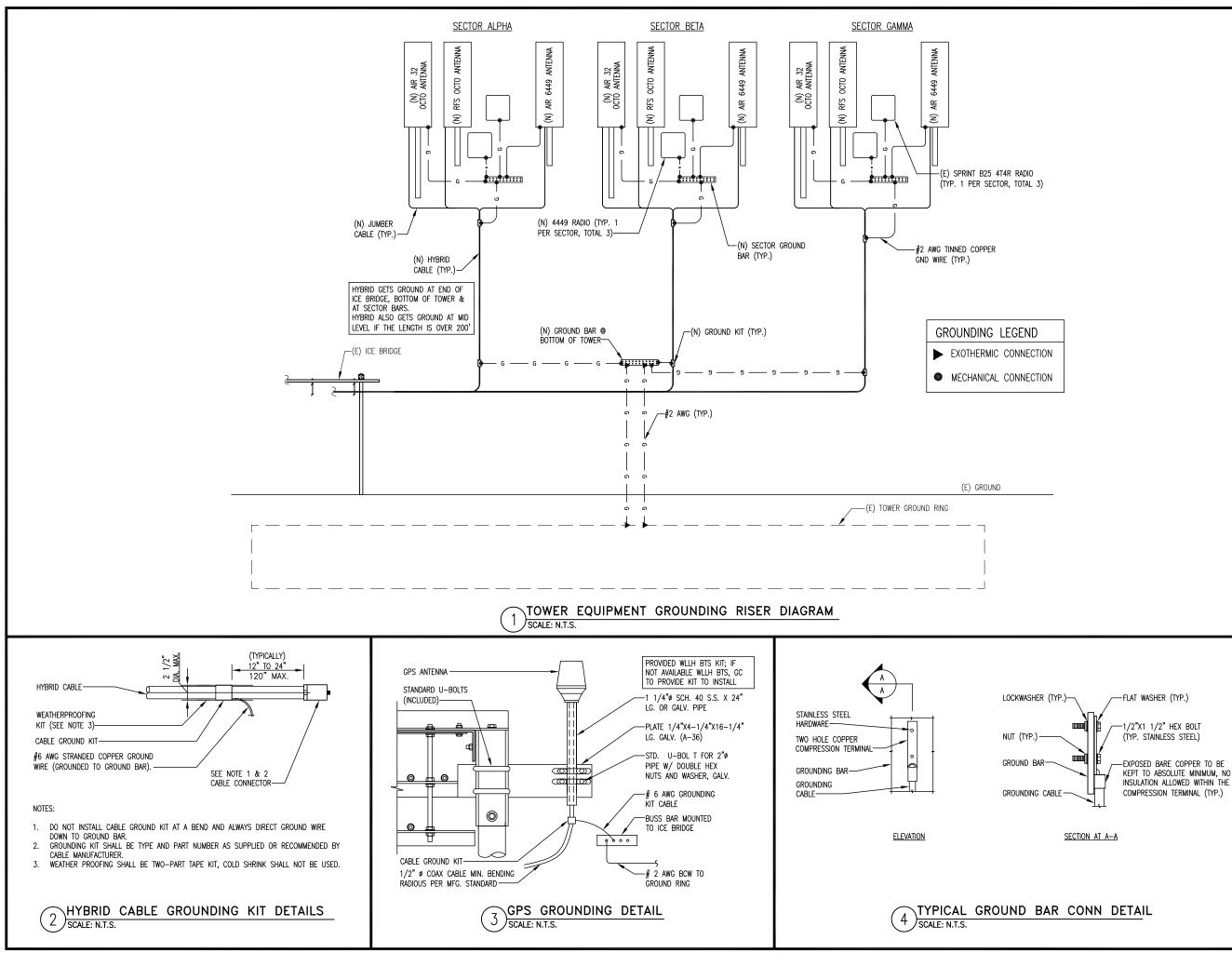


- GAI VANIZING PAINT

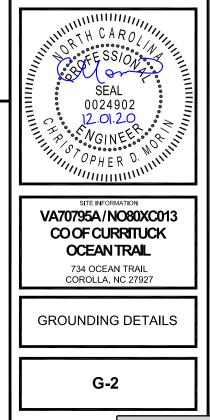
- EXCEED 45\*.
- T-MOBILE CONSTRUCTION MANAGER.
- 14.
- OR EQUAL
- TEST" FORM
- SILICONE MATERIAL.
- 18.



Upgr (Nextel -Sprint ā **Template**-Upgrades-A Tower







No.

Α

B

С

D

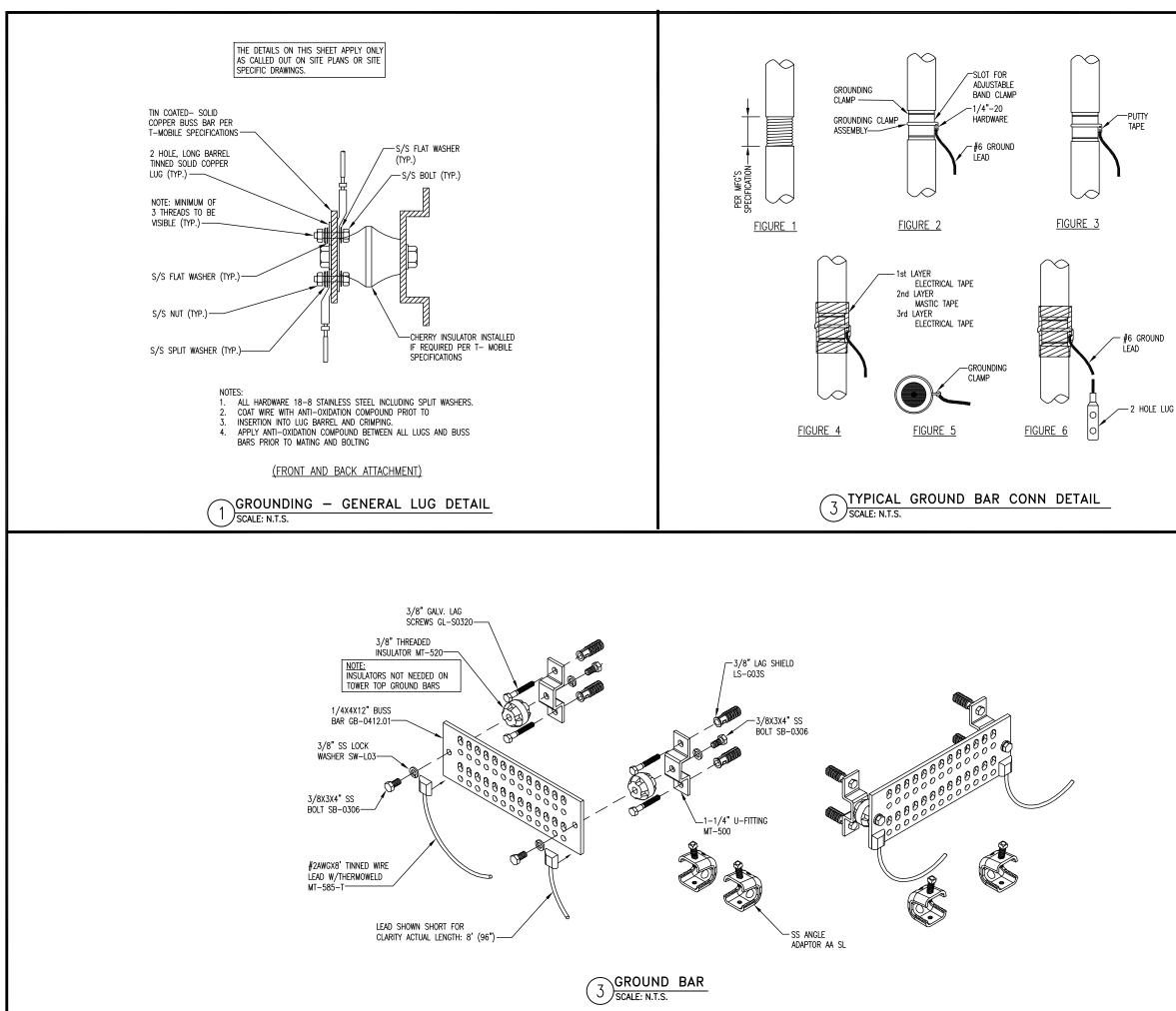
ш

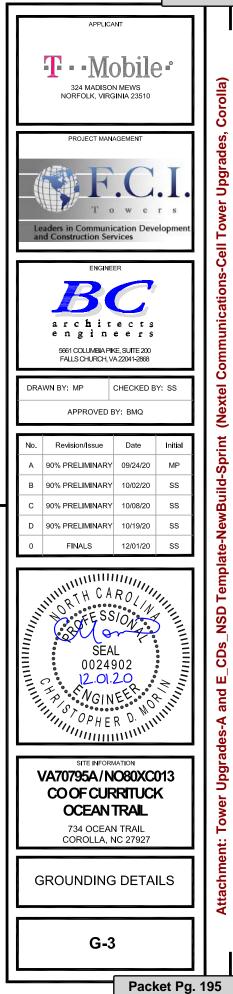
and

Upgrades-A

Tower

Attachment:





#### TABLE OF CONTENTS

1.0	GENERAL REQUIREMENTS
1.1	PURPOSE AND INTENT
1.2	CONFLICTS
1.3	CLEANING
1.4	CODES
1.5	LICENSING
1.6	OSHA
1.7	PHOTOS
1.8	BUILDING PERMITS
1.9	ZONING REGULATIONS & CONDITIONAL USE PERMITS
1.10	FAA PERMIT AND TOWER LIGHTING
1.11	TOWER SECURITY
1.12	SITE CONTROL
2.0	SITE PREPARATION
2.1	SCOPE OF WORK
2.2	PRODUCT AND MATERIALS
3.0	<u>EARTHWORK</u>
3.1	SCOPE OF WORK

- 3.2 QUALITY ASSURANCE
- 33 PRODUCTS AND MATERIALS
- 3.4 CLEARING AND GRUBBING
- 3.5 STRIPPING
- 3.6 COMMON EXCAVATION
- 3.7 EMBANKMENT
- 3.8 SITE GRADING
- 3.9 SUBGRADE PREPARATION
- 3.10 GEOTEXTILE FABRIC

3.11 GRAVEL SURFACING

- 4.0 TRENCHING
- 4.1 MATERIALS
- 4.2 PIPE DETECTION AND IDENTIFICATION
- 43 TRENCH EXCAVATION
- 4.4 TRENCH PROTECTION
- 4.5 BACKFILLNG
- 4.6 COMPACTION

5.0 CHAIN LINK FENCES AND GATES

- 5.1 GENERAL
- 5.2 PRODUCTS MD MATERIALS
- 60 LANDSCAPINO
- 70 CONCRETE FORMWORK
- 8.0 CONCRETE REINFORCEMEN
- 9.0 CAST-IN PLACE CONCRETE
- 10.0 STRUCTURAL STEEL
- 11.0 GROUNDING

1.0 CONSTRUCTION TO CONFORM TO T-MOBILE INTEGRATED CONSTRUCTION STANDARD

#### 1.1 PURPOSE AND INTENT

- A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. SHOULD THERE BE ANY DISCREPANCIES BETWEEN REQUIREMENTS SHOWN IN BOTH, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- B. THE INTENTION OR THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.
- C. THE PURPOSE OF THE T-MOBILE WIRELESS CONSTRUCTION SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK
- 1.2 CONFLICTS
  - A. VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS. SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO T-MOBILE WIRELESS FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
  - B. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST OR OF DIFFICULTIES OF CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR T O FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS GOVERNING THE WORK
- 1.3 CLEANING
  - KEEP THE SITE FREE FROM ACCUMULATION OF WASTE AND RUBBISH CAUSED BY EMPLOYEES AT THE COMPLETION OF THE WORK. REMOVE ALL WASTE AND NON-CONSTRUCTION MATERIAL INCLUDING ALL CONTRACTOR TOOLS, SCAFFOLDING AND SURPLUS MATERIAL AND LEAVE SITE CLEAN AND READY FOR USE.
  - 1.4 CODES CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS AND RULES PROMULGATED BY FEDERAL STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE SITE. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS
  - 1.5 LICENSING HAVE AND MAINTAIN A VALID CONTRACTORS LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES. THE TRADESMAN OR SUBCONTRACTORS PERFORMING THOSE TRADES SHALL BE LICENSED RESEARCH AND COMPLY WITH LICENSING LAWS PAY LICENSE FEES, AND SELECT AND INFORM SUBCONTRACTORS REGARDING THESE LAWS.
  - 1.6 OSHA FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS, AND STATE LAWS BASED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT. THESE REGULATIONS INCLUDE BUT ARE NOT LIMITED TO. REGULATIONS DEALING WITH TOWER CONSTRUCTION AND SAFETY EXCAVATIONS AND TRENCHING, AND WORK IN CONFINED SPACES. ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES DURING CONSTRUCTION.
- 1.7 PHOTOS PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL FOUNDATION INSTALLATION, GROUNDING AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.
- 1.8 BUILDING PERMITS T-MOBILE WIRELESS WILL SUBMIT CONSTRUCTION DOCUMENTS TO THE JURISDICTIONAL AUTHORITY FOR PLAN CHECK AND REVIEW. CONTRACTOR WILL SUBMIT LICENSING AND WORKMAN'S COMPENSATION INFORMATION TO THE JURISDICTION AS REQUIRED TO OBTAIN THE BUILDING PERMIT. CONTRACTOR SHALL COORDINATE AND SCHEDULE REQUIRED INSPECTIONS AND POST REQUIRED PERMITS AT THE JOB SITE. COMPLY WITH SPECIFIC PROJECT-RELATED REQUESTS AND SUGGESTIONS MADE BY BUILDING INSPECTOR AND INFORM CONSTRUCTION MANAGER OF ANY SUCH WORK THAT MAY BE BEYOND THE SCOPE OF THE CONTRACT OR DEVIATE FROM THE CONSTRUCTION DOCUMENTS. T-MOBILE WIRELESS WILL REIMBURSE THE CONTRACTOR FOR FEES FOR PLAN REVIEW, BUILDING PERMIT, CONNECTIONS AND INSPECTION.
- 1.9 ZONING REGULATIONS AND CONDITIONAL USE PERMITS T-MOBILE WIRELESS WILL SUBMIT FOR AND OBTAIN ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS FOR THE SITE RELATED TO CONSTRUCTION SUCH AS NOISE REGULATIONS, HOURS OF WORK ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN CONSTRUCTION DOCUMENTS.
- 1.10 FM PERMIT AND TOWER LIGHTING REFER TO CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGER FOR FAA AND STATE LIGHTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEMPORARY FM APPROVED LIGHTING UNTIL PERMANENT LIGHTING IS OPERATIONAL
- 1.11 TOWER SECURITY TOWER MUST BE FENCED, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN OR UNATTENDED AT ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE

#### 1.12 SITE CONTROL

- A. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION AT THE SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO T-MOBILE WIRELESS
- B. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
- C. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.

#### 2.0 SITE PREPARATION 2.1

- SCOPE OF WORK INCLUDES: A. PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS
- WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES. B. TRIMMING OF EXISTING TREES AND VEGETATION AS REQUIRED FOR PROTECTION
- DURING CONSTRUCTION ACTIVITIES. C. CLEARING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH,
- DESIGNATED TREES, AND SITE IMPROVEMENTS.
- TOPSOIL STRIPPING AND STOCKPILING.
- E. TEMPORARY EROSION CONTROL SILTATION CONTROL AND DUST CONTROL CONFORMING TO LOCAL REQUIREMENTS AS APPLICABLE. F. TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS
- AND MONUMENTS.
- G. PROTECTION AND TEMPORARY RELOCATION, STORAGE AND RE-INSTALLATION OF DUSTING FENCING AND OTHER SITE IMPROVEMENTS SCHEDULED FOR REUSE.
- H. REMOVAL AND LEGAL DISPOSAL OF CLEARED MATERIALS.
- 2.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED ILL CONSTRUCTION DOCUMENTS.
  - A. MATERIALS USED FOR TREE PROTECTION, EROSION CONTROL, SILTATION CONTROL AND DUST CONTROL AS SUITABLE FOR SPECIFIC SITE CONDITIONS.
- 3.0 EARTH WORK
- SCOPE OF WORK INCLUDES: 3.1
  - A. EXCAVATION, TRENCHING, FILLING, COMPACTION, AND GRADING FOR STRUCTURES, SITE IMPROVEMENTS AND UTILITIES.
  - B. MATERIALS FOR SUB-BASE DRAINAGE FILL, BACKFILL AND GRAVEL FOR SLABS, PAVEMENTS AND IMPROVEMENTS.
  - C. ROCK EXCAVATION WITHOUT BLASTING.
  - D. SUPPLY OF ADDITIONAL MATERIALS FROM OFFSITE AS REQUIRED.
  - E. REMOVAL AND LEGAL DISPOSAL OF EXCAVATED MATERIALS AS REQUIRED
- 3.2 QUALITY ASSURANCE
- A. COMPACTION:
- a. UNDER STRUCTURES, BUILDING SLABS, PAVEMENTS AND WALKWAYS WILL OBTAIN A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE.
- GRADING TOLERANCES OUTSIDE BUILDING CODES:
- LAWNS, UNPAVED AREAS AND WALKS PLUS OR MINUS 1 INCH.
- UNDER PAVEMENTS PLUS OR MINUS 1/2 INCH. GRADING TOLERANCE FOR FILL UNDER ALL CONCRETE APPLICATIONS: PLUS OR MINUS 1/2 INCH MEASURED WITH 10 FOOT STRAIGHTEDGE.
- 3.3 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS.)
- A. SUBBASE MATERIAL GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL CRUSHED STONE OR SLAG. AND NATURAL SAND.
- B. WASHED MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL
- WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE. C. GRADING MATERIAL WILL CONSIST OF: SATISFACTORY NATIVE OR IMPORTED SOILMA TERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS AND OTHER UNSUITABLE MATERIALS WILL NOT BE ALLOWED FOR USE. IMPORTED MATERIALS SHALL HA VE A CLAY CONTENT NO MORE THAN 5 PERCENT.
- D. BACKFILL MATERIALS WILL CONSIST OF: SATISFACTORY NON-COHESIVE NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 4 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, AND OTHER UNSUITABLE MATERIALS. IMPORTED MATERIAL SHALL HAVE A CLAY CONTENT OF NO MORE THAN 5 PERCENT.
- E. GRAVEL MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE.
- F. GEOTEXTILE FABRIC: AS PER CONSTRUCTION DOCUMENTS
- CLEARING AND GRUBBING REMOVE ALL VEGETATION AND MATERIALS AS REQUIRED. REMOVE STUMPS COMPLETELY UNDER FOUNDATIONS AND ROADWAY. 3.4 DISPOSE OF CLEARING AND GRUBBING OFF-SITE. OR IN AN ON-SITE LOCATION APPROVED BY CONSTRUCTION MANAGER.
- 3.5 STRIPPIN

STRIP NOT LESS THAN 3 INCHES OF SOD AND TOPSOIL FROM AREAS THAT WILL UNDERLAY GRAVEL PAVEMENT, NEW STRUCTURES OR NEW EMBANKMENTS. STOCKPILE STRIPPING ON-SITE FOR RE-USE IN FINAL LANDSCAPING.

- 3.6 COMMON EXCAVATION
  - EXCAVATE TO DEPTH, LINES AND GRADES SHOWN ON THE PLANS OR AS OTHERWISE SPECIFIED.
  - TEMPORARILY STOCKPILE ON-SITE EXCAVATION AT AN APPROVED LOCATION WITHIN THE WORK AREA UNTIL SITE GRADING IS COMPLETE STOCKPILE SHALL NOT EXCEED 15 FEET IN HEIGHT
  - c. LEGALLY DISPOSE OF EXCESS COMMON EXCAVATION OFF-SITE.

- 3.7 EMBANKMENT
  - A. CONSTRUCT EMBANKMENT TO THE LINES AND GRADE SHOWN ON THE DRAWINGS. B. CONSTRUCT EMBANKMENT FROM ON-SITE EXCAVATION MATERIALS WHEN SUITABLE USE IMPORTED BACKFILL ONLY AFTER AVAILABLE ON-SITE EXCAVATION MATERIALS HAVE BEEN USED.
  - C. CONSTRUCT IN LIFTS OF NOT MORE THAN 12 INCHES IN LOOSE DEPTH. THE
  - D. MATERIAL SHALL NOT BE PLACED IN LAYERS AND SHALL BE NEAR OPTIMUM
    - WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE A UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER MAY BE REQUIRED. SUCH OPERATIONS SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM. SHOULD THE MATERIAL BE TOO WET TO PERMIT PROPER COMPACTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO UTILIZE MATERIAL WITH AN ACCEPTABLE MOISTURE CONTENT.

  - THE REPLACEMENT OF ANY PORTION WHICH HAS BECOME DISPLACED DUE TO THE CONTRACTORS OPERATIONS.
  - PROGRESSES, CONSTRUCT LAYERS APPROXIMATELY PARALLEL TO THE FINISHED GRADE LINE

  - DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT NON-STRUCTURAL AREA EMBANKMENTS TO A MINIMUM OF 90 % OF ASTM 0-1557.

C. FLIMINATE WHEEL RUTS BY REGRADING.

OPTIMUM MOISTURE CONTENT.

CONSTRUCTION MANAGER

SPECIFIED GRADE

CROSS-SECTION.

3.9 SUBGRADE PREPARATION

3.10 GEOTEXTILE FABRIC

3.11 GRAVEL SURFACING

4.0 <u>TRENCHING</u>

4.1 MATERIALS

DOCUMENTS

OR TRENCHING.

4.2 PIPE DETECTION AND IDENTIFICATION

WITH WARNING TAPE.

DRAWINGS.

3.8 SITE GRADING

Š

Upgr

ē

Cell

mmunications

0 C

(Nextel

int

£

**Template** 

NSD

CDS

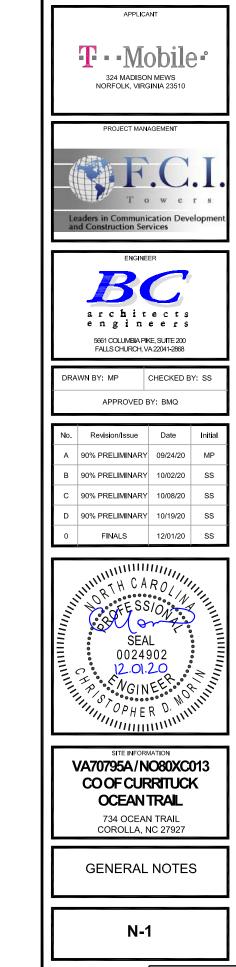
ш

and

rades-A

Upgr

Tower



FULL WIDTH OF THE CROSS SECTION SHALL BE BROUGHT UP UNIFORMLY. MOISTURE CONTENT BEFORE ROLLING TO OBTAIN THE PRESCRIBED COMPACTION

E. DO NOT PLACE FROZEN MATERIAL IN THE EMBANKMENT AND DO NOT PLACE EMBANKMENT MATERIAL UPON FROZEN MATERIAL. F. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND

G. START LAYERS IN THE DEEPEST PORTION OF THE FILL AND AS PLACEMENT

H. ROUTE EQUIPMENT, BOTH LOADED AND EMPTY, OVER THE FULL WIDTH OF EMBANKMENT TO ENSURE UNIFORMITY OF MATERIAL PLACEMENT. I. COMPACT EMBANKMENT UNDERLYING NEW GRAVEL PAVING FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS

A. USING ON-SITE EXCAVATION MATERIALS SHAPE, TRIM, FINISH AND COMPACT SURFACE AREAS TO CONFORM TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE DRAWINGS OR AS DESIGNATED BY THE CONSTRUCTION MANAGER. B. GRADE SURFACES TO DRAIN AND ELIMINATE ANY PONDING OR EROSION.

D. COMPACT AREAS UNDERLYING NEW GRAVEL PAVING, FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1551 OR WITHIN PLUS OR MINUS 3 PERCENT OF

E. CONSTRUCT FINISHED SURFACE OF SITE GRADING AREAS WITHIN ONE INCH FROM

A. SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE

B. MAINTAIN TOP OF SUBGRADE TO A FREE-DRAINING CONDITION C. DO NOT STOCKPILE MATERIALS ON TOP OF SUBGRADE UNLESS AUTHORIZED BY

D. COMPACT THE TOP 12 INCHES OF SUBGRADE TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT. E. CONSTRUCT TOP OF SUBGRADE WITHIN ONE INCH OF ESTABLISHED GRADE AND

LAY GEOTEXTILE FABRIC OVER COMPACTED SUBGRADE AS PER CONSTRUCTION DOCUMENTS IN THE COMPOUND AREA AND UNDER LENGTH OF ROAD (WHEN REQUIRED). LAP ALL JOINTS TO A MINIMUM OF 36 INCHES.

A. CONSTRUCT GRAVEL SURFACING AREAS USING CRUSHED AGGREGATE BASE AND FINISH COURSES AS SPECIFIED BY CONSTRUCTION MANAGER OR CONSTRUCTION

B. SPREAD GRAVEL AND RAKE TO OBTAIN A UNIFORM SURFACE AREA.

CALL LOCAL UNDERGROUND UTILITY LOCATING SERVICE BEFORE ANY EXCAVATION

FILL MATERIAL SHALL BE OBTAINED, WHEN POSSIBLE FROM MATERIALS EXCAVATED FROM TRENCHES. ON-SITE STRUCTURAL FILL SAND OR SLURRY SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL GOVERNING JURISDICTIONS AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL OR ROCKS, NOR SHALL CONTAIN OBJECTIONABLE MATERIALS AND /OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE FILL MATERIAL SHALL CONTAIN FINES SUFFICIENT TO FILL ALL VOIDS IN THE MATERIAL COMPACTION OF BACKFILL OR BORROW SOIL SHALL BE PLACED IN 12 INCH LOOSE LIFTS WHEN UTILIZING HEAVY COMPACTION EQUIPMENT OR 6 INCH LOOSE LIFTS WHEN UTILIZING HAND OPERATED TAMPERS.

UTILIZING WARNING TAPE: ALL ELECTRIC SERVICE TRENCHES SHALL BE MARKED

Packet Pg. 196

- 4.3 TRENCH EXCAVATION
  - A. DIG TRENCH TO LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY CONSTRUCTION MANAGER
  - TRENCH LENGTH SHALL BE SUFFICIENT TO ALLOW FOR SATISFACTORY CONSTRUCTION AND INSPECTION OF THE PROJECT WITHOUT ENDANGERING OTHER CONSTRUCTION WORK OR ADJACENT FACILITIES.
  - DISPOSE OF EXCESS AND UNSUITABLE EXCAVATION MATERIAL PROPERLY, AS DIRECTED BY CONSTRUCTION MANAGER.
  - D. USE HAND METHODS FOR EXCAVATION THAT CANNOT BE ACCOMPLISHED WITHOUT ENDANGERING EXISTING OR NEW STRUCTURES OR OTHER FACILITIES.
- 4.4 TRENCH PROTECTION
  - A. PROVIDE MATERIALS, LABOR AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES
  - B. SHEETING AND BRACING: MEET OR EXCEED OSHA REQUIREMENTS.
- 4.5 BACKFILLING
  - A. NOTIFY THE CONSTRUCTION MANAGER AT LEAST 24 HOURS IN ADVANCE OF BACKFILLING.
  - BACKFILL TRENCH WITH LIFTS UP TO 12 INCHES, LOOSE MEASURE PROTECT CONDUIT FROM LATERAL MOVEMENT, DAMAGE FROM IMPACT OR UNBALANCED C. LOADING TO AVOID DISPLACEMENT OF CONDUIT AND /OR STRUCTURES. DO NOT FREE FALL BACKFILL INTO TRENCH UNTIL AT LEAST 12 INCHES OF COVER IS OVER THE CONDUIT.
- 4.6 COMPACTION
  - A. COMPACT BACKFILL TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTIM 0-1557 OR V., THIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT
  - B. IF REQUIRED COMPACTION DENSITY HAS NOT BEEN OBTAINED, REMOVE THE BACKFILL FROM THE TRENCH OR STRUCTURE, REPLACE WITH APPROVED BACKFILL AND RECOMPACT AS SPECIFIED.
  - C. ANY SUBSEQUENT SETTLEMENT OF TRENCH OR STRUCTURE BACKFILL DURING MAINTENANCE PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY CORRECTED.
- 5.0 CHAIN LINK FENCES AND GATES 5.1 GENERAL

  - PROVIDE CHAIN LINK FENCES AND GATES AS COMPLETE UNITS BY A SINGLE SUPPLY Α. SOURCE INCLUDING NECESSARY ERECTION ACCESSORIES, FITTINGS AND FASTENERS.
  - 5.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS WITHIN CONSTRUCTION DOCUMENTS)
    - A. COMPOUND FABRIC 84 INCHES HIGH AND OVER WITH 2-INCH MESH SHALL BE KNUCKLED AT ONE SELVAGE AND TWISTED AT THE OTHER.
    - B. STEEL FABRIC: COMPLY WITH CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL FURNISH ONE PIECE OF FABRIC WIDTHS. WIRE SIZE INCLUDES ZINC OR
    - ALUMINUM COATING.
    - a. SIZE: 2-INCH MESH 9 GAUGE (D.148-INCH DIAMETER) WIRE.
    - b. GALVANIZED STEEL FINISH: ASTIM A 392. CLASS 2. WITH A MINIMUM 2.0 OZ. ZINC PER SQ. FT. OF UNCOATED WIRE SURFACE.
    - C. FRAMEWORK AND ACCESSORIES:
    - GENERAL REQUIREMENTS: EXCEPT AS INDICATED OTHERWISE CONFORM TO THE CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL INDUSTRIAL STEEL GUIDE FOR FENCE RAILS, POSTS, GATES AND ACCESSORIES INCLUDING TABLE II.
    - b. STRENGTH REQUIREMENTS FOR POSTS AND RAILS CONFORMING TO ASTIM F 669.
    - c. TYPE 1 PIPE HOT-DIPPED GALVANIZED STEEL PIPE CONFORMING TO ASTIM F 1083. PLANE ENDS, STANDARD WEIGHT {SCHEDULE 40) WITH NOT LESS THAN 18 OZ. ZINC PER SQ. FT. OF SURFACE AREA COATED.
    - d. FILLINGS: COMPLY V., TH ASTIM F 526 MILL FINISHED ALUMINUM OR GALVANIZED IRON STEEL TO SUIT MANUFACTURER'S STANDARDS.
    - e. TOP RAIL MANUFACTURERS LONGEST LENGTHS, WITH EXPANSION TYPE COUPLINGS, APPROXIMATELY 6 INCHES LONG, FOR EACH JOINT. PROVIDE MEANS FOR ATTACHING TOP RAIL SECURELY TO EACH GATE CORNER, PULL AND END POST.
    - A. GALVANIZED STEEL 11/4 INCH NPS (1.66 INCH OD) TYPE I OR II STEEL PIPE OR 1.625 INCH X 1.25 INCH ROLL -FORMED C SECTIONS WEIGHING 1.35 LBS. PER FT. D. SWING GATES:
    - COMPLY WITH ASTIM F 9000. PROVIDE HARDWARE AND ACCESSORIES FOR EACH GATE. GALVANIZED PER ASTIM A 153, AND IN ACCORDANCE WITH THE FOLLOWING:

    - a. HINGES: NON LIFT- OFF TYPE. OFFSET TO PERMIT ISO DEG. GATE OPENING. b. LATCH: MTS MULTI-LOCKING DEVICE MT-C6477 OR APPROVED EQUAL
    - c. KEEPER: PROVIDE KEEPER FOR VEHICLE GATES, WHICH AUTOMATICALLY ENGAGES GATE LEAF
    - AND HOLDS IT IN OPEN POSITION UNTIL MANUALLY RELEASED.
    - CONCRETE: E.
    - ASTIM C 33, AND CLEAN WATER. MIX MATERIALS TO OBTAIN CONCRETE WITH A MINIMUM OF 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 6.0 LANDSCAPING
  - FURNISH, INSTALL AND MAINTAIN LANDSCAPE WORK AS SHOWN AND OR REQUIRED WITHIN THE CONSTRUCTION DOCUMENTS OR AS SPECIFIED IN THE T-MOBILE CONSTRUCTION SPECIFICATIONS.

- 7.0 CONCRETE FORMWORK
  - A. FORMS: SMOOTH AND FREE OF SURFACE IRREGULARITIES. UTILIZE FORM RELEASE AGENTS
  - B. CHAMFER: EXPOSED EDGES OF ALL TOWER FOUNDATIONS SHALL RECEIVE A 3/4" BY 3/4" 45 DEGREE CHAMFER. OTHER EXPOSED EDGES SHALL RECEIVE A TOOLED RADIUS FINISH.
  - UPON COMPLETION, REMOVE ALL FORMS, INCLUDING THOSE CONCEALED OR BURIED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. D
- 8.0 CONCRETE REINFORCEMENT
  - REFER TO STRUCTURAL DRAWINGS FOR ALL REQUIREMENTS. RF EQUIPMENT AND SHELTER PADS, FOOTINGS, PAVEMENT, DRIVES, CURBS, SIDEWALKS AND GUTTER: A558-1-2 OR WA610-1-4.
  - B. PRECAST CURB INLETS/MANHOLES: ASTIM C478.
  - CAST IN PLACE CURB INLET: A564-3/4-4
  - PREPARE DESIGN MIXES FOR EACH TYPE & STRENGTH OF NORMAL-WEIGHT CONCRETE BY EITHER LABORATORY TRIAL BATCH OR FIELD EXPERIENCE METHODS AS SPECIFIED IN ACI 301, FOR THE TRIAL BOTH BATCH METHOD, USE A QUALIFIED INDEPENDENT TESTING AGENCY FOR PREPARING AND REPORTING PROPOSED MIX DESIGNS.
  - a. LIMIT USE OF FLY ASH TO 25% b. PROPORTION MIXES ACCORDING TO ACI 211.1 AND ACI 211.1 AND 301 TO PROVIDE NORMAL-WEIGHT CONCRETE WITH THE FOLLOWING PROPERTIES c. COMPRESSIVE STRENGTH, 28–DA Y, 3000 PSI EXCEPT AS OTHERWISE INDICATED
  - HEREIN OR ON THE TOWER FOUNDATION DESIGN.
  - d. MAXIMUM WATER-CEMENT RATIO AT POINT OF PLACEMENT: 0.45.
  - e. SLUMP LIMIT AT POINT OF PLACEMENT: 4" +/f. SLUMP LIMIT FOR CONCRETE CONTAINING HIGH-RANGE WATER-REDUCING ADMIXTURE SUPER PLASTICIZER: NOT MORE THAN 8 INCHES AFTER ADDING ADMIXTURE
  - g. ADD AIR-ENTRAINING ADMIXTURE AT MANUFACTURER'S PRESCRIBED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING AIR CONTENT AS FOLLOWS WITH A TOLERANCE OF PLUS OR MINUS 1-1/2%:
  - h. AIR CONTENT: 6.0% FOR 1" MAX. AGGREGATE.
  - ADJUSTMENT TO CONCRETE MIXES: MIX DESIGN ADJUSTMENTS MAY BE REQUESTED BY CONTRACTOR WHEN CHARACTERISTICS OF MATERIALS, PROJECT CONDITIONS, WEATHER, TEST RESULTS, OR OTHER CIRCUMSTANCES WARRENT, HOWEVER, IN NO CASE SHALL CONCRETE MIX BE PLACED WITH A SLUMP THAT EXCEEDS THE ABOVE.
- 9.0 CAST IN PLACE CONCRETE

FOR STRUCTURAL CONCRETE (FOOTINGS, FOUNDATIONS. ETC.), REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS. FOR ANY MISCELLANEOUS CONCRETE, REFER TO SPECIFICATION BOOK OR OBTAIN REQUIREMENTS FROM CONSTRUCTION MANAGER.

- A. ALL CONCRETE SHALL COMPLY WITH ASTIM C94 UNLESS NOTED OTHERWISE.
   B. MINIMUM COMPRESSIVE STRENGTH (F'C) AT 28 DAYS: 4000 PSI FOR TOWER
- FOUNDATION AND 3500 PSI FOR ALL OTHER CONCRETE UNLESS SPECIFIED IN
- CONSTRUCTION DOCUMENTS. AIR ENTRAINMENT: PROVIDE 4 TO 8% AIR ENTRAINMENT FOR ALL CONCRETE SUBJECT C. TO FREEZE-THAW CYCLE.
- CONCRETE TESTING: ALL FOUNDATION CONCRETE SHALL BE TESTED BY AN INDEPENDENT TESTING AGENCY APPROVED BY THE CONSTRUCTION MANAGER. ALL STRUCTURAL TOWER FOUNDATION CONCRETE MUST BE TESTED. EQUIPMENT OR BUILDING PADS ARE NOT REQUIRED TO BE TESTED, UNLESS OTHERWISE NOTED BY CONSTRUCTION MANAGER. PROVIDE A MINIMUM OF 5 CYLINDERS (2-7-DAY, 2-28-DAY, 1-SPARE) FOR EACH OATS POUR, OR FOR EVERY 50 YARDS PLACED, WHICHEVER 15 GREATER. ADDITIONAL TESTS OR CYLINDERS MAY BE REQUIRED BY CONSTRUCTION MANAGER. A SLUMP. AIR. AND TEMPERATURE TEST SHALL BE PERFORMED FOR EACH SET OF CYLINDERS CAST. PREFERABLY, TESTS SHALL BE PERFORMED AT THE LOCATION OF ANCHOR BOLTS (PIERS - FOR MAT & PIERS, CAISSONS - TOP 1 /3 OF CAISSON). TESTS SHALL ALSO BE REQUIRED FOR CONCRETE CONSIDERED BEING LESS THAN DESIRABLE BY CONCRETE SPECIFICATION STANDARDS. THE TESTING AGENCY HAS THE AUTHORITY TO
- NOT ACCEPT CONCRETE MEETING THESE SPECIFICATIONS FOR T-MOBILE. THE CONTRACTOR IS RESPONSIBLE FOR ANY CONCRETE NOT MEETING THESE STANDARDS. THE
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE TESTING AGENCY A MINIMUM OF 24 HOURS IN
- ADVANCE OF EACH FOUNDATION POUR. TEST REPORTS SHALL BE FORWARDED TO T-MOBILE CONSTRUCTION MANAGER WITHIN 24 HOURS OF LAB TEST. VIBRATE ALL CONCRETE USING SUFFICIENT HIGH FREQUENCY LOW AMPLITUDE E.
- MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE AROUND AND BETWEEN REINFORCEMENT BARS AND INTO CORNERS AND RREGULARITIES. VIBRATE THOROUGHLY THROUGH EACH LIFT TO THE PREVIOUS LIFE REVERBERATION AS LATE AS THE RUNNING VIBRATOR WILL SINK THROUGH UPPER LAKERS OF ITS WEIGHT IS RECOMMENDED. DISCONTINUE VIBRATION WHEN RISING ENTRAPPED AIR BUBBLES STOP BREAKING THE LEVELING SURFACE. DO NOT OVER VIBRATE AS THIS MAY CAUSE SEGREGATION.
- FINISHING EXPOSED CONCRETE SURFACES:
- a. THESE PROVISIONS APPLY TO ALL EXPOSED AND ALL FORMED CONCRETE, EXTERIOR OR INTERIOR. UNLESS SPECIFICALLY DETAILED OTHERWISE, PERFORM PROCEDURES PRIOR TO APPLICATION OF ANY CURING COMPOUNDS.
- b. ALL SURFACES: THOROUGHLY CLEAN OFF ALL STAINS, SPATTER AND LOOSE MATERIAL
- c. FINS, RIDGES AND HIGH SPOTS: HONE SMOOTH WITH ABRASIVE POWER GRINDERS WHILE CONCRETE IS GREEN, IMMEDIATELY AFTER FORM REMOVAL

- d. FORM TIE HOLES AND DEEP DEPRESSIONS: FLUSH THOROU AND TAMP TO OVERFULL WITH DRY PACK. CURE 10 DAYS SMOOTH
- e. ROCK POCKETS, HONEYCOMB, SAND STREAKS, DEBRIS AN LEAST 1 INCH DEEP WITH SIDES PERPENDICULAR TO SURF THOROUGHLY WITH CLEAN WATER, COAT SURFACE WITH N TAMP TO OVERFULL WITH DRY PACK IN AT LEAST TWO LA DAYS AND HONE FLUSHED AND SMOOTH.
- G. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF AND EQUIPMENT/BUILDING PADS WITH THE ELECTRICAL DRAW DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTR OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION FOR A

#### 10.0 STRUCTURAL STEEL

MEET OR EXCEED MANUFACTURER'S RECOMMENDATIONS.

- UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION ANI REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF S DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315). 8. ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL,
- A-615, GRADE 60, DEFORMED. HEATING AND WELDING OF BARS IS PROHIBITED WITH THE E
- APPROVAL BY THE STRUCTURAL ENGINEER. ALL REINFORCEMENT BARS TO BE FREE FROM LOOSE RUST
- UNLESS OTHERWISE NOTED, ALL REINFORCEMENT SHALL HAV COVERAGE OF 3 INCHES. THIS MAY REQUIRE SPACERS AND TESTING AGENCY OR CONSTRUCTION MANAGER.
- SPLICES IN REINFORCEMENT STEEL ARE PROHIBITED, UNLESS CONSTRUCTION MANAGER. ALL SPLICES MUST THEN MEET AL STANDARDS FOR SPLICING.
- 11.0 GROUNDING
- MEET ALL APPLICABLE CODES, REQUIREMENTS OF THE CONSTRUCTION DO CONSTRUCTION SPECIFICATIONS.

#### GENERATOR SPECIFICATIONS

- A. SWITCHES AND STANDARD FEATURES
- CYCLIC CRANKING
- ALARM HORN WITH SILENCING SWITCH VOLTAGE ADJUSTING RHEOSTAT
- OVER VOLTAGE PROTECTION REMOTE TWO-WIRE AUTO START SYSTEM
- LAMP TEST SV.,TCH
- RUN-OFF-RESET/AUTO SWITCH (ENGINE START)
- ENGINE COOL DOWN TIMER (5 MINUTES)
- ERROR-PROOF WIRING HARNESS FOR ELECTRICAL CONNECTION
- PANEL LAMPS
- DC CIRCUIT PROTECTION

#### UNIT ACCESSORIES

WEATHER HOUSING-STANDARD WITH ROOF MOUNTED SILENCE MOUNTED CRITICAL GRADE EXHAUST SILENCER

COOLING SYSTEM ACCESSORIES A. UNIT MOUNTED RADIATOR

FUEL SYSTEM ACCESSORIES

GENERATOR ACCESSORIES

A. ELECTRONIC/ISOCHRONOUS GOVERNOR

ENGINE ELECTIRICAL ACCESSORIES

ACCESSORIES WEATHER HOUSING-STANDARD WITH ROOF MOUNTED SILENCER MOUNTED CRITICAL GRADE EXHAUST SILENCER TAIL PIPE AND RAIN CAP <u>LING SYSTEM ACCESSORIES</u> UNIT MOUNTED RADIATOR ENGINE BLOCK HEATER SYSTEM ACCESSORIES USYSTEM ACCESSORIES	How THE DUCKS ARE DUCKS TO BEST AND STRAKES, DEBIES AND VOIDS CUT OF IA     CONTROL AND DEPICE TO AND		5.B.	.2.b
ACCESSORIES WEATHER HOUSING-STANDARD WITH ROOF MOUNTED SILENCER MOUNTED CRITICAL GRADE EXHAUST SILENCER TAIL PIPE AND RAIN CAP <u>LING SYSTEM ACCESSORIES</u> UNIT MOUNTED RADIATOR ENGINE BLOCK HEATER SYSTEM ACCESSORIES USYSTEM ACCESSORIES	ACCESSORIES         WEATHER HOUSING-STANDARD WITH ROOF MOUNTED SILENCER         MOUNTED CRITICAL GRADE EXHAUST SILENCER         TALL PIPE AND RAIN CAP         VG. SYSTEM ACCESSORIES         ENGINE BLOCK HEATER         SYSTEM ACCESSORIES         FLEXIBLE FUEL LINES         ENGINE BLOCK HEATER         SUBBASE FUEL TANK-172 CALLONS         DOUBLE WALL CONSTRUCTION WITH LEAK DETECTION MONITOR         UL 142 LISTED         FUEL LEVEL ALARM         FUEL DEVEL ALARM         FUEL DEVEL ALARM         SAFEGUARD BREAKER         ZELECTINON,C/SOCHRONOUS GOVERNOR         BATTERY ACK, CABLES AND STARTING BATTERY SYSTEM-LEAD ACID TYPE         BATTERY CHARGER-AUTOMATIC 6 AMP OUTIPUT	AND TAMP TO OVERFULL WITH DRY PACK. CURE 10 DAYS AND HONE FLUSH AND SMOOTH. • ROCK POCKETS, HONEYCOMB, SAND STREAKS, DEBRIS AND VOIDS: CUT OUT AT LEAST 1 INCH DEEP WITH SIDES PERPENDICULAR TO SURFACE. FLUSH THOROUGHLY WITH CLEAN WATER, COAR IN AT LEAST TWO LAYERS. CURE FOR 10 DAYS AND HONE FLUSHED AND SMOOTH. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL ELECTRICAL OPENINGS AND EQUIPMENT/BUILDING PADS WITH THE ELECTRICAL DRAWINGS AND SHOP DRAWINOS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION FOR ALL UTILITIES. CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS. PRIOR TO POURING CONCRETE THE INDEPENDENT TESTING AGENCY SHALL INSPECT ALL FOUNDATION STEEL AND FOUNDATION SUBGRADE. LSTEEL SCEED MANUFACTURER'S RECOMMENDATIONS. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL DE TAILLING, FABRICATION AND PLACING OF DETAILING REINFORCED CONCRETE STUCTURES (CIL 315). 8. ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL, CONFORMING TO ASTIM A-615, GRADE 60, DEFORMED. HEATING AND WELDING OF BARS IS PROHIBITED WITH THE EXCEPTION OF WRITTEN APPROVAL BY THE STRUCTURER SHALL BE NEW BILLET STEEL, CONFORMING TO ASTIM A-615, GRADE 60, DEFORMED. HEATING AND WELDING OF BARS IS PROHIBITED WITH THE EXCEPTION OF WRITTEN APPROVAL BY THE STRUCTURAL ENGINEER. ALL REINFORCEMENT BARS TO BE FREE FROM LOOSE RUST AND SCALE. UNLESS OTHERWISE NOTED, ALL REINFORCEMENT SHALL HAVE A MINIMUM CONCRETE COVERAGE OF 3 INCHES. THIS MAY REQUIRE SPACERS AND CHAIRS AS REQUIRED BY TESTING AGENCY OR CONSTRUCTION MANAGER. SPLICES IN REINFORCEMENT STEEL ARE PROHIBITED, UNLESS APPROVED BY CONSTRUCTION MANAGER. ALL SPLICES MUST THEN MEET ALL APPLICABLE ASTIM STANDARDS FOR SPLICING.	APPLICANT TO ADDISON MEWS NORFOLK, VIRGINIA 23510 PROJECT MANAGEMENT PROJECT MANAGEMENT PROJECT MANAGEMENT MANAGEMENT PROJECT MANAGEMENT PROJECT MANAGEMENT PR	
		ENTOR SPECIFICATIONS SWITCHES AND STANDARD FEATURES a. CYCLIC CRANKING b. ALARM HORN WITH SILENCING SWITCH c. VOLTAGE ADJUSTING RHEOSTAT d. OVER VOLTAGE PROTECTION e. REMOTE TWO-WIRE AUTO START SYSTEM f. LAWP TEST SV.,TCH g. RUN-OFF-RESET/AUTO SWITCH (ENGINE START) h. ENGINE COOL DOWN TIMER (5 MINUTES) ERROR-PROOF WIRING HARNESS FOR ELECTRICAL CONNECTIONS PANEL LAMPS DC CIRCUIT PROTECTION ACCESSORIES WEATHER HOUSING-STANDARD WITH ROOF MOUNTED SILENCER MOUNTED CRITICAL GRADE EXHAUST SILENCER TAIL PIPE AND RAIN CAP LING SYSTEM ACCESSORIES UNIT MOUNTED RADATOR ENGINE BLOCK HEATER SUBBASE FUEL TANK-172 GALLONS DOUBLE WALL CONSTRUCTION WITH LEAK DETECTION MONITOR UL 142 LISTED FUEL LEVEL ALARM FILL PIPE EXTENDED 107. INTO TANK HIGH-FUEL LEVEL ALARM FILL PIPE EXTENDED 107. INT TANK HIGH-FUEL LEVEL ALARM FILL PIPE EXTENDED 107. INT TANK HIGH-FUEL LEVEL ALARM FILL PIPE RATER ERATOR ACCESSORIES WANT IN COLORED TIME SET AT 95% 7.5 GALLON LOCKABLE FILL WITH SPILL CONTAINMENT ERATOR ACCESSORIES ENCINE COLUTI BREAKER-100 AMPS, INSTALLED ON GENERA TOR VOLTAGE REGULATOR ±2% SAFEQUARD BREAKER ELECTRICAL ACCESSORIES	A       90% PRELIMINARY       09/24/20       MP         B       90% PRELIMINARY       10/02/20       SS         C       90% PRELIMINARY       10/02/20       SS         D       90% PRELIMINARY       10/19/20       SS         0       FINALS       12/01/20       SS         SEAL       0/024/902       2       0/2         0       PHER       N       O/01/04/902       2         1       OPHER       O/01/04/902       0/01/04/902       0/01/04/902         SITE INFORMATION       VA70795A/NO80XC013       OCEAN TRAIL       0/02 COCEAN TRAIL         734 OCEAN TRAIL       734 OCEAN TRAIL       0/04 COUCH       0/04/92         GENERAL NOTES       GENERAL NOTES	E CDS NSD Te

5.B.2.b

#### GENERAL NOTES:

- THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- 2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, 115, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL ORDINANCES TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- 3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY. REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- 5. SITE GROUNDING SHALL COMPLY WITH T-MOBILE GROUNDING STANDARDS, LATEST EDITION AND COMPLY WITH T-MOBILE GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT, THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF A NEW TOWER.
- 6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS. EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING ARE REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA). IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE AND 7. FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
- 8. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S FXPFNSF
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHOULD BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
- 10. FOR NEW TOWERS. T-MOBILE WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
- THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS/ANALYSIS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF THE TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
- 12. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTORS EXPENSE
- 14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE KEPT TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASED PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR
- 15. ALL SUITABLE BORROW MATERIAL FOR BACKFILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFFSITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
- 16. SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD
- 17. PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC. AND PROVIDE E911 ADDRESS TO T-MOBILE WIRFLESS
- 18. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS, ETC., BETWEEN THE WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.

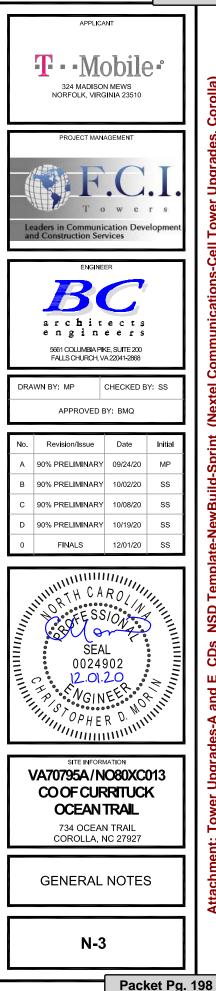
#### EXCAVATION AND GRADING NOTES:

- 1. ALL CUT AND FILL SLOPES SHALL BE 3:1 MAXIMUM.
- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY 2. HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
- 3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH. THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- 4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE. IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE AND 5. BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS AND SO FORTH
- ALL BACK FILLING SHALL (1) USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAYS, SAND AND GRAVEL OR SOFT SHALE, (2) BE FREE FROM CLODS OR STONES OVER 2 1/2" MAXIMUM DIMENSIONS. MD (3) BE PLACED IN LAYERS AND COMPACTED
- SITE FILL MATERIAL AND FOUNDATION BACKFILL SHALL BE PLACED IN LAYERS MAXIMUM 6' 7 DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY. AT THE OPTIMUM MOISTURE CONTENT OF ±2% AS DETERMINED BY ASTM DESIGNATION D-69B UNLESS OTHERWISE APPROVED. SUCH BACKFILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE
- 8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AREA (UP TO ONE FOOT OUTSIDE THE FENCE OR GROUND SYSTEM PERIMETER) AND SHALL BE COVERED WITH A GEOTEXTILE FABRIC MIRAFI 500X OR APPROVED EQUAL TO PREVENT REOCCURRENCE OF VEGETATIVE GROWTH, AN THEN SHALL BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
- THE CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENT FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS FROM LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS AND CHECK DAMS
- 10. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS AND DELETERIOUS MATERIAL FROM GROUND SURFACE PRIOR TO PLACING FULLS. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL BREAK UP GROUND SURFACE TO REQUIRED DEPTH, PULVERIZE, MOISTURE CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED
- 11. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES AND GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE, EURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADE TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE
- 12. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE, USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR ANY DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS.
- 13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S **EXPENSE**
- 14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- 15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- 16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE AND UNIFORM IN QUALITY AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL ALKALI OR OTHER DELETERIOUS SUBSTANCE

#### UTILITY POLES

1. ALL UTILITY POLES SHALL BE 35 FT., CLASS 4 OR AS DIRECTED BY THE UTILITY PROVIDER. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY PRIOR TO EXCAVATING OR INSTALLING ANY UTILITY POLES.





### MEMORANDUM OF UNDERSTANDING

#### (FISCAL YEAR 2020-21 and 2021-22)

#### BETWEEN

## THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES AND CURRITUCK COUNTY

#### A Written Agreement Pursuant to N.C. Gen. Stat. § 108A-74, an Act of the North Carolina General Assembly

This Memorandum of Understanding ("MOU") is made by and between the North Carolina Department of Health and Human Services, (hereinafter referred to as the "Department") and Currituck County a political subdivision of the State of North Carolina (hereinafter referred to as the "County") to comply with the requirements of law, N.C. Gen. Stat. § 108A-74. The Department and the County may be referred to herein individually as a "Party" and collectively as the "Parties."

#### TERMS OF UNDERSTANDING

In consideration of the mutual promises and agreements contained herein, as well as other good and valuable consideration, the sufficiency of which is hereby acknowledged by the Parties, the Parties agree to this MOU, effective January 1, 2021, in compliance with the mandates of law enacted by the North Carolina General Assembly and in recognition of possible amendments by the General Assembly, the Parties further agree to conform to changes made to the law, notwithstanding a contractual term previously agreed upon.

#### 1.0 Parties to the MOU

The only Parties to this MOU are the North Carolina Department of Health and Human Services and Currituck County, a political subdivision of the State of North Carolina.

#### 1.1 Relationships of the Parties

Nothing contained herein shall in any way alter or change the relationship of the parties Parties as defined under the laws of North Carolina. It is expressly understood and agreed that the enforcement of the terms and conditions of this MOU, and all rights of action relating to such enforcement, shall be strictly reserved to the Department and the County. Nothing contained in this document shall give or allow any claim or right of action whatsoever by any other third person. It is the express intention of the Department and County that any such person or entity, other than the Department or the County, receiving services or benefits under this MOU shall be deemed an incidental beneficiary only.

**Subcontracting:** The County shall be responsible for the performance of all of its subcontractors. The County shall disclose the names of its subcontractors to the Department within thirty (30) days of the execution thereof. The County shall also provide additional information concerning its subcontractors as may be requested by the Department within thirty (30) days of the request. The

Page 1 of 10

County additionally agrees not to enter into any confidentiality agreement or provision with a subcontractor or other agent to provide services related to this MOU that would prevent or frustrate the disclosure of information to the Department. Subcontractors shall be defined under this MOU to mean any party the County enters into a contractual relationship with for the complete administration of one or more social services programs covered by this MOU. Temporary employees hired by the County shall not be considered subcontractors under this MOU.

Assignment: No assignment of the County's obligations or the County's right to receive any funding made in any way concerning the matters covered by this MOU hereunder shall be permitted.

# 2.0 Terms of the MOU

The term of this MOU shall be for a period of one year beginning January 1, 2021 and ending June 30, 2022.

# 2.1 Default and Modification

Default: In the event the County fails to satisfy the mandated performance requirements as set forth in **Attachment I** or fails to otherwise comply with the terms of this MOU, the Department may withhold State and/or federal funding. Any such withholding shall be in compliance with, and as allowed by, state and/or federal law.

Performance Improvement: Prior to the Department exercising its authority to withhold State and/or federal funding for a failure to satisfy the mandated performance requirements set forth in Attachment I or failure to meet the terms of this MOU, the process for performance improvement set forth in N.C. Gen. Stat. § 108A-74 will govern. Nothing contained in this MOU shall supersede or limit the Secretary's authority to take any action otherwise set forth in N.C. Gen. Stat. § 108A-74.

Waiver of Default: Waiver by the Department of any default or breach in compliance with the terms of this MOU by the County shall not be deemed a waiver of any subsequent default or breach and shall not be construed to be modification of the terms of this MOU unless stated to be such in writing, signed by an authorized representative of the Department and the County and attached to the MOU.

Force Majeure: Neither Party shall be deemed to be in default of its obligations hereunder if and so long as it is prevented from performing such obligations by any act of war, hostile foreign action, nuclear explosion, riot, strikes, civil insurrection, earthquake, hurricane, tornado, public health emergency or other catastrophic natural event or act of God.

Modification: The terms and conditions of this MOU may only be modified by written agreement of the Parties, signed by an authorized representative of the Parties.

#### 3.0 MOU Documents

The Recitals and the following attachments are incorporated herein by reference and are part of this MOU:

- (1) The portions hereof preceding the Terms of Understanding, including but not limited to the introductory paragraph and the Recitals, which are contractual as well as explanatory
- (2) The Terms of Understanding
- (3) Attachment I Mandated Performance Requirements:
  - a. I-A: Energy Programs
  - b. I-B: Work First
  - c. I-C: Food and Nutrition Services
  - d. I-D: Child Welfare Foster Care
  - e. I-E: Adult Protective Services
  - f. I-F: Special Assistance
  - g. I-G: Child Support Services
- (4) Attachment II Child Welfare CFSR

#### 4.0 Entire MOU

This MOU and any documents incorporated specifically by reference represent the entire agreement between the Parties and supersede all prior oral or written statements or agreements between the Parties.

#### **5.0 Definitions**

While "County" is used as an abbreviation above, the following definitions, some of which are contained in N.C. Gen. Stat. § 108A-74(a), also apply to this MOU:

- (1) "County department of social services" also means the consolidated human services agency, whichever applies.
- (2) "County director of social services" also means the human services director, whichever applies.
- (3) "County board of social services" also means the consolidated human services board, whichever applies.
- (4) "Child welfare services or program" means protective, foster care, and adoption services related to juveniles alleged to be abused, neglected, or dependent as required by Chapter 7B of the General Statutes.
- (5) "Social services programs" or "Social services programs other than medical assistance" means social services and public assistance programs established in Chapter 108A other than the medical assistance program (Part 6 of Article 2 of Chapter 108A). This includes, but is not limited to, child welfare programs, adult protective services, guardianship services for adults, and programs of public assistance established in Chapter 108A. It also includes the child support enforcement program, as established in Article 9 of Chapter 110 of the General Statutes, and the North Carolina Subsidized Child Care Program.

To the extent that any term used herein is defined by a statute or rule applicable to the subject matter of this MOU, the statutory or rule definition shall control. For all remaining terms, which are not defined by statute or rule, those terms shall have their ordinary meaning. Should any further Page 3 of 10

definition be needed, the Parties agree that the meanings shall be those contained in the current version (as of the time the dispute or question arises) of Black's Law Dictionary, and if not defined therein, then of a published unabridged modern American English Language Dictionary published since the year 2000.

## 6.0 Audit Requirements

The County shall furnish to the State Auditor, upon his/her request, all books, records, and other information that the State Auditor needs to fully account for the use and expenditure of state funds in accordance with N.C.G.S. § 147-64.7. Additionally, as the State funding authority, the Department of Health and Human Services shall have access to persons and records as a result of all contracts or grants entered into by State agencies or political subdivisions.

# 7.0 Record Retention

The County shall retain records at its own expense in accordance with applicable State and Federal laws, rules, and regulations. The County shall facilitate and monitor the compliance of its subcontractors with all applicable requirements of record retention and disposition.

In order to protect documents and public records that may be the subject of Department litigation, the Department shall notify the County of the need to place a litigation hold on those documents. The Department will also notify the County of the release of the litigation hold. If there is no litigation hold in place, the documents may be destroyed, disposed of, or otherwise purged through the biannual Records Retention and Disposition Memorandum from the Department's Controller's Office.

## 8.0 Liabilities and Legal Obligations

Each party hereto agrees to be responsible for its own liabilities and that of its officers, employees, agents or representatives arising out of this MOU. Nothing contained herein is intended to alter or change the relationship of the Parties as defined under the laws of the State of North Carolina.

### 9.0 Confidentiality

Any medical records, personnel information or other items exempt from the NC Public Records Act or otherwise protected by law from disclosure given to the Department or to the County under this MOU shall be kept confidential and not divulged or made available to any individual or organization except as otherwise provided by law. The Parties shall comply with all applicable confidentiality laws and regulations, including but not limited to the Health Insurance Portability and Accountability Act of 1996 (HIPAA), the administrative simplification rules codified at 45 Parts 160, 162, and 164, alcohol and drug abuse patient records laws codified at 42 U.S.C. §290dd-2 and 42 CFR Part 2, and the Health Information Technology for Economics and Clinical Health Act (HITECH Act) adopted as part of the American Recovery and Reinvestment Act of 2009 (Public Law 111-5).

# 10.0 Secretary's Authority Undiminished

Certain functions delegated to the County pursuant to this MOU are the duty and responsibility of the Department as the grantee of federal grant funds. The Parties understand and agree that nothing in this MOU shall be construed to diminish, lessen, limit, share, or divide the authority of the Secretary of the Department to perform any of the duties assigned to the Department or its Secretary by the North Carolina General Statutes, the terms and conditions of the federal funds and their applicable laws and regulations or other federal laws and regulations regarding any federal funding which is used by the Department to reimburse the County for any of its duties under this MOU.

## 11.0 MOU does not Diminish Other Legal Obligations

Notwithstanding anything to the contrary contained herein and to facilitate the mandated performance requirements of N.C. Gen. Stat. § 108A-74, the Parties acknowledge and agree that this MOU is not intended to supersede or limit, and shall not supersede or limit, the County's obligations to comply with all applicable: 1) federal and state laws; 2) federal and state rules; and 3) policies, standards, and directions of the Department, as all such currently exist and may be amended, enacted, or established hereafter.

### 12.0 Notice

The persons named below shall be the persons to whom notices provided for in this MOU shall be given. Either Party may change the person to whom notice shall be given upon written notice to the other Party. Any notice required under this MOU will only be effective if actually delivered to the Parties named below. Delivery by hand, by first class mail, or by email are authorized methods to send notices.

# For the Department of Health and Human Services, Division of Social Services

IF DELIVERED BY US POSTAL SERVICE	IF DELIVERED BY ANY OTHER MEANS
Susan Osborne, Assistant Secretary NCDHHS 2417 Mail Services Center Raleigh, NC 27699-2001	Susan Osborne NCDHHS Doretha Dix Campus, McBryde Building Phone: 919-527-6338 E-mail: Susan.Osborne@dhhs.nc.gov

IF DELIVERED BY US POSTAL SERVICE	IF DELIVERED BY ANY OTHER MEANS

#### 13.0 Responsibilities of the Department

The Department hereby agrees that its responsibilities under this MOU are as follows:

- (1) The Department shall develop performance requirements for each social services program based upon standardized metrics utilizing reliable data. The performance requirements are identified in Attachments I and II.
- (2) The Department shall provide supervision, program monitoring and technical assistance to the counties in the administration of social services programs.
- (3) The Department shall provide leadership and coordination for developing strategies that address system-level barriers to the effective delivery of social services programs, including but not limited to: the Administrative Office of Courts, the LME/MCO, Department of Public Instruction, and the Department of Public Safety.
- (4) The Department shall have the following administrative responsibilities:
  - a. Staff Training and Workforce Development:
    - i. Develop training requirements for county personnel and provide guidance for adequate staffing patterns related to the provision of social services programs. The Department will publish annually, a list of required and recommended trainings for county personnel directly involved in the administration of social services programs covered under this MOU.
    - ii. Develop training curricula and provide, timely, adequate access to statewide training opportunities for county personnel related to the provision of social services programs. Training opportunities may include in-person, self-guided, web-based and remotely facilitated programs.
    - iii. The Department will publish a training calendar, at least quarterly, notifying the counties of training opportunities.
    - iv. Provide timely written guidance related to new federal or state statutes or regulations. The Department will provide information in advance of the effective date of new policy to the extent possible, including interpretations and clarifications of existing policy.
    - v. Provide technical assistance and training in areas where quality control, monitoring or data indicates a lack of correct application of law, rule or policy.
  - b. Performance Monitoring:
    - i. Monitor and evaluate county compliance with applicable federal and state laws, rules and policies.
    - ii. Provide feedback to counties with recommended changes when necessary.

- iii. Monitor that all financial resources related to the provision of social services programs covered by this MOU are utilized by the county in compliance with applicable federal and state laws.
- c. Data Submission:
  - i. Maintain and review data submitted by counties pursuant to the mandatory performance requirements.
  - ii. Provide counties with reliable data related to their performance requirements as well as accuracy and timeliness of programs in accordance with state and federal program guidelines. This includes but is not limited to processing applications and recertification, quality control standards, program statistics and fiscal information.
  - iii. The Department shall be responsible for the maintenance and functionality of its information systems utilized in the statewide administration of social services programs covered by this MOU.
- d. Communication:
  - i. Provide counties with clarification or explanation of law, rule or policy governing social services programs when necessary or as requested.
  - ii. Disseminate policy on social services programs and provide counties with timely information on any updates to policy.
  - iii. Provide timely information to counties on any changes to federal law or policy made known to the Department.
  - iv. Provide counties with a timely response to requests for technical assistance or guidance.
  - v. Maintain all policies covering social services programs in a central, accessible location. Policies will be updated, to the extent possible, in advance of the effective date of any new policies or policy changes.
  - vi. Provide counties with an opportunity to submit questions, concerns and feedback related to the administration of social services programs to the Department and provide County a timely response to such communication.
  - vii. Communicate proactively with the County Director of Social Services on matters that effect social services programs covered under this MOU.
  - viii. Communicate directly with the County Manager, Governing Boards, and the County Director of Social Services on matters including but not limited to, corrective action, and significant changes to law, rule and policy that impact the administration of social services programs covered by this MOU.
- e. Inter-agency Coordination:
  - i. Provide guidance to counties in the event they are unable to reach a resolution on a conflict of interest that arises related to the provision of social services programs covered by this MOU.
  - ii. Provide guidance for county DSS personnel on federal and state Emergency Management, mass shelter, Business Continuity Plan (BCP) and Continuity of Operations Plan (COOP) requirements.
  - iii. Coordinate with and communicate to county DSS agencies regarding available and required training opportunities associated with DSS Mass Shelter, BCP and COOP responsibilities.

- iv. Assist and support counties as needed in implementation of operational functions of mass shelter operations and as needed during other emergencies as they arise.
- (5) The Department shall timely meet all of its responsibilities contained in this MOU. "Timely" shall be defined consistent with timeliness requirements set forth in relevant statute, regulation, and policy. Where timeliness is not otherwise defined, "timely" shall mean within a reasonable time under the circumstances.

### 14.0 Responsibilities of the County

The County hereby agrees that its responsibilities under this MOU are as follows:

- (1) The County shall adhere to the mandated performance requirements for each social services program as identified in Attachment I. The County will ultimately work toward achievement of the Standard Measure for all performance requirements set forth in Attachments I and II.
- (2) The County shall comply with the following administrative responsibilities
  - a. Staff Requirements and Workforce Development:
    - i. The personnel, including new hires and existing staff, involved in the County's provision of social services programs covered by this MOU shall complete all required and necessary training, which is documented as required by federal and state law and policy.
    - b. Compliance:
      - i. Perform activities related to its social services programs in compliance with all applicable federal and State laws, rules, regulations and policies. Nothing contained herein is intended to, nor has the effect of superseding or replacing state law, rules or policy related to social services programs.
      - ii. Develop and implement internal controls over financial resources related to the County's social services programs to ensure that all financial resources are used in compliance with applicable federal and state laws.
      - iii. Provide and adhere to corrective action plans as required based on monitoring findings and the Single Audit.
    - c. Data Submission:
      - i. Maintain accurate, thorough records of all social services programs covered by this MOU, in particular, records related to the mandated performance requirements that can be accessed for the purpose of data collection, service provision, monitoring or consultation
      - ii. Ensure reliable data entry into state systems utilized for the administration of social services programs covered under this MOU.
      - iii. Provide, upon request, data to the state for the purpose of, but not limited to, conducting monitoring, case file reviews, error analysis and quality control.
      - iv. Utilize data to understand the performance of their county and to conduct analysis and implement changes where needed if performance measures are not being met.
    - d. Communication:
      - i. Respond and provide related action in a timely manner to all communications received from the Department.

- ii. Provide timely information on all matters that have a potential negative impact on the social services programs they administer, including but not limited to, litigation risks (not including child welfare cases governed by Chapter 7B or adult services cases governed by Chapter 35A or 108A), network and computer issues, or data breaches.
- iii. Provide timely information regarding temporary or permanent changes to the Social Services Governing Board. or the County Social Services Director, including retirements, separations, or any leaves of absence greater than two calendar weeks.
- e. Inter-agency Cooperation:
  - i. Ensure that county social services personnel complete required training and are prepared to engage in Disaster Management, mass shelter, BCP and COOP operations.
  - ii. Ensure that all plans and systems are in place to meet potential disaster (natural, technical, otherwise) response requirements.
  - iii. Engage with DHHS, state Emergency Management and local leadership in associated efforts.
  - iv. Assist or operate mass shelter operations or other required disaster management responsibilities.
- (3) The County shall timely meet all its responsibilities contained in this MOU. "Timely" shall be defined consistent with timeliness requirements set forth in relevant statute, regulation, policy or as otherwise required by the Department. If timeliness is not otherwise defined, "timely" shall mean within a reasonable time under the circumstances.

# 15.0 Data Security and Reporting

**Data Security:** The County shall adopt and apply data privacy and security requirements to comply with all applicable federal, state, department and local laws, regulations, and rules. To the extent that the Department and the County have already entered into one or more data privacy agreements covering all or any portion of the work to be performed under this MOU, the Parties hereby adopt and incorporate such agreements by reference into this MOU as if fully set forth herein.

**Duty to Report:** The County shall report all privacy and security incidents related to the provision of social services programs covered by the MOU to the Department and the Privacy and Security Office within twenty-four (24) hours after the privacy and security incident is first discovered, provided that the County shall report a breach involving Social Security Administration data or Internal Revenue Service data within one (1) hour after the incident is first discovered. During the performance of this MOU, the County is to notify the Department of any contact by the federal Office for Civil Rights (OCR) received by the County related to the provision of social services programs covered by the MOU. In case of a privacy and security incident, the County, including any subcontractors or agents it retains, shall fully cooperate with the Department.

### 16.0 Miscellaneous

**Choice of Law:** The validity of this MOU and any of its terms or provisions, as well as the rights and duties of the Parties to this MOU, are governed by the laws of North Carolina. The Parties, by signing this MOU, agree and submit, solely for matters concerning this MOU, to the exclusive

jurisdiction of the courts of North Carolina and agrees, solely for such purpose, that the exclusive venue for any legal proceedings shall be Wake County, North Carolina. The place of this MOU and all transactions and agreements relating to it, and their situs and forum, shall be Wake County, North Carolina, where all matters, whether sounding in contract or tort, relating to the validity, construction, interpretation, and enforcement shall be determined.

**Amendment**: This MOU may not be amended orally or by performance. Any amendment must be made in written form and executed by duly authorized representatives of the Department and the County. The Parties agree to obtain any necessary approvals, if any, for any amendment prior to such amendment becoming effective. Also, the Parties agree that legislative changes to state law shall amend this MOU by operation of law to the extent affected thereby.

Effective Date: This MOU shall become effective January 1, 2021 and shall continue in effect until June 30, 2022.

**Signature Warranty:** Each individual signing below warrants that he or she is duly authorized by the party to sign this MOU and to bind the party to the terms and conditions of this MOU.

BY: Sen Mane	BY:
TITLE:	TITLE:
DATE:	DATE:

# North Carolina Department of Health and Human Services

BY:

Secretary, Department of Health and Human Services

DATE:



January 4, 2021 Minutes – Regular Meeting of the Board of Commissioners

#### 5:00 PM SPECIAL MEETING

A Special Meeting was held by the Currituck County Board of Commissioners at 5:00 PM in the Board Meeting Room of the Historic Courthouse, 153 Courthouse Road, Currituck, North Carolina, for the purpose of holding a Closed Session.

1. Closed session pursuant to G.S. 143-318.11(a)(5) to establish or instruct county staff concerning the position to be taken by or on behalf of the county in negotiating the material terms of a contract for the acquisition of real property by purchase or exchange owned by Susan Coleman Kay, Parcel ID 002200000210000, Tulls Creek Road, Moyock, to be used for any public purpose.

Chairman Payment called the meeting to order and moved to enter Closed Session pursuant to G.S. 143-318.11(a)(5) to establish or instruct county staff concerning the position to be taken by or on behalf of the county in negotiating the material terms of a contract for the acquisition of real property by purchase or exchange owned by Susan Coleman Kay, Parcel ID 002200000210000, Tulls Creek Road, Moyock, to be used for any public purpose.

Commissioner White seconded the motion. The motion carried, 7-0, and the Board entered Closed Session.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Michael H. Payment, Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

#### 2. Motion to Adjourn

The Board returned from Closed Session and had no further business. Commissioner McCord moved to adjourn the Special Meeting. Commissioner Jarvis seconded the motion. The motion carried, 7-0, and the meeting adjourned at 5:38 PM.

5.B.4.1

	5.B.4.1
January 4	1, 2021

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

#### 6:00 PM CALL TO ORDER

The Board of Commissioners held a Regular Meeting at 6:00 PM in the Board Meeting Room of the Historic Courthouse, 153 Courthouse Road, Currituck, North Carolina.

Attendee Name	Title	Status	Arrived
Mike H. Payment	Chairman	Present	
Paul M. Beaumont	Vice-Chairman	Present	
J. Owen Etheridge	Commissioner	Present	
Mary "Kitty" Etheridge	Commissioner	Present	
Selina S. Jarvis	Commissioner	Present	
Kevin E. McCord	Commissioner	Present	
Bob White	Commissioner	Present	

Chairman Payment called the meeting to order.

#### A) Invocation & Pledge of Allegiance

Commissioner Beaumont offered the Invocation and led the Pledge of Allegiance.

#### B) Approval of Agenda

Commissioner White amended the agenda. A Commissioner appointment to the Alternate on the Albemarle Regional Planning Organization was added as Item 2 under Board Appointments. A surplus Resolution for Emergency Management equipment was added to Consent Agenda as Item 6.

Commissioner McCord moved to approve and Commissioner Jarvis seconded the motion. The agenda was unanimously approved.

Approved agenda:

#### 5:00 PM Special Meeting

Closed session pursuant to G.S. 143-318.11(a)(5) to establish or instruct county staff concerning the position to be taken by or on behalf of the county in negotiating the material terms of a contract for the acquisition of real property by purchase or exchange owned by Susan Coleman Kay, Parcel ID

002200000210000, Tulls Creek Road, Moyock, to be used for any public purpose.

#### 6:00 PM Call to Order

A) Invocation & Pledge of Allegiance

B) Approval of Agenda

#### Public Comment

Please limit comments to matters other than those appearing on this agenda as a Public Hearing. Public comments are limited to 3 minutes.

Commissioner's

<u>Report</u>

County Manager's

#### **Report**

#### **Administrative**

#### **Reports**

- A) Presentation to Commissioner Bob White in Recognition of Service as Board Chair, December 2018-December 2020
- B) Resolution Honoring Senator Marc

#### Basnight

#### Public Hearings

- A) PB 20-21 Nigel & Sarah Culpepper Rezoning: Request to rezone 7.5 acres of property located at 6804 Caratoke Highway from LI (Light Industrial) to GB (General Business). The property is Tax Map 108, Parcel 52D, Poplar Branch Township.
- B) PB 20-22 Pinnacle Storage Conditional Rezoning: Robert High Development, LLC is requesting conditional rezoning of a 10.48 acre parcel from Conditional-Heavy Industrial (formally zoned for 84 Lumber) to Conditional-Heavy Industrial for Self-Service Storage. The property is owned by Pierce Hardy, LTD Partnership, and is located at 1462 Caratoke Highway, Tax Map 23, Parcel 68J, Moyock Township.
- **C) PB 20-17 Currituck County:** Requests an amendment to the Unified Development Ordinance, Chapter 4, Use Standards, to correct Agricultural Support and Services,

Wind Energy Facility, Large, and Outdoor Tour Operators, Aviation in Table 4.1.1.B. Summary Use Table for the Planned Development Zoning Districts, as previously adopted by the Board of Commissioners. D) Public Hearing and Consideration of Resolution Authorizing Exchange of County Property for Property Owned by Penelope L. Lockhart and Conveyance of Access Easement Across County Property

#### New Business

- A) Consideration of Approval of Budget Amendments to increase capital requests back to the initially recommended budget
- B) Consideration of Approval of a Budget Amendment to use Elections CARES funding to provide a bonus for full-time elections staff.

#### C) Board Appointments

- 1. Commissioner Appointment to Serve on the ABC Board
- 2. Amended Item-Commissioner Appointment to Albemarle Regional Planning Organization-Alternate
- 3. Board of Adjustment
- 4. Library Board of Trustees
- 5. Recreation Advisory
- 6. Tourism Advisory
- 7. Veterans Advisory Board

#### D) Consent Agenda

- 1. Budget Amendments
- 2. NCACC Legislative Goals Conference Voting Delegate Designation
- 3. Request for Disposal of Records-Permits and Inspections
- Approval of Memorandum of Agreement with the State of North Carolina for Location of Groundwater Monitoring Station at Shingle Landing Park
- Approval of Building Access Agreement for CenturyLink Data Line Upgrade Installation at the Office of the Clerk of Court, Judicial Center
- 6. Amended Item-Surplus Resolution-Message Boards, Emergency Management
- 7. Approval Of Minutes-Dec. 7, 2020

#### <u>Adjourn</u>

#### Special Meeting-Tourism Development Authority

TDA-Request to Revise Timeline Criteria and Allow a Fiscal Year Carryover for Event Grants

#### TDA-Budget Amendments

#### Adjourn TDA

#### Special Meeting-Ocean Sands Water and Sewer District Board

OSWSD-Budget Amendment

#### Adjourn OSWSD Board

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Kevin E. McCord, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis,
	Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

#### **PUBLIC COMMENT**

# Please limit comments to matters other than those appearing on this agenda as a Public Hearing. Public comments are limited to 3 minutes.

Chairman Payment opened the Public Comment period. No one was signed up nor wished to speak and the Public Comment period was closed.

#### COMMISSIONER'S REPORT

Chairman Payment wished everyone a Happy New Year, and he looks forward to working with the Board in 2021. He presented information on the Covid vaccine distribution through Albemarle Regional Health Services and the Currituck County Health Department. Chairman Payment announced solid waste decals are now required to access the County's convenience centers.

Commissioner McCord looks forward to 2021 and noted a good 2020 on the beach. He spoke of the successes of the Operation Santa Clause program through the Department of Social Services and the Shop for a Kid program through the Sheriff's office. He thanked everyone who donated and participated.

Commissioner White announced the upcoming Board retreat to be held at the Historic Courthouse, February 4-6, 2021, and encouraged the public to attend.

Commissioner Mary Etheridge announced 253 children were served through the Department of Social Services Operation Santa Clause program, and thanked the community for the outpouring of support. She encouraged citizens to make their voices heard and to hold leaders accountable by becoming involved in local, state and federal government.

Commissioner Jarvis spoke of the changes people made in 2020 due to the Coronavirus, and encouraged focusing on the positive aspects of those changes. She looks forward to moving on to a better 2021.

## **COUNTY MANAGER'S REPORT**

Chairman Payment recognized the absence of Ben Stikeleather, County Manager. County Attorney, Ike McRee, had nothing to report on his behalf.

#### ADMINISTRATIVE REPORTS

#### A. Presentation to Commissioner Bob White in Recognition of Service as Board Chair, December 2018-December 2020

Commissioners gathered at the front of the meeting room and joined Chairman Payment as he presented a plaque to Commissioner Bob White to recognize and thank him for his service as Chairman of the Board of Commissioners from December 2018 through December 2020.

### B. Resolution Honoring Senator Marc Basnight

Commissioner J. Owen Etheridge presented a Resolution in honor of former North Carolina Senator Pro-Tempore, Marc Basnight. The Resolution recognized the Senator's service and contributions to Currituck County and the District and offered condolences to the family upon the Senator's passing on December 28, 2020. Commissioner J. Owen Etheridge moved to adopt the Resolution. Commissioner Mary Etheridge seconded the motion. The motion carried, 7-0.

*WHEREAS*, Marc Basnight served the citizens of Currituck County as the North Carolina State Senator from 1984 until 2011; and

WHEREAS, Senator Basnight served as Senate Pro Tempore from 1997 until 2010; and

*WHEREAS*, during his time as a Senator and Senate Pro Tempore, Marc Basnight unified the power of the North Carolina General Assembly to move North Carolina forward in the areas of transportation, environmental protection, education; and

*WHEREAS*, the programs and policies developed during Senator Basnight's time in office will continue to have positive effects across North Carolina; his impacts can be best seen in the district that elected him to the office for 27 years; and

*WHEREAS*, the improvements to roads, bridges, education, environmental protection, and tourism can be seen in his entire district; Currituck County was the recipient of Senator Basnight's programs and policies directly in many instances; and

*WHEREAS*, the direct benefit to Currituck County can be seen in areas such as the widening of Hwy 158, County ownership of the airport and prison facility, construction of the Wildlife Center at Historic Corolla Park, natural coastlines, and improved recognition and

tourism for the Outer Banks; and

*WHEREAS*, Senator Basnight's legacy will continue to reverberate throughout Currituck County and be a benefit to the citizens here for decades to come; and

WHEREAS, Senator Basnight passed away on December 28, 2020.

**NOW, THEREFORE BE IT RESOLVED**, that Currituck County would like to send its heartfelt thanks and condolences to the family of Senator Marc Basnight in their time of grief. Marc Basnight was a champion for Currituck County during his time in the General Assembly, and his contribution to our community and legacy will always be remembered.

ADOPTED this 4<sup>th</sup> day of January, 2021.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	J. Owen Etheridge, Commissioner
SECONDER:	Mary "Kitty" Etheridge, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

#### PUBLIC HEARINGS

A. PB 20-21 Nigel & Sarah Culpepper Rezoning:	
---	--

APPLICATION SUMMARY Property Owner:	Applicant:
Nigel & Sarah Culpepper	Same
101 Kyle Court	
Kill Devil Hills, NC 27948	
Case Number: PB 20-21	Application Type: Zoning Map Amendment
Parcel Identification Number:	Existing Use: Vacant
0108-000-052D-0000	
Land Use Plan Classification:	Parcel Size (Acres): 7.5 (entire parcel)
Rural & Conservation	
	Zoning History: A-40 (1975), rezoned a to
Land Use Plan Subarea: Grandy	B(GB) on 7/20/1987, GB (1989), rezoned GB to
	LM (2000), LI (2013)
Current Zoning: LI	Proposed Zoning: GB
<b>Request:</b> Request for a zoning map ame General Business (GB).	ndment to rezone Light Industrial (LI) zoned property to

### Narrative

The applicant is requesting a conventional rezoning of approximately 7.5 acres from Light Industrial (LI) to General Business (GB); the request is a downzoning. The subject parcel was part of 78.9 acres that were rezoned from GB to Light Manufacturing (LM) in 2000. The 2000 rezoning request was presented to the board with plans for Eco-Brewing and Eco-

farming operations. The vision for the property at the time was a fully integrated production and retail facility for craft products, beer, and agricultural products. The appearance was intended to be a high-end tourist attraction with on-site production, retail and restaurant uses.

The subject property is currently vacant as are approximately 64 acres of the 78.9 acres rezoned to LM in 2000. The property has existing hedgerows along the north and south property lines which help to buffer the property from the existing LI use (brewery) to the south. The property is adjacent to LI zoning on the rear (west) and side (south) property lines. Most of the LI zoned acreage is accessed by Grange Road. The subject property will consolidate accesses to LI zoned property through the existing Grange Road access.

On its face, the rezoning request appears to be consistent with the Land Use Plan and the UDO. The Land Use Plan contains policies to protect the appearance of the NC 168/ US 158 corridor. Highway oriented industrial uses are not preferred or desired. Rezoning the parcel to GB will require future commercial projects to comply with non-residential design standards of the ordinance to establish higher quality development. These design standards are in place to enhance the appearance of development along major arterial streets. If the property remains LI, the non-residential design features will not be required for future development; only façade appearance standards would be applicable to the LI property. The rezoning request allows for future compatible commercial development of the property.

If this rezoning request is approved, the applicants have indicated that they will submit a building permit application to construct a single-family dwelling toward the rear of the property. Staff does have concerns with compatibility of a residential dwelling adjacent to LI zoned property; however, GB zoning adjacent to LI zoning is more compatible than residential zoning adjacent to LI zoning. A rezoning request to Single Family Mainland (SFM) is not a good option for this property because it would create a situation of a SFM parcel surrounded by GB and LI properties.

The UDO allows residential uses in the GB zoning district which is a major difference between GB and LI zoning. Single-Family Dwellings, Upper Story Dwellings, Live/Work, Class A & B manufactured homes, Dormitories, Family Care Homes and Rooming or Boarding Houses are residential uses that are permitted in the GB zoning district. Although residential uses are permitted in the GB zoning district, the GB district is not considered a residential zoning district and does not offer the same protections for residents as residential zoning. Residential zoning districts provide the most protection for residential uses; nonresidential uses adjacent to residential zoning require increased buffering and community compatibility standards. The GB zoning district is intended to accommodate small to medium-sized commercial, office, personal service, and institutional uses that provide goods and services to county residents and visitors.

A dwelling in the GB zoning district does not get the same protection from potentially incompatible uses as a dwelling in a residential district. The community compatibility standards of the UDO are intended to provide a proper transition and ensure compatibility between single-family detached development and other more intense development. Community compatibility standards do not apply to non-residential uses adjacent to a dwelling located on property zoned GB.

The existence of a dwelling on property adjacent to LI zoning may require additional setbacks for certain LI uses; for example, the UDO requires a tattoo parlor to be setback at least 500' from a residential use and landfills must be setback at least 300' from a residential use

Many commercial uses are permitted in both GB and LI zoning districts; however, certain uses are permitted in GB and not permitted in LI and vice versa. Uses that are permitted in LI but not in GB tend to have more compatibility issues and other off-site impacts (including traffic, noise and odor) especially on adjacent residential uses. A use comparison is included at the end of this report.

#### Community Meeting

A community meeting was held on October 20, 2020. The applicants, their family, and planning staff were in attendance. There were no other members of the community present; however, the applicants did share correspondence that was received from neighboring property owners (included in the agenda packet).

The UDO does not require a community meeting for zoning map amendments that establish a less intense base zoning district; the community meeting was not required for this request. UDO

In North Carolina, it is illegal to impose conditions on rezonings to conventional zoning districts; therefore, this conventional zoning map amendment is a legislative decision of the Board of Commissioners and is not controlled by any one factor.

SURROUNDING PARCELS		
	ZONING	
North	VACANT/WOODED AREA	GB
South	WEEPING RADISH BREWERY, BUTCHERY & CHARCUTERIE (RESTAURANT & BREWERY)	LI
EAST	Convenience Center, Farmland & Wooded Area (Across Caratoke Highway)	GB & AG
WEST	VACANT/AGRICULTURAL	LI

#### LAND USE PLAN THE 2006 LAND USE PLAN (LUP) CLASSIFIES THIS SITE AS FULL SERVICE WITHIN THE GRANDY SUBAREA. THE POLICY EMPHASIS OF THE PLAN IS TO ALLOW GRANDY TO EVOLVE AS A COMMUNITY CENTER. IT IS ESSENTIAL THAT NON-RESIDENTIAL USES IN FULL-SERVICE AREAS PRESERVE EXISTING COMMUNITY CHARACTER. THE PROPOSED ZONING MAP AMENDMENT REQUEST IS CONSISTENT WITH THE POLICIES OF THE PLAN, INCLUDING: POLICY CD4 HIGHWAY ORIENTED COMMERCIAL USES should be clustered along segments of highways and contain land uses which are mutually compatible and reinforcing in use and design; they should be designed in such a way as to minimize signage, access points, and to prevent unsightly, dysfunctional STRIP DEVELOPMENT. (See esp., Policy CD9 below concerning connected parking areas.)

POLICY ML 4	Currituck County recognizes that the appearance and traffic moving function of the NC 168/ US 158 CORRIDOR is of exceptional importance to both the near-term quality of life and long-term economic prospects for residents and property owners in the Mainland Area. The Transportation and Community Appearance policy sections of this plan shall be implemented to give priority to this issue.
Policy HN9	Proposed residential development that would expose residents to the harmful effects of INCOMPATIBLE LAND USES or to ENVIRONMENTAL HAZARDS shall be prohibited. This would include, for example, residential development in locations adversely impacted by proximity to the airport or to activities involving excessive noise, light, odors, dust, fertilizers, and insecticides (e.g. certain farm operations, mining activities, etc.).
POLICY TR6	HIGHWAY 158/168 shall receive special attention concerning the proper development of land and properties adjoining and/or accessing this critical arterial.

A ZONING MAP AMENDMENT IS A LEGISLATIVE DECISION OF THE BOARD OF COMMISSIONERS. IN DETERMINING WHETHER TO APPROVE OR DENY A ZONING MAP AMENDMENT THE BOARD OF COMMISSIONERS SHALL ADOPT A WRITTEN STATEMENT OF CONSISTENCY AND REASONABLENESS.

This zoning map amendment request is consistent with the Land Use Plan classifications and policies stated above and it is reasonable and in the public interest because:

- IT IS CONSISTENT WITH THE GOALS, OBJECTIVES, AND POLICIES OF THE LAND USE PLAN, OTHER APPLICABLE COUNTY-ADOPTED PLANS, AND THE PURPOSES OF THIS ORDINANCE;
  - THE REQUEST WILL RESULT IN FUTURE NON-RESIDENTIAL USES THAT MEET HIGHER QUALITY DESIGN STANDARDS ALONG CARATOKE HIGHWAY, THE COUNTY'S MOST IMPORTANT MAJOR ARTERIAL STREET.
  - THE REQUEST WILL REDUCE THE POTENTIAL FOR NON-COMPATIBLE, HIGHWAY-ORIENTED INDUSTRIAL USES.
- IT IS COMPATIBLE WITH EXISTING AND PROPOSED USES SURROUNDING THE LAND SUBJECT TO THE APPLICATION, AND IS THE APPROPRIATE ZONING DISTRICT AND USES FOR THE LAND;
  - THE REQUEST, A DOWNZONING FROM LI TO GB, IS COMPATIBLE WITH EXISTING AND PROPOSED USES. EXISTING USES ADJACENT TO THE PROPERTY INCLUDE A RESTAURANT, BREWERY ZONED LI AND VACANT PROPERTY ZONED GB AND LI.

#### RECOMMENDATION

#### **PLANNING STAFF**

Staff supports the proposed zoning map amendment of approximately 7.5 acres from LI to GB.

RECOMMENDATION

PLANNING BOARD

THE PLANNING BOARD, ON DECEMBER 8, 2020, RECOMMENDED APPROVAL OF THE PROPOSED ZONING MAP AMENDMENT FROM LI TO GB.

MR. BASS MOVED TO APPROVE PB 20-21 BECAUSE THE REQUEST IS CONSISTENT WITH LAND USE PLAN POLICIES INCLUDING:

POLICY CD4 POLICY ML4 POLICY TR6

AND THE REQUEST IS REASONABLE AND IN THE PUBLIC INTEREST BECAUSE:

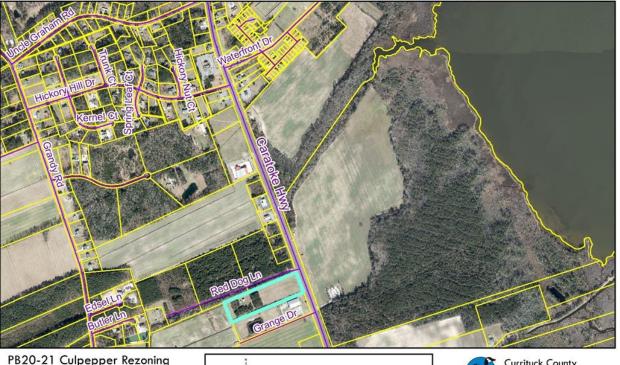
• THE REQUEST WILL RESULT IN FUTURE NON-RESIDENTIAL USES THAT MEET HIGHER QUALITY DESIGN STANDARDS ALONG CARATOKE HIGHWAY, THE COUNTY'S MOST IMPORTANT MAJOR ARTERIAL STREET.

• THE REQUEST WILL REDUCE THE POTENTIAL FOR NON-COMPATIBLE, HIGHWAY-ORIENTED INDUSTRIAL USES.

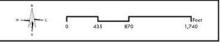
		USE COMPARISON					
	ential Uses both GB and LI	Non-Residential Uses allowed in GB not LI	Non-Residential Uses allowed in LI not GB				
Agriculture/H	lorticulture	Agribusiness	Animal Husbandry				
Equestrian F	acility	Roadside market	Agricultural Processing				
Farmer's Ma	irket	Medical Treatment	Psychiatric Treatment				
Nursery, pro	duction	Facility	Facility				
Agricultural I	Research Facility	Assisted Living Facility	Cemetery, columbaria,				
Distribution h	nub for	Auditorium, Conference,	mausoleum				
agricultural a	and agronomic	and convention center	Correctional Facility				
products		Nursing Home	Police, fire or EMS facility				
Farm machir	nery sales,	Arboretum or botanical	Auction House				
rental, and s	ervice	garden	Large Brewery				
Silviculture		Community Garden	Distillery				
	r trade school	Passenger Terminal,	Flea Market				
Government	facilities and	surface transportation	Tattoo parlor/body piercing				
offices		Animal Shelter	establishment				
Blood/tissue	collection facility	Dinner Theater	Winery				
Drug or alco	hol treatment	Offices, Professional	Aircraft parts, sales,				
facility		Services	maintenance				
Hospital		Theater	Automotive Wrecker Service				
Club or Lodg	ge	Arena, Amphitheater or	Extractive Industry				
Halfway hou		Stadium	Fuel oil/bottled gas				
Religious ins		Athletic Facility	distributor				
Park, public	or private	Golf Driving Range	General industrial service				
Airport		Outdoor Tour Operator	and repair				
	anding Facility	Outdoor Tour Operator,	Heavy equipment sales,				
Telecommur	nications Tower	Aviation	rental and service				
Utilities, maj		Outdoor Recreation	Laundry, dry cleaning, and				
Animal groor	ming	Bar, nightclub or cocktail	carpet cleaning plants				
Kennel		lounge	Manufactured home and pre-				
Veterinary cl	linic	Drug Store or Pharmacy	fab building sales				
Restaurant		Entertainment	Cold Storage Plant				
Specialty Ea	ting	Establishment	Outdoor Storage as principal				

VICE CHAIRMAN OWENS SECONDED THE MOTION AND THE MOTION CARRIED UNANIMOUSLY 5-0.

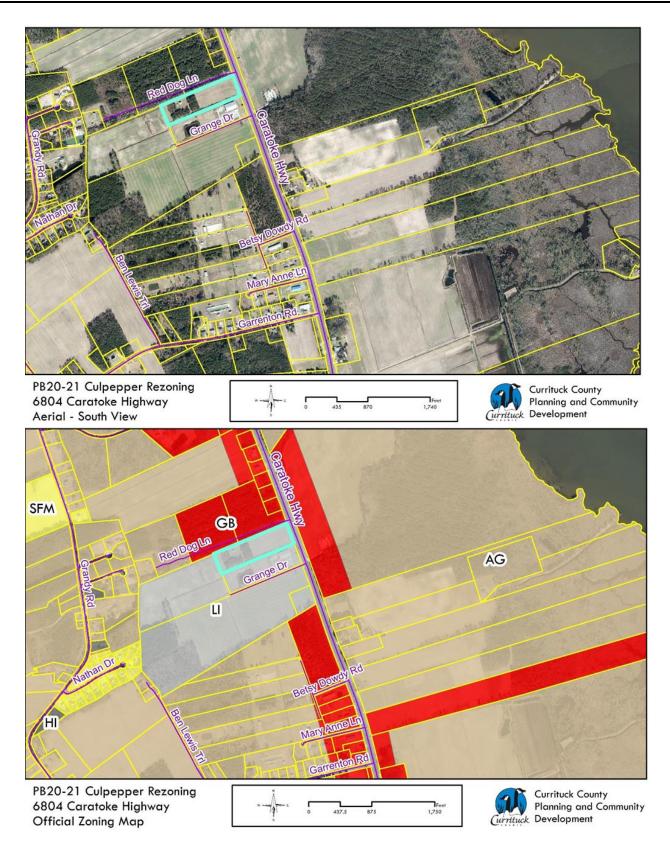
	USE COMPARISON	
Establishment Offices, Businesses & Sales Parking lot Fitness center Indoor recreation Marinas Artisan Food and Beverage Producer Convenience store Laundromat Pawn shop Personal services establishment Repair establishment Boat & Marine rental, sales and service Automotive parts and installation Automobile repair and service (including painting/bodywork) Automobile sales or rentals Car wash or auto detailing Contractor Service Crabshedding Research and development Public convenience center/transfer station	Financial Institution Funeral Home Grocery Store Retail Sales Establishments Shopping Center Taxicab Service Bed & Breakfast Inn Hotel or Motel Hunting Lodge	use Self-service storage Truck or Freight Terminal Warehouse (distribution & storage) Landfill Recycling center, transfer Waste composting Wholesale sales

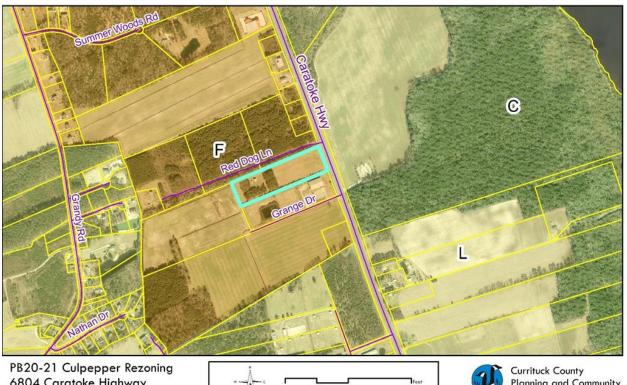


PB20-21 Culpepper Rezoning 6804 Caratoke Highway Aerial - North View



Currituck County Planning and Community Currituck Development





6804 Caratoke Highway Land Use Plan Classifcation

Fee



Planning and Community

Planner, Jennie Turner, reviewed the rezoning request with the Board of Commissioners. An overhead was used to show a map of the parcel location with surrounding zoning and Ms. Turner reviewed correspondence received from neighboring property land uses. owners relative to the request and presented policies in support of staff and Planning Board recommendations for approval of the request. Staff did express concerns with building a residential dwelling surrounded by an industrial zoned area.

Applicants, Nigel and Sarah Culpepper, addressed the Board. The Culpeppers said they were married on the property, have maintained it for fifteen years, and wish to build a house on the property. They said they were aware of possible impacts of the surrounding land uses, including the restaurant that operates next door.

Chairman Payment opened the Public Hearing. No one wished to speak and the Public Hearing was closed.

Commissioner Jarvis moved to approve PB 20-21: Nigel and Sarah Culpepper, because the request is consistent with Land Use Plan policies, including Policy CD4, Policy ML4, and Policy TR6. The request is reasonable and in the public interest because the request will result in future non-residential uses that meet higher quality design standards along Caratoke Highway, the county's most important major arterial street; the request will reduce the potential for non-compatible, highway-oriented industrial uses.

Chairman Payment seconded the motion. The motion carried, 7-0.

RESULT:	MOTION PASSED-ITEM APPROVED [UNANIMOUS]
MOVER:	Selina S. Jarvis, Commissioner
SECONDER:	Michael H. Payment, Chairman
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

#### B. PB 20-22 Pinnacle Storage - Conditional Rezoning:

Property Owner:	Applicant:
Pierce Hardy Ltd. Partnership c/o 84 Lur	mber Robert High Development, LLC
Co.	324 Greenville Ave.
1019 Rte. 519, Bldg	Wilmington, NC 28403
Eighty-Four, PA 15330	
Case Number: PB 20-22	Application Type: Conditional Rezoning
Parcel Identification Num	nber: Existing Use: Vacant
023000068J0000	
Land Use Plan Classification: Rural	Parcel Size (Acres): 10.48
Moyock Small Area Plan Classificat Limited Service Area Industrial Activity Ce	
<b>Current Zoning:</b> Conditional Heavy Indus (C-HI) 84 Lumber	strial Proposed Zoning: Conditional Heavy Industrial (C-HI) Self Service Storage
Request: Robert High Development, L	LC is requesting conditional rezoning of a 10.48 acre

parcel from C-HI (84 Lumber) to C-HI (Pinnacle) Self Service Storage

#### NARRATIVE

Robert High Development, LLC is requesting conditional rezoning of a 10.48 acre parcel from C-HI (84 Lumber) to C-HI (Pinnacle Storage) Self-Service Storage. In 2015, the subject parcel was granted conditional rezoning to allow 84 Lumber to conduct a lumber warehousing use with a retail component. The 84 Lumber project never materialized and the property has remained vacant.

According to historical zoning maps, the subject property has been zoned for industrial use since at least 1970. It is located in front of Wind Chaser Industrial area. There are currently several nearby industrial uses including a concrete plant, a precast concrete facility, and a recycling business. The properties to the north and south are split zoned with General Business near Caratoke Highway and Heavy Industrial in the rear. The property to the north is proposing a self-service storage use on the Heavy Industrial portion while the front will remain General Business.

The site is appropriate for the proposed use because it is surrounded by industrial uses and industrially zoned properties. The applicant is addressing concerns about the proximity to Caratoke Highway by proposing the conditions of approval listed below.

The applicant is proposing to phase the project with the front buildings being constructed first, and the buildings in the rear being constructed according to demand.

#### COMMUNITY MEETING

Mark Bissell presented a summary of the land, setting and the approval process, along with a presentation of the development plan. The development plan included the, site plan, preliminary architectural plan, stormwater, and landscaping general plan. Community comments were received and were addressed as shown below. There were also informal discussions around the renderings that had been provided for review, and then the meeting was adjourned.

- 1. **Concerns about drainage –** Ponds will be designed to store and slow release stormwater.
- 2. **Concerns about landscaping –** Committing to provide 140% of streetscaping required by UDO.
- 3. **How will it be phased** The front 3 buildings will be constructed first. The schedule for the remaining buildings will be based on market conditions.

#### CONDITIONS OF APPROVAL

- 1. 20% WINDOWS ON HIGHWAY FRONTAGE SIDE OF BUILDING(S)
- 2. FINISHED FRONT FAÇADE (BRICK, STUCCO, OR SIMILAR FINISH)
- 3. 140% OF REQUIRED STREETSCAPING, ALLOWED TO BE CLUSTERED TO PROVIDE VISIBILITY FROM 168.

SURROUNDING PARCELS		
	LAND USE	Zoning
North	VACANT	Agricultural (Across Highway)
South	CONCRETE PLANT	HEAVY INDUSTRIAL
EAST	VACANT	HEAVY INDUSTRIAL/GB
WEST	VACANT	HEAVY INDUSTRIAL/GB

LAND USE	E PLAN								
THE POLICY	AND USE PLAN CLASSIFIES THIS SITE AS LIMITED SERVICE WITHIN THE MOYOCK SUBAREA. ( EMPHASIS FOR THE MOYOCK SUBAREA IS PROPERLY MANAGED. THE PROPOSED PLAN IS								
CONSISTENT WITH THE POLICIES OF THE PLAN, SOME OF WHICH ARE: WAREHOUSING, STORAGE AND DISTRIBUTION FACILITIES SHALL HAVE ACCESS									
POLICY	TO THOROUGHFARES OF ADEQUATE TRAFFIC CARRYING CAPACITY, AND SHALL BE								
ID 5	APPROPRIATELY DESIGNED AND/OR VISUALLY BUFFERED ACCORDING TO THE VISIBILITY OF THEIR LOCATION.								
	INDUSTRIAL USES SHOULD NOT BE LOCATED IN AREAS THAT WOULD DIMINISH THE								
POLICY	DESIRABILITY OF EXISTING AND PLANNED NON-INDUSTRIAL DEVELOPMENTS, NOR								
ID 2	SHALL INCOMPATIBLE NONINDUSTRIAL USES BE ALLOWED TO ENCROACH UPON EXISTING OR PLANNED INDUSTRIAL SITES.								
	LANDSCAPE IMPROVEMENTS AT EXISTING AND NEW COMMERCIAL								
POLICY	DEVELOPMENTS, PARTICULARLY AS RELATED TO BREAKING UP AND SOFTENING THE								
CA 3	APPEARANCE OF EXPANSIVE PARKING AREAS, AND ABSORBING STORM WATER RUNOFF, SHALL BE REQUIRED.								
	TO DIVERSIFY THE LOCAL ECONOMY AND BROADEN THE LOCAL TAX BASE, THE COUNTY								
Daviavi	SHALL ENCOURAGE A PUBLIC SERVICE AND REGULATORY ENVIRONMENT CONDUCIVE TO								
POLICY ID1	COMPATIBLE INDUSTRIAL DEVELOPMENT. "COMPATIBLE" SHALL BE DEFINED AS,								
וטו	AMONG OTHER THINGS, INDUSTRIES THAT DO NOT ADVERSELY IMPACT THE ENVIRONMENTAL QUALITY OF THE AREA, OR OVERBURDEN THE LOCAL								
	INFRASTRUCTURE.								

	NEW AND EXPANDING INDUSTRIES AND BUSINESSES SHOULD BE ESPECIALLY
POLICY	ENCOURAGED THAT: 1) DIVERSIFY THE LOCAL ECONOMY, 2) TRAIN AND UTILIZE A MORE
ED1	HIGHLY SKILLED LABOR FORCE, AND $(3)$ ARE COMPATIBLE WITH THE ENVIRONMENTAL
	QUALITY AND NATURAL AMENITY BASED ECONOMY OF CURRITUCK COUNTY.

#### MOYOCK SMALL AREA PLAN

	CK SMALL AREA PLAN CLASSIFIES THIS SITE AS A LIMITED SERVICE INDUSTRIAL ACTIVITY THE PROPOSED PLAN IS CONSISTENT WITH THE POLICIES OF THE PLAN, SOME OF WHICH
POLICY BI	ACTIVELY MARKET MOYOCK AS AN EMERGING GROWTH AREA (VIRTUAL MICROPOLITAN)
2	TO ENCOURAGE TARGETED RETAIL AND SERVICE DEVELOPMENT.

#### TECHNICAL REVIEW COMMITTEE

THE TECHNICAL REVIEW COMMITTEE RECOMMENDS APPROVAL OF THE CONDITIONAL REZONING SUBJECT TO THE FOLLOWING CONDITIONS:

- 1. 20% WINDOWS ON HIGHWAY FRONTAGE SIDE OF BUILDING(S)
- 2. FINISHED FRONT FAÇADE (BRICK, STUCCO, OR SIMILAR FINISH)
- 3. 140% OF REQUIRED STREETSCAPING, ALLOWED TO BE CLUSTERED TO PROVIDE VISIBILITY FROM 168.
- 4. A MAJOR SITE PLAN APPLICATION SHALL BE SUBMITTED TO ENSURE FULL COMPLIANCE WITH THE UDO AND THE CONDITIONS OF APPROVAL.

#### PLANNING BOARD

The Planning Board, on December 8, 2020, recommended approval for the conditional rezoning with the agreed upon conditions.

Vice Chairman Owens moved to approve PB 20-22, with agreed upon conditions, because the request is consistent with Land Use Plan policies:

- ID1
- ID2
- ID5
- CA3
- ED1

And the request is reasonable and in the public interest because:

It provides a needed service for the growing residential development in Moyock. Mr. Doll seconded the motion and the motion carried unanimously 5-0.

A CONDITIONAL ZONING IS A LEGISLATIVE DECISION OF THE BOARD OF COMMISSIONERS. IN DETERMINING WHETHER TO APPROVE OR DENY A CONDITIONAL REZONING THE BOARD OF COMMISSIONERS SHALL ADOPT A WRITTEN STATEMENT OF CONSISTENCY AND REASONABLENESS.

This conditional zoning request Is consistent with the goals, objectives, and policies of the Land Use Plan, other applicable county-adopted plans, and the purposes of this Ordinance; Is compatible with existing and proposed uses surrounding the land subject to the application, and is the appropriate zoning district and uses for the land; and addresses a demonstrated community need.

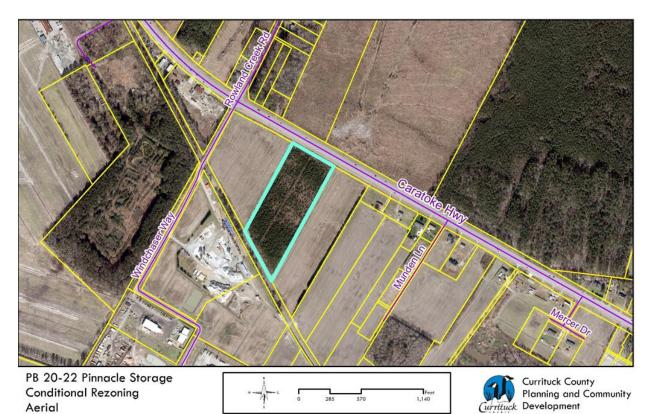
It is reasonable and in the public interest because provides a needed service for the growing residential development in Moyock.

#### **CONDITIONS OF APPROVAL**

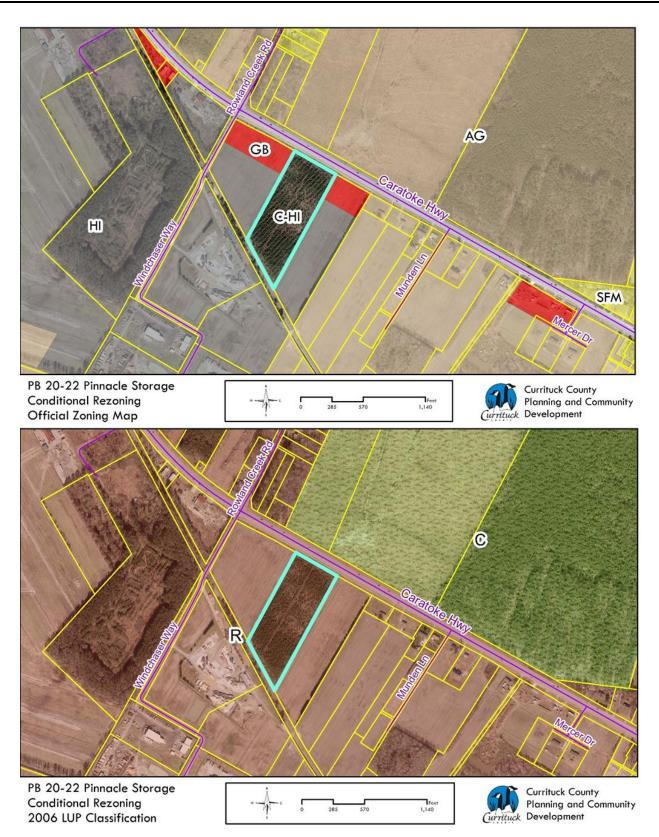
ONLY CONDITIONS MUTUALLY AGREED TO BY THE OWNER(S) MAY BE APPROVED AS PART OF A CONDITIONAL ZONING DISTRICT. CONDITIONS SHALL BE LIMITED TO THOSE THAT ADDRESS CONFORMANCE OF DEVELOPMENT AND USE OF THE SITE WITH COUNTY REGULATIONS AND ADOPTED PLANS AND THAT ADDRESS THE IMPACTS REASONABLY EXPECTED TO BE GENERATED BY THE DEVELOPMENT OR USE. NO CONDITION SHALL BE LESS RESTRICTIVE THAN THE STANDARDS OF THE PARALLEL GENERAL USE ZONING DISTRICT.

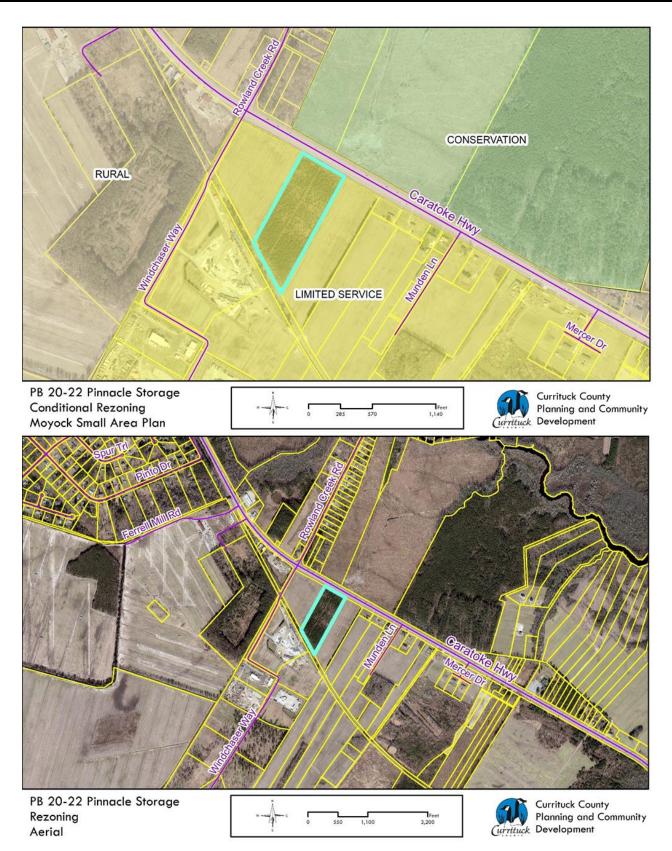
Agreed upon conditions of approval:

- 1. 20% WINDOWS ON HIGHWAY FRONTAGE SIDE OF BUILDING(S)
- 2. FINISHED FRONT FAÇADE (BRICK, STUCCO, OR SIMILAR FINISH)
- 3. 140% OF REQUIRED STREETSCAPING, ALLOWED TO BE CLUSTERED TO PROVIDE VISIBILITY FROM 168.
- 4. A MAJOR SITE PLAN APPLICATION SHALL BE SUBMITTED TO ENSURE FULL COMPLIANCE WITH THE UDO AND THE CONDITIONS OF APPROVAL.



Packet Pg. 226





Planner, Jason Litteral, reviewed the rezoning application with the Board of Commissioners. Overhead displays showed current zoning at the location and surrounding zoning that include industrial uses compatible with the request. The site plan was reviewed, and Mr. Litteral reported the applicant has agreed to increase the screening above what the County Unified Development Ordinance requires. Building design and the phasing plan were presented. Land Use Plan policies supporting both staff and Planning Board recommendations for approval were presented, as were staff recommended conditions.

Mr. Litteral responded to questions during and after presentation and clarified several items included in the site plan related to building elevations and stormwater. Concerns with vehicle access to the facility were discussed.

David Klebitz, Engineer for the applicant, provided further clarification in response to questions posed by Commissioners, and said the submittal is a conceptual development plan, and final design will include transportation and stormwater plans. Stormwater pond areas were reviewed. Setbacks, landscape plan, and building elevations and facade were discussed. He said the applicant is willing to accept a 140% screening, which was required for approval when the site was previously rezoned for 84 Lumber.

Commissioners voiced concern with traffic flow from the highway and asked if it would be possible to set the site back 250 feet and allow the General Business zoning at the front to remain. Mr. Klebitz said it may be possible but would need to be looked at.

Applicant, Robert High, addressed Commissioners. He said this type of facility handles approximately 35-40 trips per day, a light traffic flow, and not a lot of turnover. He reviewed several aspects of the site plan to respond to Board concerns and said the design and stormwater plan were similar to those submitted by 84 Lumber. Following discussion, Mr. High said he believes he could push the site back 50 feet and agreed to do so, resulting in the development beginning at a 200 foot setback off of the highway.

Chairman Payment opened the Public Hearing.

Luke Gallop, neighboring property owner south of the location, expressed concern with flooding that could result with changes to the existing drainage on the site.

No others were signed up nor wished to speak and the Public Hearing was closed.

Commissioner J. Owen Etheridge moved to approve PB 20-22: Pinnacle Storage Conditional Rezoning, with agreed upon conditions, to include a 140% street-scape screening requirement, moving the front building back 50 feet for a total of 200 feet instead of the 150 feet as proposed, and staff recommendations as listed. And, because the request is consistent with Land Use Plan policies ID1, ID2, ID5, CA3 and ED1; And the request is reasonable and in the public interest because it provides a needed service for the growing residential development in Moyock.

Commissioner McCord seconded. The motion carried, 7-0.

RESULT:	MOTION PASSED-ITEM APPROVED [UNANIMOUS]
MOVER:	J. Owen Etheridge, Commissioner
SECONDER:	Kevin E. McCord, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S.
	Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

#### C. PB 20-17 Currituck County:

To: Board of Commissioners

From: Planning Staff

Date: December 1, 2020

Subject: PB 20-17 Currituck County – 2020 Housekeeping Corrections

#### Request

The proposed text amendment submitted by Currituck County is to correct the Unified Development Ordinance (UDO), Chapter 4, Table 4.1.1.B. Summary Use Table - Planned Development Zoning Districts for the following uses:

- Agriculture Support and Services (Not Directly Related) Distribution Hub for Agricultural Products
- Utilities Large Wind Energy Facilities
- Recreation/Entertainment, Outdoor Aviation Outdoor Tour Operator

#### Background

The Summary Use Table (Table 4.1.1.B.) for Planned Developments was added to the UDO with the adoption of PB 19-25 Currituck County – Currituck Station June 15, 2020. The new Table 4.1.1.B. did not include three text amendments that were adopted by the Board of Commissioners during the time PB 19-25 was drafted, considered, and adopted. This text amendment incorporates the following adopted text amendments that included changes to use types in the Planned Development Zoning Districts:

- <u>PB 19-26 Nutrien Ag Solutions</u> adopted December 2, 2019
  - Amendment added agronomic uses as a permitted use to the distribution hub for agricultural products use type in the Summary Use Table
- PB 17-14 Currituck County adopted January 22, 2019
  - Amendment removed large wind energy facilities as a permitted use type from the Summary Use Table
- <u>PB 19-09 Bruce Weaver, Kitty Hawk Kites</u> adopted June 3, 2019
  - Amendment added aviation outdoor tour operator as a permitted use type in the Summary Use Table

#### Text Amendment Review Standards

The advisability of amending the text of the UDO is a matter committed to the legislative discretion of the Board of Commissioners and is not controlled by any one factor. In determining whether to adopt or deny the proposed text amendment, the Board of

Commissioners <u>may</u> weigh the relevance of and consider whether and the extent to which the proposed text amendment:

- 1. Is consistent with the goals, objectives, and policies of the Land Use Plan and other applicable county-adopted plans;
- 2. Is not in conflict with any provision of this Ordinance or the County Code of Ordinances;
- 3. Is required by changed conditions;
- 4. Addresses a demonstrated community need;
- 5. Is consistent with the purpose and intent of the zoning districts in this Ordinance, or would improve compatibility among uses and ensure efficient development within the county;
- 6. Would result in a logical and orderly development pattern; and
- 7. Would not result in significantly adverse impacts on the natural environment, including but not limited to water, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment.

#### Staff Recommendation

The proposed text amendment will amend language in the UDO that was previously adopted by the Board of Commissioners. The text amendment PB 19-25 Currituck County – Currituck Station adopted June 15, 2020 did not include the three previously approved amendments. Each of the three text amendments (PB 19-26, PB 17-14, and PB 19-09) included the adoption of a written statement of consistency and reasonableness that was specific to the amendment. The 2006 Land Use Plan does not directly address text amendments that are corrections to the ordinance.

Staff recommends approval of the request to amend the Summary Use Table (Table 4.1.1.B.) for Planned Developments that will incorporate the adopted language from PB 19-26 Nutrien Ag Solutions, PB 17-14 Currituck County, and PB 19-09 Bruce Weaver, Kitty Hawk Kites.

#### Planning Board Recommendation

The Planning Board recommended approval of the request to amend Table 4.1.1.B. as stated in this staff report at their meeting on November 10, 2020 with a 4-0 vote.

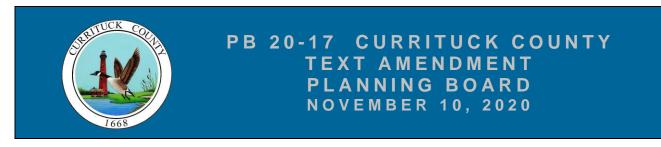
The requested text amendment is consistent with the goals, objectives, and policies of the 2006 Land Use Plan including:

- 1. POLICY ED1: NEW AND EXPANDING INDUSTRIES AND BUSINESSES should be especially encouraged that: 1) diversify the local economy, 2) train and utilize a more highly skilled labor force, and 3) are compatible with the environmental quality and natural amenity-based economy of Currituck County (PB 19-26 Nutrien Ag Solutions and PB 19-09 Bruce Weaver Kitty Hawk Kites).
- 2. POLICY ED4: In addition to the recruitment and expansion of major new industries, the considerable value of SMALL BUSINESS START-UPS, EXPANSIONS AND PIN-OFFS shall also be recognized. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
- 3. POLICY ID5: WAREHOUSING, STORAGE AND DISTRIBUTION facilities shall have access to thoroughfares of adequate traffic carrying capacity and shall be appropriately designed and/or visually buffered according to the visibility of their location. (PB 19-26 Nutrien Ag Solutions)
- 4. It removes a potential conflict between wind energy facilities and the operation of a nearby naval annex. (PB 17-14 Currituck County)
- 5. POLICY AG4: County growth management tools, including particularly zoning, should provide PROTECTION TO AGRICULTURE and other RESOUCE BASED ACTIVITIES

from incompatible land uses, such as a residential subdivision in the midst of generally uninterrupted farm land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)

The request is reasonable and in the public interest because:

- 1. The text amendment replaces language previously adopted by the Board of Commissioners that:
  - a. Is an existing and necessary support service for agriculture. (PB 19-26 Nutrien Ag Solutions)
  - b. May help preserve farm culture and promote farm and open space conservation through diversifying low impact uses of agricultural land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
  - c. Provides economic diversification and local economic development. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
  - d. Removes a potential conflict between wind energy facilities and the operation of an existing naval annex. (PB 17-14 Currituck County)



Currituck County requests an amendment to the Unified Development Ordinance, Chapter 4. Use Standards to correct Agricultural Support and Services, Wind Energy Facility, large, and Outdoor Tour Operators, Aviation in the summary use table for Planned Developments as adopted by the Board of Commissioners.

BE IT ORDAINED by the Board of Commissioners of the County of Currituck, North Carolina that the Unified Development Ordinance of the County of Currituck be amended as follows:

**Item 1:** That Chapter 4 is amended by deleting the following strikethrough language and adding the underlined language in Table 4.1.1.B.:

TABLE 4.1.1.B: SUMMARY USE TABLE														
Z = Zoning Compliance Permit; U = Use Permit; MP = Allowed with Master Plan; CZ= Allowed in a Conditional Zoning District blank cell = Prohibited														
					[0	<b>PL</b> VERLAY O		D DEVE						ES]
									S ZONI DISTRICT					
USE CATEGORY	Use Type	PD-R	M-04	0-0d		CENTER STATION	CHARTER	CROSSROADS	CYPRESS	JUNCTION	MOYOCKRUN	NEWTOWN	OAK TRAIL	Additi ONAL REQ. (4.2)
AGRICULTURAL USE CLASSIFICATION														

	TABL	E 4.1.	1.B:	SUM	M	ARY I	JSE	TABL	E					
	Z = Zoning Compliance			Use Pe		'			vith Ma ohibite		an;			
	CZ= Allowed in	a Cond	itional .	zoning	DIS			-		-			т	
	PLANNED DEVELOPMENT ZO													
									CS ZON		STRICT			
Use Category	Use Type	PD-R	M-O4	0-Q4		CENTER STATION	CHARTER	CROSSROADS	CYPRESS	JUNCTION	MOYOCK RUN	NEWTOWN	OAK TRAIL	Additi onal Req. (4.2)
Agricultural Support and Services (Not Directly Related)	Distribution hub for agricultural <u>and</u> agronomic products													1.C
	IN	STITU	ΓΙΟΝΑ	L USE	C	ASSIF	ΙCΑΤΙ	ON						
Utilities	Wind energy facility, large													<del>З.К</del>
	COMMERCIAL USE CLASSIFICATION													
Recreation/Entertainme nt, Outdoor	<u>Outdoor tour operator,</u> <u>Aviation</u>													<u>4.F.7</u>

#### Item 2: Staff suggested Statement of Consistency and Reasonableness:

The requested zoning text amendment is consistent with the 2006 Land Use Plan including:

- 1. POLICY ED1: NEW AND EXPANDING INDUSTRIES AND BUSINESSES should be especially encouraged that: 1) diversify the local economy, 2) train and utilize a more highly skilled labor force, and 3) are compatible with the environmental quality and natural amenity-based economy of Currituck County (PB 19-26 Nutrien Ag Solutions and PB 19-09 Bruce Weaver Kitty Hawk Kites).
- 2. POLICY ED4: In addition to the recruitment and expansion of major new industries, the considerable value of SMALL BUSINESS START-UPS, EXPANSIONS AND PIN-OFFS shall also be recognized. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
- POLICY ID5: WAREHOUSING, STORAGE AND DISTRIBUTION facilities shall have access to thoroughfares of adequate traffic carrying capacity and shall be appropriately designed and/or visually buffered according to the visibility of their location. (PB 19-26 Nutrien Ag Solutions)
- 4. It removes a potential conflict between wind energy facilities and the operation of a nearby naval annex. (PB 17-14 Currituck County)
- POLICY AG4: County growth management tools, including particularly zoning, should provide PROTECTION TO AGRICULTURE and other RESOUCE BASED ACTIVITIES from incompatible land uses, such as a residential subdivision in the midst of generally uninterrupted farm land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)

The request is reasonable and in the public interest because:

- 1. The text amendment replaces language previously adopted by the Board of Commissioners that:
  - a. Is an existing and necessary support service for agriculture. (PB 19-26 Nutrien Ag Solutions)

- b. May help preserve farm culture and promote farm and open space conservation through diversifying low impact uses of agricultural land. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
- c. Provides economic diversification and local economic development. (PB 19-09 Bruce Weaver, Kitty Hawk Kites)
- d. Removes a potential conflict between wind energy facilities and the operation of an existing naval annex. (PB 17-14 Currituck County)

**Item 3:** The provisions of this Ordinance are severable and if any of its provisions or any sentence, clause, or paragraph or the application thereof to any person or circumstance shall be held unconstitutional or violative of the Laws of the State of North Carolina by any court of competent jurisdiction, the decision of such court shall not affect or impair any of the remaining provisions which can be given effect without the invalid provision or application.

Item 4: This ordinance amendment shall be in effect from and after the \_\_\_\_\_ day of \_\_\_\_\_ day of \_\_\_\_\_\_

Donna Voliva, Assistant Planning Director, reviewed the application for Commissioners. She said the amendment is for housekeeping purposes to correct the use table within Planned Development zoning districts, which arose following adoption of Currituck Station. Consistency statements and Land Use Plan policies to support approval of the request, as recommended by staff and the Planning Board, were presented.

Commissioners had no questions and Chairman Payment opened the Public Hearing. No one was signed up nor wished to speak and the Public Hearing was closed.

Commissioner Beaumont moved for approval of PB 20-17: Currituck County 2020 Housekeeping text amendment. Commissioner Jarvis seconded the motion. The motion carried, 7-0.

RESULT:	MOTION PASSED-ITEM APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Vice-Chairman
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S.
	Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

#### D. Public Hearing and Consideration of Resolution Authorizing Exchange of County Property for Property Owned by Penelope L. Lockhart and Conveyance of Access Easement Across County Property

County Attorney, Ike McRee, reviewed the Resolution that will provide for an equal exchange of approximately one half acre of property between the County and Penelope Lockhart, as well as grant an access easement. The properties are located in the Swan Beach Tract on the Corolla off-road area. Mr. McRee used the overhead and displayed the

site location and reviewed the survey to note the encroachment onto County property, the property exchange boundaries, and access easement. Mr. McRee reported the United States Fish and Wildlife Service would impose the covenants and restrictions on the property the County receives from Ms. Lockhart, but has agreed to release the portion of the property the County is conveying from covenants and restrictions.

Chairman Payment opened the Public Hearing. No one was signed up nor wished to speak and the Public Hearing was closed.

Commissioner White moved to approve the Resolution Authorizing the Exchange of County Property. The motion was seconded by Commissioner Mary Etheridge. The motion carried, 7-0.

#### RESOLUTION OF THE CURRITUCK COUNTY BOARD OF COMMISSIONERS AUTHORIZING EXCHANGE OF PROPERTY WITH PENELOPE L. LOCKHART AND CONVEYANCE OF EASEMENT ACROSS COUNTY PROPERTY TO THE LOCKHART PROPERTY

WHEREAS, Currituck County owns a tract of land now or formerly known as Tract 10JXL Currituck National Wildlife Refuge, Fruitville Beach with Parcel Identification Number 0100000001B0000; and

WHEREAS, Penelope L. Lockhart is the owner of land located within the county's property at 1780 Ocean Pearl Road with Parcel Identification Number 010000000000000; and

WHEREAS, a recent survey of the Lockhart property revealed that a structure located on the Lockhart property encroaches on the county's property and an accessway to the Lockhart property across the county's property previously permitted by United States Fish and Wildlife Service, the county's predecessor in title, has not been specifically delineated; and

WHEREAS, Currituck County and Penelope L. Lockhart desire to make an exchange of real property to resolve the Lockhart structural encroachment into county property by Currituck County's conveyance of 0.50 acres, more or less, of its property described in this resolution for 0.50 acres of Penelope L. Lockhart's property, more or less, described in this resolution and to delineate the easement across the county's property for access to the Lockhart property; and

WHEREAS, United States Fish and Wildlife Service has agreed to release the restrictive covenants from the property the county will convey to Penelope L. Lockhart upon imposition of the same restrictive covenants on the property the county receives from Penelope L. Lockhart; and

WHEREAS, N.C. Gen. Stat. §160A-271 authorizes Currituck County to make the exchange or property if authorized by its Board of Commissioners by a resolution adopted at a regular meeting of the board upon at least ten days' public notice and N.C.

Gen. Stat. §160A-273 authorizes Currituck County to grant an easement over, through, under or across any county property; and

WHEREAS, Currituck County has given the required public notice and conducted the required public hearing, and the Board of Commissioners has considered this resolution while convened in a regular meeting.

NOW, THEREFORE, BE IT RESOLVED by the Currituck County Board of Commissioners that:

Section 1. The exchange of Currituck County property for that property of Penelope L. Lockhart, and county conveyance of an easement to Penelope L. Lockhart, as shown on that plat entitled in part "Survey for Stanley Zuba & Lynn Zuba, A Parcel of Land in Carova, D.B. 1121, Pg. 762, Fruitville Beach Township, Currituck County, North Carolina" dated July 25, 2020 and prepared by Eastern Geomatics, PLLC is authorized.

Section 2. The appropriate Currituck County officials are directed to execute instruments necessary to carry out the exchange and conveyance of easement authorized by this resolution.

Section 3. This resolution is effective upon its adoption.

ADOPTED the 4th day of January, 2021.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Mary "Kitty" Etheridge, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S.
	Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

#### **NEW BUSINESS**

# A. Consideration of Approval of Budget Amendments to increase capital requests back to the initially recommended budget

Ike McRee, County Attorney, reviewed the proposed budget amendment which would return funding for a number of capital projects to the County budget. The items had been removed from the budget in early 2020 due to uncertainty with the County's revenue stream during the Covid-19 pandemic.

Commissioner J. Owen Etheridge moved for approval. The motion was seconded by Commissioner White. The motion carried, 7-0.

		Debit	Credit
		Decrease Revenue or	Increase Revenue or
Account Number	Account Description	Increase Expense	Decrease Expense
10441-590000	Capital Outlay		
10460-590000	Capital Outlay	\$ 80,000	
10461-590000	Capital Outlay	-	
10490-590000	Capital Outlay	-	
10510-545000	Contract Services	-	
10510-590000	Capital Outlay	417,045	
10511-590000	Capital Outlay	77,950	
10512-590000	Capital Outlay	43,000	
10530-590000	Capital Outlay	285,000	
10531-590000	Capital Outlay	-	
10540-590000	Capital Outlay	38,000	
10541-590000	Capital Outlay	20,350	
10550-590000	Capital Outlay	17,500	
10550-592000	Capital Outlay	-	
10640-590000	Capital Outlay	26,000	
10750-590000	Capital Outlay	60,000	
10795-590000	Capital Outlay	40,000	
10795-592000	Recreation Projects	187,500	
10796-590000	Capital Outlay	115,000	
10380-484001	Insurance Recovery		2,671
10390-495015	T F - Occupancy Tax Fund		115,000
10390-495042	T F - Transfer Tax Capital Fund		1,289,674
42450-587010	T T - Operating Fund	1,289,674	
42320-414000	Transfer Tax Revenue		1,289,674
		¢ 2.607.010	¢ 2.607.040
		\$ 2,697,019	\$ 2,697,019
Explanation:	Various Departments - To increase of		
	the original budget appropriations du pandemic. Please see attachment for	•	•
			· · · · · · · ·
		• • • • • • • • •	
Net Budget Effe	ct: Operating Fund (10) - Increased to Transfer Tax Capital Fund (42) - I	oy \$1,271,691.	

RESULT:	APPROVED [UNANIMOUS]
MOVER:	J. Owen Etheridge, Commissioner
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

# B. Consideration of Approval of a Budget Amendment to use Elections CARES funding to provide a bonus for full-time elections staff.

Ike McRee, County Attorney, presented the budget amendment that would provide a onetime bonus for Elections employees. The funds were provided through the CARES Act to local Board of Elections for their utilization. He said the North Carolina State Board of Elections authorized the funds to be used in this manner and in their opinion, requests should be approved by Boards of Commissioners as an administrative act based on the relationship between county leadership and County Boards of Elections.

Commissioner White moved for approval of the budget amendment. Commissioner Jarvis seconded the motion. The motion carried, 7-0.

				D	ebit	C	credit
				Decrease	Revenue or	Increase	Revenue or
Account Number		Account Description		Increase	Expense	Decreas	se Expense
200430-502100		Salaries - Overtime		\$	4,855		
200430-503430		Poll Workers				\$	1,011
200430-505000		FICA					247
200430-507000		Retirement Expense			772		
200430-532000		Supplies					4,369
				\$	5,627	\$	5,627
Explanation:	of	ections CARES Grant overtime for the Electic Elections.	•	,	•	•	
Net Budget Effe	ct:	CARES Fund (200) -	No	change.			

Packet Pg. 238

Januar	°y 4,	202

APPROVED [UNANIMOUS]
Bob White, Commissioner
Selina S. Jarvis, Commissioner
Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S.
Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
Commissioner

#### C) Board Appointments

#### 1. Commissioner Appointment to Serve on the ABC Board

Chairman Payment announced he will be leaving the ABC Board to dedicate more time to Chairman duties and nominated Commissioner Mary Etheridge to serve as Commissioner on the ABC Board. Commissioner White seconded and Commissioner Mary Etheridge's nomination was approved, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Michael H. Payment, Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J.
	Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner,
	Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob
	White, Commissioner

#### 2. Amended Item-Commissioner Appointment to Albemarle Regional Planning Organization-Alternate

Chairman Payment nominated Commissioner J. Owen Etheridge to serve as Alternate on the Albemarle Regional Planning Organization, replacing Commissioner Jarvis. Commissioner Jarvis seconded and Commissioner J. Owen Etheridge's nomination was approved, 7-0.

RESULT: MOVER: SECONDER: AYES:	APPROVED [UNANIMOUS] Michael H. Payment, Chairman Selina S. Jarvis, Commissioner Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner,
	Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob
	White, Commissioner

#### Motion to approve nominees for reappointment to Advisory Boards

Commissioner White thanked all who serve on citizen advisory boards and encouraged others to apply. A list of nominees eligible for reappointment to continue their service on

the Board of Adjustment, Library Board of Trustees, Recreation Advisory, Tourism Advisory and Veterans Advisory were submitted by Commissioner White.

Commissioner Mary Etheridge moved for approval of all nominees submitted for reappointment. Commissioner Jarvis seconded the motion. The nominees were unanimously approved, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Mary "Kitty" Etheridge, Commissioner
SECONDER:	Selina S. Jarvis, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

#### 3. Board of Adjustment

Board of Adjustment members nominated for reappointment and approved:

Cathy Bontemps-1st full term expiring December 31, 2023 Carol Bell-1st full term expiring December 31, 2023 Troy Breathwaite-Second full term expiring December 31, 2023

#### 4. Library Board of Trustees

Mike Fost was nominated for reappointment and approved to serve a full term expiring June 30, 2022.

#### 5. Recreation Advisory

The following members were nominated and approved for reappointment to the Recreation Advisory:

Ryan Hodges-3rd full term expiring January, 2022 Ted Jagucki-1st full term expiring January, 2023 Mike Fost-2nd full term expiring January, 2023 Peter Aitken-3rd full term expiring January, 2022 Charles Pickell-1st full term expiring January, 2022 Mike Lane-2nd full term expiring January, 2023

#### 6. Tourism Advisory

Sharon Price was nominated and approved for reappointment to serve a 2nd full term on the Tourism Advisory Board, expiring November, 2022.

#### Motion to appoint new member to the Tourism Advisory Board

Commissioner Mary Etheridge nominated Daryl Harlow to fill an unexpired term on the Tourism Advisory Board through November, 2022. Commissioner White seconded and the nominee was approved, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Mary "Kitty" Etheridge, Commissioner
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J.
	Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner,
	Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob
	White, Commissioner

#### 7. Veterans Advisory Board

The following members were nominated and approved for reappointment to the Veterans Advisory:

John McColley-1st full term expiring August, 2022 Arron Sterlin-1st full term expiring August, 2022 Michael Shea-1st full term expiring August, 2022 Steve Shawgo-1st full term expiring August, 2022

#### Motion to appoint new member to the Veterans Advisory Board

Commissioner Mary Etheridge nominated Katherine Worthing to fill an unexpired term ending August, 2021, on the Veterans Advisory Board. Chairman Payment moved for approval of the nominee and Commissioner White seconded the motion. The nominee was approved, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Michael H. Payment, Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J.
	Owen Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner,
	Selina S. Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob
	White, Commissioner

#### D) Consent Agenda

Commissioner White moved for approval of the Consent Agenda. The motion was seconded by Commissioner McCord. The motion passed, 7-0.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Kevin E. McCord, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S.
	Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

#### 1. Budget Amendments

					Debit		Credit
	$\vdash$			Decre	ase Revenue or	Increa	ase Revenue or
Account Number		Account Description			ease Expense		ease Expense
57330-449900		Miscellaneous Grants		\$	640,000		
57360-471000		Tap & Connection Fees			567,476		
57390-490000		Proceeds from Debt Issuance			2,700,000		
57390-495040		T F - Capital Improvements Fund			555,925		
57390-495043		T F - Land Banking Fund			691,591		
57390-495062		T F - Newtown Road Sewer Fund			91,880		
57878-587067		T T - Moyock Central Sewer Opera	tions			\$	50,000
57878-590000		Capital Outlay					686,414
57878-594500		Contract Services					3,889,627
57878-596100		Professional Services					539,203
57878-597000		Reimburseable Expenses					81,628
				\$	5,246,872	\$	5,246,872
Explanation:	the	inland Sewer Construction Fund (57 Mainland (Moyock) Sewer constru ncial statement presentation. The	ction to	make the	e general ledger c	onsistent	with the
	the fina	Mainland (Moyock) Sewer constru	ction to re is no a	make the appropria	e general ledger c tion associated w	onsistent <i>v</i> ith this ar	with the nendment.
Net Budget Effe	the fina	Mainland (Moyock) Sewer constru ncial statement presentation. The	ction to re is no a	make the appropria (57) - De	e general ledger c tion associated w	onsistent <i>v</i> ith this ar	with the
	the fina	Mainland (Moyock) Sewer constru ncial statement presentation. The	on Fund	make the appropria (57) - De D	e general ledger c tion associated w ecreased by \$5,24	onsistent <i>i</i> ith this ar 46,872.	with the nendment. Credit
Net Budget Effe	the fina ct:	Mainland (Moyock) Sewer constru ncial statement presentation. The	on Fund	make the appropria (57) - De E ecrease	e general ledger c tion associated w ecreased by \$5,24 Debit	onsistent <i>i</i> ith this ar 46,872.	with the nendment. Credit
Net Budget Effe Account Numbe	the fina ct:	Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Constructi Account Description Tour Operator Permit Fees	on Fund	make the appropria (57) - De E ecrease	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or	onsistent <i>i</i> ith this ar 46,872.	with the nendment. Credit se Revenue or ase Expense 13,463
Net Budget Effe	the fina ct:	Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Constructi Account Description	ction to to a construction to a construction of	nake the appropria (57) - De (57) - De E ecrease Increase	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or	onsistent vith this ar 46,872. Increas Decre	with the nendment. Credit se Revenue or
Net Budget Effe Account Numbe	the fina ct:	Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Constructi Account Description Tour Operator Permit Fees	on Fund	nake the appropria (57) - De (57) - De E ecrease Increase	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or	onsistent vith this ar 46,872. Increas Decre	with the nendment. Credit se Revenue or ase Expense 13,463
Net Budget Effe Account Numbe 14340-456003 14390-495015	the fina ct:	Mainland (Moyock) Sewer constru- ncial statement presentation. The Mainland Central Sewer Constructi Account Description Tour Operator Permit Fees T F - Occupancy Tax Fund	ction to te is no a	nake the appropria (57) - De (57) - De E ecrease Increase	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or e Expense 20,244	onsistent vith this ar 46,872. Increas Decre \$	with the nendment. Credit se Revenue or ase Expense 13,463 6,781
Net Budget Effe Account Numbe 14340-456003 14390-495015 14460-545000	et:	Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Construction Account Description Tour Operator Permit Fees T F - Occupancy Tax Fund Contract Services	ction to le is no a construction to le is no a construction to le is no a construction fund de la cons	nake the appropria (57) - De (57) - De E ecrease Increase	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or e Expense 20,244 20,244	onsistent vith this ar 46,872. Increas Decre \$ \$	with the nendment. Credit se Revenue or ase Expense 13,463 6,781 20,244
Net Budget Effe Account Numbe 14340-456003 14390-495015 14460-545000	ct:	Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Constructi Account Description Tour Operator Permit Fees T F - Occupancy Tax Fund Contract Services	ction to the is no a construction of the is no a construction of the isence of the ise	nake the appropria (57) - De (57) - De E ecrease Increase	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or e Expense 20,244 20,244 crease appropria	onsistent vith this ar 46,872. Increas Decre \$ \$ ations to l	with the nendment. Credit se Revenue or ase Expense 13,463 6,781 20,244 budget for
Net Budget Effe Account Numbe 14340-456003 14390-495015 14460-545000	CC CC	Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Construction Account Description Tour Operator Permit Fees T F - Occupancy Tax Fund Contract Services	ction to the is no a construction of the is no a construction of the isence of the ise	nake the appropria (57) - De (57) - De E ecrease Increase Increase (10) - Inc tor Perm	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or e Expense 20,244 20,244 crease appropria nits for the 2020	onsistent vith this ar 46,872. Increas Decre \$ \$ ations to I o season.	with the nendment. Credit se Revenue or ase Expense 13,463 6,781 20,244 budget for The
Net Budget Effe Account Numbe 14340-456003 14390-495015 14460-545000	CC CC	Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Constructi Account Description Tour Operator Permit Fees T F - Occupancy Tax Fund Contract Services	ction to the is no a construction of the is no a construction of the isence of the ise	nake the appropria (57) - De (57) - De E ecrease Increase Increase (10) - Inc tor Perm	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or e Expense 20,244 20,244 crease appropria nits for the 2020	onsistent vith this ar 46,872. Increas Decre \$ \$ ations to I o season.	with the nendment. Credit se Revenue or ase Expense 13,463 6,781 20,244 budget for The
Net Budget Effe Account Numbe 14340-456003 14390-495015		Mainland (Moyock) Sewer constru ncial statement presentation. The Mainland Central Sewer Construction Account Description Tour Operator Permit Fees T F - Occupancy Tax Fund Contract Services	ction to the is no a construction of the is no a construct of the is no construct of the is no a construct of the is no a construct of	nake the appropria (57) - De (57) - De E E ecrease Increase Increase (57) - De E E (57) - De E (57) - De (57) - De (	e general ledger c tion associated w ecreased by \$5,24 Debit e Revenue or e Expense 20,244 20,244 crease appropria nits for the 2020 cy to make up th	onsistent vith this ar 46,872. Increas Decre \$ \$ ations to I 0 season. he 2020 s	with the nendment. Credit se Revenue or ase Expense 13,463 6,781 20,244 budget for The season

		Debit	Credit
		Decrease Revenue or	Increase Revenue o
Account Number	Account Description	Increase Expense	Decrease Expense
	<u>Account Decomption</u>		Decrease Expense
10510-516200	Vehicle Repairs & Maintenand	ce \$ 5,000	
10510-514500	Training & Education		\$ 5,000
		\$ 5,000	\$ 5,000
Explanation:	Sheriff (10510) - Transfer budgete department.	ed funds for unanticipated vehicle	repairs in the Sheriffs
Not Budgot Effo	ct: Operating Fund (10) - No cha		
Net Budget Effe		Debit	Credit
		Debit	Orean
		Decrease Revenue or	Increase Revenue o
Account Number	Account Description	Increase Expense	Decrease Expense
10531-545000	Contract Services	\$ 15,000	
10330-445000	Emergency Management Grar		\$ 15,000
		\$ 15,000	\$ 15.000
Explanation:	Emergency Management (10531) complet a Commodity Flow Study Committee.		
			rgency Planning
Net Budget Effe			rgency Planning
Net Budget Effec			rgency Planning
Net Budget Effe		ed by \$15,000.	Credit
	ct: Operating Fund (10) - Increase	ed by \$15,000. Debit Decrease Revenue or	Credit Increase Revenue o
		ed by \$15,000.	
Account Number	ct: Operating Fund (10) - Increase	ed by \$15,000. Debit Decrease Revenue or	Credit Increase Revenue o
Account Number 10531-532000	ct: Operating Fund (10) - Increase Account Description Supplies Capital Outlay	ed by \$15,000. Debit Decrease Revenue or Increase Expense \$ 1,281 19,344	Credit Increase Revenue o
Account Number 10531-532000 10531-590000	ct: Operating Fund (10) - Increase Account Description Supplies	ed by \$15,000. Debit Decrease Revenue or Increase Expense \$ 1,281 19,344	Credit Increase Revenue c
Account Number 10531-532000 10531-590000	ct: Operating Fund (10) - Increase Account Description Supplies Capital Outlay	ed by \$15,000. Debit Decrease Revenue or Increase Expense \$ 1,281 19,344	Credit Increase Revenue of Decrease Expense
Account Number 10531-532000 10531-590000	ct: Operating Fund (10) - Increase Account Description Supplies Capital Outlay	ed by \$15,000. Debit Decrease Revenue or Increase Expense \$ 1,281 19,344 nt	Credit Increase Revenue of Decrease Expense \$ 20,62
Account Number 10531-532000 10531-590000 10330-445000	ct: Operating Fund (10) - Increase Account Description Supplies Capital Outlay Emergency Management Gran Emergency Management (10531) (EMPG) #EMA-2020-EP-00009.	ed by \$15,000. Debit Decrease Revenue or Increase Expense \$ 1,281 19,344 nt \$ 20,625 - To record Emergency Manager Grant funds will be used to comp	Credit Increase Revenue of Decrease Expense \$ 20,629 \$ 20,629 ment Planning Grant lete the Mobile Event
Net Budget Effer           Account Number           10531-532000           10531-532000           10330-445000           Explanation:	ct: Operating Fund (10) - Increase Account Description Supplies Capital Outlay Emergency Management Gran	ed by \$15,000. Debit Decrease Revenue or Increase Expense \$ 1,281 19,344 nt \$ 20,625 - To record Emergency Manager Grant funds will be used to comp mHz mobile radios. Remaining f	Credit Increase Revenue of Decrease Expense \$ 20,625 \$ 20,625 ment Planning Grant lete the Mobile Event

					Debit		Credit
				Decreas	se Revenue or	Increas	se Revenue or
Account Number		Account Description		Increa	se Expense	Decrease Expense	
10531-532000		Supplies				\$	300
10531-536000		Uniforms		\$	300	Ψ	500
				\$	300	\$	300
Explanation:	En sta	nergency Management (105 aff.	531) - Tran	sfer funds for u	uniforms for Err	nergency Ma	anagement
Not Dudget Effe	-	Operation Fund (40) No. 6					
Net Budget Effe	cτ:	Operating Fund (10) - No c	mange.		Debit		Credit
				Deeree	e Revenue or	la ana ci-	e Revenue or
Account Number	-	Account Description			e Revenue or se Expense		e Revenue or ise Expense
10640-532004 10330-449000	_	Family Consumer Science Miscellaneous Grants	Supplies	\$	5,090	\$	5,090
						Ψ	0,000
				\$	5,090	\$	5,090
Explanation:		operative Extension (10640) urance Information Program				e Seniors' H	lealth
Net Budget Effe	ct:	Operating Fund (10) - Incre	ased by \$	5.090.			
not Badgot Ello				Deb	it	(	Credit
	_			Decrease R	evenue or	Increase	e Revenue o
Account Numb	<u>er</u>	Account Description		Increase E			se Expense
10796-532000		Supplies		\$	4,150		
10796-590000		Capital Outlay				\$	4,150
				\$	4,150	\$	4,150
Explanation:		Currituck County Rural ( in capital outlay, but act			-		-
Net Budget Ef	fec	t: Operating Fund (10)	- No cha	nae.		1	

			Debit		(	Credit	
			De	Decrease Revenue or		Increase	Revenue or
Account Number		Account Description	Increase Expense			Decrea	se Expense
61818-511010	-	Data Transmission	\$	\$ 3,200			
61818-590000		Capital Outlay	Ψ		0,200	\$	3,200
			\$		3,200	\$	3,200
Explanation:	_	ainland Water (61818) - Tr etwork for the water treatm		-	•		and Water
Net Budget Effe	ct:	Mainland Water Fund (6	1) - No	change.			
					Debit		Credit
				Decreas	se Revenue or		se Revenue or
Account Number		Account Description		Increa	se Expense	Decre	ease Expense
10531-545000	_	Contract Services		\$	11,250		
10330-445000		Emergency Management Gr	ant			\$	11,250
				\$	11,250	\$	11,250
	Pro	ergency Management (1053 gram (MOA# 1904-2) for Sea e project is complete.					-
Net Budget Effec	t: (	Operating Fund (10) - Increas	sed by	\$11,250.			
				Γ	Debit		Credit
Account Number		Account Description		Decrease Revenue or Increase Expense		Increase Revenue Decrease Exper	
61380-484001		Insurance Recovery				\$	4,496
61818-516000		Maintenance & Repairs		\$	4,496		.,
				\$	4,496	\$	4,496
Explanation:		ainland Water (61818) - Inc maged in accident.	rease a	appropriati	ons for replace	ement of fi	e hydrant
Net Budget Effe	ct:	Mainland Water Fund (61)	) - Incre	eased by \$	\$4,496.		

				Debit	(	Credit
			Decrea	ase Revenue or	Increase	Revenue or
Account Number		Account Description	Increase Expense		Decrease Expense	
						•
10512-516200		Vehicle Maintenance	\$	3,000		
10512-514500		Trainning and Education			\$	3,000
			\$	3,000	\$	3,000
Explanation:	_	mal Services and Control (1 mal services vehicles	10512) - Tran	nsfer funds for unar	nticipated r	epairs to
Net Budget Effe	ct: (	Operating Fund (10) - No cl	hange.			
				Debit		Credit
Account Number	<u>A</u>	Account Description		ease Revenue or rease Expense		e Revenue or ise Expense
50511-590001	C	Connect Jail to MCP Sewer	\$	7,000		
50380-481000		nvestment Earnings	Ψ	7,000	\$	7,000
Explanation:		nty Governmental Construct er connection from the Deter				
Explanation: Net Budget Effe	sewe syst	er connection from the Deter	ion Fund (50) ntion Facility	) - Increase approp to the Maple Com	riations to o merce Park \$7,000.	complete the
	sewe syst	er connection from the Deter em.	ion Fund (50) ntion Facility ruction Fund	) - Increase approp to the Maple Com	riations to o merce Park \$7,000.	complete the
	sewe syst	er connection from the Deter em.	ion Fund (50) ntion Facility ruction Fund	) - Increase approp to the Maple Com (50) - Increased by Debit	riations to o merce Park 7 \$7,000.	complete the sewer
	sewe syst	er connection from the Deter em.	ion Fund (50) ntion Facility ruction Fund Decreas	) - Increase approp to the Maple Com (50) - Increased by	riations to o merce Park 7 \$7,000. C Increase	complete the sewer
Net Budget Effer	sewe syst	connection from the Determent.	ion Fund (50) ntion Facility ruction Fund Decreas	) - Increase approp to the Maple Com (50) - Increased by Debit e Revenue or	7,000.	complete the sewer Credit Revenue or se Expense
Net Budget Effe	sewe syst	County Governmental Constr Account Description	ion Fund (50) ntion Facility ruction Fund Decreas	) - Increase approp to the Maple Com (50) - Increased by Debit e Revenue or	riations to o merce Park 7 \$7,000. C Increase	complete the sewer Credit Revenue or se Expense
Net Budget Effer Account Numbe	sewe syst	er connection from the Deter em. County Governmental Constr <u>Account Description</u> Crisis Intervention	ion Fund (50) ntion Facility ruction Fund Decreas Increas	) - Increase approp to the Maple Com (50) - Increased by Debit e Revenue or se Expense	7,000.	complete the sewer Credit Revenue or se Expense 1,925
Net Budget Effer Account Numbe 10750-557700 10750-557701	sewe syst	County Governmental Constr Account Description Crisis Intervention LIEAP - 1571 Part II	ion Fund (50) ntion Facility ruction Fund Decreas Increas	) - Increase approp to the Maple Com (50) - Increased by Debit e Revenue or se Expense	7,000.	complete the sewer Credit Revenue or
Net Budget Effer Account Numbe 10750-557700 10750-557701	sewe syst	County Governmental Constr Account Description Crisis Intervention LIEAP - 1571 Part II	ion Fund (50) ntion Facility ruction Fund Decreas Increas	) - Increase approp to the Maple Com (50) - Increased by Debit e Revenue or se Expense	7,000.	complete the sewer Credit Revenue or se Expense 1,925
Net Budget Effer Account Numbe 10750-557700 10750-557701	sewe syst	County Governmental Constr Account Description Crisis Intervention LIEAP - 1571 Part II DSS Administration	ion Fund (50) ntion Facility ruction Fund Decreas Increas \$ \$ ion (10750)	) - Increase approp to the Maple Com (50) - Increased by Debit se Revenue or se Expense 21,671 - Increase approp	riations to o merce Park 7,000. 7,000. 1ncrease Decreas \$ \$ priations for	complete the sewer Credit Revenue or se Expense 1,925 19,746 21,671 or Low
Net Budget Effer Account Numbe 10750-557700 10750-557701 10330-431000	sewe syst	County Governmental Constr Account Description Crisis Intervention LIEAP - 1571 Part II DSS Administration	ion Fund (50) ntion Facility ruction Fund Decreas Increas \$ \$ ion (10750)	) - Increase approp to the Maple Com (50) - Increased by Debit se Revenue or se Expense 21,671 - Increase approp	riations to o merce Park 7,000. 7,000. 1ncrease Decreas \$ \$ priations for	complete the sewer Credit Revenue or se Expense 1,925 19,746 21,671 or Low

- 2. NCACC Legislative Goals Conference Voting Delegate Designation
- 3. Request for Disposal of Records-Permits and Inspections
- 4. Approval of Memorandum of Agreement with the State of North Carolina for Location of Groundwater Monitoring Station at Shingle Landing Park
- 5. Approval of Building Access Agreement for CenturyLink Data Line Upgrade Installation at the Office of the Clerk of Court, Judicial Center
- 6. Amended Item-Surplus Resolution-Message Boards, Emergency Management

	RESOLU'	TION	
during its reg and 270(b) th	HE Board of Commissioners of the gularly scheduled meeting authori nat the property listed below will b of if not sellable.	zed the follo	wing, pursuant to G.S. 160A
County			
Asset Tag	Description		Serial Number
6329	Weather Bug		BBB-65-1921
7653	RUOK		None
9964	Digital Message Board		None
9965	Digital Message Board		None
9966	Digital Message Board		None
	FORE, BE IT RESOLVED, that the B erves the tight to reject any and al		nissioners of the County of
	his 4th day of January 2021		

#### 7) Approval Of Minutes-Dec. 7, 2020

1. Minutes for December 7, 2020

#### ADJOURN

#### Motion to Adjourn Meeting

There was no further business and Commissioner Beaumont made a motion to adjourn. Commissioner White seconded the motion. The motion carried, 7-0, and the regular meeting of the Board concluded at 7:29 PM.

RESULT:
MOVER:
SECONDER:
AYES:
SECONDER:

#### SPECIAL MEETING-TOURISM DEVELOPMENT AUTHORITY

The Currituck County Board of Commissioners held a Special Meeting sitting as the Tourism Development Authority immediately upon adjournment of the 6:00 PM regular meeting of the Board of Commissioners. The meeting was held in the Historic Courthouse Board Meeting Room, 153 Courthouse Road, Currituck, North Carolina, for the purpose of considering budget amendments and possible revisions to the Currituck Travel and Tourism Events Grant program.

Chairman Payment called the meeting to order at 7:30 PM.

# TDA-Request to Revise Timeline Criteria and Allow a Fiscal Year Carryover for Event Grants

Ike McRee, County Attorney, presented the request that would allow funds previously allocated for events that had to be cancelled due to Covid-19 to carry over to the next fiscal year.

Commissioner White moved for approval. The motion was seconded by Commissioner McCord. The motion carried, 7-0.

J. Owen
ina S.

#### **TDA-Budget Amendments**

No action was taken on budget amendments.

#### ADJOURN TDA

There was no further business and Commissioner Beaumont moved to adjourn. Commissioner White seconded the motion. The motion carried, 7-0, and the meeting of the Tourism Development Authority concluded at 7:32 PM.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Paul M. Beaumont, Vice-Chairman
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis,
	Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

#### SPECIAL MEETING-OCEAN SANDS WATER AND SEWER DISTRICT BOARD

The Currituck County Board of Commissioners held a Special Meeting sitting as the Ocean Sands Water and Sewer District Board following adjournment of the 6:00 PM regular meeting of the Board of Commissioners. The meeting was held in the Historic Courthouse Board Meeting Room, 153 Courthouse Road, Currituck, North Carolina, for the purpose of considering budget amendments.

Chairman Payment called the meeting to order at 7:32 PM.

#### **OSWSD-Budget Amendment**

Commissioner White moved for approval of the Budget Amendment. Commissioner Mary Etheridge seconded. The motion carried, 7-0.

			Debit		Credit	
			se Revenue or		e Revenue or	
Account Number	Account Description	Increa	se Expense	Decrea	ise Expense	
60808-533200	Lab Tests - Water	\$	2,500			
60808-533201	Lab Tests - Sewer			\$	2,500	
60808-545005	Purchase Water from another	\$	55,000			
60808-553001	Dues & Subscriptions	\$	30,430			
60808-533201	Lab Supplies			\$	11,000	
60808-516001	Repairs & Maintenance			\$	4,000	
60808-533601	System Supplies			\$	15,430	
60808-545100	Credit Card Processing Fees	\$	1,500			
60360-470000	Utilities Charges - Water			\$	55,000	
60360-470001	Utilities Charges - Sewer			\$	1,500	
		\$	89,430	\$	89,430	
Explanation:						
	increased water usage this fiscal ye beaches and transfer funds for unan					
Net Budget Effe	ct: Ocean Sands Water and Sewer	District Fund	(60) - Increased I	ov \$56.500		

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bob White, Commissioner
SECONDER:	Mary "Kitty" Etheridge, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S.
	Jarvis, Commissioner, Kevin E. McCord, Commissioner, Bob White,
	Commissioner

#### **ADJOURN OSWSD BOARD**

With no further business, Commissioner McCord moved to adjourn. Commissioner White seconded the motion. The motion carried, 7-0. The meeting of the Ocean Sands Water and Sewer District Board adjourned at 7:33 PM.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Kevin E. McCord, Commissioner
SECONDER:	Bob White, Commissioner
AYES:	Michael H. Payment, Chairman, Paul M. Beaumont, Vice-Chairman, J. Owen
	Etheridge, Commissioner, Mary "Kitty" Etheridge, Commissioner, Selina S. Jarvis,
	Commissioner, Kevin E. McCord, Commissioner, Bob White, Commissioner

## **BUDGET AMENDMENT**

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

	Debit		Credit Increase Revenue or Decrease Expense		
Account Number Account Description		Decrease Revenue or Increase Expense			
15447-587014 15320-415000	T T - Carova Beach Road Dist Occupancy Tax	\$	6,781	\$	6,781
		\$	6,781	\$	6,781

**Explanation:** Occupancy Tax - Tourism Related Expenses (15447) - Transfer funds to the Carova Beach Road District to offset the 25% reduction in collections from Tour Operator Permits for the 2020 summer season.

**Net Budget Effect:** Occupancy Tax Fund (15) - Increased by \$6,781.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal # \_\_\_\_\_

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

5	,	Debit		Credit	
Account Number	Account Description		Decrease Revenue or Increase Expense		e Revenue or ase Expense
15442-590000	Capital Outlay	\$	6,400		
15447-590000	Capital Outlay	\$	90,000		
15448-590000	Capital Outlay	\$	40,000		
15447-587010	T T - Operating Fund	\$	130,000		
15320-415000	Occupancy Tax			\$	266,400
		¢	266 400	<u>_</u>	266,400
		Þ	266,400	\$	200,400

**Explanation:** Occupancy Tax - Promotion (15442); Tourism Related Expenses (15447 & 15448) - Increase appropriations for capital items for the Tourism Promotion and Tourism related activities that were not in the original appropriations due to COVID19 uncertainty.

**Net Budget Effect:** Occupancy Tax Fund (15) - Increased by \$266,400.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal #

Credit

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

Dehit

			JODI		Jour
Account Number	Account Description	Decrease Revenue or Increase Expense		Increase Revenue or Decrease Expense	
15442-503500 15442-505000 15448-503500 15448-505000 15320-415000	Salaries - Promotion Temporary FICA Salaries - Whalehead Temporary FICA Occupancy Tax	\$ \$ \$ \$	589 45 600 46	\$	1,280
		\$	1,280	\$	1,280

**Explanation:** Occupancy Tax - Promotion (15442); Whalehead (15448) - Increase appropriations to provide bonus pay for all employees with less than 750 hours. Employees must have worked between November 1, 2019 and October 31, 2020 and been an active employee on December 1, 2020. This prorates the \$250 amount approved for full time employees by actual hours worked. The minumum bonus amount will be \$25 per employee. This will be paid on the regular check run that will be paid on February 10, 2021.

Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$1,280.

Minute Book # \_\_\_\_\_\_, Page # \_\_\_\_\_

Journal # \_\_\_\_\_

## **BUDGET AMENDMENT**

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

			Debit		Credit
Account Number	<u>Account Description</u> Capital Outlay Occupancy Tax	Decrease Revenue or Increase Expense		Increase Revenue or Decrease Expense	
15447-590000 15320-415000		\$	90,000	\$	90,000
		\$	90,000	\$	90,000

**Explanation:** Occupancy Tax - Tourism Related (15447) - Increase appropriations for a work truck and skidsteer for maintaining operations on the Currituck Outer Banks.

**Net Budget Effect:** Occupancy Tax Fund (15) - Increased by \$90,000.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_\_

Journal # \_\_\_\_\_

### **BUDGET AMENDMENT**

The Currituck County Board of Commissioners sitting as the Tourism Development Authority, at a meeting on the 19th day of January 2021, passed the following amendment to the budget resolution for the fiscal year ending June 30, 2021.

0	, ,	,	Debit		Credit	
Account Number	Account Description	Decrease Revenue or Increase Expense		Increase Revenue or Decrease Expense		
15449-511010	Data Transmission	\$	2,000			
15449-506000	Health Insurance Expense	\$	5,000			
15448-532160	Maintenance Supplies	\$	5,000			
15448-511010	Data Transmission	\$	1,300			
15320-415000	Occupancy Tax			\$	13,300	
		\$	13,300	\$	13,300	

**Explanation:** Occupancy Tax - Whalehead (15448); Maritime Museum (15449) - Increased expenses at the Historic Corolla Park due to extended season on the Outer Banks this year. Increased costs for the Maritime museum to update data transmission costs to actual contract and to provide health insurance for the facility personnel.

Net Budget Effect: Occupancy Tax Fund (15) - Increased by \$13,300.

Minute Book # \_\_\_\_\_, Page # \_\_\_\_

Journal # \_\_\_\_\_